

23 July 2019

Enquiries: Neil Beck
Our Ref: MCUC2095/2017 (911319)
Your Ref:

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

T Petersen
27 The Corso
MANLY NSW 2095

Dear Sir

**NOTICE OF DECISION – MINOR CHANGE –
7-9 MACROSSAN STREET & 6 WARNER STREET PORT DOUGLAS**

Reference is made to the request for a minor change to Decision Notice dated 24 August 2017 for a Material Change of Use (Refurbishment of Tavern & Ancillary and Associated Facilities) at the above address.

Please be advised that the Manager Environment & Planning, under Instrument of Delegation, approved the request for a Minor Change on 23 July 2019 subject to the following:

Approved Drawing(s) and/or Document(s)

The term 'approved drawing(s) and/or document(s) or other similar expressions means:

Drawing or Document	Reference	Date
Site Plan	A.00.2.2	17/5/2019
Ground Floor Plan	A.00.4.1	17/5/2019
First Floor Plan	A.00.4.2	17/5/2019
Roof Plan	A.00.4.3	17/5/2019
Elevations	A.00.4.4	17/5/2019
Elevations	A.00.4.5	17/5/2019
Area Calculations	A.00.5.1	17/5/2019
Perspectives	A.00.6.1	17/5/2019
Perspectives	A.00.6.2	17/5/2019

Assessment Manager Advice

1. All conditions of Decision Notice dated 24 August 2017 remain unchanged.

Reasons for Decision

The reasons for this decision are:

1. Sections 81 & 81A of the *Planning Act 2016*:
 - a. to ensure the development satisfies the benchmarks of the 2018 Douglas Shire Planning Scheme Version 1.0; and
 - b. to ensure compliance with the *Planning Act 2016*.
2. Findings on material questions of fact:
 - a. the request for a minor change was properly lodged to the Douglas Shire Council 3 June 2019;
 - b. the request for a minor change contained information from the applicant which Council reviewed together with Council's own assessment against the 2018 Douglas Shire Planning Scheme Version 1.0 in making its assessment manager decision.
3. Evidence or other material on which findings were based:
 - a. Council undertook an assessment in accordance with the provisions of sections 81 of the *Planning Act 2016*; and
 - b. the applicant's reasons have been considered and the following findings are made:
 - i. The request for a minor change satisfactorily meets the Planning Scheme benchmarks.

Please quote Council's application number: MCUC2095/2017 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this matter, please contact Neil Beck on telephone 07 4099 9451.

Yours faithfully

Paul Hoye
Manager Environment & Planning

PROPOSED ALTERATIONS AND ADDITIONS TO THE
CENTRAL HOTEL, PORT DOUGLAS, QLD 4877

FOR
HILROCK PROPERTIES PTY LTD

Project No : PET006

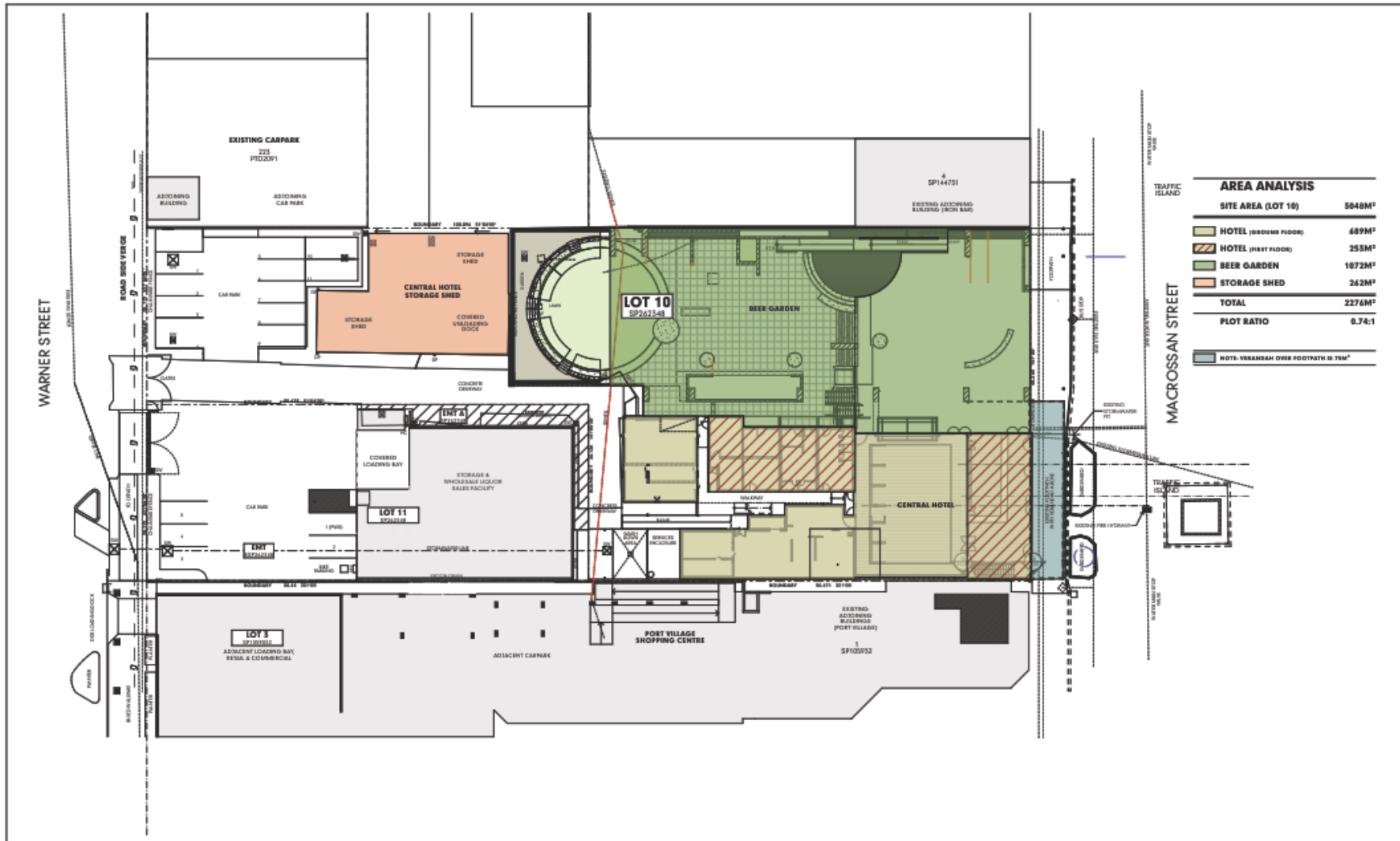
17/5/19

HUNT
DESIGN

Architecture Master Planning Interior Design

HUNT DESIGN
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PO BOX 173, QLD 4871
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www.huntdesign.com.au
ABN: 95514251527

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AREA ANALYSIS	
SITE AREA (LOT 10)	3048M²
HOTEL (SECOND FLOOR)	489M ²
HOTEL (FIRST FLOOR)	255M ²
BEER GARDEN	1072M ²
STORAGE SHED	262M ²
TOTAL	2276M²
PLOT RATIO	0.74:1

SITE PLAN
SCALE 1:200

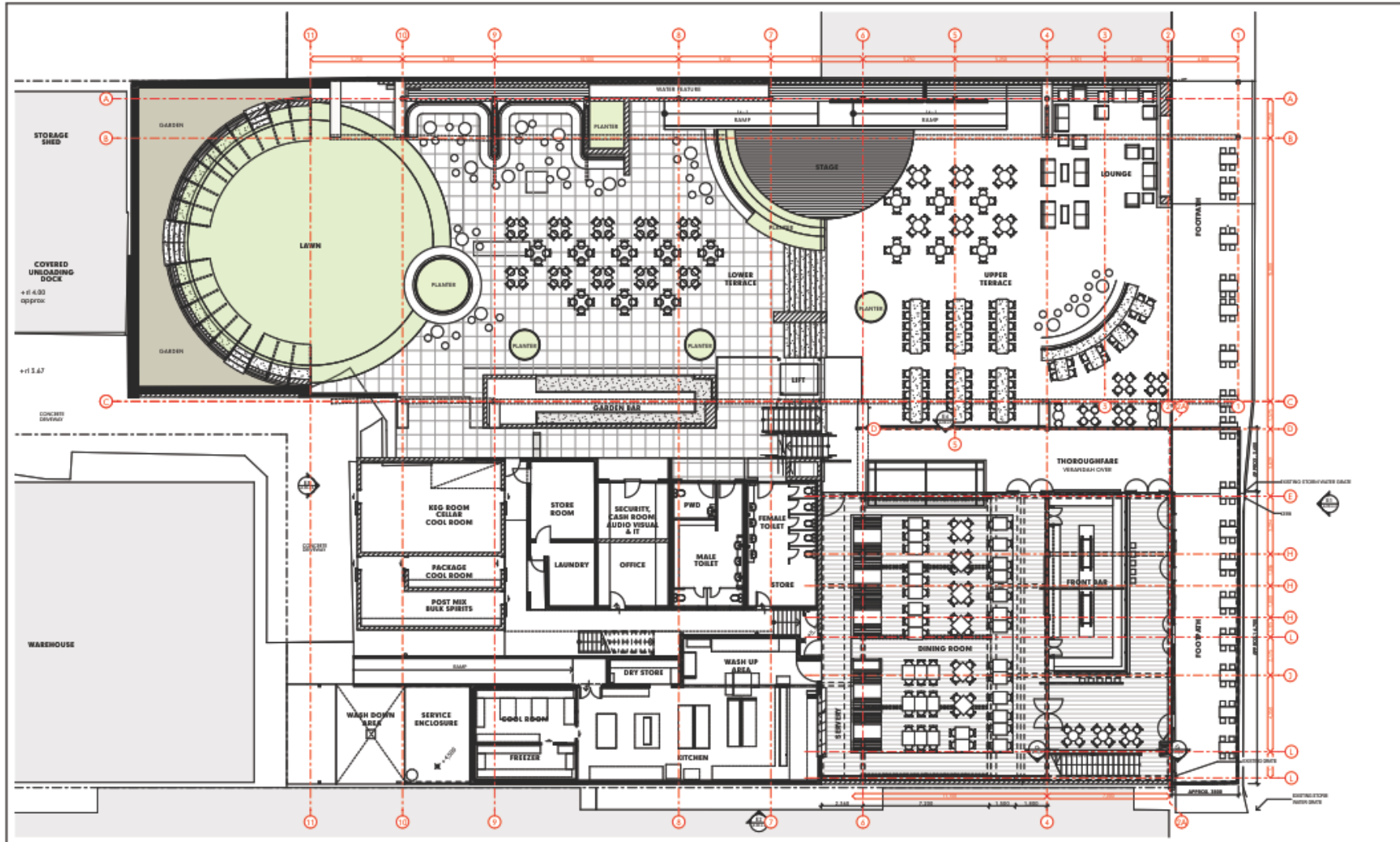
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No.	REV	Change Description	Date
A.	001	PROPOSED AMENDMENT TO EXISTING DA	17.05.2019



PROJECT: PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 4877
 CLIENT: HIROCK PROPERTIES PTY LTD

DATE: 1/200	SCALE: DA
PROJECT: A1	DATE: 17/5/19
SITE: PET056	SCALE: A
A.00.2.2	



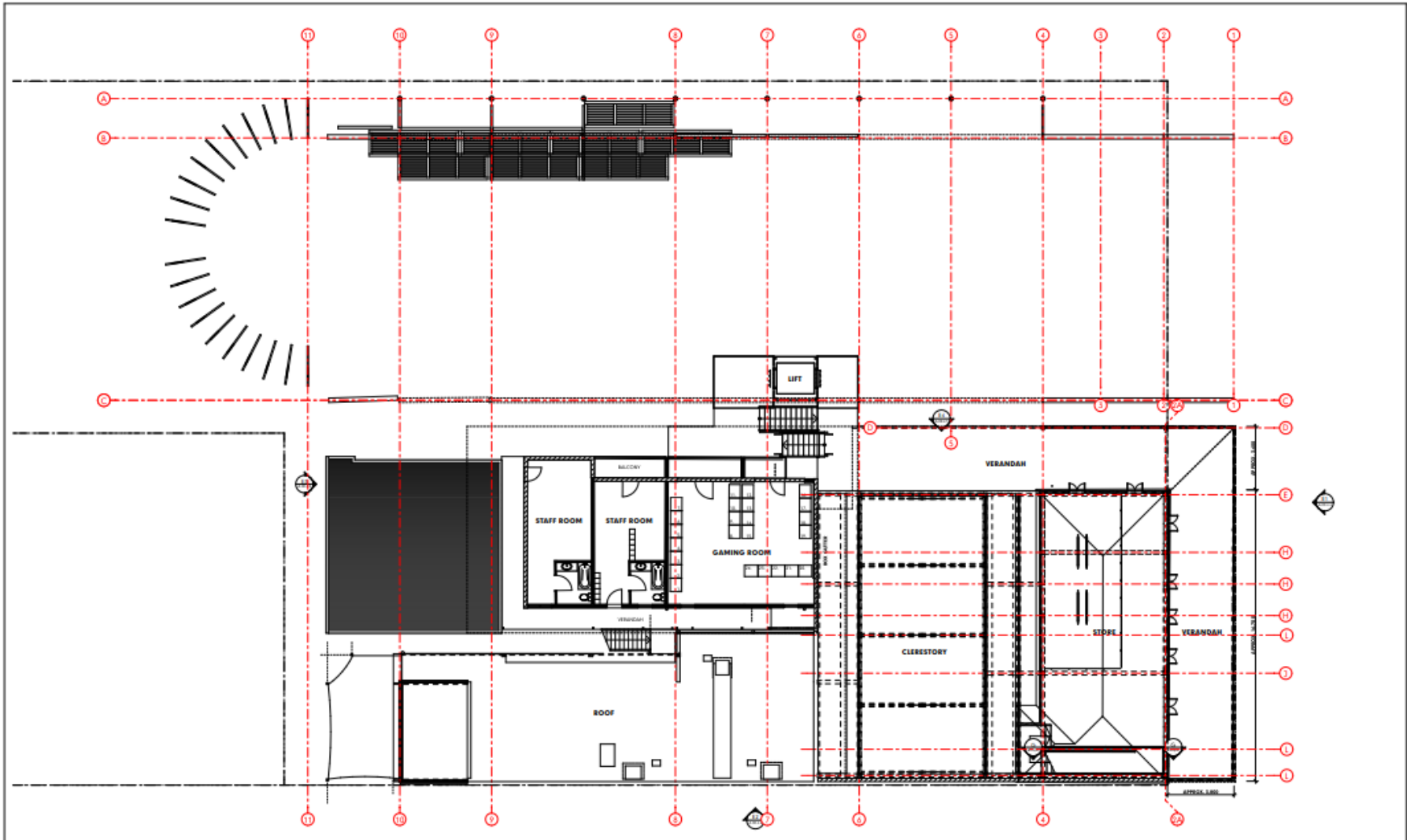
GROUND FLOOR PLAN
SCALE 1:100

IMPORTANT NOTES
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 ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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NO.	DATE	DESCRIPTION
1	17.03.2019	PROPOSED AMENDMENT TO EXISTING DA



PROJECT	PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 4877
CLIENT	HILROCK PROPERTIES PTY LTD
SCALE	1:100
DATE	17/03/2019
PROJECT NO.	PET006
DATE	17/5/19
PROJECT NO.	A.00.4.1
DATE	A



FIRST FLOOR PLAN

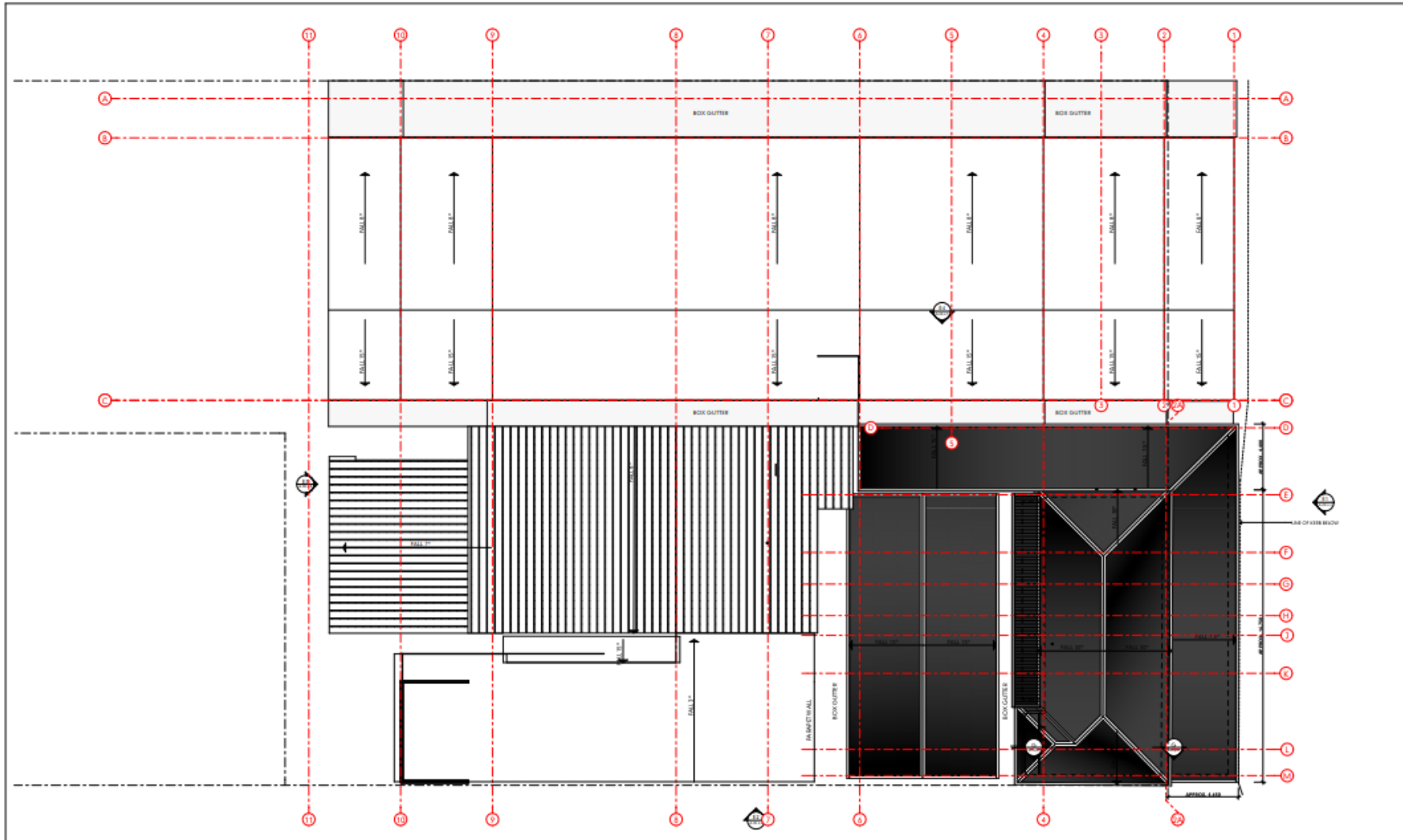
IMPORTANT NOTES

THE OWNER IS TO CHECK ALL DIMENSIONS FOR AREA, HEIGHT AND PROJECTIONS BEFORE COMMENCING WORK.
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NO.	DATE	CHANGE	BY	CHKD
1	17.05.2019	PROPOSED AMENDMENT TO EXISTING DA		



PROJECT	PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 4877	SCALE	1:100	DATE	17/05/19
CLIENT	HILROCK PROPERTIES PTY LTD	PROJECT NO.	A1	DA NO.	DA
DRAWING TITLE		FIRST FLOOR PLAN			
DESIGNED BY	PET056	CHECKED BY		DATE	17/5/19
DRAWING NO.		A.00.4.2		REVISION	
				A	



ROOF PLAN

SCALE 1:100

IMPORTANT NOTES
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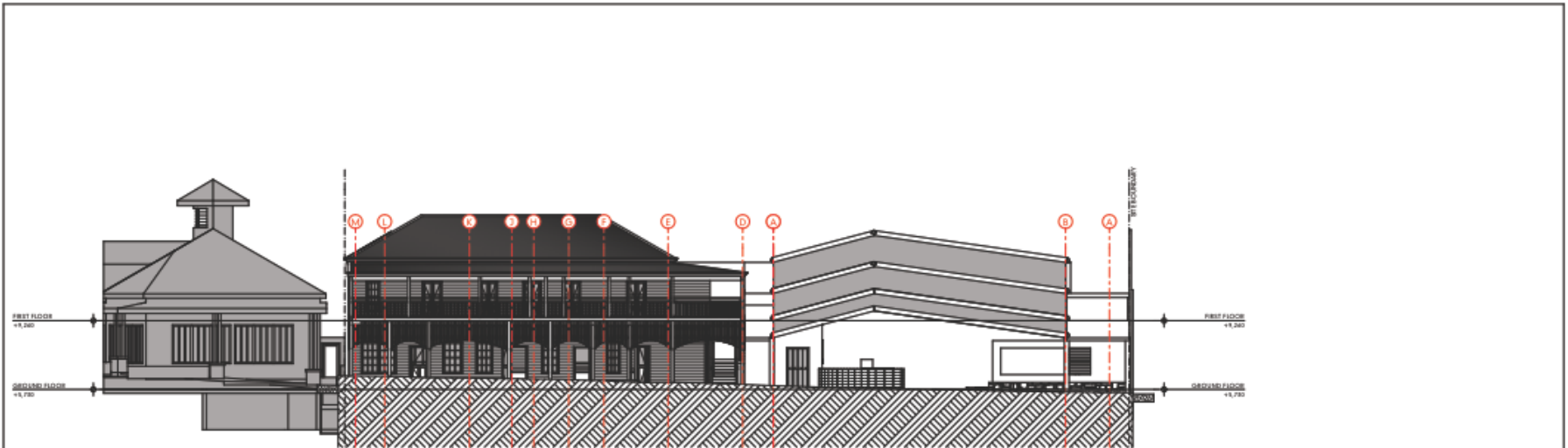
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	17/05/2019
2	PROPOSED AMENDMENT TO EXISTING DA	17/05/2019

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PROJECT: PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 4217
 CLIENT: HELROCK PROPERTIES PTY LTD

SCALE: 1:100	DATE: 17/05/2019
PROJECT: A1	CLIENT: DA
DESCRIPTION: PROPOSED	
PROJECT CODE: PET006	DATE: 17/5/19
PROJECT NAME: A.00.4.3	REVISION: A

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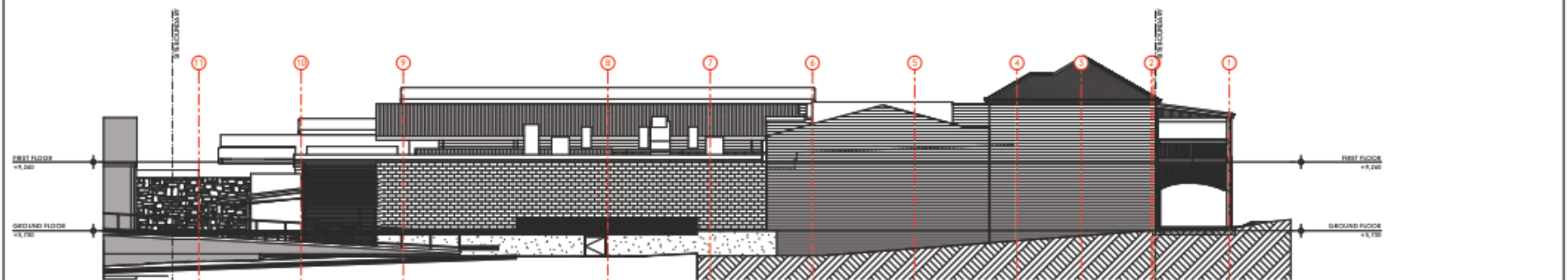


NORTH EAST ELEVATION

SCALE 1:100

E1

A.00.4.1, A.00.4.2, A.00.4.3, A.00.4.4, A.00.4.5, A.00.4.6, A.00.4.7, A.00.4.8, A.00.4.9



SOUTH EAST ELEVATION

SCALE 1:100

E2

A.00.4.1, A.00.4.2, A.00.4.3, A.00.4.4, A.00.4.5, A.00.4.6, A.00.4.7, A.00.4.8, A.00.4.9

IMPORTANT NOTES
 1. THE DESIGNER HAS CONDUCTED VISUAL CHECKS AND VERIFIED THE DIMENSIONS OF THE BUILDING AND THE PROPOSED ALTERATIONS AND ADDITIONS TO THE BUILDING. THE DESIGNER HAS CONDUCTED VISUAL CHECKS AND VERIFIED THE DIMENSIONS OF THE BUILDING AND THE PROPOSED ALTERATIONS AND ADDITIONS TO THE BUILDING. THE DESIGNER HAS CONDUCTED VISUAL CHECKS AND VERIFIED THE DIMENSIONS OF THE BUILDING AND THE PROPOSED ALTERATIONS AND ADDITIONS TO THE BUILDING.

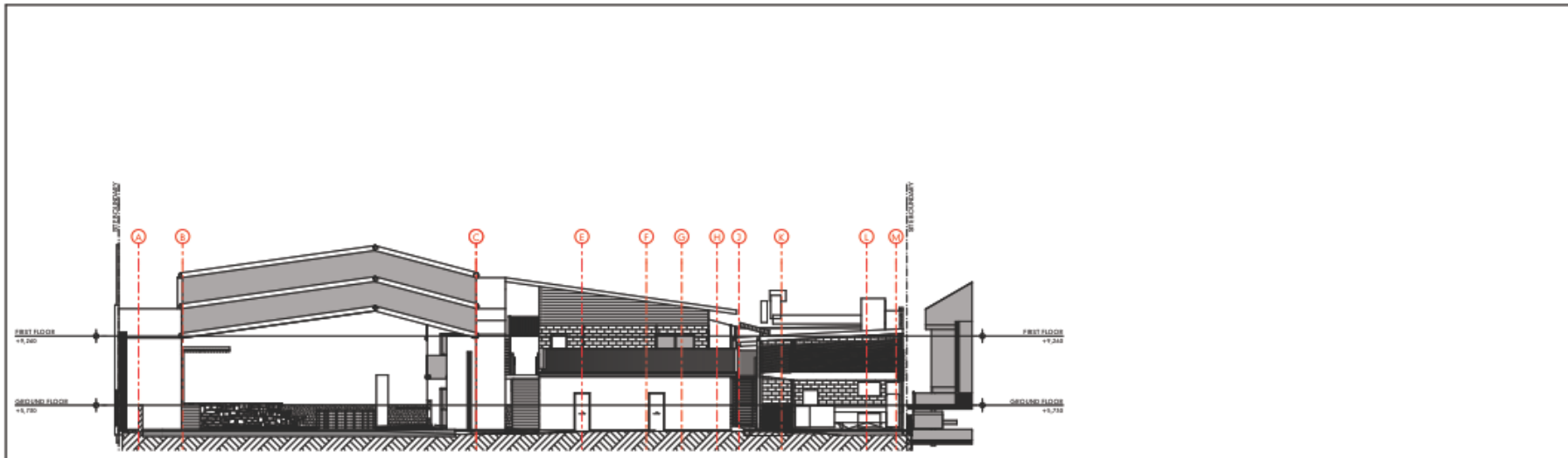
NO.	DATE	CHANGE / REVISION	BY
1	17.05.2019	PROPOSED AMENDMENT TO EXISTING DA	



PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 48177
 CLIENT: HILROCK PROPERTIES PTY LTD

SCALE	1:100	DATE	
PROJECT NO.	A1	DATE	DA
PROPOSED			
ELEVATIONS			
DATE	PET006	DATE	17/5/19
SCALE	A.00.4.4	SCALE	A

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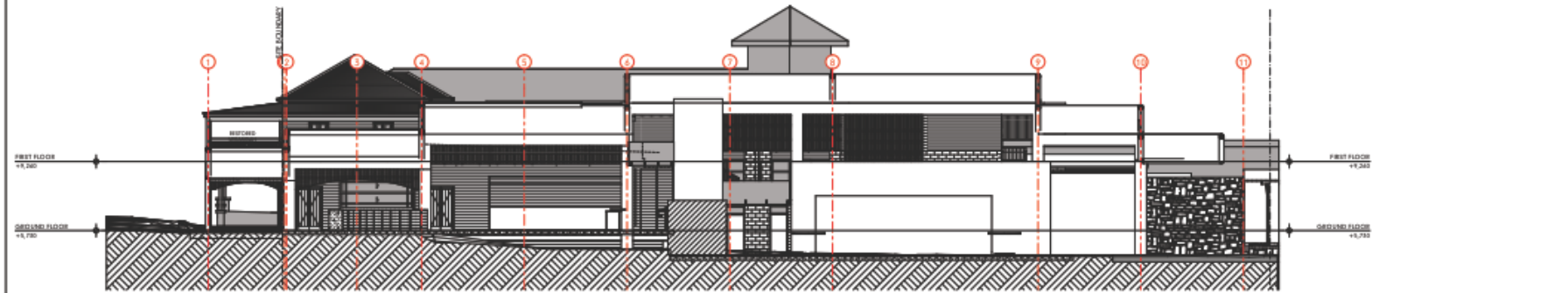


SOUTH WEST ELEVATION

SCALE 1:100

E3

A.00.4.1, A.00.4.2, A.00.4.3, A.00.4.4, A.00.4.5, A.00.4.6, A.00.4.7



NORTH WEST ELEVATION

SCALE 1:100

E4

A.00.4.1, A.00.4.2, A.00.4.3, A.00.4.4, A.00.4.5, A.00.4.6, A.00.4.7

IMPORTANT NOTES
 1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE BUILDING ACT 2006 AND THE BUILDING REGULATIONS 2006.
 2. THE DESIGNER HAS CONDUCTED VISUAL CHECKS AND VISUAL MEASUREMENTS OF THE EXISTING BUILDING AND HAS FOUND IT TO BE IN GOOD CONDITION.
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NO.	DATE	CHANGE DESCRIPTION	BY
1	17.05.2019	PROPOSED AMENDMENT TO EXISTING DA	

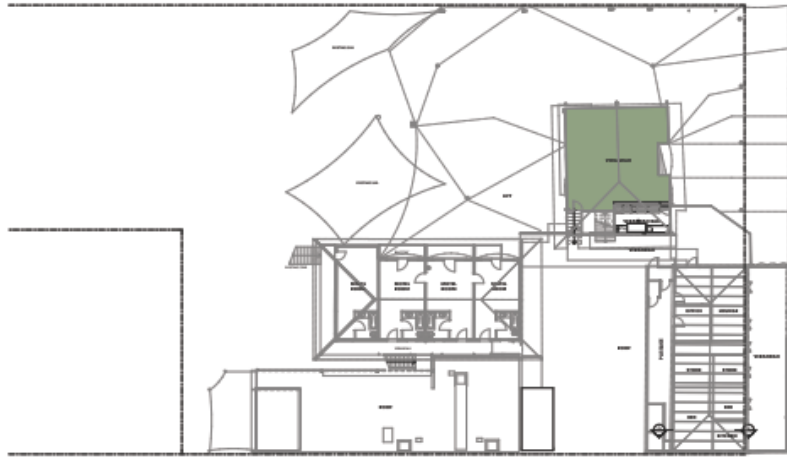
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PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 4877
 PROPOSED
 HIROCK PROPERTIES PTY LTD

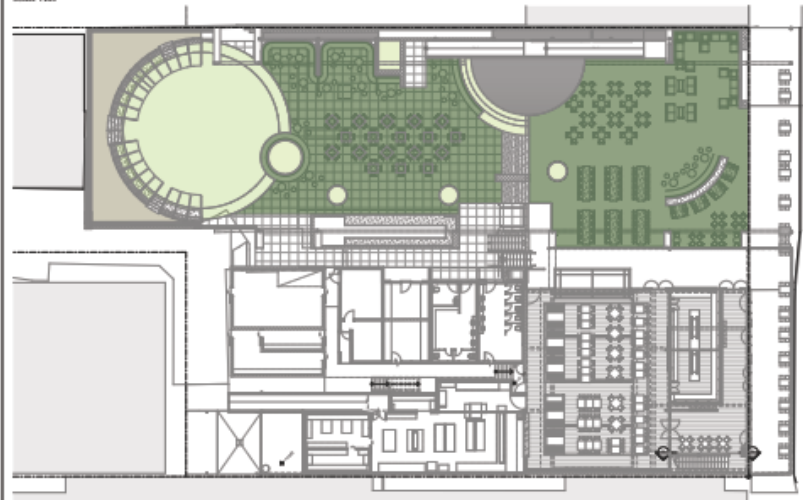
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PROJECT NO.	A1	DATE	17/5/19
PROPOSED	DA		
ELEVATIONS			
PROJECT NO.	PET006	DATE	17/5/19
REVISION	A.00.4.5	DATE	A



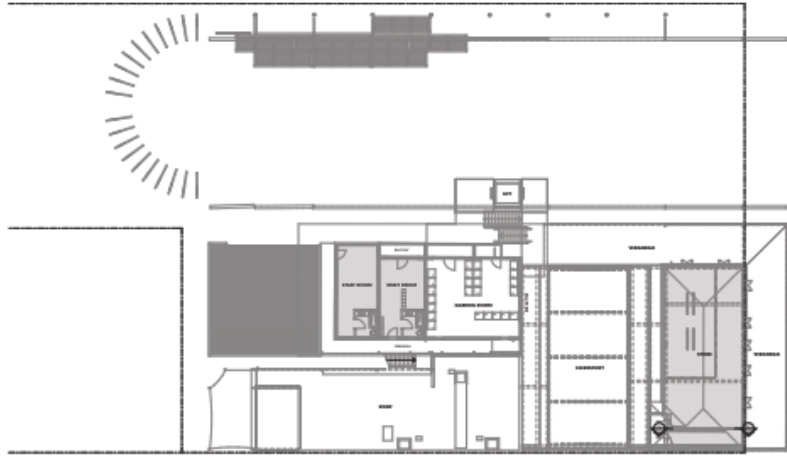
GROUND FLOOR PLAN - EXISTING CONDITIONS
SCALE 1:200



FIRST FLOOR PLAN - EXISTING CONDITIONS
SCALE 1:200



CAR PARKING CALCULATION
SCALE 1:200



FIRST FLOOR PLAN
SCALE 1:200

IMPORTANT NOTES
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CALCULATIONS FOR CAR PARKING REQUIREMENTS			
EXISTING CONDITIONS		PROPOSED	
AREA USE	AREA (M ²)	AREA USE	AREA (M ²)
PURPOSE	NO.	PURPOSE	NO.

No.	Desc	Change Name	Date
1.	PROPOSED AMENDMENT TO EXISTING DA		17.03.2019



PROJECT	PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 4877	DATE	17.03.2019
CLIENT	HILLOCK PROPERTIES PTY LTD	REVISION	A1
DESCRIPTION	AREA CALCULATIONS	DATE	17/5/19
REFERENCE	PET006	SCALE	A
PROJECT CODE	A.00.5.1		



MACRASSON STREET PERSPECTIVE 1



MACRASSON STREET PERSPECTIVE 2



MACRASSON STREET PERSPECTIVE



UPPER TERRACE PERSPECTIVE 1

IMPORTANT NOTES
 The Council is to advise the applicant that the above information and supporting documentation is to be used for the purpose of the assessment of the proposed development only. It is not to be used for any other purpose. The Council is not responsible for the accuracy of the information provided. The Council is not responsible for the accuracy of the information provided. The Council is not responsible for the accuracy of the information provided.

Rev	Desc	Change Dates	Date
1	RESPONSE SUBMITTED TO EXISTING DS		17.05.2019

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 4000 BRISBANE QLD 4000
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PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 4877
 HILROCK PROPERTIES PTY LTD

DATE	11.11.21	ISSUE	DA
PROJECT	A1	DATE	17/5/19
PROJECT	PET006	DATE	17/5/19
PROJECT	A.00.6.1	DATE	A



LOWER TERRACE PERSPECTIVE



LOWER TERRACE AERIAL PERSPECTIVE



UPPER TERRACE AERIAL PERSPECTIVE



AERIAL PERSPECTIVE

IMPORTANT NOTES

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Rev#	Desc	Change Name	Date
0		PROPOSED ALTERATIONS TO EXISTING DA	17.05.2019

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PROPOSED ALTERATIONS AND ADDITIONS TO THE CENTRAL HOTEL, PORT DOUGLAS, QLD 4877
 HILROCK PROPERTIES PTY LTD

DATE	11.11.21	SCALE	
PROJECT	A1	DATE	DA
PERSPECTIVES			
PROJECT	PET006	DATE	17/5/19
A.00.6.2		A	