

## 5.1. MATERIAL CHANGE OF USE (MULTI-UNIT HOUSING) 14 MUDLO STREET PORT DOUGLAS

<b>REPORT AUTHOR(S)</b>	Daniel Lamond, Planning Officer
<b>GENERAL MANAGER</b>	Nick Wellwood, General Manager Operations
<b>DEPARTMENT</b>	Development Assessment and Coordination
<b>PROPOSAL</b>	Material Change of Use (Multi-Unit Housing)
<b>APPLICANT</b>	P L Bonomi (Tte) & M Bonomi (Tte) C/- Planning Plus PO Box 8046 CAIRNS QLD 4870
<b>LOCATION OF SITE</b>	14 Mudlo Street PORT DOUGLAS
<b>PROPERTY</b>	Lot 919 on PTD2092
<b>LOCALITY PLAN</b>	



Figure 1 - Locality Plan

<b>LOCALITY</b>	Port Douglas and Environs
<b>PLANNING AREA</b>	Tourist and Residential
<b>PLANNING SCHEME</b>	Douglas Shire Planning Scheme 2006
<b>REFERRAL AGENCIES</b>	There were no referral agencies for this application
<b>NUMBER OF SUBMITTERS</b>	There were no submissions for this application
<b>STATUTORY ASSESSMENT DEADLINE</b>	28 February 2018
<b>APPLICATION DATE</b>	23 November 2017

### RECOMMENDATION

That Council approves the development application for Multi-unit housing over land described as Lot 919 on PTD2092, located at 14 Mudlo Street PORT DOUGLAS, subject to the following:

#### APPROVED DRAWING(S) AND / OR DOCUMENT(S)

The term 'approved drawing(s) and / or document(s)' or other similar expressions means:

Drawing or Document	Reference	Date
Site Plan	Plan prepared by TPG Architects, Drawing No. DA.01c	November 2017
Ground & First Floor Plan	Plan prepared by TPG Architects, Drawing No. DA.02b	November 2017
Site Elevations	Plan prepared by TPG Architects, Drawing No. DA.03a	November 2017
Elevations	Plan prepared by TPG Architects, Drawing No. DA.04b	November 2017
Sections	Plan prepared by TPG Architects, Drawing No. DA.05a	November 2017
Landscape Master Plan	Plan prepared by Andrew Prowse Landscape Architect, Drawing No. LA-M.01	17 November 2017
Landscape Planting Plan	Plan prepared by Andrew Prowse Landscape Architect, Drawing No. LA-P.01	16 November 2017
Landscape Planting Scheme	Plan prepared by Andrew Prowse Landscape Architect, Drawing No. LA-S.01	17 November 2017

## **ASSESSMENT MANAGER CONDITIONS**

- 1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:**
  - a. The specifications, facts and circumstances as set out in the application submitted to Council; and**
  - b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.**

**Except where modified by these conditions of approval**

### **Timing of Effect**

- 2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.**

### **Air-conditioning Screens**

- 3. Air-conditioning units located above ground level and visible from external properties and the street must be screened with appropriate materials to improve the appearance of the building. Such screening must be completed prior to the Commencement of Use.**

### **Damage to Council Infrastructure**

- 4. In the event that any part of Council's existing sewer/water or road infrastructure is damaged as a result of construction activities occurring on the site, the applicant/owner must notify Council immediately of the affected infrastructure and have it repaired or replaced at no cost to Council.**

### **Water Supply Works External**

- 5. Undertake the following water supply works external to the site to connect the site to existing water supply:**
  - a. Augment existing water supply infrastructure to provide adequate water supply to the development. The extension of the water main must have regard to the ultimate configuration of the development.**

### **Vehicle Parking**

- 6. The car parking layout must comply with the Australian Standard AS2890.1 2004 Parking Facilities – off-street car parking and be constructed in accordance with Austroads and good engineering design. In addition, all parking, driveway and vehicular manoeuvring areas must be imperviously sealed, drained and line marked.**

## **External Works**

- 7. Undertake the following works external to the land at no cost to Council:**
- a. Provide a vehicle crossover and apron to Mudlo Street. The location and design of the access must not detrimentally impact on the significant street tree on the road verge.**
  - b. Repair any damage to existing roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drain lines) that may occur during and works carried out in association with the construction of the approved development.**

## **Demolish Structures**

- 8. All structures not associated with the approved development (including disused services and utilities) must be demolished and/or removed from the subject land prior to Commencement of Use.**

## **Stockpiling and Transportation of Fill Material**

- 9. Soil excavated from the site is not to be stockpiled in locations that can be viewed from adjoining premises or a road frontage for any longer than one (1) month from the commencement of works.**

**Transportation of fill or spoil to and from the site must not occur within:**

- a. peak traffic times;**
- b. before 7:00 am or after 6:00 pm Monday to Friday;**
- c. before 7:00 am or after 1:00 pm Saturdays; or**
- d. on Sundays or Public Holidays.**

## **Emissions**

- 10. Dust emissions or other air pollutants, including odours, must not extend beyond the boundary of the site and cause a nuisance to surrounding properties.**

## **Storage of Machinery and Plant**

- 11. The storage of any machinery, material and vehicles must not cause a nuisance to surrounding properties, to the satisfaction of the Chief Executive Officer.**

## **Lawful Point of Discharge**

- 12. All stormwater from the property must be directed to a lawful point of discharge being Mudlo Street or Beryl Street, such that it does not adversely affect surrounding properties or properties downstream from the development.**

#### **Ponding and/or Concentration of Stormwater**

- 13. The proposed development is not to create ponding nuisances and/or concentration of stormwater flows to adjoining properties.**

#### **Minimum Fill and Floor Levels**

- 14. All habitable floor levels in all buildings must be located 300mm above the Q100 flood immunity level, plus any hydraulic grade effect (whichever is the greater), in accordance with FNQROC Development Manual and Planning Scheme requirements.**

#### **Construction Signage**

- 15. Prior to the commencement of any construction works associated with the development, a sign detailing the project team must be placed on the road frontage of the site and must be located in a prominent position. The sign must detail the relevant project coordinator for the works being undertaken on the site, and must list the following parties (where relevant) including telephone contacts:**
  - a. Developer;**
  - b. Project Coordinator;**
  - c. Architect/Building Designer;**
  - d. Builder;**
  - e. Civil Engineer;**
  - f. Civil Contractor;**
  - g. Landscape Architect.**

#### **Landscaping Plan**

- 16. The site must be landscaped in accordance with the details included on the landscape plans prepared by Andrew Prowse Landscape Architect, Drawing No. LA-M.01, No. LA-P.01 and No. LA-S01. In the event the fig tree at the frontage of the site is required to be removed, a plan detailing the replacement landscaping must demonstrate deep planting of the setback area to the satisfaction of the Chief Executive Officer, prior to commencement of use or Survey Plan endorsement, whichever occurs first.**

#### **Sewer Works Internal**

- 17. Undertake the following internal sewer works:**
  - a. Upgrade the existing sewer line within the allotment boundaries and to the manhole on the adjacent allotment 0 on BUP70906 with extra heavy**

duty pipe to allow for the unit development to be constructed over the sewer. The works must be completed to the satisfaction of the Chief Executive Officer. All works, including the submission and approval of the as-constructed drawings must be undertaken prior to the issue of a Development Permit for Building Works.

- b. Provide a detailed solution to protect the new sewer line located under the development to the satisfaction of the Chief Executive Officer. The design of the development to extend over the sewer line must utilise the as-constructed detail of the new sewer line and be RPEQ Certified.
- c. The detailed solution must include sewer line replacement with a suitable heavy duty sewer pipe to the satisfaction of the Chief Executive Officer. A new manhole must be developed at the northern side boundary incorporating a dropper for a new house connection branch which must be installed for the reliant development to the rear, this must be sited clear of any building work. An inspection manhole must be installed at the common boundary to lot 0 on SP199695 for the house connection branch. All redundant house connection branches must be removed.

#### **Sewer Easement**

- 18. Create an easement in favour of Council having a width of three (3) metres over the sewer within the site area that is clear of the building footprint and covering the new manhole location, to the requirements and satisfaction of the Chief Executive Officer. An access easement is required over the access driveway to the sewer easement.

A copy of the easement documents must be submitted to Council for the approval by Council's solicitors at no cost to Council.

- a. The approved easement documents must be submitted at the same time as seeking approval and dating of the Building Format Plan and must be lodged and registered with the Department of Natural Resources and Mines in conjunction with the Plan of Survey.

#### **Inspection of Sewer**

- 19. CCTV inspections of sewers must be undertaken both prior to commencement of works on site and at works completion where works have been undertaken over or to sewers. Defects must be rectified to the satisfaction of the Chief Executive Officer at no cost to Council prior to Commencement of Use or approval and dating of the Building Format Plan, whichever occurs first.

#### **Protection of Landscaped Areas from Parking**

- 20. Landscaped areas adjoining the parking area must be protected by a 150 mm high vertical concrete kerb or similar obstruction. The kerb must be set back from the garden edge sufficiently to prevent vehicular encroachment and damage to plants by vehicles.



## **Perimeter Fencing**

21. Prior to the issue of a development permit for building work, demonstrate the detail of the perimeter fencing with respect to each boundary and treatment of each area, to the satisfaction of the Chief Executive Officer.

## **ADVICE**

1. This approval, granted under the provisions of the *Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect.
2. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.

## **Infrastructure Charges Notice**

1. A charge levied for the supply of trunk infrastructure is payable to Council towards the provision of trunk infrastructure in accordance with the Adopted Infrastructure Charges Notice, a copy of which is attached for reference purposes only. The original Adopted Infrastructure Charges Notice will be provided under cover of a separate letter.

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

Please note that this Decision Notice and the Adopted Infrastructure Charges Notice are stand-alone documents. The Sustainable Planning Act 2009 confers rights to make representations and appeals in relation to a Decision Notice and an Adopted Infrastructure Charges Notice separately.

The amount in the Adopted Infrastructure Charges Notice is subject to index adjustments and may be different at the time of payment. Please contact Development Assessment and Coordination at Council for review of the charge amount prior to payment.

The time when payment is due is contained in the Adopted Infrastructure Charges Notice.

2. For information relating to the *Planning Act 2016* log on to [www.dilgp.qld.gov.au](http://www.dilgp.qld.gov.au). To access the *FNQROC Development Manual*, Local Laws and other applicable Policies, log on to [www.douglas.qld.gov.au](http://www.douglas.qld.gov.au).

## EXECUTIVE SUMMARY

Council is in receipt of a development application for a Material Change of Use for 'Multi-Unit Housing (3 units), over land located at 14 Mudlo Street, Port Douglas, being formally described as Lot 919 on PTD2092.

The land was contained within the 'Tourist and Residential Planning Area of the Port Douglas and Environs Locality within the 2006 Douglas Shire Planning Scheme. The application was made under the 2006 Planning Scheme. The allotment has a site area of 1,012m<sup>2</sup>.

A house exists on site and is proposed for demolition. The site remains predominantly cleared with a large fig tree at the frontage. The approved landscape plans intend on retaining the fig tree. However, should the tree start to infiltrate the new building work, a condition has been imposed to submit a landscape plan demonstrating deep planting of the setback area to the satisfaction of the Chief Executive Officer. Fig species are generally considered not to be appropriate for development sites as they are inclined to infiltrate infrastructure and buildings causing damage.

The proposal is identified as Code Assessable development within the 2006 Douglas Shire Planning Scheme and does not require public notification in accordance with the *Planning Act 2016*. The proposal would generally comply with the zone the land is now under within the 2018 Douglas Shire Planning Scheme, being the Tourist accommodation zone. No conflict is raised with a comparison.

The assessment of the application has identified a minimal number of non-compliance issues with the Planning Scheme that are to be addressed in order to legitimise the use of the premises as proposed. Such matters include building setbacks, road frontage width and building length minor non-compliances.

The proposal is recommended for approval subject to conditions.

## TOWN PLANNING CONSIDERATIONS

### Proposal

The development application is seeking a development permit for a multi-unit housing development of three (3) units. The configuration is a linear design with the three two storey units sited along the site toward the southern side boundary. Six car parking spaces are provided on site. Access to the site is from a single crossover to Mudlo Street. The front fence is set back from the road frontage boundary two (2) metres in order to cater for the retention of the large fig tree at the site's frontage.

The dwelling units are designed in a townhouse style configuration with an overall height above the ground of 6.4 metres.

### State Planning Requirements

The development application triggers no State referral agencies. The assessment of the application takes into account the State Planning Policy Hazards and Safety mapping. The lower part of the site toward Mudlo Street is identified to be within an erosion prone area and



within the medium storm tide inundation coastal hazard area. These threats are considered to be manageable with conditions for minimum floor height levels imposed.

### Douglas Shire Planning Scheme Assessment

Douglas Shire Port Douglas and Environs Planning Locality		Code Applicability	Compliance
<b>Locality</b>	Port Douglas and Environs	✓	Complies
<b>Planning Area</b>	Tourist and Residential	✓	See comment below
<b>Defined Use</b>	Multi-Unit Housing	✓	See comment below
<b>Overlay Codes</b>	Acid Sulfate Soils Code	x	
	Cultural Heritage and Valuable Sites Code	x	
	Natural Hazards Code	✓	Complies
<b>General Codes</b>	Design and Siting of Advertising Devices Code	x	
	Filling and Excavation Code	x	
	Landscaping Code	✓	Complies
	Natural Areas and Scenic Amenity Code	x	
	Reconfiguring a Lot Code	x	
	Vehicle Parking and Access Code	✓	Complies
	Sustainable Development Code	x	
	Vegetation Management Code	x	

### Compliance Issues

#### Tourist and Residential Planning Area Code

**Building setbacks-** The proposal complies with the building setback benchmarks of the code with the exception of a minor encroachment to the road frontage boundary and to the southern side boundary. The road frontage setback requires 6 metres to the building, with a proposed 4.8 metre setback to one feature of the building façade. The minor nature of the feature encroaching on the setback is considered to not detract from the amenity of the area.

The southern side boundary requires a setback of half the height of the building, measured from the ground to the bottom of the roof structure. This gives a building height of 5.2 metres excluding the roof cavity area. The code requires a side boundary set back of 2.6 metres, with the proposal of 2.3 at the closest point being the first floor balcony. This breach is considered to be minor as the proposal still achieves separation from neighbouring buildings and maintains the character and amenity of the area.

**Overall building length-** The code requires that the building does not exceed 30 metres in length. The ground levels of the proposed units adjoin and result in the appearance of three distinct buildings of 15 metres in length. Significant variations in wall planes and generous separation of the first floor storeys give the proportions and scale consistent with the character of the area as the higher density Tourist and residential planning area.

## Multi-Unit Housing/Holiday Accommodation/Retirement Facility Code

**Minimum road frontage** - The site has a road frontage of 20 metres to Mudlo Street with the code requiring a minimum road frontage of 25 metres. The proposal has demonstrated that the site has sufficient area and dimensions to accommodate the buildings, open space, car parking and associated vehicular access, landscaping and recreation facilities.

### Referral Agency Requirements

The application did not trigger any referral agencies.

### Public Notification / Submissions

The application requires 'Code Assessment'. Under the *Planning Act 2016*, no public notification is required.

## ADOPTED INFRASTRUCTURE CHARGES

The proposed development triggers Adopted Infrastructure Charges. Refer to Appendix 2 to view calculations.

## COUNCIL'S ROLE

Council can play a number of different roles in certain circumstances and it is important to be clear about which role is appropriate for a specific purpose or circumstance. The implementation of actions will be a collective effort and Council's involvement will vary from information only through to full responsibility for delivery.

The following area outlines where Council has a clear responsibility to act:

**Regulator:** Meeting the responsibilities associated with regulating activities through legislation or local law.

Under the *Sustainable Planning Act 2009* and the *Sustainable Planning Regulation 2009*, Council is the assessment manager for the application.

## ATTACHMENTS

1. Attachment 2- Infrastructure Charges **[5.1.1]**
2. Attachment 1- Approved Plans **[5.1.2]**



## 2006 &amp; 2008 Douglas Shire Planning Schemes Application

## INFRASTRUCTURE CHARGES NOTICE

P L Bonomi & M Bonomi		0	0
DEVELOPERS NAME		ESTATE NAME	STAGE
14 Mudlo Street	Port Douglas	Lot 919 on PTD2092	1960
STREET No. & NAME	SUBURB	LOT & RP No.s	PARCEL No.
Material Change of Use	2385/2017		Six (6)
DEVELOPMENT TYPE	COUNCIL FILE	VALIDITY PERIOD (years)	
842682	1		
DSC Reference Doc. No.	VERSION No.		

	Use	Charge per Use	Amount Due	Amount Paid	Receipt Code & GL Code
<b>Rural Areas - Water Only</b>					
proposed			0.00		
			0.00		
existing	0	0.00	0.00		
Total					
<b>Urban Areas - Water only</b>					
proposed	0	0.00	0.00		
	0	0.00	0.00		
existing	0	0.00	0.00		
Total			0.00		
<b>Urban Areas - Water &amp; Sewer</b>					
proposed	Multiple Dwelling	11,473.71	34,421.13		Receipt Type 886
					GL07480.0135.0823
existing	House	14,342.13	0.00		
Total			20,079.00		
<b>TOTAL</b>			<b>20,079.00</b>		

Prepared by	D Lamond	8-Feb-18	Amount Paid	
Checked by	N Beck	8-Feb-18	Date Paid	
Date Payable				
Amendments	Date		Receipt No.	
			Cashier	

**Note:**

The Infrastructure Charges in this Notice are payable in accordance with the *Planning Act 2016*.

Charges are payable to: Douglas Shire Council. You can make payment at any of Council's Business Offices or by mail with your cheque or money order to Douglas Shire Council, PO Box 723, Mossman QLD 4873. Cheques must be made payable to Douglas Shire Council and marked 'Not Negotiable.' Acceptance of a cheque is subject to collection of the proceeds. Post dated cheques will not be accepted

Any enquiries regarding Infrastructure Charges can be directed to the Development & Environment, Douglas Shire Council on 07 4099 9444 or by email on enquiries@douglas.qld.gov.au

# Fig Tree Villas

**SITE AREA** 1017m<sup>2</sup>

## GFA

<b>UPPER</b>	
Internal	121m <sup>2</sup>
Covered External	4m <sup>2</sup>
<b>Total</b>	<b>125m<sup>2</sup></b>

## GROUND FLOOR

Internal	85m <sup>2</sup>
Garage	20m <sup>2</sup>
Covered External	15m <sup>2</sup>
<b>Total</b>	<b>120m<sup>2</sup></b>

## SITE COVER

<b>UPPER</b>	
Maximum 40%	= 407m <sup>2</sup>
3 Villas 36%	= 375m <sup>2</sup>

## GROUND FLOOR

Maximum 45%	= 457m <sup>2</sup>
3 Villas 36%	= 360m <sup>2</sup>

## LANDSCAPE + RECREATION

Minimum 35%	= 356m <sup>2</sup>
Provided 36%	= 365m <sup>2</sup>

Minimum Landscaped 30%	= 107m <sup>2</sup>
Provided 63%	= 230m <sup>2</sup>

Recreational Area per villa 4 x 4m <sup>2</sup>	= 16m <sup>2</sup>
Provided 4 x 5m <sup>2</sup>	= 20m <sup>2</sup>

## CARPARKING

1.5 Spaces per villa	= 5 spaces
Provided	= 6 spaces

60% Covered	= 3 spaces
Provided	= 3 spaces

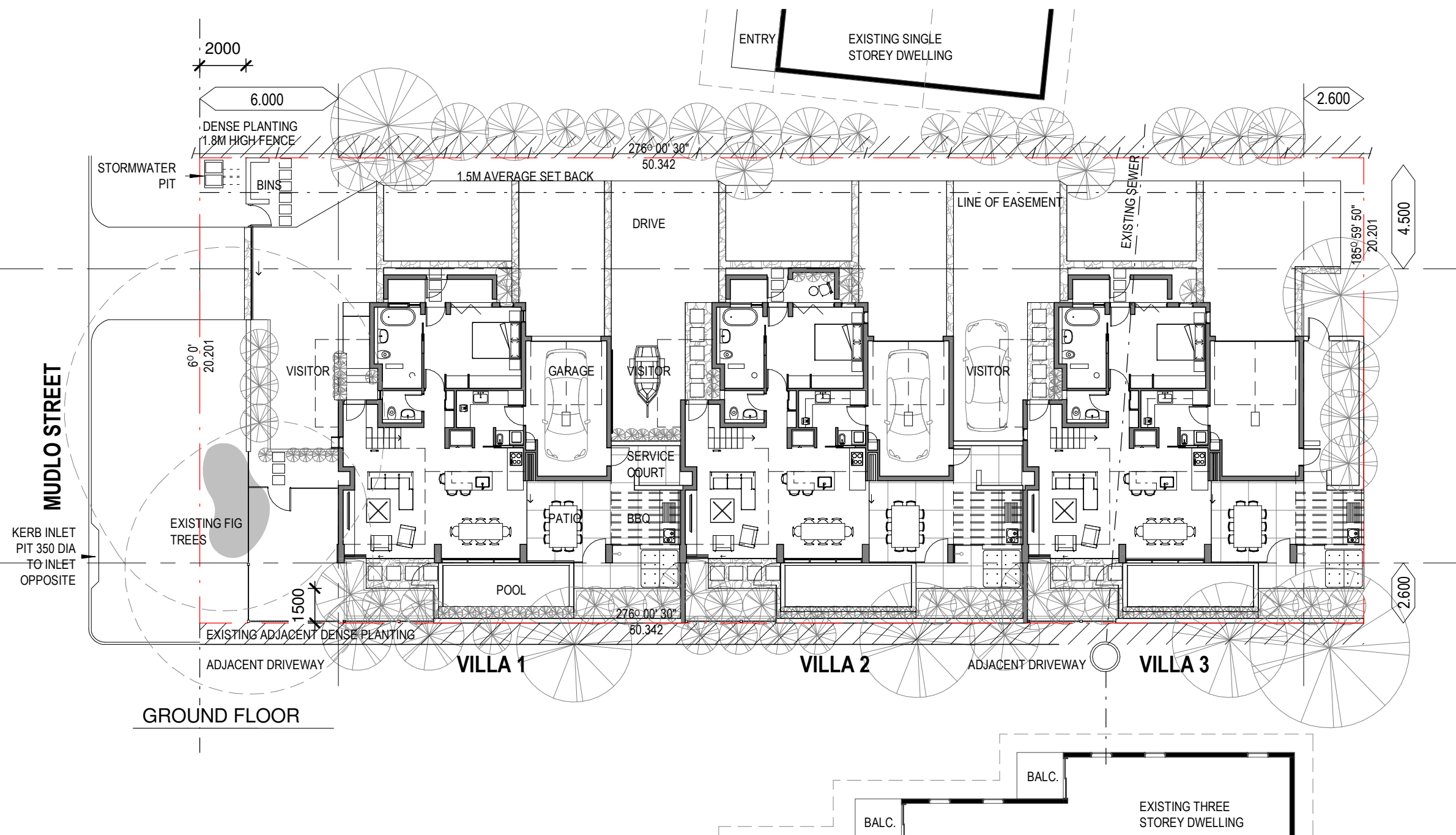
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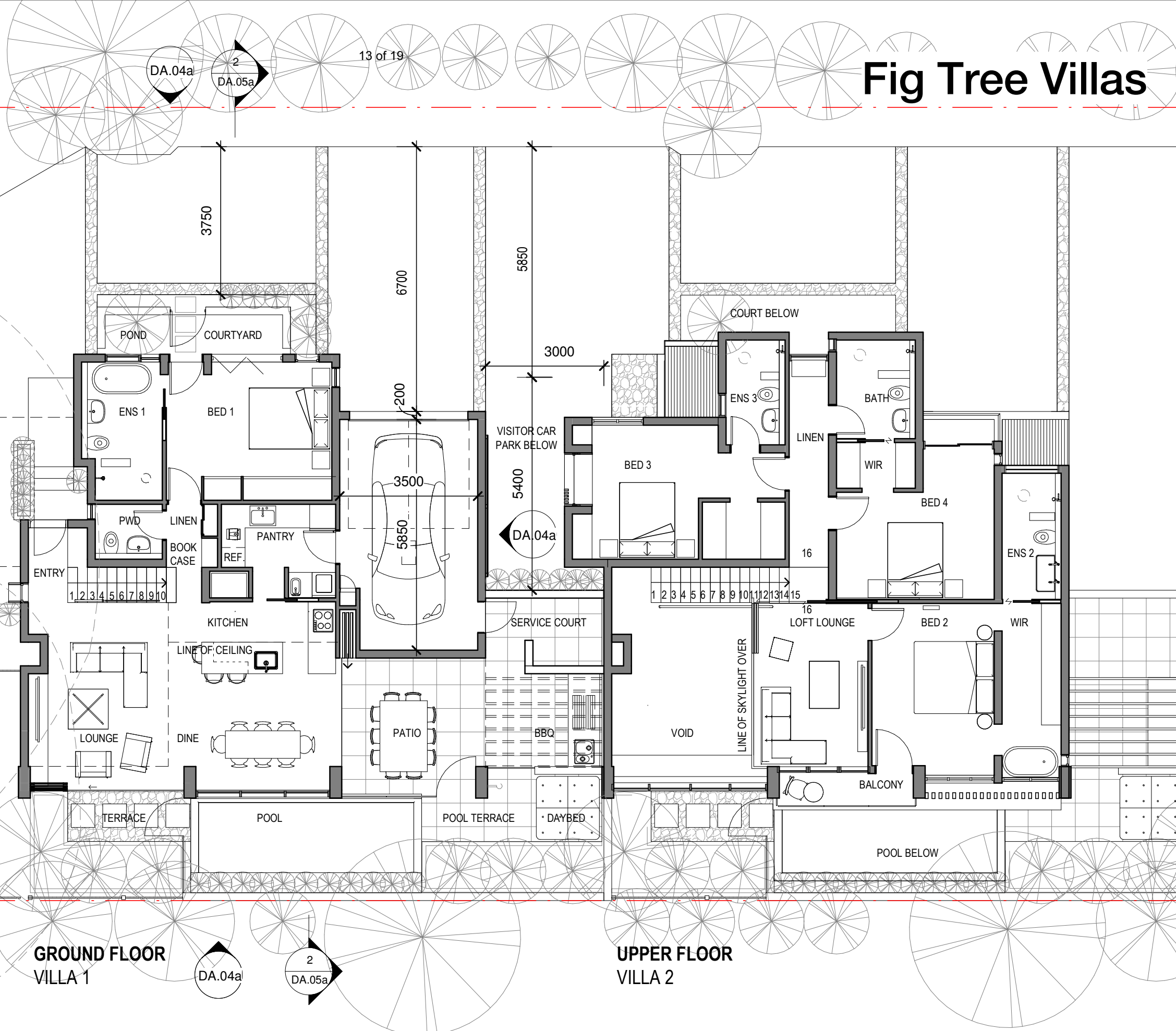
### VILLA 1

### VILLA 2

### VILLA 3

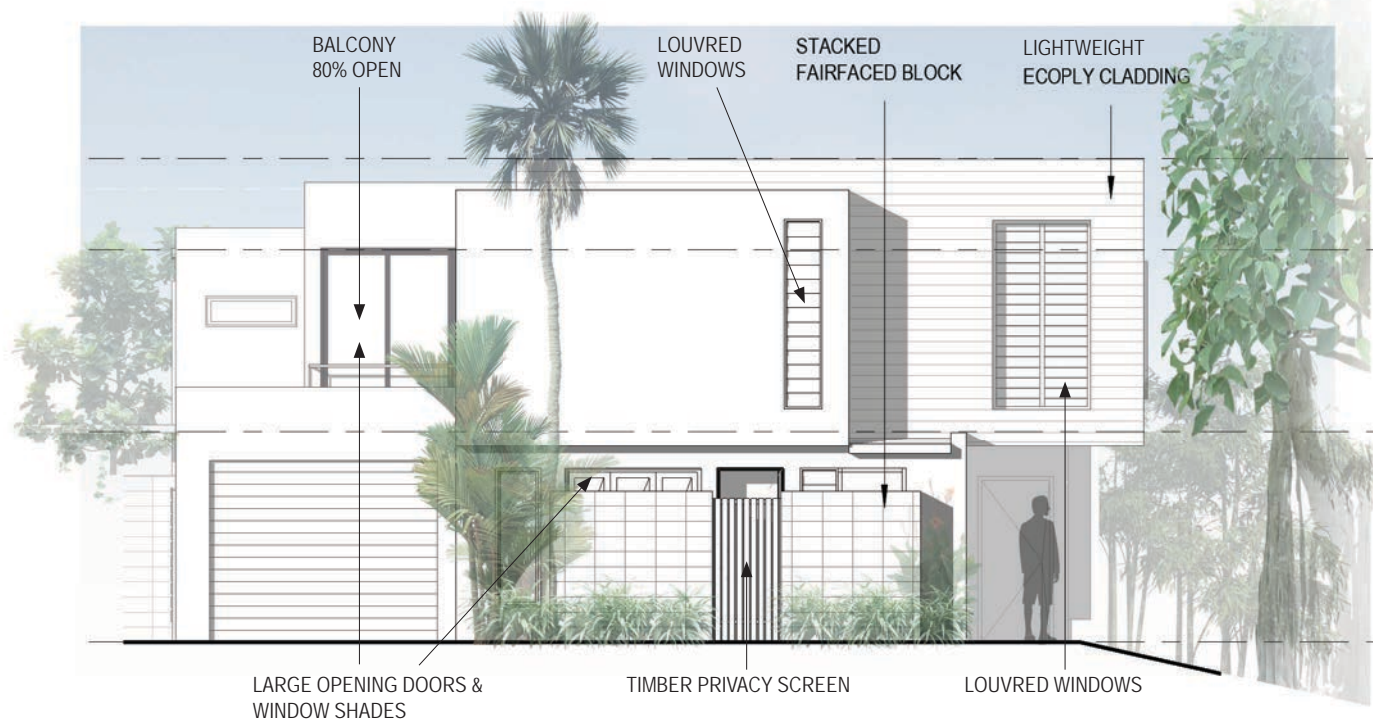
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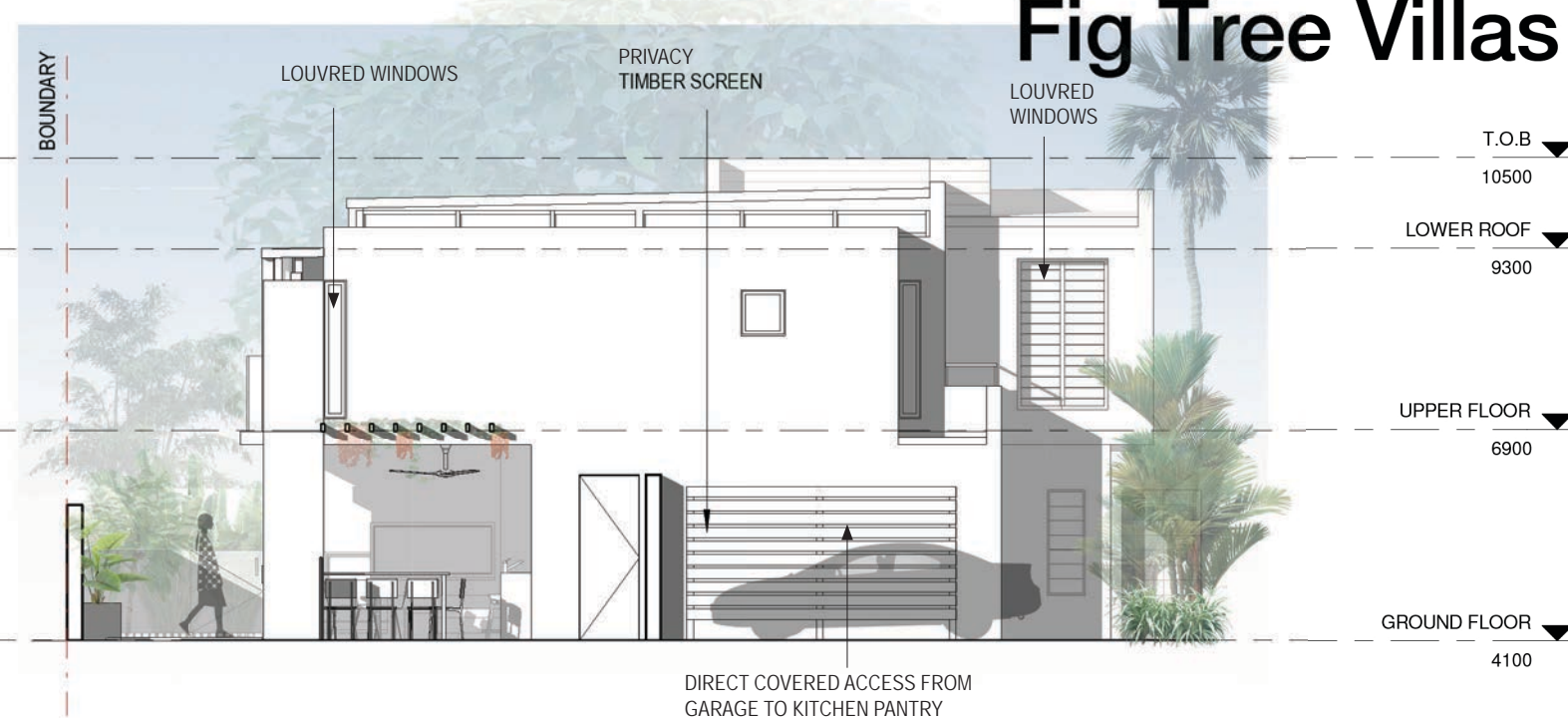




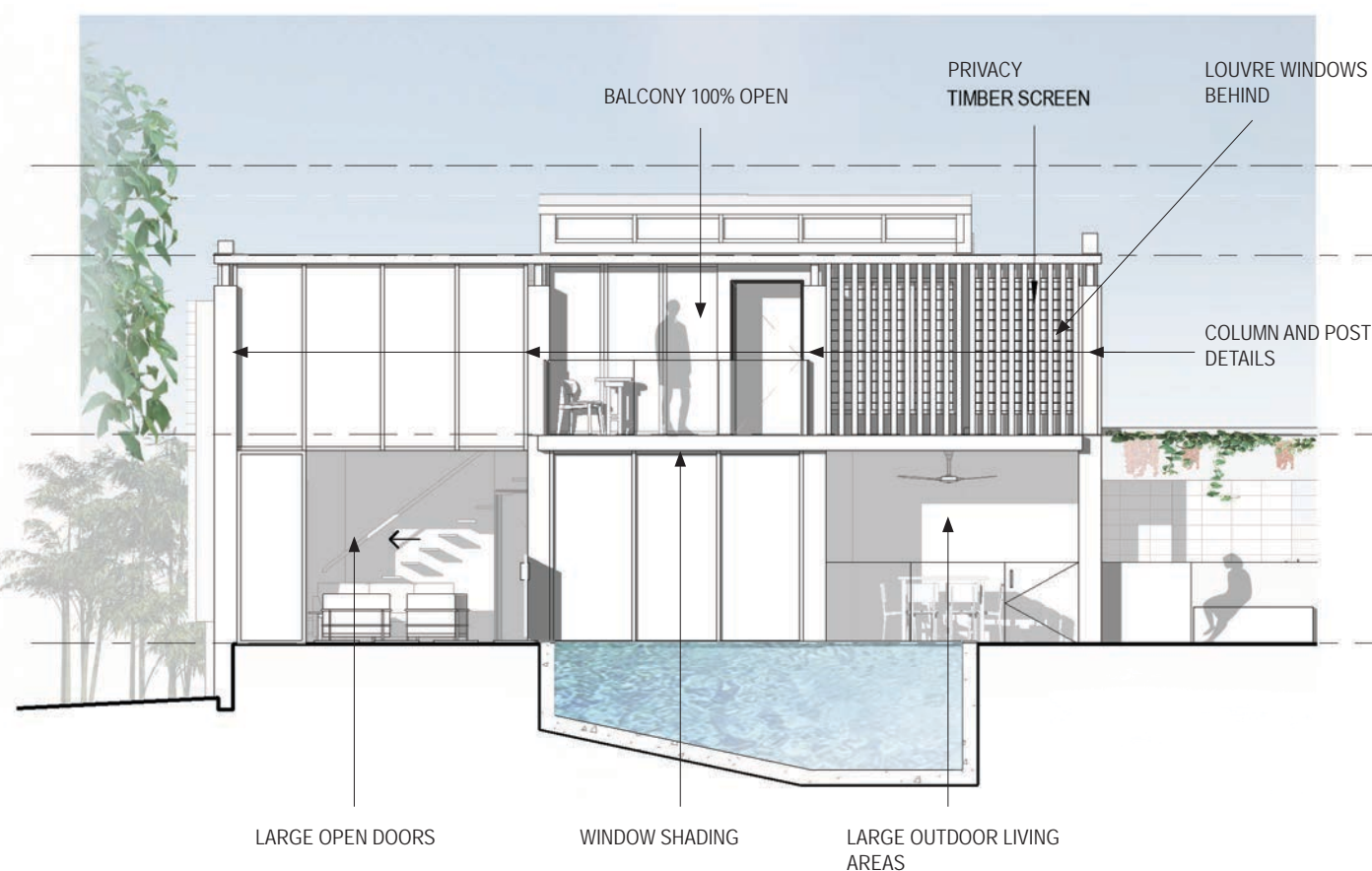
## Fig Tree Villas



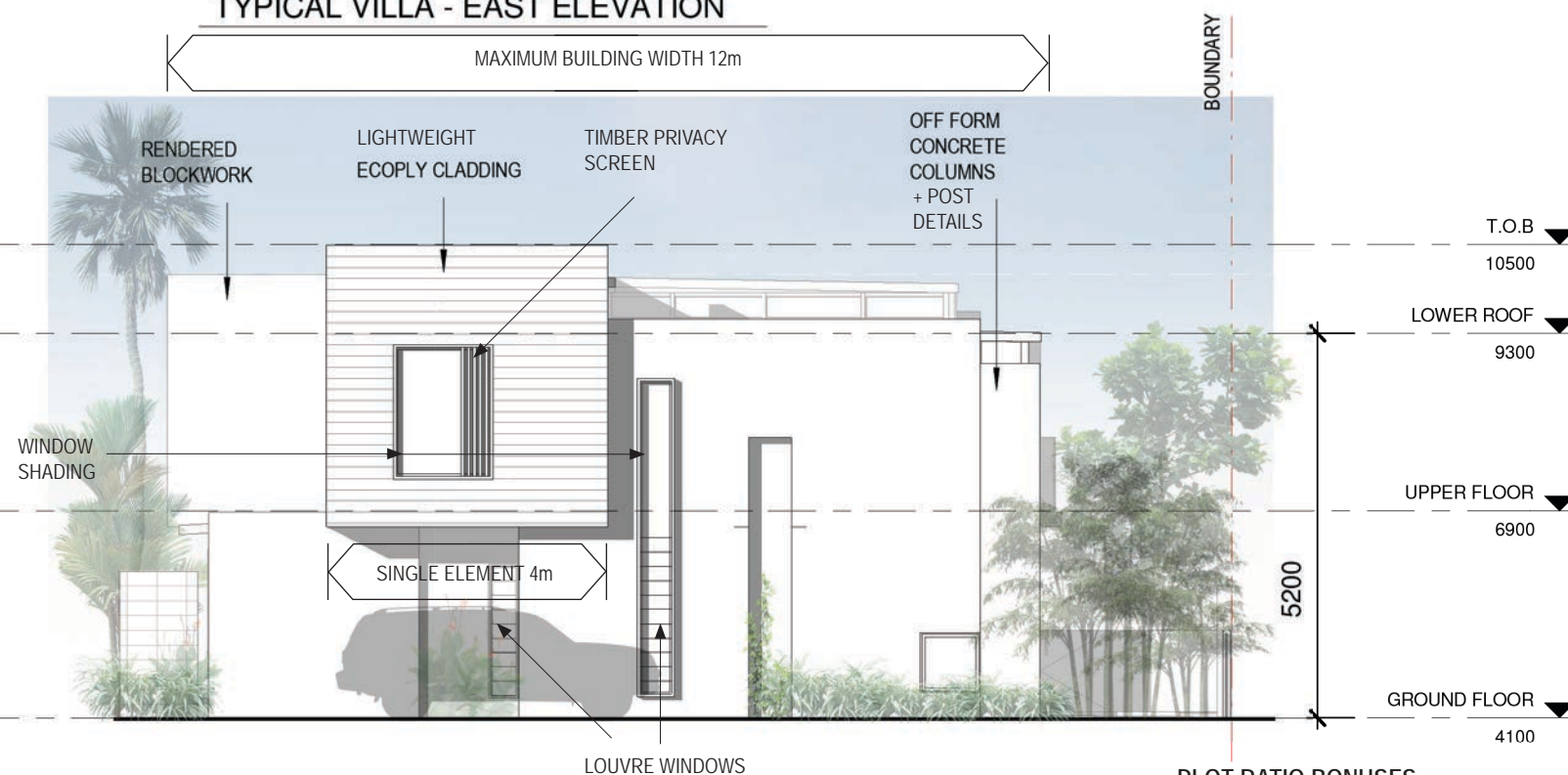
TYPICAL VILLA - NORTH ELEVATION



TYPICAL VILLA - EAST ELEVATION



TYPICAL VILLA - SOUTH ELEVATION



TYPICAL VILLA - WEST ELEVATION

## PLOT RATIO BONUSES

Privacy screens	.05 (complies)
Covered pedestrian access to car	.05 (complies)
Covered or screened windows	.15 (complies)
Building bulk no greater than 30m length	(complies)
No single feature greater than 15m	.10 (complies)
Total Bonus	.35
Required Bonus	.11 (complies)

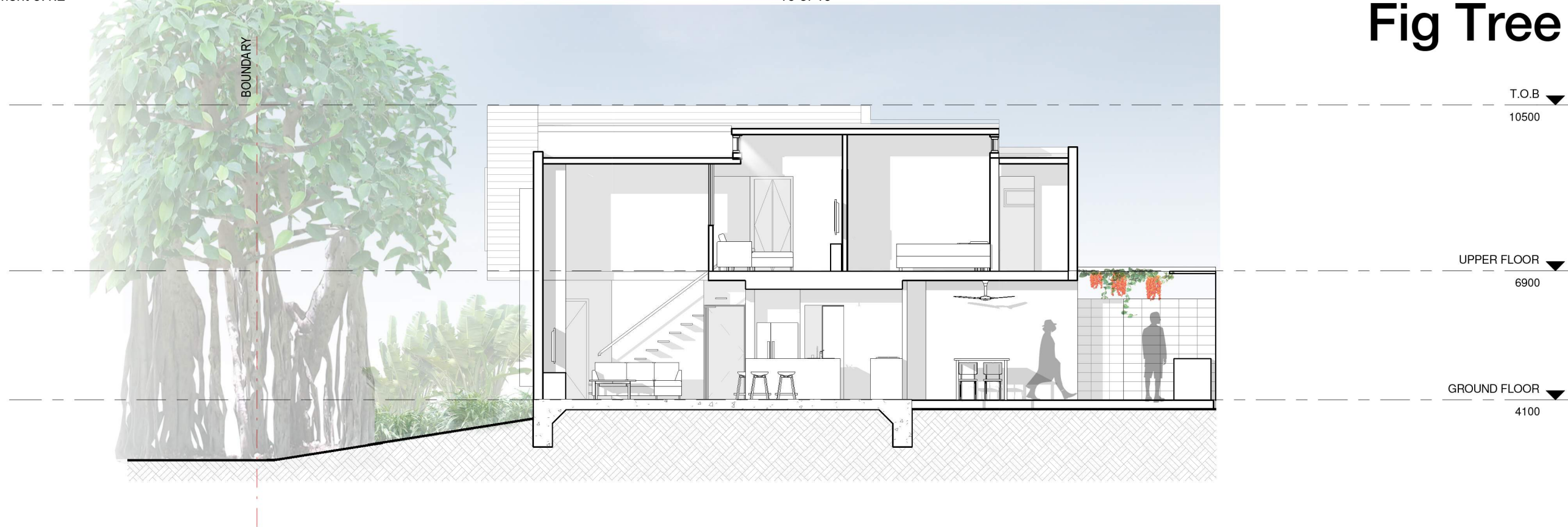


# Fig Tree Villas

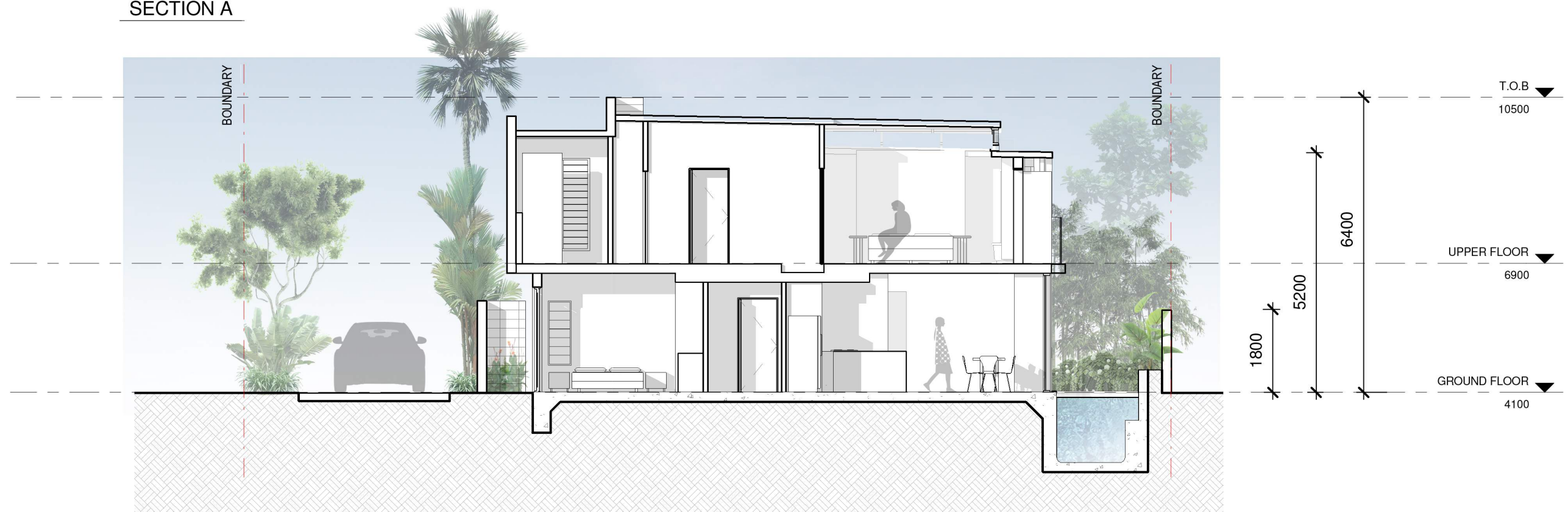




# Fig Tree Villas



SECTION A



SECTION B





# FIG TREE VILLAS, 14 MUDLO STREET, PORT DOUGLAS

## LANDSCAPE MASTER PLAN

### DRAWING NO.: LA-M.01

ISSUE DATE : 17/NOV/2017

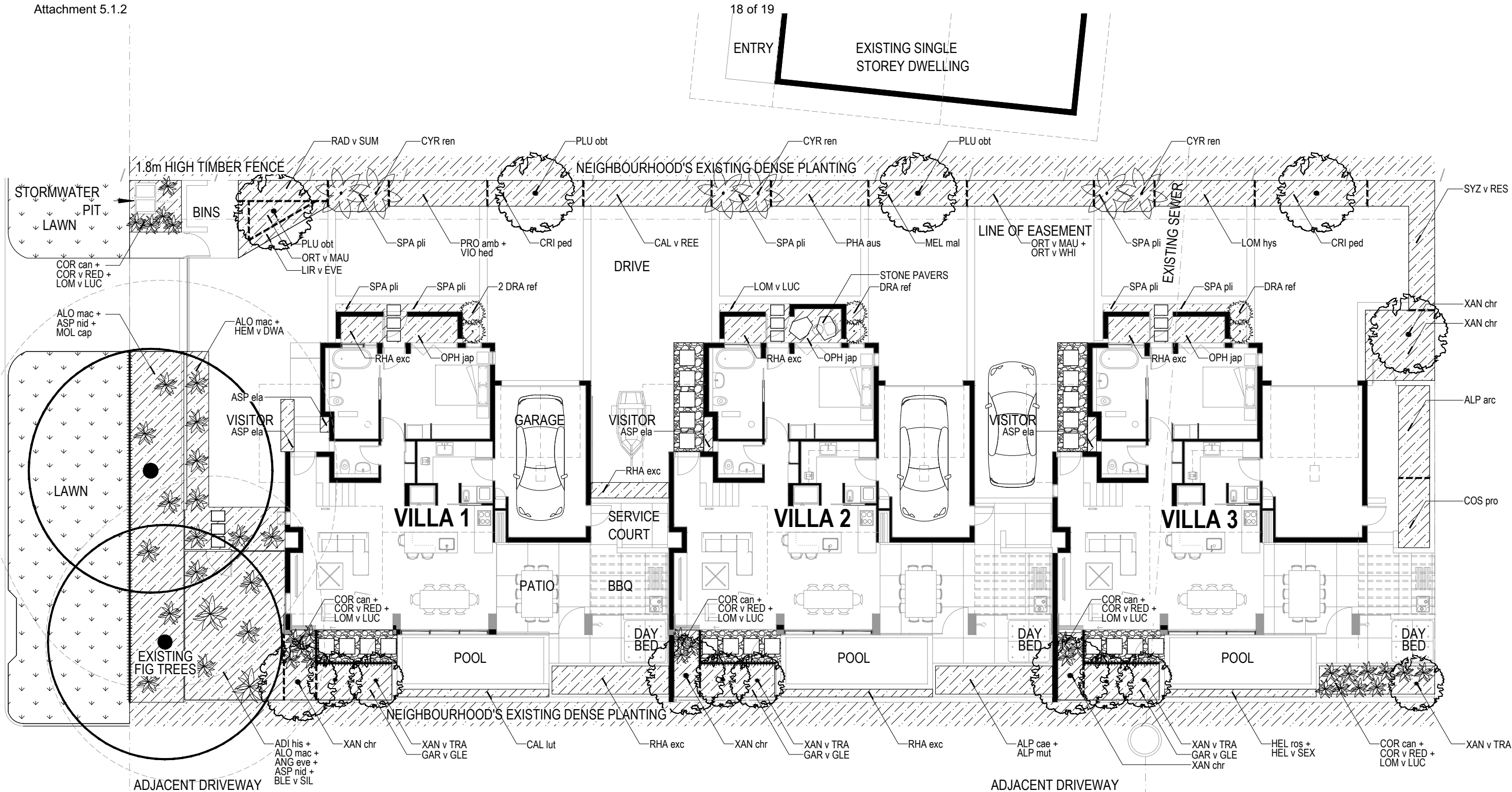
Ordinary Council Meeting - 20 February 2018

**ANDREW PROWSE**  
LANDSCAPE ARCHITECT  
PO BOX 1419 Cairns QLD 4870  
5 Quigley Street, Bungalow, Australia  
t 07 4031 3310  
m 0413 278 308  
e andrew@prowse.com.au

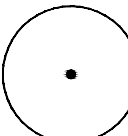
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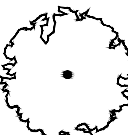



MUDLO STREET

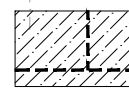


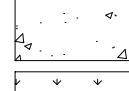
**LEGEND**

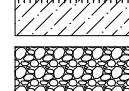
 EXISTING TREES

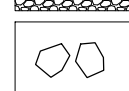
 PROPOSED TREES


 LAWN

 GARDEN AREA

 CONCRETE

 GARDEN EDGE

 GRAVEL

 STONE PAVERS

**PRELIMINARY ISSUE**  
Ordinary Meeting - 16/11/2017

ISSUES / REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED

**ANDREW PROWSE**  
LANDSCAPE ARCHITECT  
P.O. BOX 1419 Cairns QLD 4870  
5 Quigley Street, Bungalow, Australia  
t 07 4031 3310  
m 0413 278 308  
e andrew@prowse.com.au  
ABN 21 016 674 706

DRAWING TITLE			
LANDSCAPE DRAWING			
PROJECT NAME			
FIG TREE VILLAS, PORT DOUGLAS			
DRAWING NAME			
LANDSCAPE PLANTING PLAN			
DRAWN	CHECKED	SCALE	DATE
OY	AP	1:150 @A3 1:75 @A1	16/11/2017
JOB NO.	DRAWING NO.	REV	
1251	LA-P.01	-	



PLANTING SCHEME

Code	Botanical Name	Common Name	Size	Spacing	MEL mal	Native Lassandra	140mm	3/m <sup>2</sup>
TREES								
MEL rub	Melicope rubra	Little Evodia	45lt	As shown	MOL cap	Weevil Palm	140mm	5/m <sup>2</sup>
PLU obt	Plumeria obtusa	Evergreen Frangipani	45lt	As shown	OPH jap	Mondo Grass	140mm	6/m <sup>2</sup>
PLU rub	Plumeria rubra	Frangipani	45lt	As shown	ORT v MAU	Cats Whiskers	200mm	2/m <sup>2</sup>
XAN chr	Xanthostemon chrysanthus	Golden Penda	45lt	As shown	ORT v WHI	Cats Whiskers (White Flowers)	140mm	3/m <sup>2</sup>
XAN v TRA	Xanthostemon chrysanthus 'Trailblazer'	Golden Penda Trailblazer	45lt	As shown	PHA aus	Swamp Orchid	140mm	3/m <sup>2</sup>
PALMS								
CYR ren	Cyrtostachys renda	Lipstick Palm	45lt	As shown	PRO amb	Cardwell Lily	140mm	3/m <sup>2</sup>
LIC ram	Licuala ramsayi	Daintree Fan Palm	45lt	As shown	RAD v SUM	Radermachera Summerscent	200mm	1/m <sup>2</sup>
PTY ele	Ptychosperma elegans	Solitaire Palm	45 lt	As shown	SPA pli	Ground Orchid	140mm	9/m <sup>2</sup>
RHA exc	Rhapis excelsa	Rhaphis Palm	200mm	As shown	SYZ v RES	Lilly Pilly	200mm	1/m <sup>2</sup>
SHRUBS & GROUND COVERS								
ADI his	Adiantum hispidulum	Rough Maidenhair Ferns	140mm	9/m <sup>2</sup>	VIO hed	Native Violet	140mm	12/m <sup>2</sup>
ALO mac	Alocasia macrorrhiza	Elephants Ears	200mm	2/m <sup>2</sup>	REPLACEMENT PLANTING			
ALP arc	Alpinia arciflora	Snow Ginger	200mm	3/m <sup>2</sup>	BAR asi	Box Fruit Tree	45lt	As shown
ALP cae	Alpinia caerulea	Red Back Native Ginger	200mm	2/m <sup>2</sup>	DIL ala	Red Beach	45lt	As shown
ALP mut	Alpinia mutica	False Cardamon	200mm	2/m <sup>2</sup>	FIC vir	Fig Wood	45lt	As shown
ANG eve	Angiopteris evecta	King Fern	200mm	1/m <sup>2</sup>	MEL mal	Native Lassandra	140mm	3/m <sup>2</sup>
ASP ela	Aspidistra elatior	Cast Iron Plant	140mm	9/m <sup>2</sup>				
ASP nid	Asplenium nidus	Bird's-Nest-Fern	200mm	1/m <sup>2</sup>				
BLE v SIL	Blechnum v 'Silver'	Silver Blechnum Fern	140mm	1/m <sup>2</sup>				
CAL lut	Calathea lutea	Havana Cigar	200mm	5/m <sup>2</sup>				
CAL v REE	Callistemon v 'Reeves Pink'	Reeves Pink Bottlebrush	140mm	1/m <sup>2</sup>				
COR can	Cordyline cannifolia	Native Cordyline	140mm	6/m <sup>2</sup>				
COR v RED	Cordyline fruticosa 'Red Sister'	Red Sister Cordyline	140mm	1/m <sup>2</sup>				
COS pro	Costus productus	Costus	200mm	1/m <sup>2</sup>				
CRI ped	Crinum pedunculatum	Swamp Lily	140mm	2/m <sup>2</sup>				
DRA ref	Dracaena reflexa	Song of India	140mm	1/m <sup>2</sup>				
GAR v GLE	Gardenia psidioides 'Glennie River'	Gardenia Glennie River	140mm	3/m <sup>2</sup>				
HEL ros	Heliconia rostrata	Heliconia Lobster Claw	140mm	1/m <sup>2</sup>				
HEL v SEX	Heliconia chartacea v 'Sexy Pink'	Heliconia Sexy Pink	140mm	10/m <sup>2</sup>				
LIR v EVE	Liriope muscari 'Evergreen Giant'	Giant Liriope	140mm	5/m <sup>2</sup>				
LOM hys	Lomandra hystrix	Matt Rush	140mm	3/m <sup>2</sup>				
LOM lon	Lomandra longifolia	Matt Rush	140mm	1/m <sup>2</sup>				
LOM v LUC	Lomandra hystrix 'Luckystripe'	Matt Rush Luckystripe	140mm	5/m <sup>2</sup>				

Ficus superba (existing fig tree)  
Strangler Fig