

DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	TOTAL CONSTRUCTION
Contact name (only applicable for companies)	ANDREW FRATER
Postal address (P.O. Box or street address)	UNIT 11 / 16 METROPLEX AVENUE
Suburb	MURARRIE
State	QLD
Postcode	4172
Country	AUST.
Contact number	07 3393 7700
Email address (non-mandatory)	Andrew.F@totalconstruction.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	



PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2, and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

Street address **AND** lot on plan (all lots must be listed), **or**

Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

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a)	Unit No.	Street No.	Street Name and Type	Suburb
		49	JOHNSTON ROAD	MOSSMAN GORGE
b)	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	1	SP 150474	DSC

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

Additional premises are relevant to this development application and their details have been attached in a schedule to this application

Not required

4) Identify any of the following that apply to the premises and provide any relevant details

In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

MARRS CREEK

On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

WATER MAIN CONNECTION TO SUBJECT PROPERTY

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.*

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.*

- Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

- | | |
|------------------------|--|
| Material change of use | <input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot | <input type="checkbox"/> Yes – complete division 2 |
| Operational work | <input checked="" type="checkbox"/> Yes – complete division 3 |
| Building work | <input type="checkbox"/> Yes – complete DA Form 2 – Building work details |

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

- | | | |
|------------------------------|--|--|
| <input type="checkbox"/> Yes | | |
| <input type="checkbox"/> No | | |

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

- | | |
|--|--|
| <input type="checkbox"/> Subdivision (complete 10)) | <input type="checkbox"/> Dividing land into parts by agreement (complete 11)) |
| <input type="checkbox"/> Boundary realignment (complete 12)) | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13)) |

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- Yes – provide additional details below
- No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment
12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input checked="" type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input checked="" type="checkbox"/> Yes – specify number of new lots: <u>2</u>
<input type="checkbox"/> No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ 5,000

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

DOUGLAS SHIRE COUNCIL

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure – designated premises
- Infrastructure – state transport infrastructure
- Infrastructure – state transport corridors and future state transport corridors
- Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure – near a state-controlled road intersection
- On Brisbane core port land near a State transport corridor or future State transport corridor
- On Brisbane core port land – ERA
- On Brisbane core port land – tidal works or work in a coastal management district
- On Brisbane core port land – hazardous chemical facility
- On Brisbane core port land – taking or interfering with water
- On Brisbane core port land – referable dams
- On Brisbane core port land - fisheries
- Land within Port of Brisbane's port limits
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- Local heritage places

Matters requiring referral to the chief executive of the distribution entity or transmission entity : <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council : <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the Minister under the <i>Transport Infrastructure Act 1994</i> : <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the relevant port operator : <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the Chief Executive of the relevant port authority : <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the Gold Coast Waterways Authority : <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service : <input type="checkbox"/> Tidal works marina (<i>more than six vessel berths</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i> <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. <i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	CA 1235/2015	17 MAY 2016	DSC
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$ N/A		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
 No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
 No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes

No

Note: See guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
 No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
 Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 A certificate of title
 No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
 No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
 No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
 No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21))	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

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25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct	
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i>	
<i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.</p> <p>Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where:</p> <ul style="list-style-type: none"> • such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or • required by other legislation (including the <i>Right to Information Act 2009</i>); or • otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

PART 9 – FOR OFFICE USE ONLY

Date received: Reference number(s):

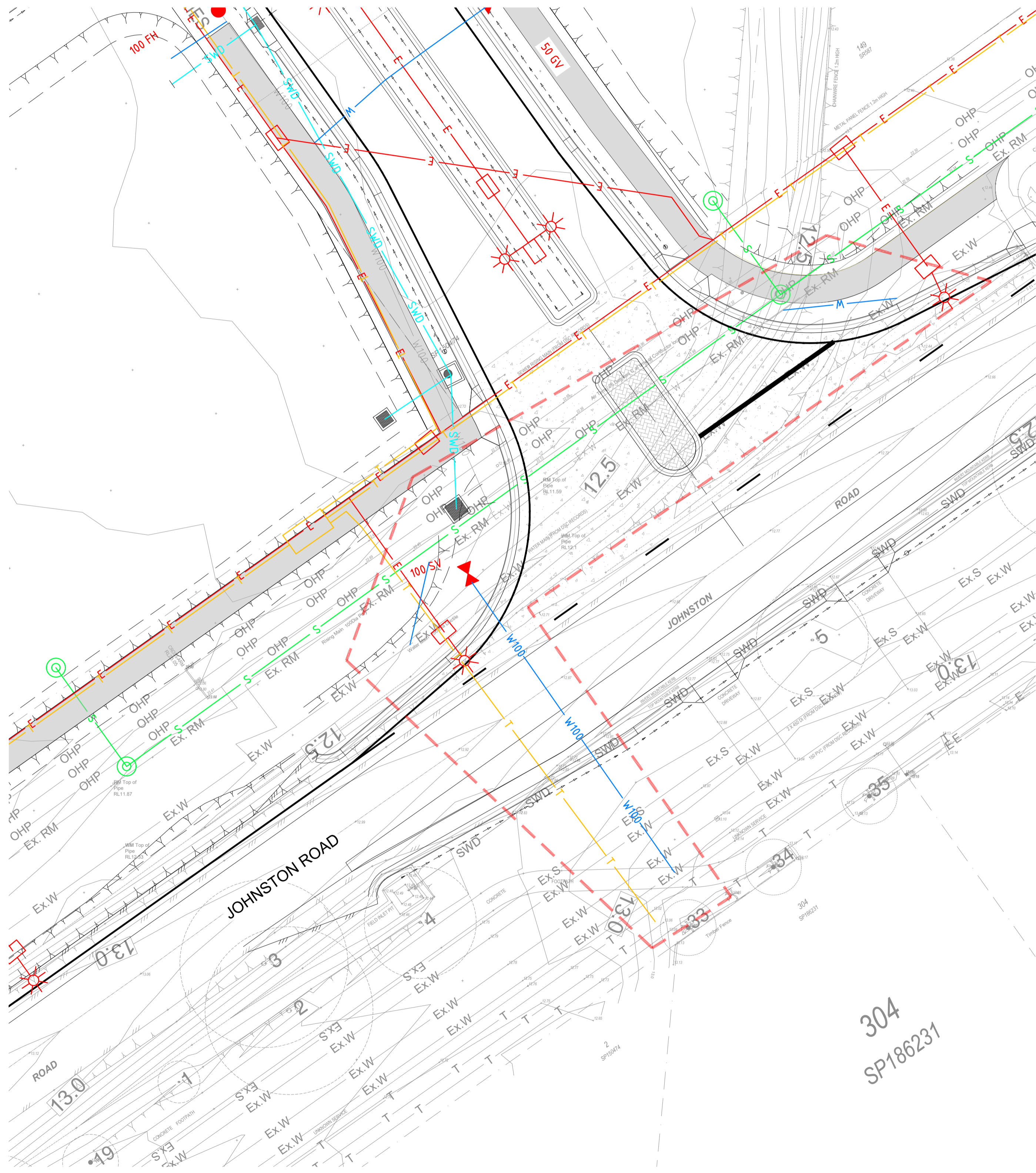
Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	

Relevant licence number(s) of chosen assessment manager	
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QLeave notification and payment	
<i>Note: For completion by assessment manager if applicable</i>	
Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date received form sighted by assessment manager	
Name of officer who sighted the form	

Mossman Aged Care Plus - Water Main

JOHNSTON ROAD, MOSSMAN for THE SALVATION ARMY AGED CARE PLUS



SITE LAYOUT PLAN
SCALE 1:500 @ A1



LOCALITY LAYOUT PLAN
NOT TO SCALE



SURVEY INFORMATION:

LOCATION: PART OF LOT 1 ON SP150474
JOHNSTON ROAD,
MOSSMAN

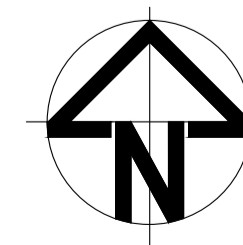
PSM NO. 100497
LEVEL DATUM RL 10.110 AHD
AMG COORDINATES E:325992.920 N:8179376.360

COUNCIL REFERENCE No. CA 1235/2015 (768753)
MAJOR PROJECT No. MP 06_0243

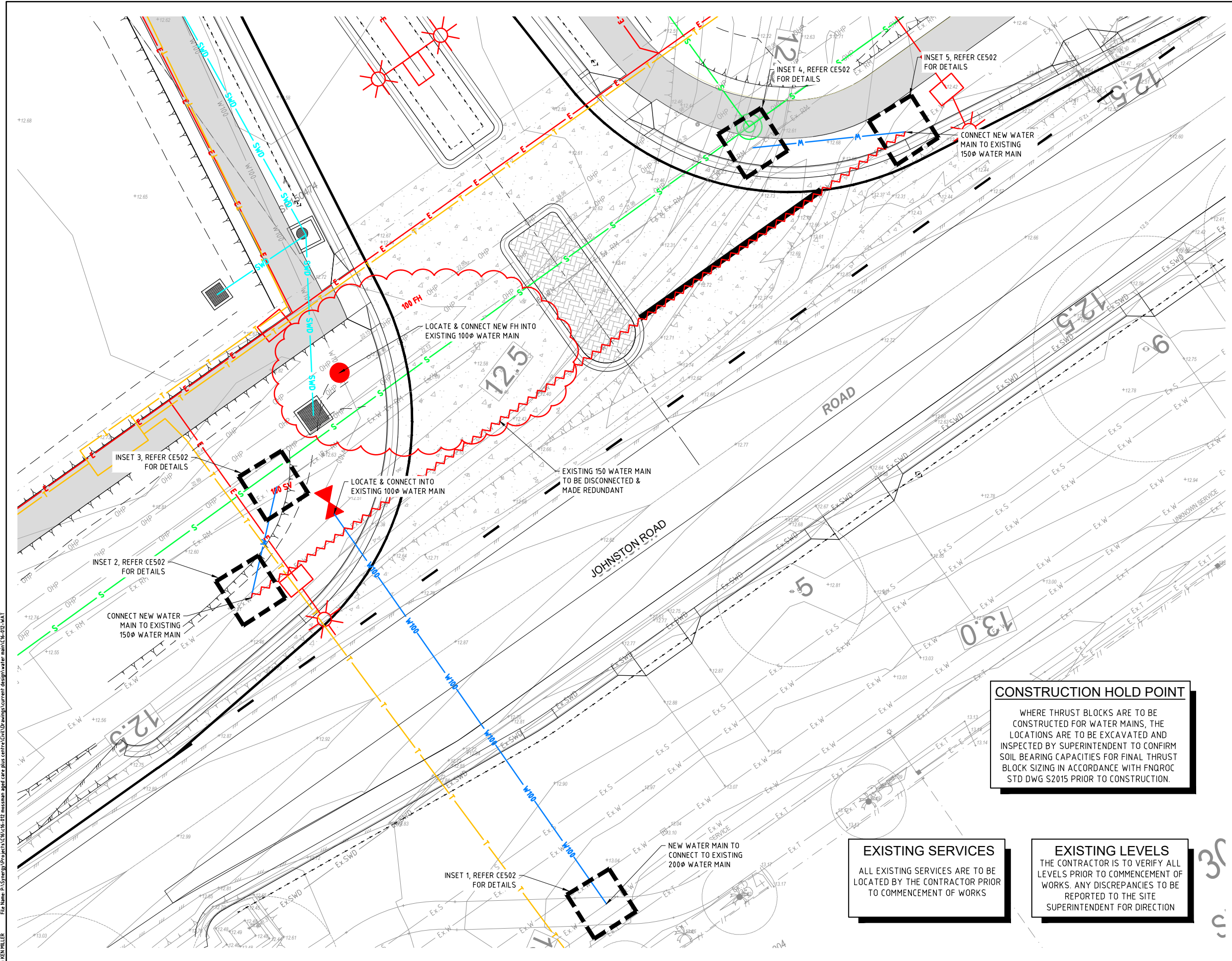


CONSULTANTS

<i>Brisbane Office</i> 2/237 Montague Road, West End, 4104 Phone 07 3255 2122 Facsimile 07 3255 2411	<i>Townsville Office</i> Level 1 Master Builders House 316 Sturt Street, Townsville, 4810 Phone 07 4724 2626 Facsimile 07 4724 2417	<i>Cairns Office</i> Suite 7, Glencorp House 78 Mulgrave Road Cairns, 4870 Phone 07 4031 8777 Facsimile 07 4031 8799	<i>Mackay Office</i> 104B Sydney Street Mackay 4740 Phone 07 4944 1577 Facsimile 07 49441588
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Date SEPT 2016	Design HJD	Checked KEM	Approved TJS	NPER No. 03321	Signed	Drawing No. C16-012 CW100	Rev #
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WATER

1. ALL WATER MAINS ARE TO BE LOCATED IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARD DRAWINGS.
2. ALL PVC WATER MAINS ARE TO BE SERIES 2, PN16 RUBBER RING JOINTED IN ACCORDANCE WITH AS1477. ALL FITTINGS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARD DRAWINGS.
3. CONNECTIONS TO EXISTING WATER MAINS ARE TO BE UNDERTAKEN BY THE RELEVANT WATER AUTHORITY AT THE CONTRACTOR'S COST.
4. ALL PROPERTY CONNECTIONS ARE TO BE CONSTRUCTED IN ACCORDANCE TSC STANDARD DRAWINGS.

NOTES

1. DIVERSION TO BE UNDERTAKEN FIRST.
2. WATER MAIN CONNECTION SECOND SO EX. 150mm PIPE CAN BE CUT OFF & CAPPED. OTHERWISE 100mm LINE WILL NEED TO DIVERT AROUND EXISTING LIVE SERVICE FIRST.
3. CONTRACTOR TO PRESSURE TEST SERVICES PRIOR TO MAIN CONNECTIONS.
4. CONTRACTOR TO ALLOW FOR ALL MAINS CONNECTIONS UNDER AUTHORITY SUPERVISION.
5. CONTRACTOR TO COORDINATE & LIAISE WITH AUTHORITIES FOR INSPECTIONS, CONNECTIONS APPROVALS & PERMITS
6. CONTRACTOR TO ALLOW FOR ANY OUT OF HOURS WORKS AS REQUIRED
7. CONTRACTOR TO ENGAGE RPS TO SURVEY NEW WORKS & PROVIDE AS CONSTRUCTED DOCUMENTS

LEGEND

- E — EXISTING UNDERGROUND ELECTRICITY
- OHP — EXISTING OVERHEAD ELECTRICITY
- Ex.T — EXISTING UNDERGROUND TELECOMMUNICATIONS
- Ex.S — EXISTING SEWER MAIN
- Ex.W — EXISTING WATERMAIN
- - - EXISTING TOE OF BATTER
- ▲▲▲▲ EXISTING TOP OF BATTER
- — — EXISTING ROAD CENTRELINE
- — — EXISTING EDGE OF BITUMEN
- - - 2.6 EXISTING CONTOUR (0.1m CONTOUR INTERVAL)
- W100 — 100mm WATER MAIN LOCATION
- S — 150mm uPVC SEWER MAIN
- SWD — STORMWATER MAIN LOCATIONS
- ~ ~ ~ EXISTING WATER MAIN TO BE DISCONNECTED

CONSTRUCTION HOLD POINT
 WHERE THRUST BLOCKS ARE TO BE CONSTRUCTED FOR WATER MAINS, THE LOCATIONS ARE TO BE EXCAVATED AND INSPECTED BY SUPERINTENDENT TO CONFIRM SOIL BEARING CAPACITIES FOR FINAL THRUST BLOCK SIZING IN ACCORDANCE WITH FNQROC STD DWG S2015 PRIOR TO CONSTRUCTION.

EXISTING SERVICES
 ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS

EXISTING LEVELS
 THE CONTRACTOR IS TO VERIFY ALL LEVELS PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES TO BE REPORTED TO THE SITE SUPERINTENDENT FOR DIRECTION

LEVEL DATUM
 PSM No. 00000
 LEVEL DATUM RL 0.000 AHD DERIVED
 SITE COORDINATES E00000 N00000

SCALE 1:500 (A1) 1:1000 (A3)
 DO NOT SCALE USE ONLY THE DIMENSIONS PROVIDED.

User: KEM/VELLER File Name: P:\Energy\Projects\CE502\07_mossman aged care plus centre\dwg\current design\water main\C16-012-WAT
 Plot Date: 9/10/2019 8:59:50 AM
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Rev	Description	By	Appd	Date
C	ADDITIONAL FH	HJD	KEM	05.07.19
B	RESPONSE TO COMMENTS	HJD	KEM	01.05.19
A	FOR APPROVAL	HJD	KEM	29.04.19

IN ASSOCIATION WITH

Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS - WATER MAIN
Title	WATER RETICULATION LAYOUT PLAN

STP CONSULTANTS

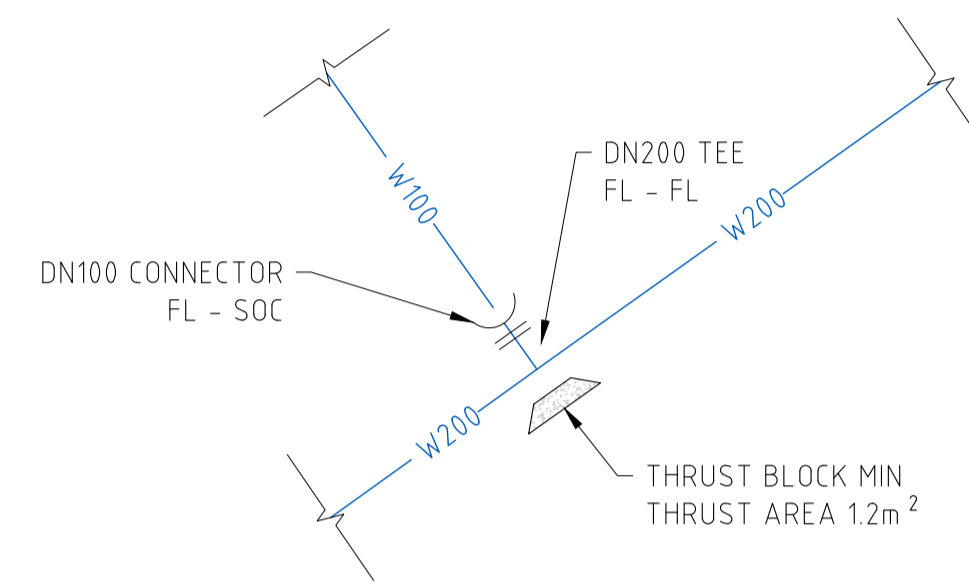
Offices In:
 Townsville Ph: 07 3539 8350
 Brisbane Ph: 07 3539 8300
 Cairns Ph: 07 3539 8380
 Mackay Ph: 07 3539 8390
 www.stpconsultants.com.au

Design	KEM
Drawn	HJD
Date	SEPT 2016
Checked	KEM
Certified	TJS
RPEQ No.	03321

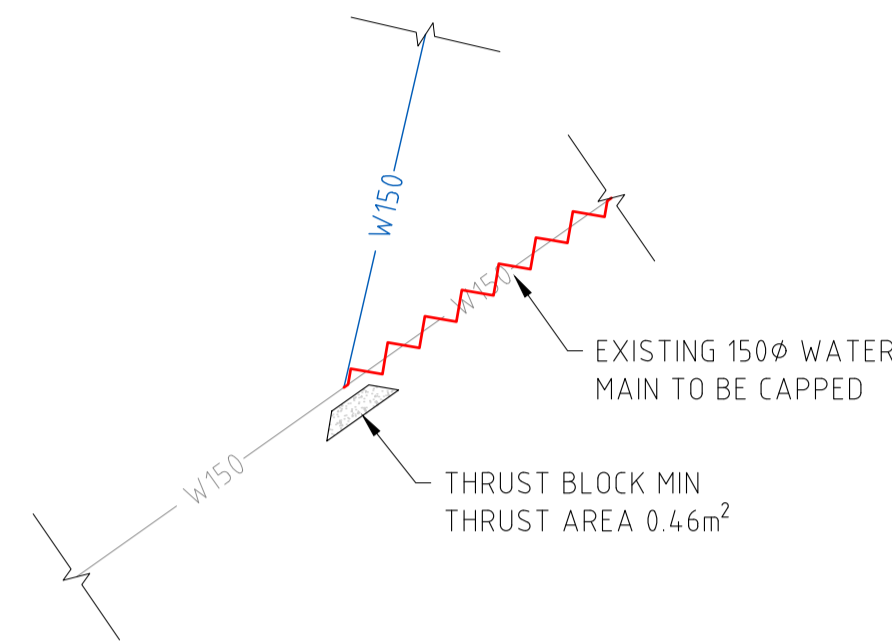
NOT FOR CONSTRUCTION	
Job Number	Drawing Number
C16-012	CW501
Certified	Rev
	C

WATER

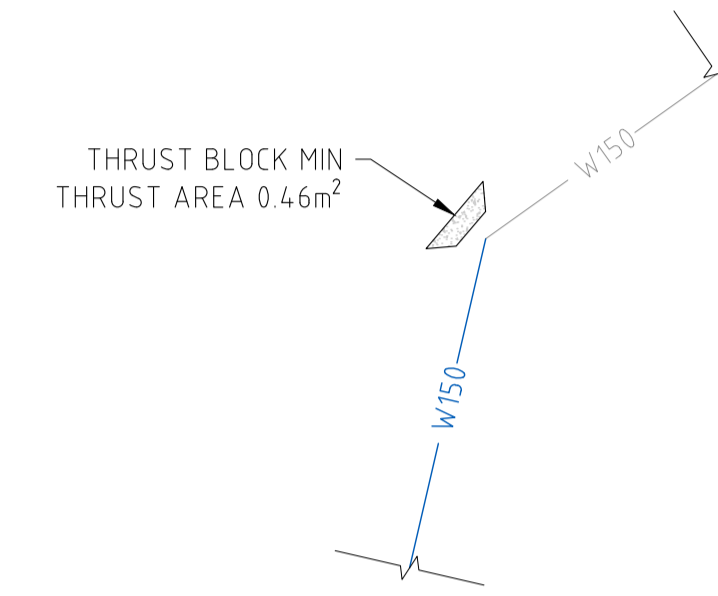
1. ALL WATER MAINS ARE TO BE LOCATED IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARD DRAWINGS.
2. ALL PVC WATER MAINS ARE TO BE SERIES 2, PN16 RUBBER RING JOINTED IN ACCORDANCE WITH AS1477. ALL FITTINGS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARD DRAWINGS.
3. CONNECTIONS TO EXISTING WATER MAINS ARE TO BE UNDERTAKEN BY THE RELEVANT WATER AUTHORITY AT THE CONTRACTOR'S COST.
4. ALL PROPERTY CONNECTIONS ARE TO BE CONSTRUCTED IN ACCORDANCE TSC STANDARD DRAWINGS.
5. SOIL BEARING CAPACITY FOR THRUST BLOCKS IS ASSUMED TO BE 50kPa. CONTRACTOR TO CONFIRM ON SITE AND LIAISE WITH STP IF SOIL BEARING CAPACITY IS DISSIMILAR.



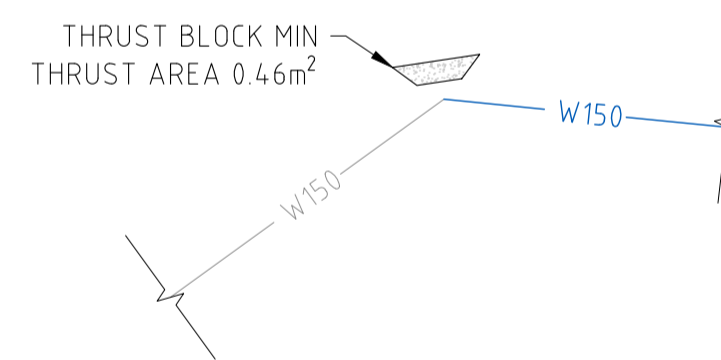
INSET 1
NTS



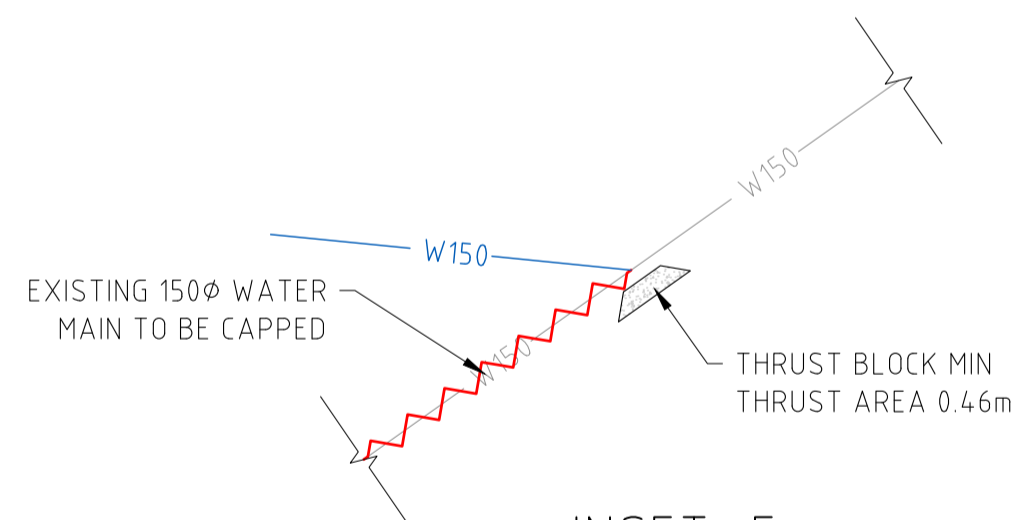
INSET 2
NTS



INSET 3
NTS



INSET 4
NTS



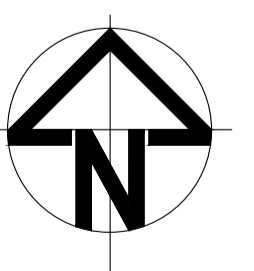
INSET 5
NTS

CONSTRUCTION HOLD POINT

WHERE THRUST BLOCKS ARE TO BE CONSTRUCTED FOR WATER MAINS, THE LOCATIONS ARE TO BE EXCAVATED AND INSPECTED BY SUPERINTENDENT TO CONFIRM SOIL BEARING CAPACITIES FOR FINAL THRUST BLOCK SIZING IN ACCORDANCE WITH FNQROC STD DWG S2015 PRIOR TO CONSTRUCTION.

LEVEL DATUM

PSM No. 00000
LEVEL DATUM RL 0.000 AHD DERIVED
SITE COORDINATES E00000 N00000



User: HARRISON.DDVE File Name: P:\Synergy\Projects\C16\16-017 Mossman aged care plus centre\Civil\Drawings\Current design\water main\C16-017-WAT

Rev	Description	By	Appd	Date
B	RESPONSE TO COMMENTS	HJD	KEM	01.05.19
A	FOR APPROVAL	HJD	KEM	29.04.19

IN ASSOCIATION WITH

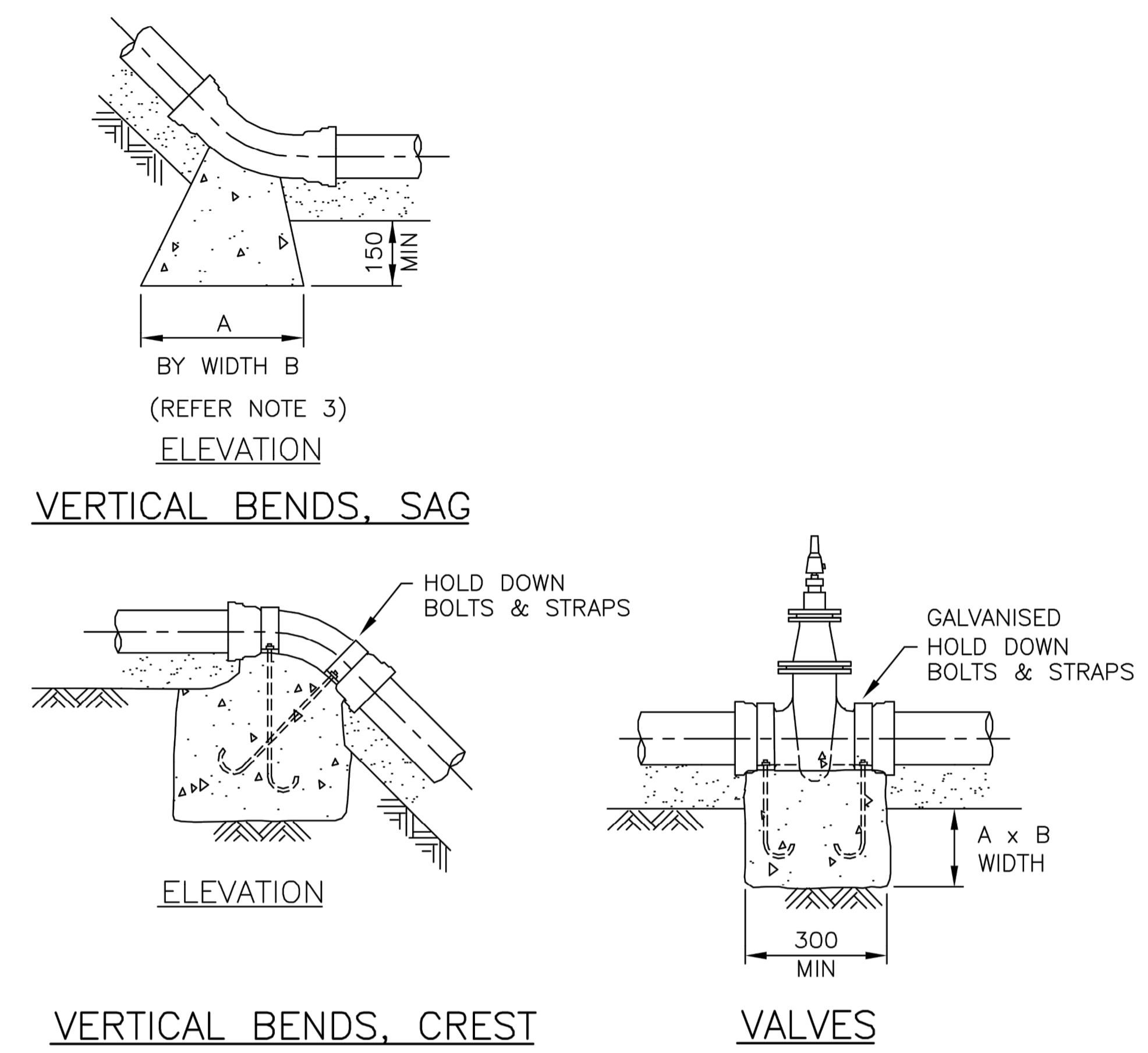
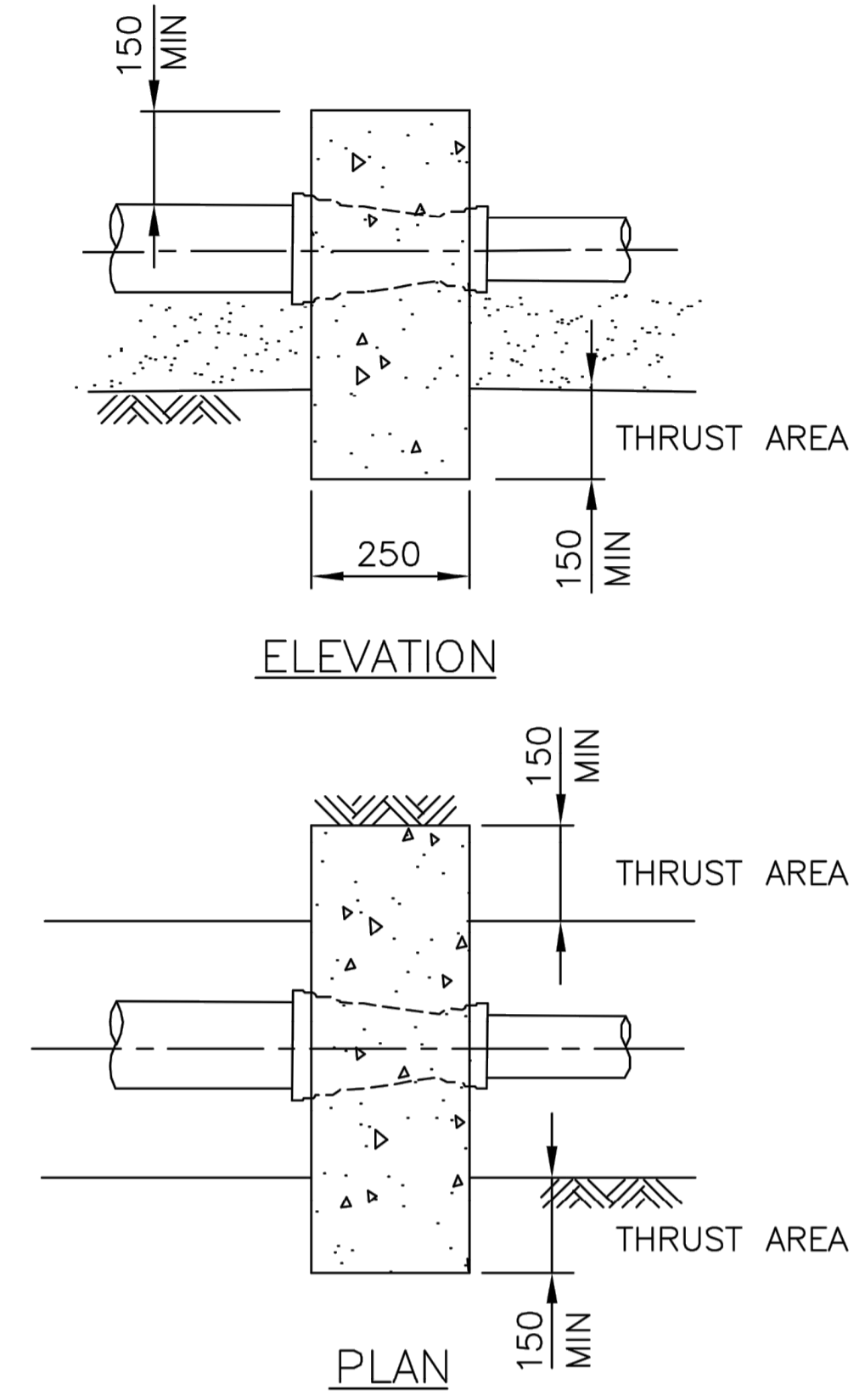
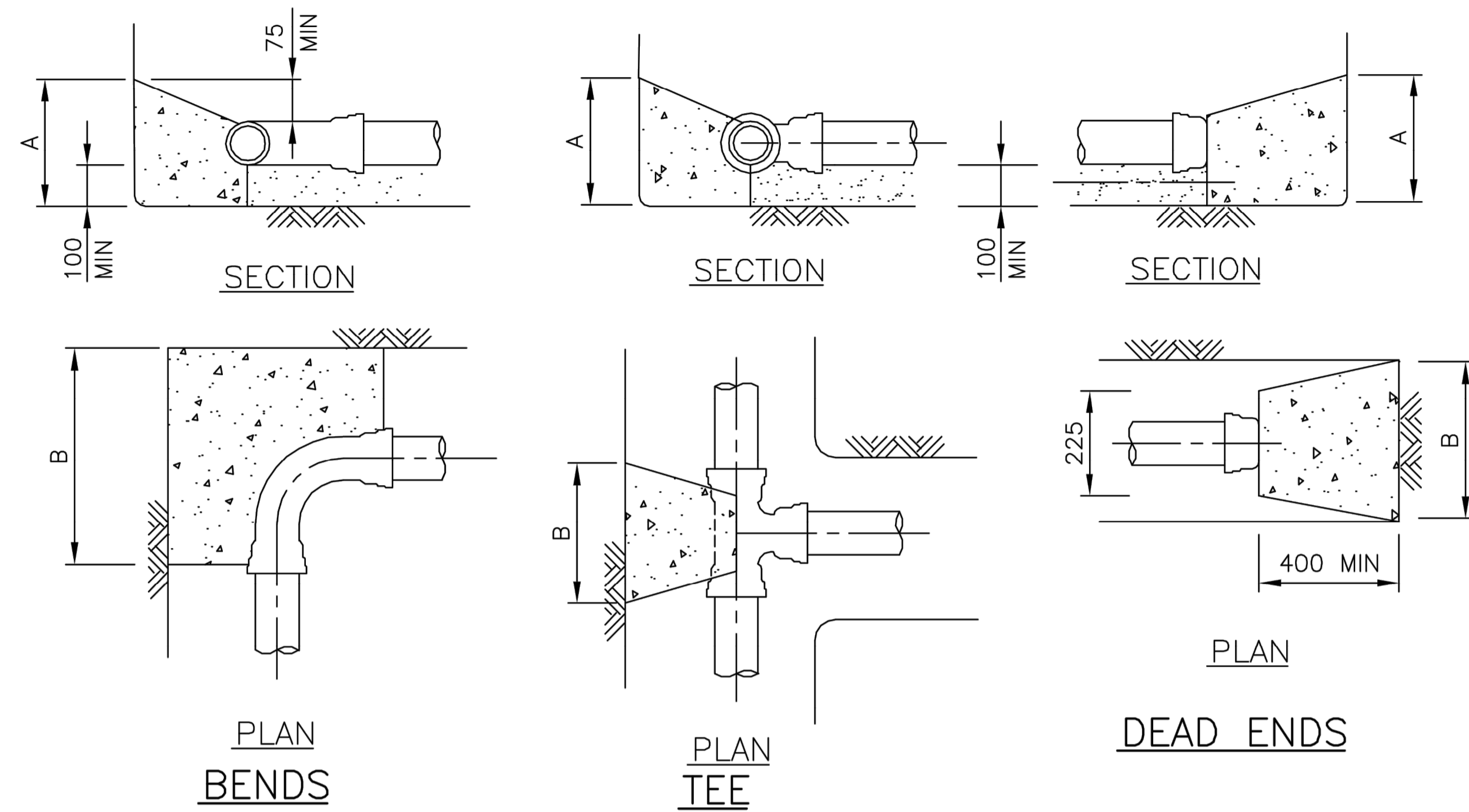
<i>Client</i>	THE SALVATION ARMY AGED CARE PLUS
<i>Project</i>	MOSSMAN AGED CARE PLUS - WATER MAIN
<i>Title</i>	WATER RETICULATION DETAILS

Offices In:
Townsville Ph: 07 3539 8350
Brisbane Ph: 07 3539 8300
Cairns Ph: 07 3539 8380
Mackay Ph: 07 3539 8390
www.stpconsultants.com.au

<i>Design</i>	KEM
<i>Drawn</i>	HJD
<i>Date</i>	SEPT 2016
<i>Checked</i>	KEM
<i>Certified</i>	TJS
<i>RPEQ No.</i>	03321

NOT FOR CONSTRUCTION	
<i>Job Number</i>	<i>Drawing Number</i>
C16-012	CW502
<i>Certified</i>	<i>Rev</i>
	B

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MINIMUM THRUST AREA (A x B) IN m² FOR 1200 kPa TEST PRESSURE

SAFE BEARING LOAD	90° & Ø60 BENDS				45° & 30° BENDS				22½° BENDS				11¼° BENDS				DEAD ENDS/TEES				
	25 kPa	50 kPa	75 kPa	100 kPa	25 kPa	50 kPa	75 kPa	100 kPa	25 kPa	50 kPa	75 kPa	100 kPa	25 kPa	50 kPa	75 kPa	100 kPa	25 kPa	50 kPa	75 kPa	100 kPa	
DIA. OF BRANCH OR TEE BRANCH	100	0.82	0.41	0.27	0.20	0.44	0.21	0.14	0.11	0.24	0.12	0.08	N	0.10	N	N	N	0.58	0.29	0.19	0.15
	150	1.68	0.84	0.56	0.42	0.91	0.46	0.30	0.23	0.48	0.24	0.16	0.12	0.24	0.12	0.08	N	1.20	0.60	0.40	0.30
	225	2.55	1.27	0.85	0.64	1.92	0.96	0.64	0.48	1.00	0.50	0.34	0.25	0.48	0.24	0.16	0.12	2.54	1.27	0.85	0.64

N - DENOTES NOMINAL THRUST AREA. REFER TO NOTE 10.

NOTES

- CONCRETE FOR THRUST BLOCKS TO BE N25 MIN. IN ACCORDANCE WITH AS3179 & AS3600 & SHALL BE POURED AGAINST UNDISTURBED SOIL.
- TAPERS TO HAVE A MIN. THRUST AREA FOR ANCHORS EQUAL TO THE DIFFERENCE IN CORRESPONDING THRUST AREA FOR DEAD ENDS OF EACH DIAMETER OF TAPER.
- FOR VERTICAL BENDS IN SAG, THE SAFE BEARING LOADS OF THE VARIOUS SOILS MAY BE TAKEN AS TWICE THOSE FOR HORIZONTAL THRUST.
- UNLESS NOTED OTHERWISE THRUST BLOCKS ARE REQUIRED FOR ALL VALVES Ø200 & GREATER & SHALL HAVE A THRUST AREA EQUAL TO THAT FOR A DEAD END. ALSO WHEN IN SOFT CLAY ALL VALVES SHALL HAVE THRUST BLOCKS EQUAL TO THAT FOR A DEAD END.
- HOLD DOWN BOLTS TO BE M12 STAINLESS STEEL. MIN. EMBEDMENT LENGTH 300mm WITH 75 HOOK, COG OF 50 x 50 x 6 WASHER, STRAPS 40 50 x 6 STAINLESS STEEL PLATE BENT TO SUIT.
- THRUST BLOCK FOR MATERIALS WITH SAFE BEARING LOAD < 25kPa ARE TO BE DETAILED WITH ENGINEERING DESIGN.
- FOR PIPES > 225mm DIA. THE THRUST BLOCKS SHALL BE SPECIFICALLY DESIGNED & DETAILED AFTER SOIL TESTING..
- ALL FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKS FORMED AGAINST SOLID GROUND TO TRANSFER UNBALANCED FORCES FROM FITTING TO SOLID GROUND.
- NOMINAL THRUST AREA 'N' SHALL BE EFFECTED BY N25 CONCRETE OVER FULL LENGTH OF FITTING, & EXTENDING IN DEPTH FROM THE BOTTOM OF THE TRENCH TO AT LEAST 75mm ABOVE THE TOP OF THE FITTING.
- TABULATED 'MIN. THRUST AREA FOR ANCHORAGE' APPLY FOR TEST PRESSURE OF 1200kPa. AREAS SHALL BE ADJUSTED PRORATA FOR OTHER TEST PRESSURES EXCEPT THAT NOMINAL THRUST AREAS 'N' SHALL HAVE TO BE CALCULATED FOR TEST PRESSURES OVER 1200kPa.
- SHAPE & DIMENSIONS OF CONCRETE BLOCKS SHOWN ARE MINIMUM REQUIREMENTS.
- WHEN PLACING THE CONCRETE ON A PVC PIPE, CARE SHALL BE TAKEN TO AVOID ENCASING THE PIPE COMPLETELY. THE MAXIMUM ENCASEMENT SHALL BE 180°.
- WHEN PLACING A PVC PIPE IN CONCRETE A MEMBRANE OF POLYTHENE, PVC OR FELT SHALL SURROUND THE PIPE & FITTING TO PERMIT PIPE MOVEMENT IN THE CONCRETE.
- MINIMUM COVER TO PIPE SHALL BE 600mm REFER TO S2016 FOR MIN. COVER TO INDIVIDUAL PIPE TYPES.

CONCRETE VOLUMES TO COUNTER THRUST (m³ PER 1200kPa TEST PRESSURE)

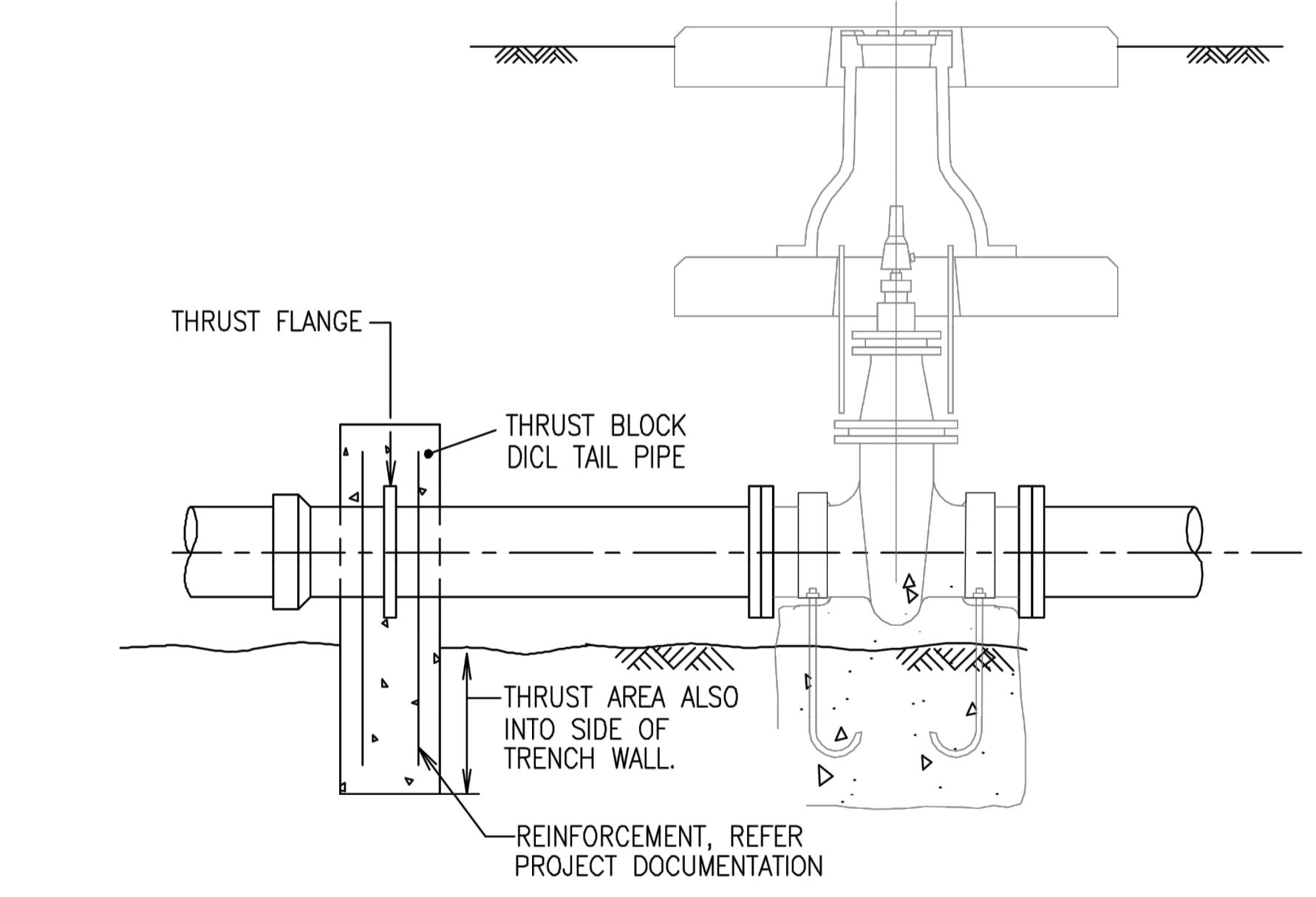
DIA	90°	45°	22½°	11¼°
100	0.85	0.45	0.25	0.10
150	1.75	0.95	0.50	0.25
225	3.75	2.00	1.05	0.50

VERTICAL BENDS, CREST

SAFE BEARING LOADS (kPa)

MATERIAL	SAFE BEARING LOAD (kPa)
SOFT CLAY	Requires soil testing to determine safe bearing load
MARINE CLAY	Requires soil testing to determine safe bearing load
MEDIUM CLAY, SANDY LOAM	50
SAND & GRAVEL, HARD CLAY	75
SAND & GRAVEL CEMENTED WITH CLAY	100
SHALE	240

FOR HORIZONTAL THRUST BLOCKS IN TRENCHES WHERE THE COVER TO PIPE IS > 450MM



SLUICE VALVE (Ø200 & GREATER - SOFT CLAY)
(REFER NOTE 4)

User: HARRISON.DDVE File Name: P:\Synergy\Projects\C16\16-017 mossman aged care plus centre\CivilDrawings\current design\water main\C16-012-WAT

Rev	Description	By	Appd	Date
B	RESPONSE TO COMMENTS	HJD	KEM	01.05.19
A	FOR APPROVAL	MAF	KEM	29.04.19

IN ASSOCIATION WITH

Client **THE SALVATION ARMY AGED CARE PLUS**
 Project **MOSSMAN AGED CARE PLUS - WATER MAIN**
 Title **FNQROC STANDARD DRAWING S2015**

STP
CONSULTANTS

Offices In:
 Townsville Ph: 07 3539 8350
 Brisbane Ph: 07 3539 8300
 Cairns Ph: 07 3539 8380
 Mackay Ph: 07 3539 8390
 www.stpconsultants.com.au

Design	KEM
Drawn	HJD
Date	SEPT 2016
Checked	KEM
Certified	TJS
RPEQ No.	03321

NOT FOR CONSTRUCTION

Job Number **C16-012**
 Drawing Number **CW503**

Certified
 Rev **A**

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Oscar Nina

From: Neil Beck <Neil.Beck@douglas.qld.gov.au>
Sent: Tuesday, 28 May 2019 1:41 PM
To: David Martin
Subject: FW: Message from "MPC3003MossDepot"
Attachments: 20190528122157468.pdf

Dave - see details of mag flo attached..

Cheers

NB

-----Original Message-----

From: Tony Kadwell
Sent: Tuesday, 28 May 2019 12:23 PM
To: Neil Beck
Subject: FW: Message from "MPC3003MossDepot"

Neil,

This is the last quote i got for a Mag Flo to keep it consistent with what council requires.

Regards,

Tony Kadwell | Technical Officer

Water Reticulation | Douglas Shire Council
P: 07 4099 9455 | F: 07 4098 2006 | M: 0428 451 934
E: tony.kadwell@douglas.qld.gov.au | W: douglas.qld.gov.au
Mail: PO Box 723, Mossman Q 4873 | Office: 96 Alchera Drive, Mossman Q 4873

-----Original Message-----

From: R.Printer@douglas.qld.gov.au [mailto:R.Printer@douglas.qld.gov.au]
Sent: Tuesday, 28 May 2019 12:22 PM
To: Tony Kadwell
Subject: Message from "MPC3003MossDepot"

This E-mail was sent from "MPC3003MossDepot" (MP C3003).

Scan Date: 05.28.2019 12:21:57 (+1000)
Queries to: R.Printer@douglas.qld.gov.au

SIEMENS

Quotation

Douglas Shire Council
64-66 Front Street
Mossman QLD 4873

Customer Phone: (07) 4099-9455
Customer Email: tony.kadwell@douglas.qld.gov.au

Reference No.
SIQsJPR180704003-P

Customer No.
40059552

Customer Reference
MAG8000 DN100

Attention
Tony Kadwell

Quote Valid
Until 03/08/2018

Quote Date
04/07/2018


Ordering Information

When placing this order, please quote the reference number: SIQsJPR180704003-P and email to mehdi.afshani@siemens.com

Sales Contact

Mehdi Afshani
0438 172 041
mehdi.afshani@siemens.com

Offering List

Item	Description of Goods/Services	SOA Clause ¹	Quantity	Unit Price	Total Price \$AUD
1	NCP6810-3TN31-3AA1-8000 This BOM Material consists of: - 1 off 7ME6810-3TN31-3AA0 MAG8000 Flowmeter, DN100, AS4087 Flanges, COMPACT Configuration - 1 off FDK:087L4150 Battery kit P1039 - 2 off FAU:BW186-0100 Ground Rings, AS4087, 316 SS 3mm		1.00	\$2,596.81 per unit	\$2,596.81
					
2	FAU:SS8000 SITRANS F M MAG8000 SECURITY COVER FOR COMPACT FLOWMETER MATERIAL: AISI316 LOCKING; 8 MM HASP		1.00	\$496.80 per unit	\$496.80
3	Battery Installation - MAG8000	4.1	1.00	\$75.00 per unit	\$75.00

The above service covers installation of the P1039 battery pack, in addition to pre-programming the meter parameters to the following:

Total = KL
Rate: = L/Sec
Set date & Time and start logger.



Availability: Ex-stock Melbourne, subject to prior sales.

Sub Total \$3,168.61

Siemens Ltd.

ABN 98 004 347 880

Melbourne Head Office
Brisbane Office
Perth Office
Adelaide Office
Sydney Office

885 Mountain Highway, Bayswater VIC 3153, Australia
153 Campbell St, Bowen Hills QLD 4006, Australia
185 Great Eastern Hwy, Belmont WA 6104, Australia
9 MAB Eastern Promenade, Clovelly Park SA 5042, Australia
160 Herring Rd, Macquarie Park NSW 2113, Australia

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Telephone
(03) 9721 2000
(07) 3332 8300
(08) 9241 4400
(08) 8214 8700
(02) 9491 5000
Page 1 of 5

PROJECT

KUBIRRI AGED CARE PLUS CENTRE, LOT 1/SP150474 JOHNSTON ROAD, MOSSMAN

HYDRAULIC SERVICES

DRAWING INDEX:

- 173392-HS000 COVER SHEET, NOTES & LEGEND
- 173392-HS001 SITE SERVICES – SANITARY PLUMBING & STORMWATER DRAINAGE
- 173392-HS002 SITE SERVICES – WATER SERVICES RETICULATION
- 173392-HS101 CENTRAL FACILITY – SANITARY PLUMBING & DRAINAGE
- 173392-HS102 WEST WING – HOUSE 1&2, SANITARY PLUMBING & DRAINAGE
- 173392-HS103 EAST WING – HOUSE 3&4, SANITARY PLUMBING & DRAINAGE
- 173392-HS104 ROOF PLAN
- 173392-HS201 CENTRAL FACILITY – WATER SERVICES RETICULATION
- 173392-HS202 WEST WING – HOUSE 1&2, WATER SERVICES RETICULATION
- 173392-HS203 EAST WING – HOUSE 3&4, WATER SERVICES RETICULATION
- 173392-FE001 FIRE EXTINGUISHER AND FIRE BLANKET PLAN

LEGEND:

PIPEWORK:

- S — EXISTING SEWER
- W — EXISTING WATER MAINS
- SW — CIVIL STORMWATER
- SANITARY PLUMBING & DRAINAGE
- STORMWATER
- COLD WATER
- HOT WATER
- TEPID WATER
- FIRE MAIN
- COMBINED FIRE & WATER MAIN
- VENT
- LP GAS
- TRADE WASTE
- EXISTING FIREMAIN
- FIRE SPRINKLER MAIN

SYMBOLS:

- 450x450 STORMWATER PIT
- 1020Ø SEWER MANHOLE
- BUCKET TRAP
- CHECK VALVE
- DROPPER
- DUAL HEADED PILLAR HYDRANT
- ELEVATED PIPE DROPPER
- FLOOR WASTE GULLY
- FIRE HOSE REEL
- FIXTURE OUTLET
- GREASE INTERCEPTOR TRAP
- HOSE COCK
- INSPECTION OPENING
- INSPECTION OPENING TO SURFACE
- OVERFLOW RELIEF/DISCONNECTOR GULLY
- REDUCED PRESSURE ZONE DEVICE
- RISER
- STACK / DOWNPIPE
- STOP VALVE
- STOP VALVE IN BOX IN GROUND
- "T" DROPPER
- TAPWARE OUTLET
- TEMPERING VALVE
- TEMPERING VALVE IN BOX
- THERMOSTATIC MIXING VALVE
- TUNDISH
- WATER METER
- FIXTURE UNIT RATING

ABBREVIATIONS:

- AAV AIR ADMITTANCE VALVE
- AFFL ABOVE FINISHED FLOOR LEVEL
- AFGL ABOVE FINISHED GROUND LEVEL
- AC AIR CONDITIONING
- B BASIN
- BB BLUE BRUTE
- BILLI BILLI BOILING/CHILLED WATER UNIT (REFER SPECIFICATION)
- BM BAIN MARIE
- BT BUCKET TRAP
- BW BOILING WATER
- BWU BOILING WATER UNIT
- CA CEILING ABOVE
- CDS CHEMICAL DOSING STATION
- CI CAST IRON
- COM-MAIN COMBINED MAIN
- CS CLEANERS SINK
- CU COPPER
- CUP/B CUPBOARD
- CV CHECK VALVE
- CW COLD WATER
- DICL DUCTILE IRON
- DP DOWNPIPE
- DR DRYER
- DW DISHWASHER
- DWC DISABLED WATER CLOSET
- EIL EXISTING INVERT LEVEL
- E/ EXISTING
- F/ FINISHED FLOOR LEVEL
- FGL FINISHED GROUND LEVEL
- FH FIRE HYDRANT
- FM FIRE MAIN
- FS FIRE SPRINKLER
- FT FROST TOP
- FU FIXTURE UNIT
- FWG FLOOR WASTE GULLY
- GC GAS COCK
- G/DR GRATED DRAIN
- GTV GREASE TRAP VENT
- HC HOSE COCK
- HDPE HIGH DENSITY POLYETHYLENE
- HWB HAIR WASH BASIN
- H/P HIGH PRESSURE
- HW HOT WATER
- HWU HOT WATER UNIT
- HYDRO ZIP AUTOBOIL (REFER KITCHEN SPECIFICATION)
- ICE ICE MACHINE
- I/HWU INSTANTANEOUS HOT WATER UNIT
- IL INVERT LEVEL
- IO INSPECTION OPENING
- IOS INSPECTION OPENING TO SURFACE
- K&C KERB AND CHANNEL
- LPG LIQUEFIED PETROLEUM GAS
- M/H MANHOLE
- M/P MEDIUM PRESSURE
- MJ MEGA/DOLE/HOUR
- MSB MAIN SWITCH BOARD
- NTS NOT TO SCALE
- O/FLOW OVERFLOW
- ORG OVERFLOW RELIEF GULLY
- P/B 'P' TRAP BASIN
- POT/S POT SINK
- PREP/S PREP SINK
- PVC POLYVINYL CHLORIDE
- REG REGULATOR
- RPZD REDUCED PRESSURE ZONE DEVICE
- S SINK
- SHR SHOWER
- SPR SPRINKLER
- S/S STAINLESS STEEL
- STER STERILIZER
- SV STOP VALVE
- SW STORMWATER
- TD TUNDISH
- TMV THERMOSTATIC MIXING VALVE
- TUB LAUNDRY TUB
- TV TEMPERING VALVE
- TW TEPID WATER
- TWVP TRADEWASTE VENT PIPE
- U/B UNDERBENCH
- U/G UNDERGROUND
- VP VENT PIPE
- VPR VENT PIPE RISER
- WC WATER CLOSET
- WM WASHING MACHINE

GENERAL NOTES

- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SEWERAGE & WATER SUPPLY LAWS 1998, NATIONAL CONSTRUCTION CODE (BCA), AS 2419, AS 2441, AS 2444, NATIONAL PLUMBING & DRAINAGE CODE, AS 3500 PARTS 1,2,3&4, DOUGLAS SHIRE COUNCIL & ALL OTHER RELEVANT AUSTRALIAN STANDARDS.
- CONTRACTOR TO CHECK INTERPRETATION OF BYLAWS WITH COUNCIL.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE ARCHITECTS, CIVIL, MECHANICAL, ELECTRICAL, STRUCTURAL ENGINEERS & LANDSCAPE CONSULTANTS DRAWINGS & SPECIFICATIONS.
- CONTRACTOR TO VERIFY ALL SURFACE LEVELS, INVERT LEVELS & COVER OVER WASTE DRAINAGE LINES ARE CORRECT & OBTAINABLE BEFORE COMMENCEMENT OF WORK ON SITE.
- LOCATIONS OF EXISTING SERVICES ON SITE ARE ONLY APPROXIMATE & HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL VERIFY LOCATIONS OF SERVICES BEFORE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOT WORK NEAR THESE SERVICES WITHOUT THE PERSONAL SUPERVISION OR THE WRITTEN PERMISSION OF THE RELEVANT AUTHORITIES.
- CONCEAL ALL PIPEWORK WHERE POSSIBLE.
- ALL PIPES LAID UNDER GROUND IN LANDSCAPING TO BE MINIMUM DEPTH OF 400mm TO INVERT LEVEL & SHALL BE 100mm DIA. U.N.O.
- WATER SERVICE PIPEWORK SIZES SHOWN AS NOMINAL BORE. ANY ALTERNATIVES USED MUST EQUAL OR EXCEED THOSE SHOWN.
- CONTRACTOR TO PROVIDE AS CONSTRUCTED DOCUMENTS TO THE SUPERINTENDENT ON COMPLETION OF THE CONTRACT. AS CONSTRUCTED DOCUMENTS TO BE AUTOCAD DWG FORMAT ON SHEET SIZES TO MATCH CONTRACT DOCUMENTS.
- CONTRACTOR TO PROVIDE OPERATION & MAINTENANCE MANUALS TO COVER ALL HYDRAULIC SERVICES ITEMS ON COMPLETION OF PROJECT IN SENSICAL PDF DIGITAL FORMAT.
- THE CONTRACTOR SHALL ALLOW FOR THE SUPPLY OF ALL LABOUR, MATERIALS & PLANT NECESSARY FOR THE INSTALLATION, TESTING & COMMISSIONING OF THE WORKS AS DESCRIBED ON THE DRAWINGS & IN THE SPECIFICATION. THE WORKS SHALL BE COMPLETE WITH FULL ALLOWANCE FOR ALL MINOR & INCIDENTAL ITEMS REQUIRED THOUGH NOT SPECIFICALLY MENTIONED OR DETAILED. THE CONTRACTOR SHALL ALSO ALLOW FOR ALL WORK REQUIRED TO MAKE GOOD.
- ALL MATERIALS SHALL BE NEW, PROVEN IN SERVICE & SUITABLE FOR THE INTENDED PURPOSE.
- TESTING & COMMISSIONING SHALL BE CARRIED OUT PRIOR TO PRACTICAL COMPLETION TO CLEARLY DEMONSTRATE & RECORD THAT THE WORKS EFFICIENTLY MEET THE SPECIFIED PERFORMANCES & HAVE BEEN SUCCESSFULLY COMMISSIONED AS A COMPLETE & INTEGRATED INSTALLATION.
- REFER TO ARCHITECTURAL DRAWINGS & SPECIFICATION FOR DETAILS OF TYPES & FINISHES OF SANITARY, FIXTURES, FITTINGS, TAPWARE & THE LIKE.
- EXISTING REDUNDANT SERVICES & PIPEWORK SHALL BE BLANKED OFF & REMOVED WHERE PRACTICABLE. MAKE GOOD TO ALL SERVICES.
- ALL PIPEWORK WHICH PENETRATES FIRE WALLS OR FLOORS IS TO BE FITTED WITH FIRESTOP COLLARS AS REQUIRED.
- DO NOT SCALE FROM DRAWINGS.

HOT & COLD WATER

- PIPES LOCATED IN MASONRY WALLS OR CONCRETE SLABS ARE TO BE CONDUITED IN ACCORDANCE WITH AS 3500.
- LOCATIONS OF CONTROL VALVES ARE SHOWN DIAGRAMMATICALLY ONLY. LOCATE ON SITE IN ACCESSIBLE POSITIONS IN ACCORDANCE WITH AS 3500.
- HOT & COLD WATER PIPEWORK IS SHOWN DIAGRAMMATICALLY ONLY.
- ALL HOT & COLD WATER LINES TO INDIVIDUAL FIXTURES TO BE MINIMUM 15mm NOMINAL BORE & 20mm NOMINAL BORE TO TWO OR MORE FIXTURES OR AS SHOWN ON THE DRAWINGS.
- MATERIALS:
 - COLD WATER MAINS: POLYETHYLENE PN12 PIPE & FITTINGS TO AS 4130 OR EQUAL.
 - COLD WATER SERVICE: COPPER TYPE "B" TO AS 1432 OR EQUAL.
 - HOT WATER SERVICE: COPPER TYPE "B" TO AS 1432 LAGGED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS & SPECIFICATIONS & LOCAL AUTHORITY REQUIREMENTS.
- COMMERCIAL HOT WATER USED FOR SANITIZATION PURPOSES TO BE STORED & DELIVERED AT A MINIMUM TEMPERATURE OF 80°C.
- HOT WATER SUPPLY FOR PERSONAL HYGIENE PURPOSES IS TO BE STORED AT A MINIMUM OF 60°C & SUPPLIED TO SANITARY OUTLETS USED PRIMARILY FOR PERSONAL HYGIENE PURPOSES AT TEMPERATURES THAT SHALL NOT EXCEED:
 - 45°C NURSING HOMES OR DISABLED FACILITIES, VIA THERMOSTATIC MIXING VALVES.
 - 50°C IN ALL AREAS AS SPECIFIED ON THE DRAWINGS VIA A TEMPERING VALVE TO SUIT THE HOT WATER SYSTEM TYPE.
- HOT WATER UNITS TO BE CAPABLE OF ATTAINING & MAINTAINING TEMPERATURES IN EXCESS OF THOSE REQUIRED AT THEIR POINT OF USE & INSTALLED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS – OFF PEAK TARIFF.
- ALL HC'S SHALL BE FITTED WITH APPROVED BACKFLOW PREVENTION DEVICES
- INSTALL THE FOLLOWING AS REQUIRED:
 - BACKFLOW PREVENTION DEVICES IN ACCORDANCE WITH AS 3500.
 - EXPANSION JOINTS.
 - AIR RELEASE MECHANISM(S).
 - WATER FLOW REGULATORS TO ALL SHOWER OUTLETS, BATHS, BASINS & KITCHEN FACILITIES.

SANITARY PLUMBING & DRAINAGE

- ALL DRAINAGE SHALL BE 100mm DIA. UPVC RUN AT MINIMUM GRADE OF 1:60 U.N.O.
- ALL VENT PIPES TO TERMINATE IN ACCORDANCE WITH AS 3500.2 CLAUSE 6.7.4 WHERE NECESSARY OR AS DIRECTED.
- ALL L.O.'s UNDER CONCRETE TO BE TAKEN TO SURFACE LEVEL & FITTED WITH APPROVED BRASS SCREW CAP.
- ALL FWG'S SHALL HAVE 100mm DIA. RISERS & REMOVABLE METAL SCREW GRATES CHROME PLATED WHERE EXPOSED.
- ALL ORG RISERS SHALL EXTEND TO AN APPROVED REMOVABLE GRATE SET AT 150mm BELOW THE LOWEST FIXTURE CONNECTED TO THE DRAIN & BE 75mm ABOVE FINISHED GROUND LEVEL IN ACCORDANCE WITH AS 3500.2.
- WHERE PVC PIPES PENETRATE OR ARE BUILT INTO WALLS OR SLABS THE PIPES SHALL BE LAGGED WITH APPROVED MATERIAL IN ACCORDANCE WITH AS 3500.
- MAXIMUM DISTANCE OF UNVENTED BRANCH DRAIN TO FIXTURES, DG'S & ORG'S IS 10 METRES.
- MATERIALS:
 - WASTE & VENT PIPES & FITTINGS: UPVC CLASS 'DWV' TO AS 1260 FITTED WITH FIRESTOP COLLARS AS REQUIRED.
 - HOUSE DRAINAGE: UPVC CLASS 'DWV' TO AS 1260.
 - TRADE WASTE DRAINAGE: HIGH DENSITY POLYETHYLENE OR POLYPROPYLENE HIGH TEMPERATURE PUSH FIT TO MP 52.
- ALL WC'S TO BE SCREW FIXED TO FLOOR WITH NYLON PLUGS & NON-CORROSIVE METAL SCREWS.
- ALL DISCHARGE PIPES RECEIVING CONDENSATE WASTE INCLUDING TRAPS SHALL BE INSULATED.
- ACOUSTIC INSULATION OR ACOUSTICALLY RATED PIPEWORK (POLYPROPYLENE-SK PUSH FIT) CAPABLE OF ACHIEVING 30RW OR 45RW DEPENDING ON LOCATION RELATIVE TO HABITABLE AREAS IS TO BE INSTALLED TO ACHIEVE THE SOUND RATING REQUIREMENTS TO COMPLY WITH THE BCA.
- WHERE REQUIRED:
 - ALL HOT WATER UNITS TO BE LOCATED IN NON-CORROSIVE SAFE TRAY WITH 50 DIA. WASTES IN ACCORDANCE WITH AS 3500.4 DISCHARGING AS SHOWN ON THE DRAWINGS.
 - PROVIDE TEST GATES & EXPANSION JOINTS TO STACKS.
- UNO ANY PIPE OR FITTING BUILT INTO A WALL OR FOOTING SHALL BE WRAPPED WITH A SUITABLE FLEXIBLE MATERIAL NOT LESS THAN 6mm THICK, OR PASS THROUGH A SLEEVE PROVIDING A CLEAR ANNULAR SPACE OF NOT LESS THAN 6mm RADIUS, TO PERMIT THE PIPE TO BE SEALED IN POSITION WITHOUT RESTRICTING IT'S AXIAL MOVEMENT.

WATER MANAGEMENT SYSTEM

- ALL WC PANS SHALL BE FITTED WITH A 6/3 LITRE DUAL FLUSH TYPE CISTERN WITH A MINIMUM 4-STAR WELS RATING & BE COMPATIBLE WITH THE SIZE OF THE TOILET BOWL TO ALLOW FOR PROPER FUNCTION OF THE TOILET
- ALL TAPWARE OUTLETS FOR SINKS, TUBS, BASINS & TROUGHS TO HAVE A NOMINATED MINIMUM 3-STAR WELS RATING & OPERATE AT AN AVERAGE FLOW RATE OF MORE THAN 7.5LIT/MIN BUT NOT MORE THAN 9 LIT/MIN
- ALL SHOWER OUTLETS TO BE FITTED WITH ROSES HAVING A NOMINATED MINIMUM 3-STAR OR HIGHER WELS RATING & OPERATE AT AN AVERAGE FLOW RATE OF MORE THAN 7.5LIT/MIN BUT NOT MORE THAN 9 LIT/MIN
- ALL WATER CONSERVATION & WATER SAVINGS TARGETS WILL BE CARRIED OUT IN ACCORDANCE WITH THE QUEENSLAND DEVELOPMENT CODE MP4.1, MP4.2 & MP4.3

FIRE SERVICES

- MATERIALS:
 - FIRE SERVICE PIPEWORK INGROUND: CLASS 16 BLUE BRUTE PVC & GRIPITTE DICL FITTINGS WITH RUBBER RING JOINTS.
 - FIRE SERVICE PIPEWORK INTERNALLY: MEDIUM GRADE GALVANISED STEEL PIPE WITH VCTAULIC ROLLED GROOVE JOINTS.
- FIRE MAIN TO BE 100A UNLESS SHOWN OTHERWISE.
- SPECIAL FIRE SERVICES REFERRED TO ARE FIRE MAINS, FIRE HYDRANTS, FIRE HOSE REELS, FIRE EXTINGUISHERS & FIRE BLANKETS.
- FIRE HYDRANT COVERAGE IS ACHIEVED USING ONSITE HYDRANTS USED AS ATTACK HYDRANTS THROUGH A BOOSTER ASSEMBLY.
- AFTER INSTALLATION OF FIRE SERVICE & PRIOR TO COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL CARRY OUT A FLOW TEST ON THE MOST DISADVANTAGED FIRE HYDRANT TO ENSURE THAT FIRE COVERAGE IN ACCORDANCE WITH AS 2419.1 IS AVAILABLE.
- CONTRACTOR TO PROVIDE CERTIFICATION THAT THE INSTALLATION OF THE PIPEWORK & THE FLOW & PRESSURES AVAILABLE ARE IN ACCORDANCE WITH AS 2419, BCA & THE QFRS.

LP GAS SERVICES

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 5601-2012 & AS 1596-2014
- IDENTIFICATION OF PIPEWORK SHALL BE IN ACCORDANCE WITH AS 1596 APPENDIX 'E'
- MATERIALS:
 - LP GAS SUPPLY SERVICE: COPPER TYPE 'B' TO AS 1432
- ALL WORK TO BE CARRIED OUT BY A LICENSED GAS INSTALLER

FIRE WALL PENETRATIONS

WALLS BETWEEN UNITS ARE INTENDED TO BE FIRE RATED WALLS. ALL SERVICES PENETRATING THESE WALLS ARE TO BE INSTALLED WITH APPROPRIATE PASSIVE FIRE RATING TECHNIQUES THAT MAINTAIN THE INTEGRITY OF THE FIRE RATING AT ALL TIMES USING FIRE COLLARS OR INTUMESCENT SEALANT ACCORDING TO THE PIPEWORK MATERIAL.

NOTE: FIRE SERVICES

INSTALL THRUST BLOCKS AT ALL BENDS, JUNCTIONS, PIPE TERMINATIONS, VALVES, PIPE REDUCERS, CHANGES OF DIRECTION, GRADES LARGER THAN 1:5 AND TO MANUFACTURERS SPECIFICATIONS IN ACCORDANCE WITH AS 3500.1 CLAUSE 5.9.2

AS CONSTRUCTED DRAWINGS

- THE PLUMBING CONTRACTOR IS TO PROVIDE ONE CD ROM TO THE OWNER OF THE PROPERTY & ONE PAPER COPY OF THE 'AS CONSTRUCTED' HYDRAULIC PLANS IN THE ORIGINAL PLAN SIZE FORMAT AT COMPLETION OF PROJECT.
- THE CD ROM IS TO INCLUDE THE FOLLOWING DOCUMENTATION FORMATS:
 - AUTOCAD *.DWG – INCLUDING ASSOCIATED PEN STYLES FOR PLOTTING & X-REF'S ETC.
 - ADOBE ACROBAT *.PDF FORMAT AT ORIGINAL SIZE
- ALL AS CONSTRUCTED DRAWINGS ARE TO HAVE THE PLUMBING CONTRACTORS NAME & CONTACT DETAILS WITHIN THE TITLE BLOCK.



LOCALITY PLAN
NTS

B	RE-ISSUED FOR CONSTRUCTION	25/07/19
A	FOR CONSTRUCTION	12/07/19
BA	PLUMBING & BUILDING APPROVAL	04/04/18
T1	TENDER ISSUE	28/03/18

ISSUE	SUBJECT	DATE
AMENDMENTS		
PROJECT		
KUBIRRI AGED CARE PLUS CENTRE, LOT 1/SP150474 JOHNSTON ROAD, MOSSMAN		

ARCHITECT

JMC ARCHITECTS
JESSAMINE MARSDEN ARCHITECTS
1107-1109 BARRIE ST. MOSSMAN QLD 4870
P.O. BOX 8574N, NORTH CAIRNS, QLD 4870
www.jmcarchitects.com.au
P.O. BOX 8574N, NORTH CAIRNS, QLD 4870

HYDRAULIC CONSULTANTS

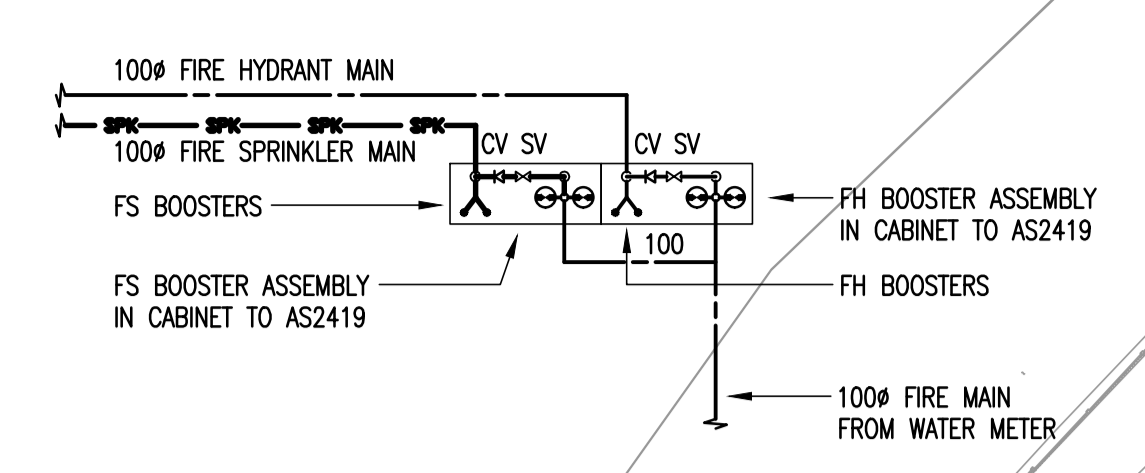
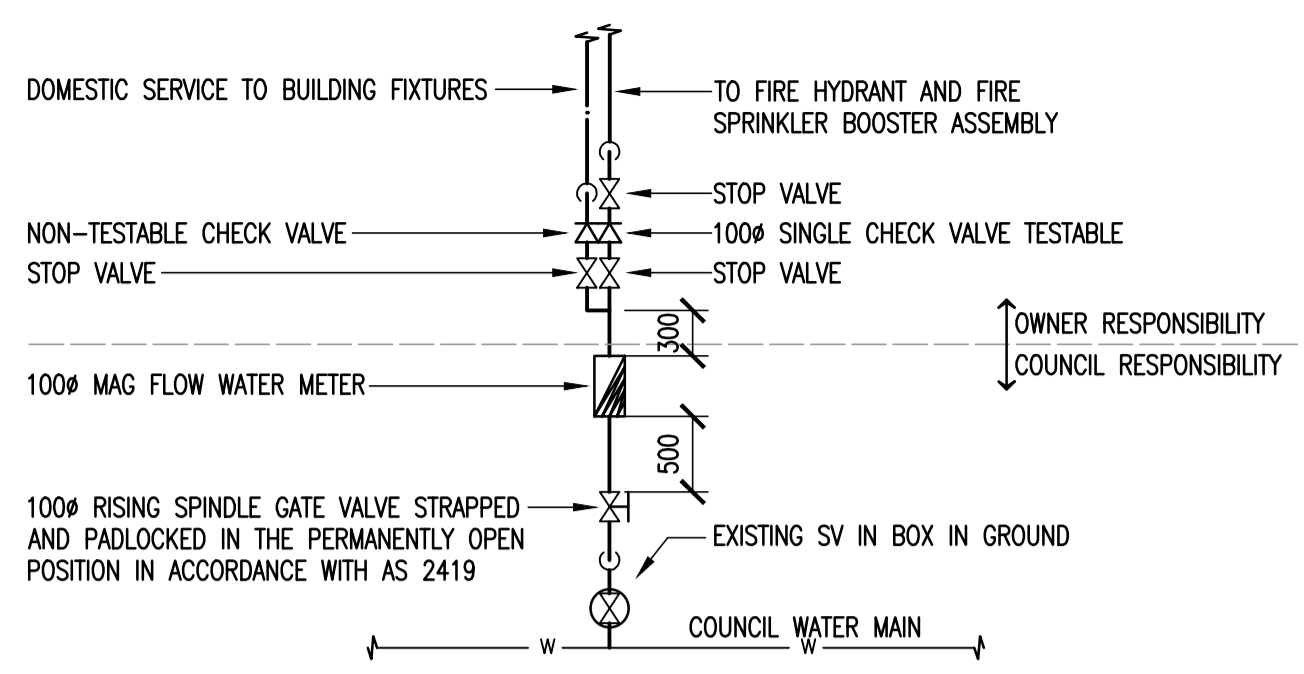
GILBOY HYDRAULIC SOLUTIONS
BUILDING HYDRAULIC SERVICES DESIGN / ABN 85 105 215 432
4/131 SCOTT STREET, BUNGALOW
P.O. BOX 8574N, NORTH CAIRNS.
PHONE – (07) 4051 5116
FAX. – (07) 4051 5016
EMAIL – greg@gilboy.com.au

0 1 2 3 4 5 6 7
BAR SCALE: – CHECK DRAWING PLOT SIZE FOR ACCURACY

CLIENT		
THE SALVATION ARMY		

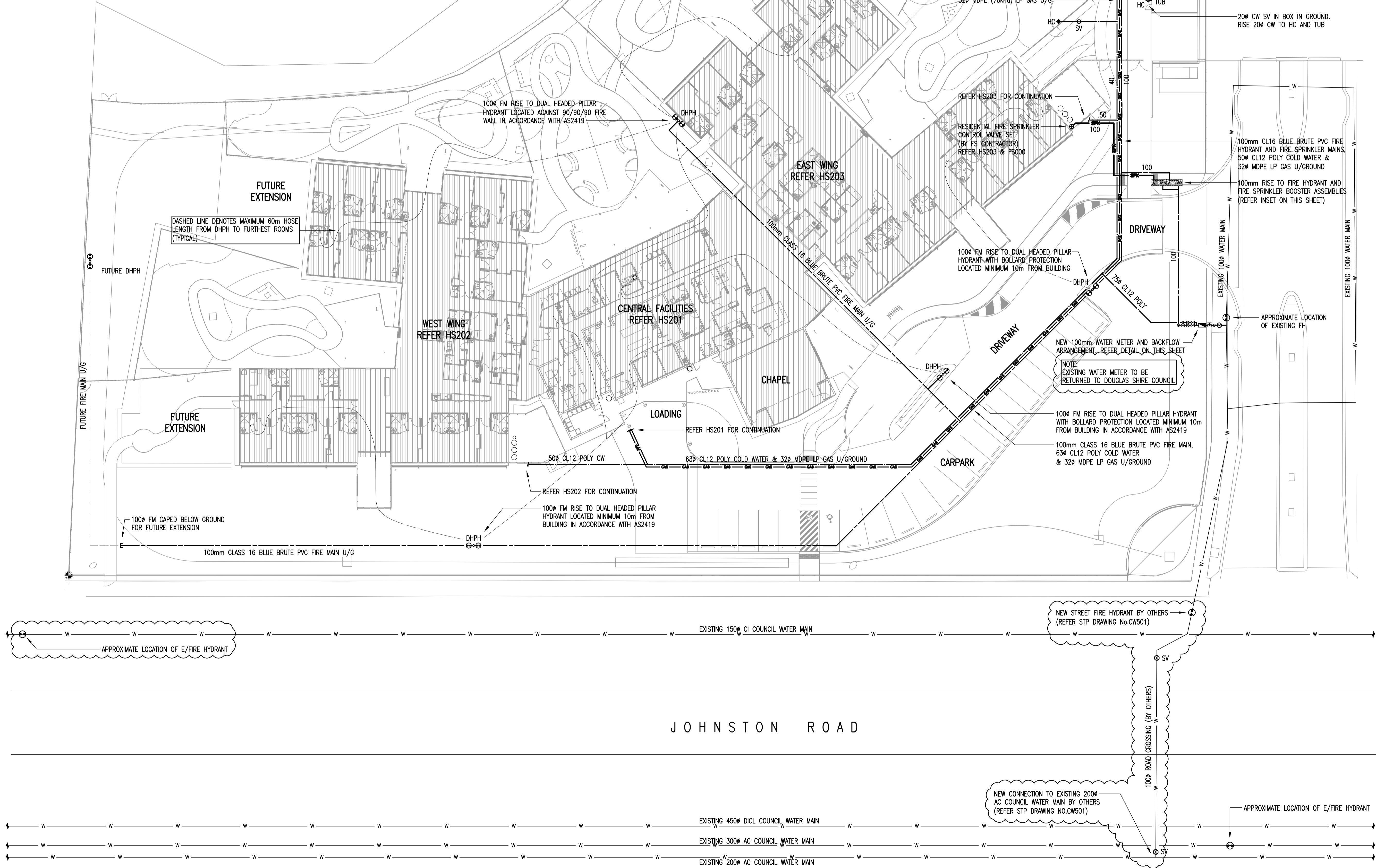
TITLE		
HYDRAULIC SERVICES COVER SHEET, NOTES & LEGEND		

DESIGNED	KKN	DRAWN	KKN	CHECKED	GJC
SCALE	NTS @ A1	DATE	MAR 2018		
JOB No./DWG. No./ISSUE	173392/HS000/B				



FIRE BOOSTER ASSEMBLY INSET
 NTS

WATER METER AND BACKFLOW ARRANGEMENT INSET
 NTS



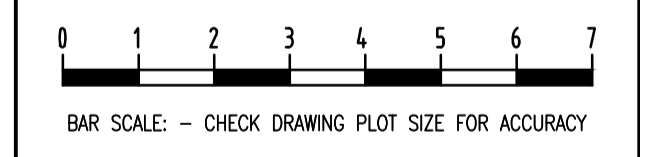
B	RE-ISSUED FOR CONSTRUCTION	25/07/19
A	FOR CONSTRUCTION	12/07/19
BA4	BACKFLOW VALVE REVISED	30/04/19
BA3	BACKFLOW REVISED	17/04/19
BA2	DCV ADDED FOR APPROVAL	03/09/18
BA	PLUMBING & BUILDING APPROVAL	04/04/18
T1	TENDER ISSUE	28/03/18
ISSUE	SUBJECT	DATE

AMENDMENTS
 PROJECT
**KUBIRRI AGED CARE PLUS CENTRE,
 LOT 1/SP150474
 JOHNSTON ROAD, MOSSMAN**



HYDRAULIC CONSULTANTS

GILBOY HYDRAULIC SOLUTIONS
 BUILDING HYDRAULIC SERVICES DESIGN / ABN 85 105 215 432
 4/131 SCOTT STREET, BUNGALOW
 P.O. BOX 857N, NORTH CAIRNS.
 PHONE - (07) 4051 5116
 FAX - (07) 4051 5016
 EMAIL - greg@gilboy.com.au



CLIENT
THE SALVATION ARMY

TITLE
**HYDRAULIC SERVICES
 SITE SERVICES -
 WATER SERVICES
 RETICULATION**

DESIGNED	KKN	DRAWN	KKN	CHECKED	GJG
SCALE	1:250 @ A1	DATE	MAR 2018		
JOB No./DWG. No./ISSUE	173392/HS002/B				