

23 September 2020

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman Qld 4873

Attention: Development Assessment

Dear Sir/Madam

RE: Application for Early Concurrence Agency Assessment (Caretakers)– Amenity and Aesthetics Referral - 2125 Mossman Daintree Road, Wonga Beach – Lot 104 on SP146780

Rapid Building Approvals acting on behalf of the owners of the abovementioned land A Schoenberger seek **an early concurrence agency response** over land at 2125 Mossman Daintree Road, Wonga Beach legally described at Lot 104 on SP146780.

The proposal is to introduce a caretakers dwelling located in the middle paddock of the property (see site plan). With the site and property being located within the rural zone (Figure 1). With the proposed development being identified as self-assessable under the Planning Scheme.

There is already approved for Animal keeping (Native Animal Rehabilitation) located on the site (MCUC2020/3683/1). Furthermore, we have an undertaking from the property owner that it was and is their intention to establish a small tropical fruit farm, initially of 100 trees, but not exceeding 5,000m² of the cropping area. To be in the middle paddock in proximity to the proposed caretaker's residence. The caretakers will also provide general maintenance of the property for example: maintaining roads/tracks, drainage lines, pest flora and fauna etc. It's noted that a proposed walkway will connect the existing dwelling and the existing secondary dwelling. With this to be converted into a single dwelling. Our Building Approval will be conditioned to reflect the above land use definitions to ensure compliance.

In our assessment, the only identified non-compliance is due to the Hillslopes which triggers a concurrence agency assessment. This is also confirmed in Council correspondence. This assessment is provided below for your consideration and decision.

Supporting this application, the following is provided:

- DA Form;
- Hillslopes Overlay Code Assessment;
- Plans (site plan, floor plan, elevations and walkway plan);
- Fee: \$333.00 (previously paid).

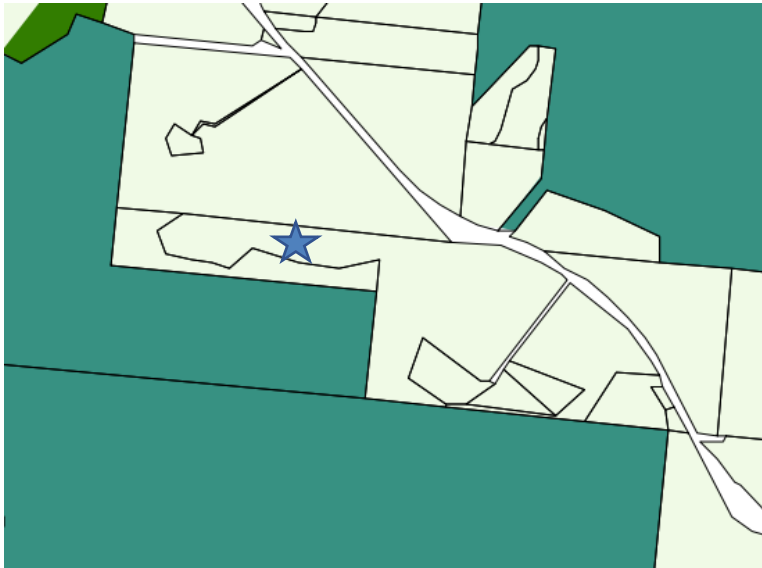
Should you require any further information or assistance in relation to this manner please don't hesitate to contact Ryan Bird on (07) 4229 0835 or via email at approvals@rapidapprovals.com.au

Regards,
Ryan Bird

The proposed dark and subdued colours for the proposed caretakers residence are:

- House exterior-Deep Ocean
- Roof- Surf Mist
- Trim and gutters- Shale Grey

Figure 1- Rural Zoning:



Hillslopes Overlay Code

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable development		
<p>PO1 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p>AO1.1 Development is located on parts of the site that are not within the Hillslopes constraint subcategory as shown on the Hillslopes overlay Maps contained in schedule 2.</p>	<p>Complies PO1. The area of the proposed secondary dwelling is flat and located behind the vegetation, making it not visible from the road.</p>
	<p>AO1.2 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%).</p>	<p>Complies. The proposed development does not occur on land with a gradient in excess of 1 in 6 (16.6%).</p>
For assessable development		
<p>PO2 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p>AO2.1 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) or</p> <p>AO2.2 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p> <p>AO2.3 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to minimise the visual impact of the construction; (c) provided with erosion control measures immediately after construction.</p> <p>AO2.4 The clearing or disturbance of vegetation is limited to clearing and disturbance that:</p>	<p>AO2.1 Complies. The proposed development does not occur on land with a gradient in excess of 1 in 6 (16.6%).</p> <p>AO2.2 N/A</p> <p>AO2.3 Conditioned to comply As the driveway and access will be a dirt driveway and access way where it will be design and materials used will be in similar type of other driveways and access within the surrounding area. Therefore, will not have a visual impact of the area as well have the same erosion control measures immediately after construction.</p> <p>AO2.4 Complies. The subject area of the caretakers dwelling is located in an existing cleared paddock. Therefore will not need any additional clearing or disturbance of vegetation on site.</p>

	<p>(a) is necessary for the construction of driveways; (b) is necessary to contain the proposed development; (c) minimises canopy clearing or disturbance; (d) minimises riparian clearing or disturbance.</p> <p>AO2.5 On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p> <p>AO2.6 Development does not alter the sky line.</p> <p>AO2.7 Buildings and structures: (a) are finished predominantly in the following exterior colours or surfaces: (i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; (b) are not finished in the following exterior colours or surfaces: (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces.</p> <p>AO2.8 Exterior colour schemes limit the use of white or other light</p>	<p>AO2.5 N/A</p> <p>AO2.6 Complies The proposed development will not alter the skyline.</p> <p>AO2.7 Complies. The proposed colours are:</p> <ul style="list-style-type: none"> ● House exterior-Deep Ocean ● Roof- Surf Mist ● Trim and gutters- Shale Grey <p>These colours are considered darker and more subdued palate and are generally consistent with other similar approvals in the shire.</p> <p>AO2.8 Complies. The exterior colour schemes does not</p>
--	---	--

	<p>colours to exterior trim and highlighting of architectural features</p> <p>AO2.9 Areas between the first floor (including outdoor deck areas) and ground-level are screened from view.</p> <p>AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land: (a) with a gradient of 1 in 6 (16.6%) or more; (b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.</p>	<p>use of white and other light colour on the proposed development. Therefore the proposed colour scheme will ensure that the caretakes will compatible with the surrounding area and landscape.</p> <p>AO2.9 N/A</p> <p>AO2.10 N/A</p>
<p>Lot reconfiguration – N/A</p>		



QLD KIT HOMES

Affordability Without Compromise

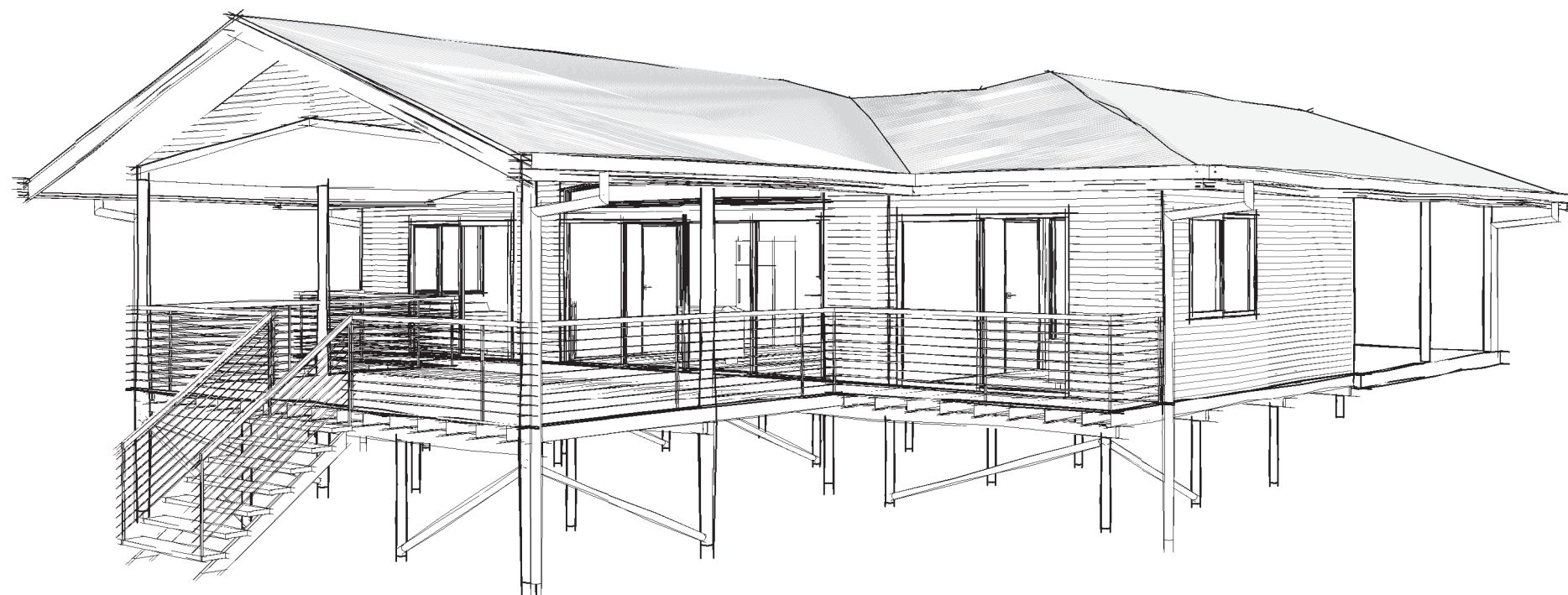
QBCC: 1117525

PROPOSED RESIDENCE

JOB NUMBER - NQS21

CLIENT - ANNIE SCHOENBERGER

SITE ADDRESS - Lot 104 on SP146780
2125 MOSSMAN DAINTREE RD
WONGA BEACH



34/5 FACULTY CLOSE, SMITHFIELD

PH: (07) 4038 3900

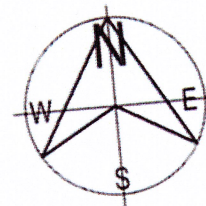
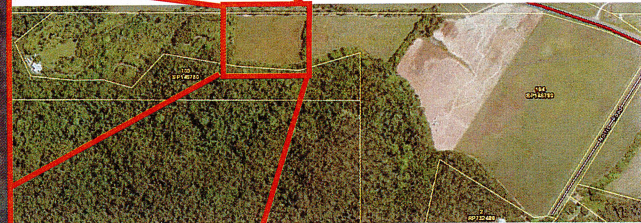
FAX: (07) 4027 9613

WEB: www.qldkithomes.com.au

DRAWING SCHEDULE

SHEET No.	SHEET NAME	SCALE	REVISION
00	COVER SHEET	NTS	A
01	CONSTRUCTION NOTES	NTS	A
02	SITE PLAN	NTS	A
03	FLOOR PLAN	1:100	A
04	ELEVATIONS	1:100	A
05	3D VIEWS	NTS	A
06	SECTION	1:50	A
07	SECTION DETAILS	AS NOTED	A
08	FOOTINGS PLAN	1:100	A
09	FOOTING DETAILS	1:100	A
10	SUBFLOOR LAYOUT	1:100	A
11	ROOF LAYOUT	1:100	A
12	ELECTRICAL PLAN	1:100	A
13	DRAINAGE PLAN	1:100	A

CONSTRUCTION ISSUE

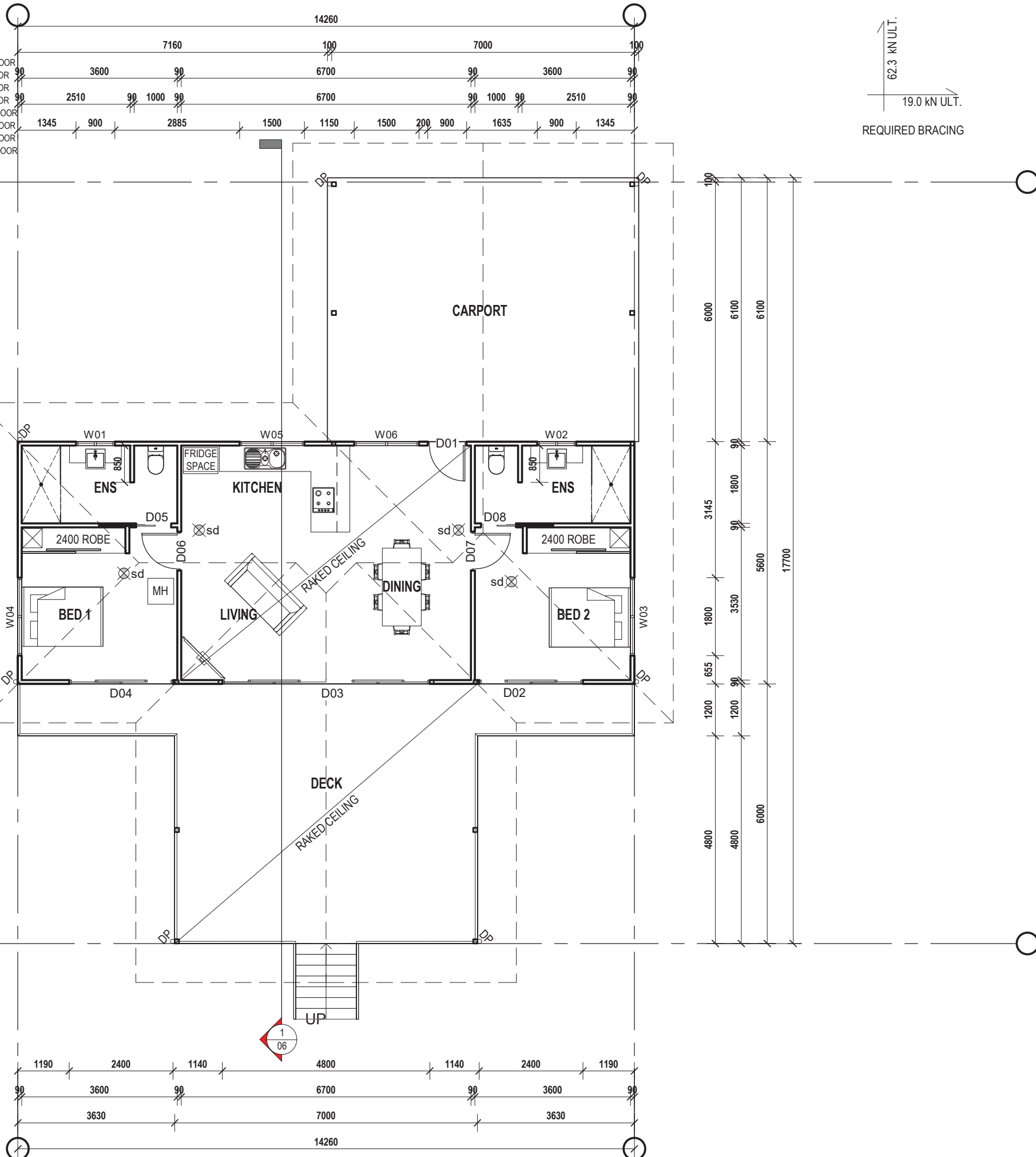


NQ Sheds & Patios Pty Ltd
ABN: 79 142 579 619
QBCC: 1201601 & 1117525
Address: 34/5 Faculty Close, Smithfield 4878
Ph: 07 4038 3900 W: www.nqsheds.com.au

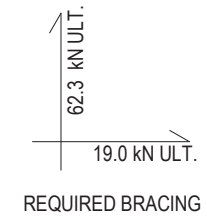
Client: Annie Schoenberger
Site: 2125 Mossman Daintree Rd
Wonga Beach 4873 QLD

Proposed: 2 Bed Dwelling
Project Number: Schoenberger
Site: 104/SP146780
Area: 360000m²

Door Schedule					
Mark	Room	Height	Width	Comments	Description
D01	CARPORT	2040 mm	820 mm	DOOR LEAF SIZE	820 SINGLE SWING DOOR
D02	BED 2	2100 mm	2400 mm	FRAME OPENING SIZE	SLIDING GLASS DOOR
D03	DECK	2100 mm	4800 mm	FRAME OPENING SIZE	SLIDING GLASS DOOR
D04	DECK	2100 mm	2400 mm	FRAME OPENING SIZE	SLIDING GLASS DOOR
D05	BED 1	2100 mm	1710 mm	FRAME OPENING SIZE	820 CAVITY SLIDING DOOR
D06	KITCHEN	2040 mm	820 mm	DOOR LEAF SIZE	820 SINGLE SWING DOOR
D07	BED 2	2040 mm	820 mm	DOOR LEAF SIZE	820 SINGLE SWING DOOR
D08	ENS	2100 mm	1710 mm	FRAME OPENING SIZE	820 CAVITY SLIDING DOOR



Window Schedule					
Mark	Room	Height	Width	Head Height	Description
W01	ENS	900 mm	900 mm	2100 mm	SLIDING GLASS WINDOW
W02	ENS	900 mm	900 mm	2100 mm	SLIDING GLASS WINDOW
W03	BED 2	1200 mm	1800 mm	2100 mm	SLIDING GLASS WINDOW
W04	BED 1	1200 mm	1800 mm	2100 mm	SLIDING GLASS WINDOW
W05	KITCHEN	900 mm	1500 mm	2100 mm	SLIDING GLASS WINDOW
W06	CARPORT	900 mm	1500 mm	2100 mm	SLIDING GLASS WINDOW
W14	DECK	800 mm	4800 mm	3080 mm	FIXED GABLE WINDOW



ELEVATION KEY

FLOOR AREAS LEGEND	
LIVING	79.83 m ²
DECK	50.74 m ²
CARPORT	43.92 m ²
TOTAL	174.49 m²

CERTIFIED AS STRUCTURALLY ADEQUATE

KFB Engineers Civil & Structural
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed: [Signature]
 Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE
FLOOR PLAN

SHEET NO. 03 PRINT TIME: 23/04/2020 1:31:48 PM

PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: 1:100 AT A3 ISSUE: A DRAWN BY: MB

CONSTRUCTION ISSUE

SSHINQ JOB No. NQS21 DRAWING No. 20040804

PROJECT
 PROPOSED RESIDENCE
 Lot 104 on SP146780
 2125 MOSSMAN DAINTREE RD
 WONGA BEACH

CLIENT
 ANNIE SCHOENBERGER

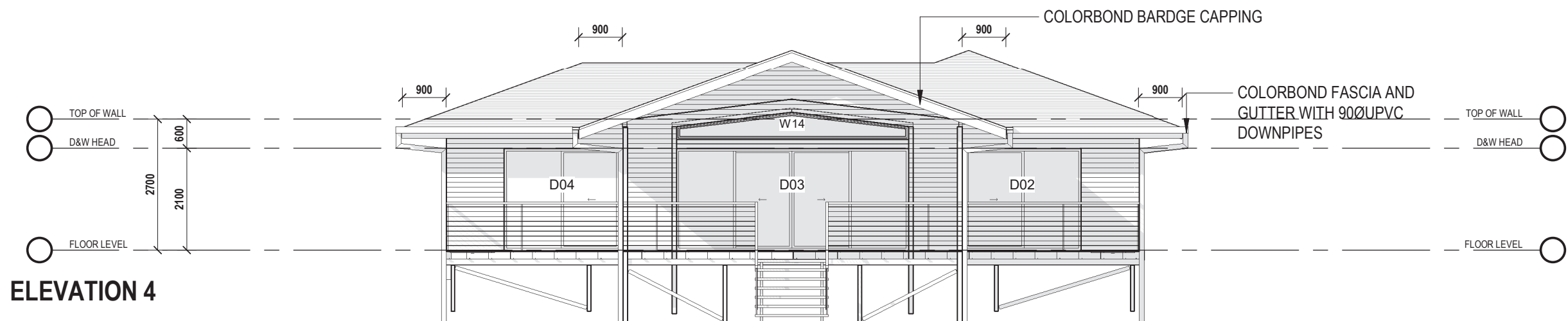
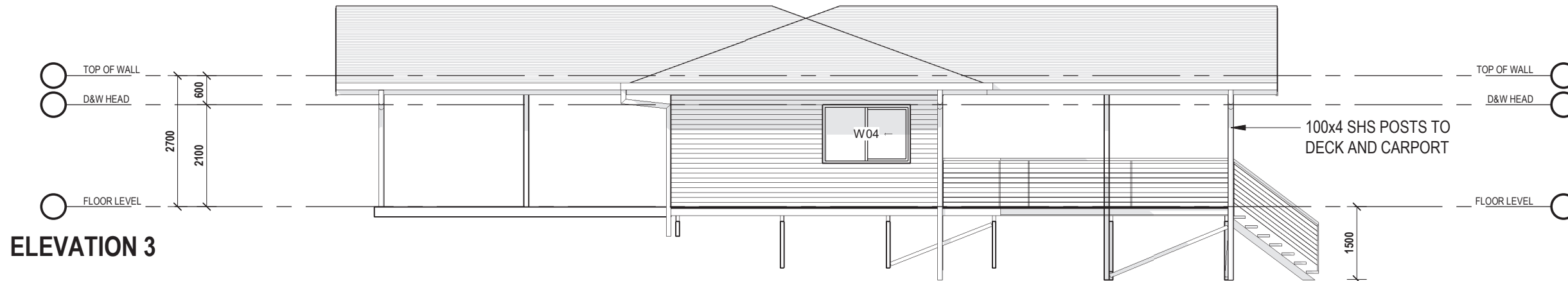
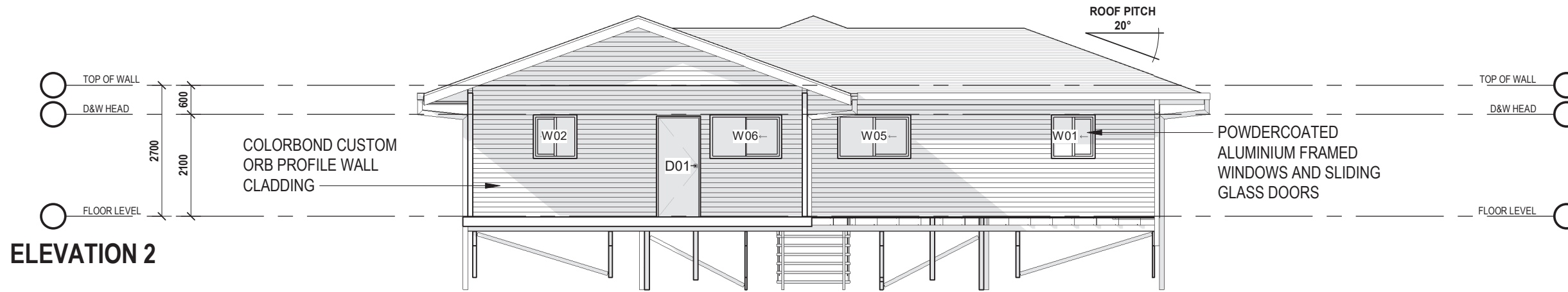
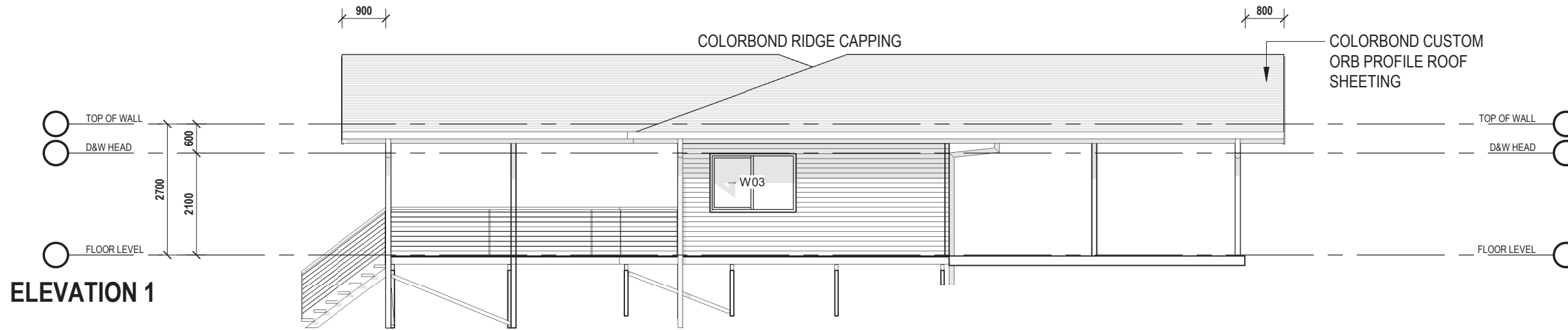
QBCC: 1117525



34/5 FACULTY CLOSE, SMITHFIELD
 PH: (07) 4038 3900
 FAX: (07) 4027 9613
 WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



CERTIFIED AS STRUCTURALLY ADEQUATE

KFB Engineers Civil & Structural
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed: [Signature]
 Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE
ELEVATIONS

SHEET NO. 04 PRINT TIME: 23/04/2020 1:31:50 PM

PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: 1:100 AT A3 ISSUE: A DRAWN BY: MB

CONSTRUCTION ISSUE

SSHQJ JOB No. NQS21 DRAWING No. 20040804

PROJECT
 PROPOSED RESIDENCE
 Lot 104 on SP146780
 2125 MOSSMAN DAINTREE RD
 WONGA BEACH

CLIENT
 ANNIE SCHOENBERGER

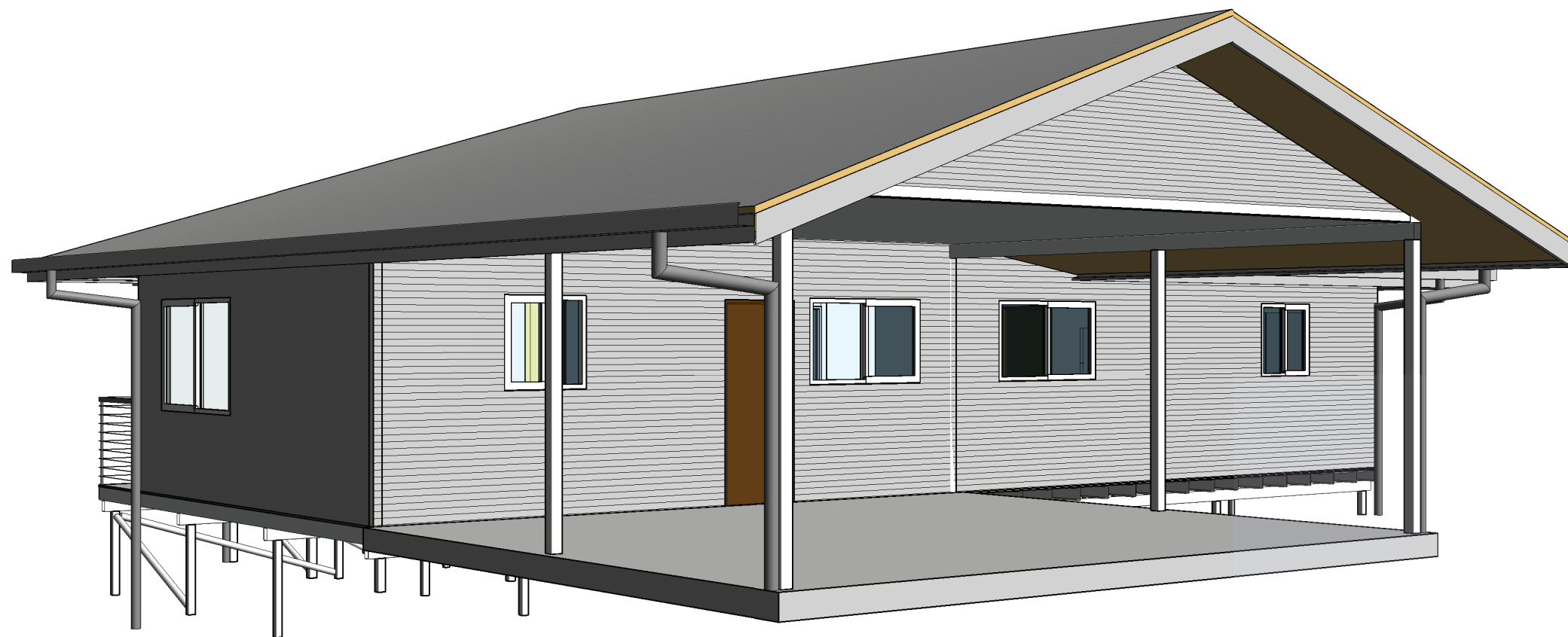
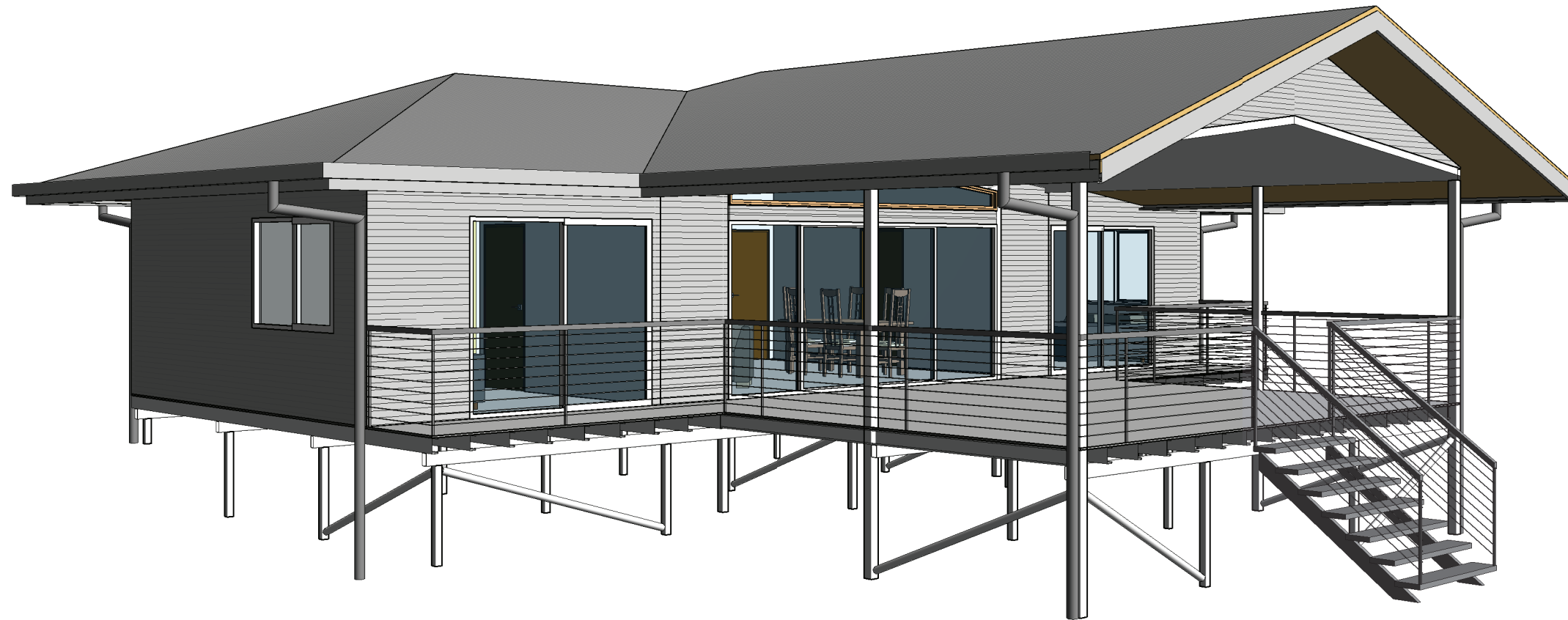
QBCC: 1117525

QLD KIT HOMES
 Affordability Without Compromise
 34/5 FACULTY CLOSE, SMITHFIELD

PH: (07) 4038 3900
 FAX: (07) 4027 9613
 WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



**CERTIFIED AS
STRUCTURALLY ADEQUATE**

KFB Engineers Civil & Structural
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed: 
 Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE
3D VIEWS

SHEET NO. 05 | PRINT TIME: 23/04/2020 1:31:52 PM

PRELIMINARY: 05/03/20 | CONSTRUCTION: 23/04/20

A3 SCALE: NTS AT A3 | ISSUE: A
 DRAWN BY: WE

CONSTRUCTION ISSUE

SSHQ JOB No. NQ521 | DRAWING No. 20040804

PROJECT
 PROPOSED RESIDENCE
 Lot 104 on SP146780
 2125 MOSSMAN DAINTREE RD
 WONGA BEACH

CLIENT
 ANNIE SCHOENBERGER

QBCC: 1117525

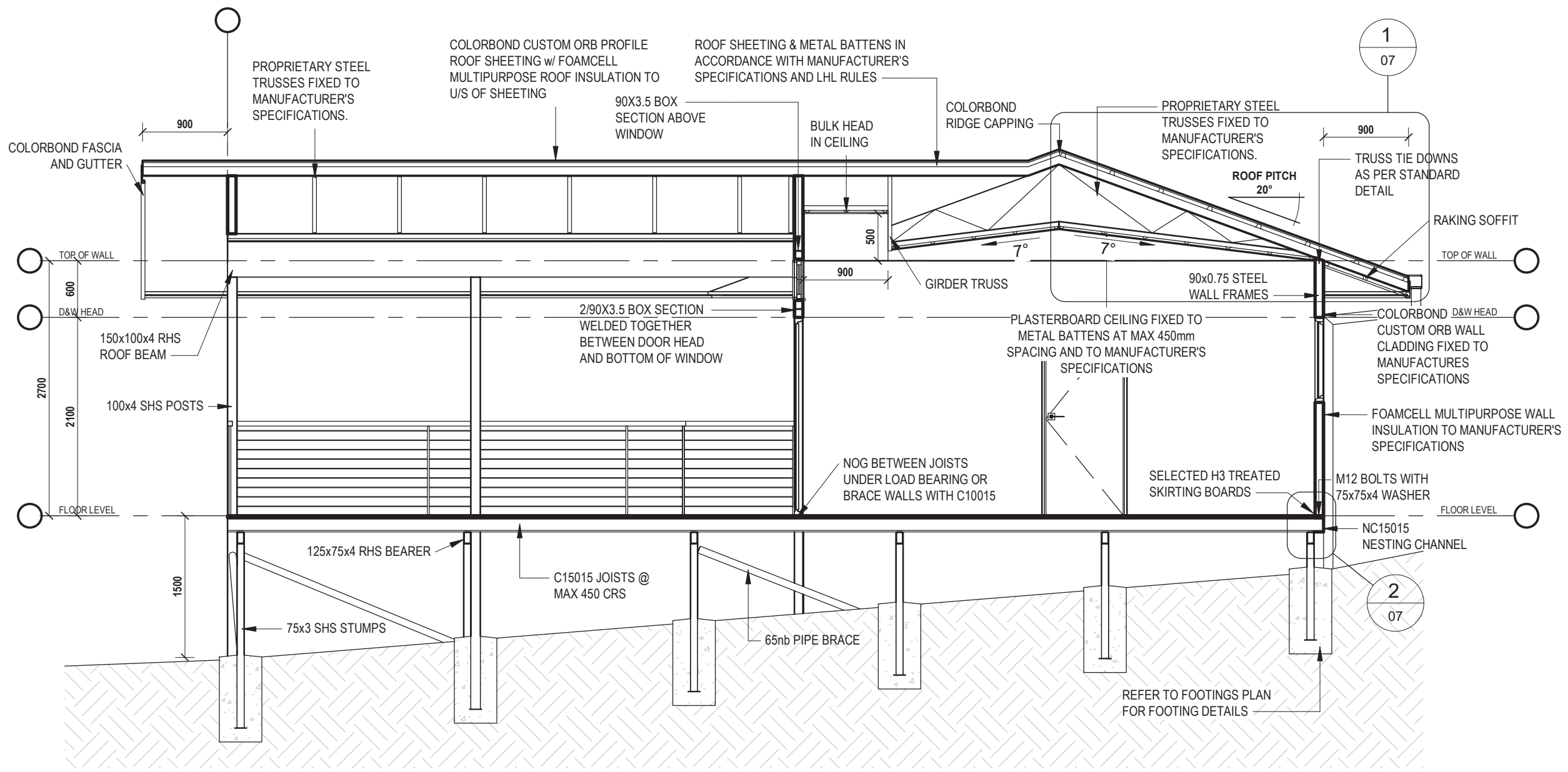


Affordability Without Compromise
 34/5 FACULTY CLOSE, SMITHFIELD

PH: (07) 4038 3900
 FAX: (07) 4027 9613
 WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, **WILL VOID** ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



1 SECTION
03 SCALE - 1 : 50

CERTIFIED AS STRUCTURALLY ADEQUATE

KFB Engineers Civil & Structural
1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed: [Signature]
Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE
SECTION

SHEET NO. 06 PRINT TIME: 23/04/2020 1:31:53 PM

PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: 1:50 AT A3 ISSUE: A DRAWN BY: MB

CONSTRUCTION ISSUE

SSHINQ JOB No. NQS21 DRAWING No. 20040804

PROJECT
PROPOSED RESIDENCE
Lot 104 on SP146780
2125 MOSSMAN DAINTREE RD
WONGA BEACH

CLIENT
ANNIE SCHOENBERGER

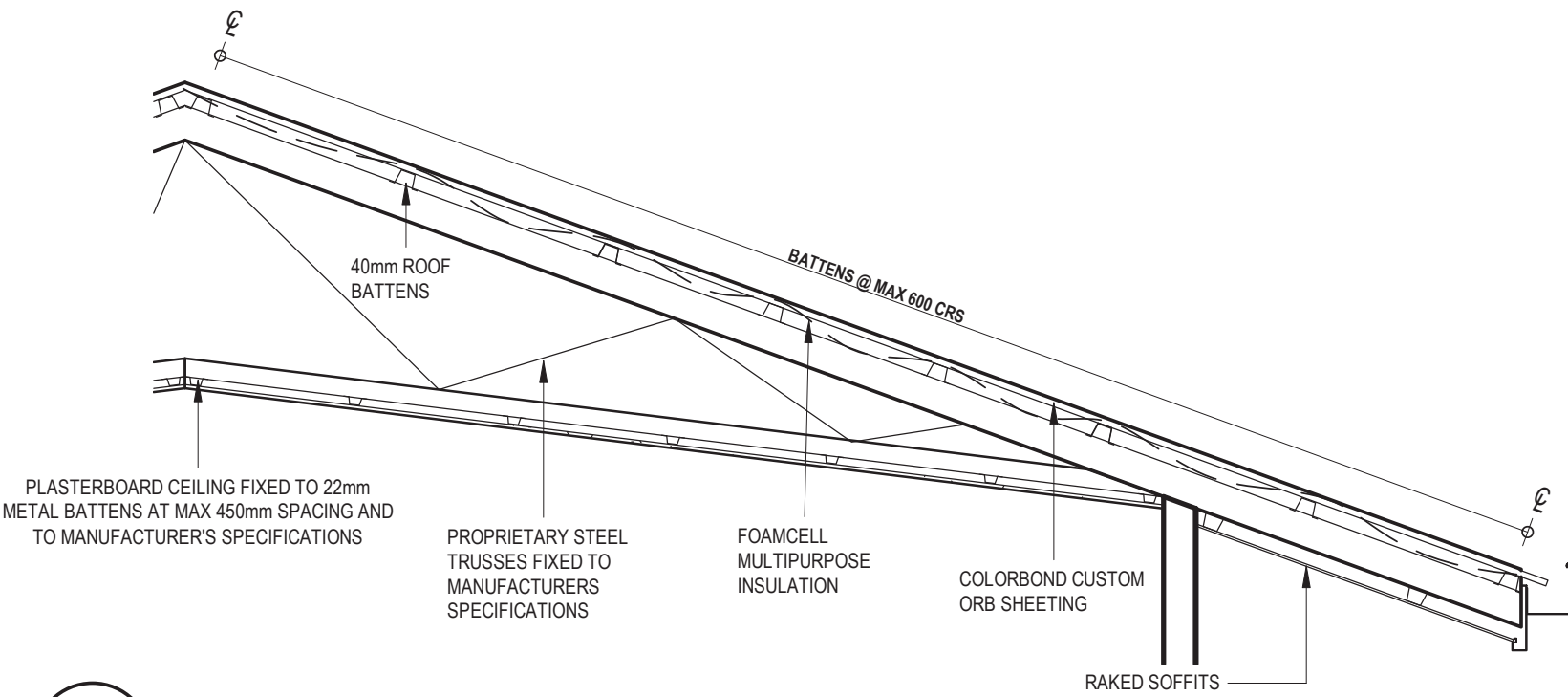
QBCC: 1117525



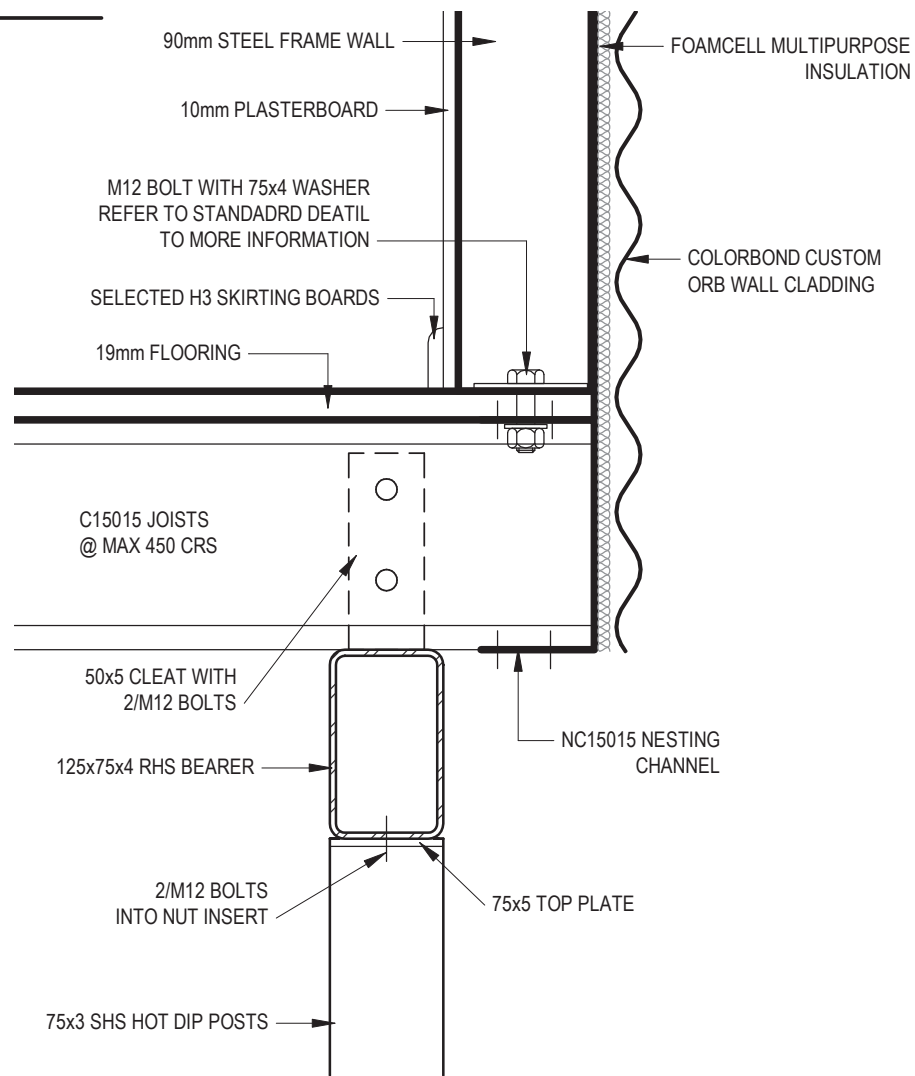
Affordability Without Compromise
34/5 FACULTY CLOSE, SMITHFIELD
PH: (07) 4038 3900
FAX: (07) 4027 9613
WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



1 ROOF DETAIL
06 SCALE - 1 : 20



2 WALL DETAIL
06 SCALE - 1 : 5

CERTIFIED AS STRUCTURALLY ADEQUATE

KFB Engineers Civil & Structural
1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed:

Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE

SECTION DETAILS

SHEET NO. 07 PRINT TIME: 23/04/2020 1:31:53 PM

PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: AS NOTED AT A3 ISSUE: A DRAWN BY: MB

CONSTRUCTION ISSUE

SSHQ JOB No. NQS21 DRAWING No. 20040804

PROJECT
PROPOSED RESIDENCE
Lot 104 on SP146780
2125 MOSSMAN DAINTREE RD
WONGA BEACH

CLIENT
ANNIE SCHOENBERGER

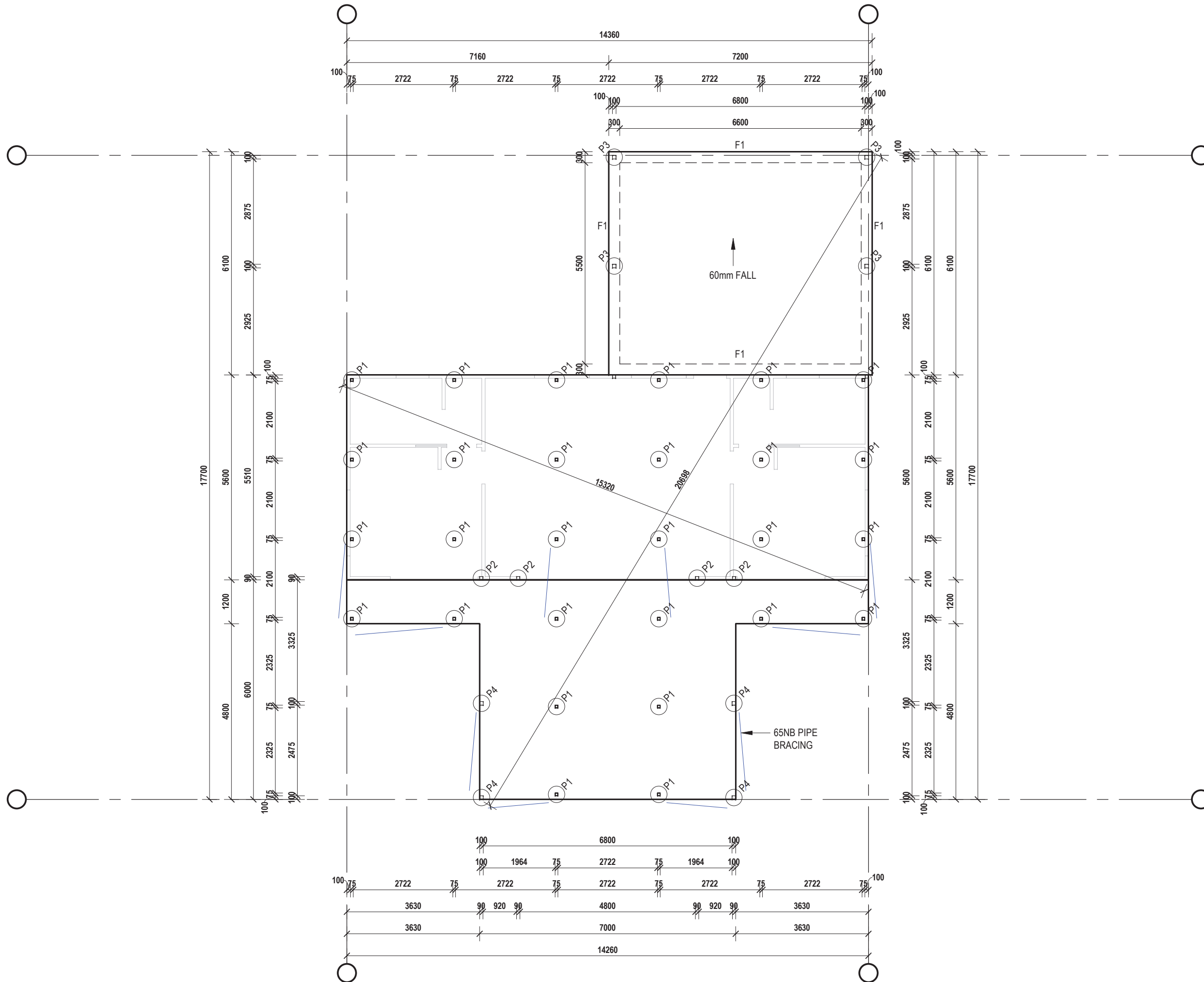
QBCC: 1117525

QLD KIT HOMES
Affordability Without Compromise
34/5 FACULTY CLOSE, SMITHFIELD

PH: (07) 4038 3900
FAX: (07) 4027 9613
WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



**CERTIFIED AS
STRUCTURALLY ADEQUATE**

KFB Engineers Civil & Structural
1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed: 
Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - **C2** SOIL CLASSIFICATION - **M**

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE
FOOTINGS PLAN

SHEET NO. **08** PRINT TIME: 23/04/2020 1:31:53 PM

PRELIMINARY: **05/03/20** CONSTRUCTION: **23/04/20**

A3 SCALE: **1:100 AT A3** ISSUE: **A**
DRAWN BY: **MB**

CONSTRUCTION ISSUE

SSHINQ JOB No. **NQS21** DRAWING No. **20040804**

PROJECT
PROPOSED RESIDENCE
Lot 104 on SP146780
2125 MOSSMAN DAINTREE RD
WONGA BEACH

CLIENT
ANNIE SCHOENBERGER

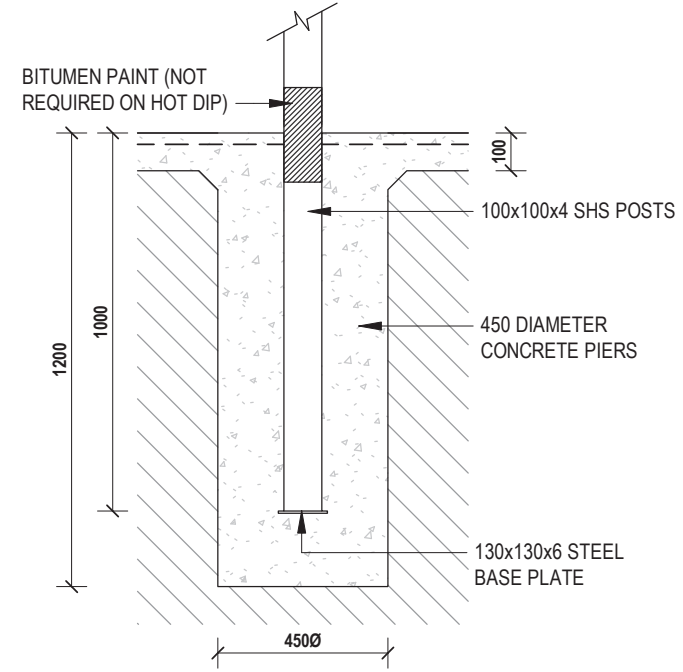
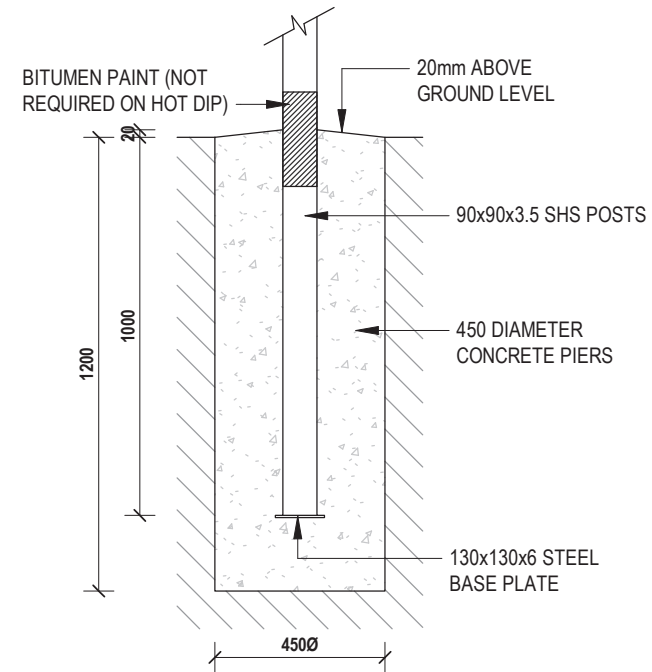
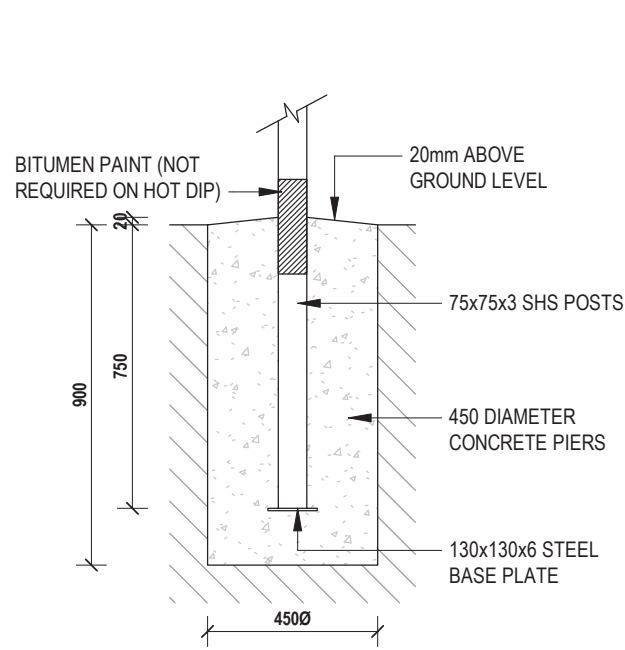
QBCC: 1117525

**QLD
KIT HOMES**
Affordability Without Compromise
34/5 FACULTY CLOSE, SMITHFIELD

PH: (07) 4038 3900
FAX: (07) 4027 9613
WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, **WILL VOID** ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



7 P1 - PIER DETAIL 75mm

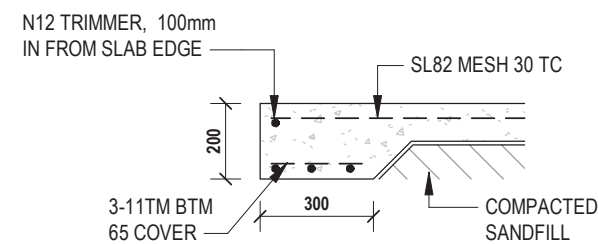
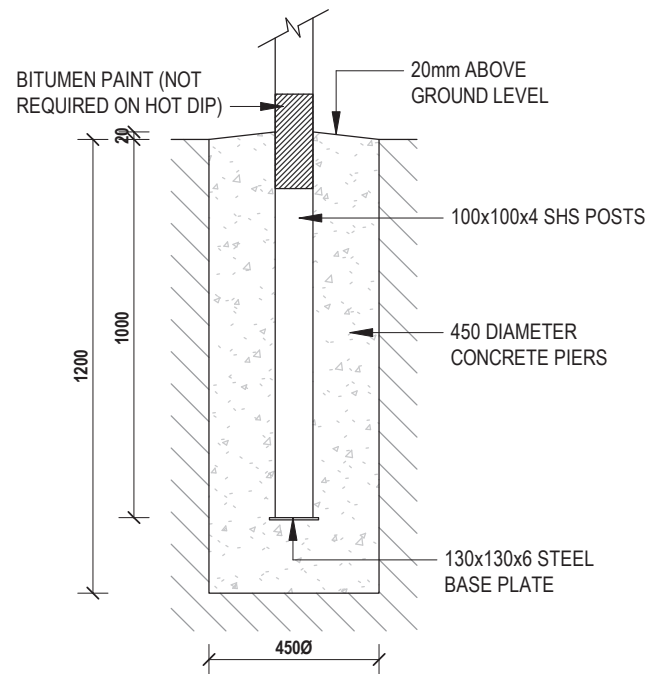
SCALE - 1 : 20

1 P2 - PIER DETAIL 90mm

SCALE - 1 : 20

8 P3 - PIER DETAIL (IN SLAB)

SCALE - 1 : 20



3 P4 - PIER DETAIL 100mm

SCALE - 1 : 20

2 F1 - FOOTING DETAIL

SCALE - 1 : 20

CERTIFIED AS STRUCTURALLY ADEQUATE

KFB Engineers Civil & Structural
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed: [Signature]
 Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE
FOOTING DETAILS

SHEET NO. 09 PRINT TIME: 23/04/2020 1:31:54 PM

PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: 1:100 AT A3 ISSUE: A DRAWN BY: MB

CONSTRUCTION ISSUE

SSHINQ JOB No. NQS21 DRAWING No. 20040804

PROJECT
 PROPOSED RESIDENCE
 Lot 104 on SP146780
 2125 MOSSMAN DAINTREE RD
 WONGA BEACH

CLIENT
 ANNIE SCHOENBERGER

QBCC: 1117525



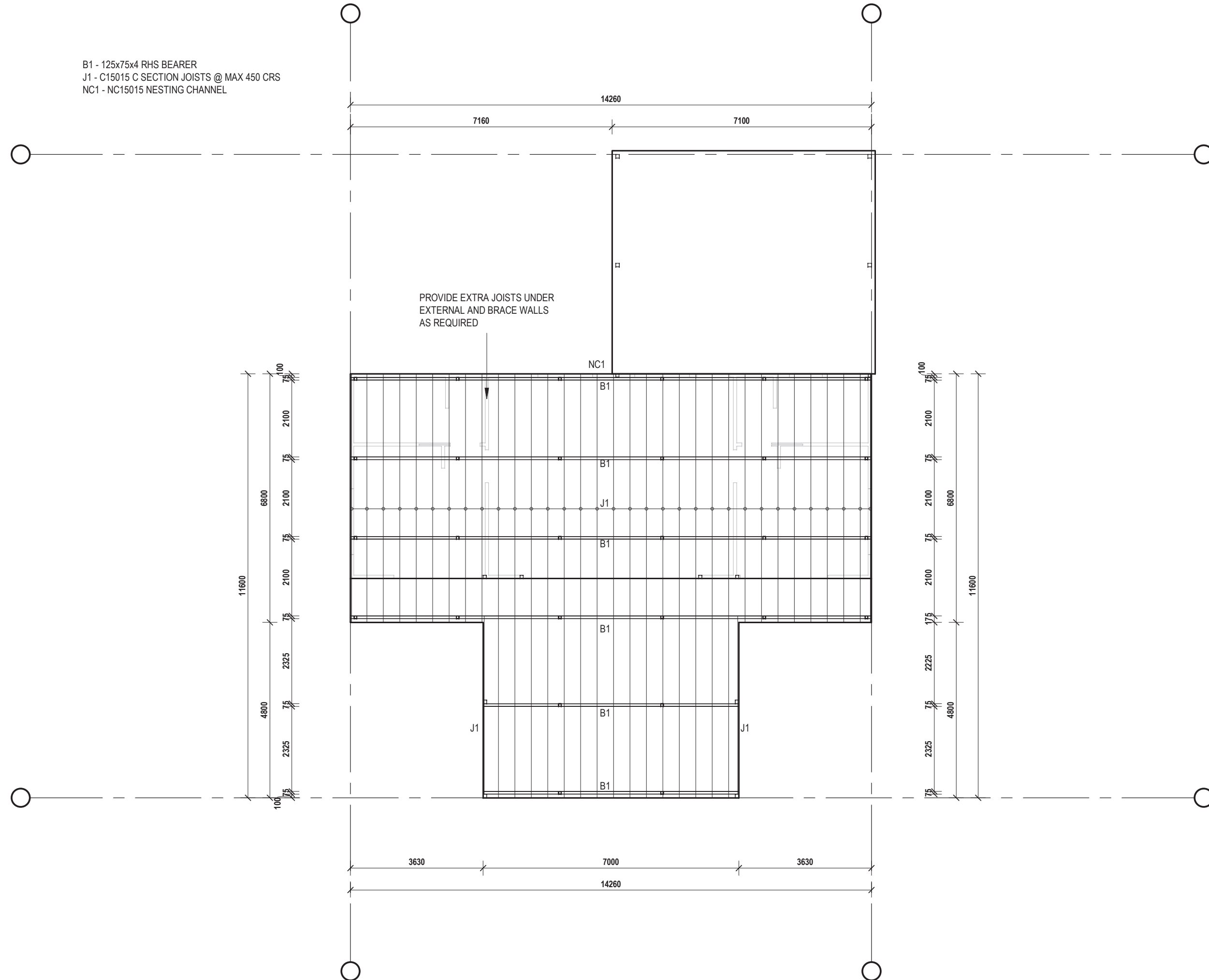
34/5 FACULTY CLOSE, SMITHFIELD

PH: (07) 4038 3900
 FAX: (07) 4027 9613
 WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, **WILL VOID** ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING

B1 - 125x75x4 RHS BEARER
 J1 - C15015 C SECTION JOISTS @ MAX 450 CRS
 NC1 - NC15015 NESTING CHANNEL



CERTIFIED AS STRUCTURALLY ADEQUATE

KFB Engineers Civil & Structural
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed:

Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE

SUBFLOOR LAYOUT

SHEET NO. 10 PRINT TIME: 23/04/2020 1:31:54 PM

PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: 1:100 AT A3 ISSUE: A DRAWN BY: MB

CONSTRUCTION ISSUE

SSHINQ JOB No. NQS21 DRAWING No. 20040804

PROJECT
 PROPOSED RESIDENCE
 Lot 104 on SP146780
 2125 MOSSMAN DAINTREE RD
 WONGA BEACH

CLIENT
 ANNIE SCHOENBERGER

QBCC: 1117525

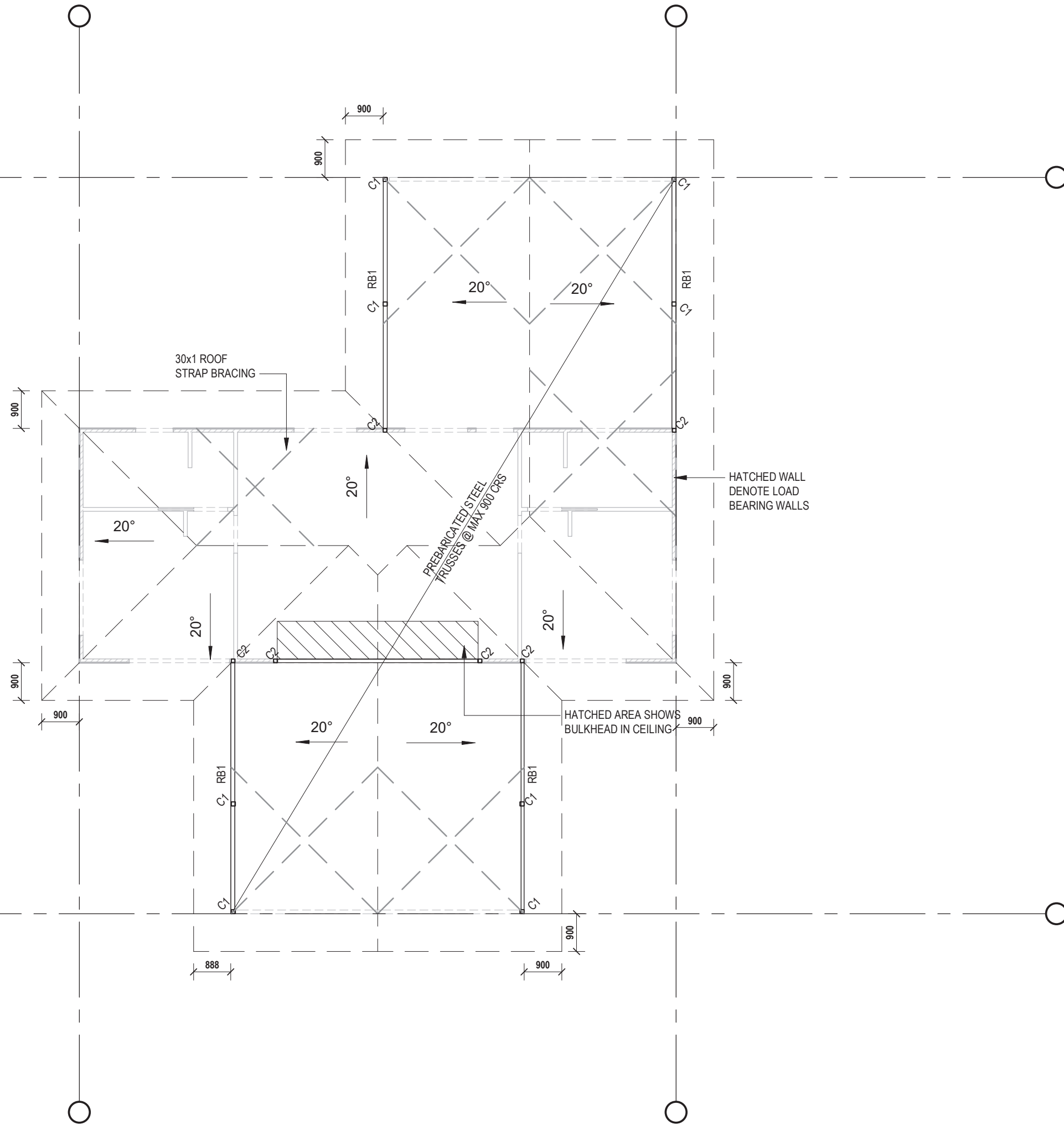
QLD KIT HOMES
 Affordability Without Compromise
 34/5 FACULTY CLOSE, SMITHFIELD

PH: (07) 4038 3900
 FAX: (07) 4027 9613
 WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©


NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING

RB1 - 150x100x4 RHS ROOF BEAM
 C1 - 100x100x4 SHS POSTS
 C2 - 90x90x3.5 SHS POSTS



**CERTIFIED AS
STRUCTURALLY ADEQUATE**

KFB Engineers Civil & Structural
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 23/4/20 Signed: 
 Job No: K-7388 RPEQ No: 5711

DESIGN WIND SPEED - **C2** SOIL CLASSIFICATION - **M**

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE

ROOF LAYOUT

SHEET NO. **11** PRINT TIME: 23/04/2020 1:31:54 PM
 PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: 1:100 AT A3 ISSUE: **A** DRAWN BY: **MB**


CONSTRUCTION ISSUE

SSHQ JOB No. **NQS21** DRAWING No. **20040804**

PROJECT
 PROPOSED RESIDENCE
 Lot 104 on SP146780
 2125 MOSSMAN DAINTREE RD
 WONGA BEACH

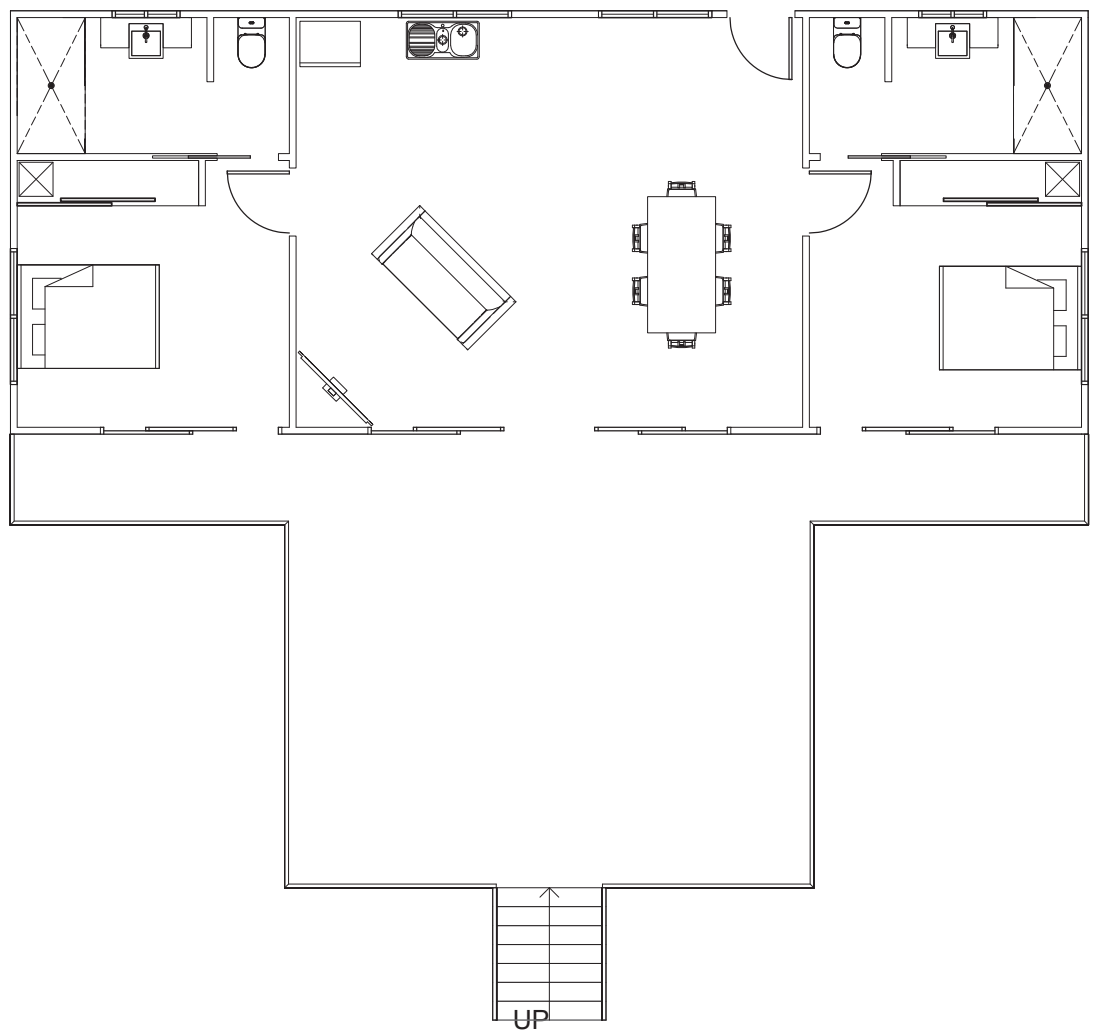
CLIENT
 ANNIE SCHOENBERGER

QBCC: 1117525


**QLD
KIT HOMES**
 Affordability Without Compromise
 34/5 FACULTY CLOSE, SMITHFIELD
 PH: (07) 4038 3900
 FAX: (07) 4027 9613
 WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, **WILL VOID** ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



- LEGEND**
- telephone outlet
 - television outlet
 - light switch
 - two way switch
 - fan switch and regulator
 - GPO single
 - GPO double
 - Waterproof GPO double
 - Split system head unit
 - Audio jack
 - Audio volume control
 - Flush mounted ceiling speaker
 - Data outlet
 - Split System Machine
 - Metre Box

1
04
ELECTRICAL PLAN
 SCALE - 1 : 100

**CERTIFIED AS
STRUCTURALLY ADEQUATE**

KFB Engineers Civil & Structural
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: _____ Signed: _____
 Job No: _____ RPEQ No: _____

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE
ELECTRICAL PLAN

SHEET NO. 12 PRINT TIME: 23/04/2020 1:31:54 PM

PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: 1:100 AT A3 ISSUE: A
 DRAWN BY: WE

CONSTRUCTION ISSUE

SSHJQ JOB No. NQS21 DRAWING No. 20040804

PROJECT
PROPOSED RESIDENCE
 Lot 104 on SP146780
 2125 MOSSMAN DAINTREE RD
 WONGA BEACH

CLIENT
 ANNIE SCHOENBERGER

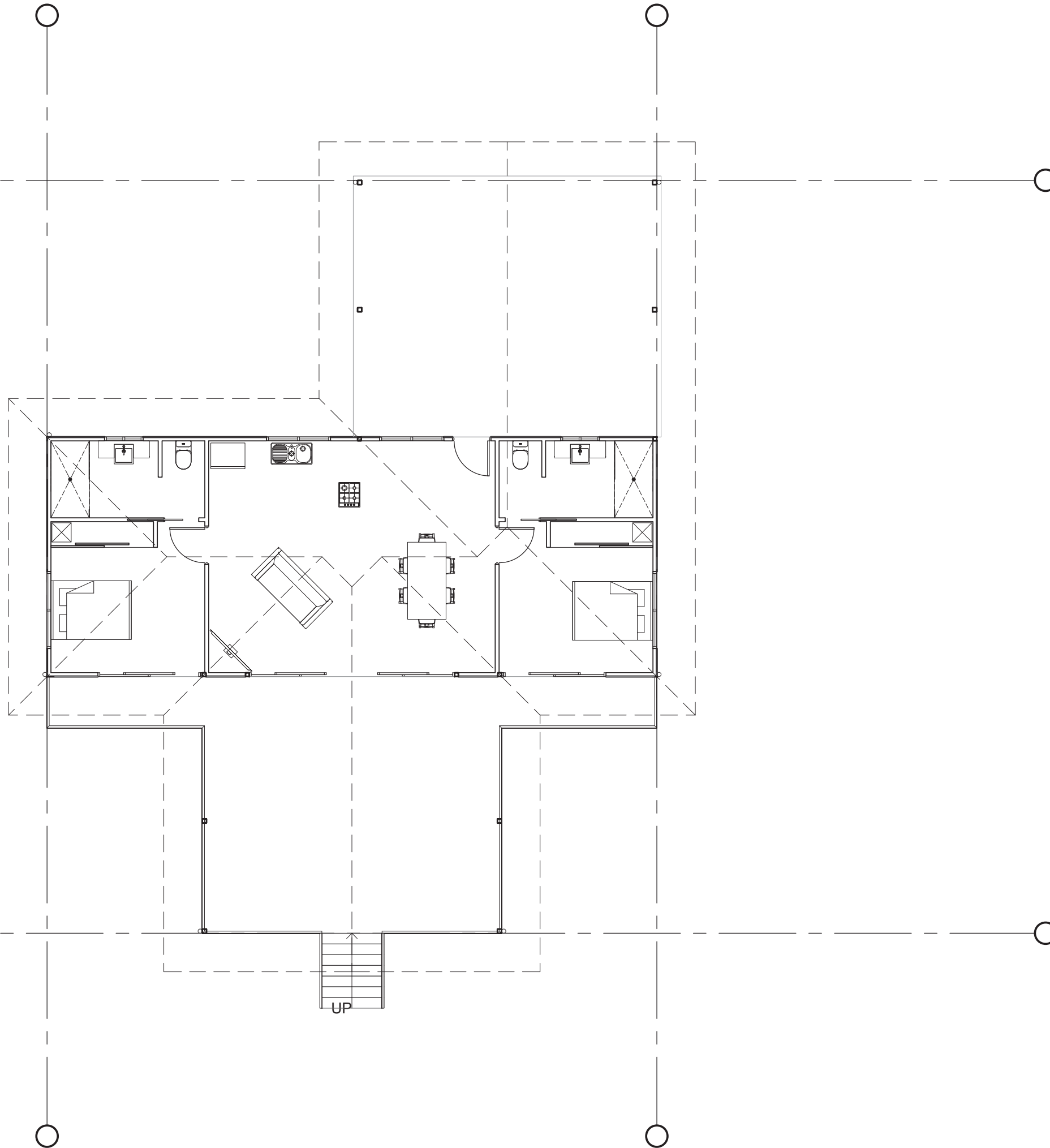
QBCC: 1117525



PH: (07) 4038 3900
 FAX: (07) 4027 9613
 WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, **WILL VOID** ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING



**CERTIFIED AS
STRUCTURALLY ADEQUATE**

KFB Engineers Civil & Structural
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: _____ Signed: _____
 Job No: _____ RPEQ No: _____

DESIGN WIND SPEED - C2 SOIL CLASSIFICATION - M

No.	DATE	DESCRIPTION
A	23/04/20	CONSTRUCTION ISSUE

VARIATIONS INCLUDED IN THIS DRAWING

DRAWING TITLE
DRAINAGE PLAN

SHEET NO. 13 PRINT TIME: 23/04/2020 1:31:55 PM

PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20

A3 SCALE: 1:100 AT A3 ISSUE: A
 DRAWN BY: WE

CONSTRUCTION ISSUE

SSHQ JOB No. NQS21 DRAWING No. 20040804

PROJECT
 PROPOSED RESIDENCE
 Lot 104 on SP146780
 2125 MOSSMAN DAINTREE RD
 WONGA BEACH

CLIENT
 ANNIE SCHOENBERGER

QBCC: 1117525



Affordability Without Compromise
 34/5 FACULTY CLOSE, SMITHFIELD

PH: (07) 4038 3900
 FAX: (07) 4027 9613
 WEB: www.qldkithomes.com.au

THIS DRAWING IS COPYRIGHT ©

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. (5). SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, **WILL VOID** ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING