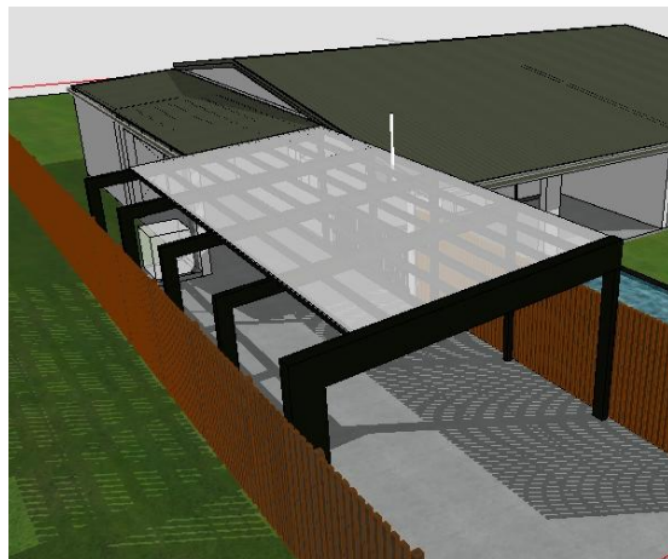
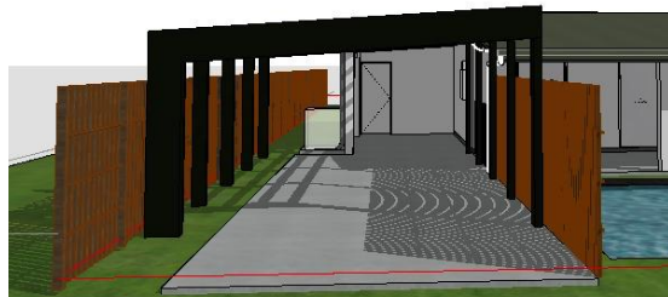


CHANGE APPLICATION

MINOR CHANGE

Multi-Residence

Lot 1, Unit 1/12 Ti Tree Street, Port Douglas QLD 4877
1 BUP70772





21/04/2026

File No: 20262774

Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

Dear Sir/Madam,

RE: CHANGE APPLICATION (MINOR CHANGE) UNDER S83 PLANNING ACT 2016

Development Application: TP 437
Property Address: Lot 1, Unit 1/12 Ti Tree Street, Port Douglas QLD 4877
Property Description: 1 BUP70772
Application Proposal: Carport

Buildable Approvals on behalf of Land Owners Bronwyn Green, do hereby seek approval for a Minor Change to development Approval TP 437 – Material Change of Use (Code) Dual Occupancy.

The Approved Plans affected by this Minor Change area as follows:

| Drawing or Document | Reference | Date |
|-----------------------------|-----------|------------|
| Site Plan, Plan, Elevations | | 19/04/1988 |
| Structural Details | | 19/04/1988 |

The Revised attached for review are:

| Drawing or Document | Reference | Date |
|------------------------------------|-----------|------------|
| Site Overview Plan & Perspectives | BR001 | 10/04/2026 |
| Floor plan - existing & demolition | BR001 | 10/04/2026 |
| Floor Plan | BR001 | 10/04/2026 |
| Roof Plan | BR001 | 10/04/2026 |
| Roof Framing Plan | BR001 | 10/04/2026 |
| Elevations | BR001 | 10/04/2026 |
| Sections 1 and 2 | BR001 | 10/04/2026 |
| Sections 3 and 4 | BR001 | 10/04/2026 |
| Reflected Ceiling Plans | BR001 | 10/04/2026 |

Summary of the changes to the approved design are:

The proposed Minor Change seeks to amend the approved development under Town Planning Scheme Application No. 437 to include a roofed carport structure attached to the existing approved duplex.

The approved development is based on the endorsed sketch plans, which currently provide for open, uncovered parking areas at ground level. The proposed amendment introduces an attached, open-sided carport located along the northern side boundary of the subject site.

The carport is proposed to be setback approximately 2.47 metres from the front boundary and 0.1 metres from the northern side boundary, with a maximum height of 2.7 metres. The structure is designed as an open-sided Class 10a building and will function as ancillary covered parking for the approved residential use.

No other changes are proposed to the approved development, and the overall layout, use, and function of the site remain consistent with the original approval.

Justification for Minor Change

The proposed amendment to include an attached carport is considered minor and appropriate for the following reasons:

- The carport is ancillary to the approved duplex development and does not introduce a new use or alter the approved residential land use.
- The structure is typical of residential development and provides covered parking consistent with contemporary residential expectations within the locality.
- The carport is open-sided in nature, which reduces its visual bulk and maintains a high level of visual permeability when viewed from the street and adjoining properties.
- The proposed structure is modest in scale, with a maximum height of 2.7 metres, and will not dominate the streetscape or detract from the character of the surrounding area.
- The siting of the carport along the northern side boundary is consistent with common residential design outcomes and maintains the functional use of the site without impacting the overall building layout.
- The proposal does not result in any additional demand on infrastructure, nor does it alter access arrangements, traffic generation, or servicing requirements associated with the approved development.
- The amendment does not impact the approved density or change the intended operation of the development.
- The proposed change will not adversely impact the amenity of adjoining properties, with the open-sided design minimising potential impacts relating to bulk, enclosure, or overshadowing.

Accordingly, the proposed change remains consistent with the intent of the original approval and is considered to be a minor change under the Planning Act 2016.

The Minor Change

The proposed Minor Change:

- Does not result in a 'substantially different development'
- Does not include prohibited development
- Does not introduce impact assessment where previously code assessable
- Does not introduce a new or additional referral agency

Furthermore, the Minor Change is not considered to be substantially different development as it:

- Does not involve a new use
- Does not apply to a new parcel of land
- Does not significantly change the scale or built form of the approved development
- Does not change the operation of the development from that intended
- Does not result in increased impacts on surrounding properties
- Does not adversely affect traffic, access, or infrastructure provision



In support of this Minor Change Application, the following is attached:

- Change Application Form 5
- Owners Consent Forms
- Amended Plans

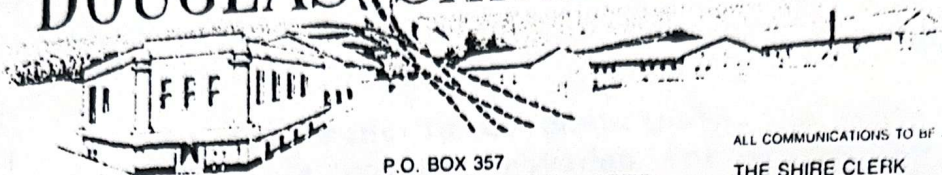
If you have any queries or require any additional information, please do not hesitate to contact Ryan Wagemaker on 07 4222 9888.

Yours sincerely

A handwritten signature in black ink, appearing to read "Ryan Wagemaker", with a long horizontal flourish extending to the right.

Building Certifier: Ryan Wagemaker
QBCC Accreditation No: A15149682

DOUGLAS SHIRE COUNCIL



P.O. BOX 357
MOSSMAN Q. 4873

TELEPHONE (070) 98 1555 - ADMINISTRATION OFFICES
98 1644 - WORKS DEPOT
98 1822 - ENGINEERING OFFICE
FAX No. (070) 98 1902

ALL COMMUNICATIONS TO BE ADDRESSED TO
THE SHIRE CLERK

IF CALLING OR TELEPHONING ON THIS MATTER
ASK FOR -

Mr J F Parsons

QUOTE REFERENCE

T2A JFP:DLC

YOUR REFERENCE

R Cavallaro,
3 Johnston Road,
MOSSMAN. Q. 4873

19th April, 1988.

Dear Sir,

RE: Town Planning Scheme Application No. 437

I refer to your application 2nd March, 1988 for land use approval under the provisions of the Town Planning Scheme for the development of a Duplex on land described as Lot 14 RP 28667, Parish of Salisbury, County of Solander.

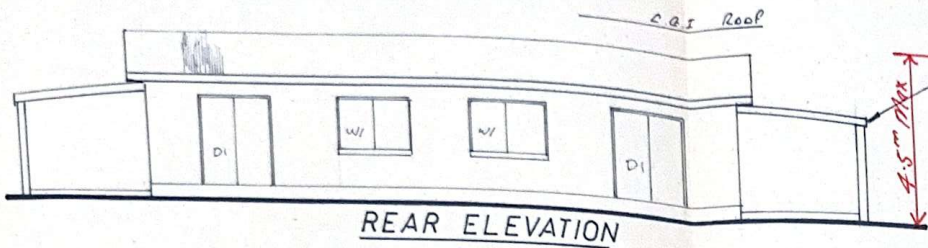
This application has been considered by Council and I advise that Council has granted approval thereto subject to the following conditions:-

- 1) Should work on the development as approved not be commenced within a period of two (2) years from the date of this approval, Council may implement action to revoke the approval as given.
- 2) The Building Application must be in accordance with the Building Act when submitted and must also substantially comply with the sketch plan submitted with the Consent Application.
- 3) The approval does not constitute a Building Permit and a Building Permit must be obtained before any building operations proceed.
- 4) The development must comply with the provisions of:
 - a) Council's Town Planning Scheme;
 - b) The Local Government Act, the Building Act, the Fire Safety Act and all other relevant acts and regulations and the By-Laws of the Council shall at all times be observed and performed in relation to the land, the building and the use and occupation thereof.
 - c) The Traffic Act, with particular reference to the egress of vehicles from the site in a forward gear.
- 5) The driveway from the existing road pavement to the car parking area of the units is to be bitumen sealed or paved with paving blocks or concrete.

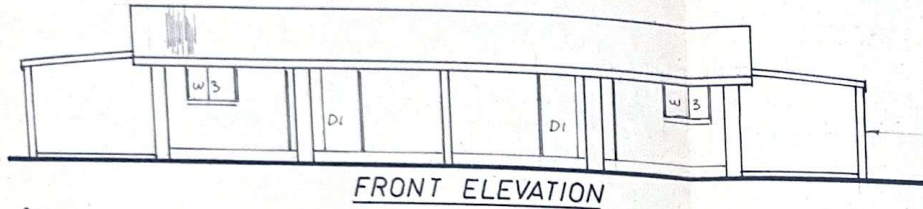
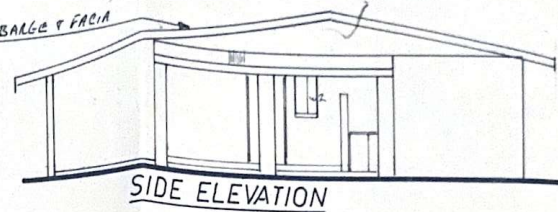
- 6) The applicant is to contribute, in accordance with Council's policy provided for in Section 33 (18e) and 33 (18f) of the Local Government Act, towards the provision of water headworks. The contribution is to be paid at the time of the building application at the rate current at that time. On the basis of the Facts and Circumstances set out in the application and the current provisions of the policy, the estimated contribution is Five Thousand Two Hundred and Eighty Dollars (\$5,280).
- 7) The applicant is to contribute, in accordance with Council's policy provided for in Section 33 (18e) and 33 (18f) of the Local Government Act, towards the provision of sewerage headworks. The contribution is to be paid at the time of the building application at the rate current at that time. On the basis of the Facts and Circumstances set out in the application and the current provisions of the policy, the estimated contribution is Four Thousand Six Hundred Dollars (\$4,600).
- 8) The setback area along the front property boundary is to be extensively landscaped, in accordance with a landscape plan to be submitted to and approved by Council, so as to provide an effective visual barrier to adjoining properties. Such landscaping is to be established within a period of six (6) months from completion of the building.
- 9) The conditions of the Town Planning Consent are to be effected prior to the commencement of the specific use of the said consent.

Yours faithfully,

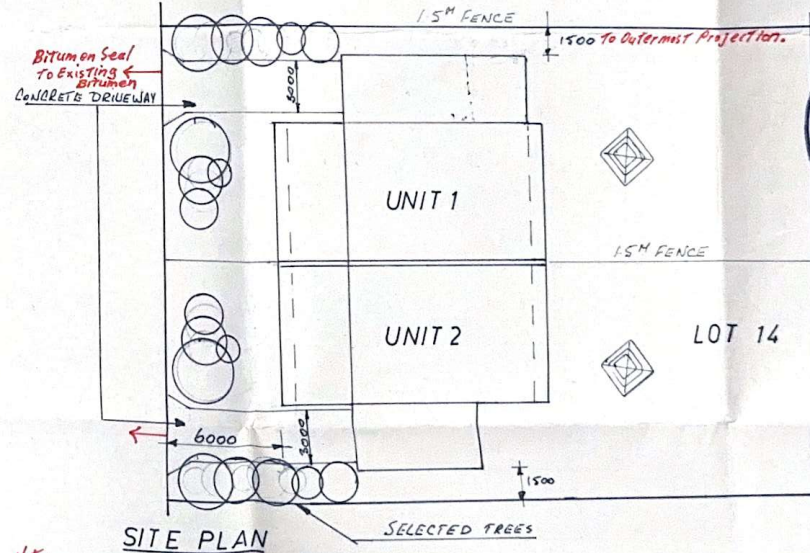
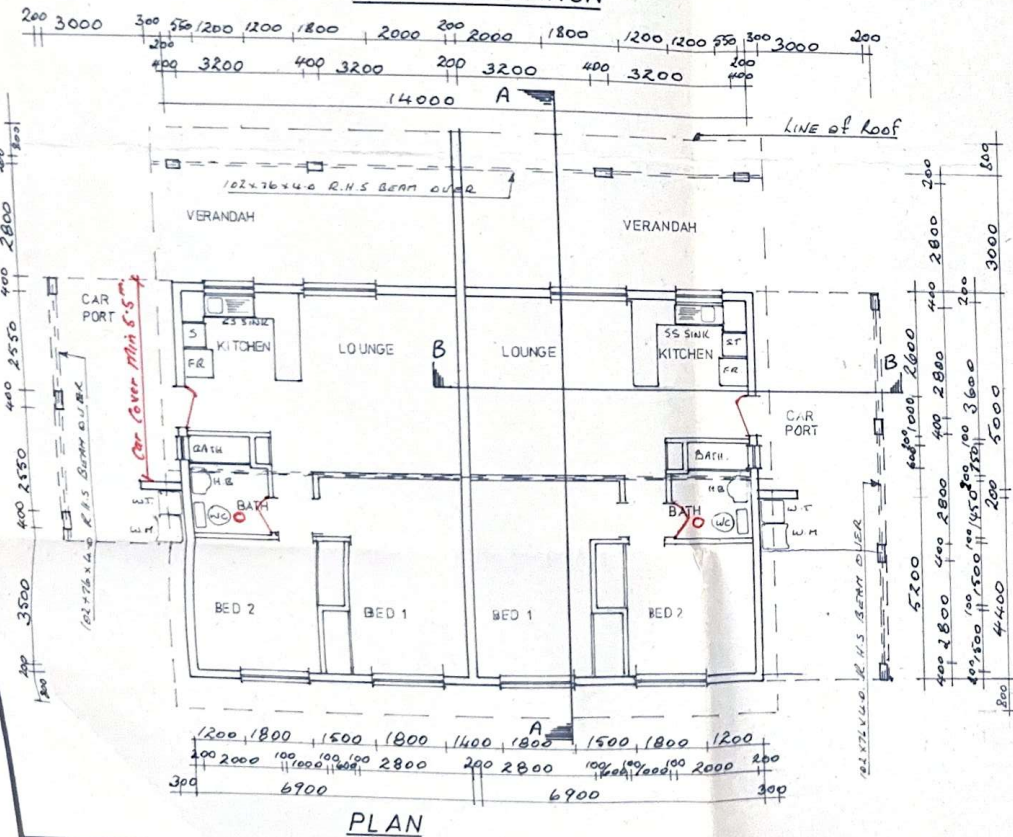
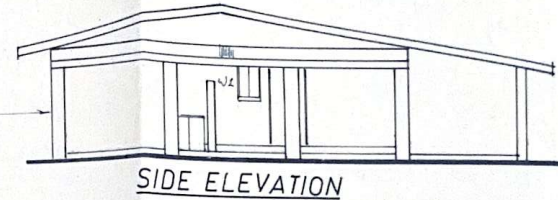
A.J. Twomey,
SHIRE CLERK.



STRATED OR SIMILAR BALGE & FACIA



200x200x400 H.M.B.



Notes

- 1: Provide vent through roof to Outside Air in W.C.
- 2: Provide F 82 - 50 mm thick in all 100 walls.

UNIT DEVELOPMENT
LOT 14
FOR J.P. LOMBARD

DOUGLAS SHIRE COUNCIL
CONDITIONS APPLICABLE TO BUILDING PERMIT
NO 3650

- The building permit issued in connection with this application.
- Does not relieve the owner of responsibility to ensure that the work is carried out in conformity with the approved plans and specifications.
 - Does not impose an obligation upon the Council to undertake detailed supervision of the builder nor shall it be implied that the Council warrants the stability of the structure for which the designer and the builder are entirely responsible.
 - Is given on the understanding that all works be carried out strictly in accordance with the approved plans and specifications, the by-laws of the Douglas Shire Council and any other requirements as may be imposed.
 - Does not give permission for the installation of a septic system nor for the connection of water. Separate applications must be submitted for each of these items.

APPROVED
J.P. Lombard
(Building Surveyor)
4-5-88
(Date)



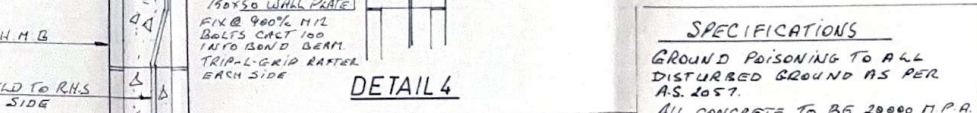
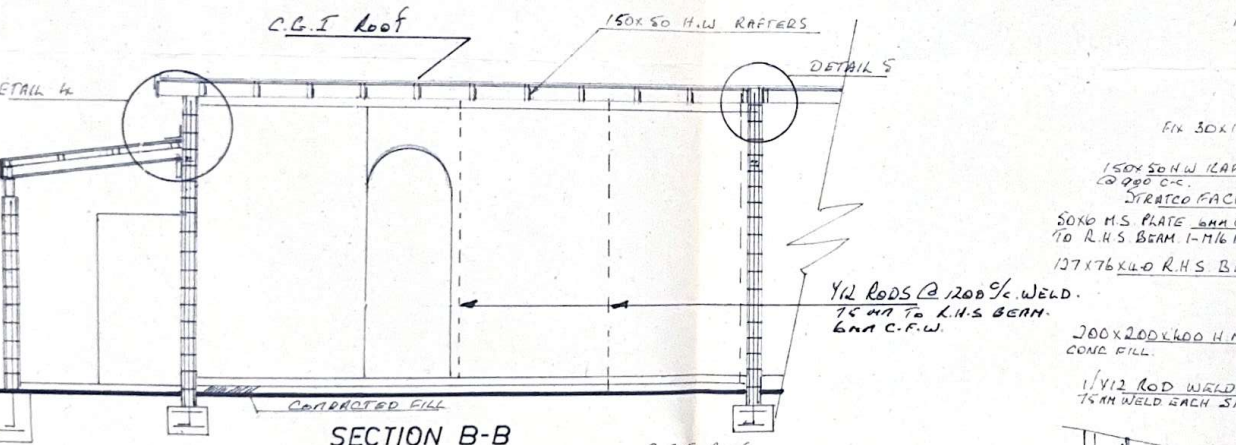
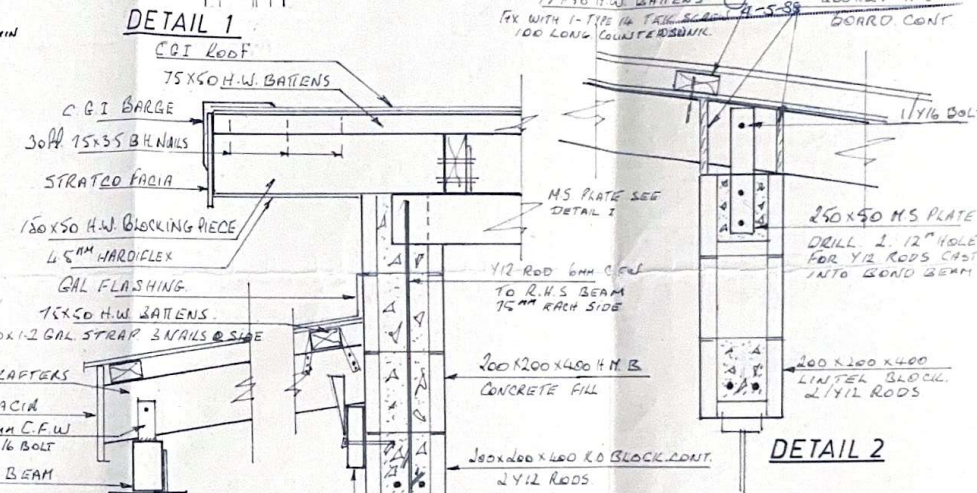
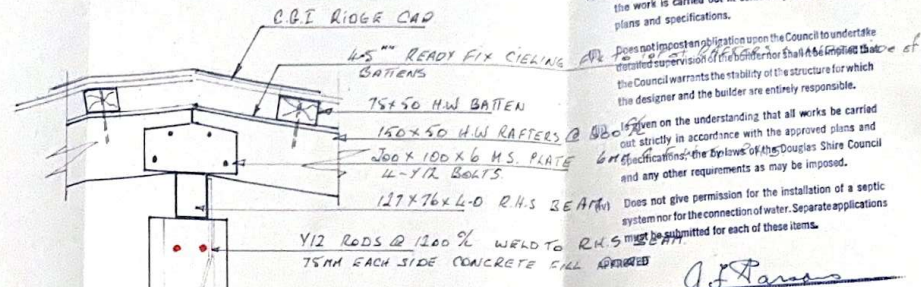
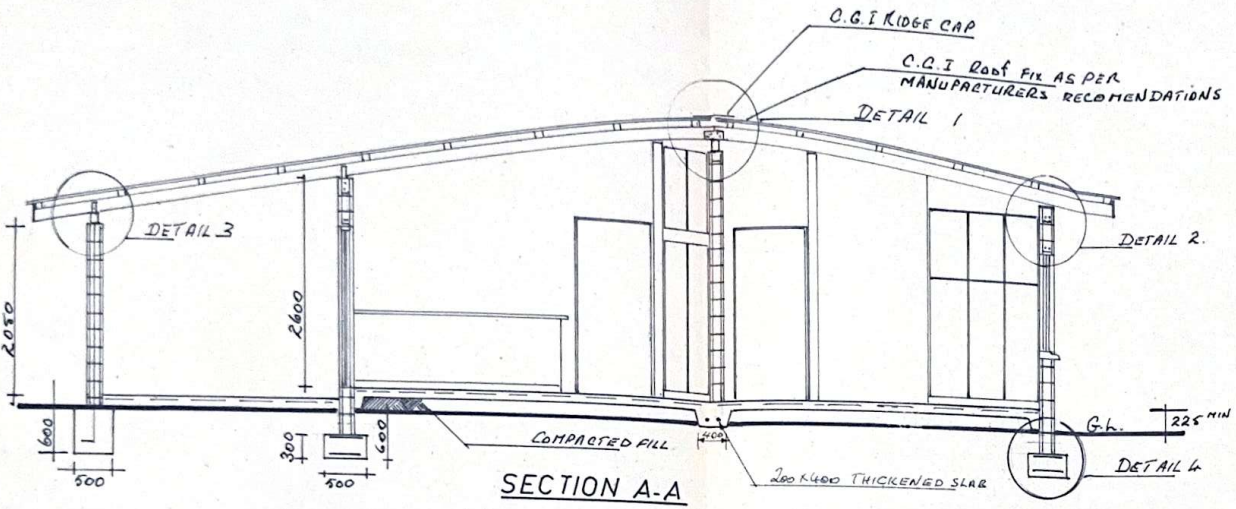
The building permit issued in connection with this application, does not relieve the owner of responsibility to ensure that the work is carried out in conformity with the approved plans and specifications.

Does not impose any obligation upon the Council to undertake or fund any inspection of the work or to be engaged in the design of the Council warrants the stability of the structure for which the designer and the builder are entirely responsible.

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Building Surveyor
 J. P. Lombard



SPECIFICATIONS

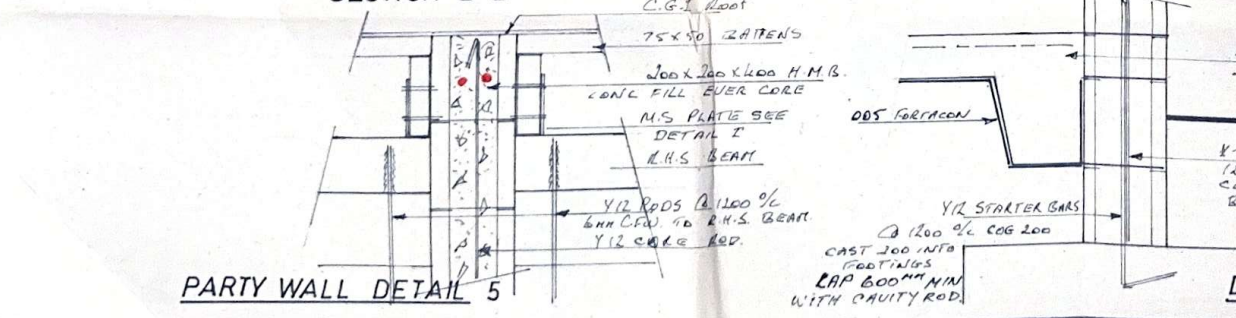
GROUND POISONING TO ALL DISTURBED GROUND AS PER A.S. 2057.

ALL CONCRETE TO BE 28000 N.P.A. PARTY WALL TO HAVE EVERY CORE FILLED

CLOTHES DRYING FACILITIES TO BE PROVIDED

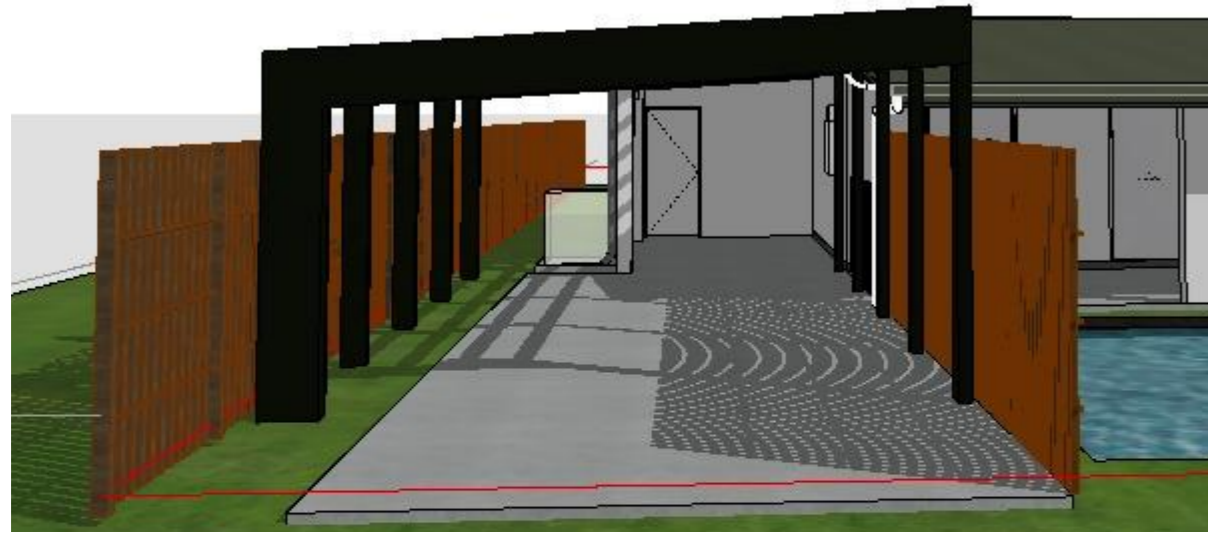
WINDOW + DOOR SCHEDULE

| | |
|----|-------------|
| DI | 2050 x 1800 |
| DR | 2050 x 820 |
| W1 | 1200 x 1800 |
| W2 | 600 x 600 |
| W3 | 1200 x 1200 |



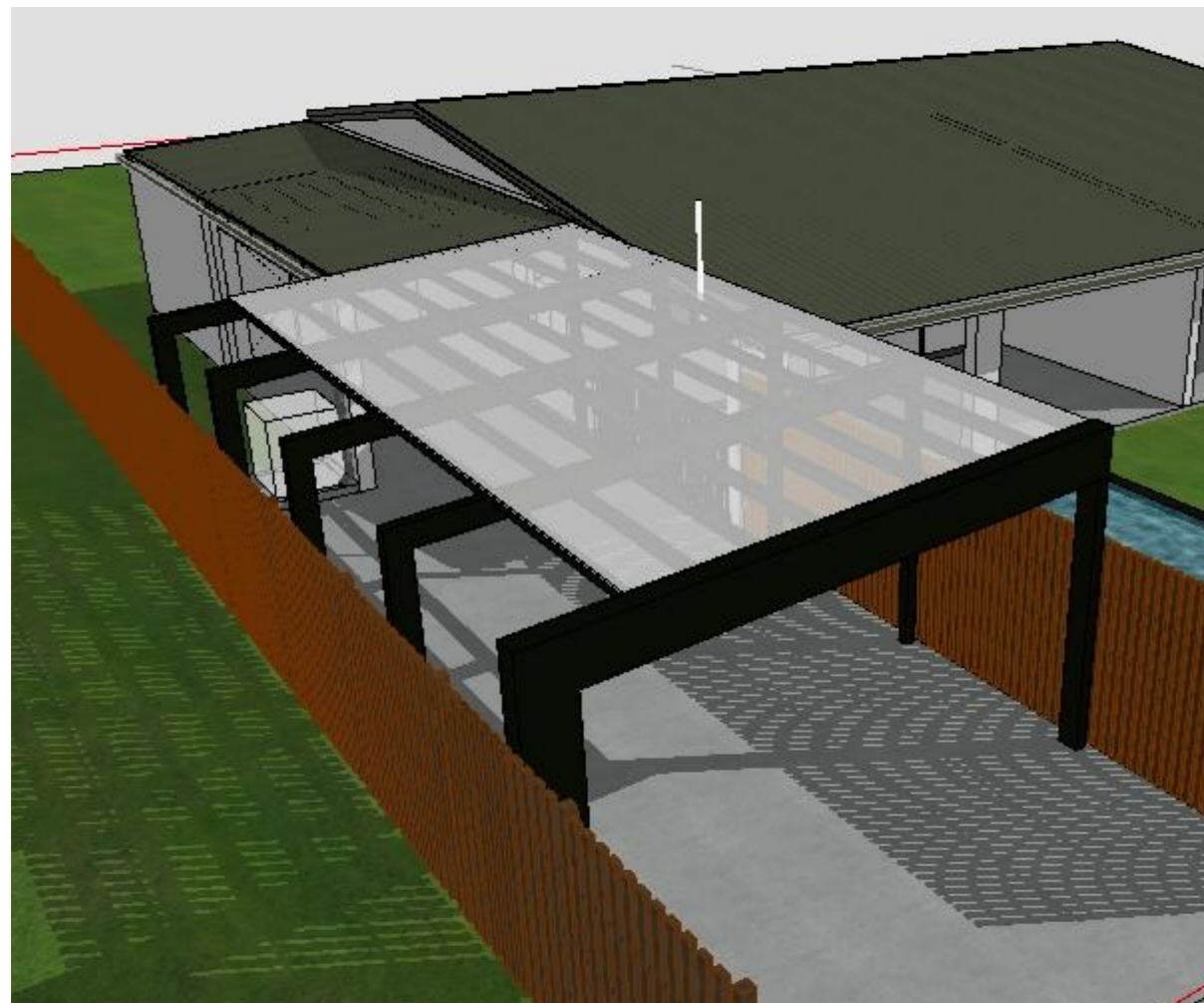
STRUCTURAL DETAILS LOT. 14.
 FOR J. P. LOMBARD

The Following Pages are for the proposed Carport at Unit 1-12 (1 BUP70772) Ti Tree Street, Port Douglas



EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY

1/12 TI STREET PORT DOUGLAS 4877



| SHEET INDEX | | |
|-------------|---------------------|--------|
| DRG No. | DRAWING NAME | REV ID |
| 00 | COVER SHEET | 01 |
| 1.1 | SITE PLAN | 01 |
| 2.1 | EXISTING CONDITIONS | 01 |
| 3.1 | FLOOR PLAN | 01 |
| 3.2 | ROOF PLAN | 01 |
| 3.3 | ROOF FRAMING PLAN | 01 |
| 4.1 | ELEVATIONS | 01 |
| 5.1 | SECTIONS 1 & 2 | 01 |
| 5.2 | SECTIONS 3 & 4 | 01 |
| 6.1 | RCP | 01 |

IMPORTANT NOTES
 THE BUILDER IS TO CHECK ALL DRAWINGS FOR DETAIL, CONTENT AND DIMENSIONS PRIOR TO COMMENCEMENT OF ANY WORK.
 DO NOT SCALE THESE DRAWINGS. SEEK CONFIRMATION FROM ARCHITECT IF DIMENSIONS ARE NOT CLEAR.
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| RevID | ChID | CHANGE DESCRIPTION | DATE |
|-------|-------|--|-----------|
| 01 | Ch-04 | STRUCTURE CHANGED TO TIMBER PURLINS, STEEL BEAMS REMOVED | 10/4/2026 |
| | | | |
| | | | |
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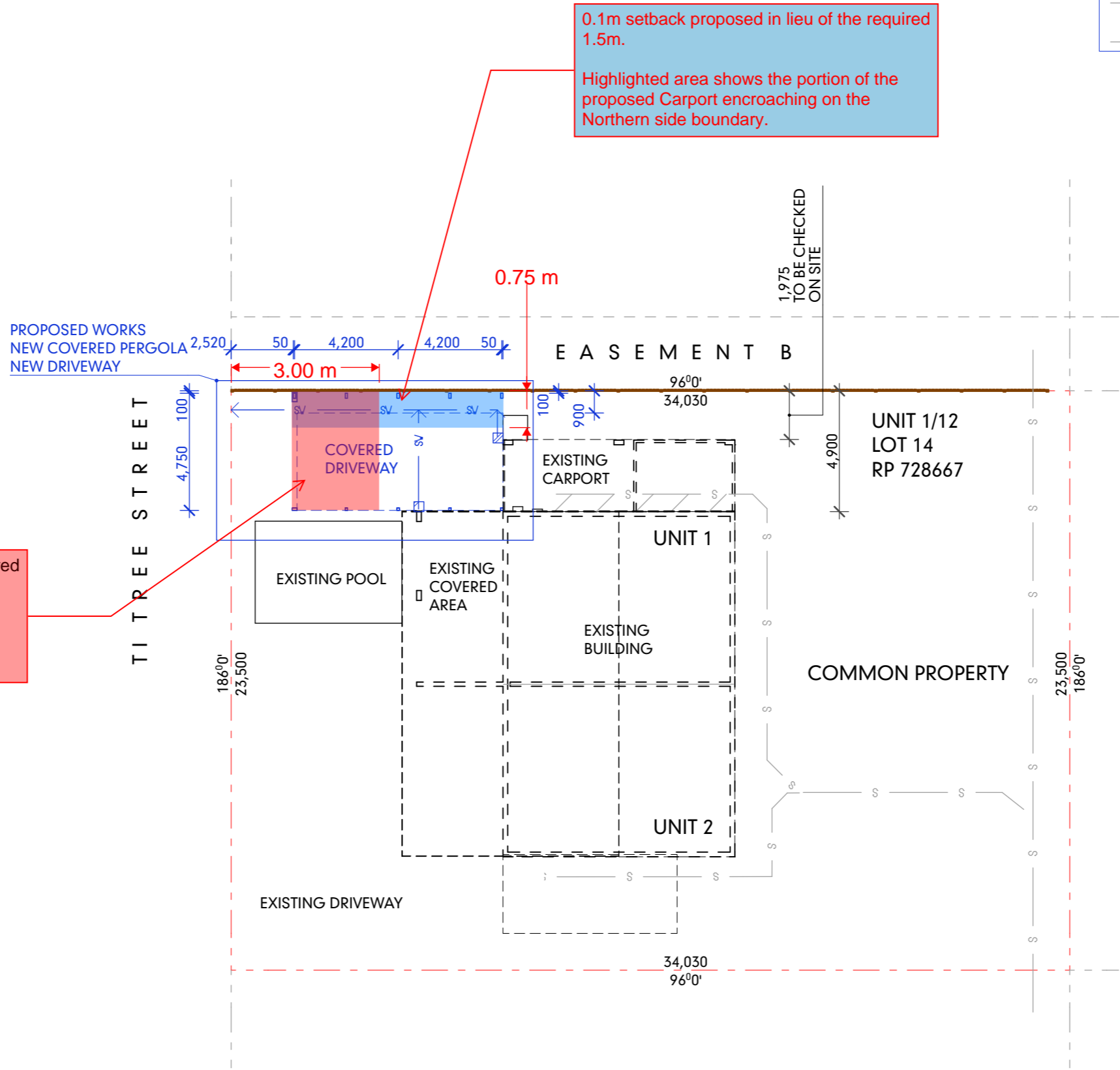
| | | | | |
|---|--|--|-------------------------------|---------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | | SCALE 1:133.33, 1: | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | | TITLE PROJECT CONTENTS - COVER SHEET | | |
| | | PROJECT NO. BR001 | DATE 10/4/2026 | |
| | | DRAWING NO. 00 | REVISION 01 | |

| | | | | |
|---|--|--|-------------------------------|---------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | | SCALE 1:133.33, 1: | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | | TITLE PROJECT CONTENTS - COVER SHEET | | |
| | | PROJECT NO. BR001 | DATE 10/4/2026 | |
| | | DRAWING NO. 00 | REVISION 01 | |

| | | |
|--------|-------------------------------|--|
| NOTE | | |
| — S — | EXIST SEWER (INDICATIVE ONLY) | |
| — SV — | PROPOSED STORMWATER LINE | |

0.1m setback proposed in lieu of the required 1.5m.
 Highlighted area shows the portion of the proposed Carport encroaching on the Northern side boundary.

2.47m setback proposed in lieu of the required 6m.
 Highlighted area shows the portion of the proposed Carport encroaching on the Road Frontage.



SITE PLAN
 SCALE 1:200

| RevID | ChID | CHANGE DESCRIPTION | DATE |
|-------|------|--------------------|-----------|
| 01 | | | 10/4/2026 |
| | | | |
| | | | |
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IMPORTANT NOTES

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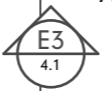
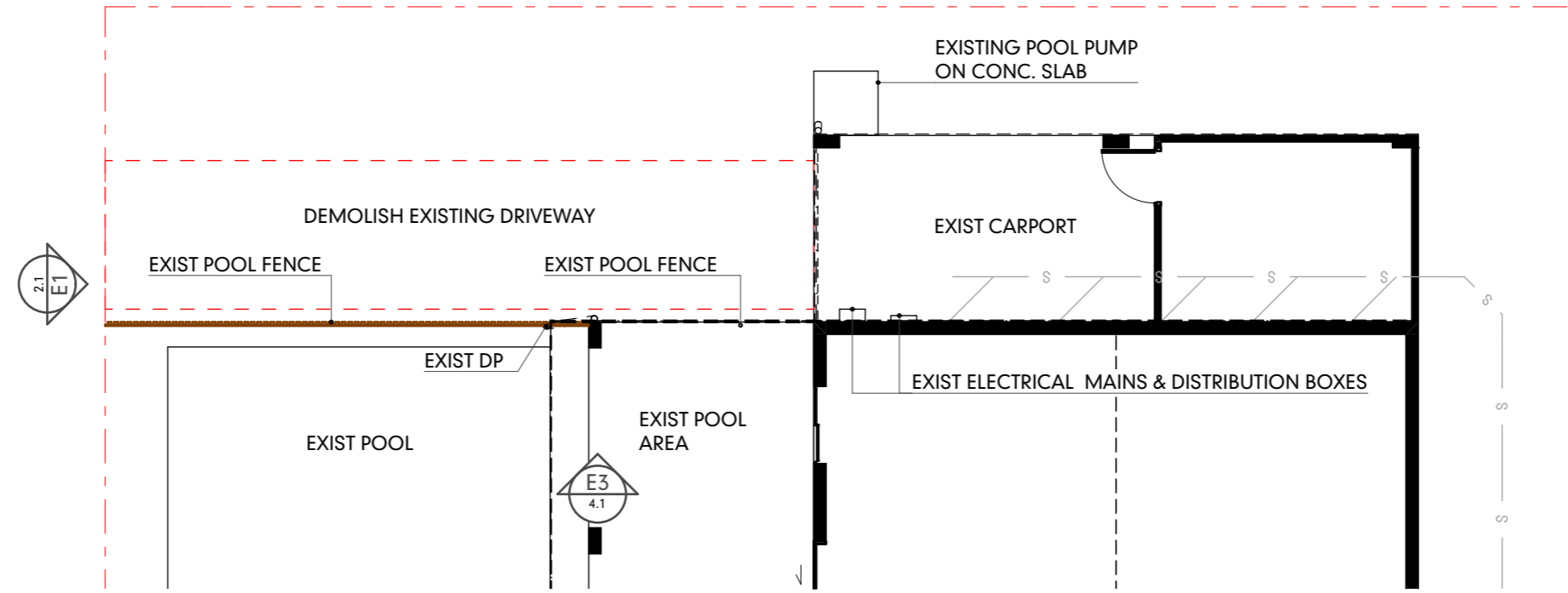
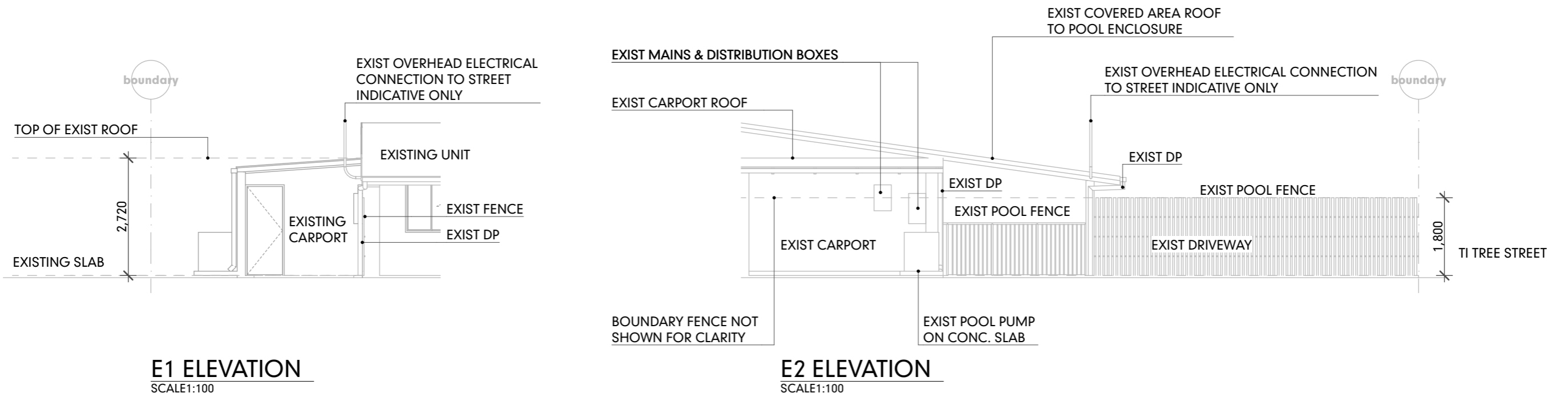
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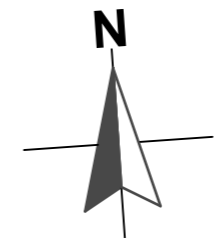
THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS OR STATUTORY REQUIREMENTS AND ARE PROVIDED AS DIRECTION TO THE APPROPRIATE SOURCE OF RELEVANT AND IMPORTANT INFORMATION.

| | | | | | | | |
|---------|--|-------------|-------------|----------|-----------|---------|--|
| CLIENT | BRON GREEN | SCALE | 1:200 | DRAWN | VARIOUS | CHECKED | |
| | 1/12 TI STREET PORT DOUGLAS 4877 | SHEET SIZE | A3 | | | | |
| | LOT 15, RP 746776 | | | | | | |
| PROJECT | EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | TITLE | SITE PLAN - | | | | |
| | | TITLE | SITE PLAN | | | | |
| | | PROJECT NO. | BR001 | DATE | 10/4/2026 | | |
| BUILDER | LINCOLN CONSTRUCTIONS, BSA License number: *** | DRAWING NO. | 1.1 | REVISION | 01 | | |



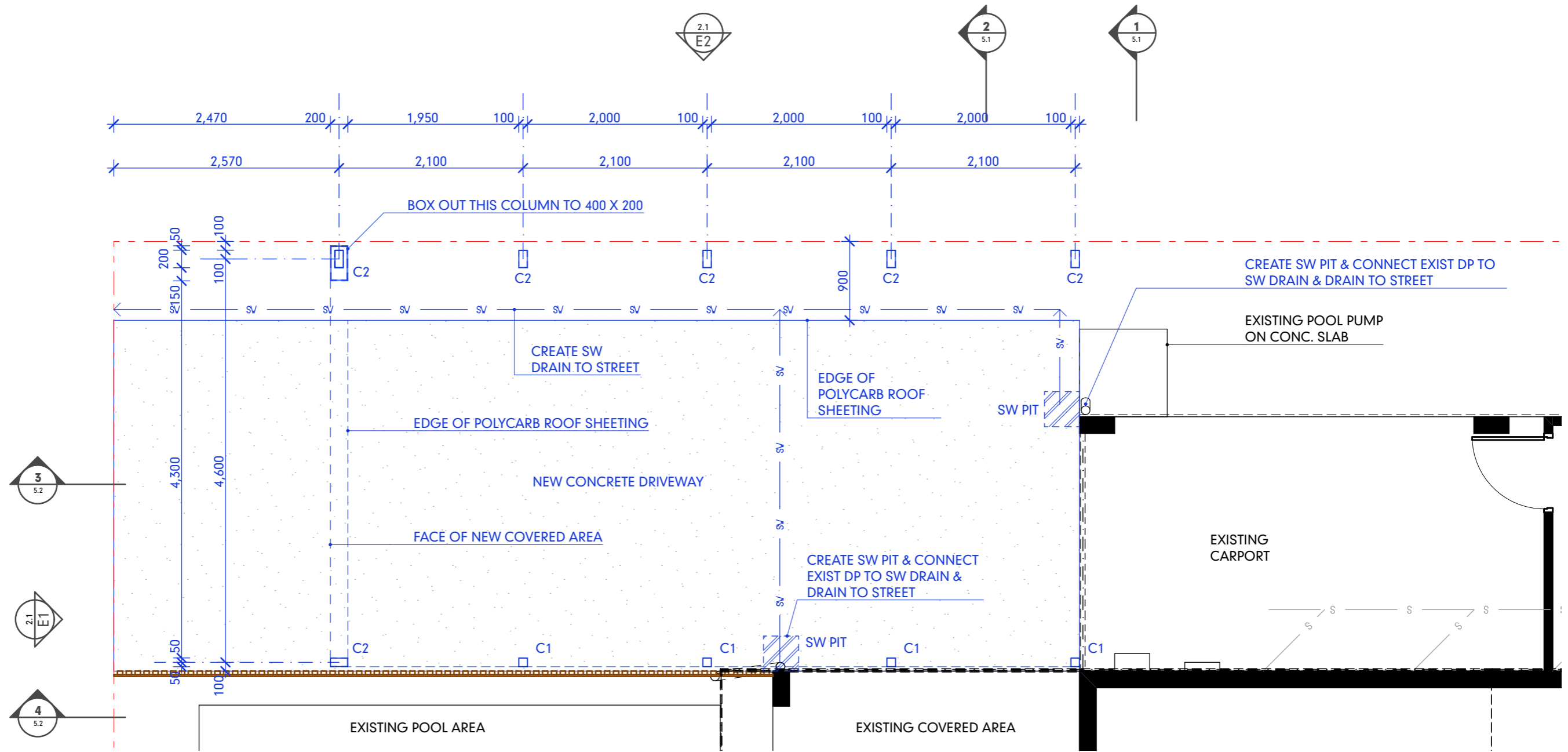
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| RevID | ChID | CHANGE DESCRIPTION | DATE |
|-------|------|--------------------|-----------|
| 01 | | | 10/4/2026 |
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| | | | |
|---|--|-------------------------------|-------------------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | SCALE 1:100 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | TITLE EXISTING & DEMOLITION - EXISTING CONDITIONS | | DATE 10/4/2026 |
| | DRAWING NO. 2.1 | REVISION 01 | |

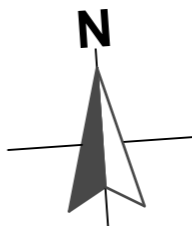
| LEGEND - STRUCTURAL ELEMENTS | |
|------------------------------|----------------------|
| C1 | - 100 SHS |
| C2 | - 200 X 100 RHS |
| TP | - HWD TIMBER PURLINS |



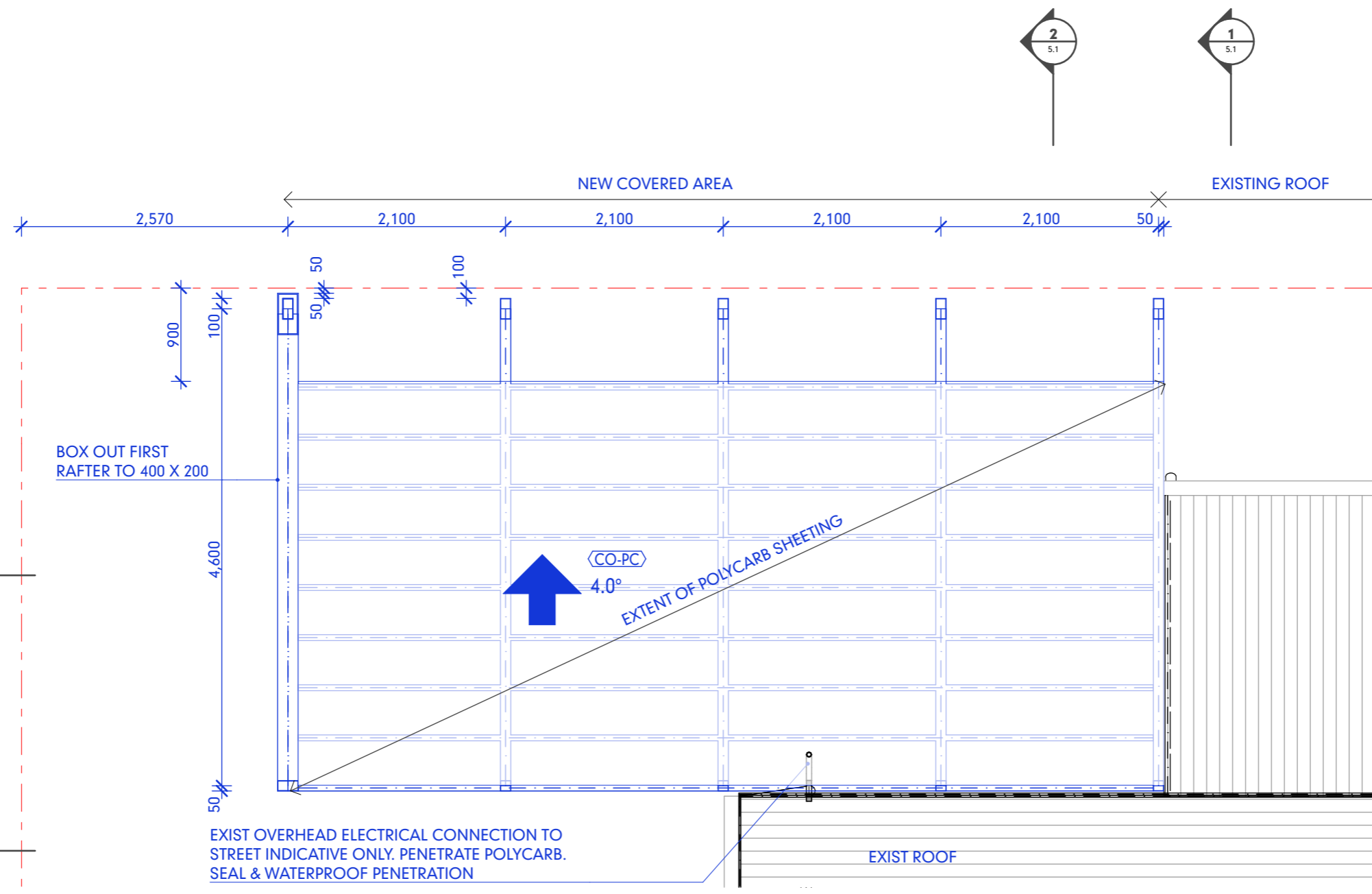
FLOOR PLAN
SCALE 1:50

IMPORTANT NOTES
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| RevID | ChID | CHANGE DESCRIPTION | DATE |
|-------|-------|--------------------|-----------|
| 01 | Ch-05 | DIMENSIONS ADDED | 10/4/2026 |
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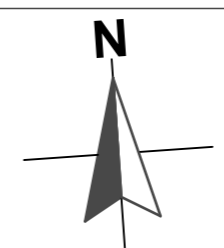
| | | | |
|---|----------------------|-------------------------------|---|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | SCALE 1:50, 1:100 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | TITLE PLANS - PROPOSED - FLOOR PLAN |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | PROJECT NO. BR001 | DATE 10/4/2026 | REVISION 01 |
| | DRAWING NO. 3.1 | | |



ROOF PLAN
SCALE:1:50

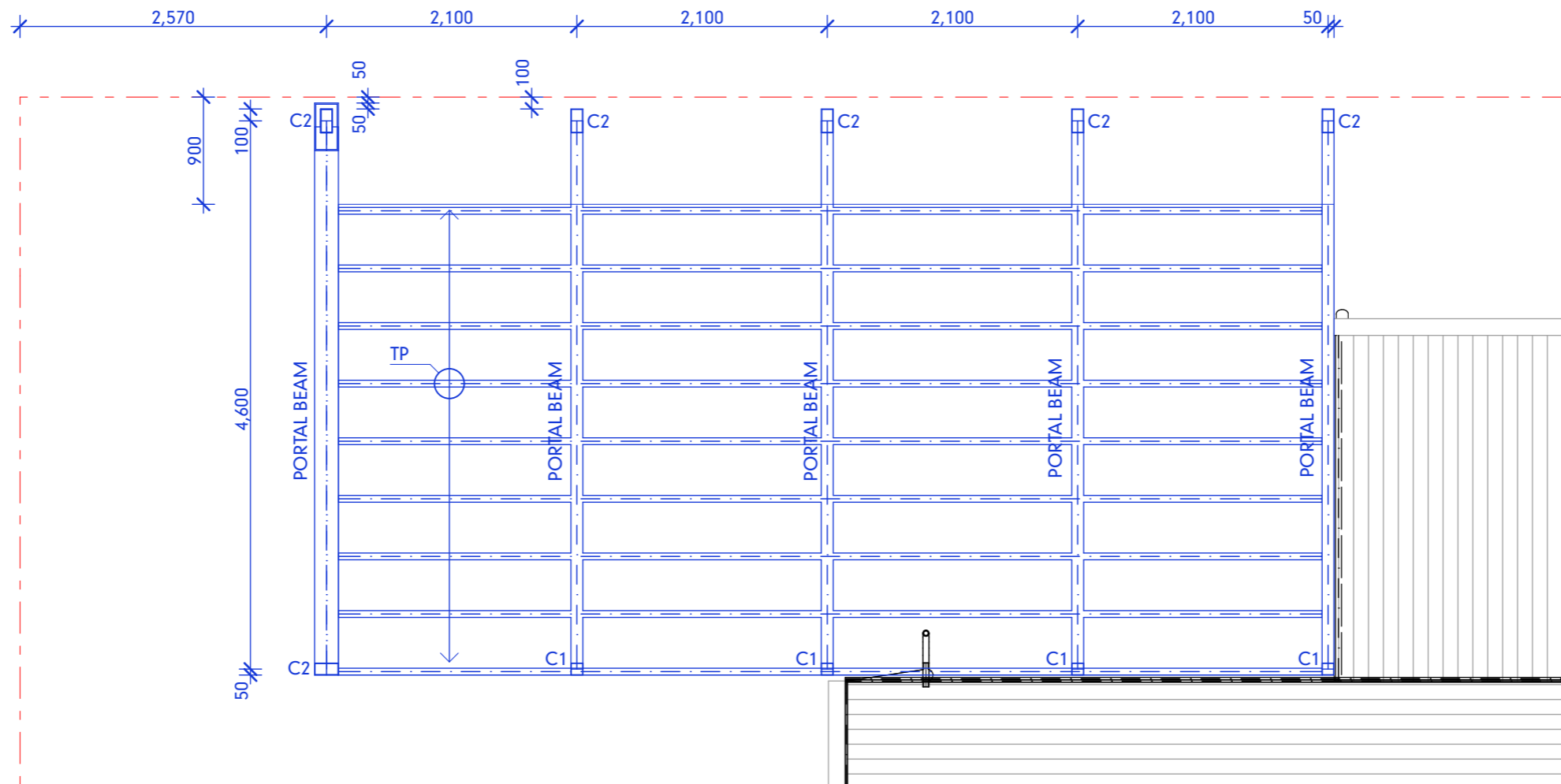
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| RevID | ChID | CHANGE DESCRIPTION | DATE |
|-------|-------|--|-----------|
| 01 | Ch-04 | STRUCTURE CHANGED TO TIMBER PURLINS, STEEL BEAMS REMOVED | 10/4/2026 |
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| | | | |
|---|--|-------------------------------|---------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | SCALE 1:50, 1:100 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | TITLE PLANS - PROPOSED - ROOF PLAN | | |
| | PROJECT NO. BR001 | DATE 10/4/2026 | |
| | DRAWING NO. 3.2 | REVISION 01 | |

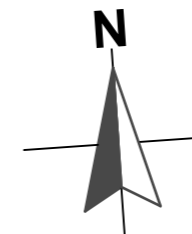
| LEGEND - STRUCTURAL ELEMENTS | |
|------------------------------|----------------------|
| C1 | - 100 SHS |
| C2 | - 200 X 100 RHS |
| TP | - HWD TIMBER PURLINS |



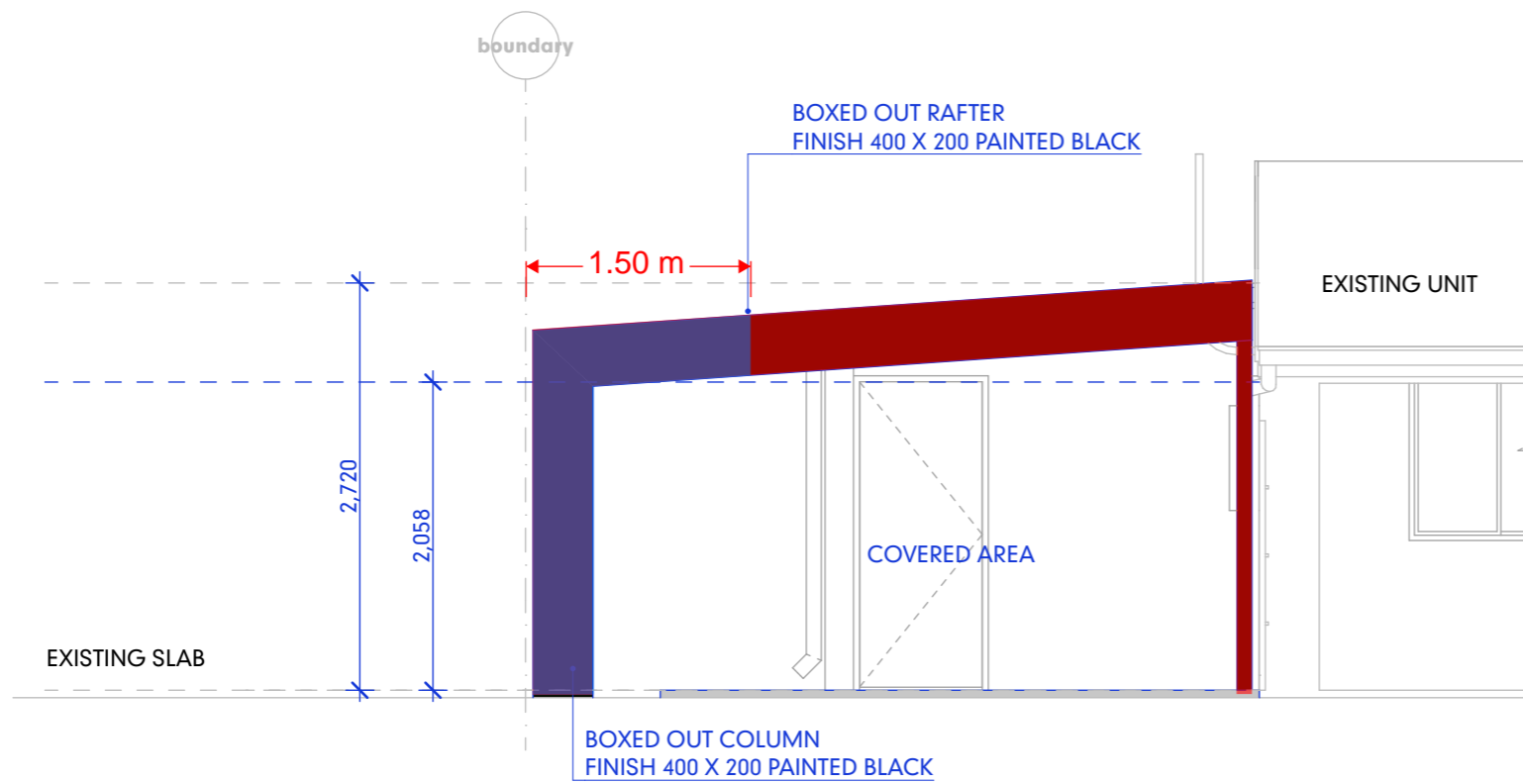
ROOF FRAMING PLAN
SCALE:1:50

IMPORTANT NOTES
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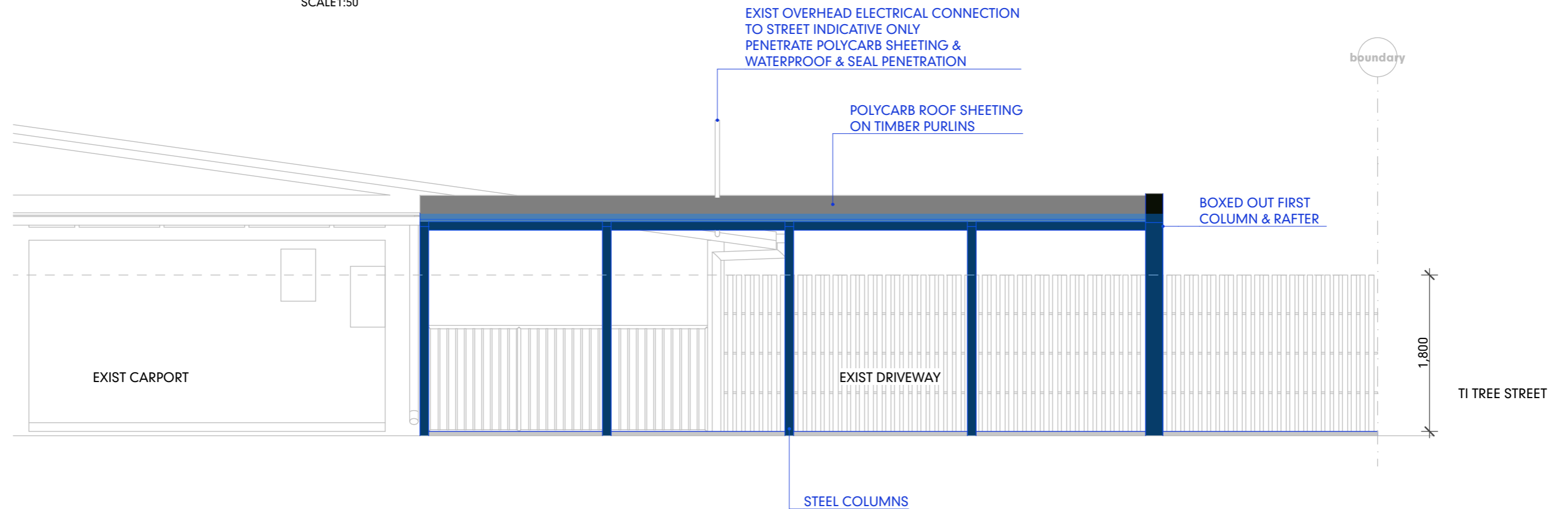
| RevID | ChID | CHANGE DESCRIPTION | DATE |
|-------|-------|--|-----------|
| 01 | Ch-04 | STRUCTURE CHANGED TO TIMBER PURLINS, STEEL BEAMS REMOVED | 10/4/2026 |



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|---|--|-------------------------------|---------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | SCALE 1:50, 1:100 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | TITLE PLANS - PROPOSED - ROOF FRAMING PLAN | | |
| | PROJECT NO. BR001 | DATE 10/4/2026 | |
| | DRAWING NO. 3.3 | REVISION 01 | |



E1 ELEVATION
SCALE:1:50

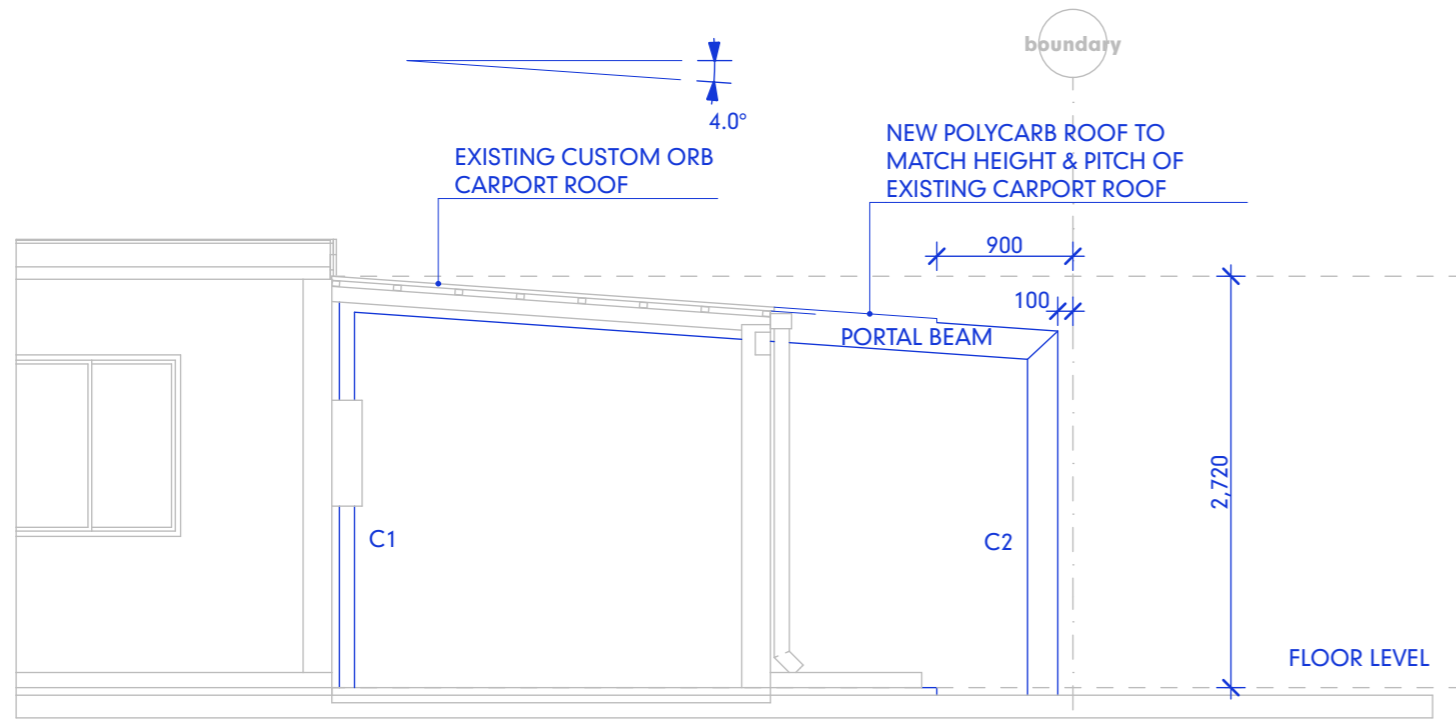


E2 ELEVATION
SCALE:1:50

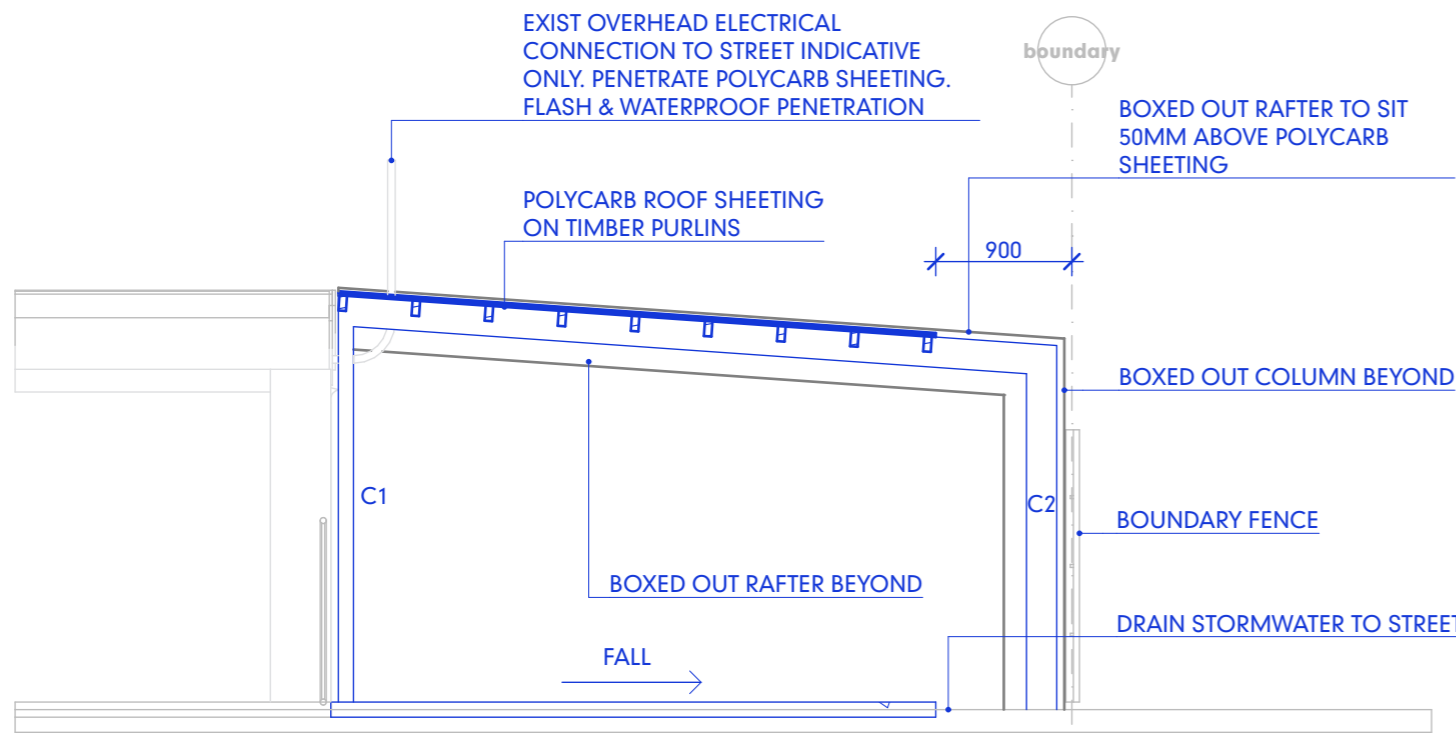
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| RevID | ChID | CHANGE DESCRIPTION | DATE |
|-------|------|--------------------|-----------|
| 01 | | | 10/4/2026 |
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|---|---|-------------------------------|-------------------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | SCALE 1:50 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | TITLE ELEVATIONS - PROPOSED - ELEVATIONS | | DATE 10/4/2026 |
| | PROJECT NO. BR001 | DRAWING NO. 4.1 | REVISION 01 |



SECTION 1
SCALE 1:50

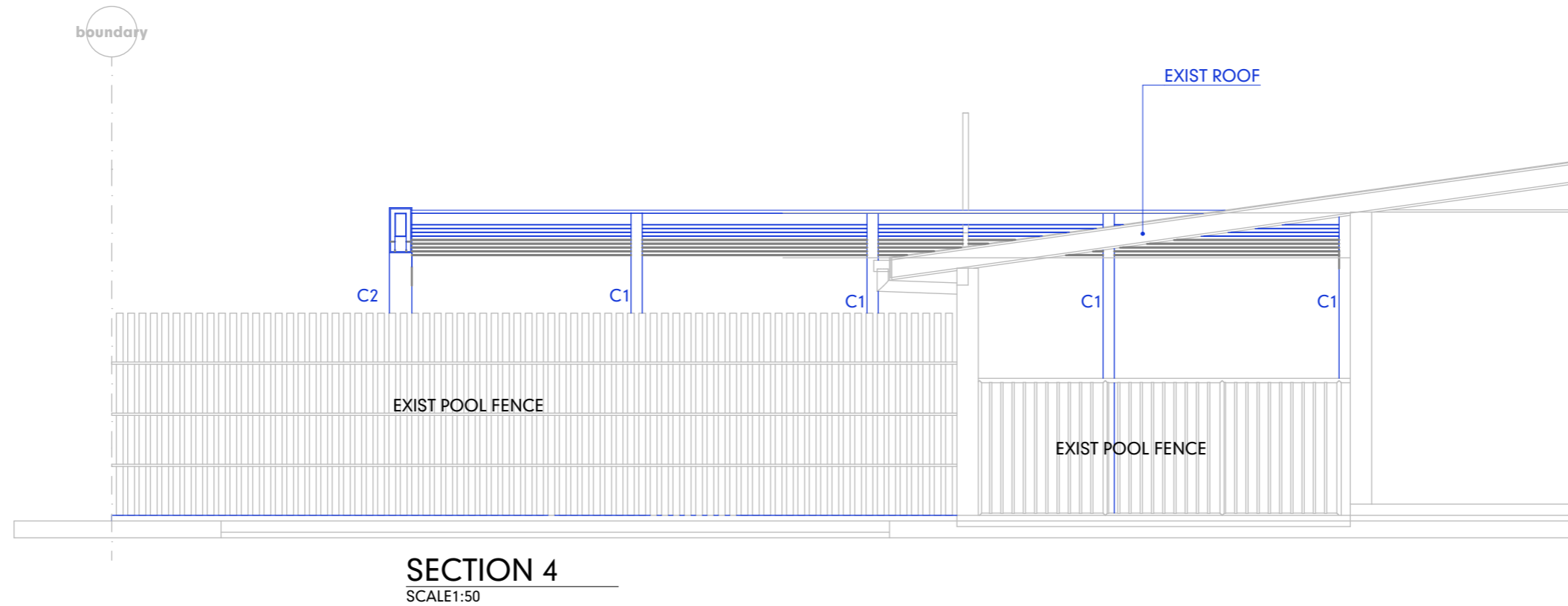
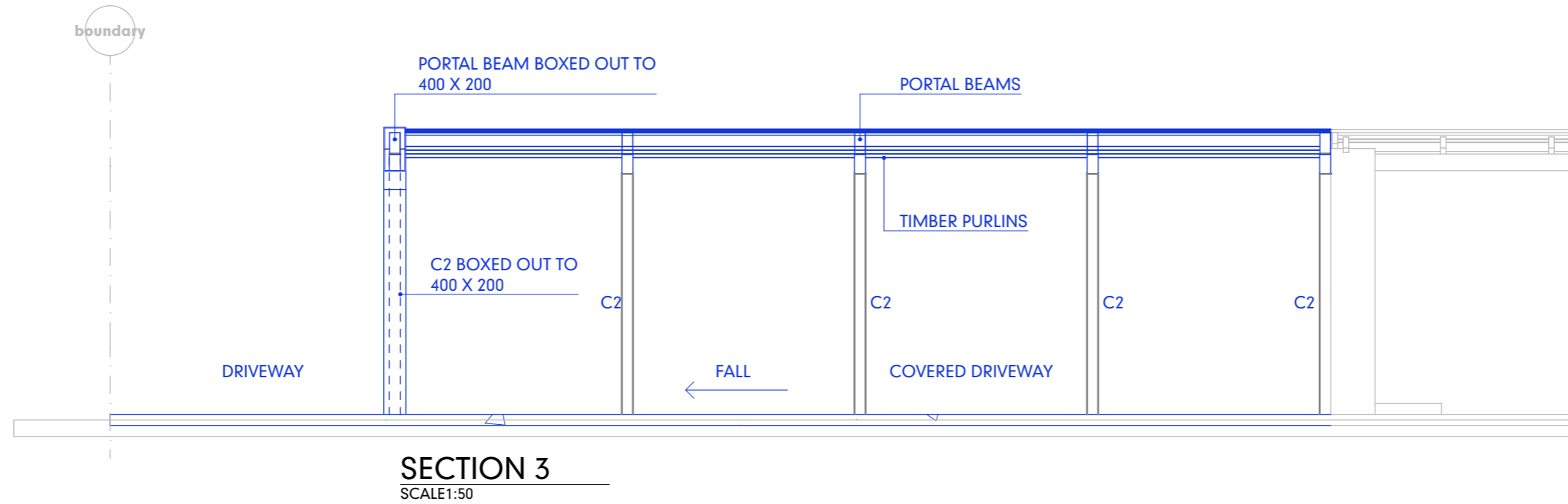


SECTION 2
SCALE 1:50

IMPORTANT NOTES
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|-------|-------|--|-----------|
| 01 | Ch-04 | STRUCTURE CHANGED TO TIMBER PURLINS, STEEL BEAMS REMOVED | 10/4/2026 |

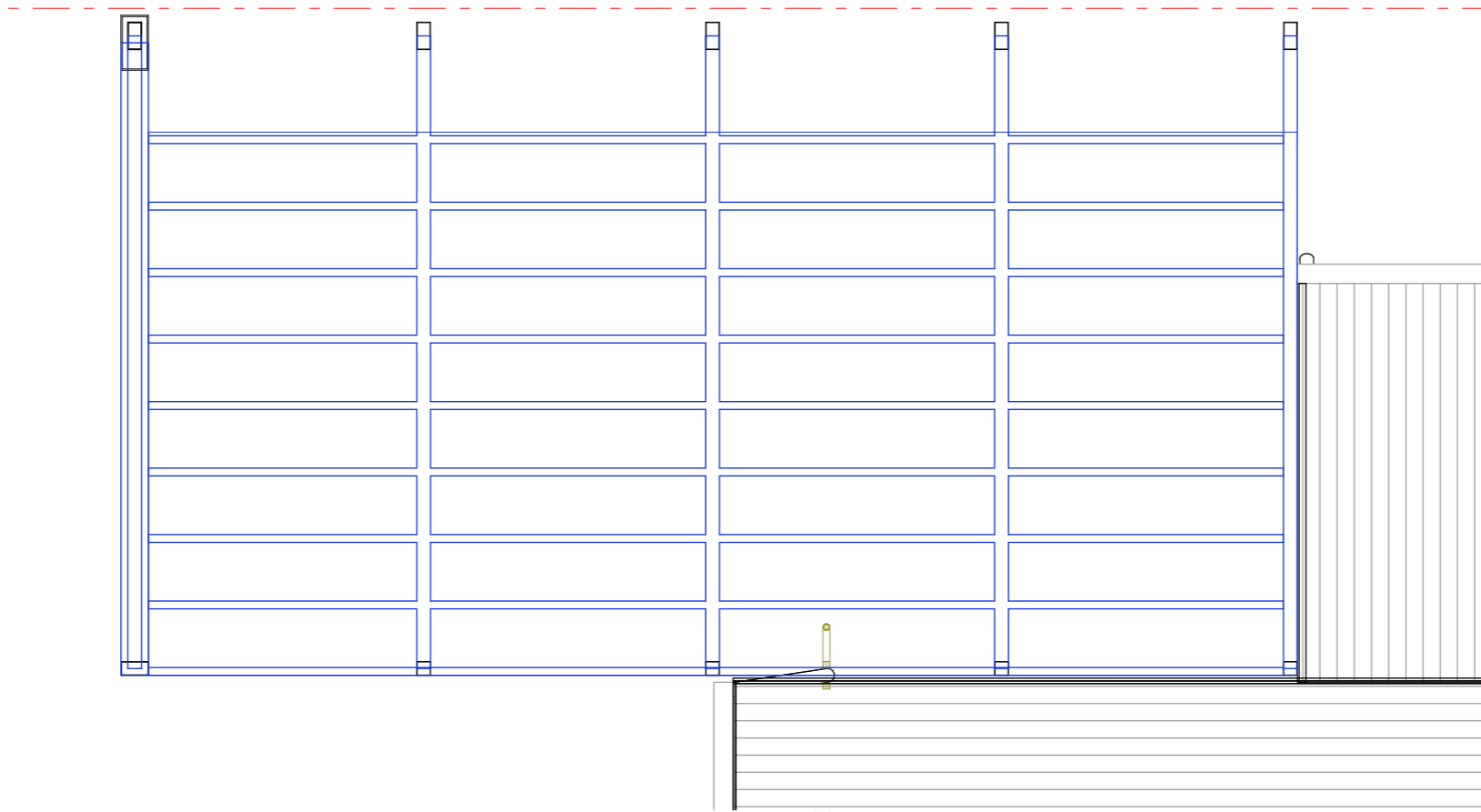
| | | | |
|---|--|-------------------------------|----------------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | SCALE 1:50 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | TITLE SECTIONS - PROPOSED - SECTIONS 1 & 2 | | |
| DRAWING NO. 5.1 | PROJECT NO. BR001 | DATE 10/4/2026 | REVISION 01 |



IMPORTANT NOTES
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|-------|-------|--|-----------|
| 01 | Ch-04 | STRUCTURE CHANGED TO TIMBER PURLINS, STEEL BEAMS REMOVED | 10/4/2026 |

| | | | |
|---|--|-------------------------------|---------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | SCALE 1:50 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | TITLE SECTIONS - PROPOSED - SECTIONS 3 & 4 | | |
| | PROJECT NO. BR001 | DATE 10/4/2026 | |
| | DRAWING NO. 5.2 | REVISION 01 | |



RCP
SCALE 1:50

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IMPORTANT NOTES
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|-------|-------|--|-----------|
| 01 | Ch-04 | STRUCTURE CHANGED TO TIMBER PURLINS, STEEL BEAMS REMOVED | 10/4/2026 |
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| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | | SCALE 1:50, 1:100 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | | TITLE REFLECTED CEILING PLANS - PROPOSED - RCP | PROJECT NO. BR001 | DATE 10/4/2026 |
| | | DRAWING NO. 6.1 | REVISION 01 | |

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|---|--|--|-------------------------------|-------------------|
| CLIENT BRON GREEN 1/12 TI STREET PORT DOUGLAS 4877 LOT 15, RP 746776 | | SCALE 1:50, 1:100 | DRAWN VARIOUS | CHECKED |
| PROJECT EXISTING RESIDENCE - PROPOSED COVERED DRIVEWAY | | SHEET SIZE A3 | DRAWING STATUS PRELIMINARY | |
| BUILDER LINCOLN CONSTRUCTIONS, BSA License number: *** | | TITLE REFLECTED CEILING PLANS - PROPOSED - RCP | PROJECT NO. BR001 | DATE 10/4/2026 |
| | | DRAWING NO. 6.1 | REVISION 01 | |

TO DOUGLAS SHIRE COUNCIL
PLANNING DEPARTMENT.

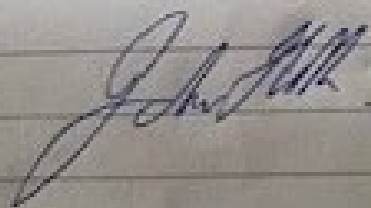
Date: 19.4.26
Page:

AS THE OWNER OF UNIT 2, 12 TITREE ST
PORT DOUGLAS (PELICAN UNITS),

I JOHN HILL DO NOT OBJECT
TO THE CARPORT EXTENSION AND
UPGRADED DRIVEWAY TO UNIT 1,
12 TITREE STREET.

PLEASE ACCEPT THIS AS MY APPROVAL
FOR SAID WORKS TO PROCEED.

Many Thanks



JOHN HILL

UNIT 2,

12 TITREE ST.

PORT DOUGLAS.

Change application form

Planning Act Form 5 (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form is to be used for a change application made under section 78 of the *Planning Act 2016*. It is important when making a change application to be aware of whether the application is for a minor change that will be assessed under section 81 of the *Planning Act 2016* or for an other change that will be assessed under section 82 of the *Planning Act 2016*.

An applicant must complete all parts of this form, and provide any supporting information that the form identifies as being required to accompany the change application, unless stated otherwise. Additional pages may be attached if there is insufficient space on the form to complete any part.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

| 1) Applicant details | |
|--|--------------------------|
| Applicant name(s) <i>(individual or company full name)</i> | Bronwyn Green |
| Contact name <i>(only applicable for companies)</i> | Bronwyn Green |
| Postal address <i>(P.O. Box or street address)</i> | Unit 1/12 Ti Tree Street |
| Suburb | Port Douglas |
| State | QLD |
| Postcode | 4877 |
| Country | Australia |
| Email address <i>(non-mandatory)</i> | brongreen@gmail.com |
| Mobile number <i>(non-mandatory)</i> | 0408026622 |
| Applicant's reference number(s) <i>(if applicable)</i> | |

2) Owner's consent - Is written consent of the owner required for this change application?

Note: Section 79(1A) of the *Planning Act 2016* states the requirements in relation to owner's consent.

- Yes – the written consent of the owner(s) is attached to this change application
 No

PART 2 – LOCATION DETAILS

| 3) Location of the premises <i>(complete 3.1) or 3.2, and 3.3) as applicable)</i> | | | | |
|--|----------|------------|------------------------------------|--------------------------|
| 3.1) Street address and lot on plan | | | | |
| <input checked="" type="checkbox"/> Street address AND lot on plan <i>(all lots must be listed), or</i> | | | | |
| <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises <i>(appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).</i> | | | | |
| a) | Unit No. | Street No. | Street Name and Type | Suburb |
| | | Unit 1/12 | Ti Tree Street | Port Douglas |
| | Postcode | Lot No. | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| | 4877 | 1 | BUP70772 | Douglas Shire Council |
| b) | Unit No. | Street No. | Street Name and Type | Suburb |
| | | | | |



**Queensland
Government**

| | | | |
|----------|---------|------------------------------------|--------------------------|
| Postcode | Lot No. | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| | | | |

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

Coordinates of premises by longitude and latitude

| | | | |
|--------------|-------------|---|--|
| Longitude(s) | Latitude(s) | Datum | Local Government Area(s) (if applicable) |
| | | <input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: | |

Coordinates of premises by easting and northing

| | | | | |
|------------|-------------|---|---|--|
| Easting(s) | Northing(s) | Zone Ref. | Datum | Local Government Area(s) (if applicable) |
| | | <input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56 | <input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: | |

3.3) Additional premises

- Additional premises are relevant to the original development approval and the details of these premises have been attached in a schedule to this application
- Not required

PART 3 – RESPONSIBLE ENTITY DETAILS

4) Identify the responsible entity that will be assessing this change application

Note: see section 78(3) of the Planning Act 2016

Ryan Wagemaker

PART 4 – CHANGE DETAILS

5) Provide details of the existing development approval subject to this change application

| Approval type | Reference number | Date issued | Assessment manager/approval entity |
|--|------------------|-------------|------------------------------------|
| <input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval | | | |
| <input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval | | | |

6) Type of change proposed

6.1) Provide a brief description of the changes proposed to the development approval (e.g. changing a development approval for a five unit apartment building to provide for a six unit apartment building):

| |
|--|
| |
|--|

6.2) What type of change does this application propose?

- Minor change application – proceed to Part 5
 Other change application – proceed to Part 6

PART 5 – MINOR CHANGE APPLICATION REQUIREMENTS

7) Are there any affected entities for this change application

- No – proceed to Part 7
 Yes – list all affected entities below and proceed to Part 7

Note: section 80(1) of the Planning Act 2016 states that the person making the change application must give notice of the proposal and the details of the change to each affected entity as identified in section 80(2) of the Planning Act 2016.

| Affected entity | Pre-request response provided? (where a pre-request response notice for the application has been given, a copy of the notice must accompany this change application) | Date notice given (where no pre-request response provided) |
|-----------------|--|--|
| | <input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application | |
| | <input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application | |
| | <input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application | |

PART 6 – OTHER CHANGE APPLICATION REQUIREMENTS

Note: To complete this part it will be necessary for you to complete parts of DA Form 1 – Development application details and in some instances parts of DA Form 2 – Building work details, as mentioned below. These forms are available at <https://planning.dsdmip.qld.gov.au>.

8) Location details - Are there any additional premises included in this change application that were not part of the original development approval?

- No
 Yes

9) Development details

9.1) Is there any change to the type of development, approval type, or level of assessment in this change application?

- No
 Yes – the completed Sections 1 and 2 of Part 3 (Development details) of DA Form 1 – Development application details as these sections relate to the new or changed aspects of development are provided with this application.

9.2) Does the change application involve building work?

- No
 Yes – the completed Part 5 (Building work details) of DA Form 2 – Building work details as it relates to the change application is provided with this application.

10) Referral details – Does the change application require referral for any referral requirements?

Note: The application must be referred to each referral agency triggered by the change application as if the change application was the original development application including the proposed change.

- No

- Yes – the completed Part 5 (Referral details) of *DA Form 1 – Development application details* as it relates to the change application is provided with this application. Where referral is required for matters relating to building work the [Referral checklist for building work](#) is also completed.

11) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this change application
 I do not agree to accept an information request for this change application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this change application will be assessed and decided based on the information provided when making this change application and the assessment manager and any referral agencies relevant to the change application are not obligated under the DA Rules to accept any additional information provided by the applicant for the change application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide: Forms 1 and 2](#).

12) Further details

- Part 7 of *DA Form 1 – Development application details* is completed as if the change application was a development application and is provided with this application.

PART 7 – CHECKLIST AND APPLICANT DECLARATION

13) Change application checklist

I have identified the:

- responsible entity in 4); and
- for a minor change, any affected entities; and Yes
- for an other change all relevant referral requirement(s) in 10)

Note: See the *Planning Regulation 2017* for referral requirements

- For an other change application, the relevant sections of [DA Form 1 – Development application details](#) have been completed and is attached to this application Yes Not applicable

- For an other change application, where building work is associated with the change application, the relevant sections of [DA Form 2 – Building work details](#) have been completed and is attached to this application Yes Not applicable

- Supporting information addressing any applicable assessment benchmarks is attached to this application Yes
- Note:** This includes any templates provided under 23.6 and 23.7 of *DA Form 1 – Development application details* that are relevant as a result of the change application, a planning report and any technical reports required by the relevant categorising instrument(s) (e.g. the local government planning scheme, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning report template](#).

- Relevant plans of the development are attached to this development application Yes
- Note:** Relevant plans are required to be submitted for all relevant aspects of this change application. For further information, see [DA Forms Guide: Relevant plans](#).

14) Applicant declaration

- By making this change application, I declare that all information in this change application is true and correct.
 Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the responsible entity and any relevant affected entity or referral agency for the change application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*.

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the responsible entity and/or chosen assessment manager, any relevant affected entity or referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the change application.

All information relating to this change application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 8 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

QLeave notification and payment

Note: For completion by assessment manager if applicable

| | | | |
|--|----------------|------------------|--|
| Description of the work | Carport | | |
| QLeave project number | NA | | |
| Amount paid (\$) | | Amount paid (\$) | |
| Date received form sighted by assessment manager | | | |
| Name of officer who sighted the form | Ryan Wagemaker | | |

Referral checklist for building work

This referral checklist is required where any aspect of building work for a development application requires referral as identified in *DA Form 2 – Building work details*.

All relevant referral requirements for the development application are to be identified on this checklist. This checklist is to accompany *DA Form 2 – Building work details* for all development applications for building work that require referral.

Note: All terms used within the forms have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

1) Referral requirements relevant to any building work identified on *DA Form 2 – Building work details*

Note: The *Planning Regulation 2017* will determine if referral is required for a development application.

Matters requiring referral to the **Chief Executive of the *Planning Act 2016***:

- Premises seaward of coastal building line
- Declared fish habitat area
- State transport corridor
- Future State transport corridor
- Queensland heritage place
- Koala habitat in SEQ region

Matters requiring referral to the **local government**:

- Particular class 1 and 10 buildings and structures involving possible amenity and aesthetic impacts
- Particular buildings for residential purposes
- Design and siting
- Fire safety in particular budget accommodation buildings
- Higher risk personal appearance services
- Building work for residential services
- Building work for removal or rebuilding
- Building work for particular class 1 buildings relating to material change of use
- Temporary accommodation buildings
- Building work relating to end of trip facilities for Queensland Development Code, part 4.1
- Building work for class 1 building on premises with on-site wastewater management system
- Flood hazard area
- Local heritage place

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- Fire safety systems – special fire services required or alternative solution proposed
- Fire safety systems – budget accommodation building
- Fire safety systems – residential care building
- Water-based fire safety installations
- Fire safety for farm buildings

Matters requiring referral to **Safe Food Production QLD**:

- Retail meat premises

Matters requiring referral to the **Chief Health Officer under the *Hospital and Health Boards Act 2011***:

- Private health facilities

Matters requiring referral to the **Chief Executive of the *Pastoral Workers' Accommodation Act 1980***:

- Pastoral workers' accommodation

Matters requiring referral to the **relevant service provider**:

- Building work over or near relevant infrastructure relating to Queensland Development Code, part 1.4



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DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

| 1) Applicant details | |
|---|--|
| Applicant name(s) (individual or Company full name) | Bronwyn Green C/- Buildable Approvals Pty Ltd |
| Contact name (only applicable for companies) | Ryan Wagemaker |
| Postal Address (PO Box or street Address) | Suite 2.7, 2 Chelsea Lane |
| Suburb | Redlynch |
| State | QLD |
| Postcode | 4870 |
| Country | Australia |
| Contact number | 07 4222 9888 |
| Email Address (non-mandatory) | cairns@buildable.com.au |
| Mobile number (non-mandatory) | |
| Fax number (non-mandatory) | |
| Applicant's reference number(s) (if applicable) | 20262774 |

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

2.1) Street Address and lot on plan

- Street Address **AND** lot on plan (all lots must be listed), **or**
 Street Address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

| Unit No. | Street No. | Street Name and Type | Suburb |
|----------|------------|----------------------|--------------|
| | Unit 1/12 | Ti Tree Street | Port Douglas |

| | | | |
|----------|---------|------------------------------------|--------------------------|
| Postcode | Lot No. | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| 4877 | 1 | BUP70772 | Douglas Shire Council |

2.2) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

5) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

| List of approval/development application | Reference | Date | Assessment manager |
|--|-----------|------|--------------------|
| <input type="checkbox"/> Approval | | | |
| <input type="checkbox"/> Development application | | | |

9) Has the portable long service leave levy been paid?

- Yes – a copy of the receipted QLeave form is attached to this development application

| | | |
|---|----------------------|---------------------------------|
| <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST) | | |
| Amount paid | Date paid (dd/mm/yy) | QLLeave levy number (A, B or E) |
| | | NA |

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached
 No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

| | | | |
|-----------------------------|--|-----------|--|
| Name of the heritage place: | | Place ID: | |
|-----------------------------|--|-----------|--|

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

Yes – the *Referral checklist for building work* is attached to this development application
 No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

Yes – referral response(s) received and listed below are attached to this development application
 No

| Referral requirement | Referral agency | Date referral response |
|----------------------|-----------------|------------------------|
| | | |

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

| | |
|---|--------------------------|
| Name(s) (individual or Company full name) | Bronwyn Green |
| Contact name (applicable for companies) | Bronwyn Green |
| Postal Address (P.O. Box or street Address) | Unit 1/12 Ti Tree Street |
| Suburb | Port Douglas |
| State | QLD |
| Postcode | 4877 |
| Country | Australia |
| Contact number | |
| Email Address (non-mandatory) | brongreen@gmail.com |
| Mobile number (non-mandatory) | |
| Fax number (non-mandatory) | |

15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

| | |
|--|------------------------------------|
| Name(s) <i>(individual or Company full name)</i> | Lincoln Constructions Aust Pty Ltd |
| Contact name <i>(applicable for companies)</i> | Lincoln O'Toole |
| QBCC licence or owner – builder number | 15410501 |
| Postal Address <i>(P.O. Box or street Address)</i> | 5 Baler Street |
| Suburb | Port Douglas |
| State | QLD |
| Postcode | 4877 |
| Contact number | |
| Email Address <i>(non-mandatory)</i> | lincolnotoole@icloud.com |
| Mobile number <i>(non-mandatory)</i> | |
| Fax number <i>(non-mandatory)</i> | |

16) Provide details about the proposed building work

What type of approval is being sought?

- Development permit
 Preliminary approval

b) What is the level of assessment?

- Code assessment
 Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- New building or structure
 Repairs, alterations or additions
 Change of Building Classification *(involving building work)*
 Relocation or removal
 Demolition
 Swimming Pool and/ or pool fence

d) Provide a description of the work below or in an attached schedule.

Carport

e) Proposed construction materials

| | | | |
|----------------|---|--|--|
| External walls | <input type="checkbox"/> Double Brick <input type="checkbox"/> Brick Veneer <input type="checkbox"/> Stone/concrete | <input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement | <input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other |
| Frame | <input type="checkbox"/> Timber <input type="checkbox"/> Other | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Aluminium |
| Floor | <input type="checkbox"/> Concrete | <input type="checkbox"/> Timber | <input type="checkbox"/> Other |
| Roof covering | <input type="checkbox"/> Slate/Concrete <input type="checkbox"/> Aluminium | <input type="checkbox"/> Tiles <input type="checkbox"/> Steel | <input type="checkbox"/> Fibre cement <input checked="" type="checkbox"/> Other |

f) Existing building use/classification? *(if applicable)*

Dwelling House

g) New building use/classification? *(if applicable)*

10a

h) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?

18) Has Queensland Home Warranty Scheme Insurance been paid?

- Yes – provide details below
 No

| Amount paid | Date paid (dd/mm/yy) | Reference number |
|-------------|----------------------|------------------|
| | | |

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

| | |
|--|--|
| The relevant parts of <i>Form 2 – Building work details</i> have been completed | <input checked="" type="checkbox"/> Yes |
| This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i> | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable |
| Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i> | <input checked="" type="checkbox"/> Yes |
| The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 9</i>) | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable |

20) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an Email Address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*
- Note: It is unlawful to intentionally provide false or misleading information.*

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

10a

| | | |
|----------------|-----------------------------------|-------------------------------|
| Name | QBCC Certification Licence number | QBCC Insurance receipt number |
| Ryan Wagemaker | A15149682 | |

| Notification of engagement of alternative assessment manager | |
|--|--|
| Prescribed assessment manager | |
| Name of chosen assessment manager | |
| Date chosen assessment manager engaged | |
| Contact number of chosen assessment manager | |
| Relevant licence number(s) of chosen assessment manager | |

| Additional information required by the local government | | | |
|---|---|--|--|
| Confirm proposed construction materials: | | | |
| External walls | <input type="checkbox"/> Double Brick <input type="checkbox"/> Brick Veneer <input type="checkbox"/> Stone/concrete | <input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement | <input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other |
| Frame | <input type="checkbox"/> Timber <input type="checkbox"/> Other | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Aluminium |
| Floor | <input type="checkbox"/> Concrete | <input type="checkbox"/> Timber | <input type="checkbox"/> Other |
| Roof covering | <input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium | <input type="checkbox"/> Tiles <input type="checkbox"/> Steel | <input type="checkbox"/> Fibre cement <input checked="" type="checkbox"/> Other |

| QLeave notification and payment | | | |
|---|----------------|----------------------|--|
| <i>Note: For completion by assessment manager if applicable</i> | | | |
| Description of the work | Carport | | |
| QLeave project number | NA | | |
| Amount paid (\$) | | Date paid (dd/mm/yy) | |
| Date receipted form sighted by assessment manager | | | |
| Name of officer who sighted the form | Ryan Wagemaker | | |

| Additional building details required for the Australian Bureau of Statistics | | | |
|--|----------------|------------------------------|-------|
| Existing building use/classification? (if applicable) | Dwelling House | | |
| New building use/classification? | 10a | | |
| Site area (m ²) | 65 | Floor area (m ²) | 52.38 |