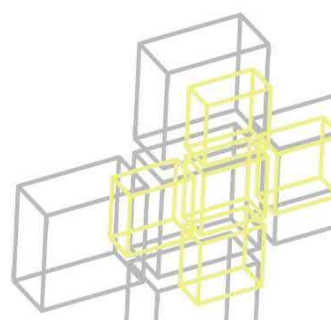


## **Annexure 9: Architectural Plans**





# 69-73 MURPHY STREET | PORT DOUGLAS

D A P A C K A G E  
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POWELL & GLENN - DESIGN STATEMENT

FUNDAMENTAL TO THE DESIGN IS A STRONG SENSE OF PLACE, AND THROUGH THE BUILDING FORMS WE ENDEAVOUR TO FORGE A CONNECTION TO BOTH THE SURROUNDING NATURAL ENVIRONMENT AND THE REGIONAL ARCHITECTURE OF PORT DOUGLAS.

THE PORT DOUGLAS VERNACULAR EXHIBITS A QUIET, CONTEMPORARY LANDSCAPE-ORIENTED ARCHITECTURE, AND ADOPTS BUILDING ELEMENTS COMMON IN SIMILAR TROPICAL CLIMATES. THE INTENTION OF THIS DESIGN IS TO CREATE SOMETHING IN PART GROUNDED AND CONNECTED TO THE EARTH, AND IN PART FLOATING IN THE TREETOPS, TO ENABLE FULL APPRECIATION OF THE SITE'S EXCEPTIONAL TOPOGRAPHY AND VEGETATION.

THE DESIGN CONSCIOUSLY INTEGRATES GREENERY AND ENCOURAGES A LIGHTNESS OF AIR THROUGHOUT, NESTLING INTO THE PORT DOUGLAS TREE CANOPY.

THE BUILDING IS LARGELY CONCEALED BY THE SURROUNDING LANDSCAPE, AND ON APPROACHING THE EASTERN BOUNDARY, AN OPEN COURTYARD AND FACADE IS PRESENTED AS A WELCOMING PLACE THAT CONTRIBUTES TO THE PUBLIC SPACE AND HEADLANDS. THE VEHICULAR ENTRY BELOW IS ENLIVENED BY THE INTEGRATION OF A CASCADING GARDEN SKYLIGHT FROM ABOVE.

THE FINISHES PALETTE CONSISTS OF GENERALLY NATURAL AND MUTED TONES, CONSISTENT WITH OTHER RESORTS IN PORT DOUGLAS, WITH A VERY SOFT WHITE USED ON A TEXTURED RENDER FOR INTEGRATION WITH THE NATURAL SURROUNDS. THE ROOF PAVILIONS ACCESSED FROM MURPHY STREET HAVE DARK NATURAL TIMBER CLADDING AND PERGOLAS, WITH TIMBER SHINGLE ROOFS FLOATING IN LUSH GARDENS.

POWELL & GLENN HAVE ENDEAVOURED TO DESIGN A BUILDING THAT RESPECTS AND AMPLIFIES THE SITE'S NATURAL BEAUTY, AND IT IS OUR HOPE THAT IT WILL BE AN ENDURING POSITIVE CONTRIBUTION TO PORT DOUGLAS.

JERRY WOLVERIDGE - DESIGN STATEMENT

PORT DOUGLAS HAS REMAINED CLOSE TO THE HEART OF JERRY WOLVERIDGE FOR NEAR ON 40 YEARS, SINCE HIS FATHER DESIGNED AND BUILT THE MIRAGE GOLF COURSE.

SINCE THAT TIME, JERRY HAS SPENT MANY YEARS LIVING IN PORT DOUGLAS AS A PRACTISING ARCHITECT LEARNING THE WAYS OF DESIGNING AND BUILDING FOR THE TROPICS. IN ITS OWN RIGHT, WOLVERIDGE ARCHITECTS HAVE DESIGNED NUMEROUS LANDMARK PROPERTIES IN AND AROUND THE VILLAGE AND 5 DWELLINGS ALONG MURPHY STREET, A FEW DOORS DOWN FROM THIS FABULOUS PIECE OF LAND. WE HAVE WORKED CLOSELY WITH THE POWELL AND GLENN TEAM TO SUPPORT THIS WONDERFUL CONCEPT AND TO ENSURE IT LIVES AND BREATHEs LIKE TROPICAL BUILDINGS SHOULD.

AT THE HEART OF OUR OWN CONSIDERATION IS OPTIMISING THE 'TROPICAL EXPERIENCE' FOR GUESTS AND RESIDENCES. WHETHER IT BE AN OUTDOOR SHOWER, A BATH ON A PRIVATE TERRACE OR SOCIAL INTERACTION IN AND AROUND THE CAREFULLY CREATED SPACES, THE INVITATION OF FRESH BREEZE, ABUNDANCE OF NATURAL LIGHT, ALL SURROUNDED BY VERDANT TROPICAL GARDENS UNDERPINS THIS EXPERIENCE.

DA DRAWING LIST  
NO. NAME

P, DA PACKAGE	COVER PAGE
P0, EXISTING CONDITIONS	P0.00 DESIGN STATEMENT
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	P0.02 SITE IMAGERY
	P0.03 SITE IMAGERY
	P0.04 SITE ANALYSIS
	P0.05 SITE SURVEY
	P0.06 SITE SURVEY
	P0.07 INTERPOLATED SURVEY DIAGRAM
	P0.08 PRECEDENT IMAGERY
	P0.09 PRECEDENT IMAGERY
	P0.10 PRECEDENT IMAGERY
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	P0.12 PRECEDENT IMAGERY
P1, PLANS	P1.01 SITE PLAN
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	P1.03 LG LOWER GROUND LEVEL
	P1.04 G0 GROUND LEVEL
	P1.05 01 FIRST LEVEL
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	P1.08 04 FOURTH LEVEL
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	P1.10 DRIVEWAY / ENTRY FLOOR PLANS
P2, ELEVATIONS	P2.01 SOUTH ELEVATION
	P2.02 WEST ELEVATION
	P2.03 NORTH ELEVATION
	P2.04 EAST ELEVATION
	P2.05 DRIVEWAY ENTRY
P3, SECTIONS	P3.01 S.01 CROSS SECTION
	P3.02 S.02 CROSS SECTION
	P3.03 S.03 CROSS SECTION
	P3.04 S.11 LONGITUDINAL SECTION
	P3.05 S.12 LONGITUDINAL SECTION
	P3.06 S.02A SITE CROSS SECTION
P4, PERSPECTIVES	P4.01 FINISHES PALETTE
	P4.02 PERSPECTIVES - ARTIST IMPRESSION
	P4.03 PERSPECTIVES - ARTIST IMPRESSION
	P4.04 PERSPECTIVES - ARTIST IMPRESSION
	P4.05 PERSPECTIVES - ARTIST IMPRESSION
	P4.06 PERSPECTIVES - ARTIST IMPRESSION
	P4.07 PERSPECTIVES - EX. TREE CANOPY
P5, PLANNING	P5.01 SHADOW DIAGRAMS - JUNE
	P5.02 SHADOW DIAGRAMS - DECEMBER
	P5.03 DEVELOPMENT SUMMARY
	P5.04 DEVELOPMENT SUMMARY
	P5.05 DEVELOPMENT SUMMARY
	P5.06 DEVELOPMENT SUMMARY
	P5.07 DEVELOPMENT SUMMARY
	P5.08 DEVELOPMENT SUMMARY

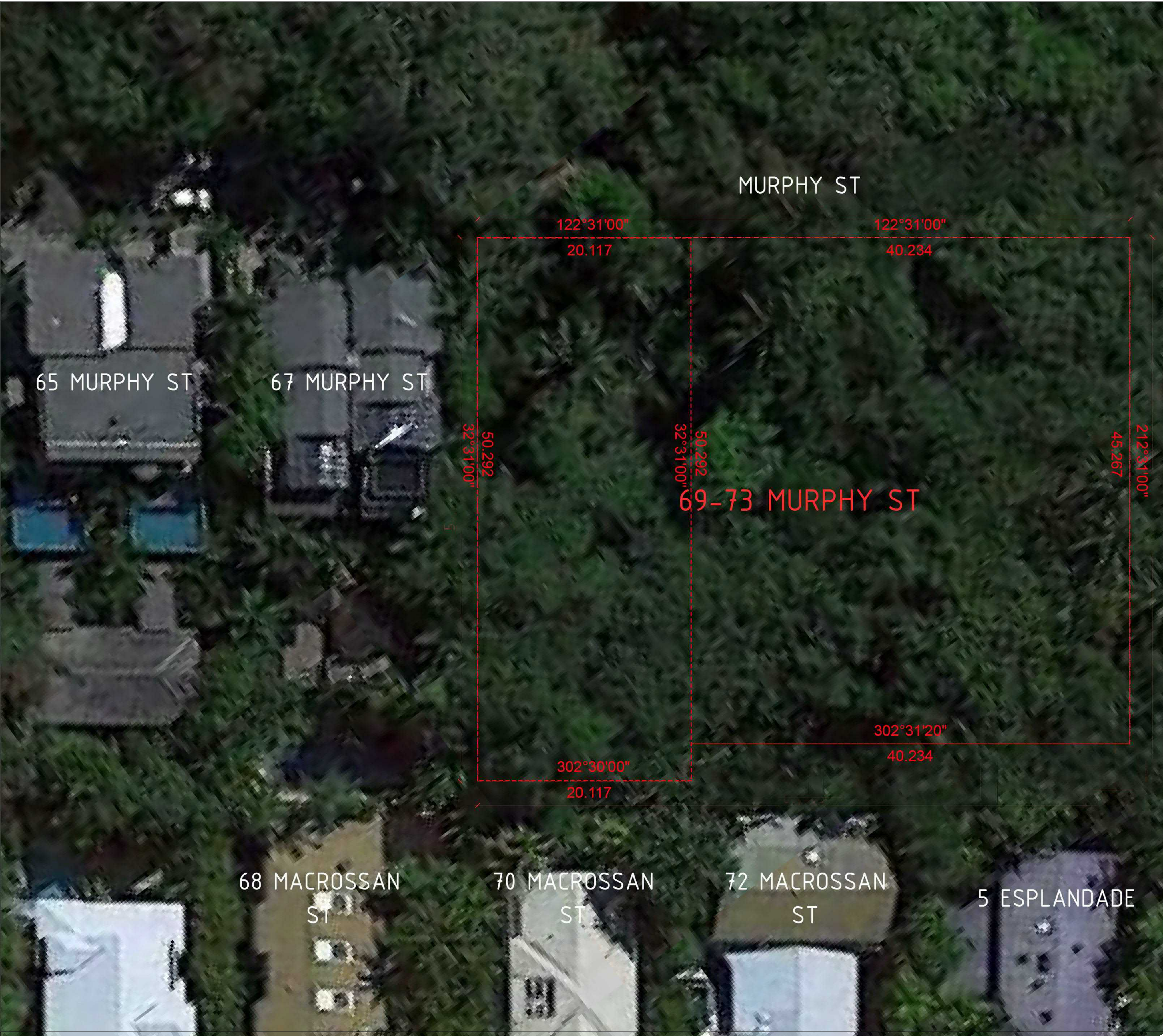
69-73 MURPHY STREET | PORT DOUGLAS

D A P A C K A G E

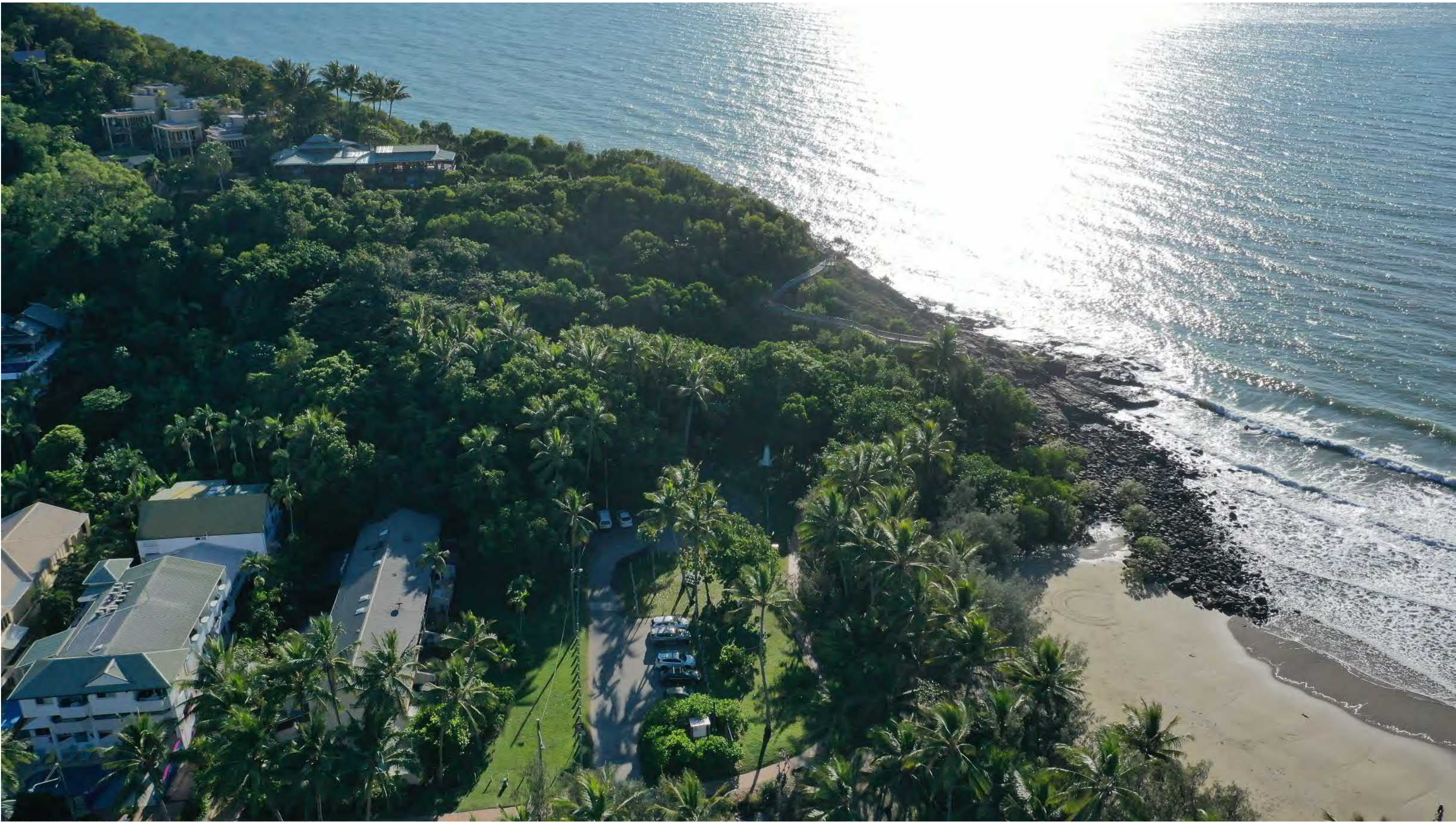
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UAV DRONE POSITION 1  
Lat 16.29.1090 Long 145.28.0318

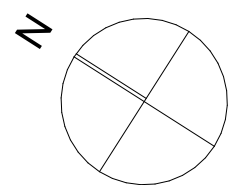


UAV DRONE POSITION 2  
Lat 16.29.0733 Long 145.27.5673



UAV DRONE POSITION 2  
Lat 16.29.1991 Long 145.28.0479

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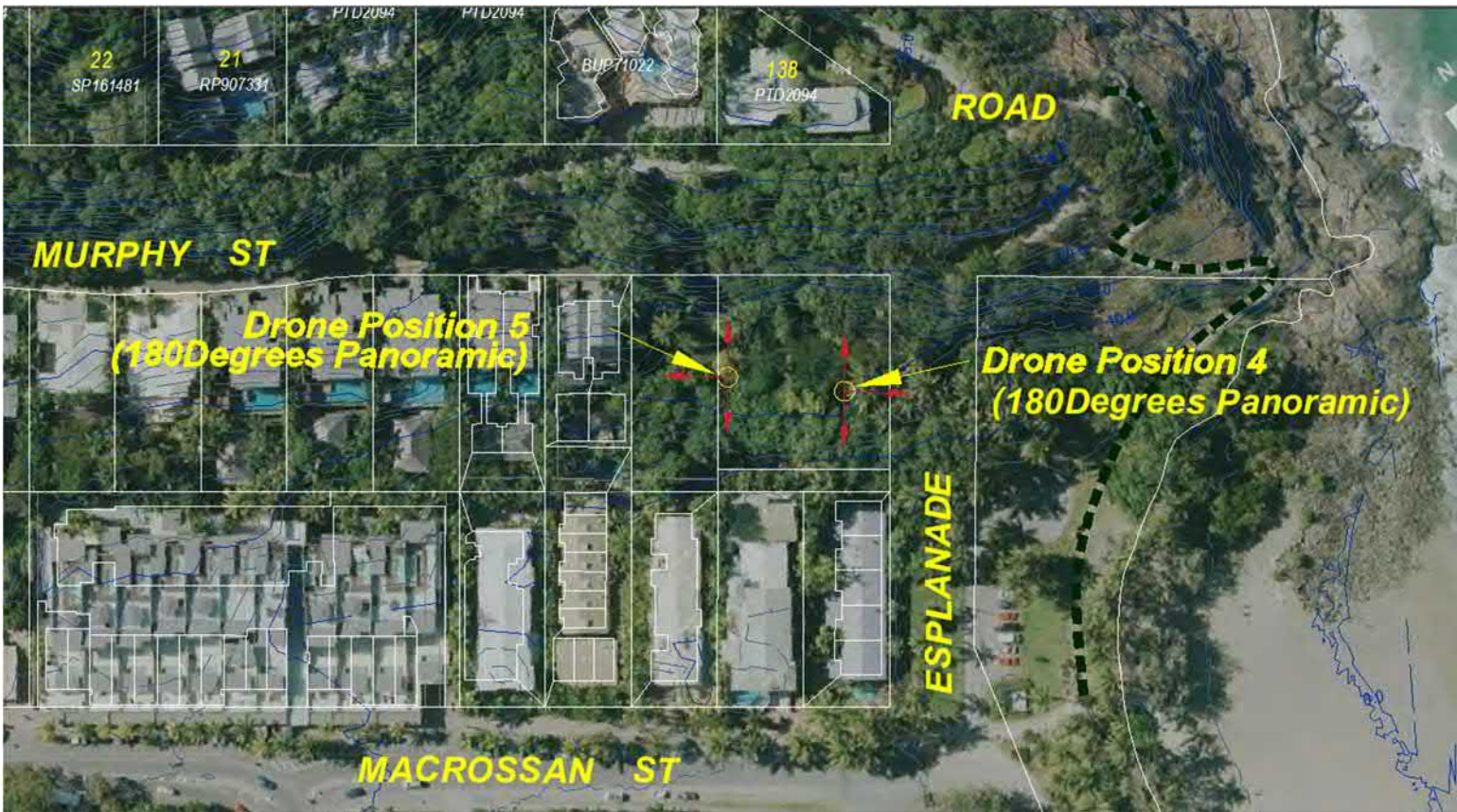
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			SITE IMAGERY	DRAWING NO: P0.02 REV:





Site 4 – Elevation 1.5m



Site 4 – Elevation 4.5m



Site 4 – Elevation 7.5m



Site 4 – Elevation 10.5m



Site 4 – Elevation 22m



Site 5 – Elevation 1.5m



Site 5 – Elevation 4.5m



Site 5 – Elevation 7.5m



Site 5 – Elevation 22m

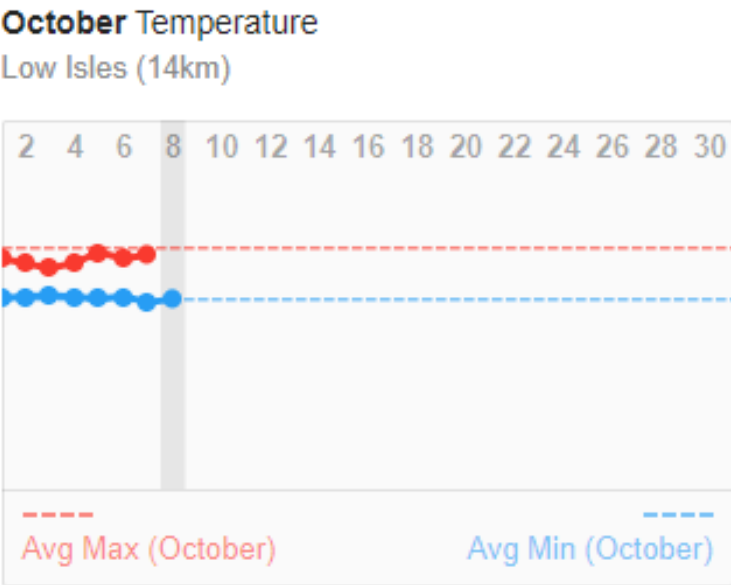






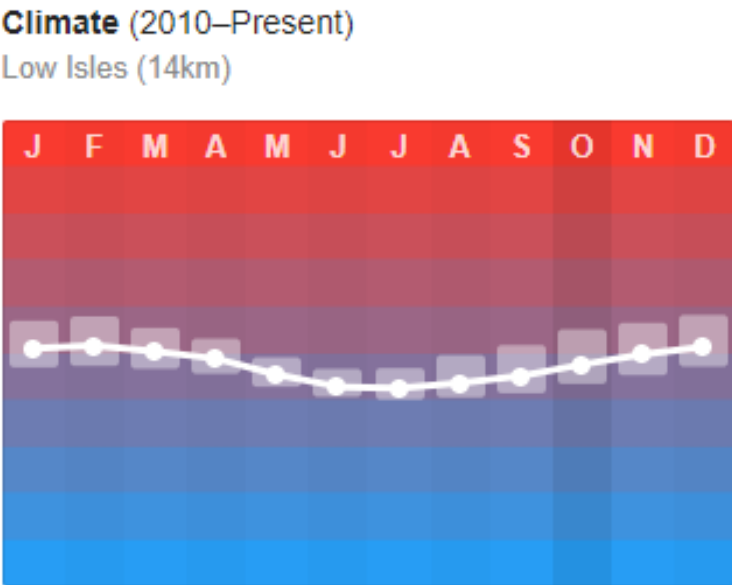
**SITE ANALYSIS**  
SCALE: 1:200

**Port Douglas Temperature Statistics** [View More](#)



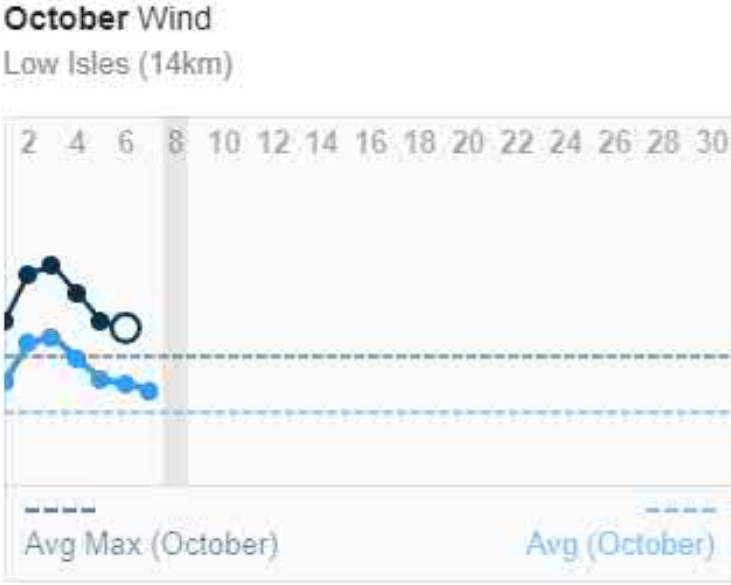
2020	September	October
------	-----------	---------

- Lowest 25 May, 2020  
18.3 °C
- Average 2020  
25.7 °C
- Highest 15 February, 2020  
37.9 °C



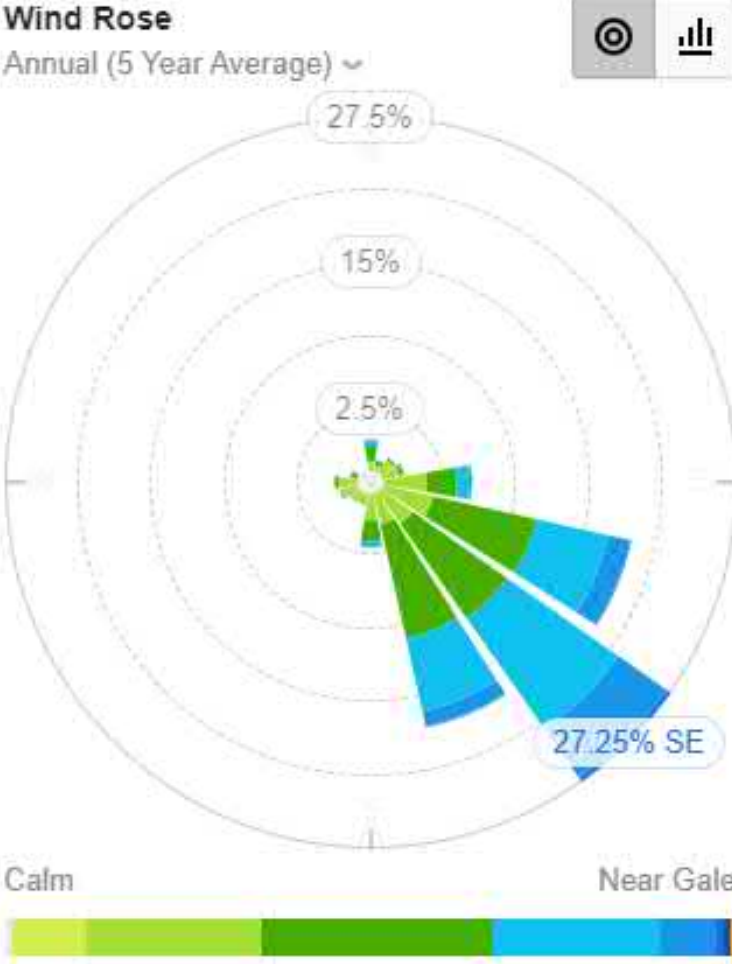
- Take a look at our website widgets  
Available free! [Find Out More](#)
- Average Low 2010–Present  
23.6 °C
- Average 2010–Present  
25.9 °C
- Average High 2010–Present  
29.4 °C

**Port Douglas Wind Statistics** [View More](#)



2020	September	October
------	-----------	---------

- Strongest 17 January, 2020  
83.2km/h SE
- Average 2020  
25km/h

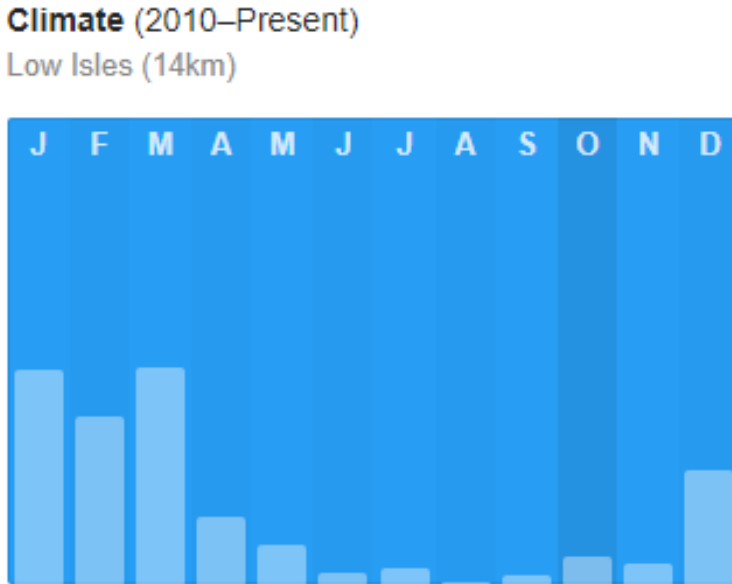


**Port Douglas Rainfall Statistics** [View More](#)



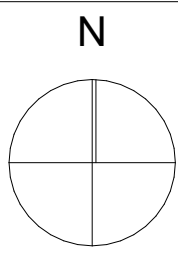
2020	September	October
------	-----------	---------

- Total Rainfall 2020  
1701.4mm
- Daily Average 2020  
6.1mm
- Wettest Day 29 January, 2020  
172.6mm
- Wet Days 2020  
135/282 (48%)



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- Annual Average 2010–Present  
1937.6mm
- Monthly Average 2010–Present  
168.5mm
- Daily Average 2010–Present  
5.7mm
- Wettest Day 27 January, 2019  
238.6mm

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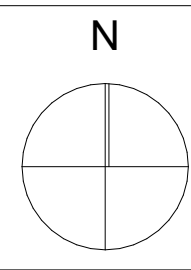
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**SITE SURVEY**  
SCALE: 1:200

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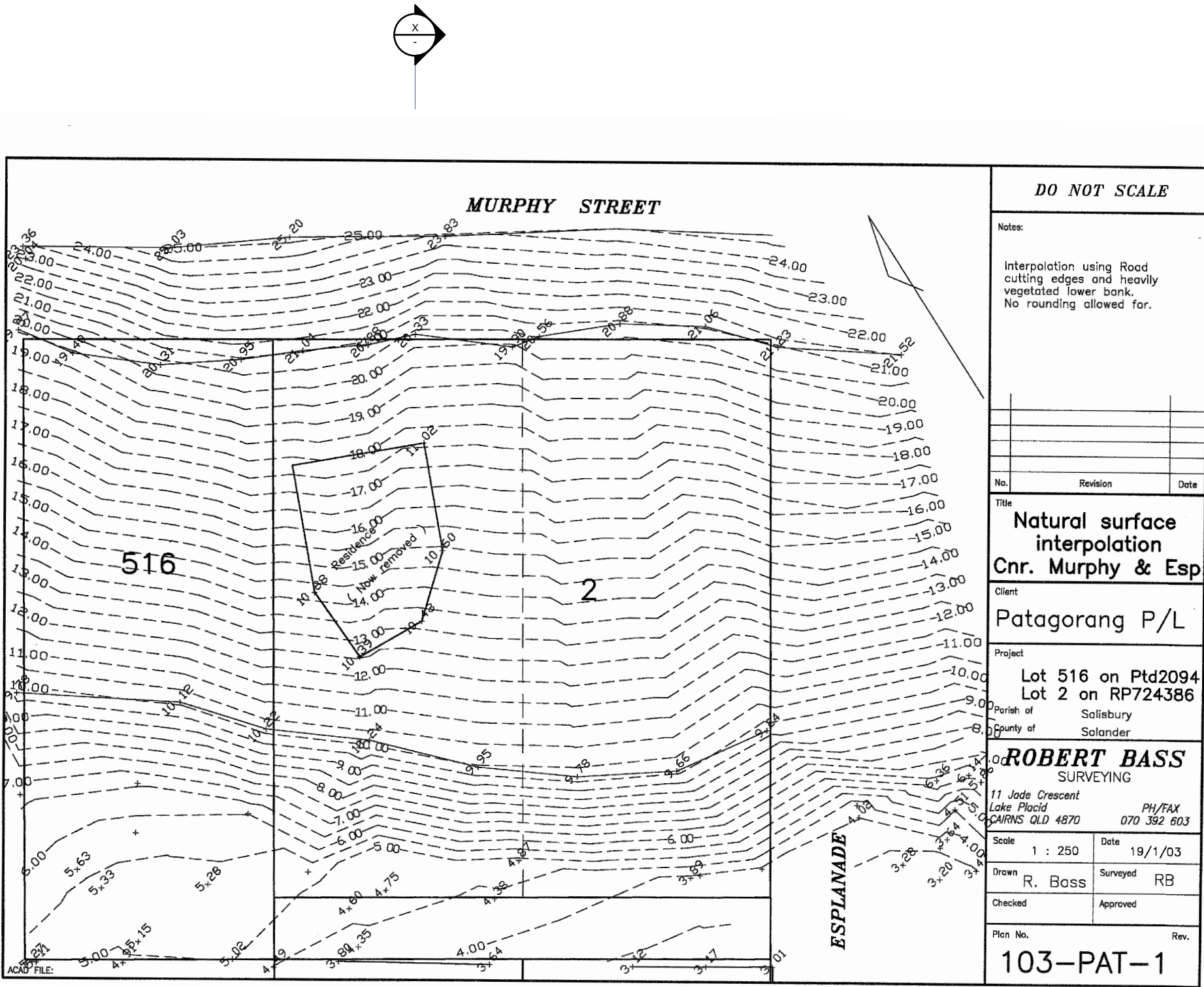
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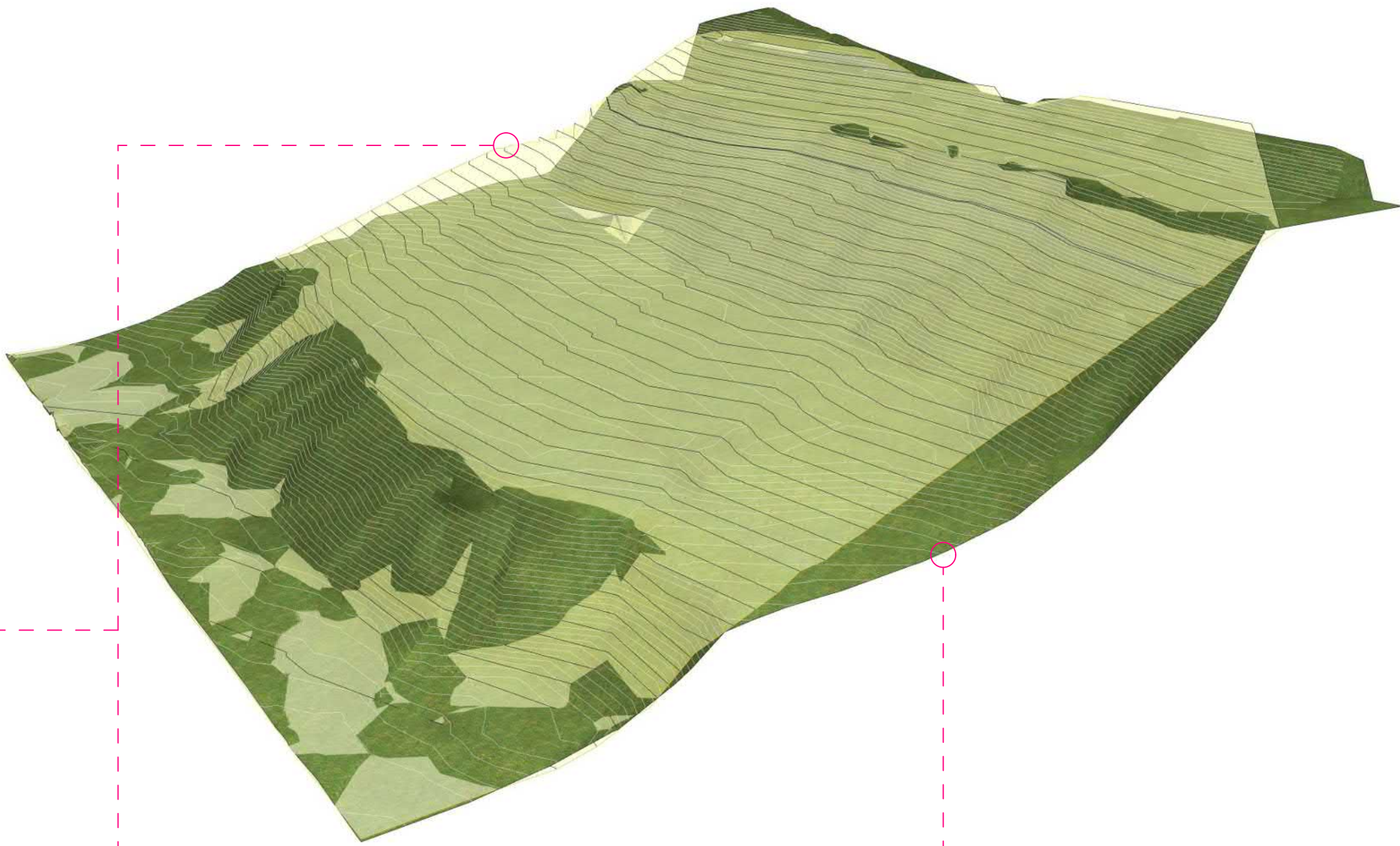




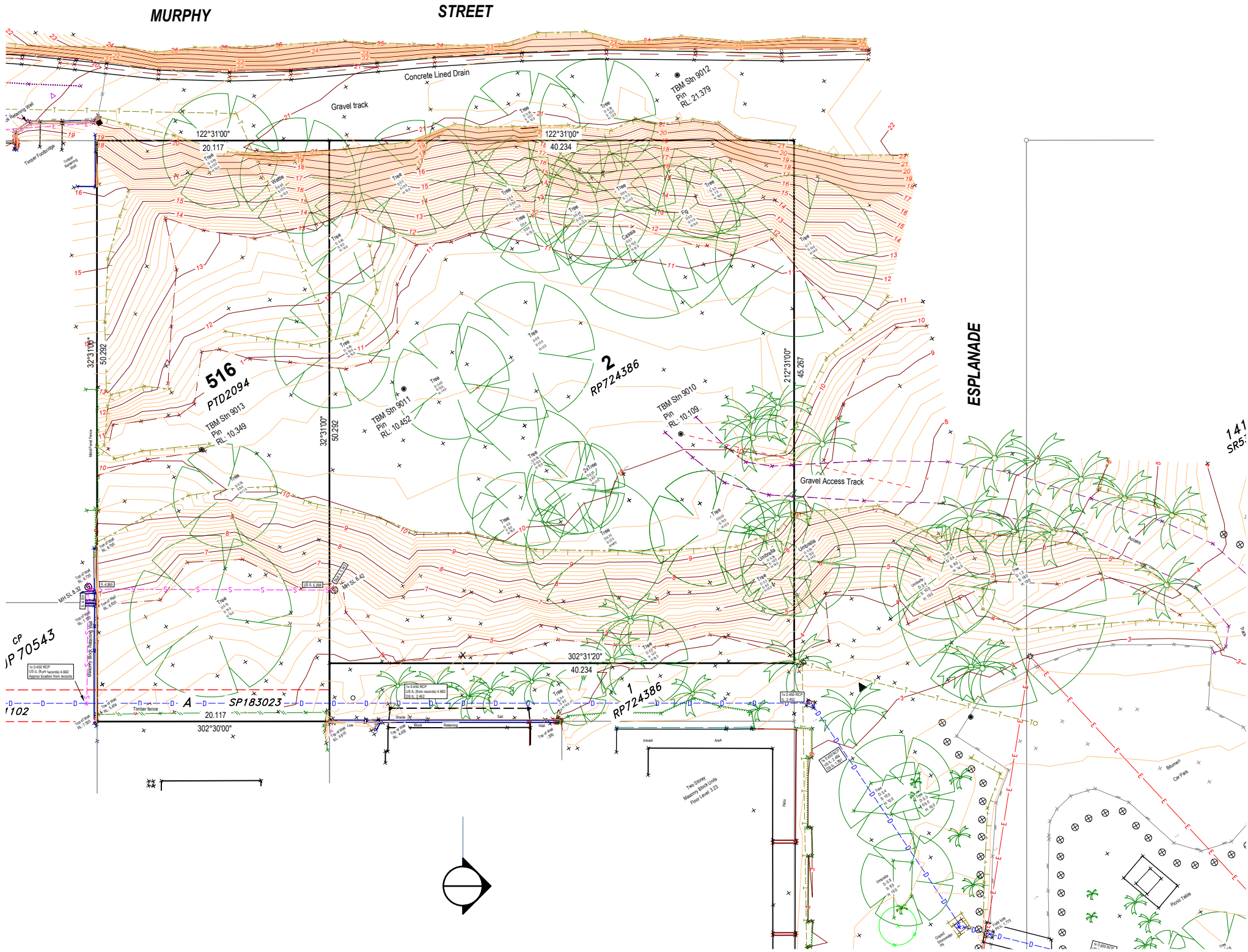


INTERPOLATED SURVEY PREPARED BY ROBERT BASS  
DATED 19.01.2003  
SURVEY SHOWS ORIGINAL NATURAL GROUND LEVELS.  
THESE LEVELS FORMED THE BASIS OF THE CURRENT  
DEVELOPMENT APPROVAL ON THE SUBJECT SITE.

**LANDSURVEY - INTERPOLATED**  
SCALE: 1:400

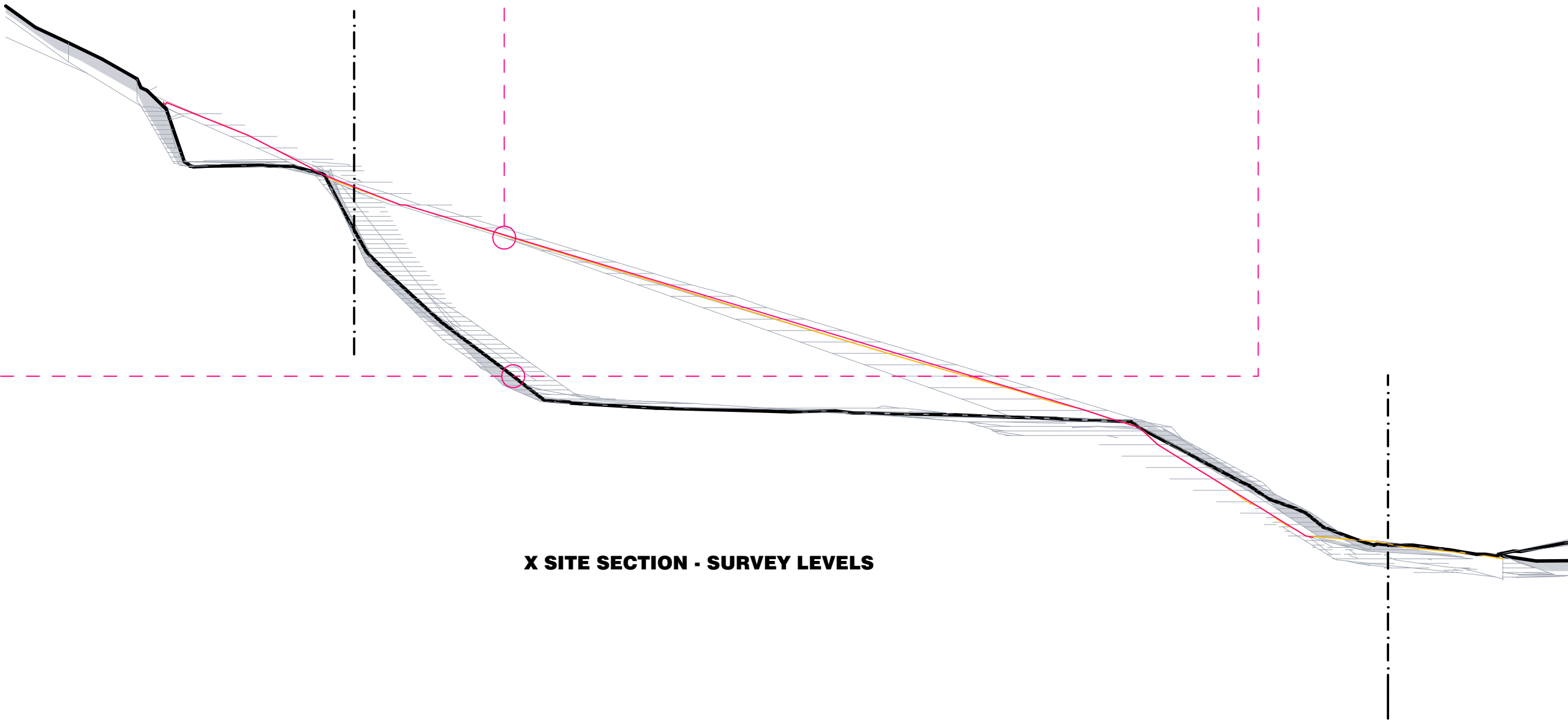


**INTERPOLATED SURVEY (YELLOW) & CURRENT SURVEY (GREEN)**



CURRENT SURVEY PREPARED BY RBS DATED 30.09.2020  
SHOWING EXISTING GROUND LEVELS ON SITE.

**LANDSURVEY - CURRENT**  
SCALE: 1:400



**X SITE SECTION - SURVEY LEVELS**





MURPHY STREET RESIDENCES  
DESIGN INSPIRATION - VEGETATION INTEGRATION



MURPHY STREET RESIDENCES  
DESIGN INSPIRATION - ROOF FORMS





**MURPHY STREET RESIDENCES**  
DESIGN INSPIRATION - SOFT TEXTURED MASONRY



**MURPHY STREET RESIDENCES**  
DESIGN INSPIRATION - NATURAL TIMBER SHUTTERS, TIMBER LINING BOARDS

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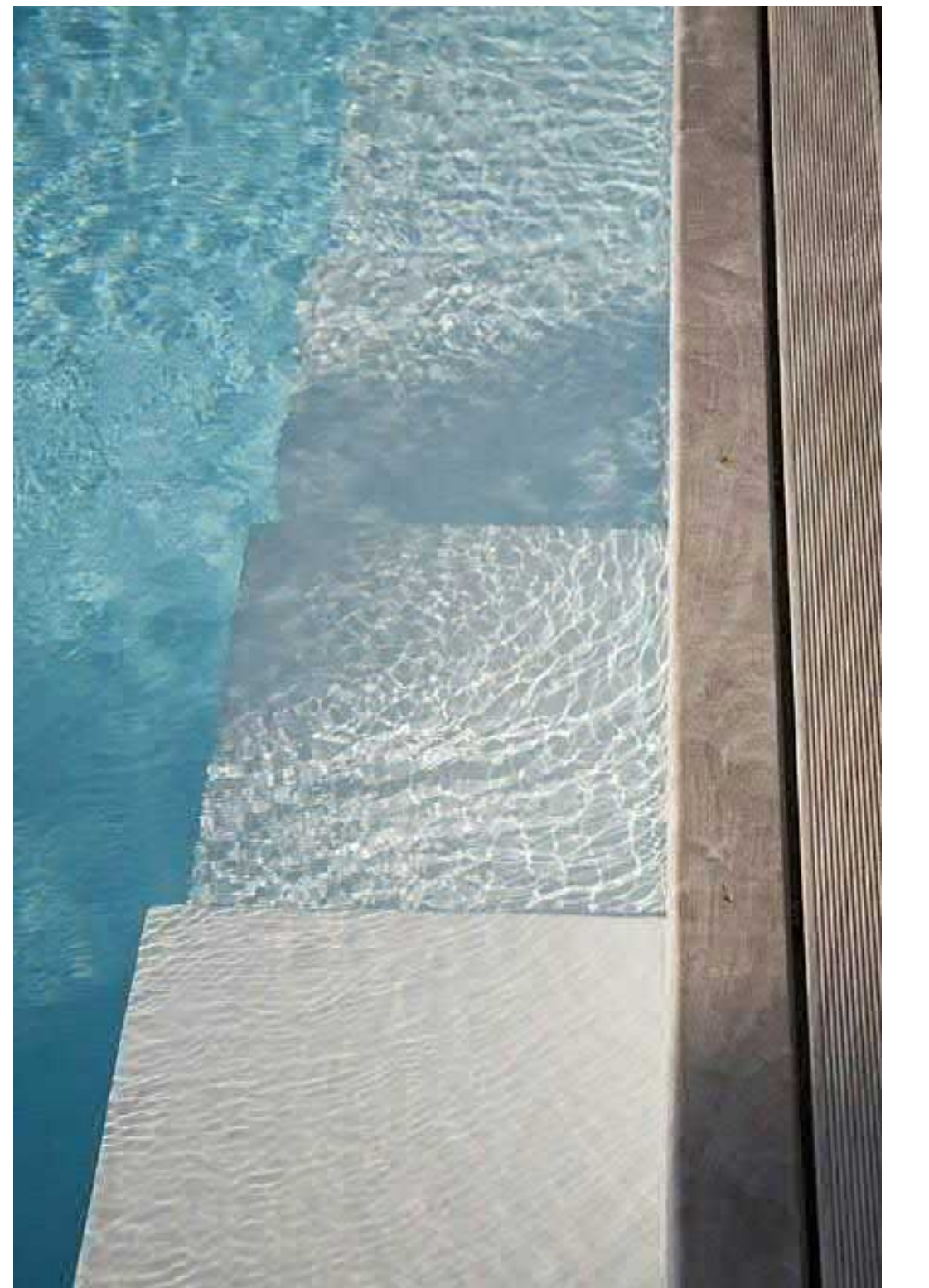
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				P0.09





THE ESPLANADE HOTEL  
DESIGN INSPIRATION - LANDSCAPE & TEXTURE



THE ESPLANADE HOTEL  
DESIGN INSPIRATION - SOFT LIGHT



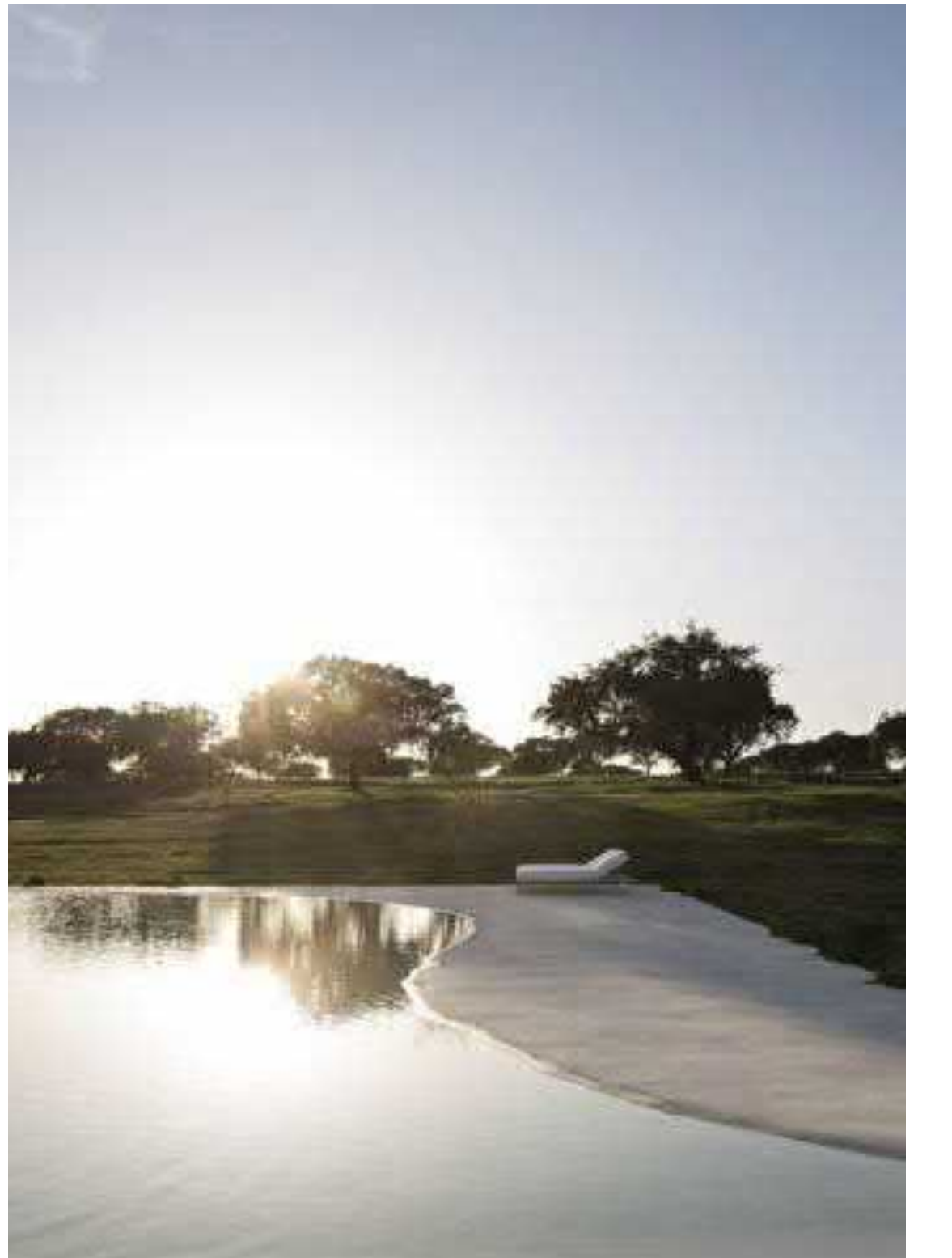
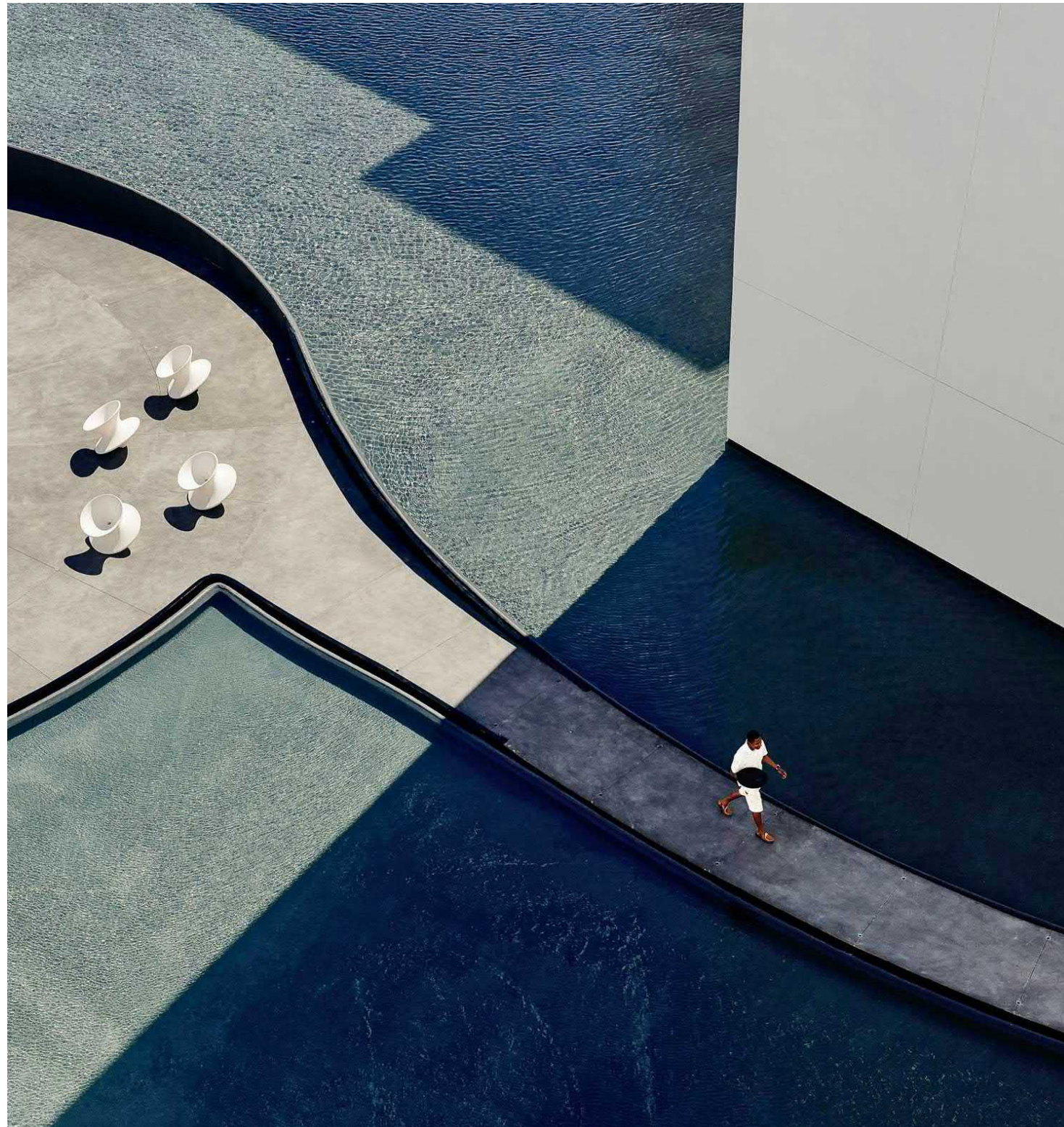


THE ESPLANADE HOTEL - ARRIVAL TO SITE  
DESIGN INSPIRATION - VERTICAL INTERSECTION / NATURE & BUILDING



THE ESPLANADE HOTEL - ARRIVAL TO SITE  
DESIGN INSPIRATION - PLAYS OF LIGHT





THE ESPLANADE HOTEL - AMENITIES  
DESIGN INSPIRATION - POOL



THE ESPLANADE HOTEL - AMENITIES  
DESIGN INSPIRATION - POOL SIDE LOUNGES

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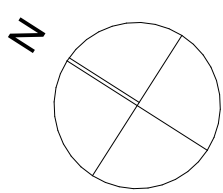






**B1 BASEMENT LEVEL**  
SCALE: 1:100

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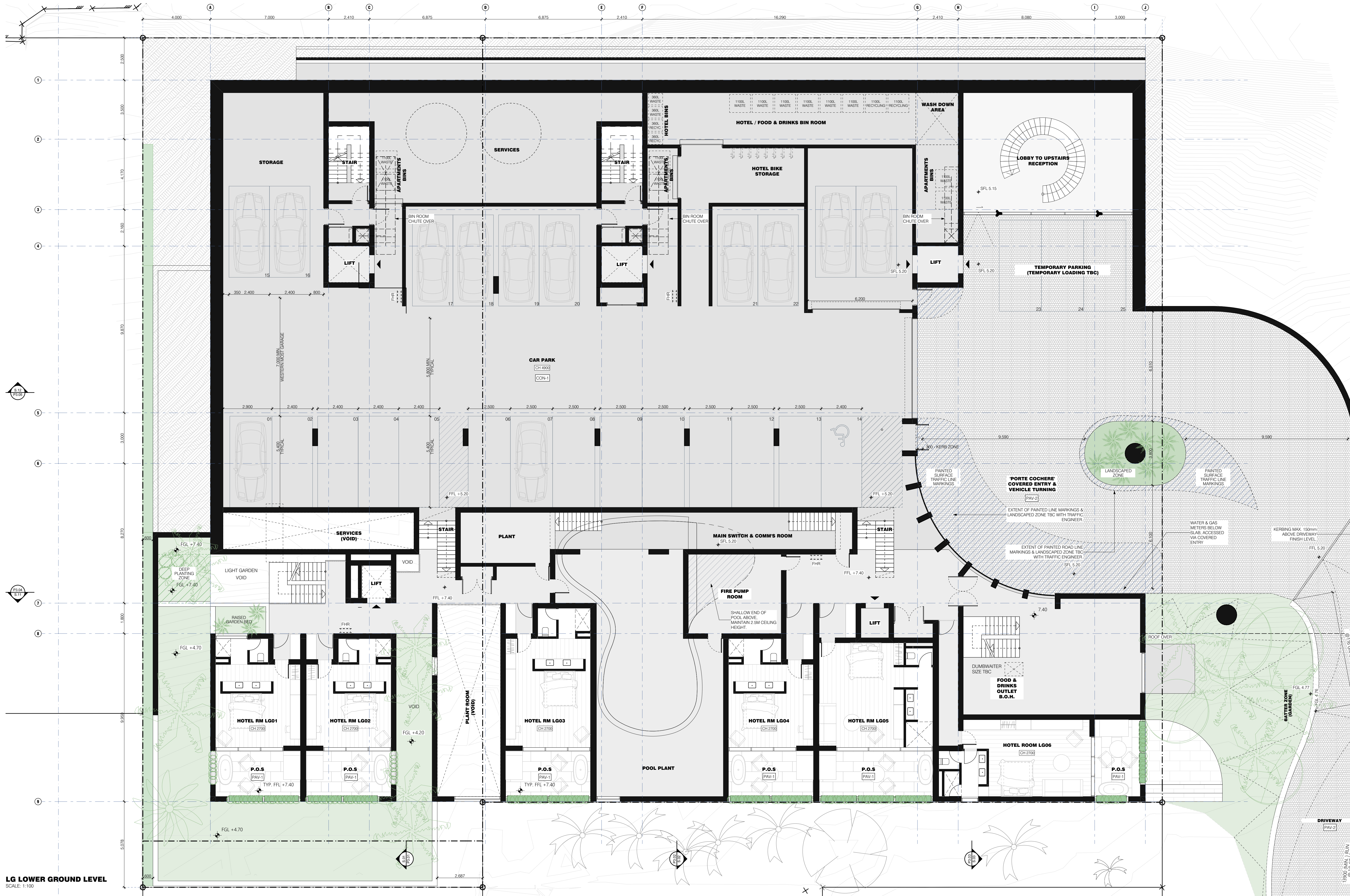
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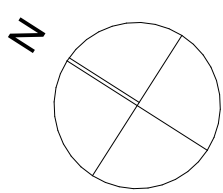
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			DRAWING NO:	P1.02
			B1 BASEMENT LEVEL	





LG LOWER GROUND LEVEL  
SCALE: 1:100

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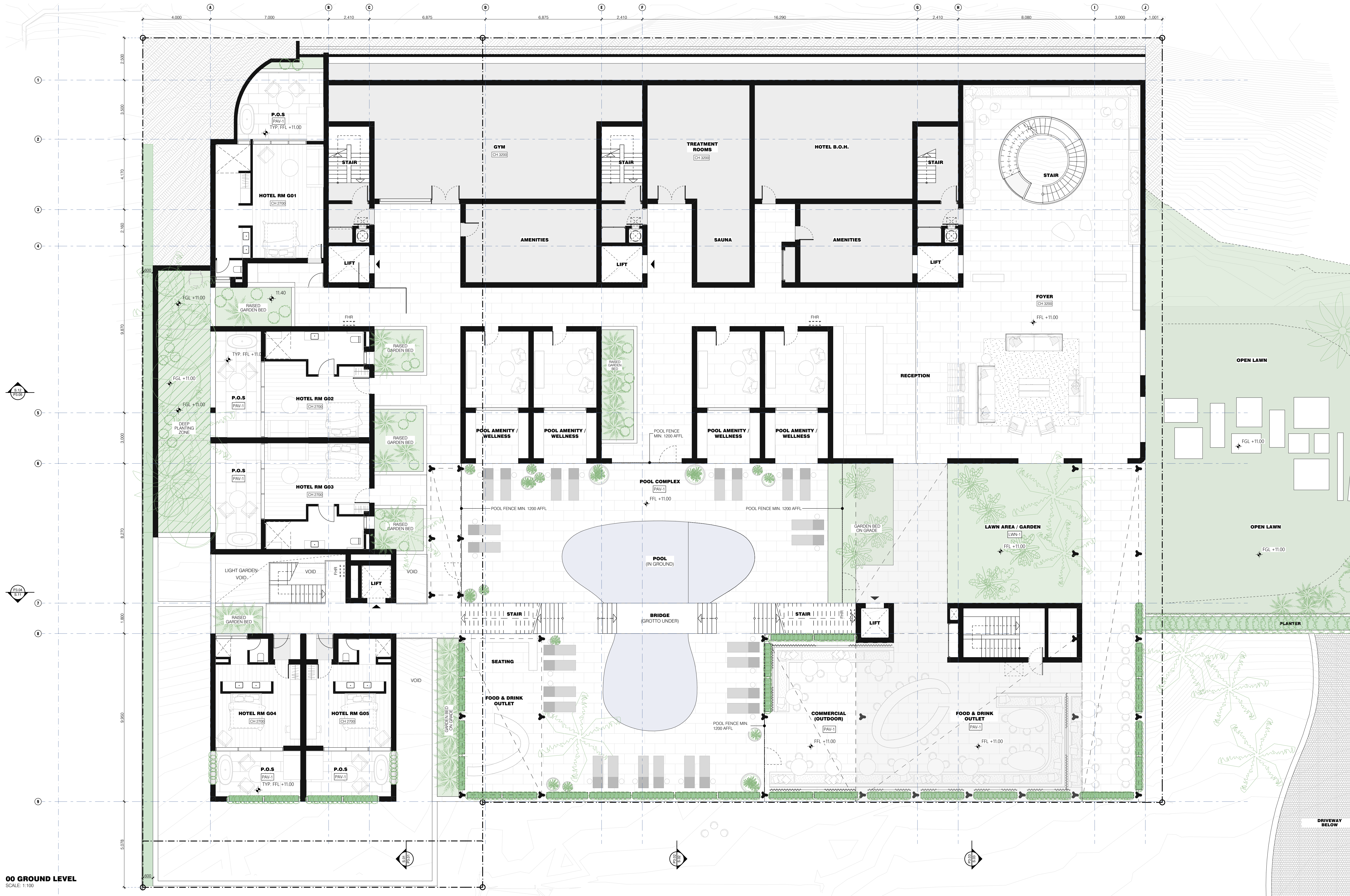
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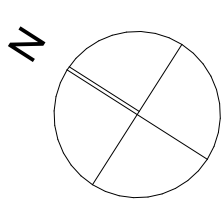
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00 GROUND LEVEL  
SCALE: 1:100

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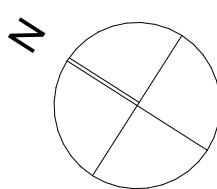
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			DRAWING CREATED:	SCALE: AS SHOWN @ A1
			DRAWING TITLE:	PLOT DATE: 18/11/2020
				DRAWING NO: P1.04
				REV:
			00 GROUND LEVEL	





01 FIRST LEVEL  
SCALE: 1:100

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			69-73 MURPHY STREET, PORT DOUGLAS QLD 4877	GURNER TM
			DRAWING CREATED:	SCALE: AS SHOWN @ A1
			DRAWING TITLE:	PLOT DATE: 18/11/2020
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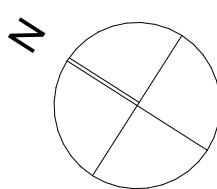
02 SECOND LEVEL  
SCALE: 1:100





03 THIRD LEVEL  
SCALE: 1:100

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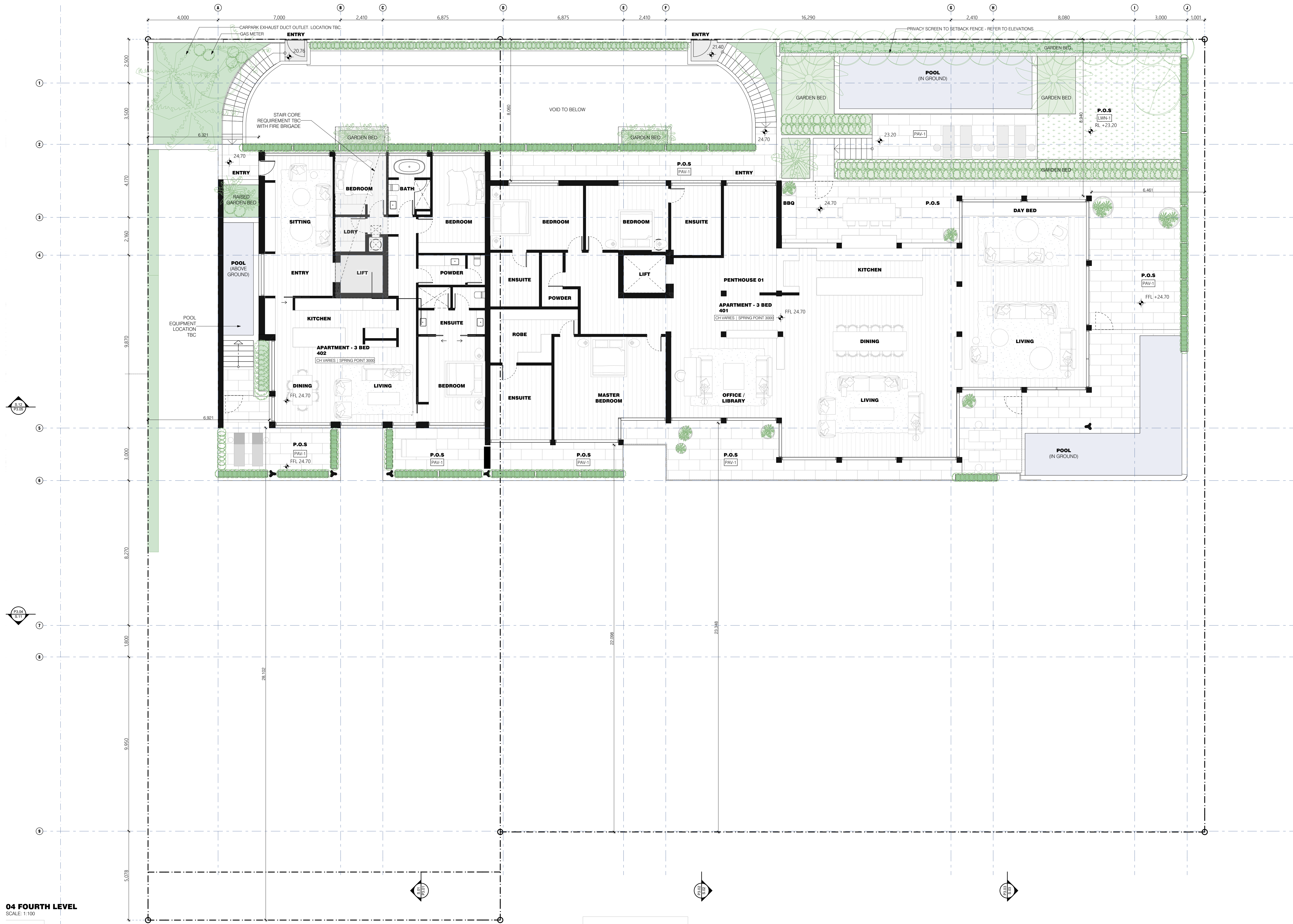
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NOT FOR CONSTRUCTION

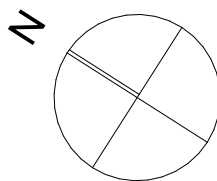
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			DRAWING TITLE:	PLOT DATE: 18/11/2020
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				P1.07





04 FOURTH LEVEL  
SCALE: 1:100

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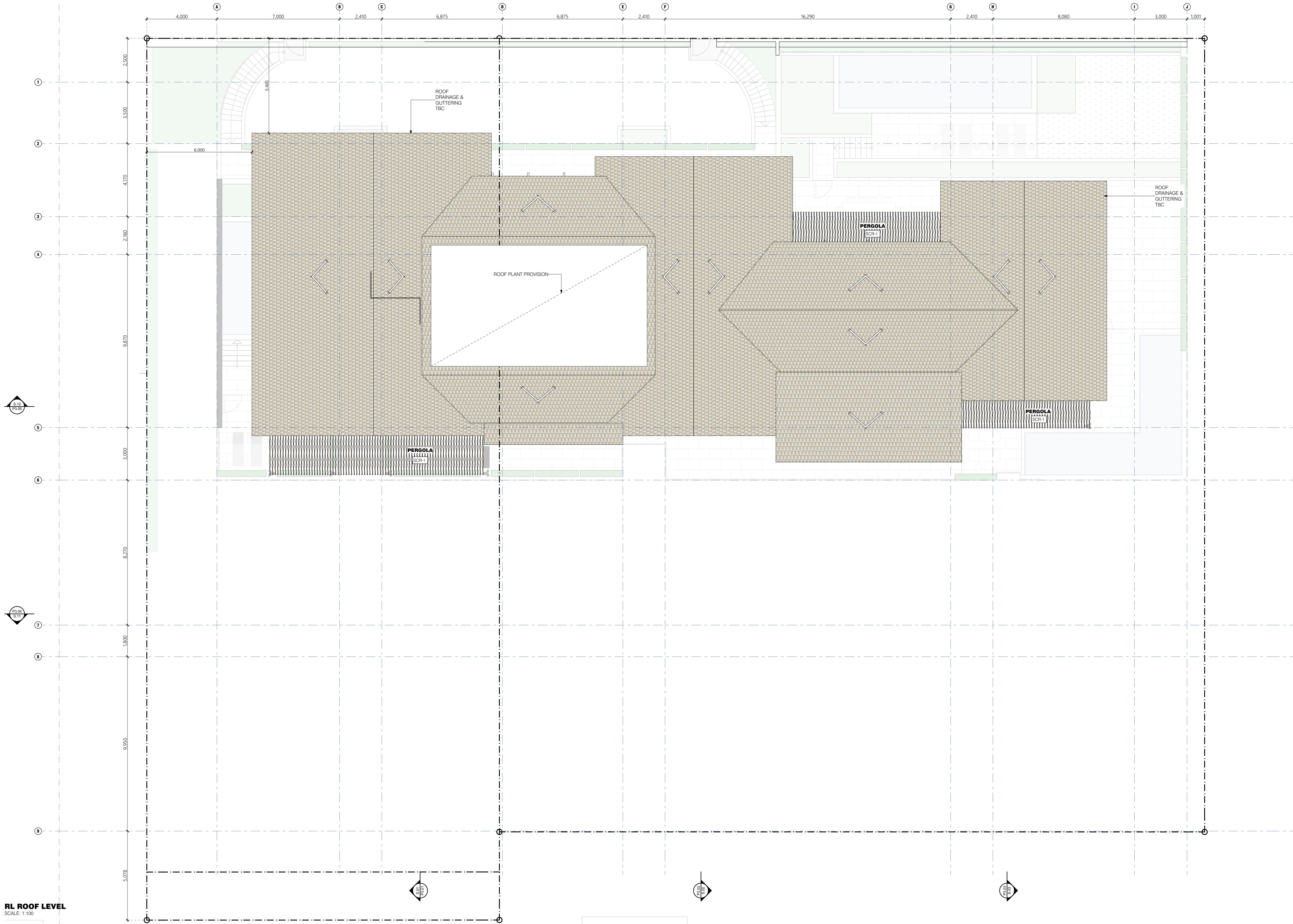
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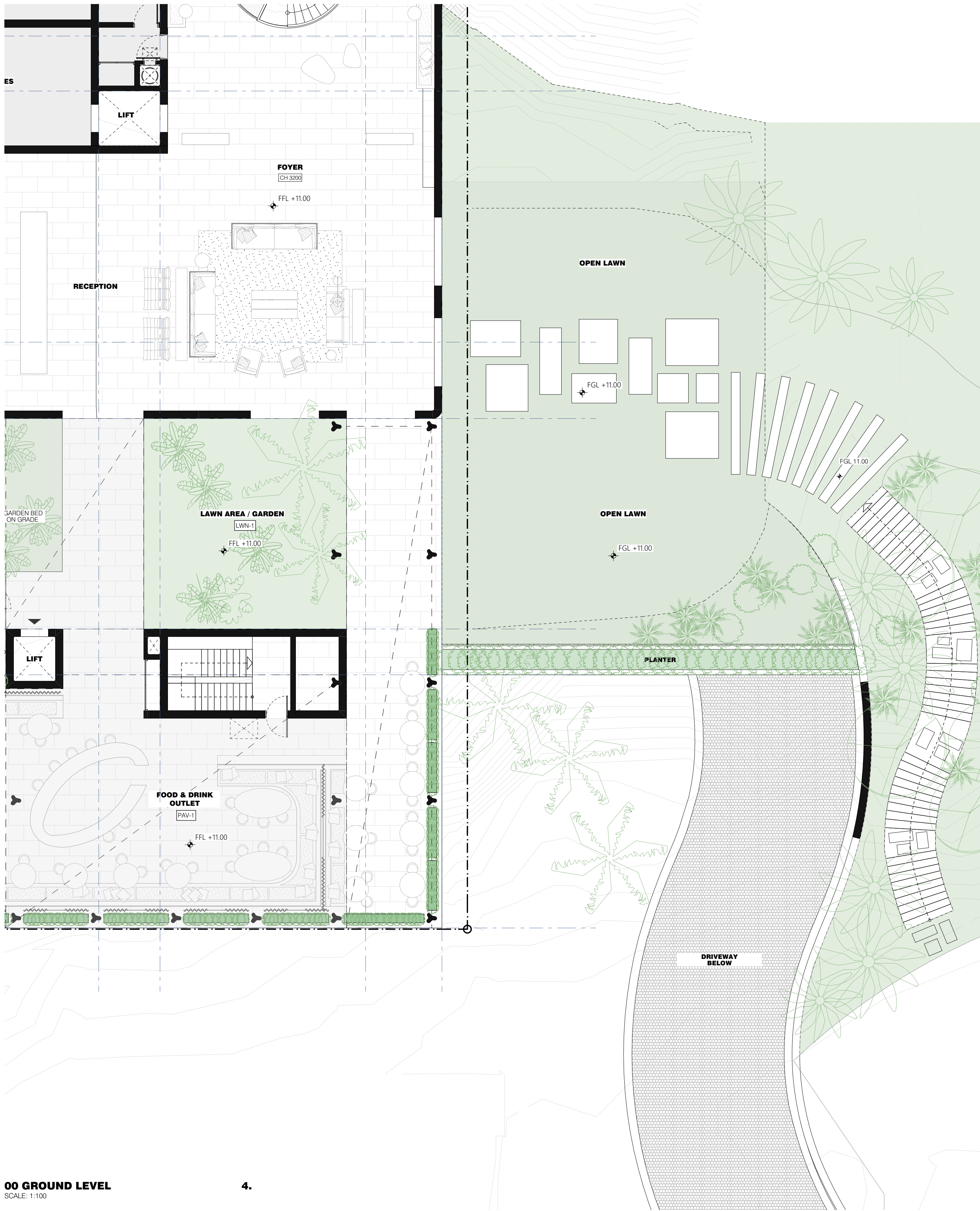
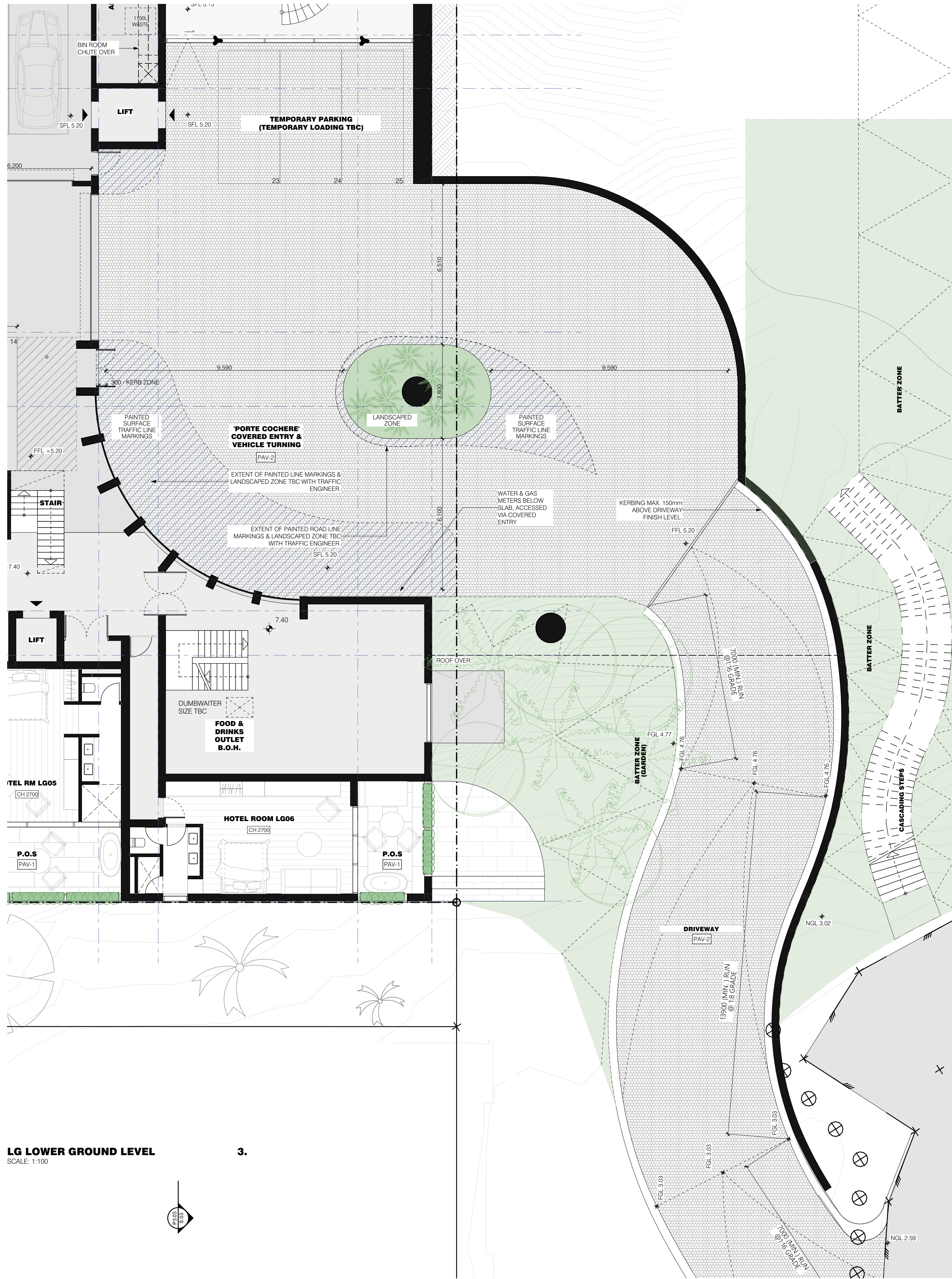
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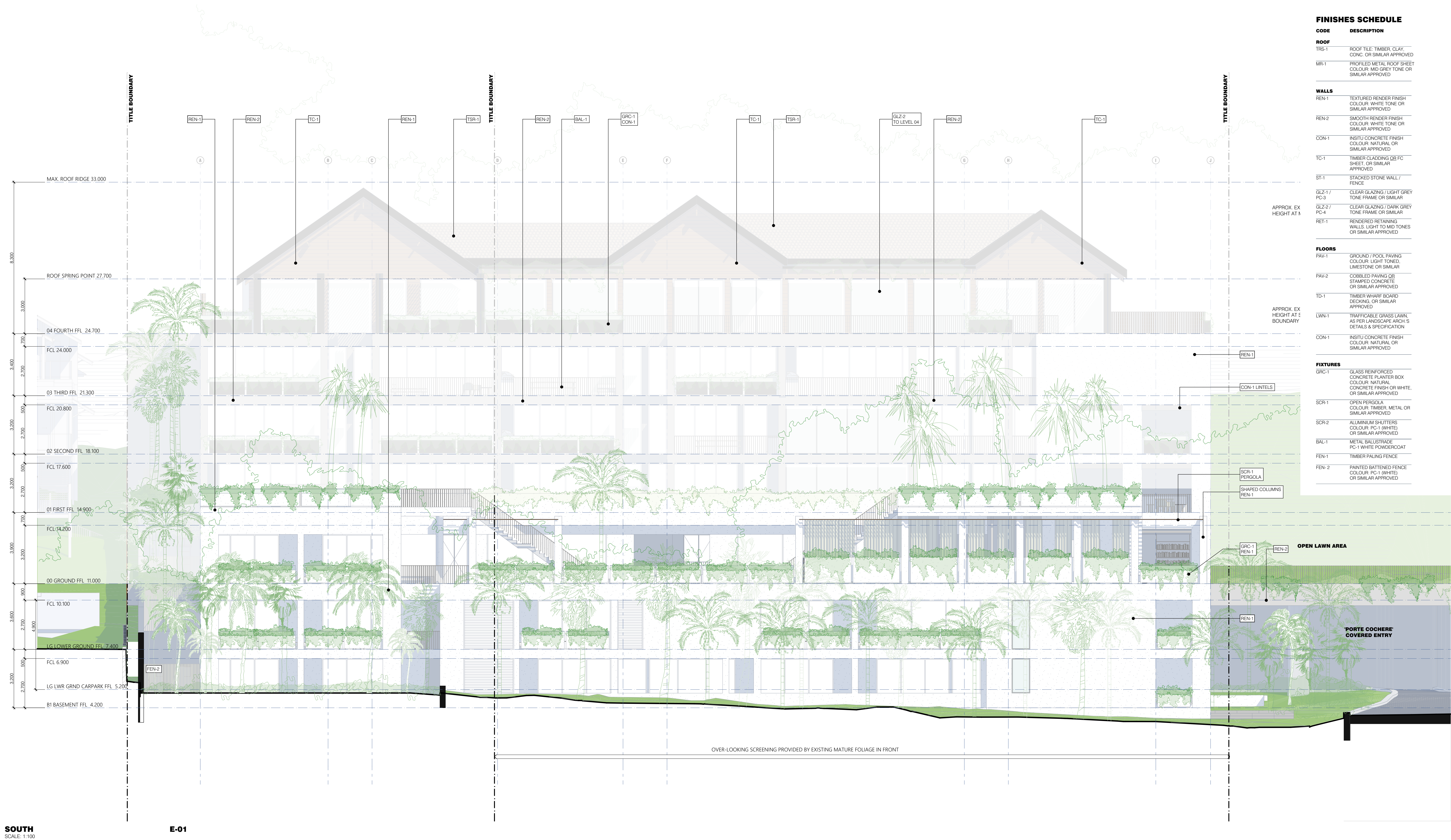












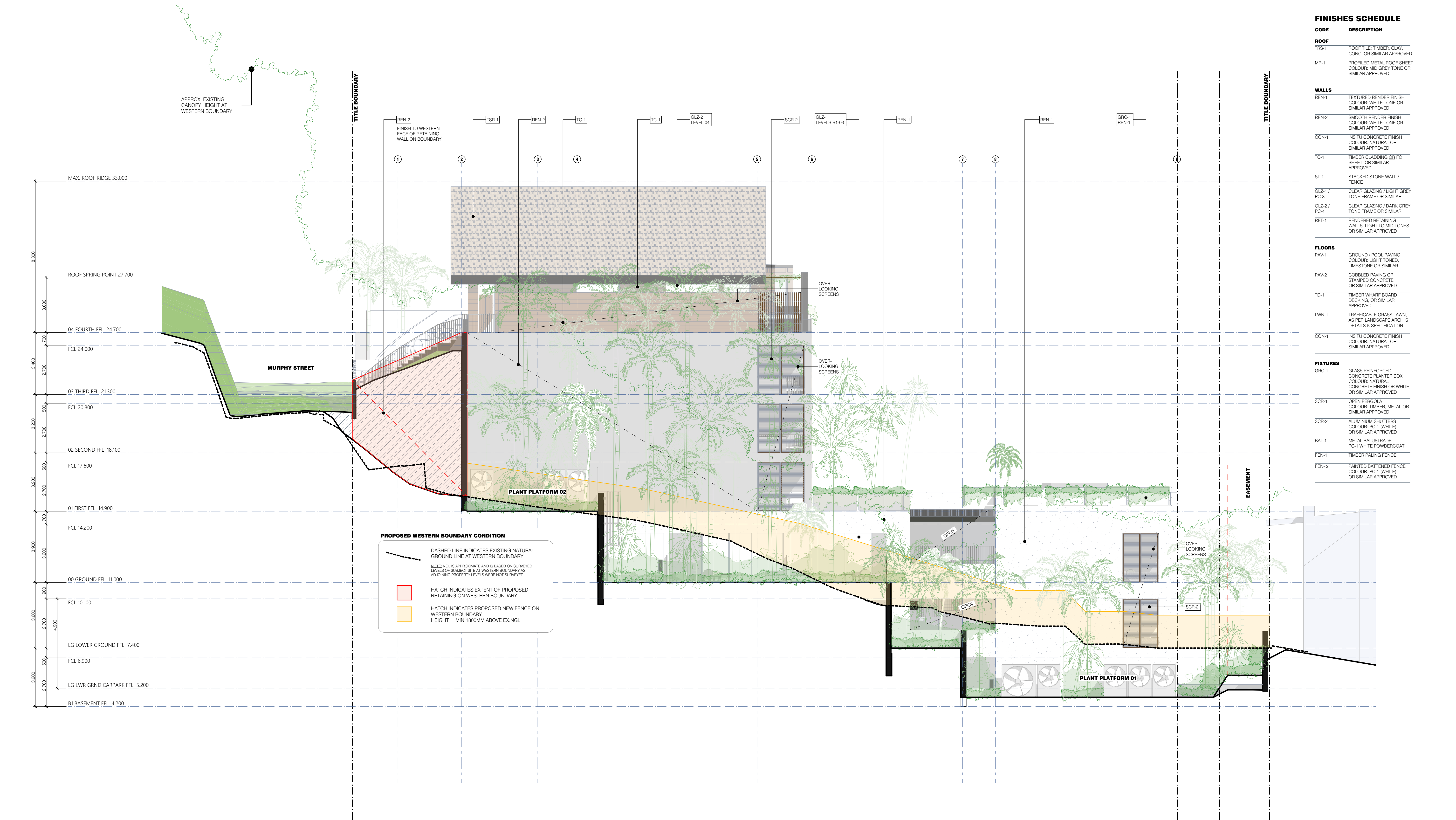
**SOUTH**  
SCALE: 1:100

**E-01**

**FINISHES SCHEDULE**

CODE	DESCRIPTION
<b>ROOF</b>	
TRS-1	ROOF TILE: TIMBER, CLAY, CONC. OR SIMILAR APPROVED
MR-1	PROFILED METAL ROOF SHEET COLOUR: MID GREY TONE OR SIMILAR APPROVED
<b>WALLS</b>	
REN-1	TEXTURED RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
REN-2	SMOOTH RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
CON-1	INSTU CONCRETE FINISH COLOUR: NATURAL OR SIMILAR APPROVED
TC-1	TIMBER CLADDING OR PC SHEET, OR SIMILAR APPROVED
ST-1	STACKED STONE WALL / FENCE
GLZ-1 / PC-3	CLEAR GLAZING / LIGHT GREY TONE FRAME OR SIMILAR
GLZ-2 / PC-4	CLEAR GLAZING / DARK GREY TONE FRAME OR SIMILAR
RET-1	RENDERED RETAINING WALLS: LIGHT TO MID TONES OR SIMILAR APPROVED
<b>FLOORS</b>	
PAV-1	GROUND / POOL PAVING COLOUR: LIGHT TONED, LIMESTONE OR SIMILAR
PAV-2	COBBLED PAVING OR STAMPED CONCRETE OR SIMILAR APPROVED
TD-1	TIMBER WHARF BOARD DECKING, OR SIMILAR APPROVED
LWN-1	TRAFFICABLE GRASS LAWN, AS PER LANDSCAPE ARCH'S DETAILS & SPECIFICATION
CON-1	INSTU CONCRETE FINISH COLOUR: NATURAL OR SIMILAR APPROVED
<b>FIXTURES</b>	
GRC-1	GLASS REINFORCED CONCRETE PLANTER BOX COLOUR: NATURAL CONCRETE FINISH OR WHITE, OR SIMILAR APPROVED
SCR-1	OPEN PERGOLA COLOUR: TIMBER, METAL OR SIMILAR APPROVED
SCR-2	ALUMINIUM SHUTTERS COLOUR: PC-1 (WHITE) OR SIMILAR APPROVED
BAL-1	METAL BALUSTRADE PC-1 WHITE POWDERCOAT
FEN-1	TIMBER PALING FENCE
FEN-2	PAINTED BATTENED FENCE COLOUR: PC-1 (WHITE) OR SIMILAR APPROVED





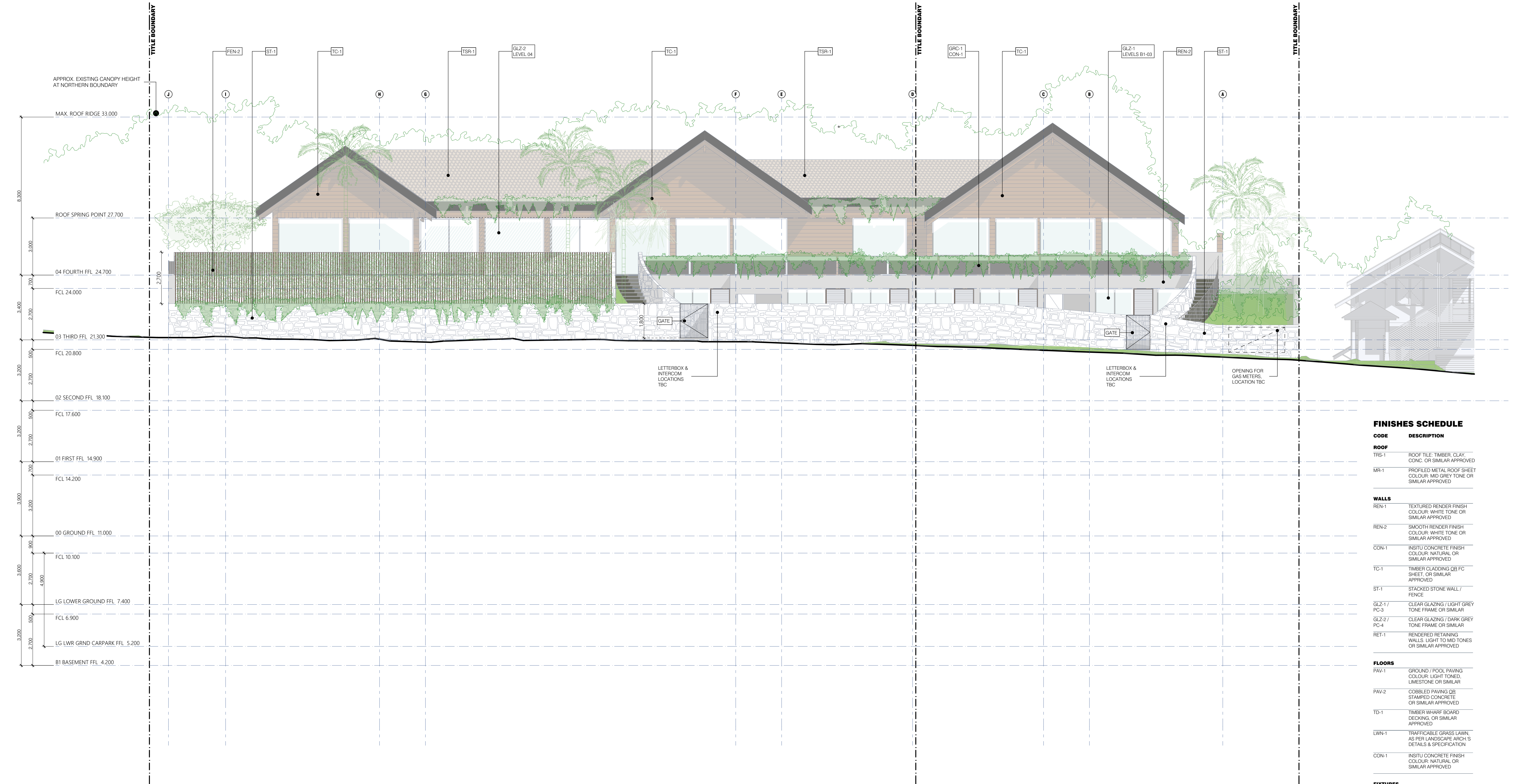
FINISHES SCHEDULE

CODE	DESCRIPTION
<strong>ROOF</strong>	
TRS-1	ROOF TILE: TIMBER, CLAY, CONC. OR SIMILAR APPROVED
MR-1	PROFILED METAL ROOF SHEET COLOUR: MID GREY TONE OR SIMILAR APPROVED
<strong>WALLS</strong>	
REN-1	TEXTURED RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
REN-2	SMOOTH RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
CON-1	INSTU CONCRETE FINISH COLOUR: NATURAL OR SIMILAR APPROVED
TC-1	TIMBER CLADDING Q&B FC SHEET, OR SIMILAR APPROVED
ST-1	STACKED STONE WALL / FENCE
GLZ-1 / PC-3	CLEAR GLAZING / LIGHT GREY TONE FRAME OR SIMILAR
GLZ-2 / PC-4	CLEAR GLAZING / DARK GREY TONE FRAME OR SIMILAR
RET-1	RENDERED RETAINING WALLS. LIGHT TO MID TONES OR SIMILAR APPROVED
<strong>FLOORS</strong>	
PAV-1	GROUND / POOL PAVING COLOUR: LIGHT TONED, LIMESTONE OR SIMILAR
PAV-2	COBBLED PAVING Q&B STAMPED CONCRETE OR SIMILAR APPROVED
TD-1	TIMBER WHARF BOARD DECKING, OR SIMILAR APPROVED
LWN-1	TRAFFICABLE GRASS LAWN, AS PER LANDSCAPE ARCHT'S DETAILS & SPECIFICATION
CON-1	INSTU CONCRETE FINISH COLOUR: NATURAL OR SIMILAR APPROVED
<strong>FIXTURES</strong>	
GRG-1	GLASS REINFORCED CONCRETE PLANTER BOX COLOUR: NATURAL CONCRETE FINISH OR WHITE, OR SIMILAR APPROVED
SCR-1	OPEN PERGOLA COLOUR: TIMBER, METAL OR SIMILAR APPROVED
SCR-2	ALUMINIUM SHUTTERS COLOUR: PC-1 (WHITE) OR SIMILAR APPROVED
BAL-1	METAL BALUSTRADE PC-1 WHITE POWDERCOAT
FEN-1	TIMBER PALING FENCE
FEN-2	PAINTED BATTENED FENCE COLOUR: PC-1 (WHITE) OR SIMILAR APPROVED

WEST  
SCALE: 1:100

E-02





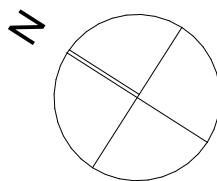
NORTH  
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E-03

#### FINISHES SCHEDULE

CODE	DESCRIPTION
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TRS-1	ROOF TILE: TIMBER, CLAY, CONC. OR SIMILAR APPROVED
MR-1	PROFILED METAL ROOF SHEET COLOUR: MID GREY TONE OR SIMILAR APPROVED
<strong>WALLS</strong>	
REN-1	TEXTURED RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
REN-2	SMOOTH RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
CON-1	INSTU CONCRETE FINISH COLOUR: NATURAL OR SIMILAR APPROVED
TC-1	TIMBER CLADDING OR FC SHEET, OR SIMILAR APPROVED
ST-1	STACKED STONE WALL / FENCE
GLZ-1 / PC-3	CLEAR GLAZING / LIGHT GREY TONE FRAME OR SIMILAR
GLZ-2 / PC-4	CLEAR GLAZING / DARK GREY TONE FRAME OR SIMILAR
RET-1	RENDERED RETAINING WALLS: LIGHT TO MID TONES OR SIMILAR APPROVED
<strong>FLOORS</strong>	
PAV-1	GROUND / POOL PAVING COLOUR: LIGHT TONED, LIMESTONE OR SIMILAR
PAV-2	COBBLED PAVING OR STAMPED CONCRETE OR SIMILAR APPROVED
TD-1	TIMBER WHARF BOARD DECKING, OR SIMILAR APPROVED
LWN-1	TRAFFICABLE GRASS LAWN, AS PER LANDSCAPE ARCH'S DETAILS & SPECIFICATION
CON-1	INSTU CONCRETE FINISH COLOUR: NATURAL OR SIMILAR APPROVED
<strong>FIXTURES</strong>	
GRC-1	GLASS REINFORCED CONCRETE PLANTER BOX COLOUR: NATURAL CONCRETE FINISH OR WHITE, OR SIMILAR APPROVED
SCR-1	OPEN PERGOLA COLOUR: TIMBER, METAL OR SIMILAR APPROVED
SCR-2	ALUMINIUM SHUTTERS COLOUR: PC-1 (WHITE) OR SIMILAR APPROVED
BAL-1	METAL BALUSTRADE PC-1 WHITE POWDERCOAT
FEN-1	TIMBER PALING FENCE
FEN-2	PAINTED BATTENED FENCE COLOUR: PC-1 (WHITE) OR SIMILAR APPROVED

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REV	DESCRIPTION	DATE

PROJECT:  
69-73 MURPHY STREET,  
PORT DOUGLAS QLD 4877

DRAWING CREATED:  
DRAWING TITLE:  
NORTH ELEVATION

CLIENT:  
GURNER TM

SCALE: AS SHOWN @ A1

PLOT DATE: 18/11/2020

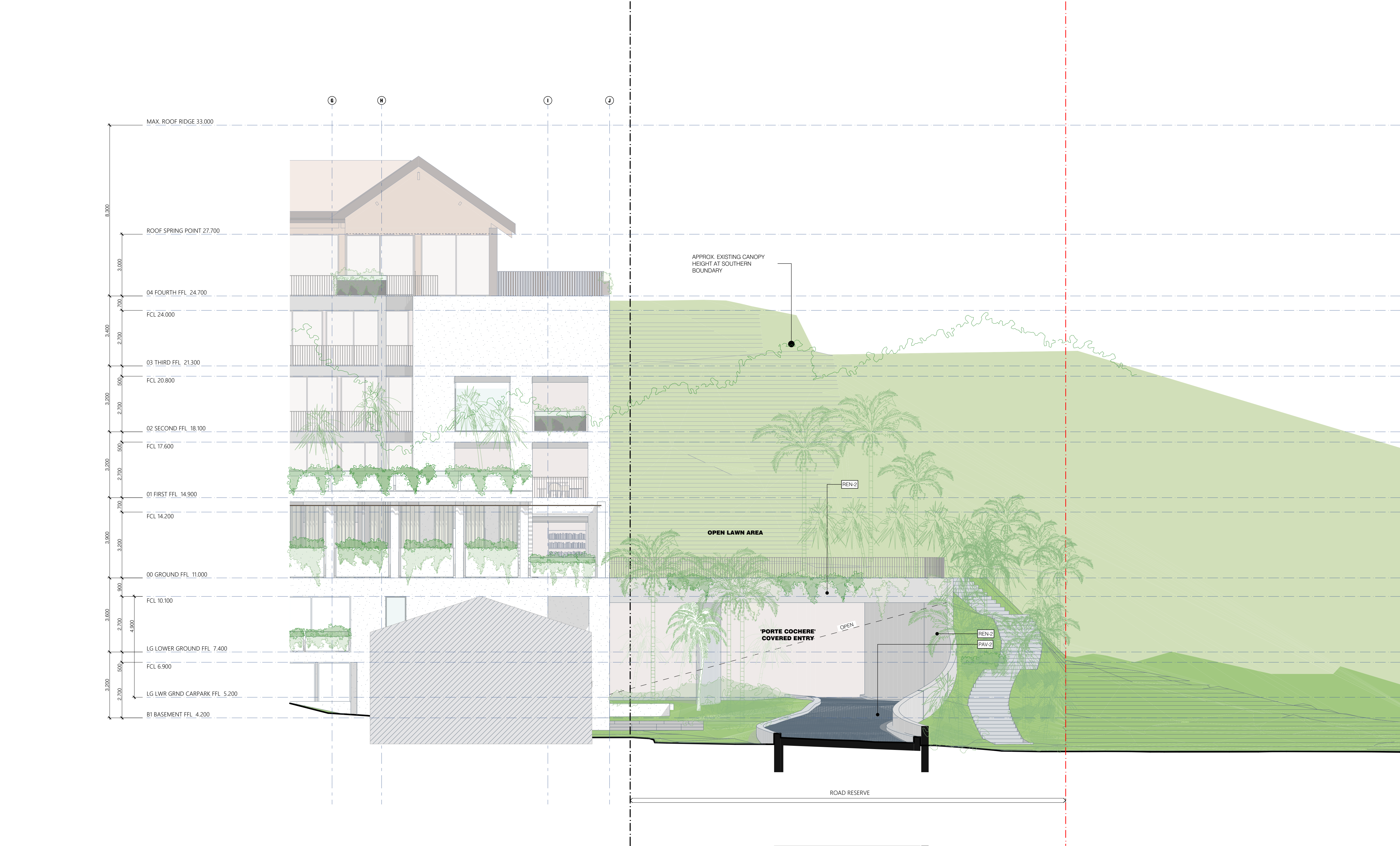
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REV:









**SOUTH (DRIVEWAY ENTRY)**  
SCALE: 1:100

**E-01**

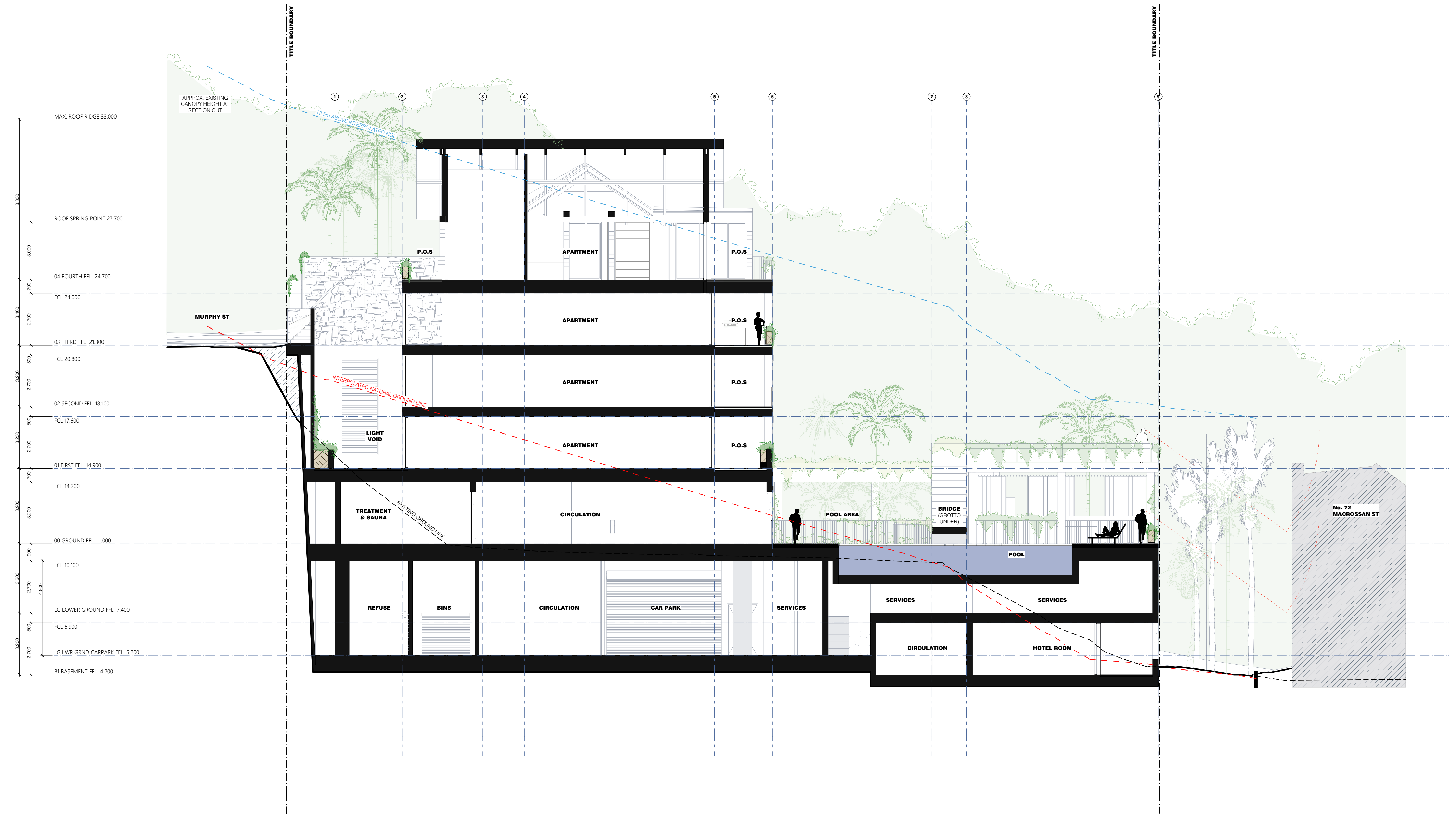
**FINISHES SCHEDULE**

CODE	DESCRIPTION
<b>ROOF</b>	
TRS-1	ROOF TILE: TIMBER, CLAY, CONC. OR SIMILAR APPROVED
MR-1	PROFILED METAL ROOF SHEET COLOUR: MID GREY TONE OR SIMILAR APPROVED
<b>WALLS</b>	
REN-1	TEXTURED RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
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<b>FLOORS</b>	
PAV-1	GROUND / POOL PAVING COLOUR: LIGHT TONED, LIMESTONE OR SIMILAR
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FEN-1	TIMBER PALING FENCE
FEN-2	PAINTED BATTENED FENCE COLOUR: PC-1 (WHITE) OR SIMILAR APPROVED





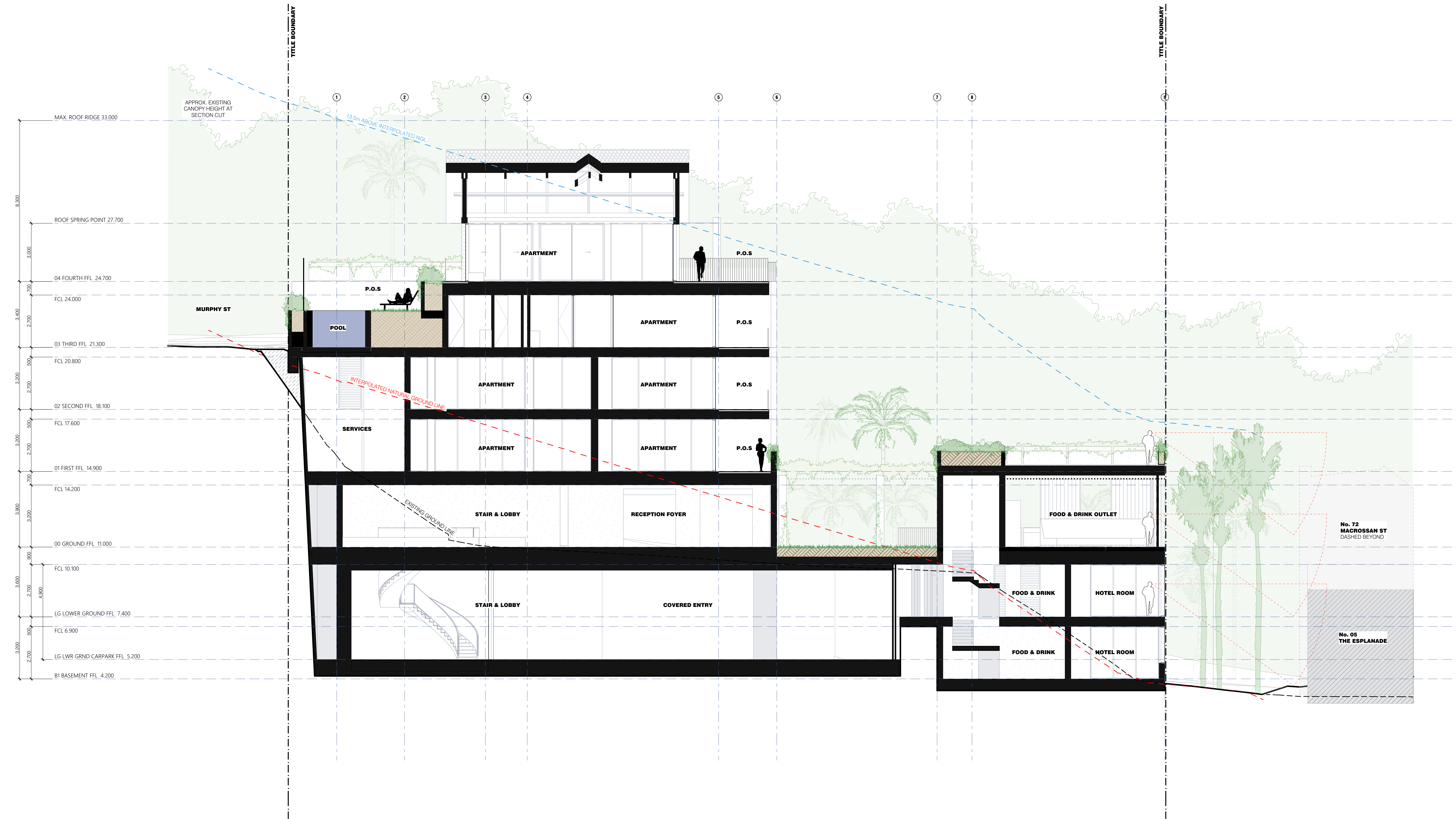




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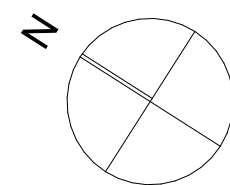




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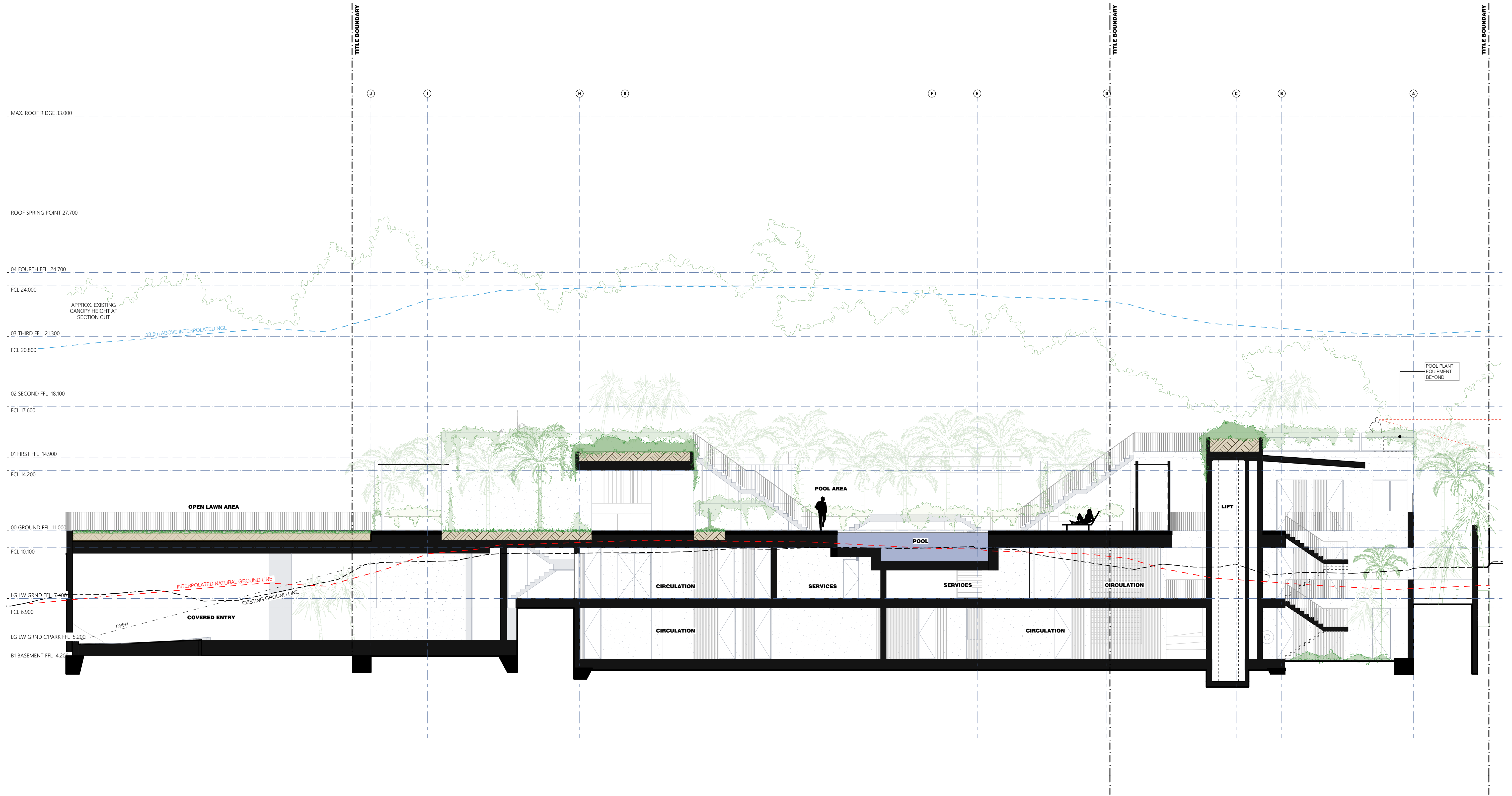
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			DRAWING TITLE:	PLOT DATE: 18/11/2020
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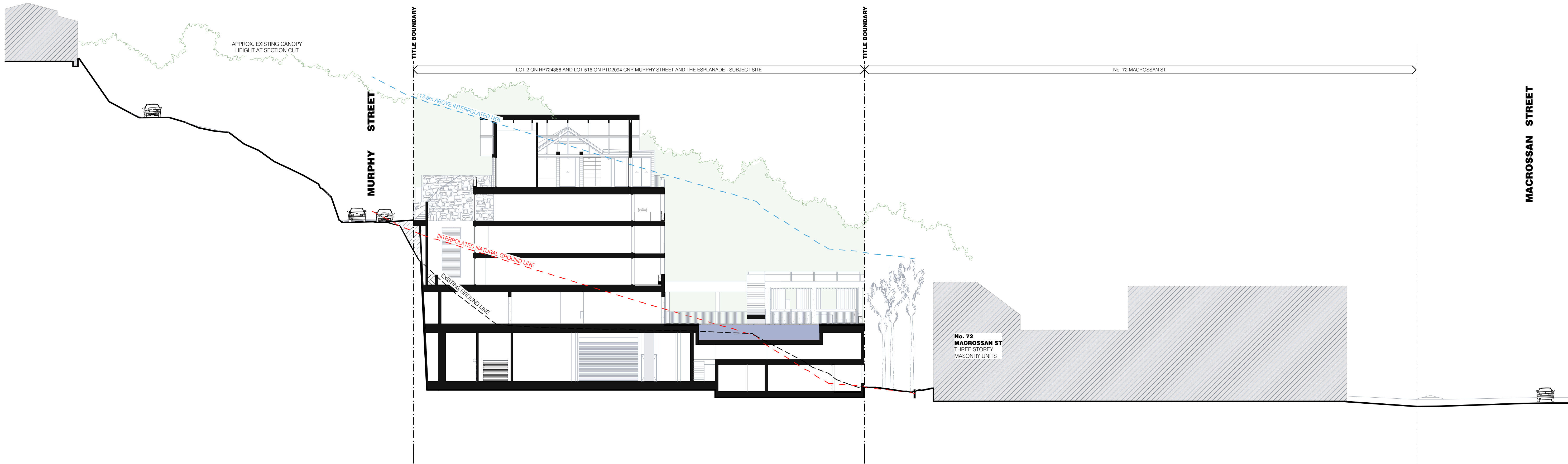




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**S.12**





**SITE SECTION**  
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**S.02A**



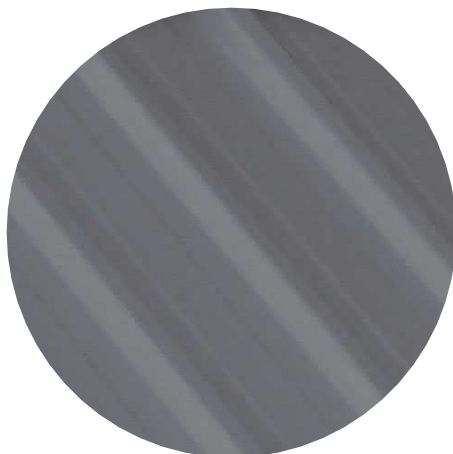
FINISHES SCHEDULE

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MR-1	PROFILED METAL ROOF SHEET COLOUR: MID GREY TONE OR SIMILAR APPROVED
WALLS	
REN-1	TEXTURED RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
REN-2	SMOOTH RENDER FINISH COLOUR: WHITE TONE OR SIMILAR APPROVED
CON-1	INSITU CONCRETE FINISH COLOUR: NATURAL OR SIMILAR APPROVED
TC-1	TIMBER CLADDING OR FC SHEET, OR SIMILAR APPROVED
ST-1	STACKED STONE WALL / FENCE
GLZ-1 / PC-3	CLEAR GLAZING / LIGHT GREY TONE FRAME OR SIMILAR
GLZ-2 / PC-4	CLEAR GLAZING / DARK GREY TONE FRAME OR SIMILAR
RET-1	RENDERED RETAINING WALLS, LIGHT TO MID TONES OR SIMILAR APPROVED
FLOORS	
PAV-1	GROUND / POOL PAVING COLOUR: LIGHT TONED, LIMESTONE OR SIMILAR
PAV-2	COBBLED PAVING OR STAMPED CONCRETE OR SIMILAR APPROVED
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CON-1	INSITU CONCRETE FINISH COLOUR: NATURAL OR SIMILAR APPROVED
FIXTURES	
GRC-1	GLASS REINFORCED CONCRETE PLANTER BOX COLOUR: NATURAL CONCRETE FINISH OR WHITE, OR SIMILAR APPROVED
SCR-1	OPEN PERGOLA COLOUR: TIMBER, METAL OR SIMILAR APPROVED
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BAL-1	METAL BALUSTRADE PC-1 WHITE POWDERCOAT
PC-1	WHITE POWDERCOAT OR SIMILAR
FEN-1	TIMBER PALING FENCE
FEN- 2	PAINTED BATTENED FENCE COLOUR: PC-1 (WHITE) OR SIMILAR APPROVED

ROOF



TSR-1



MR-1

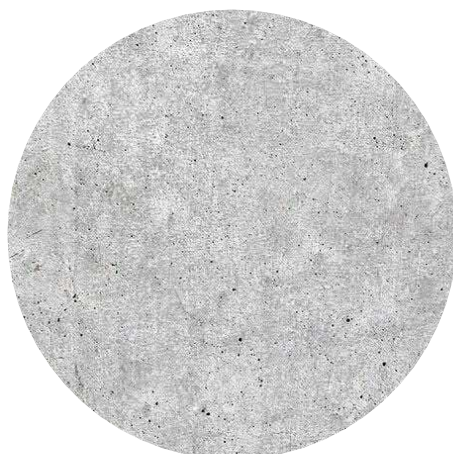
EXTERNAL WALLS



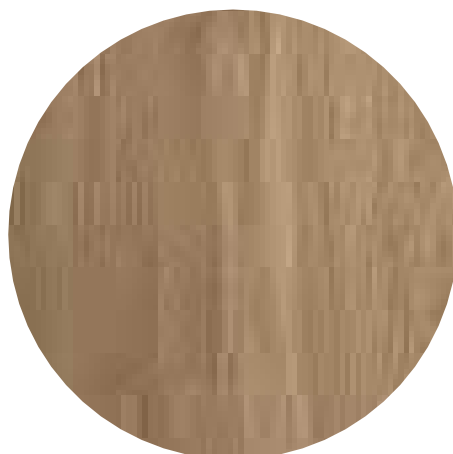
REN-1



REN-2



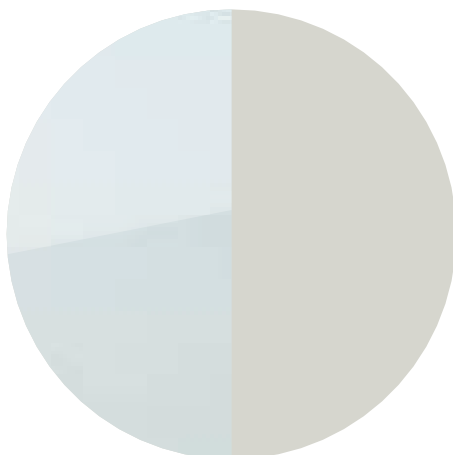
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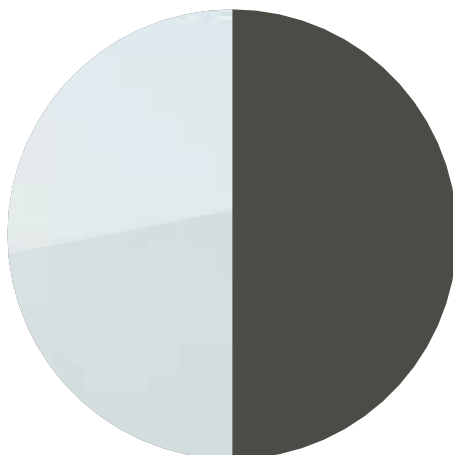
TC-1



ST-1



GLZ-1 / PC-3



GLZ-2 / PC-4



RET-1

EXTERNAL FLOORS



PAV-1



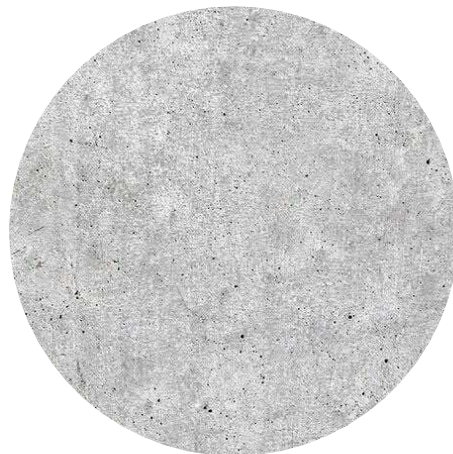
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TD-1

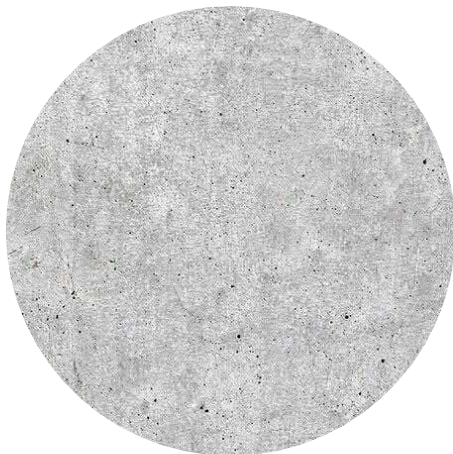


LWN-1



CON-1

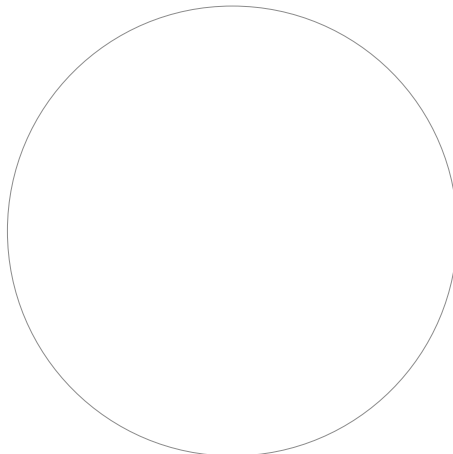
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CON-1



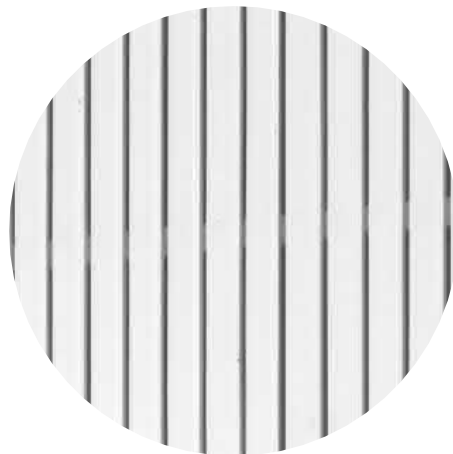
SCR-1



PC-1



FEN-1



FEN-2





MURPHY STREET RESIDENCES  
VIEW FROM NORTH (MURPHY STREET)

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**THE ESPLANADE HOTEL**  
VIEW FROM EAST

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			DRAWING CREATED:	SCALE: AS SHOWN @ A1
			DRAWING TITLE:	PLOT DATE: 18/11/2020
			PERSPECTIVES - ARTIST IMPRESSION	DRAWING NO: REV:
				P4.03





**THE ESPLANADE HOTEL**  
DETAIL VIEW - BAR & RESTAURANT FROM EAST

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			DRAWING CREATED:	SCALE: AS SHOWN @ A1
			DRAWING TITLE:	PLOT DATE: 18/11/2020
			PERSPECTIVES - ARTIST IMPRESSION	DRAWING NO: REV:
				P4.04





**THE ESPLANADE HOTEL**  
DETAIL VIEW - BAR & RESTAURANT FROM PUBLIC PARK





**THE ESPLANADE HOTEL**  
DETAIL VIEW - EASTERN FACADE

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			DRAWING CREATED: DRAWING TITLE: <b>PERSPECTIVES - ARTIST IMPRESSION</b>	SCALE: AS SHOWN @ A1 PLOT DATE: 18/11/2020 DRAWING NO: <b>P4.06</b> REV:





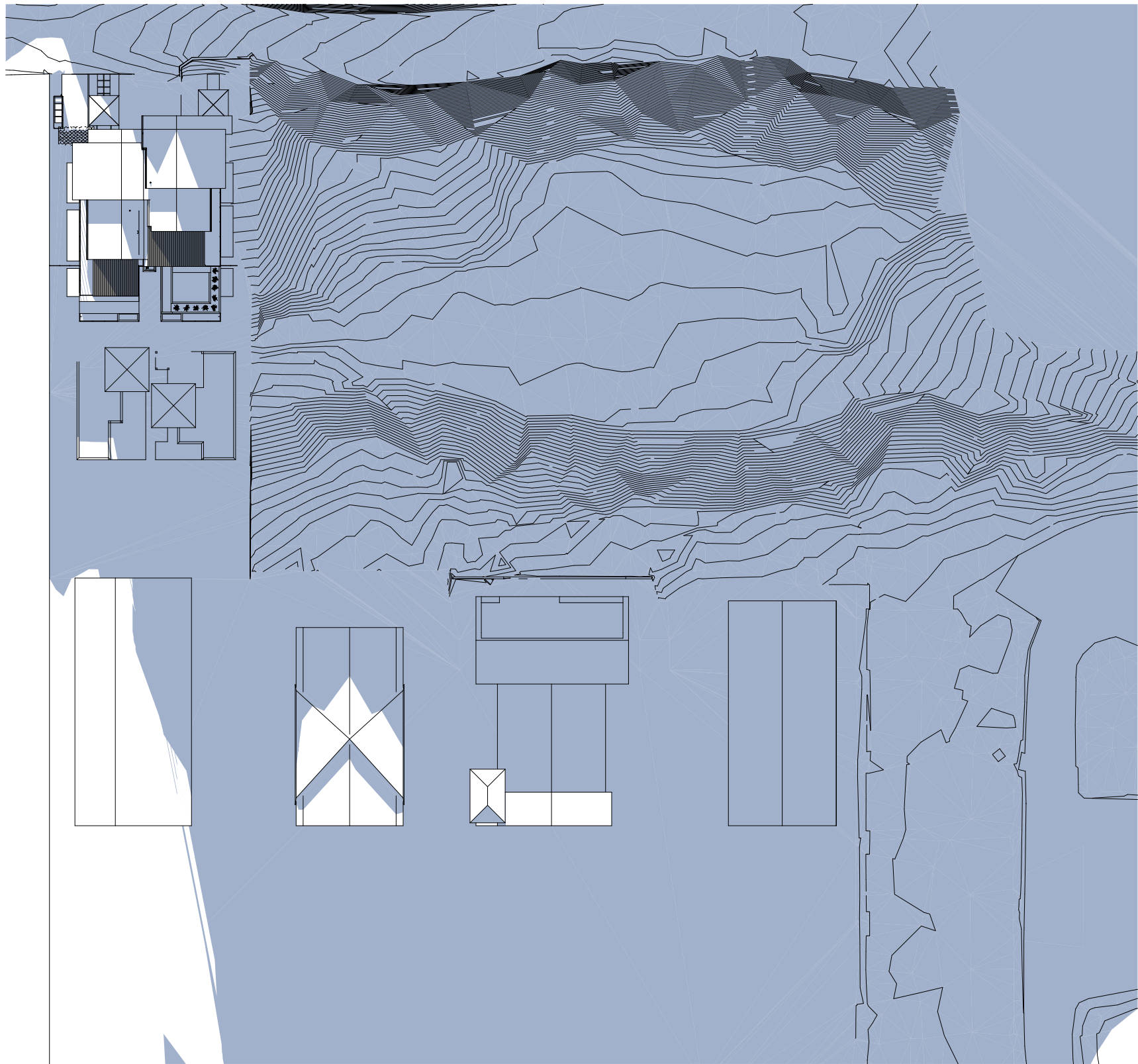
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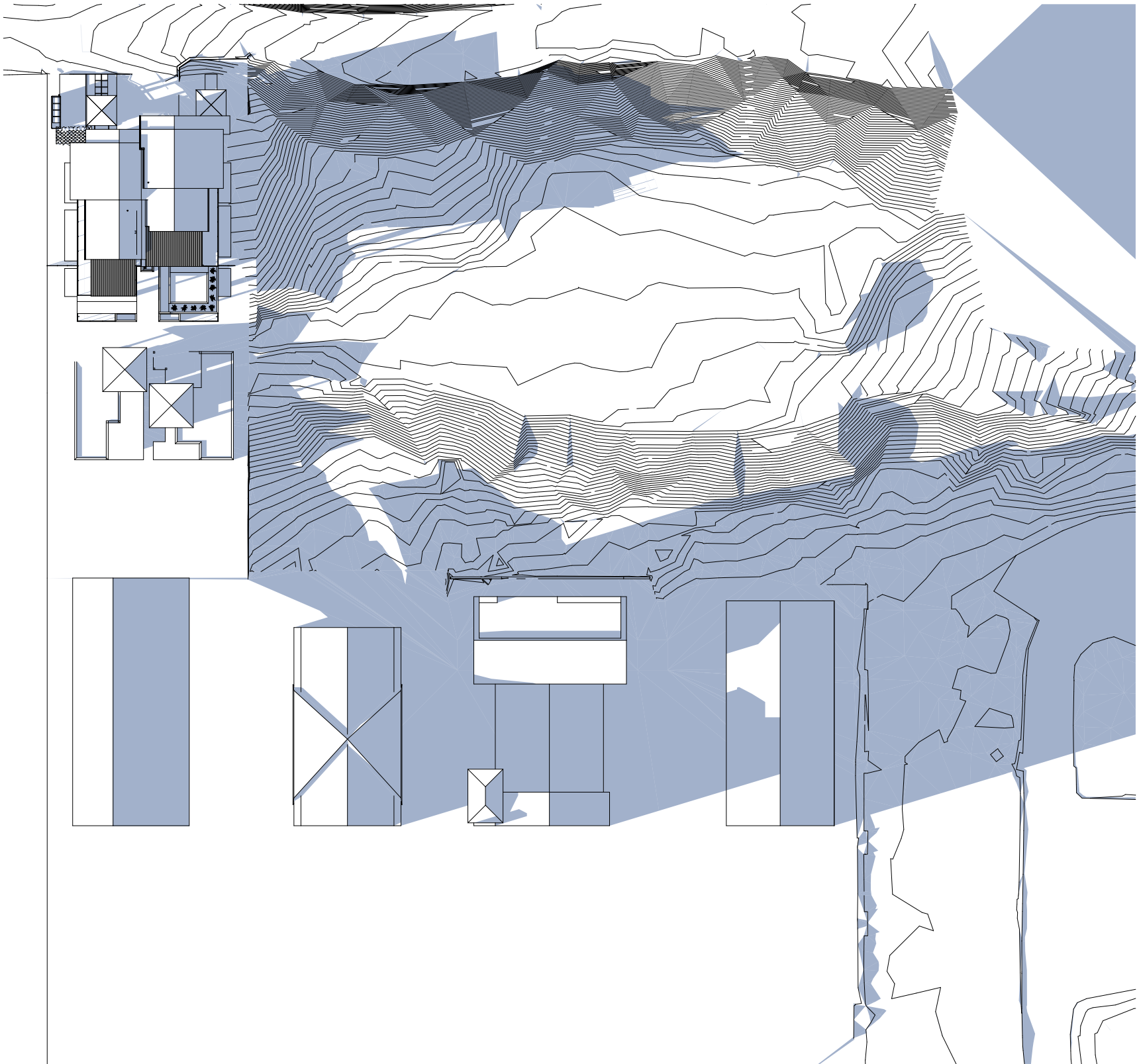
PERSPECTIVE - DUE NORTH

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PROJECT: 69-73 MURPHY STREET, PORT DOUGLAS QLD 4877	CLIENT: GURNER TM															
DRAWING CREATED: DRAWING TITLE: PERSPECTIVES - EX. TREE CANOPY	SCALE: AS SHOWN @ A1 PLOT DATE: 18/11/2020 DRAWING NO: REV: P4.07															

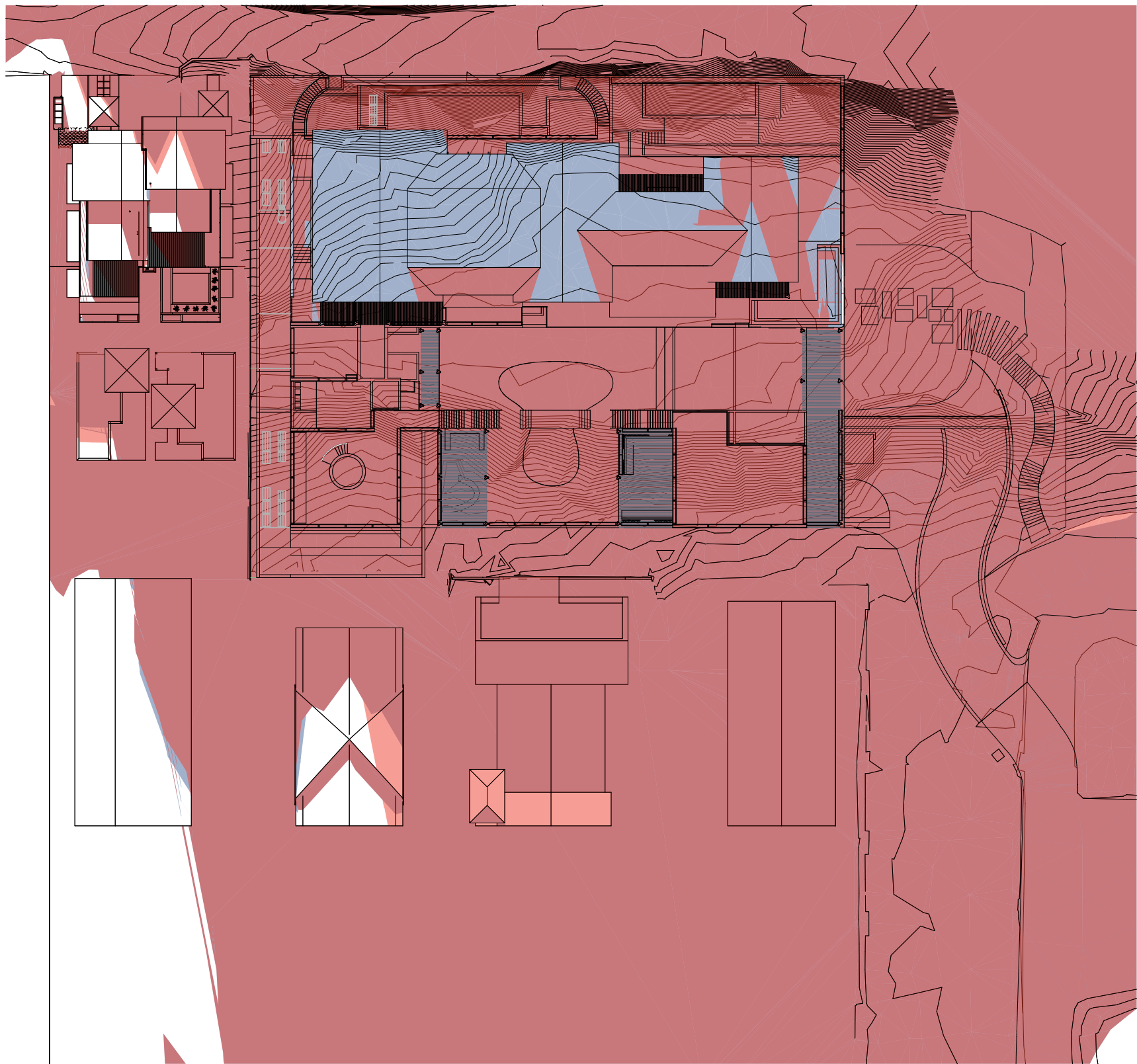




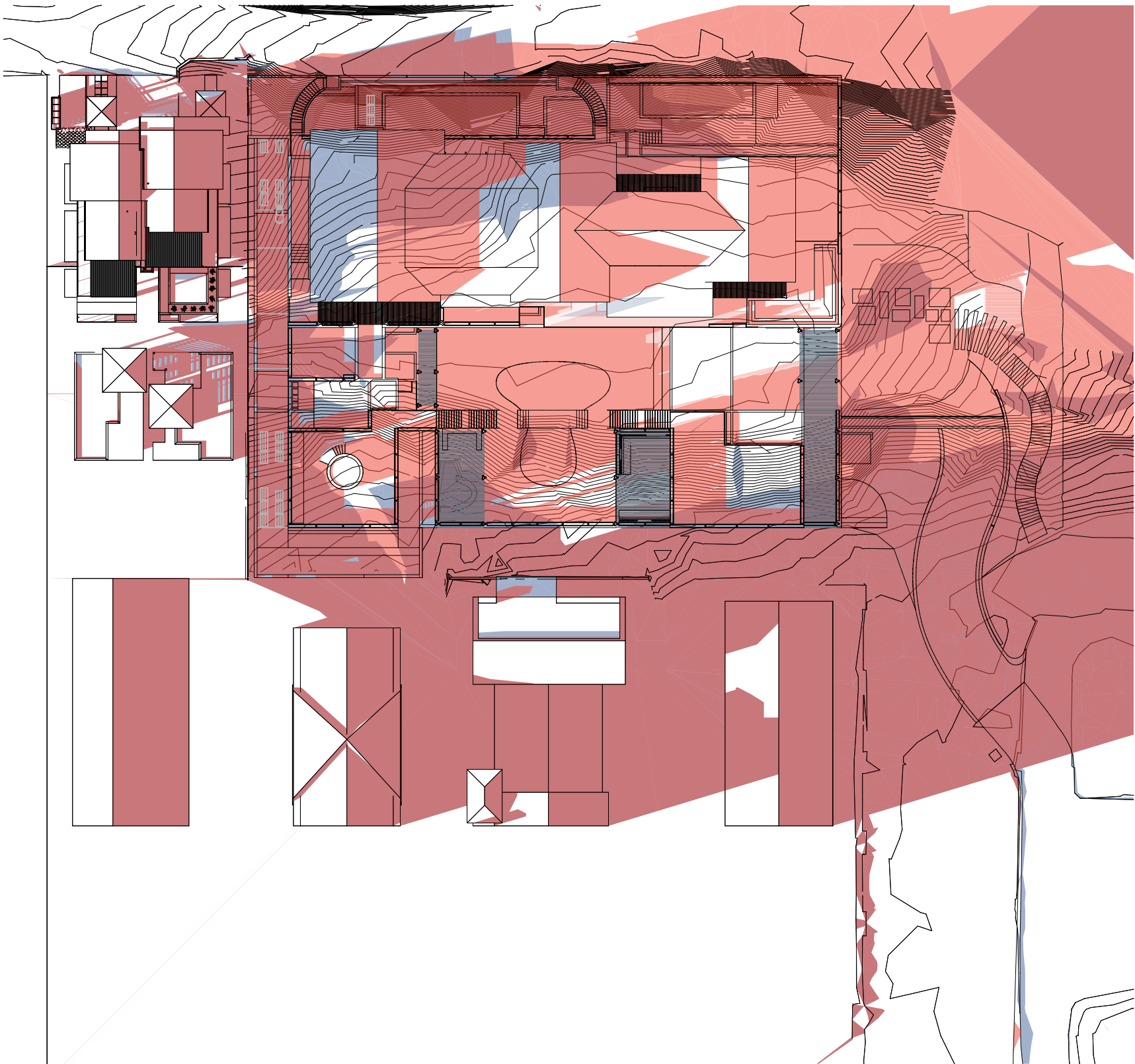
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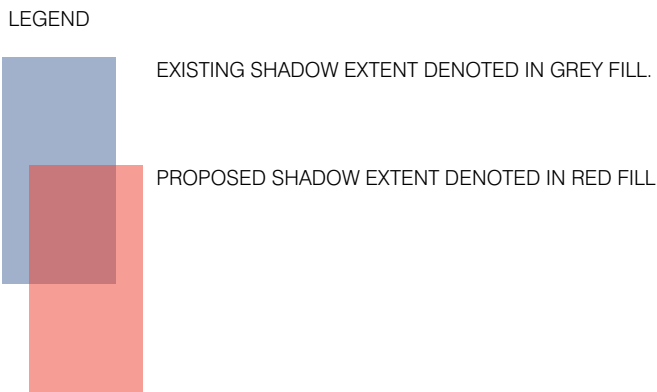
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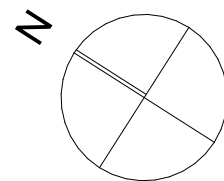
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**PROPOSED SHADOW**



21 JUN @ 1600h  
SCALE: 1:500  
**PROPOSED SHADOW**



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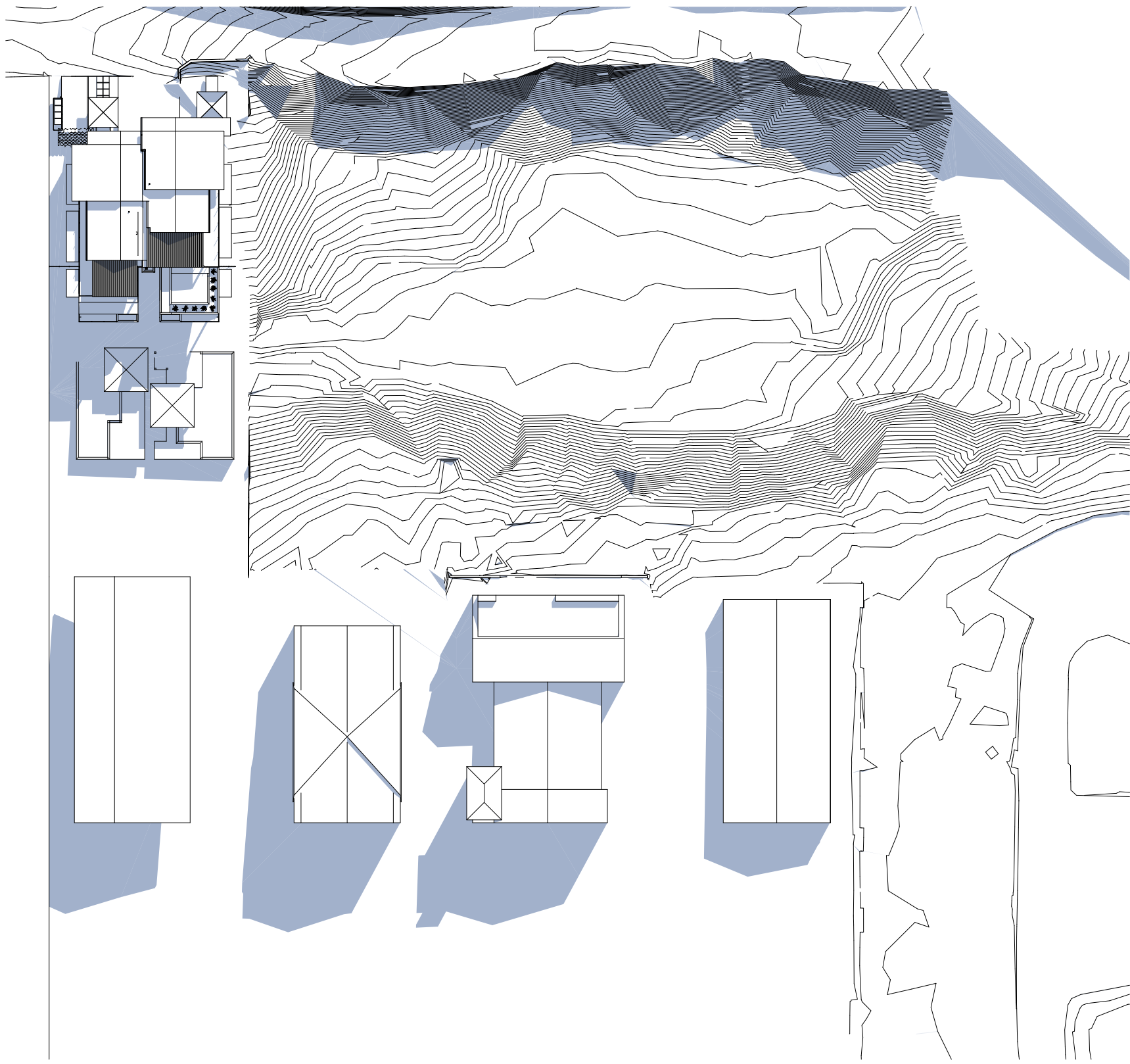
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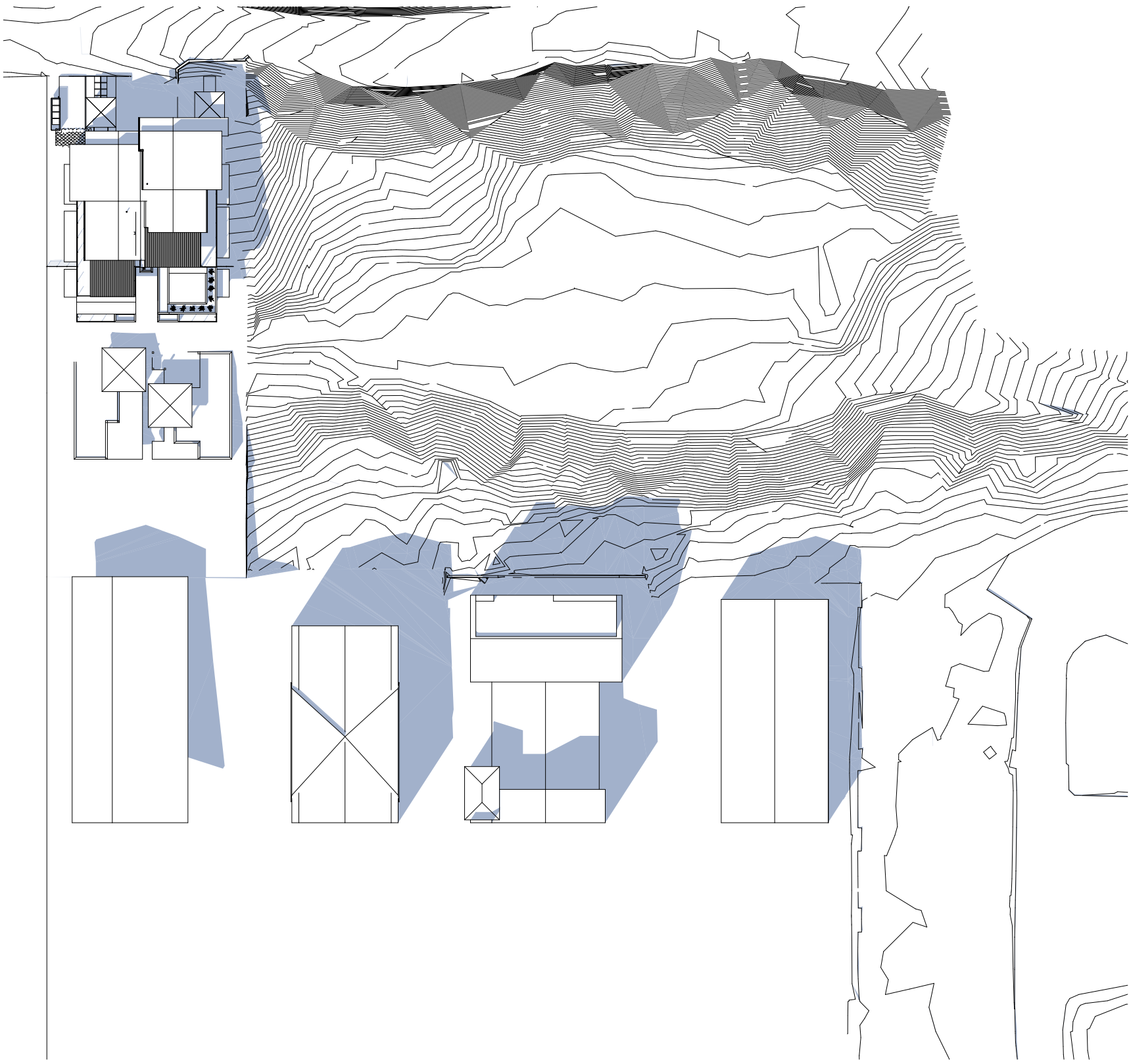
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			DRAWING CREATED: DRAWING TITLE:	SCALE: AS SHOWN @ A1 PLOT DATE: 18/11/2020 DRAWING NO: REV:
			SHADOW DIAGRAMS - JUNE	P5.01





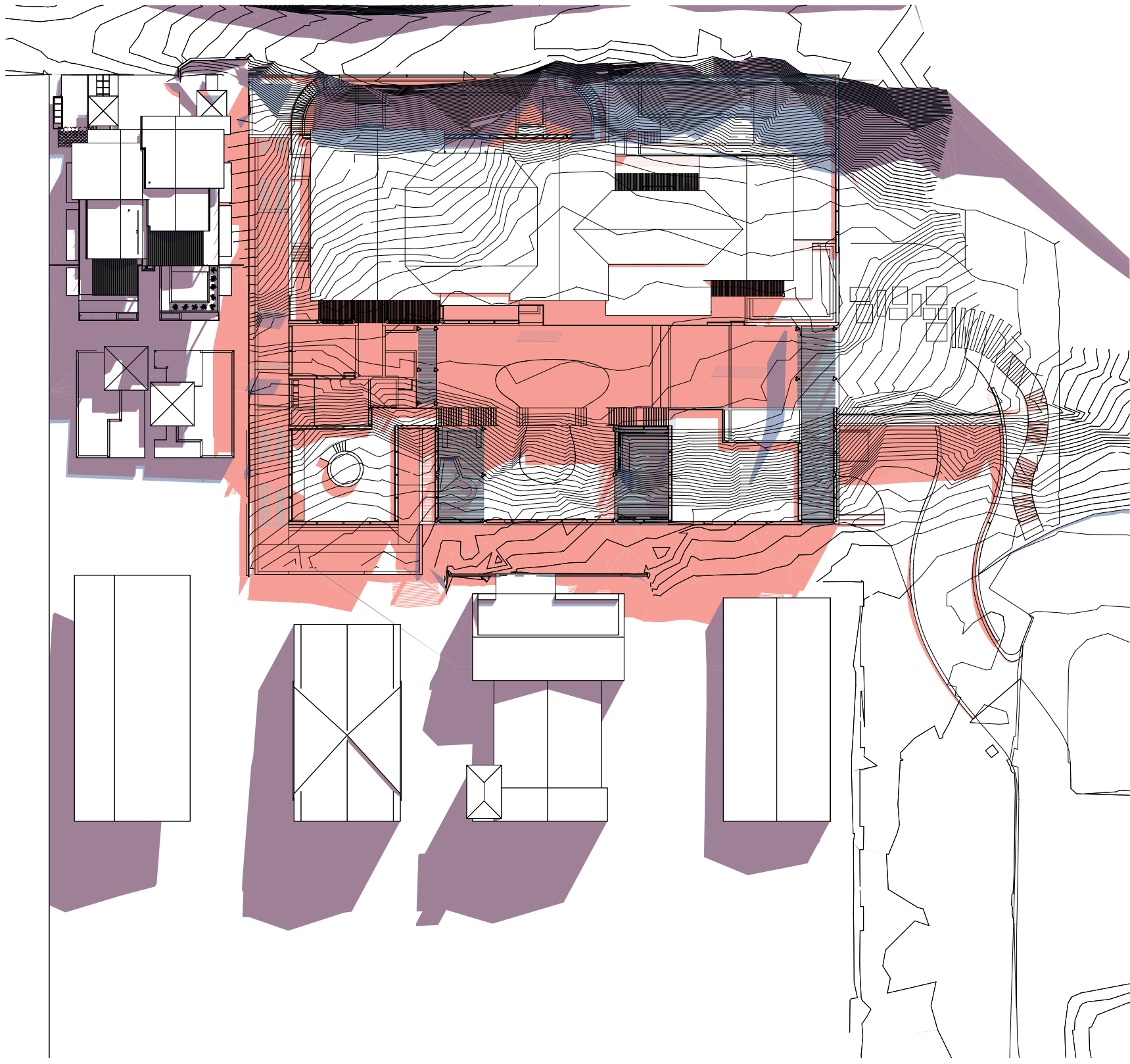
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EXISTING SHADOW



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SCALE: 1:500

EXISTING SHADOW



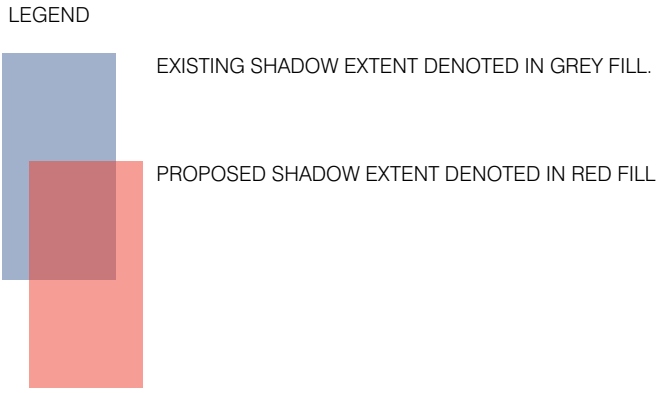
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PROPOSED SHADOW

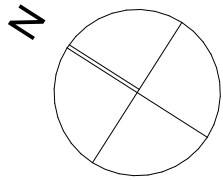


21 DEC @ 1600h  
SCALE: 1:500

PROPOSED SHADOW



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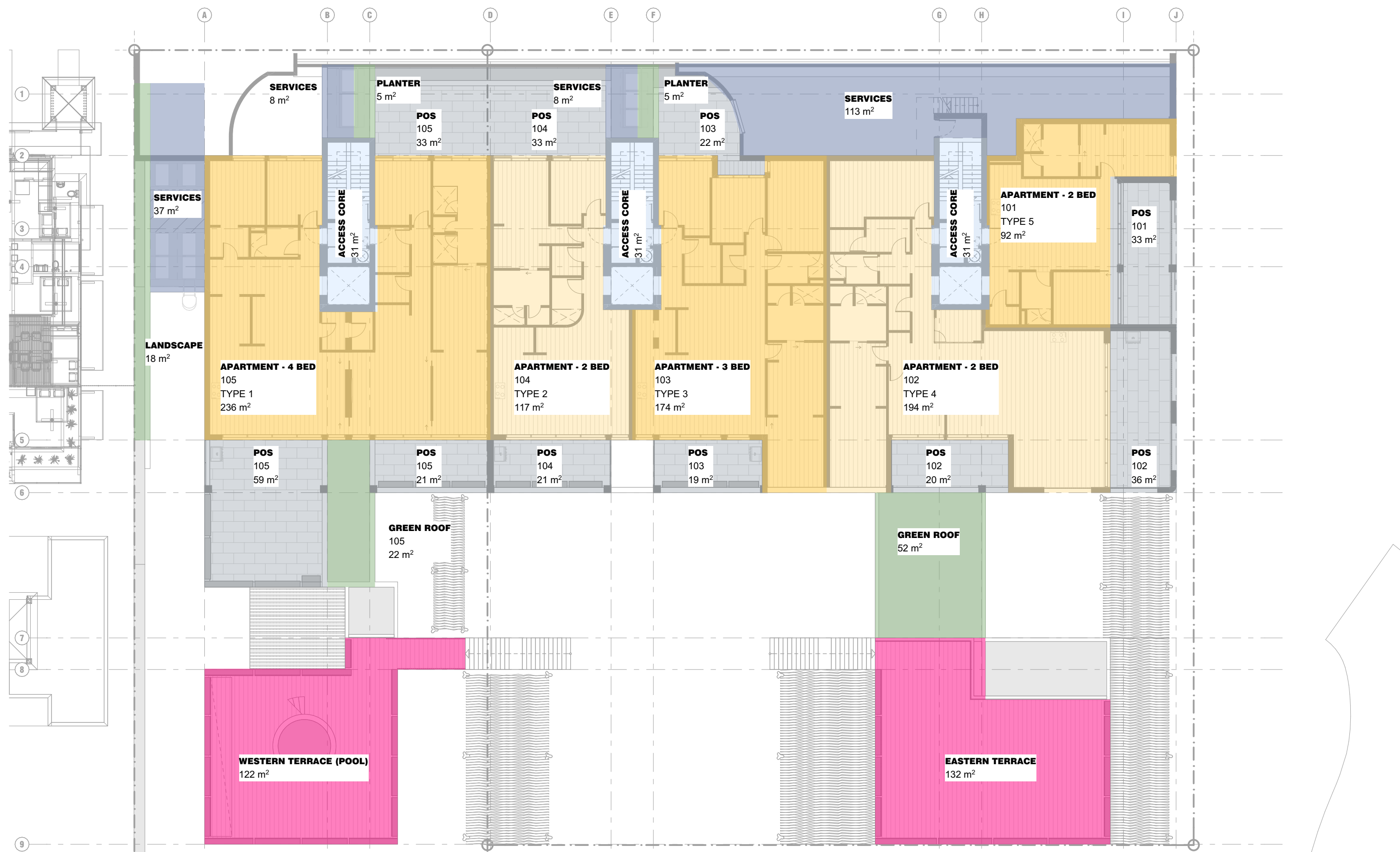
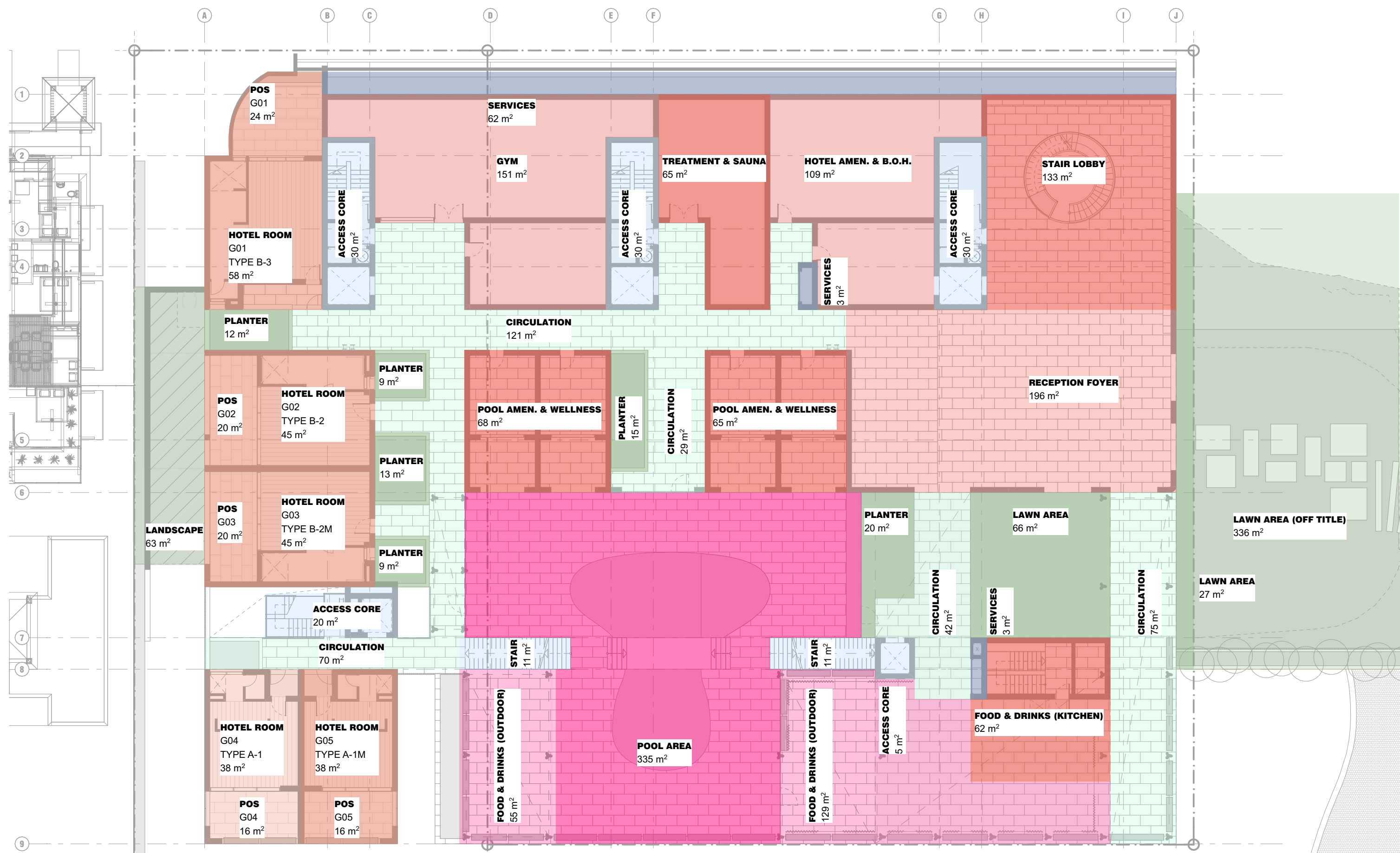
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			DRAWING CREATED:	SCALE: AS SHOWN @ A1
			DRAWING TITLE:	PLOT DATE: 18/11/2020
			SHADOW DIAGRAMS - DECEMBER	DRAWING NO: REV:
				P5.02

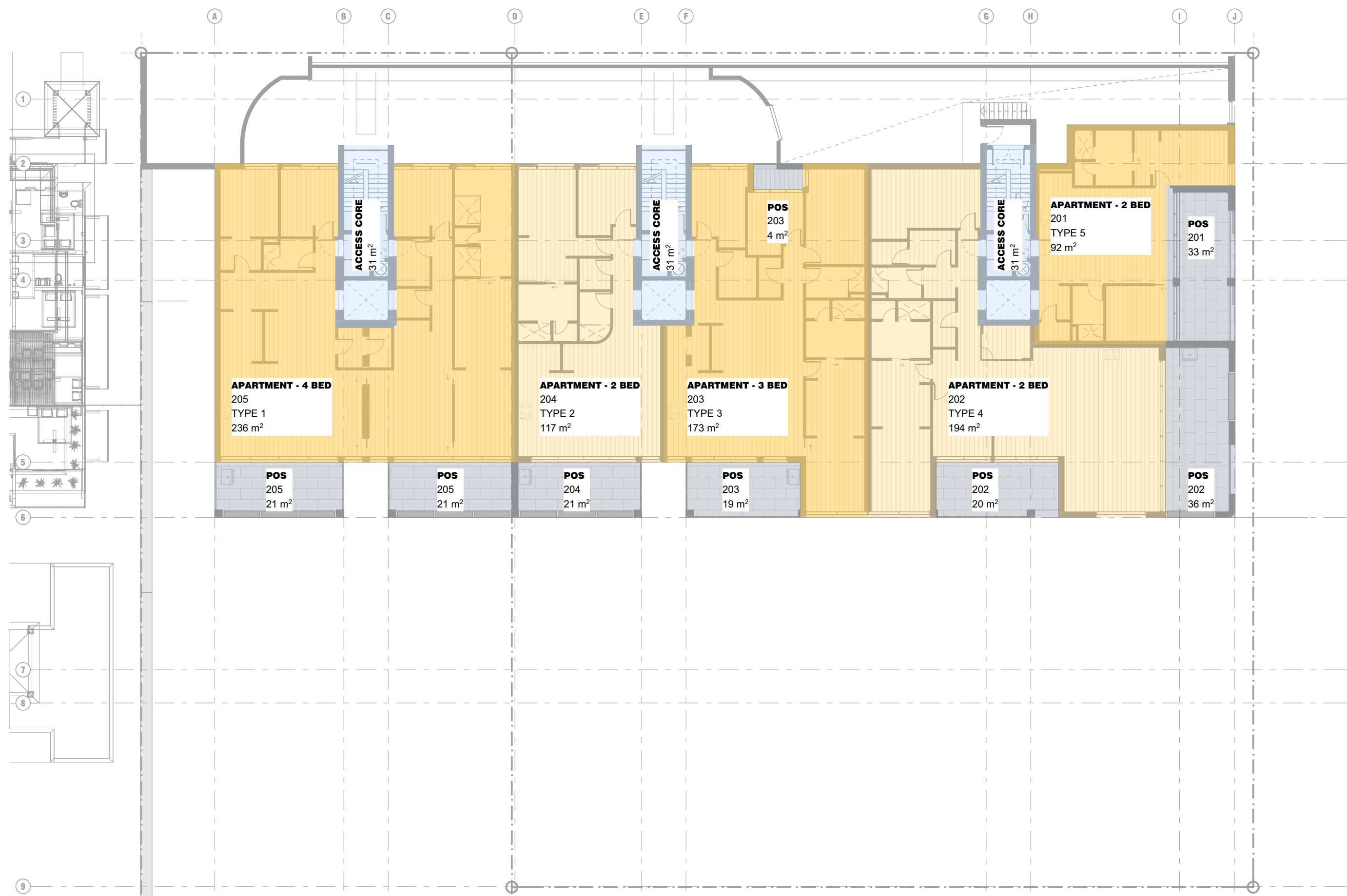




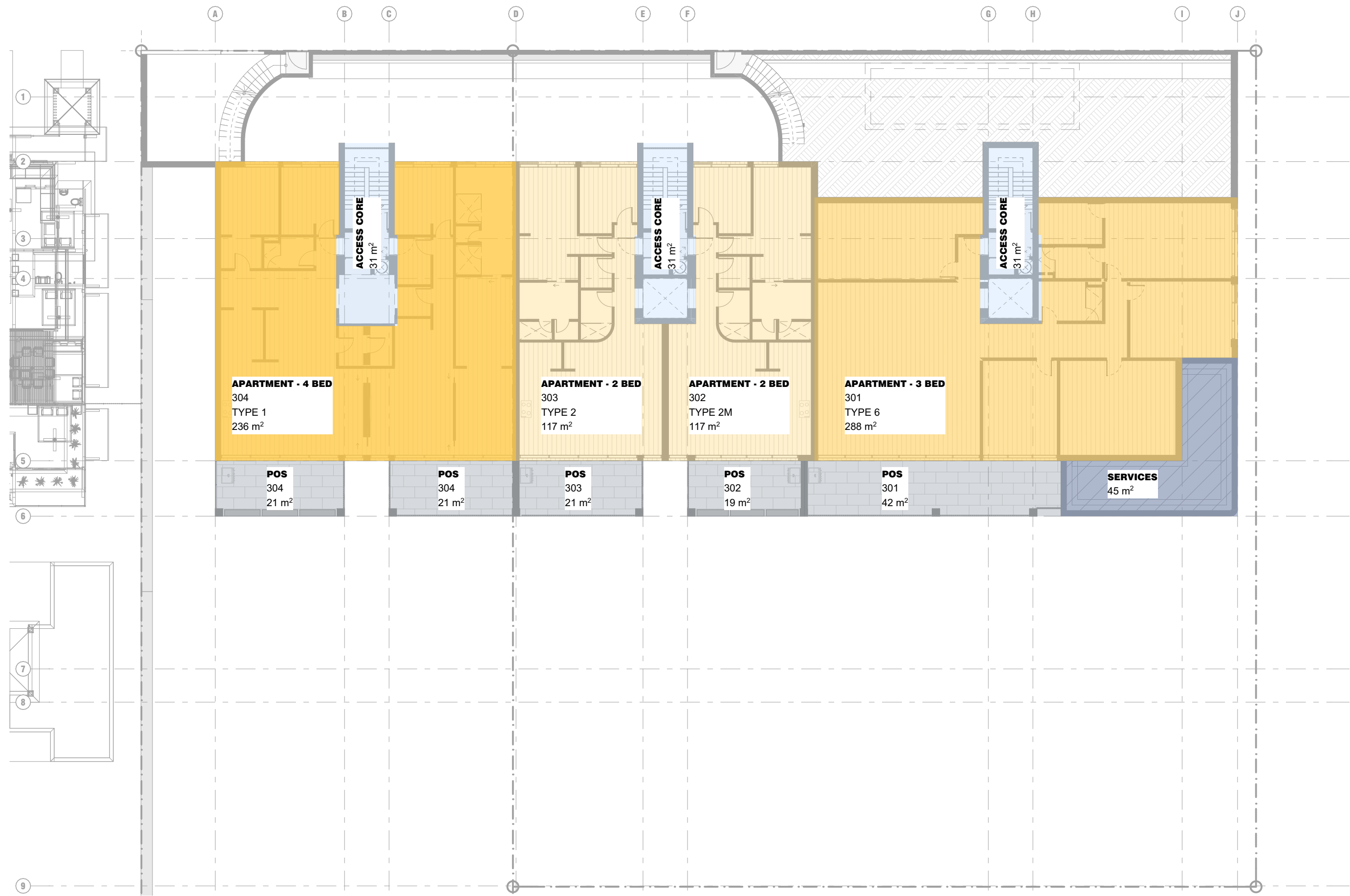






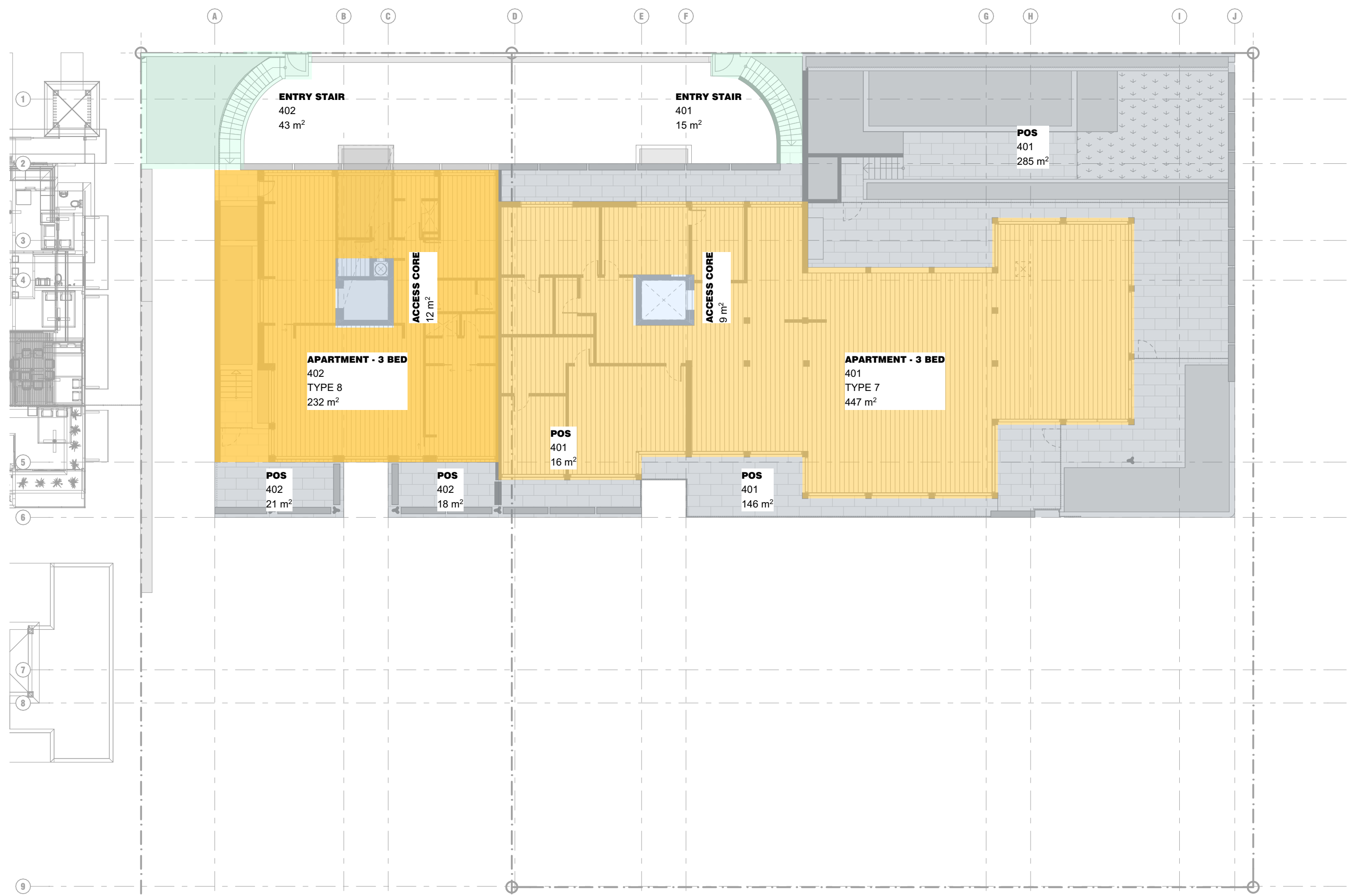


**02 SECOND LEVEL**  
SCALE: 1:200



**03 THIRD LEVEL**  
SCALE: 1:200





**04 FOURTH LEVEL**  
SCALE: 1:200



NET SALEABLE AREAS

NOTES

INTERNAL AREAS ARE APPROXIMATE AND GENERALLY MEASURED TO OUTER FACE OF EXTERNAL WALLS, CENTERLINE OF COMMON WALLS, INSIDE FACE OF COMMON STAIR/ LIFT CORE WALLS.

SERVICES STACK HAVE BEEN INCLUDED IN AREAS PENDING DETAILED DESIGN.

THE ACCURACY OF INFORMATION PROVIDED IS BELIEVED TO BE CORRECT AT THE TIME OF PREPARATION BASED ON THE EXTENT OF INFORMATION AVAILABLE.

TITLING SHALL BE CONFIRMED BY A QUALIFIED LAND SURVEYOR

NET SALEABLE AREA

AREA USE	No.	SOLE OCCUPANCY		AREA
APARTMENT	101	APARTMENT - 2 BED	TYPE 5	92
	102	APARTMENT - 2 BED	TYPE 4	194
	103	APARTMENT - 3 BED	TYPE 3	174
	104	APARTMENT - 2 BED	TYPE 2	117
	105	APARTMENT - 4 BED	TYPE 1	236
	201	APARTMENT - 2 BED	TYPE 5	92
	202	APARTMENT - 2 BED	TYPE 4	194
	203	APARTMENT - 3 BED	TYPE 3	173
	204	APARTMENT - 2 BED	TYPE 2	117
	205	APARTMENT - 4 BED	TYPE 1	236
	301	APARTMENT - 3 BED	TYPE 6	288
	302	APARTMENT - 2 BED	TYPE 2M	117
	303	APARTMENT - 2 BED	TYPE 2	117
	304	APARTMENT - 4 BED	TYPE 1	236
	401	APARTMENT - 3 BED	TYPE 7	447
	402	APARTMENT - 3 BED	TYPE 8	232
16				3,062 m <sup>2</sup>
HOTEL INTERIOR				
B01	HOTEL ROOM	TYPE A-1	38	
B02	HOTEL ROOM	TYPE A-1M	38	
B03	HOTEL ROOM	TYPE A-2M	48	
B04	HOTEL ROOM	TYPE B-4	68	
B05	HOTEL ROOM	TYPE A-2	47	
B06	HOTEL ROOM	TYPE B-5	52	
B07	HOTEL ROOM	TYPE C-1	56	
G01	HOTEL ROOM	TYPE B-3	58	
G02	HOTEL ROOM	TYPE B-2	45	
G03	HOTEL ROOM	TYPE B-2M	45	
G04	HOTEL ROOM	TYPE A-1	38	
G05	HOTEL ROOM	TYPE A-1M	38	
LG01	HOTEL ROOM	TYPE A-1	38	
LG02	HOTEL ROOM	TYPE A-1M	38	
LG03	HOTEL ROOM	TYPE A-2	50	
LG04	HOTEL ROOM	TYPE A-1	38	
LG05	HOTEL ROOM	TYPE B-5	52	
LG06	HOTEL ROOM	TYPE C-1	58	
18				845 m <sup>2</sup>
34				3,907 m <sup>2</sup>

PRIVATE OPEN SPACE

AREA USE	No.	AREA
APARTMENT POS	101	POS 33
	102	POS 56
	103	POS 41
	104	POS 54
	105	POS 113
	201	POS 33
	202	POS 56
	203	POS 23
	204	POS 21
	205	POS 42
	301	POS 42
	302	POS 19
	303	POS 21
	304	POS 42
	401	POS 447
	402	POS 39
		1,082 m <sup>2</sup>
HOTEL EXTERIOR	B01	POS 16
	B02	POS 16
	B03	POS 16
	B04	POS 23
	B05	POS 16
	B06	POS 21
	B07	POS 16
	G01	POS 24
	G02	POS 20
	G03	POS 20
	G04	POS 16
	G05	POS 16
	LG01	POS 16
	LG02	POS 16
	LG03	POS 17
	LG04	POS 17
LG05	POS 21	
LG06	POS 15	
		322 m <sup>2</sup>
		1,404 m <sup>2</sup>

GARAGE & CARPARKING

AREA USE	TENANCY	No. CARPARKS	AREA
CARPARK			
	HOTEL	22 (INCL. 1x DDA) + 3 TEMPORARY	655
			655 m²
GARAGE & STORE			
	APART 401	2	67
			67 m²
	27		722 m²

PLANNING SCHEME AREAS

GROSS FLOOR AREA (PLANNING):

THE TOTAL FLOOR AREA OF ALL STOREYS OF A BUILDING (MEASURED FROM THE OUTSIDE OF THE EXTERNAL WALLS OR THE CENTRE OF A COMMON WALL), OTHER THAN AREAS USED FOR THE FOLLOWING:

(A) BUILDING SERVICES, PLANT AND EQUIPMENT  
(B) ACCESS BETWEEN LEVELS  
(C) GROUND FLOOR PUBLIC LOBBY  
(D) A MALL  
(E) THE PARKING, LOADING AND MANOEUVRING OF MOTOR VEHICLES  
(F) UNENCLOSED PRIVATE BALCONIES WHETHER ROOFED OR NOT.

GFA (PLANNING)

STOREY	AREA USE		AREA
B1 BASEMENT LEVEL	CIRCULATION	CIRCULATION	130
	HOTEL AMENITY INTERIOR	FOOD & DRINKS	31
	HOTEL INTERIOR	HOTEL ROOM	347
			508 m²
LG LOWER GROUND LEVEL	CIRCULATION	CIRCULATION	118
	HOTEL AMENITY INTERIOR	BIKE STORE	26
	HOTEL AMENITY INTERIOR	FOOD & DRINKS (KITCHEN)	82
	HOTEL AMENITY INTERIOR	REFUSE	67
	HOTEL INTERIOR	HOTEL ROOM	274
			567 m²
00 GROUND LEVEL	CIRCULATION	CIRCULATION	337
	HOTEL AMENITY INTERIOR	FOOD & DRINKS (KITCHEN)	62
	HOTEL AMENITY INTERIOR	GYM	151
	HOTEL AMENITY INTERIOR	HOTEL AMEN. & B.O.H.	109
	HOTEL AMENITY INTERIOR	POOL AMEN. & WELLNESS	133
	HOTEL AMENITY INTERIOR	TREATMENT & SAUNA	65
	HOTEL INTERIOR	HOTEL ROOM	224
			1,081 m²
01 FIRST LEVEL	APARTMENT	APARTMENT - 2 BED	403
	APARTMENT	APARTMENT - 3 BED	174
	APARTMENT	APARTMENT - 4 BED	236
			813 m²
02 SECOND LEVEL	APARTMENT	APARTMENT - 2 BED	403
	APARTMENT	APARTMENT - 3 BED	173
	APARTMENT	APARTMENT - 4 BED	236
			812 m²
03 THIRD LEVEL	APARTMENT	APARTMENT - 2 BED	234
	APARTMENT	APARTMENT - 3 BED	288
	APARTMENT	APARTMENT - 4 BED	236
			758 m²
04 FOURTH LEVEL	APARTMENT	APARTMENT - 3 BED	679
	CIRCULATION	ENTRY STAIR	58
			737 m²
			5,276 m²

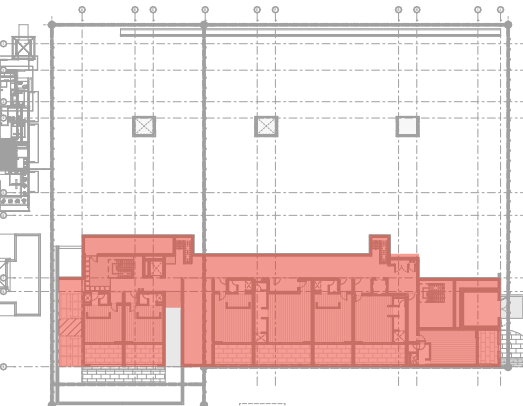
SITE COVER

THE PROPORTION OF THE SITE COVERED BY A BUILDING(S), STRUCTURE(S) ATTACHED TO THE BUILDING(S) AND CARPORT(S), CALCULATED TO THE OUTER MOST PROJECTIONS OF THE BUILDING(S) AND EXPRESSED AS A PERCENTAGE. THE TERM DOES NOT INCLUDE:

(A) ANY STRUCTURE OR PART THEREOF INCLUDED IN A LANDSCAPED OPEN SPACE AREA SUCH AS A GAZEBO OR SHADE STRUCTURE;  
(B) BASEMENT CAR PARKING AREAS LOCATED WHOLLY BELOW GROUND LEVEL.

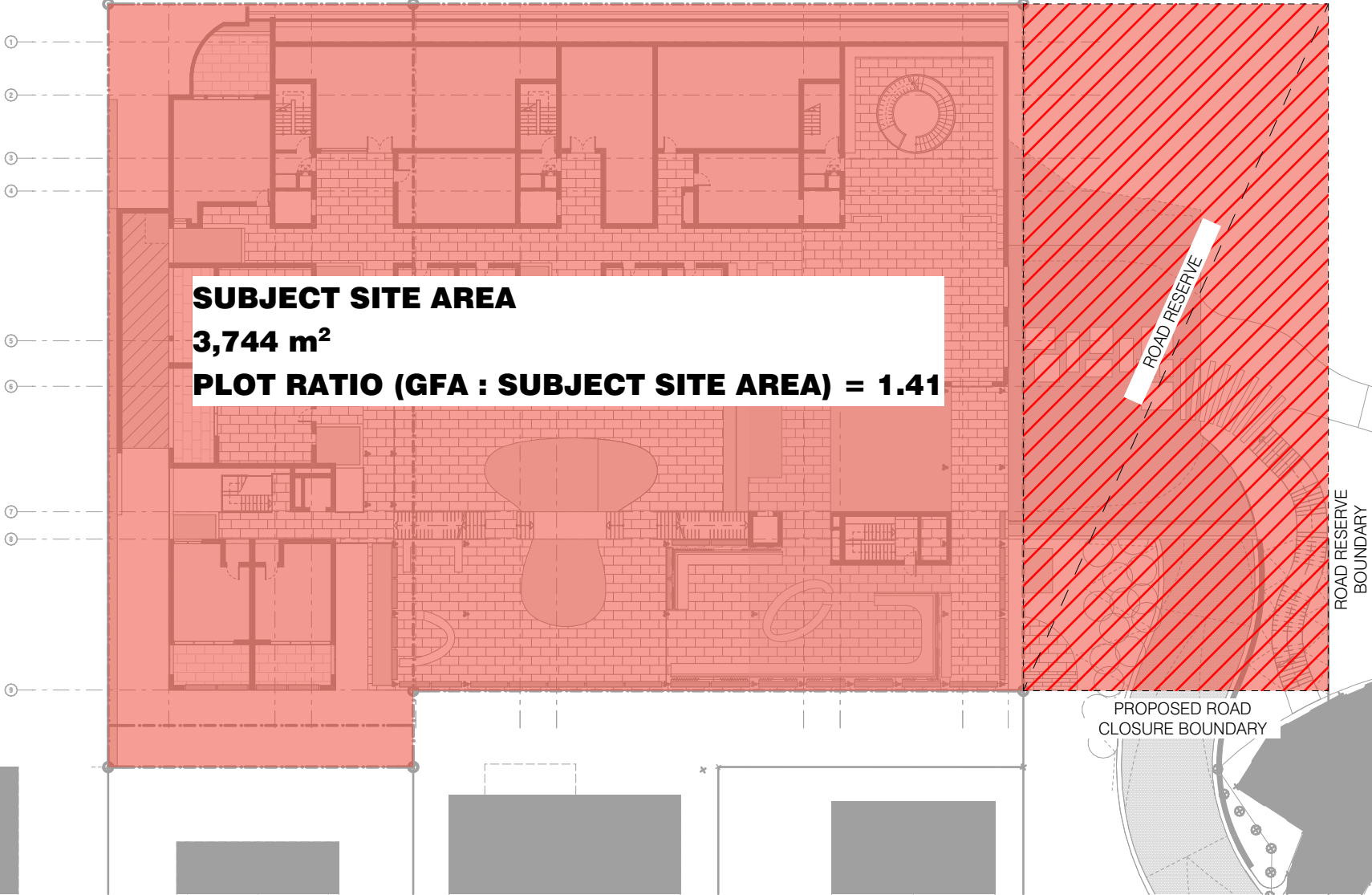
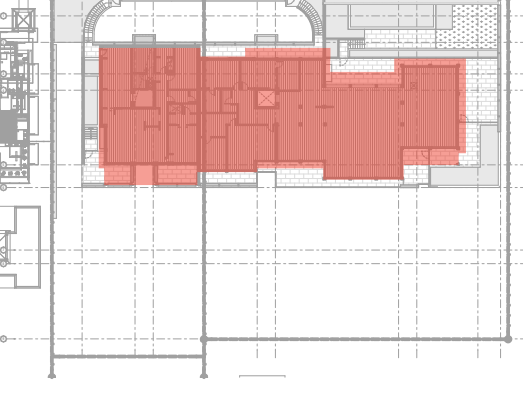
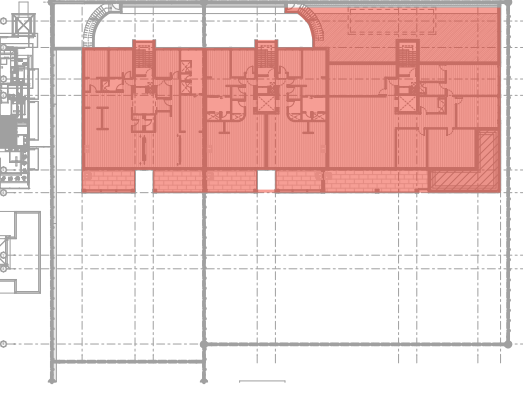
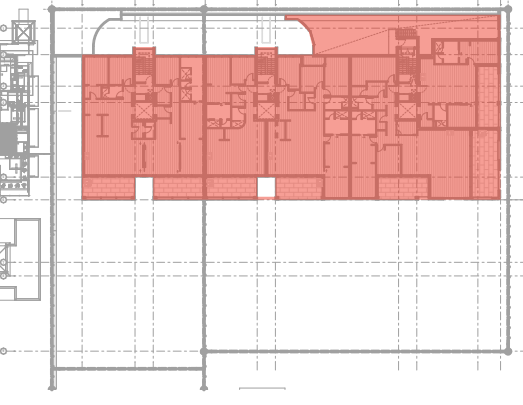
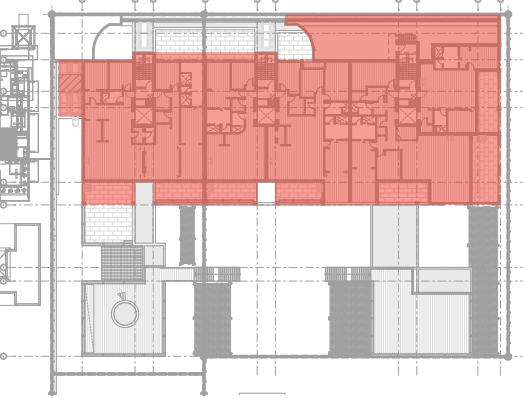
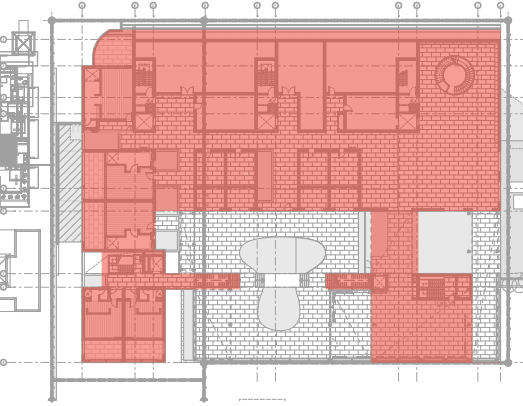
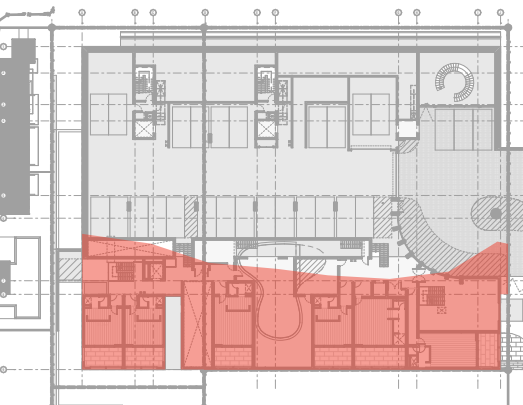
GROUND LEVEL DEFINITION:  
THE LEVEL OF THE NATURAL GROUND, OR, WHERE THE LEVEL OF THE NATURAL GROUND HAS BEEN CHANGED, THE LEVEL AS LAWFULLY CHANGED.

EXCLUDES GARDEN AREA TO APARTMENT 401



SITE COVER

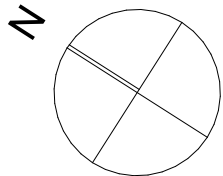
STOREY	%	AREA
B1 BASEMENT LEVEL	23%	859
LG LOWER GROUND LEVEL	21%	775
00 GROUND LEVEL	47%	1,763
01 FIRST LEVEL	33%	1,247
02 SECOND LEVEL	32%	1,191
03 THIRD LEVEL	32%	1,191
04 FOURTH LEVEL	21%	769



SUBJECT SITE & PLOT RATIO

SCALE: 1:400  
PLOT RATIO  
THE RATIO OF GROSS FLOOR AREA TO THE AREA OF THE SITE.

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REV	DESCRIPTION	DATE	PROJECT:	CLIENT:
			69-73 MURPHY STREET, PORT DOUGLAS QLD 4877	GURNER TM
			DRAWING CREATED: DRAWING TITLE:	SCALE: AS SHOWN @ A1 PLOT DATE: 18/11/2020 DRAWING NO: REV:
			DEVELOPMENT SUMMARY	P5.07



NET SALEABLE AREAS

NOTES

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NET SALEABLE AREA

AREA USE	No.	SOLE OCCUPANCY	AREA
APARTMENT			
	101	APARTMENT - 2 BED	92
	102	APARTMENT - 2 BED	194
	103	APARTMENT - 3 BED	174
	104	APARTMENT - 2 BED	117
	105	APARTMENT - 4 BED	236
	201	APARTMENT - 2 BED	92
	202	APARTMENT - 2 BED	194
	203	APARTMENT - 3 BED	173
	204	APARTMENT - 2 BED	117
	205	APARTMENT - 4 BED	236
	301	APARTMENT - 3 BED	288
	302	APARTMENT - 2 BED	117
	303	APARTMENT - 2 BED	117
	304	APARTMENT - 4 BED	236
	401	APARTMENT - 3 BED	447
	402	APARTMENT - 3 BED	232
	16		3,062 m²
HOTEL INTERIOR			
	B01	HOTEL ROOM	38
	B02	HOTEL ROOM	38
	B03	HOTEL ROOM	48
	B04	HOTEL ROOM	68
	B05	HOTEL ROOM	47
	B06	HOTEL ROOM	52
	B07	HOTEL ROOM	56
	G01	HOTEL ROOM	58
	G02	HOTEL ROOM	45
	G03	HOTEL ROOM	45
	G04	HOTEL ROOM	38
	G05	HOTEL ROOM	38
	LG01	HOTEL ROOM	38
	LG02	HOTEL ROOM	38
	LG03	HOTEL ROOM	50
	LG04	HOTEL ROOM	38
	LG05	HOTEL ROOM	52
	LG06	HOTEL ROOM	58
	18		845 m²
	34		3,907 m²

PRIVATE OPEN SPACE

AREA USE	No.	AREA
APARTMENT POS	101	POS 33
	102	POS 56
	103	POS 41
	104	POS 54
	105	POS 113
	201	POS 33
	202	POS 56
	203	POS 23
	204	POS 21
	205	POS 42
	301	POS 42
	302	POS 19
	303	POS 21
	304	POS 42
	401	POS 447
	402	POS 39
		1,082 m <sup>2</sup>
HOTEL EXTERIOR		
B01	POS 16	
B02	POS 16	
B03	POS 16	
B04	POS 23	
B05	POS 16	
B06	POS 21	
B07	POS 16	
G01	POS 24	
G02	POS 20	
G03	POS 20	
G04	POS 16	
G05	POS 16	
LG01	POS 16	
LG02	POS 16	
LG03	POS 17	
LG04	POS 17	
LG05	POS 21	
LG06	POS 15	
		322 m <sup>2</sup>
		1,404 m <sup>2</sup>

GARAGE & CARPARKING

AREA USE	TENANCY	No.	CARPARKS	AREA
CARPARK				
	HOTEL	22 (INCL. 1x DDA) + 3 TEMPORARY		655
				655 m²
GARAGE & STORE				
	APART 401	2		67
				67 m²
	27			722 m²

TOTAL FLOOR AREA (BY STOREY)

NOTES

EXCLUDES ON-GROUND LANDSCAPE (i.e. NON PLANTERBOXES OR NOT BUILT ON A CONCRETE LID)

EXCLUDES DRIVEWAY

TOTAL FLOOR AREA

AREA USE	ZONE	No.	AREA	
APARTMENT	APARTMENT - 2 BED	101	TYPE 5	92
	APARTMENT - 2 BED	102	TYPE 4	194
	APARTMENT - 2 BED	104	TYPE 2	117
	APARTMENT - 2 BED	201	TYPE 5	92
	APARTMENT - 2 BED	202	TYPE 4	194
	APARTMENT - 2 BED	204	TYPE 2	117
	APARTMENT - 2 BED	302	TYPE 2M	117
	APARTMENT - 2 BED	303	TYPE 2	117
	APARTMENT - 3 BED	103	TYPE 3	174
	APARTMENT - 3 BED	203	TYPE 3	173
	APARTMENT - 3 BED	301	TYPE 6	288
	APARTMENT - 3 BED	401	TYPE 7	447
	APARTMENT - 3 BED	402	TYPE 8	232
	APARTMENT - 4 BED	105	TYPE 1	236
	APARTMENT - 4 BED	205	TYPE 1	236
	APARTMENT - 4 BED	304	TYPE 1	236
3,062 m²				
APARTMENT COMMON	BINS		30	
			30 m²	
APARTMENT POS	POS	101	33	
	POS	102	56	
	POS	103	41	
	POS	104	54	
	POS	105	113	
	POS	201	33	
	POS	202	56	
	POS	203	23	
	POS	204	21	
	POS	205	42	
	POS	301	42	
	POS	302	19	
	POS	303	21	
	POS	304	42	
	POS	401	447	
POS	402	39		
1,082 m²				
CIRCULATION	CIRCULATION		585	
	ENTRY STAIR	401	15	
	ENTRY STAIR	402	43	
			643 m²	
COMMERCIAL EXTERIOR	EASTERN TERRACE		132	

AREA USE	ZONE	No.	AREA	
	FOOD & DRINKS (OUTDOOR)		184	
	POOL AREA		335	
	WESTERN TERRACE (POOL)		122	
			773 m²	
HOTEL AMENITY INTERIOR				
	BIKE STORE		26	
	FOOD & DRINKS		31	
	FOOD & DRINKS (KITCHEN)		144	
	GYM		151	
	HOTEL AMEN. & B.O.H.		109	
	POOL AMEN. & WELLNESS		133	
	RECEPTION FOYER		196	
	REFUSE		67	
	STAIR LOBBY		221	
	TREATMENT & SAUNA		65	
			1,143 m²	
HOTEL EXTERIOR				
	POS	B01	16	
	POS	B02	16	
	POS	B03	16	
	POS	B04	23	
	POS	B05	16	
	POS	B06	21	
	POS	B07	16	
	POS	G01	24	
	POS	G02	20	
	POS	G03	20	
	POS	G04	16	
	POS	G05	16	
	POS	LG01	16	
	POS	LG02	16	
	POS	LG03	17	
	POS	LG04	17	
	POS	LG05	21	
	POS	LG06	15	
			322 m²	
HOTEL INTERIOR				
	HOTEL ROOM	B01	TYPE A-1	38
	HOTEL ROOM	B02	TYPE A-1M	38
	HOTEL ROOM	B03	TYPE A-2M	48
	HOTEL ROOM	B04	TYPE B-4	68
	HOTEL ROOM	B05	TYPE A-2	47
	HOTEL ROOM	B06	TYPE B-5	52
	HOTEL ROOM	B07	TYPE C-1	56
	HOTEL ROOM	G01	TYPE B-3	58
	HOTEL ROOM	G02	TYPE B-2	45

AREA USE	ZONE	No.	AREA	
	HOTEL ROOM	G03	TYPE B-2M	45
	HOTEL ROOM	G04	TYPE A-1	38
	HOTEL ROOM	G05	TYPE A-1M	38
	HOTEL ROOM	LG01	TYPE A-1	38
	HOTEL ROOM	LG02	TYPE A-1M	38
	HOTEL ROOM	LG03	TYPE A-2	50
	HOTEL ROOM	LG04	TYPE A-1	38
	HOTEL ROOM	LG05	TYPE B-5	52
	HOTEL ROOM	LG05	TYPE C-1	58
				845 m <sup>2</sup>
INTER-STOREY ACCESS & SERV.				
	ACCESS CORE			533
	SERVICES			887
	STAIR			49
				1,469 m <sup>2</sup>
LANDSCAPE				
	GREEN ROOF			52
	GREEN ROOF	105		22
	LAWN AREA			93
	LAWN AREA (OFF TITLE)			336
	PLANTER			89
				592 m <sup>2</sup>
PARKING & VEHICLE ACCESS				
	CARPARK	HÔTEL		655
	COVERED ENTRY			504
	GARAGE & STORE	APART 401		67
				1,226 m <sup>2</sup>
				11,187 m <sup>2</sup>

EXCAVATED AREAS

