

23th December 2024

Douglas Shire Council

64-66 Front St, Mossman QLD 4873

DSC DA Reference: MCUC 2023_5301/1

Our Reference: 24011-R001-01

OPERATIONAL WORKS APPLICATION LOT 10 ON RP735853 ANDREW ROAD, FOREST CREEK DRIVEWAY EARTHWORKS & ASSOCIATED DRAINAGE

1 Introduction

Progression Design Pty. Ltd. has been commissioned by Brenden Murphy to undertake the operational works engineering design of the engineering design required to construct a new driveway, pad earthworks and associated drainage upgrades at lot 10 RP735853 Andrew Road, Forest Creek.

This includes the following works designed and documented within the application:

- Driveway geometric design
- Earthworks associated with new driveway and dwelling/shed pad
- Culvert crossing over existing creek and details.
- Additional drainage infrastructure, erosion & sedimentation control strategy

Also included in the application herein is a response to the original development application conditions associated with MCUC 2023_5301/1 issued by Douglas Shire Council on the 19th July 2023.



Figure 1: Aerial image of site location (QLD Globe 2024)

OPERATIONAL WORKS MEMO

Attached in the following documentation is a set of civil engineering plans, RPEQ certified by Greg Applin from Applin Consulting (RPEQ No. 6073)

It is noted that the engineering plans and associated notation on the plans form the engineering specification for the project and clearly outlines the intention of the new works as listed below.

Documentation attached includes:

- Set of RPEQ certified engineering plans
- RPEQ certified FNQROC Compliance Form
- State Assessment & Referral Agency DA Form 1
- Copy of DSC Decision Notice MCUC 2023_5301/1

2 Engineering Works Required

2.1 Project Intent

The intent of the works is to construct a new driveway from Andrew Road into the property leading up to an earthworks pad positioned for a new dwelling/shed. The new driveway has been designed to accommodate a future extension leading further up the hill within the lot to a future dwelling pad. In the interim term a small turn around 'cul-de-sac' has been designed to accommodate a future connection.

The driveway is designed to a 3.6m width with a 0.5m drainage berm each side. The driveway will cross an existing waterway at approx. chainage 80.00 utilising a dual-culvert crossing.

2.2 Drainage

The driveway will cross a small creek at approx. chainage 80.00. It has been proposed that dual 3300x2400 RCB Culverts will be installed to accommodate the existing creek flow. Pre-determination of this existing creek assumes it will be highlighted as a fish passage. The culvert has been designed to fall 300mm deep into the existing creek bed. 300mm of fill, similar to the existing creek material will be added into the bottom of the culvert to allow for safe fish passage.

2 No. 3300 x 2400 RCB culverts are well oversized for the calculated overland flow that comes off the hill to the north of the property. The culvert size was selected based on available materials in the region and therefore has resulted in an abundance of capacity through the new passage. Plan 24011-C010 – Drainage Catchment Plan, represents the approx. catchment that feeds into this existing creek. A basic catchment calculation included on the plan demonstrates the existing flow from the catchment as 9.144m³/s. It is noted that a 15min. time of concentration was utilised as a conservative approach, however a more accurate Bransby-Williams calculation determines the time of concentration for a catchment this size to be close to

OPERATIONAL WORKS MEMO

35mins. Regardless the resulting capacity of the 3300 x 2400 (with 300mm fill in the bottom, giving a true opening size of 3300 x 2100) of over 100m³/s at the grades shown in the plans.

Due to the approximate nature of calculated catchment flows in an undeveloped area and with the significant weather event flows that may be experienced on this system, it has been determined that significantly oversizing this infrastructure was of prudent benefit to the owner and neighbours downstream.

2.3 Earthworks

The earthworks for the new driveway and pad has been designed to take best advantage of the natural site levels and to balance the cut and fill onsite. All cut made onsite will be utilised on the dwelling/shed pad.

Earthworks volumes from the 12D model show the site final cut/fill to be:

Cut: 760m³

Fill: 623m³ (110m³ removed from fill figure for import of driveway gravel material and rock berms)

Balance: 137m³ excess cut to be used onsite or stockpiled for future.

Note: No compaction factors have been added to the figures above.

2.4 Response to Development Approval Conditions

Operational Works

3. An Operational Work Approval is required for the creek crossing and driveway construction associated with the development. The application for Operational Work must include, but not be limited to, the following:

- a. A Site Plan showing the area of vegetation to be removed to facilitate the construction of the creek crossover and driveway construction. The remaining trees are to be protected as per the Australian Standard Protection of Trees on Development Sites AS 4970-2009;

Design Response:

Refer to Plan No. 24011-C011 which nominates the site 'Boundary of Works' this boundary of works is also noted on the plan as extent of vegetation clearing.

- b. Plan of Earthwork detailing excavation and fill for the construction of the access driveway and creek crossing;

Design Response:

Refer to Plan No. 24011-C003 which depicts the earthworks (Cut & Fill) required to facilitate the driveway.

- c. Design details and cross section drawings for the access driveway extending from the road boundary to the Dwelling House. The driveway and creek crossing must;
 - i. Be designed to be no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Development Manual;
 - ii. Designed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;
 - iii. On gradients greater than 1 in 6 (16.6%) driveways are designed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;
 - iv. Designed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;
 - v. Designed to include all necessary associated drainage that intercepts and directs storm water runoff to a lawful point of discharge, such that it does not compromise the integrity of the driveway and creek crossing;
 - vi. Designed to ensure that any excavation or fill does not exceed 2 metres in height for each batter or retaining wall;
 - vii. Designed in accordance with the Planning scheme policy SC6.5 – FNQROC Development Manual and AS2890.1- 2004. In particular, the grade, width, opportunity for passing bays and resulting earthworks are to be confirmed.

Doc ID:1167580 MCUC 2023_5301/1 Page 4 of 20

Design Response:

Design details, cross sections and long sections all included in package of works.

- d. Plans, elevations, and cross section drawings for the creek crossing and any necessary retaining structures, the crossing must be designed and certified by a RPEQ (Registered Practising Engineer Queensland). The design of the creek crossing must not inhibit fish passage within the waterway.

Design Response:

Refer to plan 24011-C008 & 24011-C009 for culvert details including sections and elevations. All works has been signed off by an RPEQ.

- e. Provision of an access crossover and apron in accordance with FNQROC Development Manual Standard Drawing S1105;

Design Response:

Crossover shown in design plans.

- f. All earthworks must be carried out in accordance with section CP1.13 and D5 of the FNQROC Development Manual. A copy of the contractors Erosion and Sediment Control Plan (ESCP) is to be submitted to Council prior to the issue of a Development Permit for Operational Work. Measures nominated in the ESCP must be implemented prior to commencement of any earthworks. The ESC Plan must address the Institution of Engineers' Australia Guidelines for Soil Erosion and Sediment Control and the Environment Protection (Water) Policy and Clauses CP1.06, CP1.13 and D5.10 of Council's FNQROC Development Manual.

Such works must be completed to the satisfaction of the Chief Executive Officer prior to the issued of a development Permit for Building Works.

Design Response:

Noted for client/contractor involvement.

OPERATIONAL WORKS MEMO

Water Supply

4. Water storage tank(s) with a minimum capacity not less than 30,000 litres must be installed prior to occupation of the Primary Dwelling House. Such water tanks must be provided with:

- a. Mosquito-proof screens of brass, copper, aluminium or stainless-steel gauze not coarser than one (1) mm aperture mesh of substantial construction and installed in such manner as not to cause or accelerate corrosion; or
- b. Flap valve at every opening of the tank or other receptacle; or
- c. Other approved means for preventing the ingress or egress of mosquitoes; and d. The water tank(s) shall be fitted with a 50 mm ball valve with a camlock fitting.

Design Response:

Noted for client/contractor involvement.

Treatment of Onsite Waste

5. The method of on-site effluent disposal must be in accordance with the Queensland Plumbing and Drainage Act 2002 and Section 33 of the Environmental Protection Policy (Water) 1997.

Design Response:

Noted for client/contractor involvement.

Vegetation Clearing

6. Existing vegetation on the subject land is to be retained, except where removal is permitted for this development in accordance with the site plan nominated in Condition 3 (a), the Planning Scheme or otherwise approved under a separate development permit.

Design Response:

Refer to Plan No. 24011-C011 which nominates the site 'Boundary of Works' this boundary of works is also noted on the plan as extent of vegetation clearing.

Building Colours

7. Building colours should be non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site by vegetation screening.

Design Response:

Noted for client/contractor involvement.

OPERATIONAL WORKS MEMO

Generators

8. Noise from generators, air-conditioning units, swimming and spa pool filters, service equipment or other mechanical equipment, must not emanate from the subject land to a degree that would, in the opinion of the Chief Executive Officer, create an environmental nuisance having regard to the provisions of Chapter 8 Part 3B of the Environmental Protection Act 1994.

Design Response:

Noted for client/contractor involvement.

Fuel Storage

9. All fuels must be stored in an undercover and secure location at all times.

Design Response:

Noted for client/contractor involvement.

Please do not hesitate to get in contact with me about the above project.

Sincerely,



Matthew Tickner

Director

E matthew@progressiondesign.com.au | M 0417 383 564

PROGRESSION
DESIGN & DEVELOPMENT

LOT 10 ANDREW CLOSE, FOREST CREEK
DRIVEWAY & PAD WORKS

DRAWING SCHEDULE	
DRAWING NUMBER	DESCRIPTION
24011-C001	COVER PAGE & LOCALITY PLAN
24011-C002	SITE LAYOUT PLAN & NOTES
24011-C003	SITEWORKS & DRAINAGE PLAN
24011-C004	DRIVEWAY LONGSECTIONS
24011-C005	DRIVEWAY & SITE TYPICAL SECTIONS
24011-C006	DRIVEWAY CROSS SECTIONS - SHEET 1 OF 2
24011-C007	DRIVEWAY CROSS SECTIONS - SHEET 2 OF 2
24011-C008	CULVERT DETAIL PLAN
24011-C009	CULVERT DETAILS
24011-C010	DRAINAGE CATCHMENT PLAN
24011-C011	EROSION & SEDIMENTATION CONTROL STRATEGY
24011-C012	EROSION & SEDIMENTATION CONTROL DETAILS



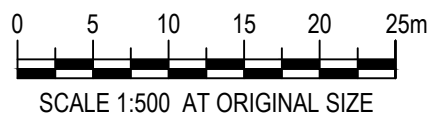
LOCALITY PLAN
NOT TO SCALE

0	23.12.2024	FOR APPROVAL		MT	GA
REV.	DATE	DESCRIPTION		DES.	APP.

DRAWN M. TICKNER	CLIENT BRENDEN MURPHY	STATUS FOR APPROVAL	
DESIGNED M. TICKNER	PROJECT LOT 10 ANDREW CLOSE DRIVEWAY		
APPROVED G. APPLIN	DATE 23.12.2024	SCALE AS SHOWN	SIZE A1
RPEQ 6073	TITLE COVER PAGE	DRAWING NUMBER 24011-C001	REVISION 0



0	23.12.2024	FOR APPROVAL			
REV.	DATE	DESCRIPTION			
				MT	GA
				DES.	APP.



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DESIGN & DEVELOPMENT
M 0417 383 564 | E matthew@progressiondesign.com.au
www.progressiondesign.com.au

DRAWN		CLIENT BRENDEN MURPHY				
M. TICKNER		PROJECT LOT 10 ANDREW CLOSE DRIVEWAY		STATUS FOR APPROVAL		
DESIGNED						
M. TICKNER		SCALE AS SHOWN		SIZE A1		
APPROVED	DATE	23.12.2024	TITLE SITE LAYOUT PLAN & NOTES		DRAWING NUMBER 24011-C002	REVISION 0
G. APPLIN						
RPEQ 6073						

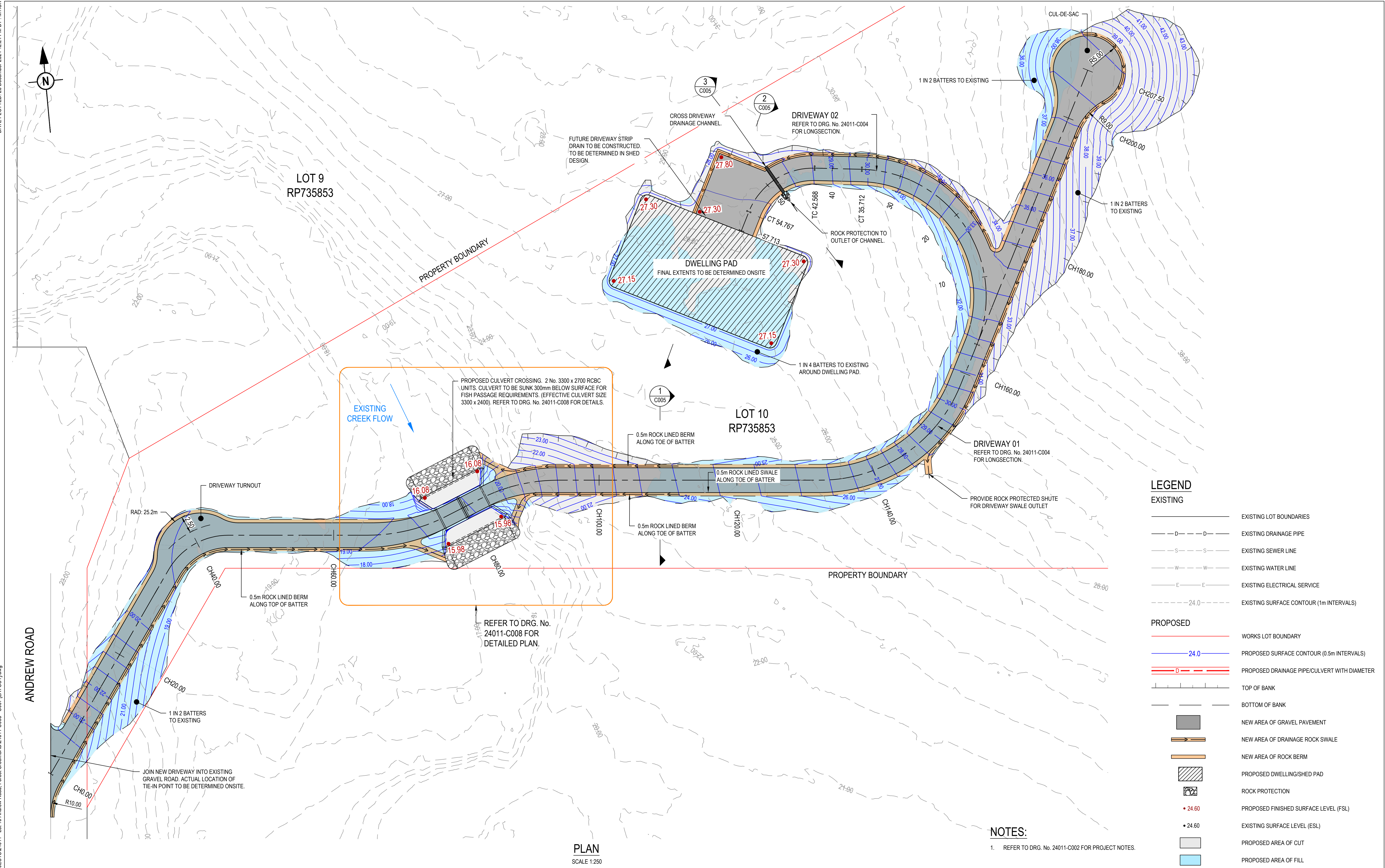
1. IF IN DOUBT ASK.
2. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL INFORMATION ISSUED BY THE SUPERINTENDENT DURING THE COURSE OF THE CONTRACT.
3. ALL LEVELS ARE AHD DERIVED.
4. ALL DIMENSIONS AND RADII ARE EXPRESSED IN METRES (UNO).
5. DRAWINGS SHALL NOT BE SCALED.
6. EXISTING CONTOURS, LEVELS AND FEATURES SHOWN ON THE DRAWINGS ARE INDICATIVE ONLY AND ARE BASED ON SURVEY DRAWINGS AND DATA PROVIDED.
7. ALL DIMENSIONS RELEVANT TO SETTING OUT, SURFACE LEVELS AND INVERT LEVELS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT.
8. THE CONTRACTOR SHALL ENSURE THAT ALL WORKS ARE MAINTAINED IN A SAFE AND STABLE CONDITION AND THAT ADEQUATE PROTECTION AGAINST EROSION AND SILTATION IS IN PLACE.
9. GRADE EVENLY BETWEEN LEVELS SHOWN EXCEPT WHERE LEVELS INDICATE VERTICAL CURVES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION PROTECTION AND SEDIMENT CONTROL FOR THE WORKS AS SPECIFIED AND TO THE SATISFACTION OF THE SUPERINTENDENT.
11. CONFIRM ALL EXISTING LEVELS WHERE APPROPRIATE; IF LEVELS ARE DIFFERENT TO INDICATED CONFIRM COURSE OF ACTION WITH ENGINEER.
12. ALL WORKS SHOULD COMPLY WITH AND BE UNDERTAKEN IN ACCORDANCE WITH THE LATEST VERSION OF THE FNRORC DEVELOPMENT MANUAL.
13. ALL EXISTING SERVICES SHALL BE LOCATED ON SITE AND PROTECTED FOR THE DURATION OF THE WORKS.

1. ALL EARTHWORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS3798 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'.
2. NO VEGETATION SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE SUPERINTENDENT UNLESS NOTED ON THE DRAWINGS.
3. FINISHED SURFACE LEVELS SHOWN ON PROJECT DRAWINGS ARE AFTER ALL EARTHWORKS ARE COMPLETE INCLUDING TOPSOLLING. ALL AREAS ARE TO BE GRADED EVENLY BETWEEN FINISHED SURFACE LEVELS UNLESS NOTED OTHERWISE.
4. DRY DENSITY RATIO AS REFERRED TO IN THESE NOTES IS THE RATIO DETERMINED IN ACCORDANCE WITH AS1289.5.4.1 OF COMPACTED DRY DENSITY IN ACCORDANCE WITH AS1289.5.3.1 OR AS1289.5.1.2 TO THE STANDARD MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH AS1289.5.1.11 (STANDARD COMPACTION).
5. STRIP ALL VEGETAL MATTER, TOPSOIL AND OTHER UNSUITABLE MATERIAL FROM AREAS TO BE EXCAVATED OR FILLED AND DISPOSE OFF SITE UNLESS ADVISED OTHERWISE.
6. EXCAVATE AS REQUIRED AND DEPOSIT EXCAVATED MATERIAL AS NECESSARY. COMPACT SURFACES EXPOSED BY STRIPPING OR EXCAVATION TO 98% DRY DENSITY RATIO TO A DEPTH OF AT LEAST 250mm. SHOULD ANY SOFT OR UNSUITABLE MATERIAL BE IDENTIFIED SEEK THE ADVICE OF THE SUPERINTENDENT OR GITA.
7. COMPACT FILL TO 98% DRY DENSITY RATIO IN LAYERS OF THICKNESS APPROPRIATE TO THE COMPACTION PLAN EMPLOYED BUT NOT EXCEEDING 300mm.
8. STOCKPILE SUITABLE TOPSOIL FOR RE-USE TO 1500 mm MAXIMUM HEIGHT.
9. DO NOT STOCKPILE MATERIAL AGAINST TREES. DO NOT OBSTRUCT THE FREE FLOW OF WATER.
10. NOTIFY DESIGN SUPERINTENDENT ENGINEER IF GROUND WATER ENCOUNTERED.
11. PROVIDE TEMPORARY SUPPORT TO FACES OF EXCAVATIONS AS REQUIRED.

1. REFER TO DRG No. 24011-011 FOR EROSION & SEDIMENTATION CONTROL STRATEGY PLAN AND 24011-012 FOR ESC DETAILS. DETAILS SHOWN ON THESE DRAWINGS REPRESENT PROPOSED MINIMUM REQUIREMENTS FOR ONE POSSIBLE METHOD TO ACHIEVE COMPLIANCE WITH LEGISLATION TO PREVENT ENVIRONMENTAL HARM FROM EROSION AND SEDIMENT TRANSFER OFF THE CONSTRUCTION SITE. HOWEVER, UNDERTAKING THE MINIMUM WORKS SHOWN ON THESE DRAWINGS MAY NOT BE SUFFICIENT TO ACHIEVE COMPLIANCE.
2. PRIOR TO CONSTRUCTION COMMENCING, THE CONTRACTOR MUST PREPARE AN EROSION & SEDIMENT CONTROL PLAN (ESCP) TO MANAGE THE SITE DURING CONSTRUCTION. ALL EROSION & SEDIMENT CONTROL MEASURES TO BE IN ACCORDANCE WITH THE BEST PRACTICE EROSION AND SEDIMENT CONTROL GUIDELINES, IECA.
3. THE ESCP MUST BE CONSISTENT WITH THE APPROVED EROSION & SEDIMENT CONTROL STRATEGY (ESCS) AND SHALL TAKE INTO CONSIDERATION THE CONTRACTOR'S PROPOSED CONSTRUCTION METHODOLOGY AND PROGRAM.
4. NO EARTHWORKS SHALL COMMENCE ON ANY PART OF THE SITE PRIOR TO INSTALLING APPROPRIATE ESC MEASURES DOWNSTREAM OF THE SITE AND IN ACCORDANCE WITH THE APPROVED ESC.
5. AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS AND TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION AND DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION.
6. THE IMPACT ON THE ENVIRONMENT SHALL BE MINIMISED BY OBSERVING THE FOLLOWING CONSTRUCTION PRACTICES:
7. AREAS DISTURBED BY CONSTRUCTION TRAFFIC AND PROCEDURES SHALL BE MINIMISED.
8. MINIMISE TRAFFIC MOVEMENTS AND SPEEDS ON EXPOSED SURFACES.
9. REVEGETATION OF DISTURBED AREAS SHALL BE CARRIED OUT SOON AFTER THE COMPLETION OF TOPSOIL PLACEMENT.
10. FLOW DIVERSION SHALL BE CARRIED OUT BY EARLY INSTALLATION OF DRAINS ALONG TOPS OF BATTERS WITH APPROPRIATE SILTATION CONTROL DEVICES.
11. SEDIMENT INTERCEPTION BY THE PLACEMENT OF SUITABLE RETENTION SYSTEMS ACROSS DRAINAGE LINES AND AT INTERCEPTION POINTS FOR BOTH THE CONSTRUCTION AND STOCKPILE AREAS.
12. ALL PERMANENT AND TEMPORARY UNLINED SWALES AND DRAINS TO HAVE APPROPRIATE TEMPORARY EROSION PROTECTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF DUST EMANATING FROM THE SITE AT ALL TIMES FOR THE DURATION OF CONSTRUCTION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE CHECKED FOR DAMAGE, CLEANED OUT AND FULLY REINSTATE AFTER EACH RAINFALL EVENT RESULTING IN RUNOFF.
15. THE INSTALLATION, REMOVAL, RELOCATION OR MODIFICATION TO EROSION AND SEDIMENT CONTROL DEVICES MAY BE MADE BY COUNCIL IF DEEMED NECESSARY AND RELEVANT.
16. EROSION AND SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE TREATMENT AREA IS SUITABLY STABILISED/VEGETATED.

1. NEW DRIVEWAY SHALL JOIN SMOOTHLY TO EXISTING WORKS. WHERE NECESSARY, EXISTING WORKS SHALL BE CUT BACK TO FORM A NEAT JOIN.

1. ANY ADDITIONAL REINFORCED CONCRETE PIPES REQUIRED SHALL BE CLASS 2 UNLESS NOTED OTHERWISE. ALTERNATIVE MATERIAL TYPES SUCH AS HDPE OR FRC MAYBE USED SUBJECT TO SUPERINTENDENTS APPROVAL.
2. EXCAVATION, BEDDING AND BACKFILL FOR CONCRETE PIPES SHALL BE CARRIED OUT IN ACCORDANCE WITH FNQROC STANDARD DRAWING S1046.
3. ALL CAST-IN-SITU HEADWALLS SHALL BE PROVIDED IN ACCORDANCE WITH FNQROC STD DRG'S S1075, S1080, S1085, AND S1090.
4. ALL PRECAST HEADWALLS SHALL BE PROVIDED WITH CONCRETE CUT-OFF WALL IN ACCORDANCE WITH FNQROC STD DRG S1075. WHERE HEADWALL ABUTS CONCRETE LINED CHANNEL THE CUT-OFF WALL MAYBE OMITTED SUBJECT TO APPROVAL BY THE SUPERINTENDENT.



REV.	DATE	DESCRIPTION	DES.	APP.
0	23.12.2024	FOR APPROVAL	MT	GA

PROGRESSION
DESIGN & DEVELOPMENT
M 0417 383 564 | E matthew@progressiondesign.com.au
www.progressiondesign.com.au

DRAWN
M. TICKNER

DESIGNED
M. TICKNER

APPROVED
G. APPLIN

RPEQ 6073

CLIENT
BRENDEN MURPHY

PROJECT
LOT 10 ANDREW CLOSE DRIVEWAY

TITLE
DRIVEWAY & DRAINAGE PLAN

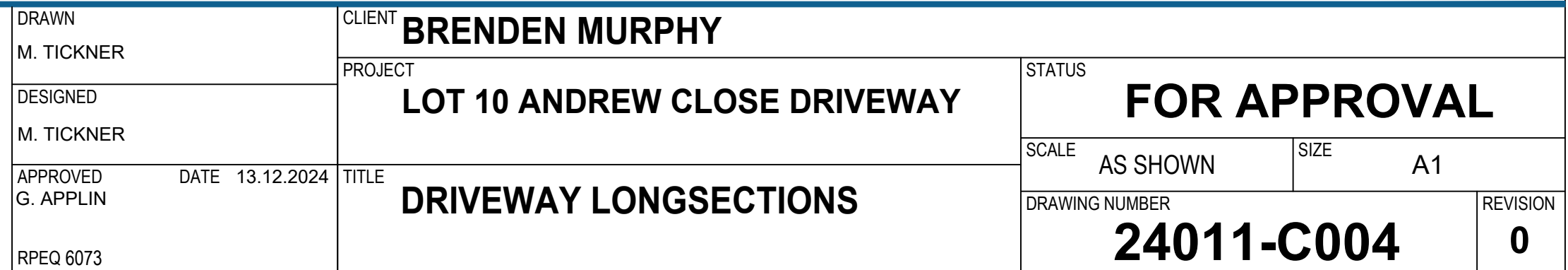
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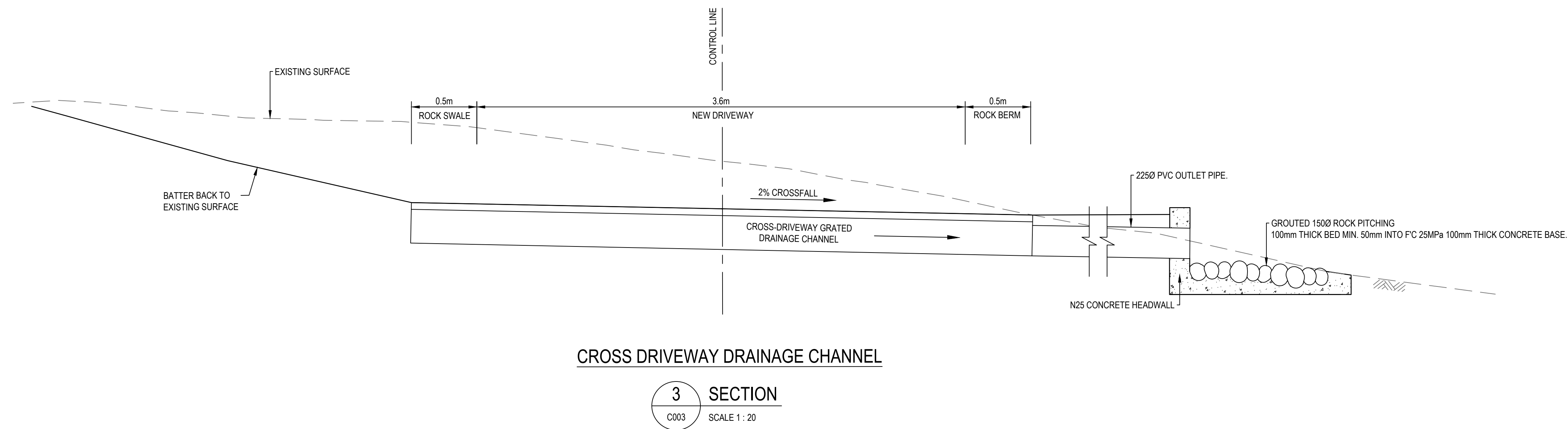
SCALE
AS SHOWN

SIZE
A1

DRAWING NUMBER
24011-C003

REVISION
0



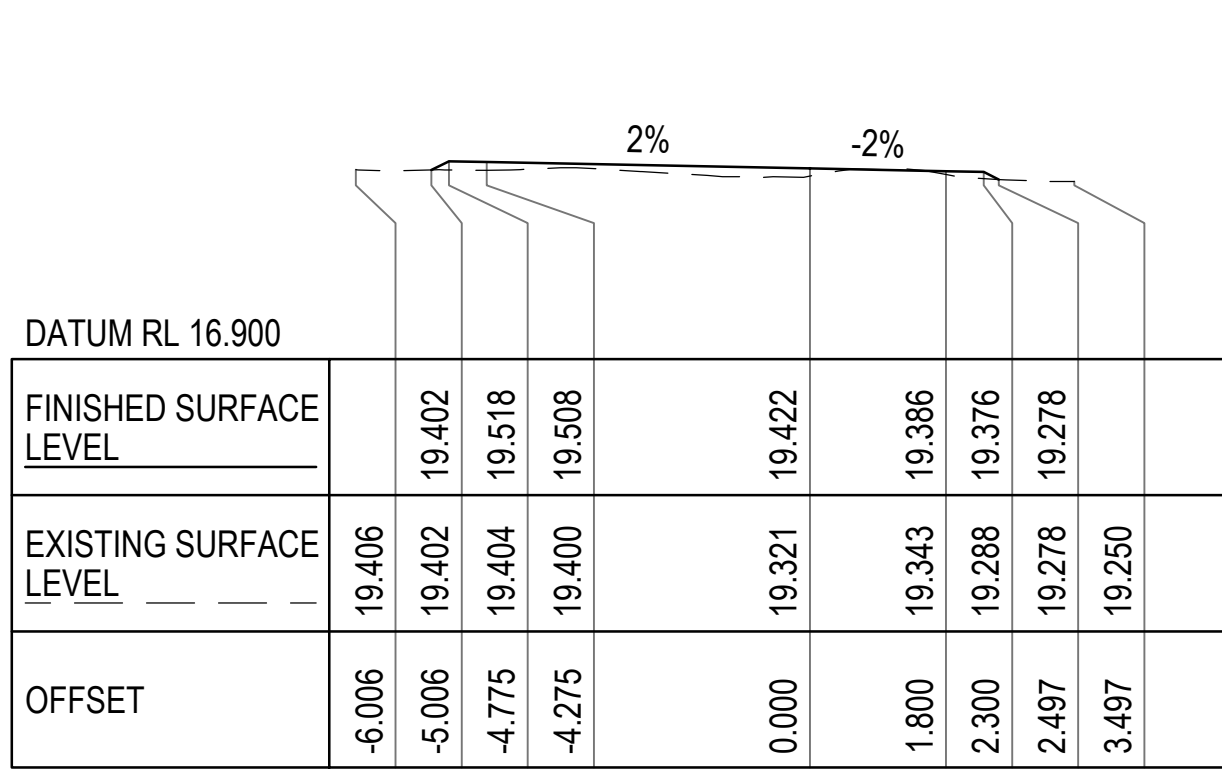


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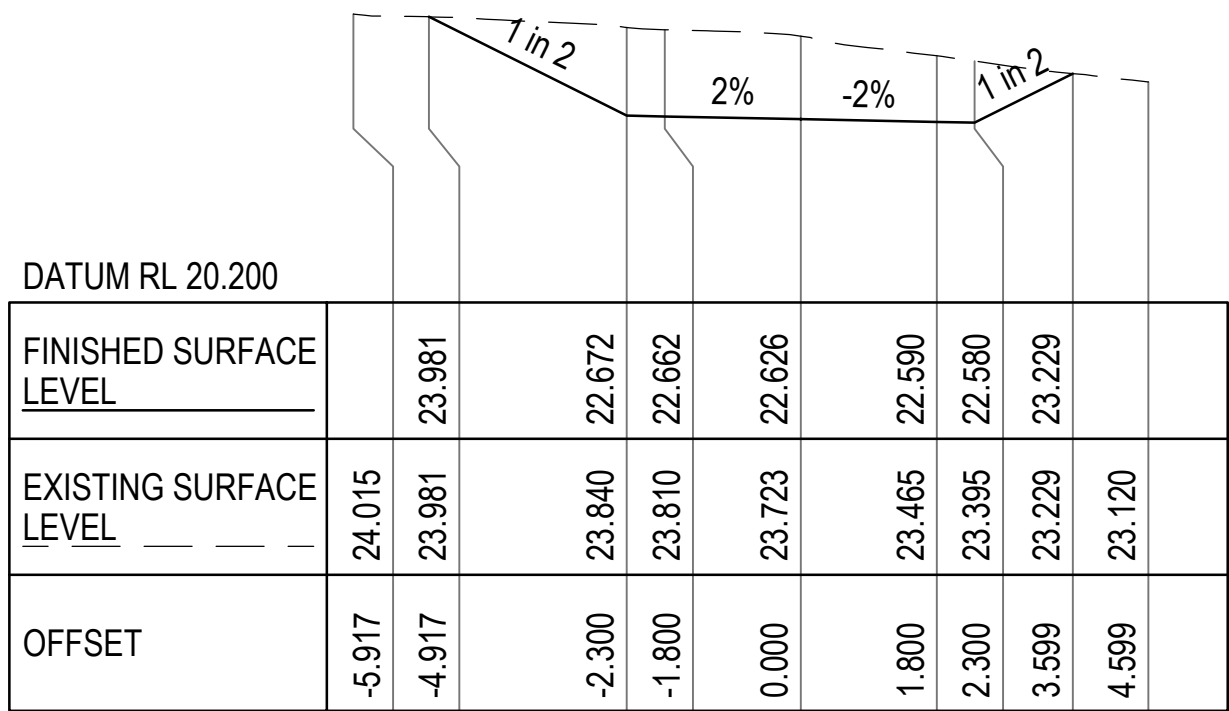


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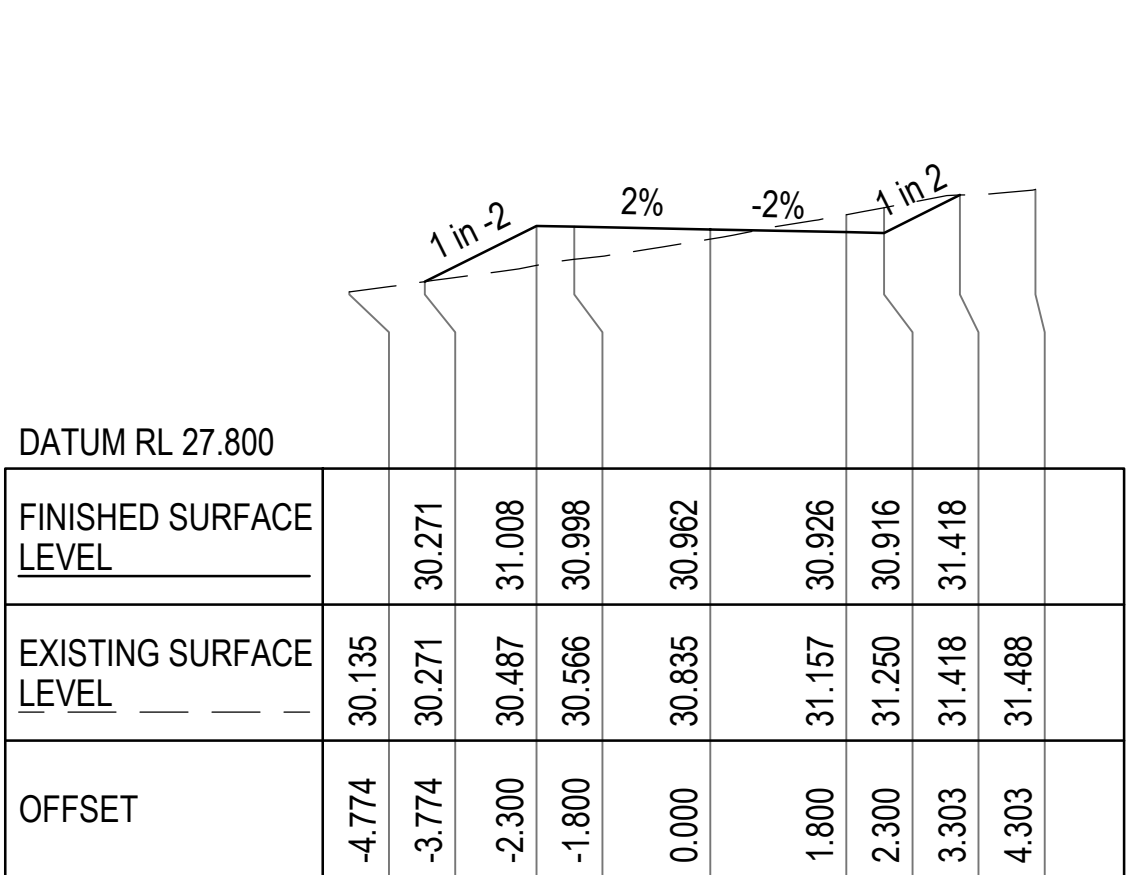
DRAWN M. TICKNER		CLIENT BRENDEEN MURPHY	
DESIGNED M. TICKNER		PROJECT LOT 10 ANDREW CLOSE DRIVEWAY	STATUS FOR APPROVAL
APPROVED G. APPLIN		TITLE DRIVEWAY & SITE TYPICAL SECTIONS	SCALE AS SHOWN SIZE
DATE 23.12.2024		DRAWING NUMBER 24011-C005	REVISION 0
RPEQ 6073			



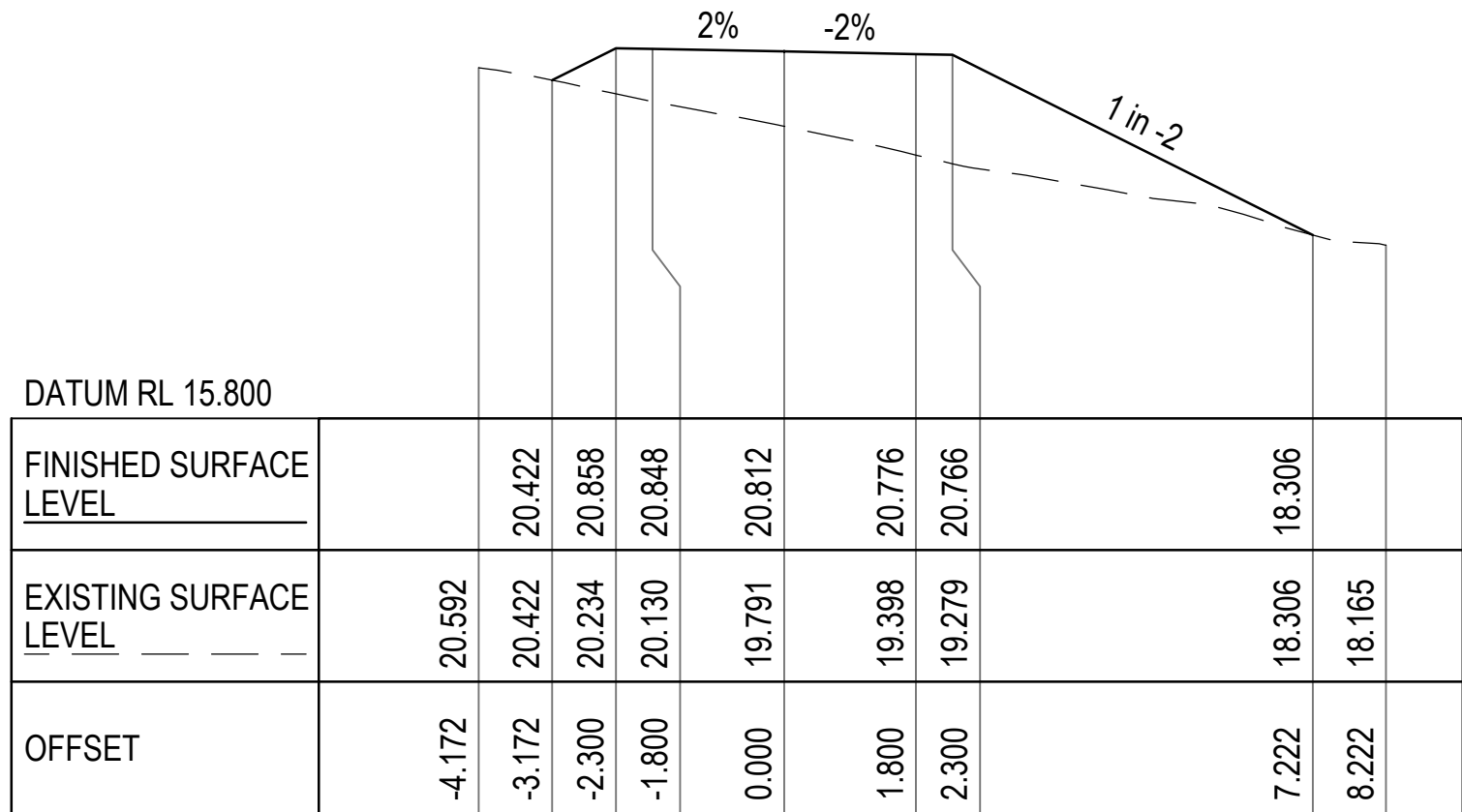
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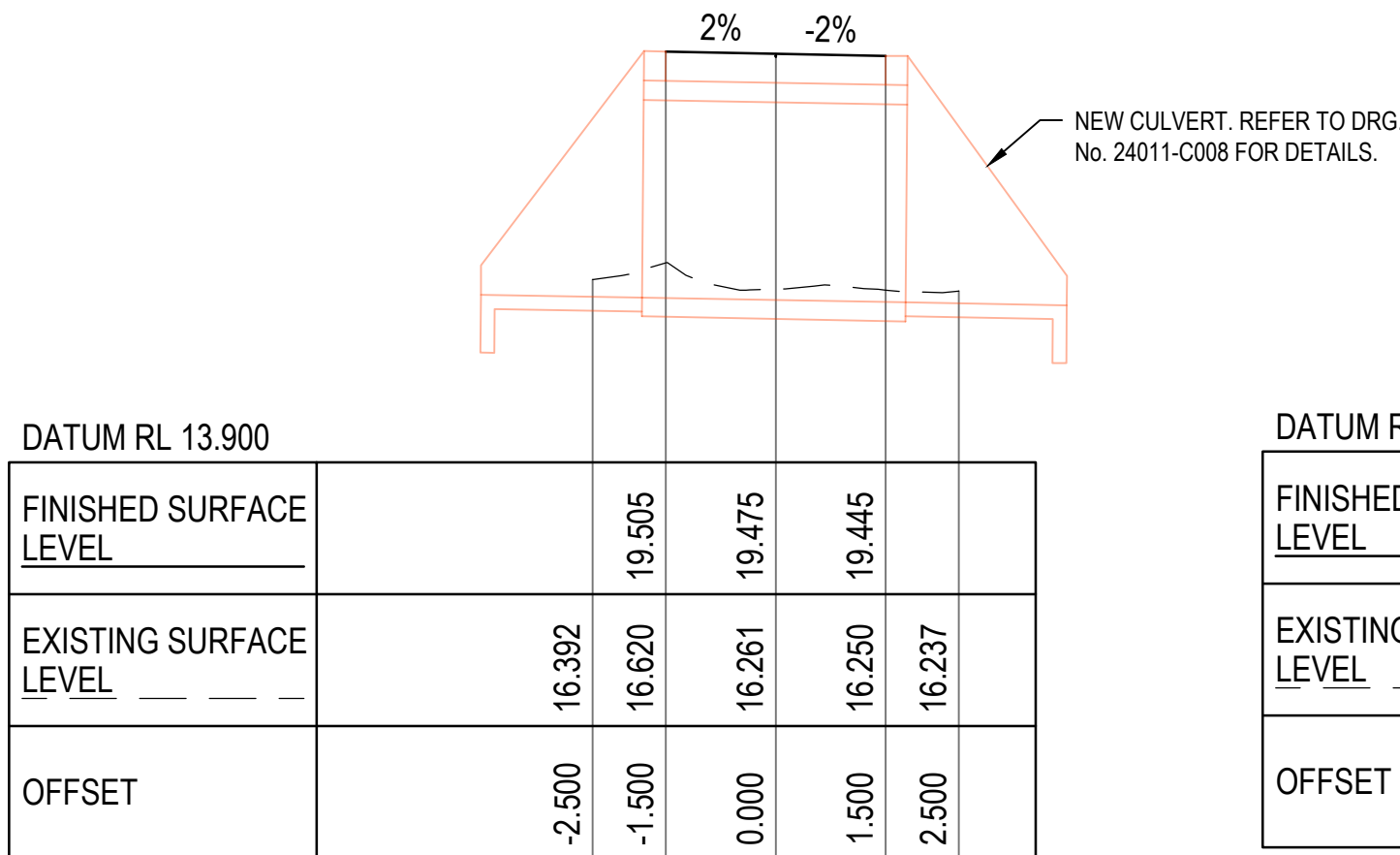
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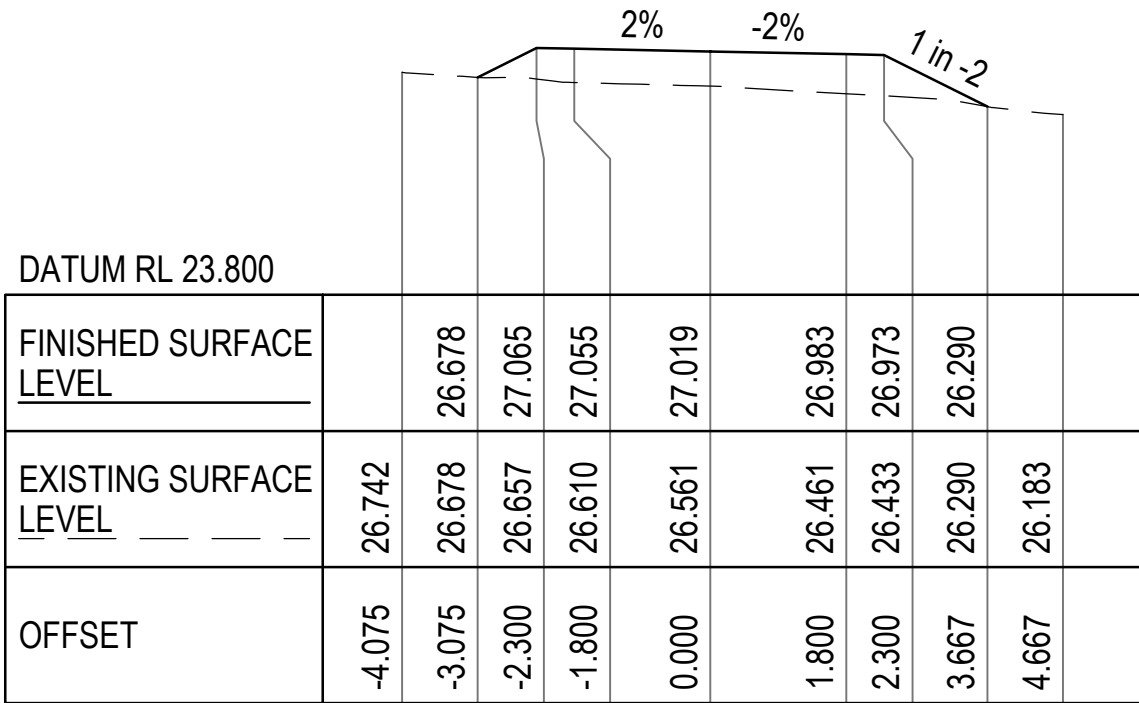
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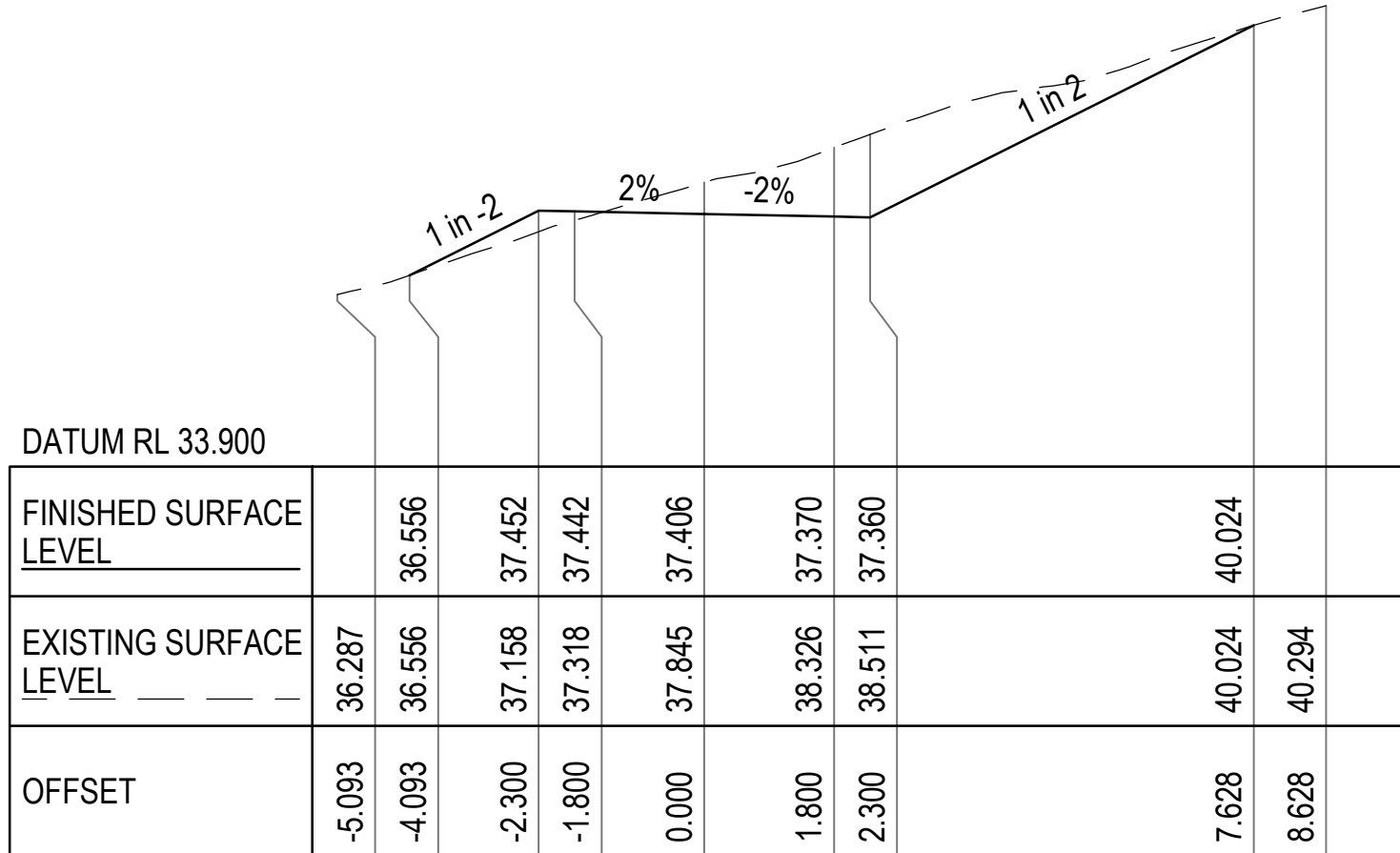
CH 20.000



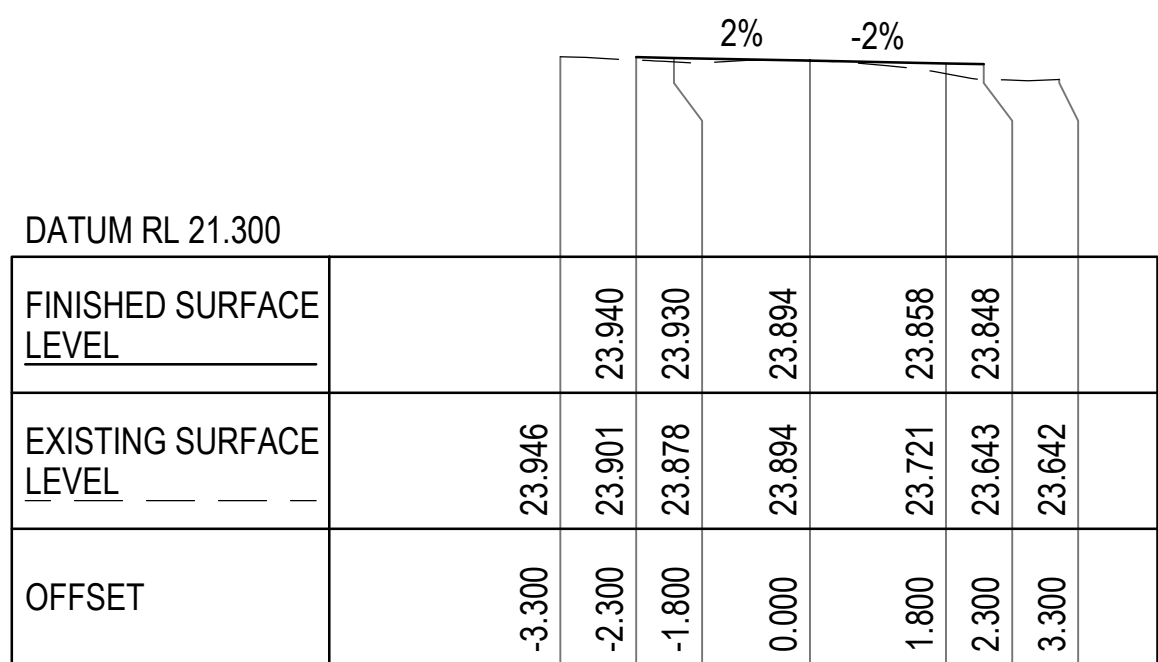
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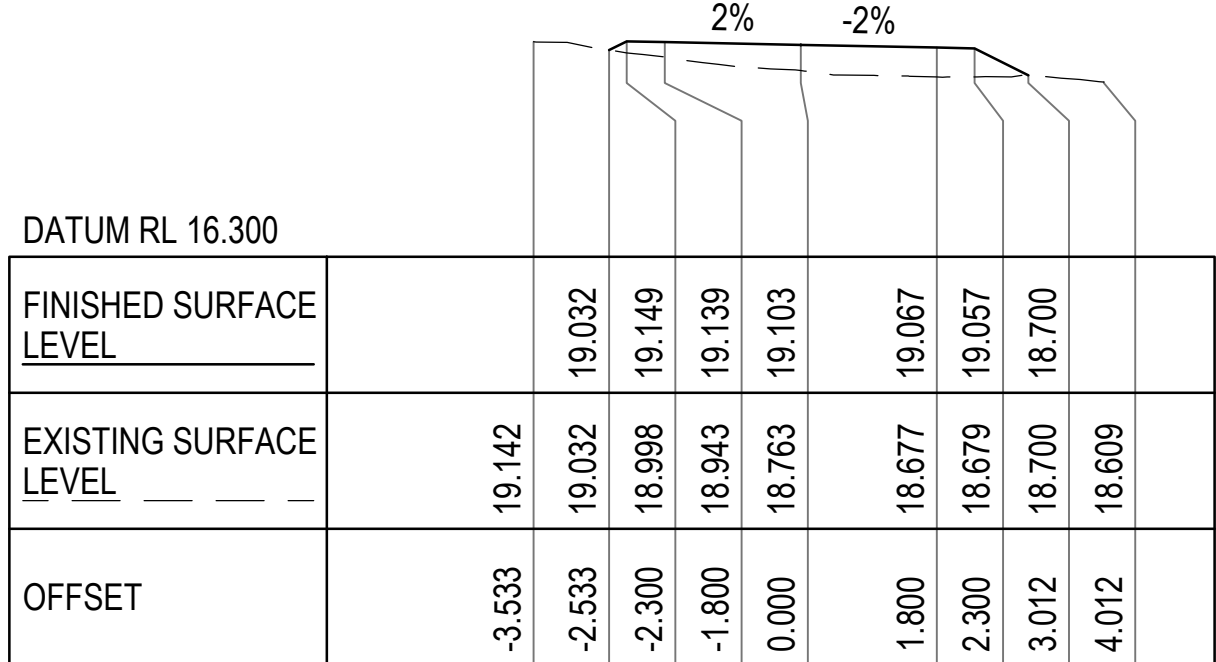
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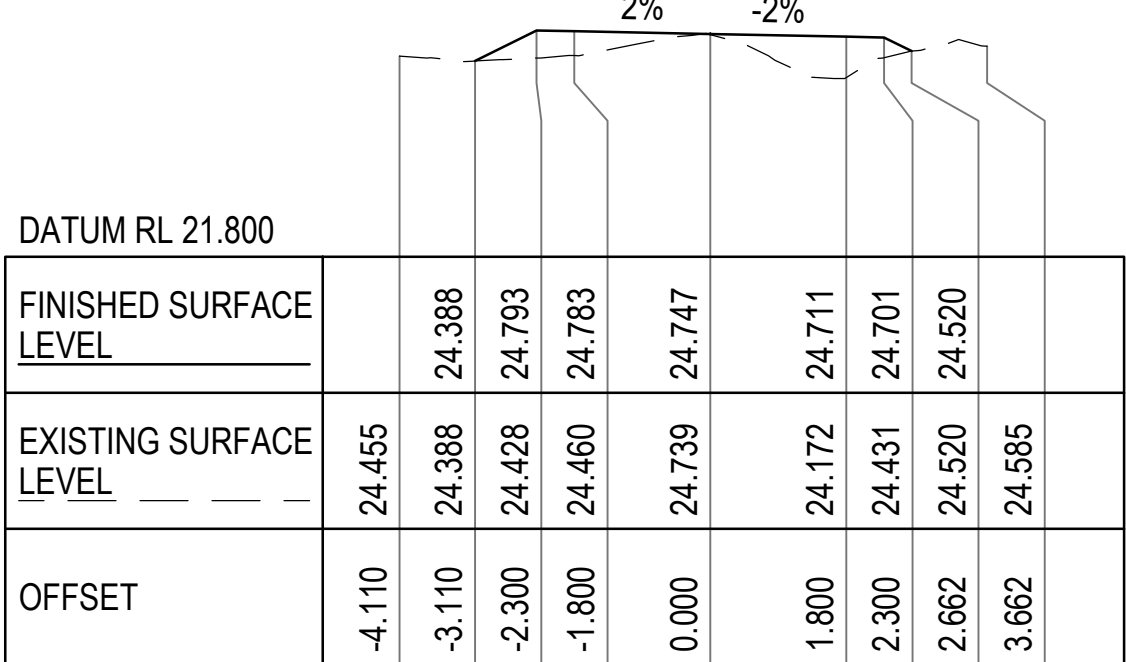
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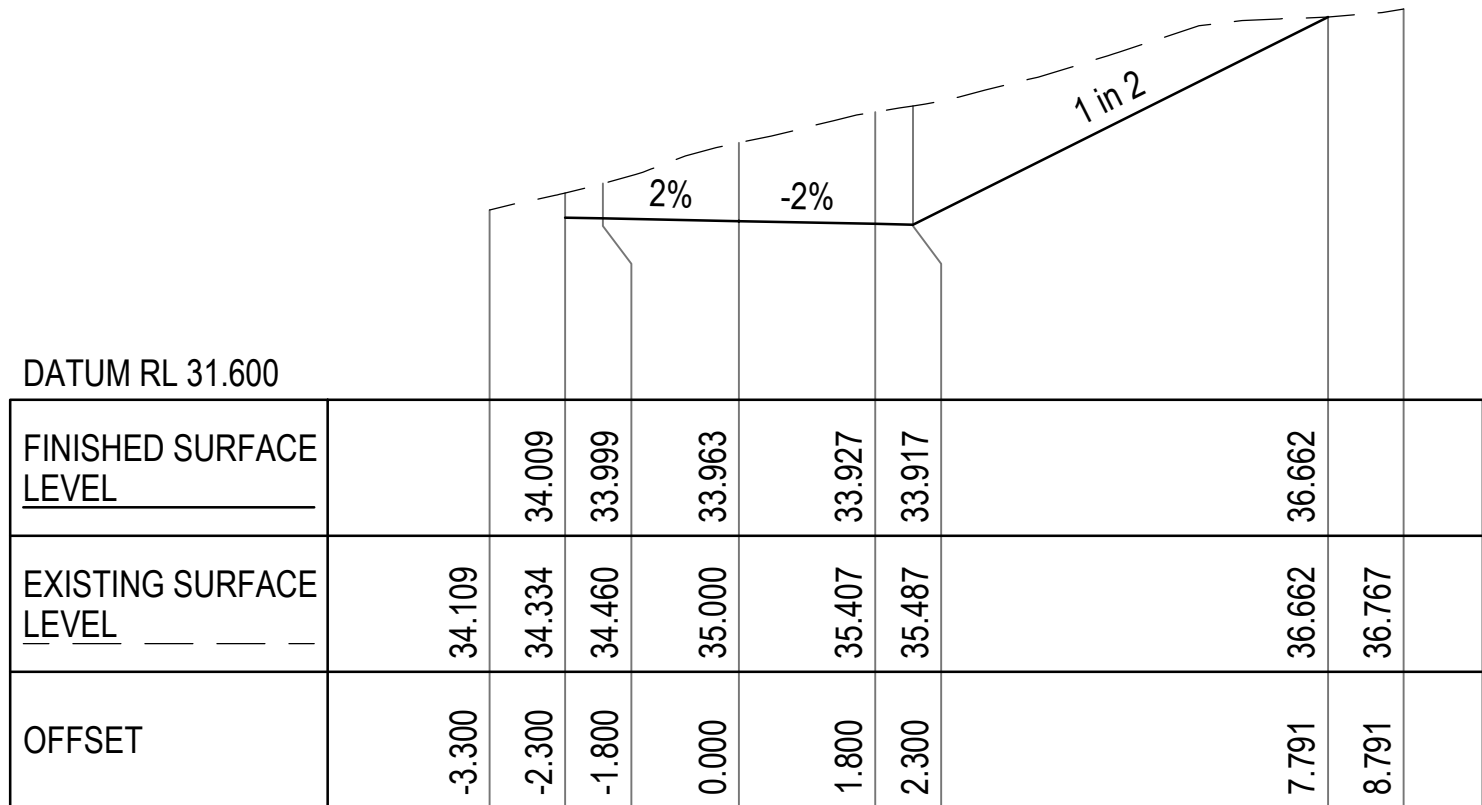
CH 0.000



CH 60.000



CH 120.000



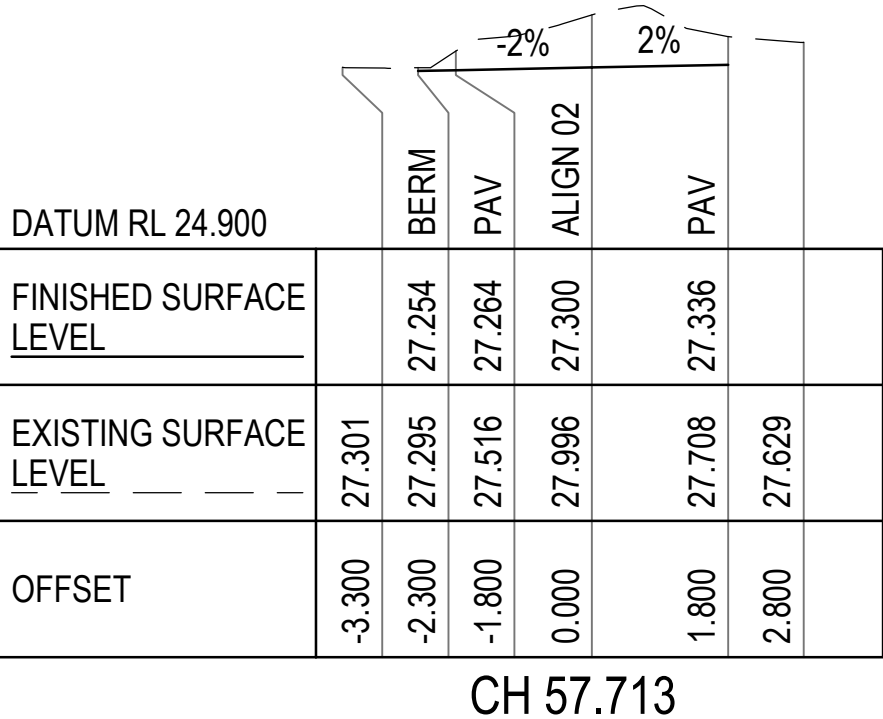
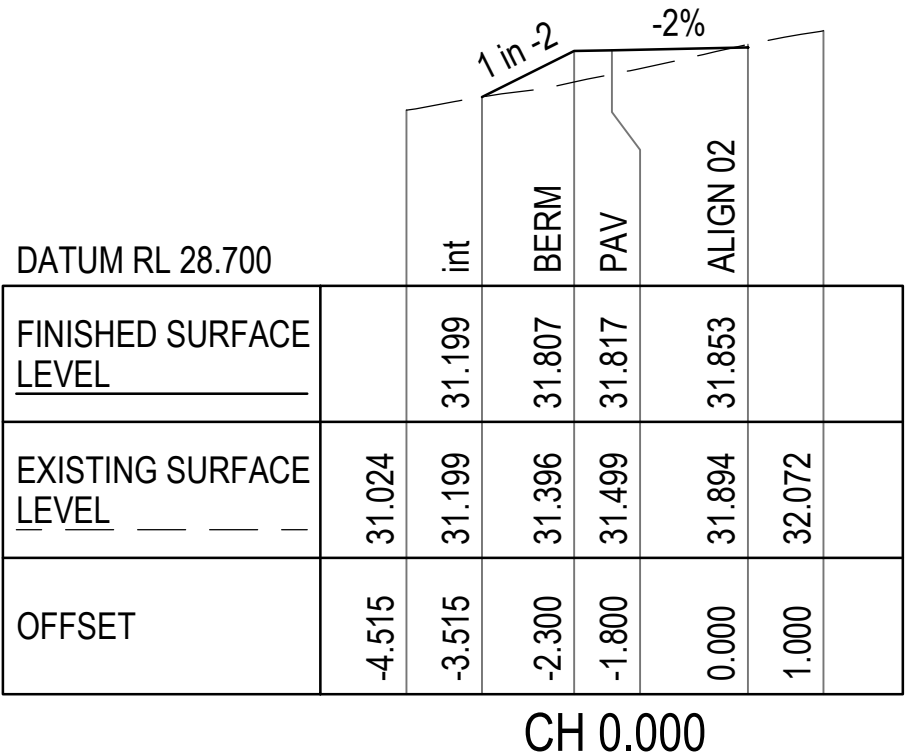
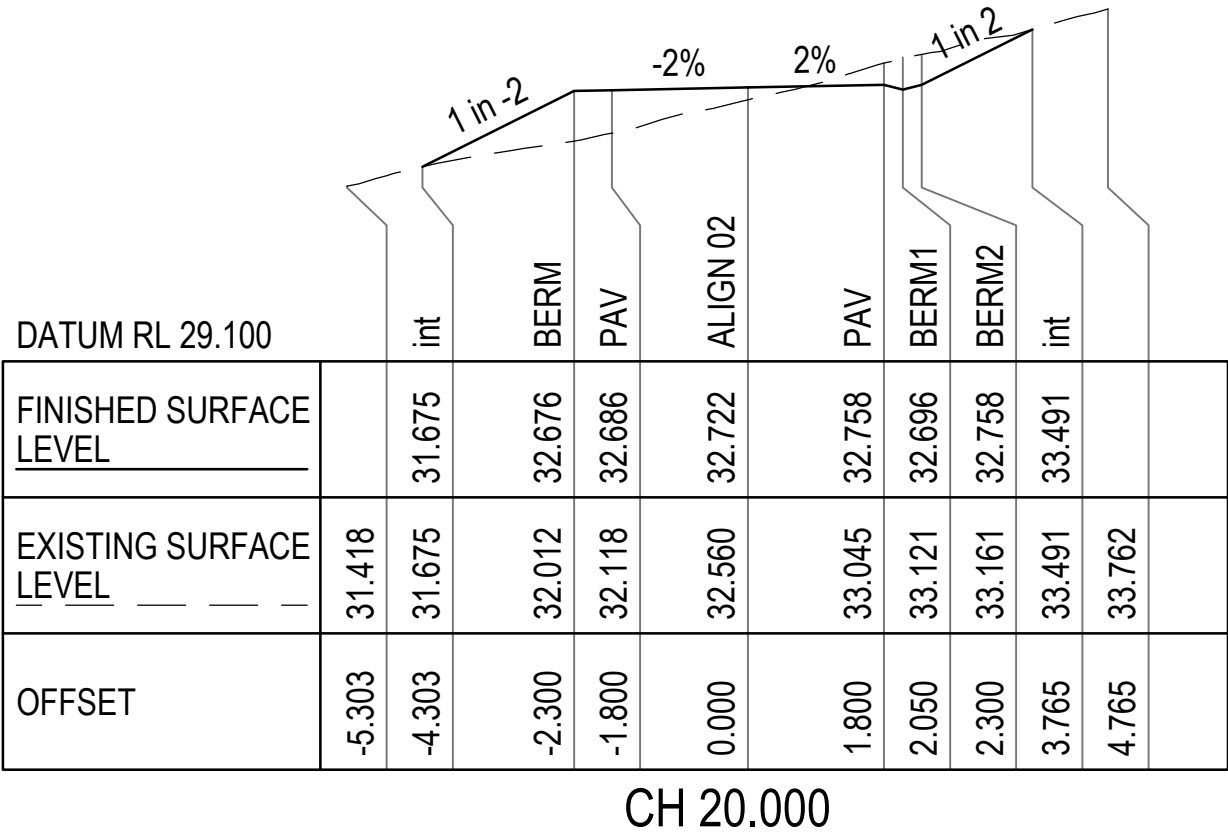
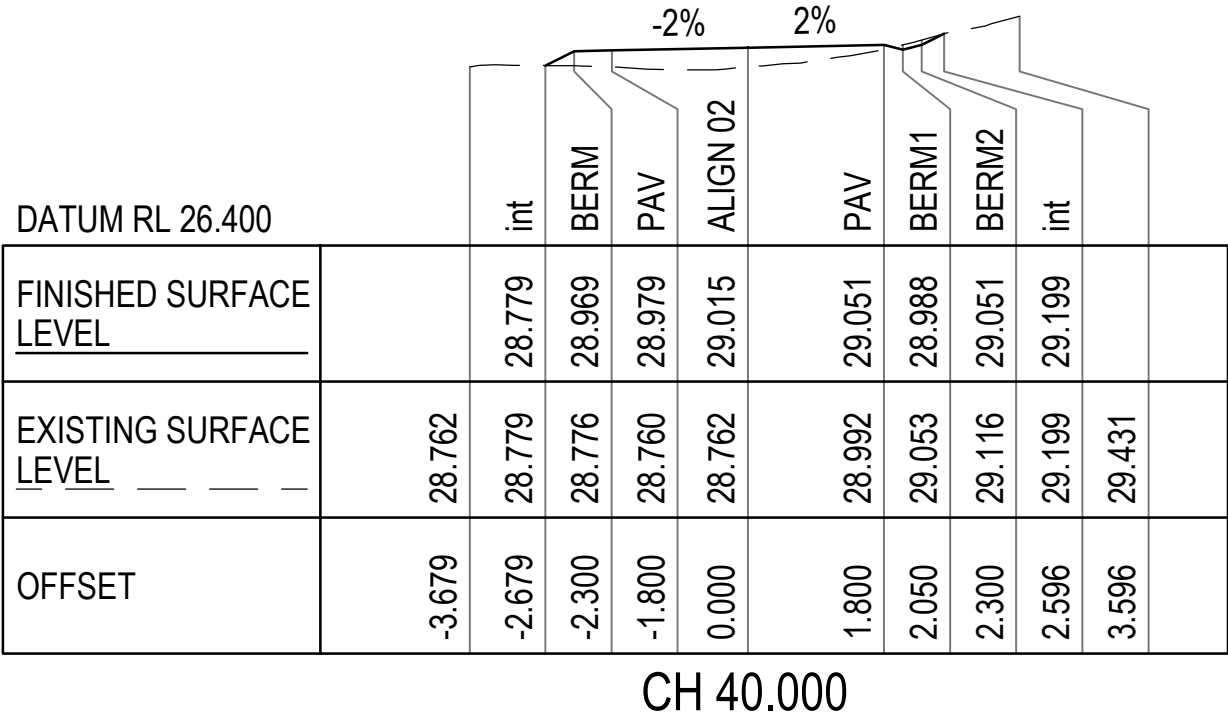
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DRIVEWAY 01 SECTIONS

REV.	DATE	DESCRIPTION	DES.	APP.
0	23.12.2024	FOR APPROVAL	MT	GA



DRAWN M. TICKNER	CLIENT BRENDEN MURPHY	STATUS FOR APPROVAL	
DESIGNED M. TICKNER	PROJECT LOT 10 ANDREW CLOSE DRIVEWAY	SCALE AS SHOWN	SIZE
APPROVED G. APPLIN	DATE 23.12.2024	DRAWING NUMBER 24011-C006	
RPEQ 6073	TITLE DRIVEWAY CROSSECTIONS SHEET 1 OF 2		REVISION 0



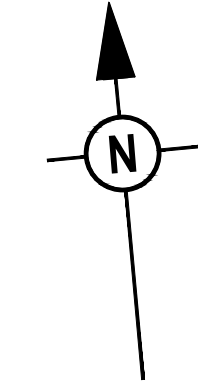
DRIVEWAY 02 SECTIONS



DRAWN M. TICKNER	CLIENT BRENDEN MURPHY	STATUS FOR APPROVAL	
DESIGNED M. TICKNER	PROJECT LOT 10 ANDREW CLOSE DRIVEWAY		
APPROVED G. APPLIN	DATE 23.12.2024	SCALE AS SHOWN	SIZE
RPEQ 6073	TITLE DRIVEWAY CROSSECTIONS SHEET 2 OF 2	DRAWING NUMBER 24011-C007	REVISION 0

DATE PLOTTED: 23 December 2024 12:31 PM BY: M.TICK

CAD File: F:\1. PROGRESSION\1. PROJECTS\24011 - Lot 10 Andrew Road, Forest Creek\CAD\24011-C008 [CULVERT].dwg



0.5m ROCK LINED SWALE ALONG
TOE OF BATTER TO BE DIVERTED
INTO EXISTING CREEK.

PROVIDE ROCK PROTECTED SHUTE
FOR DRIVEWAY SWALE OUTLET

PROVIDE ROCK PROTECTED SHUTE
FOR DRIVEWAY SWALE OUTLET

CAST-INSITU HEADWALL.
REFER TO DRG. 24011-C009
FOR SLAB DETAILS.
CULVERT NIB HEADWALL. REFER
DETAILS ON DRG. No. 24011-C009.

CAST-INSITU HEADWALL.
REFER TO DRG. 24011-C009
FOR SLAB DETAILS.
CULVERT NIB HEADWALL. REFER
DETAILS ON DRG. No. 24011-C009.

EXISTING
CREEK FLOW

ROCK PROTECTION TO BE PROVIDED AT THE EXIT
OF NEW CULVERT AND WRAP AROUND CULVERT
AND BATTERS. A24 BIDM GEOTEXTILE
(OR APPROVED EQUIVALENT) UNDERNEATH. ROCK
TO BE MIN. 200mm DIA. 400mm THICK LAYER.

ROCK PROTECTION TO BE PROVIDED AT THE EXIT
OF NEW CULVERT AND WRAP AROUND CULVERT
AND BATTERS. A24 BIDM GEOTEXTILE
(OR APPROVED EQUIVALENT) UNDERNEATH.
ROCK TO BE MIN. 200mm DIA. 400mm THICK LAYER.

APPROX. LOW-POINT
IN DRIVEWAY

CULVERT BASE SLAB.
REFER TO DRG. 23018-C010
FOR SLAB DETAILS.

PROPOSED CULVERT CROSSING. 2 No. 3300
x 2700 ROBC UNITS. CULVERT TO BE SUNK
300mm BELOW SURFACE FOR FISH PASSAGE
REQUIREMENTS. (EFFECTIVE CULVERT SIZE
3300 x 2400).

DRIVEWAY 01
REFER TO DRG. No. 24011-C005
FOR LONGSECTION.

PROVIDE ROCK PROTECTED SHUTE
FOR DRIVEWAY SWALE OUTLET

PROPERTY BOUNDARY

CULVERT DETAIL PLAN

DETAIL

SCALE 1:50

A
C003

0 0.5 1.0 1.5 2.0 2.5m
SCALE 1:50 AT ORIGINAL SIZE

PROGRESSION

DESIGN & DEVELOPMENT

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DRAWN	M. TICKNER
DESIGNED	M. TICKNER
APPROVED	G. APPLIN
DATE	23.12.2024
RPEQ 6073	

CLIENT	BRENDEN MURPHY		
PROJECT	LOT 10 ANDREW CLOSE DRIVEWAY		
STATUS	FOR APPROVAL		
SCALE	AS SHOWN	SIZE	A1
DRAWING NUMBER	24011-C008		REVISION
			0

GENERAL:

- READ THESE DRAWINGS IN CONJUNCTION WITH OTHER CONSULTANT'S DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS.
- REFER ALL DISCREPANCIES TO THE ENGINEER FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- VERIFY ALL DIMENSIONS BEFORE FABRICATION OR CONSTRUCTION IS COMMENCED. DO NOT SCALE THESE DRAWINGS.
- ENSURE ALL MATERIALS, WORKMANSHIP AND PROCEDURES ARE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS AND RELEVANT COMMONWEALTH, STATE AND LOCAL AUTHORITY REGULATIONS.
- FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR THE USE OF ALL PRODUCTS AND MATERIALS.
- MAINTAIN THE STRUCTURE IN A STABLE CONDITION AND DO NOT OVERSTRESS ANY PART DURING CONSTRUCTION.

CONCRETE:

- CONCRETE PROPERTIES

LOCATION	GRADE	SLUMP (MM)	MAX AGG (MM)
SLABS ON GROUND	N32	80	20
- COVER TO REINFORCEMENT

LOCATION	COVER	EXPOSURE CLASS
EXTERIOR SLAB	40	B2
AGAINST MEMBRANE	50	A2
AGAINST SOIL/ROCK	50	A2
- PROVIDE CRACK CONTROL JOINTS IN SLABS ON GROUND AT 3600mm CENTRES U.N.O.
- REINFORCEMENT LAPS
N12 - 400mm N16 - 500mm
MESH - TWO CROSS WIRES PLUS 25mm
- CURE CONCRETE FOR NOT LESS THAN 7 DAYS.
- DO NOT USE CONCRETE ADMIXTURES WITHOUT WRITTEN APPROVAL FROM THE ENGINEER. DO NOT USE CALCIUM CHLORIDE.
- SIZE OF CONCRETE ELEMENTS DOES NOT INCLUDE THE THICKNESS OF APPLIED FINISHES.
- REINFORCEMENT IS SHOWN DIAGMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.

STEELWORK:

- MASONRY ANCHORS ARE SPECIFIED BY THE THREAD DIAMETER (NOT THE ANCHOR OR HOLE DIAMETER). ALL 'CHEMICAL ANCHORS' ARE TO BE RAMSET CHEMSET INJECTION 101 SERIES BOLTS U.N.O.
- ELECTRICALLY ISOLATE DISSIMILAR METALS.

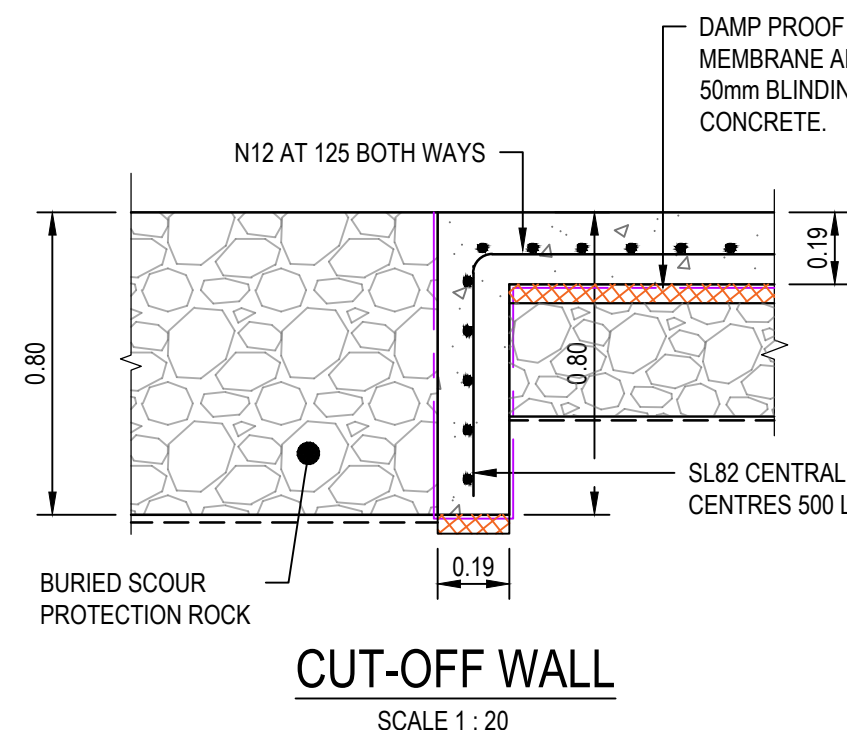
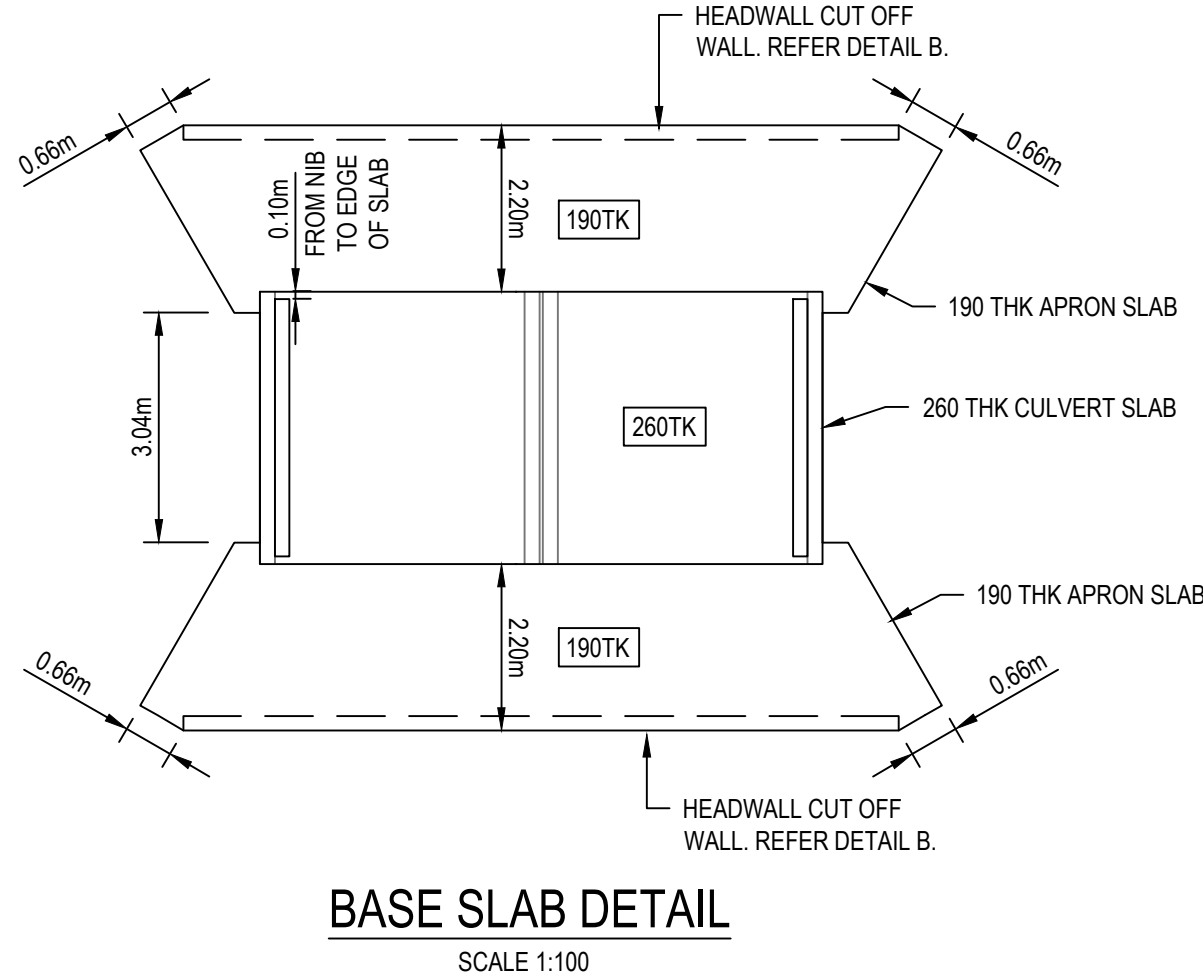
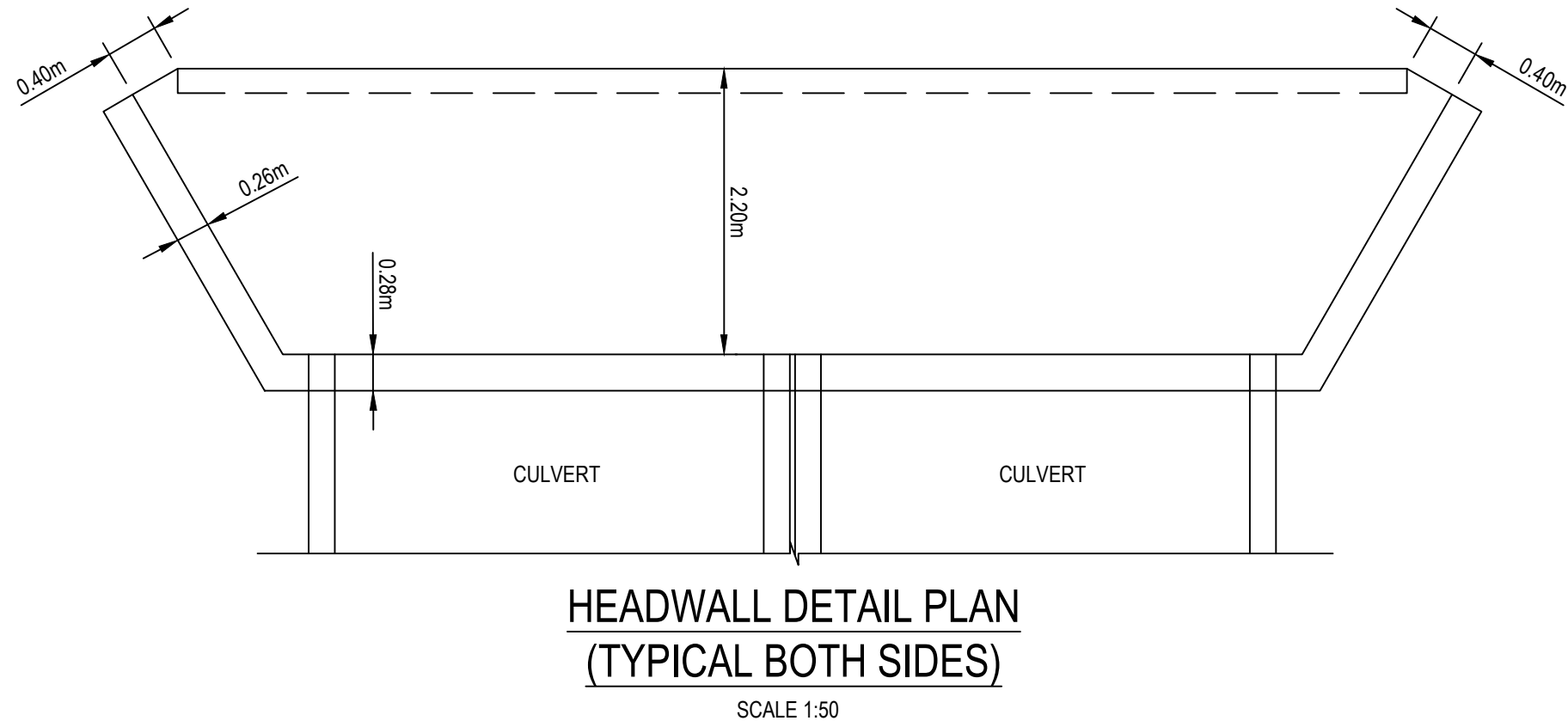
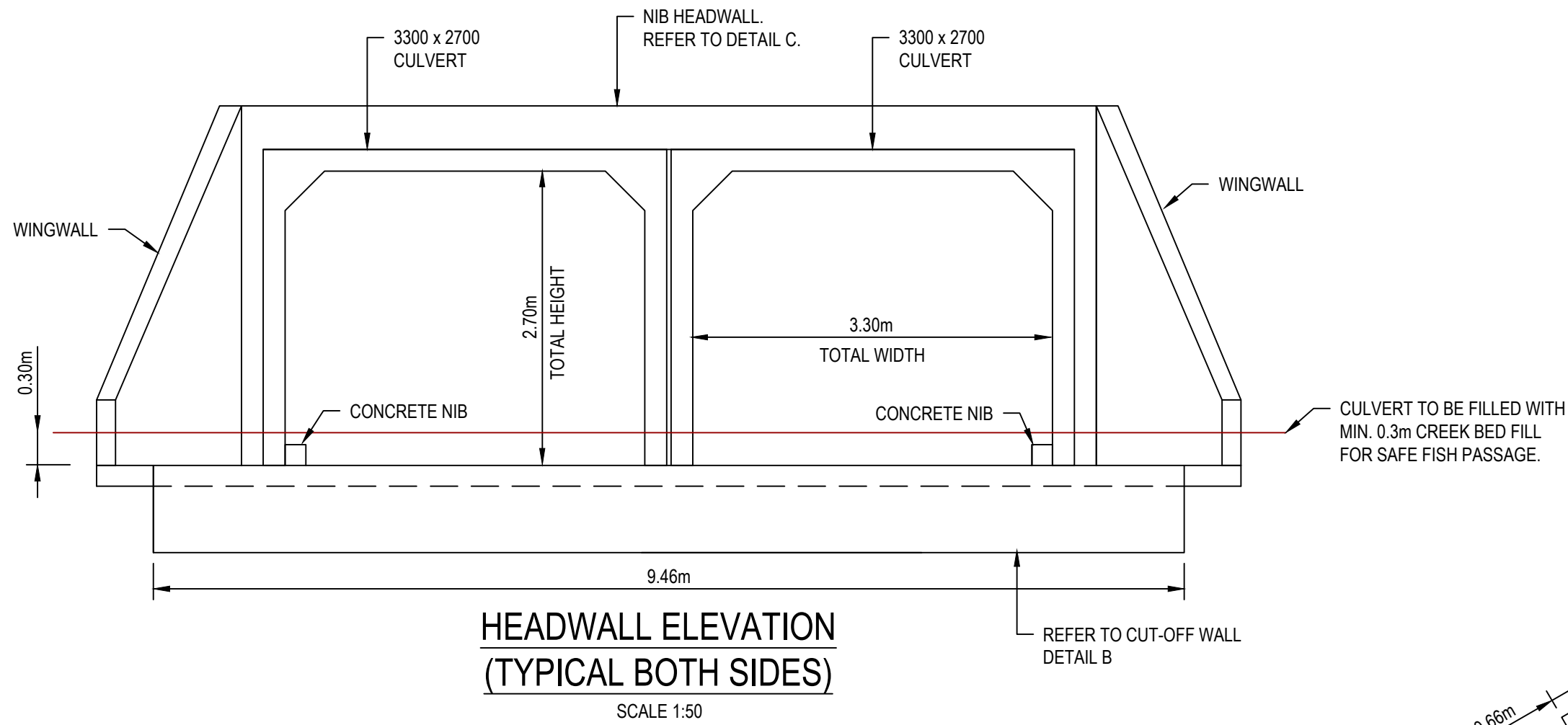
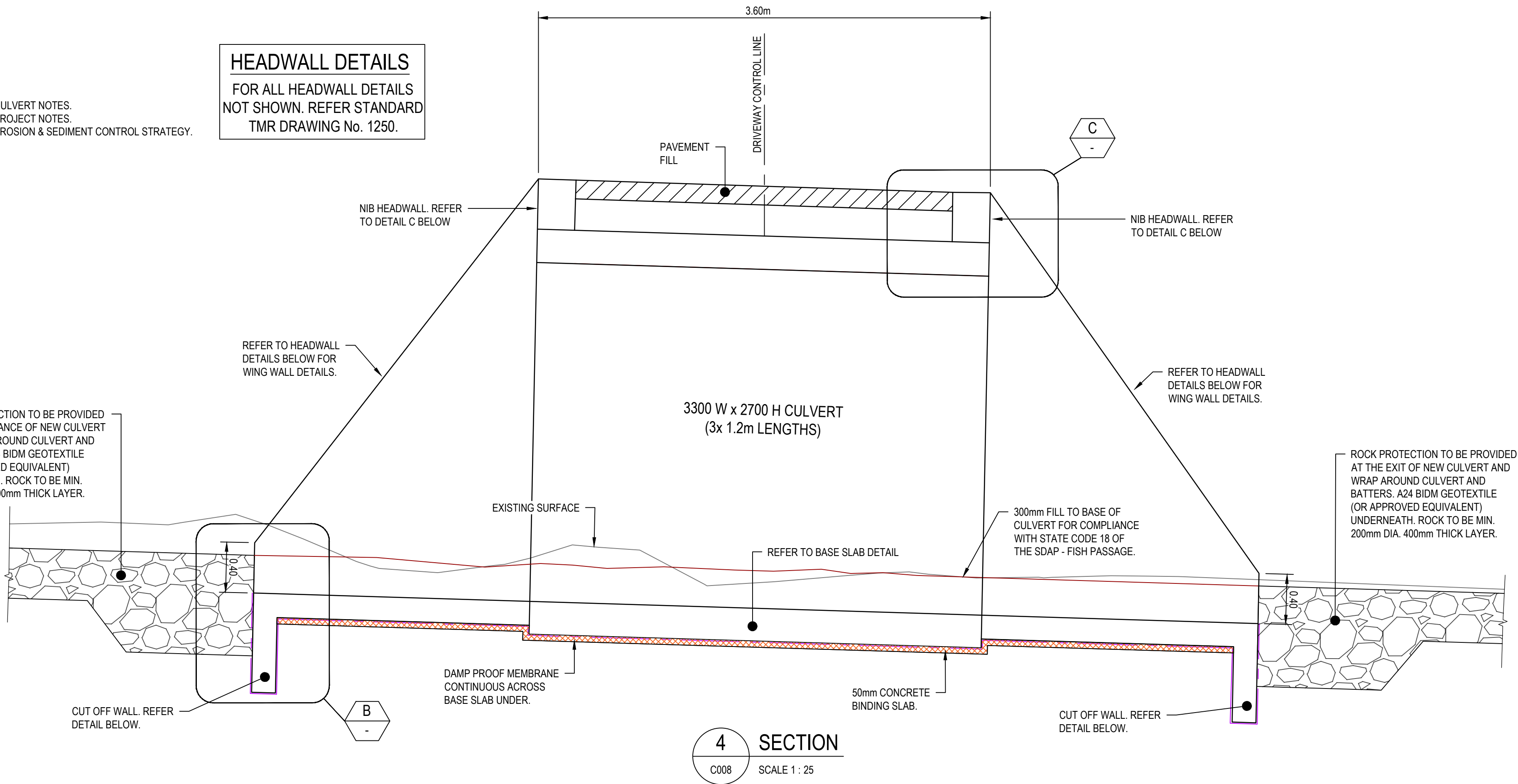
NOTES:

- REFER TO DRG. No. 24011-C002 FOR PROJECT NOTES.
- REFER TO DRG. No. 24011-C011 & C012 FOR EROSION & SEDIMENT CONTROL STRATEGY.

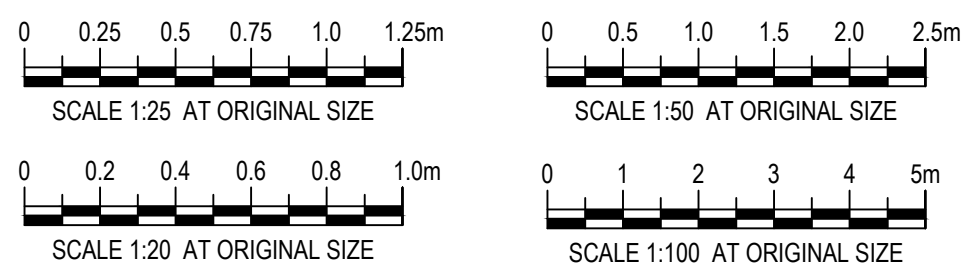
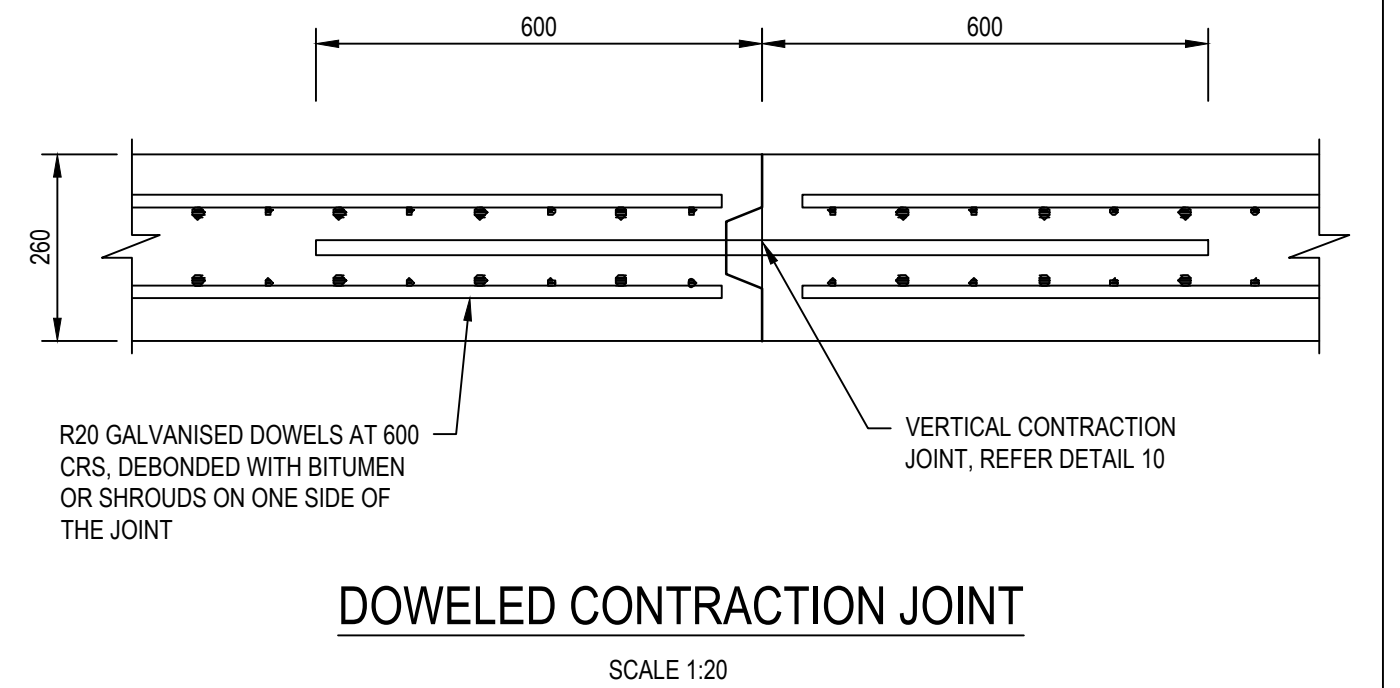
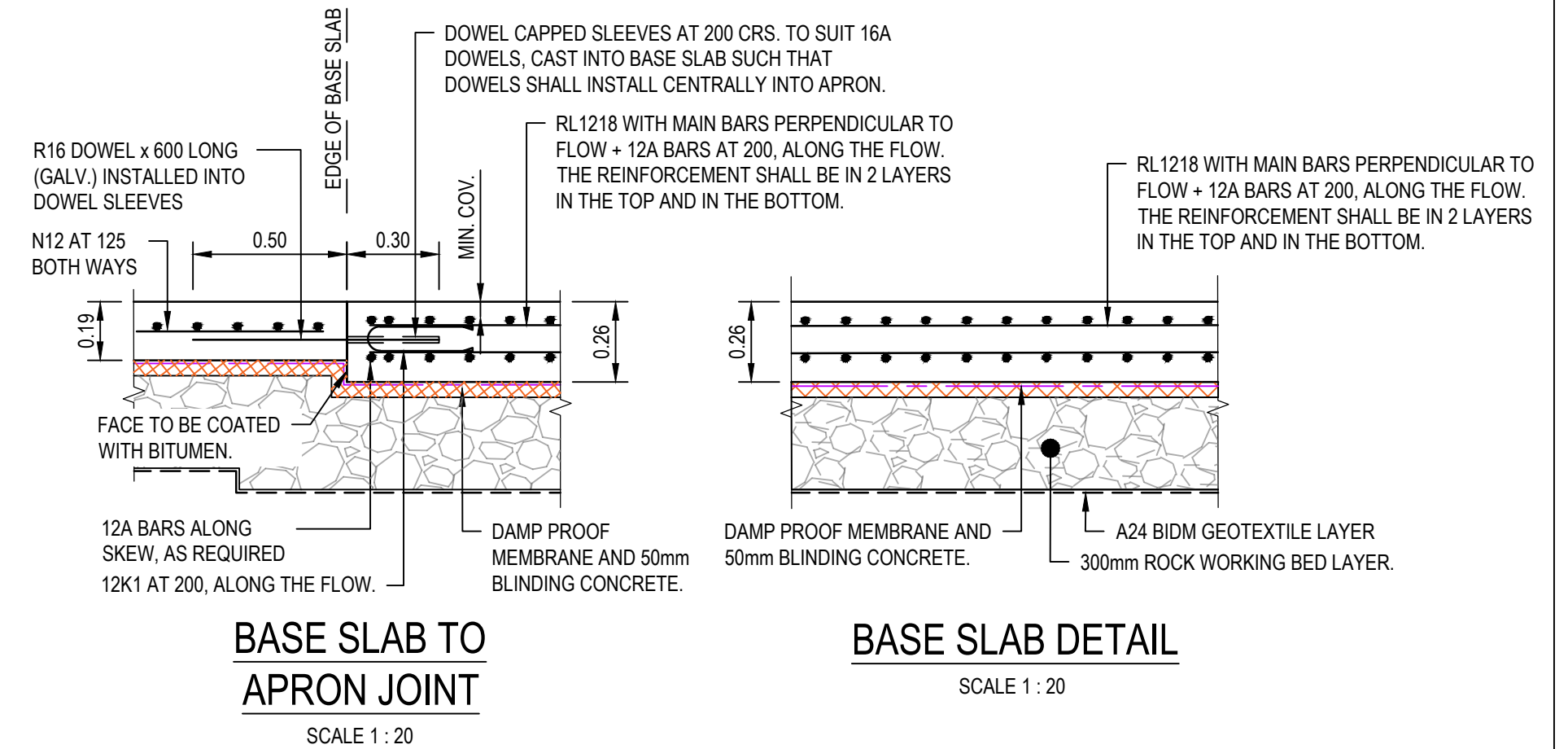
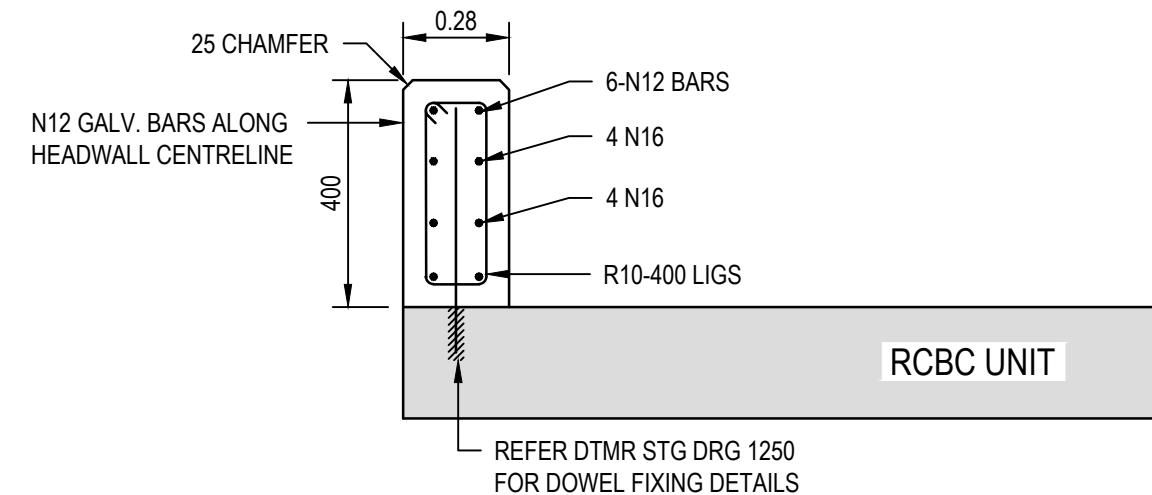
NOTES:

- REFER TO DRG. No. 24011-C008 FOR CULVERT NOTES.
- REFER TO DRG. No. 24011-C002 FOR PROJECT NOTES.
- REFER TO DRG. No. 24011-C011 FOR EROSION & SEDIMENT CONTROL STRATEGY.

HEADWALL DETAILS
FOR ALL HEADWALL DETAILS
NOT SHOWN. REFER STANDARD
TMR DRAWING No. 1250.



DETAIL B
NOT TO SCALE

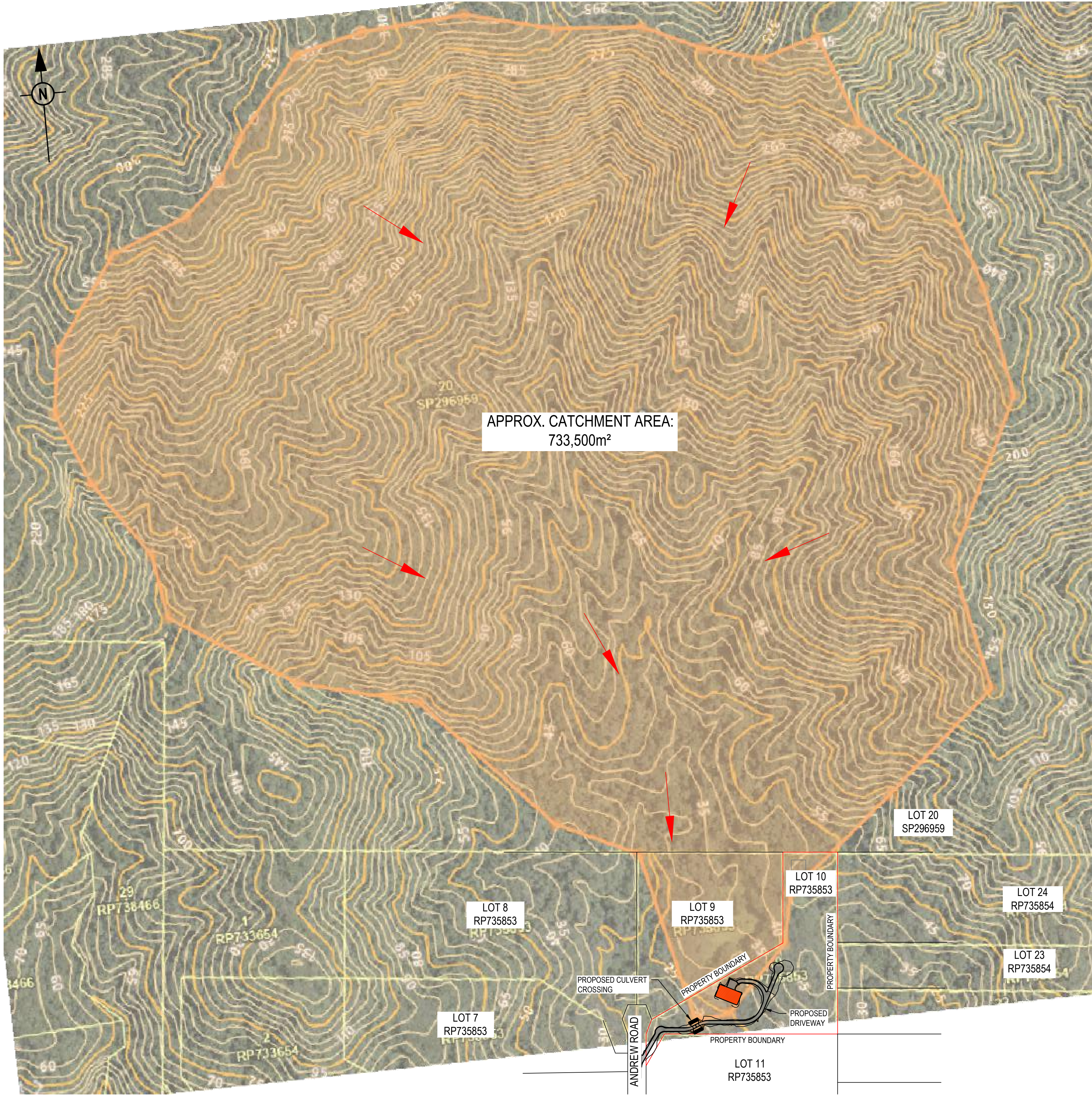


PROGRESSION
DESIGN & DEVELOPMENT
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DRAWN M. TICKNER	CLIENT BRENDEN MURPHY	STATUS FOR APPROVAL	
DESIGNED M. TICKNER	PROJECT LOT 10 ANDREW CLOSE DRIVEWAY		
APPROVED G. APPLIN	DATE 23.12.2024	SCALE AS SHOWN	SIZE A1
RPEQ 6073	TITLE CULVERT DETAILS	DRAWING NUMBER 24011-C009	REVISION 0

DATE PLOTTED: 23 December 2024 12:33 PM BY: MTICK

CAD File: F:\1. PROGRESSION\1. PROJECTS\24011- Lot 10 Andrew Road, Forest Creek\CAD\23011-010 [CATCH].dwg



CATCHMENT PLAN
SCALE 1:2500

CATCHMENT FLOW CALCULATION:

Variables	Symbol	Quatity
Catchment Area	A	73.3500 ha
Time of Concentration	tc	15.00 min
Fraction Impervious	fi	0.00
"Rainfall Intensity - 1 hour, 10 year ARI (10% AEP) "	1i10	76.40 mm/hr
Annual Exceedence Probability	AEP	1 %
Frequency Factor	Fy	1.20
"Discharge Coeffieient - 10 Year"	C10	0.20
"Design Storm Coefficient of Runoff - Cy = C10 * Fy"	Cy	0.24
Design Raingall Intensity	tly	187.00 mm/hr
"Peak Flow Rate - Qy = (Cy * tly * A)/360"	Qy	9.144 m3/s

NOTES:

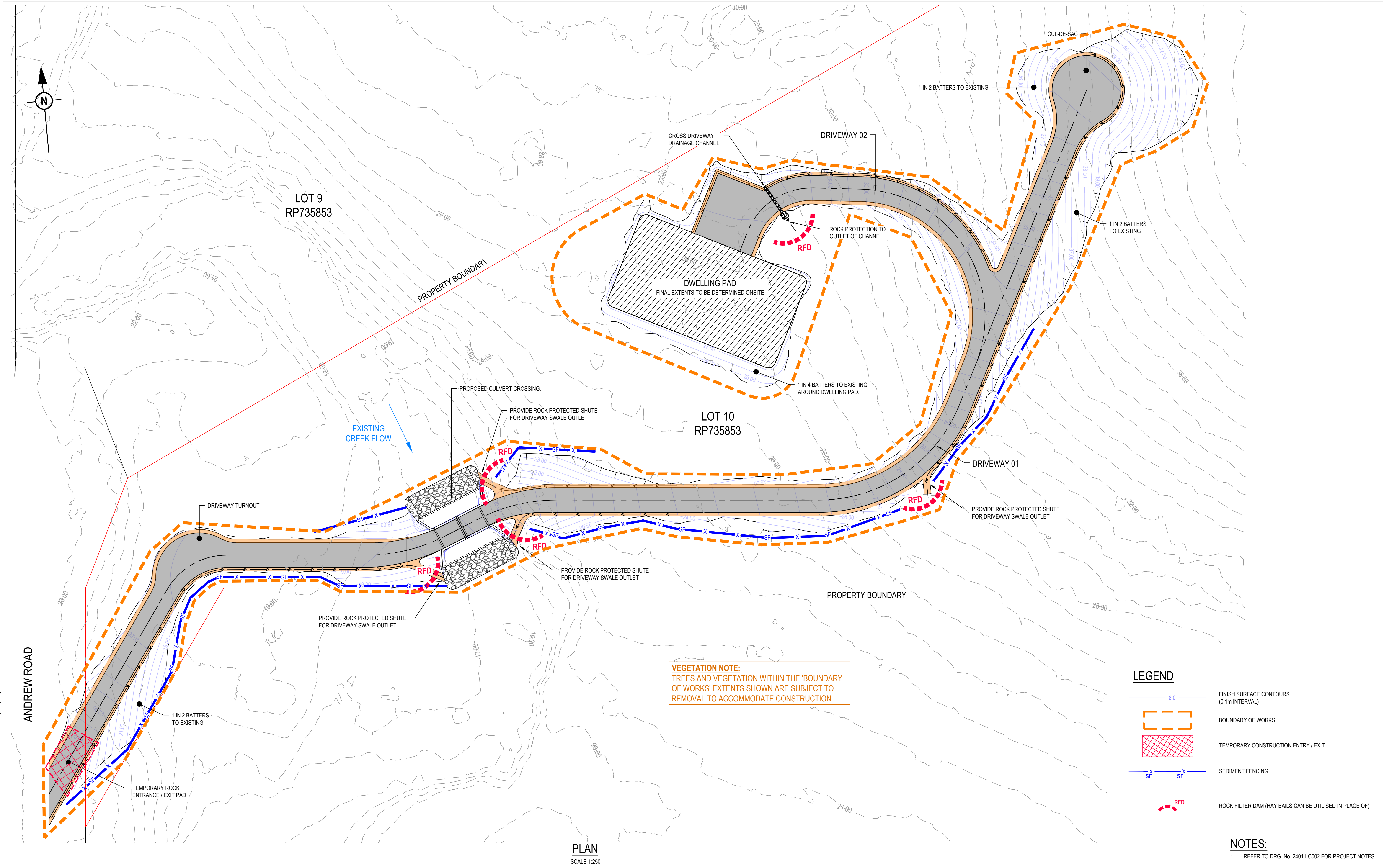
- CATCHMENT IS APPROX. ONLY.
- CULVERT SIZE ALLOWED FOR IN DESIGN ARE OVSIZED TO MATCH AVAILABILITY OF PRODUCT.
- REFER TO DRG. No. 24011-C002 FOR PROJECT NOTES
- REFER TO DRG. No. 24011-C008 FOR CULVERT NOTES

0	23.12.2024	FOR APPROVAL		MT	GA
REV.	DATE	DESCRIPTION		DES.	APP.



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DRAWN M. TICKNER	CLIENT BRENDEN MURPHY	STATUS FOR APPROVAL	
DESIGNED M. TICKNER	PROJECT LOT 10 ANDREW CLOSE DRIVEWAY		
APPROVED G. APPLIN	DATE 23.12.2024	SCALE AS SHOWN	SIZE A1
RPEQ 6073	TITLE DRAINAGE CATCHMENT PLAN	DRAWING NUMBER 24011-C010	REVISION 0



REV.	DATE	DESCRIPTION	DES.	APP.
0	23.12.2024	FOR APPROVAL	MT	GA



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DRAWN M. TICKNER	CLIENT BRENDEN MURPHY	STATUS FOR APPROVAL	
DESIGNED M. TICKNER	PROJECT LOT 10 ANDREW CLOSE DRIVEWAY	SCALE AS SHOWN	SIZE A1
APPROVED G. APPLIN	DATE 23.12.2024	TITLE EROSION & SEDIMENTATION CONTROL STRATEGY	DRAWING NUMBER 24011-C011
RPEQ 6073			REVISION 0

SEDIMENT FENCE

MATERIAL
FABRIC:
POLYPROPYLENE, POLYAMIDE, NYLON, POLYESTER, OR POLYETHYLENE WOVEN OR NON-WOVEN FABRIC, AT LEAST 700mm IN WIDTH AND A MINIMUM UNIT WEIGHT OF 140GSM. ALL FABRICS TO CONTAIN ULTRAVIOLET INHIBITORS AND STABILISERS TO PROVIDE A MINIMUM OF 6 MONTHS OF USEABLE CONSTRUCTION LIFE (ULTRAVIOLET STABILITY EXCEEDING 70%).

FABRIC REINFORCEMENT:
WIRE OR STEEL MESH MINIMUM 14-GAUGE WITH A MAXIMUM MESH SPACING OF 200mm.

SUPPORT POSTS/STAKES:
1500mm² (MIN) HARDWOOD, 2500mm² (MIN) SOFTWOOD, OR 1.5kg/m (MIN) STEEL STAR PICKETS SUITABLE FOR ATTACHING FABRIC.

INSTALLATION

- REFER TO APPROVED PLANS FOR LOCATION, EXTENT AND REQUIRED TYPE OF FABRIC (IF SPECIFIED). IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, FABRIC TYPE, OR METHOD OF INSTALLATION CONTACT THE ENGINEER OR RESPONSIBLE ON-SITE OFFICER FOR ASSISTANCE.
- TO THE MAXIMUM DEGREE PRACTICAL, AND WHERE THE PLANS ALLOW, ENSURE THE FENCE IS LOCATED:
 - TOTALLY WITHIN THE PROPERTY BOUNDARIES.
 - ALONG A LINE OF CONSTANT ELEVATION WHEREVER PRACTICAL.
 - AT LEAST 2m FROM THE TOE OF ANY FILLING OPERATIONS THAT MAY RESULT IN SHIFTING SOIL/FILL DAMAGING THE FENCE.
- INSTALL RETURNS WITHIN THE FENCE AT MAXIMUM 20m INTERVALS IF THE FENCE IS INSTALLED ALONG THE CONTOUR, OR 5 TO 10m MAXIMUM SPACING (DEPENDING ON SLOPE) IF THE FENCE IS INSTALLED AT AN ANGLE TO THE CONTOUR. THE 'RETURNS' SHALL CONSIST OF EITHER:
 - V-SHAPED SECTION EXTENDING AT LEAST 1.5m UP THE SLOPE; OR
 - SANDBAG OR ROCK/AGGREGATE CHECK DAM A MINIMUM 1/3 AND MAXIMUM 1/2 FENCE HEIGHT, AND EXTENDING AT LEAST 1.5m UP THE SLOPE.
- ENSURE THE EXTREME ENDS OF THE FENCE ARE TURNED UP THE SLOPE AT LEAST 1.5m, OR AS NECESSARY, TO MINIMISE WATER BYPASSING AROUND THE FENCE.
- ENSURE THE SEDIMENT FENCE IS INSTALLED IN A MANNER THAT AVOIDS THE CONCENTRATION OF FLOW ALONG THE FENCE, AND THE UNDESIRABLE DISCHARGE OF WATER AROUND THE ENDS OF THE FENCE.
- IF THE SEDIMENT FENCE IS TO BE INSTALLED ALONG THE EDGE OF EXISTING TREES, ENSURE CARE IS TAKEN TO PROTECT THE TREES AND THEIR ROOT SYSTEMS DURING INSTALLATION OF THE FENCE. DO NOT ATTACH THE FABRIC TO THE TREES.
- UNLESS DIRECTED BY THE SITE SUPERVISOR OR THE APPROVED PLANS, EXCAVATE A 200mm WIDE BY 200mm DEEP TRENCH ALONG THE PROPOSED FENCE LINE, PLACING THE EXCAVATED MATERIAL ON THE UP-SLOPE SIDE OF THE TRENCH.
- ALONG THE LOWER SIDE OF THE TRENCH, APPROPRIATELY SECURE THE STAKES INTO THE GROUND SPACED NO GREATER THAN 3m IF SUPPORTED BY A TOP SUPPORT WIRE OR WEIR MESH BACKING, OTHERWISE NO GREATER THAN 2m.
- IF SPECIFIED, SECURELY ATTACH THE SUPPORT WIRE OR MESH TO THE UP-SLOPE SIDE OF THE STAKES WITH THE MESH EXTENDING AT LEAST 200mm INTO THE EXCAVATED TRENCH, ENSURE THE MESH AND FABRIC IS ATTACHED TO THE UP-SLOPE SIDE OF THE STAKES EVEN WHEN DIRECTING A FENCE AROUND A CORNER OR SHARP CHANGE OF DIRECTION.
- WHEREVER POSSIBLE, CONSTRUCT THE SEDIMENT FENCE FROM A CONTINUOUS ROLL OF FABRIC. TO JOIN FABRIC EITHER:
 - ATTACH EACH END TO TWO OVERLAPPING STAKES WITH THE FABRIC FOLDING AROUND THE ASSOCIATED STAKE ONE TURN, AND WITH THE TWO STAKES TIED TOGETHER WITH WIRE; OR
 - OVERLAP THE FABRIC TO THE NEXT ADJACENT SUPPORT POST.
- SECURELY ATTACH THE FABRIC TO THE SUPPORT POSTS USING 25 X 12.5mm STAPLES, OR TIE WIRE AT MAXIMUM 150mm SPACING.
- SECURELY ATTACH THE FABRIC TO THE SUPPORT WIRE/MESH (IF ANY) AT A MAXIMUM SPACING OF 1m.
- ENSURE THE COMPLETED SEDIMENT FENCE IS AT 450mm, BUT NOT MORE THAN 700mm HIGH. IF A SPILL-THOUGH WEIR IS INSTALLED, ENSURE THE CREST OF THE WEIR IS AT LEAST 300mm ABOVE GROUND LEVEL.
- BACKFILL THE TRENCH AND TAMP THE FILL TO FIRMLY ANCHOR THE BOTTOM OF THE FABRIC AND MESH TO PREVENT WATER FROM FLOWING UNDER THE FENCE.

ADDITIONAL REQUIREMENTS FOR THE INSTALLATION OF SPILL-THROUGH WEIR

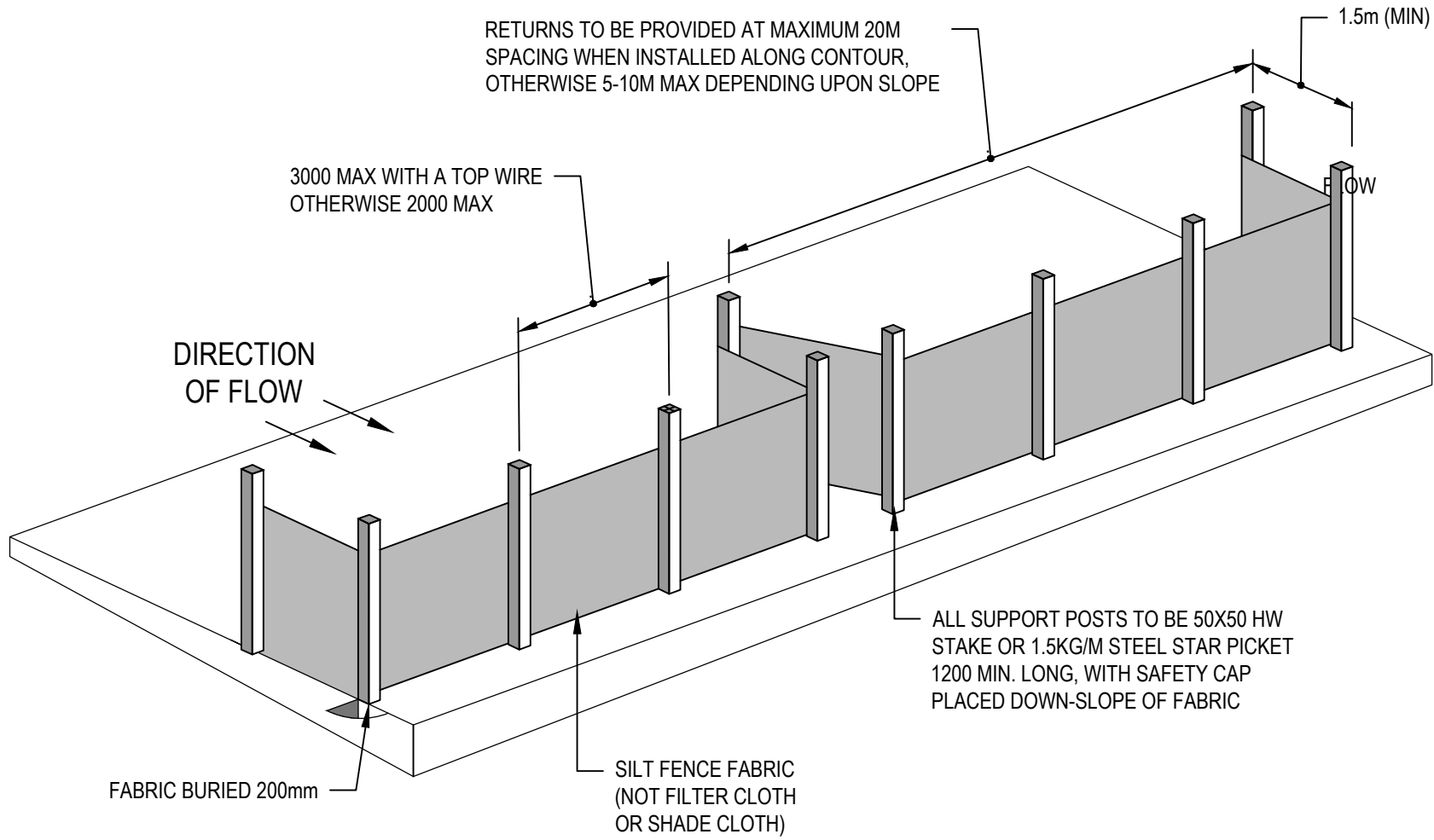
- LOCATE THE SPILL -THROUGH WEIR SUCH THAT THE WEIR CREST WILL BE LOWER THAN THE GROUND LEVEL AT EACH END OF THE FENCE.
- ENSURE THE CREST OF THE SPILL-THROUGH WEIR IS AT LEAST 300mm THE GROUND ELEVATION.
- SECURELY TIE A HORIZONTAL CROSS MEMBER (WEIR) TO THE SUPPORT POSTS/STAKES EACH SIDE OF THE WEIR. CUT THE FABRIC DOWN THE SIDE OF EACH POST AND FOLD THE FABRIC OVER THE CROSS MEMBER AND APPROPRIATELY SECURE THE FABRIC.
- INSTALL A SUITABLE SPLASH PAD AND/OR CHUTE IMMEDIATELY DOWN-SLOPE OF THE SPILL-THROUGH WEIR TO CONTROL SOIL EROSION AND APPROPRIATELY DISCHARGE THE CONCENTRATED FLOW PASSING OVER THE WEIR.

MAINTENANCE

- INSPECT THE SEDIMENT FENCE AT LEAST WEEKLY AND AFTER ANY SIGNIFICANT RAIN. MAKE NECESSARY REPAIRS IMMEDIATELY.
- REPAIR ANY TORN SECTIONS WITH A CONTINUOUS PIECE OF FABRIC FROM POST TO POST.
- WHEN MAKING REPAIRS, ALWAYS RESTORE THE SYSTEM TO ITS ORIGINAL CONFIGURATION UNLESS AN AMENDED LAYOUT IS REQUIRED OR SPECIFIED.
- IF THE FENCE IS SAGGING BETWEEN STAKES, INSTALL ADDITIONAL SUPPORT POSTS.
- REMOVE ACCUMULATED SEDIMENT IF THE SEDIMENT DEPOSIT EXCEEDS A DEPTH OF 1/3 THE HEIGHT OF THE FENCE.
- DISPOSE OF SEDIMENT IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.
- REPLACE THE FABRIC IS THE SERVICE LIFE OF THE EXISTING FABRIC EXCEEDS 6 MONTHS.

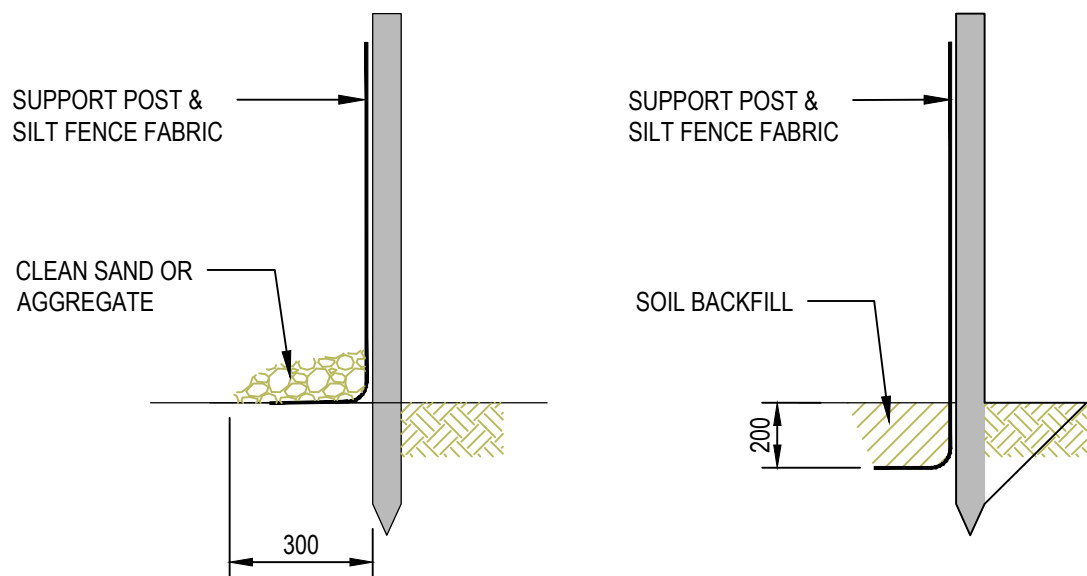
REMOVAL

- WHEN DISTURBED AREAS UP-SLOPE OF THE SEDIMENT FENCE ARE SUFFICIENTLY STABILISED TO RESTRAIN EROSION, THE FENCE MUST BE REMOVED.
- REMOVE MATERIALS AND COLLECTED SEDIMENT AND DISPOSE OF IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.
- REHABILITATE/REVEGETATE THE DISTURBED GROUND AS NECESSARY TO MINIMISE THE EROSION HAZARD.



SEDIMENT FENCE

NOT TO SCALE

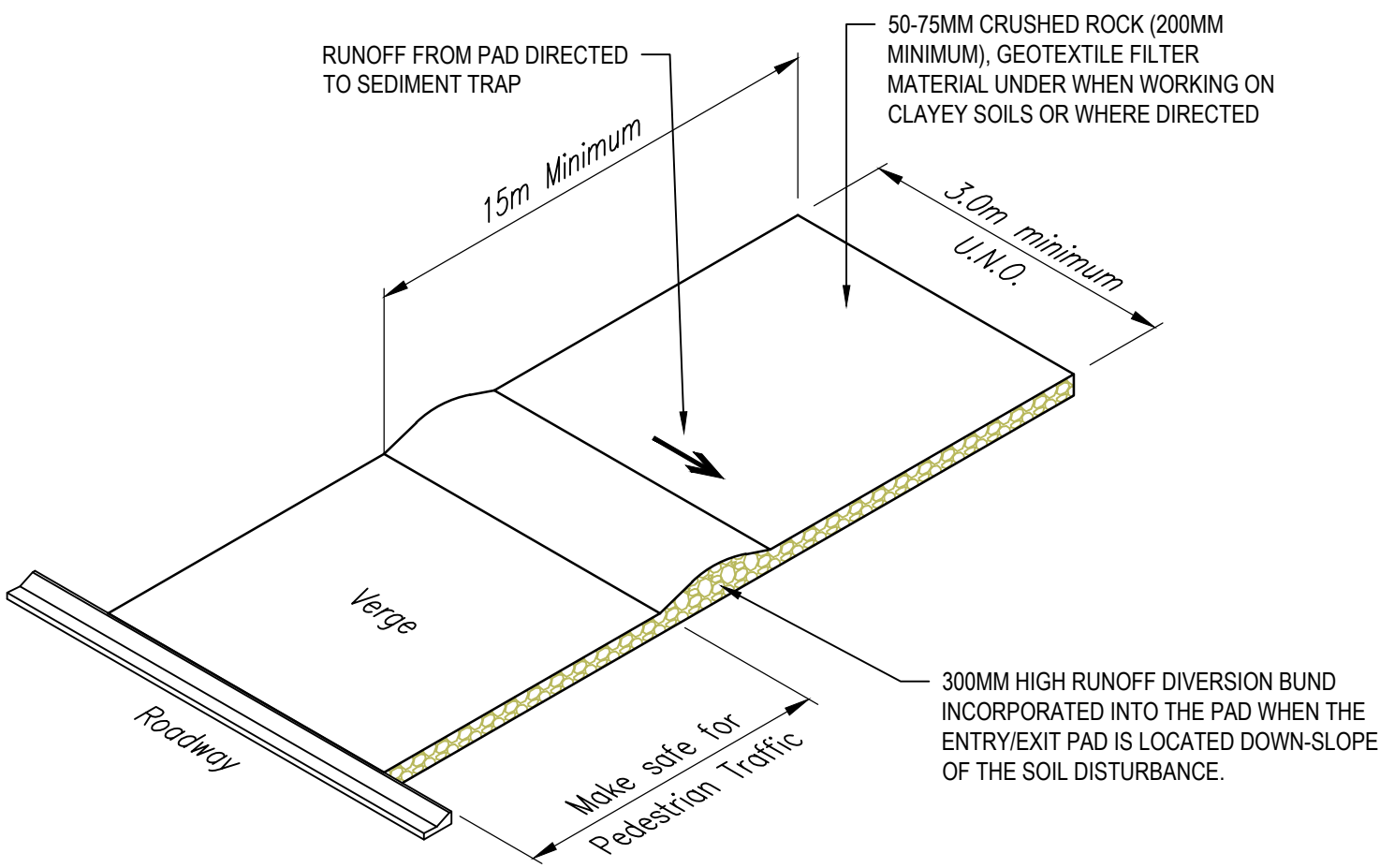


METHOD A

METHOD B

ANCHORING BASE OF FABRIC

NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRY / EXIT

NOT TO SCALE

TEMPORARY CONSTRUCTION ENTRY / EXIT

MATERIAL

ROCK:
WELL GRADED, HARD, ANGULAR, EROSION RESISTANT ROCK, NOMINAL DIAMETER OF 50 TO 75mm (SMALL DISTURBANCES) OR 100 TO 150mm (LARGE DISTURBANCES). ALL REASONABLE MEASURES MUST BE TAKEN TO OBTAIN ROCK OF NEAR UNIFORM SIZE.

FOOTPATH STABILISING AGGREGATE:
25 TO 50mm GRAVEL OR AGGREGATE.

GEOTEXTILE FABRIC:
HEAVY-DUTY, NEEDLE-PUNCHES, NON-WOVEN FILTER CLOTH ('BIDIM' A24 OR EQUIVALENT).

INSTALLATION

- REFER TO APPROVED PLANS FOR LOCATION AND DIMENSIONAL DETAILS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, DIMENSIONS, OR METHOD OF INSTALLATION, CONTACT THE ENGINEER OR RESPONSIBLE ON-SITE OFFICER FOR ASSISTANCE.
- CLEAR THE LOCATION OF THE ROCK PAD, REMOVING STUMPS, ROOTS AND OTHER VEGETATION TO PROVIDE A FIRM FOUNDATION SO THAT THE ROCK IS NOT PRESSED INTO SOFT GROUND. CLEAR SUFFICIENT WIDTH TO ALLOW PASSAGE OF LARGE VEHICLES, BUT CLEAR ONLY THAT NECESSARY FOR THE EXIT. DO NOT CLEAR ADJACENT AREAS UNTIL THE REQUIRED EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE.
- IF THE EXPOSED SOIL IS SOFT, PLASTIC OR CLAYEY, PLACE A SUB-BASE OF CRUSHED ROCK OR A LAYER OF HEAVY-DUTY FILTER CLOTH TO PROVIDE A FIRM FOUNDATION.
- PLACE THE ROCK PAD FORMING A MINIMUM 200mm THICK LAYER OF CLEAN, OPEN-VOID ROCK.
- IF THE ASSOCIATED CONSTRUCTION SITE IS UP-SLOPE OF THE ROCK PAD, THUS CAUSING STORMWATER RUNOFF TO FLOW TOWARDS THE ROCK PAD, THEN FORM A MINIMUM 300mm HIGH FLOW CONTROL BERM ACROSS THE ROCK PAD TO DIVERT SUCH RUNOFF TO A SUITABLE SEDIMENT TRAP.
- THE LENGTH OF THE ROCK PAD SHOULD BE AT LEAST 15M WHERE PRACTICABLE, AND AS WISE AS THE FULL WIDTH OF THE ENTRY OR EXIT AND AT LEAST 3m. THE ROCK PAD SHOULD COMMENCE AT THE EDGE OF THE OFF-SITE SEALED ROAD OR PAVEMENT.
- FLARE THE END OF THE ROCK PAD WHERE IT MEETS THE PAVEMENT SO THAT THE WHEELS OF TURNING VEHICLES DO NOT TRAVEL OVER UNPROTECTED SOIL.
- IF THE FOOTPATH IS OPEN TO PEDESTRIAN MOVEMENT, THE COVER THE COARSE ROCK WITH FINE AGGREGATE OR GRAVEL, OR OTHERWISE TAKE WHATEVER MEASURES ARE NEEDED TO MAKE THE AREA SAFE.

MAINTENANCE

- INSPECT ALL SITE ENTRY AND EXIT POINTS PRIOR TO FORECAST RAIN, DAILY DURING EXTENDED PERIODS OF RAINFALL, AFTER RUNOFF-PRODUCING RAINFALL, OR OTHERWISE AT FORTNIGHTLY INTERVALS.
- IF SAND, SOIL, SEDIMENT OR MUD IS TRACKED OR WASHED ONTO THE ADJACENT SEALED ROADWAY, THEN SUCH MATERIAL MUST BE PHYSICALLY REMOVED, FIRST USING A SQUARE-EDGED SHOVEL, AND THEN A STIFF-BRISTLED BROOM, AND THEN BY A MECHANICAL VACUUM UNIT, IF AVAILABLE.
- IF NECESSARY FOR SAFETY REASONS, THE ROADWAY SHALL ONLY BE WASHED CLEAN AFTER ALL REASONABLE EFFORTS HAVE BEEN TAKEN TO SHOVEL AND SWEEP THE MATERIAL FROM THE ROADWAY.
- WHEN THE VOIDS BETWEEN THE ROCK BECOMES FILLED WITH MATERIAL AND THE EFFECTIVENESS OF THE ROCK PAD IS REDUCED TO A POINT WHERE SEDIMENT IS BEING TRACKED OFF THE SITE. A NEW 100MM LAYER OF ROCK MUST BE ADDED AND/OR THE ROCK PAD MUST BE EXTENDED.
- ENSURE ANY ASSOCIATED DRAINAGE CONTROL MEASURES (e.g. FLOW CONTROL BERM) ARE MAINTAINED IN ACCORDANCE WITH THEIR DESIRED OPERATIONAL CONDITIONS.
- DISPOSE OF SEDIMENT AND DEBRIS IN A MANNER THAT WILL NOT CREATE AN EROSION OR POLLUTION HAZARD.

REMOVAL

- THE ROCK PAD SHOULD BE REMOVED ONLY AFTER IT IS NO LONGER NEEDED AS A SEDIMENT TRAP.
- REMOVE MATERIALS AND COLLECTED SEDIMENT AND DISPOSE OF IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.
- RE-GRADE AND STABILISE THE DISTURBED GROUND AS NECESSARY TO MINIMISE THE EROSION HAZARD.

ROCK FILTER DAM

MATERIALS

ROCK:
75 TO 100mm NOMINAL DIAMETER, HARD, EROSION RESISTANT ROCK.

GEOTEXTILE FABRIC:
HEAVY-DUTY, NEEDLE-PUNCHES, NON-WOVEN FILTER CLOTH ('BIDIM' A24 OR EQUIVALENT).

INSTALLATION

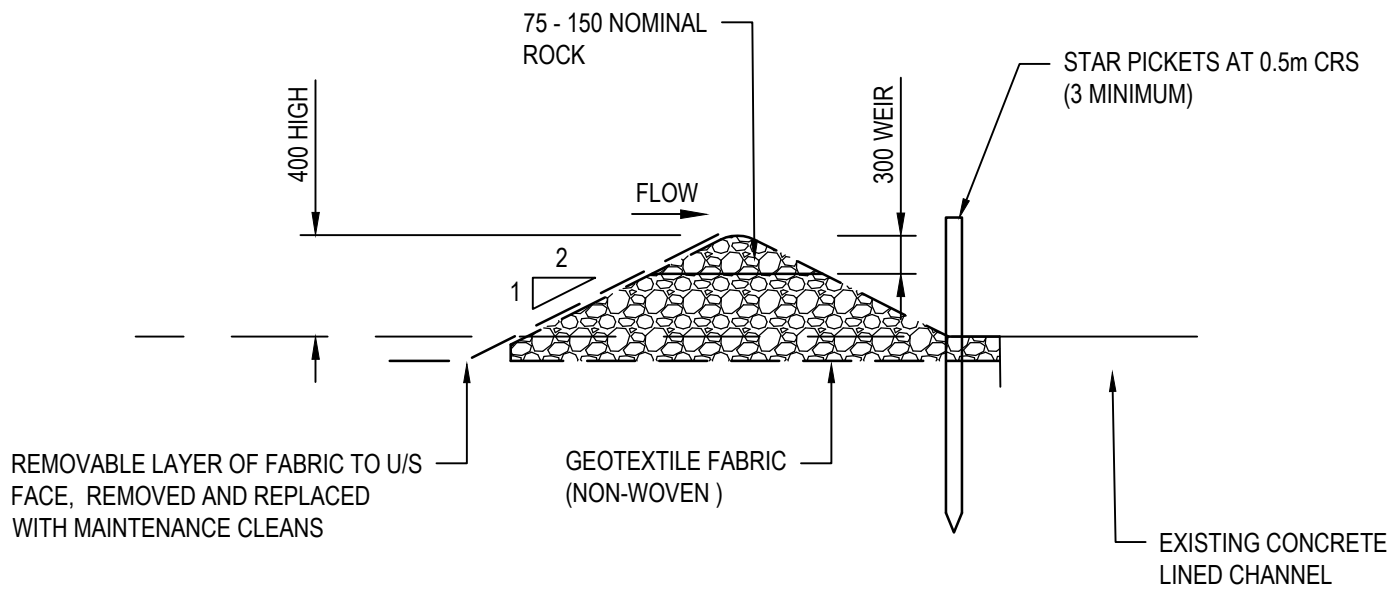
- REFER TO APPROVED PLANS FOR LOCATION AND INSTALLATION DETAILS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION OR METHOD OF INSTALLATION, CONTACT THE ENGINEER OR RESPONSIBLE ON-SITE OFFICER FOR ASSISTANCE.
- PRIOR TO PLACEMENT OF THE FILTER DAM, ENSURE THE TYPE AND SIZE OF EACH CHECK DAMS WILL NOT CAUSE A SAFETY HAZARD OR CAUSE WATER TO SPILL OUT OF THE DRAIN.
- CONSTRUCT THE FILTER DAM TO THE DIMENSIONS AND PROFILE SHOWN WITHIN THE APPROVED PLAN.
- WHERE SPECIFIED, THE FILTER DAM SHALL BE CONSTRUCTED ON A SHEET OF GEOTEXTILE FABRIC USED AS A DOWNSTREAM SPLASH PAD.

MAINTENANCE

- INSPECT EACH FILTER DAM AND THE DRAINAGE CHANNEL AT LEAST WEEKLY AND AFTER RUNOFF-PRODUCING RAINFALL.
- CHECK FOR DISPLACEMENT OF THE FILTER DAM
- CHECK FOR SOIL SCOUR AROUND THE ENDS OF THE FILTER DAM. IF SUCH EROSION IS OCCURRING, CONSIDER EXTENDING THE WIDTH OF THE FILTER DAM TO AVOID SUCH PROBLEMS.
- IF SEVERE SOIL EROSION OCCURS EITHER UNDER OR AROUND THE FILTER DAM, THEN SEEK EXPERT ADVICE ON AN ALTERNATIVE TREATMENT MEASURE.
- REMOVE AND SEDIMENT ACCUMULATED BY THE FILTER DAM, UNLESS IT IS INTENDED THAT THIS SEDIMENT WILL REMAIN WITHIN THE CHANNEL.
- DISPOSE OF COLLECTED SEDIMENT IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.
- REPLACE GEOTEXTILE LAYER ON UPSTREAM FACE WITH A CLEAN LAYER AS REQUIRED.

REMOVAL

- WHEN CONSTRUCTION WORK WITHIN THE DRAINAGE AREA ABOVE THE FILTER DAM HAS BEEN COMPLETED, AND THE DISTURBED AREAS AND THE DRAINAGE CHANNEL ARE SUFFICIENTLY STABILISED TO RESTRAIN EROSION, ALL TEMPORARY CHECK DAMS MUST BE REMOVED.
- REMOVE THE FILTER DAM AND ASSOCIATED SEDIMENT AND DISPOSE OF IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.



ROCK FILTER DAM

NOT TO SCALE

0	23.12.2024	FOR APPROVAL		MT	GA
REV.	DATE	DESCRIPTION		DES.	APP.

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DESIGN & DEVELOPMENT

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DESIGNED M. TICKNER	PROJECT LOT 10 ANDREW CLOSE DRIVEWAY
APPROVED G. APPLIN	DATE 23.12.2024
RPEQ 6073	TITLE EROSION & SEDIMENTATION CONTROL DETAILS
	STATUS FOR APPROVAL
	SCALE AS SHOWN
	SIZE A1
	DRAWING NUMBER 24011-C012
	REVISION 0

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Progression Design Pty. Ltd.
Contact name (only applicable for companies)	Matthew Tickner
Postal address (P.O. Box or street address)	31 Gallery Drive
Suburb	Mt. Sheridan
State	QLD
Postcode	4868
Country	Australia
Contact number	0417 383 564
Email address (non-mandatory)	Matthew@progressiondesign.com.au
Mobile number (non-mandatory)	0417 383 564
Fax number (non-mandatory)	-
Applicant's reference number(s) (if applicable)	-

1.1) Home-based business

☐ Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- ☐ Yes – the written consent of the owner(s) is attached to this development application
☒ No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Andrew Road	Forest Creek
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	10	RP735853	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Driveway to a single residence involving earthworks and culvert crossing.

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☐ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below <input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?		
<input checked="" type="checkbox"/> Road work <input checked="" type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input checked="" type="checkbox"/> Stormwater <input checked="" type="checkbox"/> Earthworks <input type="checkbox"/> Signage	<input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input checked="" type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)		
<input type="checkbox"/> Yes – specify number of new lots:		
<input checked="" type="checkbox"/> No		

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$145,000

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☒ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☐ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☐ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☒ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the *Transport Infrastructure Act 1994***:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☒ Yes – provide details below or include details in a schedule to this development application

☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	MCUC 2023_5301/1	19 th July 2023	Douglas Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 536: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☒ Yes – the relevant template is completed and attached to this development application
- ☐ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

19 July 2023

Enquiries: Rebecca Taranto
Our Ref: MCUC 2023_5301/1 (Doc ID:1167580)

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

L O Feneul & B J Murphy
PO Box 686
Mossman QLD 4873

Dear Sir/Madam

**Development Application for Material Change of Use (Dwelling house and shed)
At Andrew Road Forest Creek
On Land Described as Lot 10 on RP735853**

Please find attached the Decision Notice for the above-mentioned development application.

Please quote Council's application number: MCUC 2023_5301/1 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this, please contact Rebecca Taranto on telephone 07 4099 9444.

Yours faithfully



For
Paul Hoyer
Manager Environment & Planning

encl.

- Decision Notice
 - Approved Drawing(s) and/or Document(s)
 - Reasons for Decision - response to properly made submissions.
- Advice For Making Representations and Appeals (Decision Notice)



Decision Notice

Approval (with conditions)

Given under s 63 of the Planning Act 2016

Applicant Details

Name: L O Feneul & B J Murphy
Postal Address: PO Box 686
MOSSMAN QLD 4873
Email: Brendenmurphy1@gmail.com

Property Details

Street Address: Andrew Road Forest Creek
Real Property Description: Lot 10 on RP735853
Local Government Area: Douglas Shire Council

Details of Proposed Development

Development Permit for MCU - Material Change of Use (Dwelling house and shed)

Decision

Date of Decision: 19 July 2023
Decision Details: Approved (subject to conditions)

Approved Drawing(s) and/or Document(s)

Copies of the following plans, specifications and/or drawings are enclosed.

The term 'approved drawing(s) and/or document(s) or other similar expressions means:

Drawing or Document	Reference	Date
Site Plan	Unauthored Drawing Plan No. 04/04 Ref. No. RP735864	Submitted with Application on 6 March 2023
Shed Elevations	Unauthored Drawing Plan No. 03/04	Submitted with Application on 6 March 2023

	Ref. No. RP735864	
Proposed Plan	Unauthored Drawing Plan No. 01/04 Ref. No. RP735864	Submitted with Application on 6 March 2023
Proposed Plan- Elevations	Unauthored Drawing Plan No. 02/04 Ref. No. RP735864	Submitted with Application on 6 March 2023
FNQROC Regional Development Manual Standard Drawing/s for Vehicle Access		
Rural Allotment Access	Standard Drawing S1105 Issue E	27 August 2020

Assessment Manager Conditions & Advices

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-
 - a. The specifications, facts and circumstances as set out in the application submitted to Council;
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to commencement of use, except where specified otherwise in these conditions of approval.

Operational Works

3. An Operational Work Approval is required for the creek crossing and driveway construction associated with the development. The application for Operational Work must include, but not be limited to, the following:
 - a. A Site Plan showing the area of vegetation to be removed to facilitate the construction of the creek crossover and driveway construction. The remaining trees are to be protected as per the Australian Standard Protection of Trees on Development Sites AS 4970-2009;
 - b. Plan of Earthwork detailing excavation and fill for the construction of the access driveway and creek crossing;
 - c. Design details and cross section drawings for the access driveway extending from the road boundary to the Dwelling House. The driveway and creek crossing must;
 - i. Be designed to be no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Development Manual;
 - ii. Designed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;
 - iii. On gradients greater than 1 in 6 (16.6%) driveways are designed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;

- iv. Designed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;
 - v. Designed to include all necessary associated drainage that intercepts and directs storm water runoff to a lawful point of discharge, such that it does not compromise the integrity of the driveway and creek crossing;
 - vi. Designed to ensure that any excavation or fill does not exceed 2 metres in height for each batter or retaining wall;
 - vii. Designed in accordance with the Planning scheme policy SC6.5 – FNQROC Development Manual and AS2890.1- 2004. In particular, the grade, width, opportunity for passing bays and resulting earthworks are to be confirmed.
- d. Plans, elevations, and cross section drawings for the creek crossing and any necessary retaining structures, the crossing must be designed and certified by a RPEQ (Registered Practising Engineer Queensland). The design of the creek crossing must not inhibit fish passage within the waterway.
 - e. Provision of an access crossover and apron in accordance with FNQROC Development Manual Standard Drawing S1105;
 - f. All earthworks must be carried out in accordance with section CP1.13 and D5 of the FNQROC Development Manual. A copy of the contractors Erosion and Sediment Control Plan (ESCP) is to be submitted to Council prior to the issue of a Development Permit for Operational Work. Measures nominated in the ESCP must be implemented prior to commencement of any earthworks. The ESC Plan must address the Institution of Engineers' Australia Guidelines for Soil Erosion and Sediment Control and the Environment Protection (Water) Policy and Clauses CP1.06, CP1.13 and D5.10 of Council's FNQROC Development Manual.

Such works must be completed to the satisfaction of the Chief Executive Officer prior to the issued of a development Permit for Building Works.

Water Supply

- 4. Water storage tank(s) with a minimum capacity not less than 30,000 litres must be installed prior to occupation of the Primary Dwelling House. Such water tanks must be provided with:
 - a. Mosquito-proof screens of brass, copper, aluminium or stainless-steel gauze not coarser than one (1) mm aperture mesh of substantial construction and installed in such manner as not to cause or accelerate corrosion; or
 - b. Flap valve at every opening of the tank or other receptacle; or
 - c. Other approved means for preventing the ingress or egress of mosquitoes; and
 - d. The water tank(s) shall be fitted with a 50 mm ball valve with a camlock fitting.

Treatment of Onsite Waste

- 5. The method of on-site effluent disposal must be in accordance with the *Queensland Plumbing and Drainage Act 2002* and Section 33 of the *Environmental Protection Policy (Water) 1997*.

Vegetation Clearing

- 6. Existing vegetation on the subject land is to be retained, except where removal is permitted for this development in accordance with the site plan nominated in Condition 3 (a), the Planning Scheme or otherwise approved under a separate development permit.

Building Colours

- 7. Building colours should be re non-reflective and are moderately dark to darker shades of

grey, green, blue and brown or the development is not visible external to the site by vegetation screening.

Generators

8. Noise from generators, air-conditioning units, swimming and spa pool filters, service equipment or other mechanical equipment, must not emanate from the subject land to a degree that would, in the opinion of the Chief Executive Officer, create an environmental nuisance having regard to the provisions of Chapter 8 Part 3B of the *Environmental Protection Act 1994*.

Fuel Storage

9. All fuels must be stored in an undercover and secure location at all times.

Advices

1. This approval, granted under the provisions of the *Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect in accordance with Section 85 of the *Planning Act 2016*.

Site Survey

2. It is advised that a suitably qualified surveyor be engaged to survey the allotment boundaries prior to construction of the driveway, creek crossing, Dwelling and shed.

Retaining and Supporting Structures- Dwelling House

3. Retaining or supporting structures associated with the construction of the Dwelling greater than 1200mm in height require structural certification by an RPEQ.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
6. For information relating to the *Planning Act 2016* log on to www.dsdmip.qld.gov.au. To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au

Reasons for Decision

1. The reasons for this decision are:
 - a. Sections 60, 62 and 63 of the *Planning Act 2016*;
 - b. to ensure the development satisfies the benchmarks of the 2018 Douglas Shire Planning Scheme Version 1.0; and
 - c. to ensure compliance with the *Planning Act 2016*.
2. Findings on material questions of fact:
 - a. the development application was properly lodged to the Douglas Shire Council 06/03/2023 under section 51 of the *Planning Act 2016* and Part 1 of the *Development Assessment Rules*;
 - b. the development application contained information from the applicant which Council reviewed together with Council's own assessment against the 2017 State Planning Policy and the 2018 Douglas Shire Planning Scheme Version 1.0 in making its assessment manager decision.
3. Evidence or other material on which findings were based:
 - a. the development triggered assessable development under the Assessment Table associated with the Environmental Management Zone Code;

- b. Council undertook an assessment in accordance with the provisions of sections 60, 62 and 63 of the *Planning Act 2016*; and
- c. the applicant's reasons have been considered and the following findings are made:
 - i. Subject to conditions, the development satisfactorily meets the Planning Scheme benchmarks.

Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- All Building Work
- All Operational Work

All Plumbing and Drainage Work must only be carried in compliance with the Queensland *Plumbing and Drainage Act 2018*.

Currency Period for the Approval

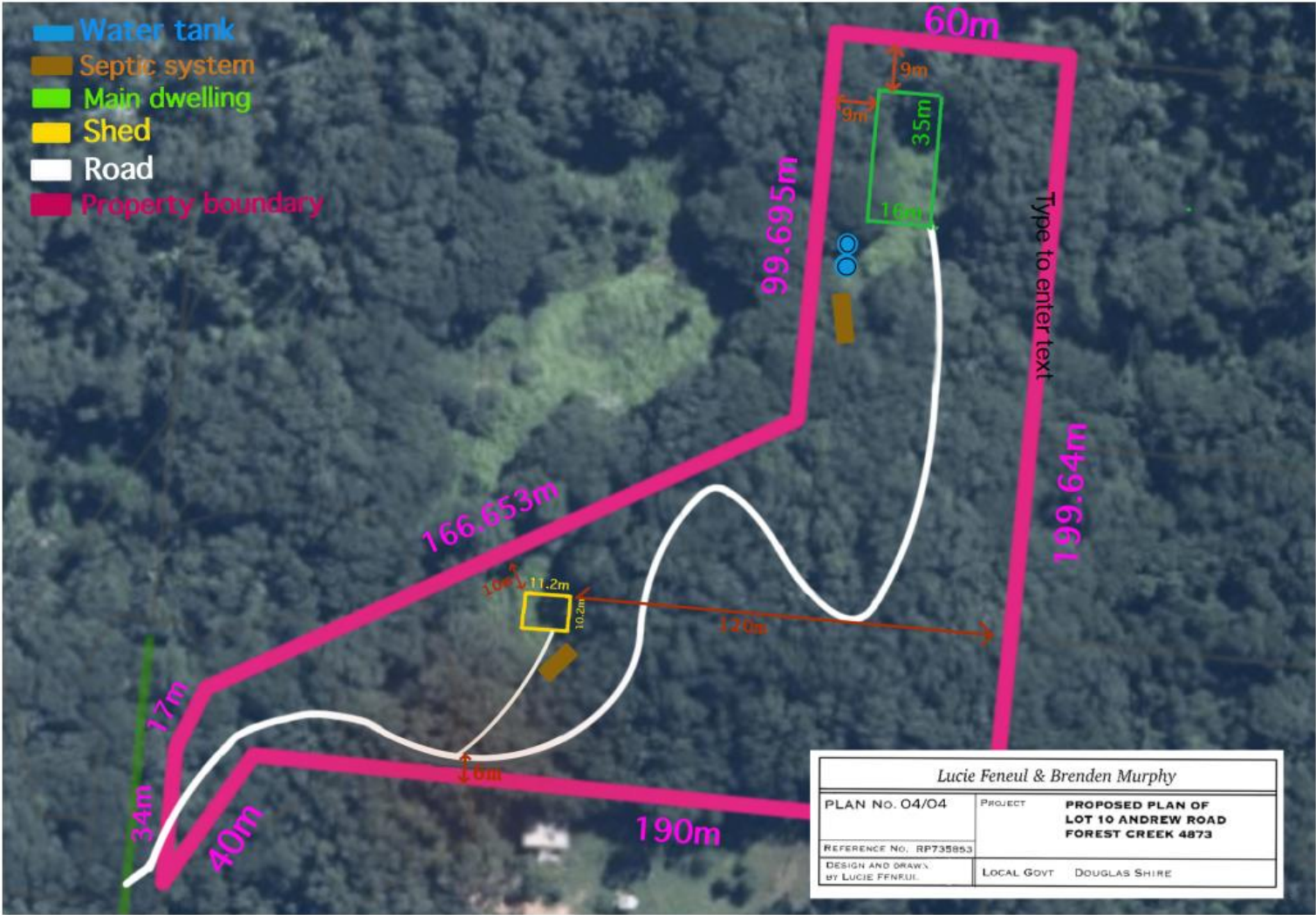
This approval, granted under the provisions of the *Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect in accordance with the provisions of Section 85 of the *Planning Act 2016*.

Rights to make Representations & Rights of Appeal

The rights of applicants to make representations and rights to appeal to a Tribunal or the Planning and Environment Court against decisions about a development application are set out in Chapter 6, Part 1 of the *Planning Act 2016*.

A copy of the relevant appeal provisions are attached.

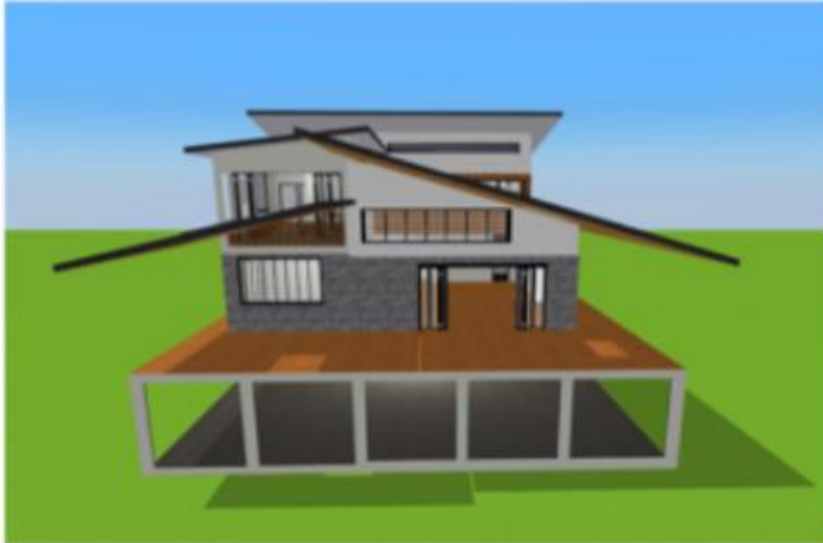
Approved Drawing(s) and/or Document(s)



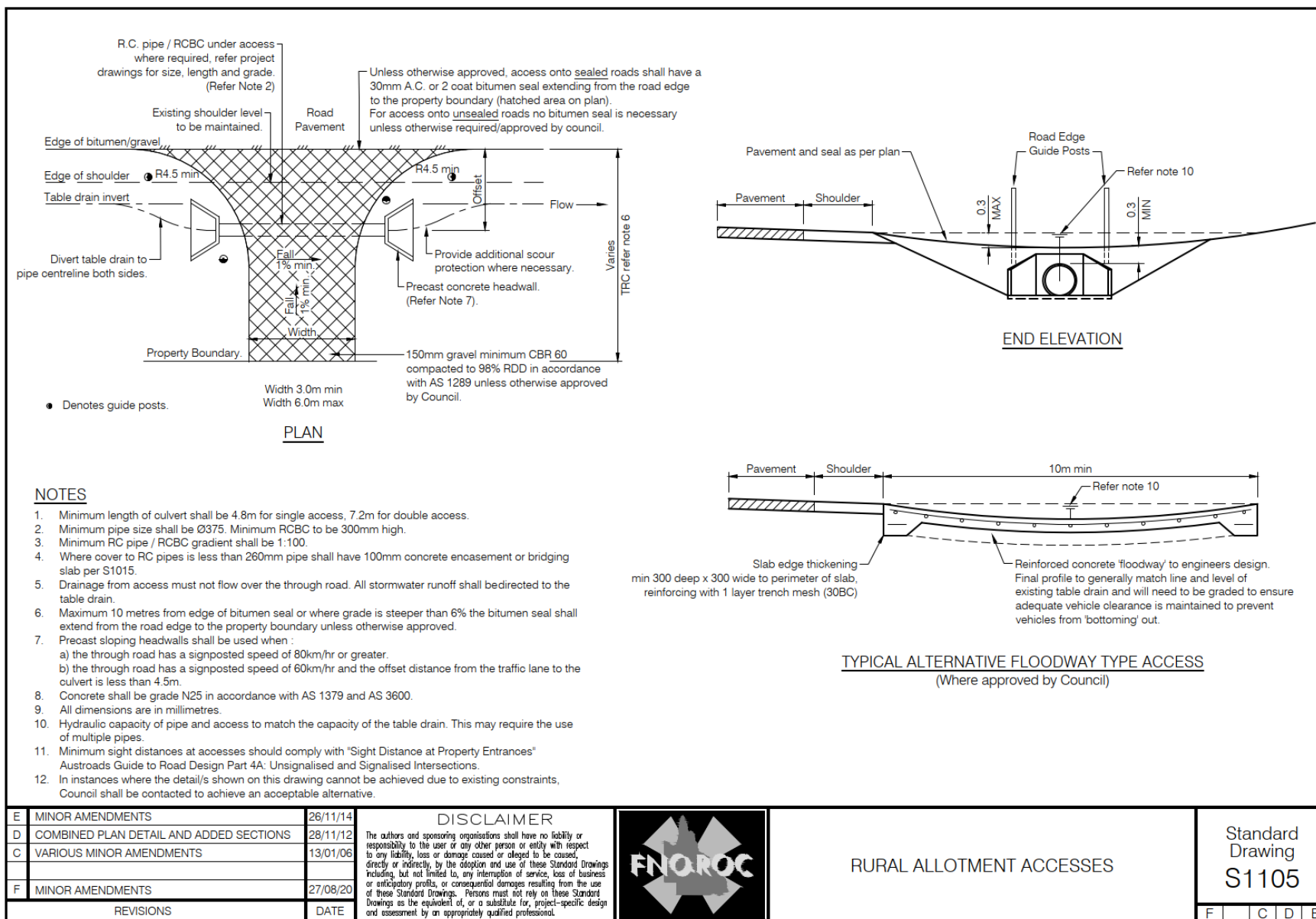


Lucie Feneul & Brenden Murphy		
PLAN NO. 01/04	PROJECT	PROPOSED PLAN OF LOT 10 ANDREW ROAD FOREST CREEK 4873
REFERENCE NO. RP735553		
DESIGN AND DRAWN BY LUCIE FENEUL	LOCAL GOVT	DOUGLAS SHIRE





Lucie Feneul & Brenden Murphy		
PLAN NO. 02/04	PROJECT	PROPOSED PLAN OF LOT 10 ANDREW ROAD FOREST CREEK 4873
REFERENCE NO. RP735053		
DESIGN AND DRAWN BY LUCIE FENEUL	LOCAL GOVT	DOUGLAS SHIRE



Reasons for Decision

1. The reasons for this decision are:
 - a. Sections 60, 62 and 63 of the *Planning Act 2016*;
 - b. to ensure the development satisfies the benchmarks of the 2018 Douglas Shire Planning Scheme Version 1.0; and
 - c. to ensure compliance with the *Planning Act 2016*.
2. Findings on material questions of fact:
 - a. the development application was properly lodged to the Douglas Shire Council 06/03/2023 under section 51 of the *Planning Act 2016* and Part 1 of the *Development Assessment Rules*;
 - b. the development application contained information from the applicant which Council reviewed together with Council's own assessment against the 2017 State Planning Policy and the 2018 Douglas Shire Planning Scheme Version 1.0 in making its assessment manager decision.
3. Evidence or other material on which findings were based:
 - a. the development triggered assessable development under the Assessment Table associated with the Environmental Management Zone Code;
 - b. Council undertook an assessment in accordance with the provisions of sections 60, 62 and 63 of the *Planning Act 2016*; and
 - c. the applicant's reasons have been considered and the following findings are made:
 - i. Subject to conditions, the development satisfactorily meets the Planning Scheme benchmarks.

Planning Act 2016
Chapter 3 Development assessment

[s 74]

Division 2 Changing development approvals

Subdivision 1 Changes during appeal period

74 What this subdivision is about

- (1) This subdivision is about changing a development approval before the applicant's appeal period for the approval ends.
- (2) This subdivision also applies to an approval of a change application, other than a change application for a minor change to a development approval.
- (3) For subsection (2), sections 75 and 76 apply—
 - (a) as if a reference in section 75 to a development approval were a reference to an approval of a change application; and
 - (b) as if a reference in the sections to the assessment manager were a reference to the responsible entity; and
 - (c) as if a reference in section 76 to a development application were a reference to a change application; and
 - (d) as if the reference in section 76(3)(b) to section 63(2) and (3) were a reference to section 83(4); and
 - (e) with any other necessary changes.

75 Making change representations

- (1) The applicant may make representations (*change representations*) to the assessment manager, during the applicant's appeal period for the development approval, about changing—
 - (a) a matter in the development approval, other than—
 - (i) a matter stated because of a referral agency's response; or

-
- (ii) a development condition imposed under a direction made by the Minister under chapter 3, part 6, division 2; or
 - (b) if the development approval is a deemed approval—the standard conditions taken to be included in the deemed approval under section 64(8)(c).
- (2) If the applicant needs more time to make the change representations, the applicant may, during the applicant's appeal period for the approval, suspend the appeal period by a notice given to the assessment manager.
- (3) Only 1 notice may be given.
- (4) If a notice is given, the appeal period is suspended—
- (a) if the change representations are not made within a period of 20 business days after the notice is given to the assessment manager—until the end of that period; or
 - (b) if the change representations are made within 20 business days after the notice is given to the assessment manager, until—
 - (i) the applicant withdraws the notice, by giving another notice to the assessment manager; or
 - (ii) the applicant receives notice that the assessment manager does not agree with the change representations; or
 - (iii) the end of 20 business days after the change representations are made, or a longer period agreed in writing between the applicant and the assessment manager.
- (5) However, if the assessment manager gives the applicant a negotiated decision notice, the appeal period starts again on the day after the negotiated decision notice is given.

76 Deciding change representations

- (1) The assessment manager must assess the change representations against and having regard to the matters that

- must be considered when assessing a development application, to the extent those matters are relevant.
- (2) The assessment manager must, within 5 business days after deciding the change representations, give a decision notice to—
- (a) the applicant; and
 - (b) if the assessment manager agrees with any of the change representations—
 - (i) each principal submitter; and
 - (ii) each referral agency; and
 - (iii) if the assessment manager is not a local government and the development is in a local government area—the relevant local government; and
 - (iv) if the assessment manager is a chosen assessment manager—the prescribed assessment manager; and
 - (v) another person prescribed by regulation.
- (3) A decision notice (a *negotiated decision notice*) that states the assessment manager agrees with a change representation must—
- (a) state the nature of the change agreed to; and
 - (b) comply with section 63(2) and (3).
- (4) A negotiated decision notice replaces the decision notice for the development application.
- (5) Only 1 negotiated decision notice may be given.
- (6) If a negotiated decision notice is given to an applicant, a local government may give a replacement infrastructure charges notice to the applicant.

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for an appeal relating to the *Plumbing and Drainage Act 2018*—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (g) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.

- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
 - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and

- (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
 - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
 - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—
decision includes—
 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.**non-appealable**, for a decision or matter, means the decision or matter—
 - (a) is final and conclusive; and
 - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
 - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.