23 September 2020

Chief Executive Officer Douglas Shire Council PO Box 723 Mossman Qld 4873

Attention: Development Assessment

Dear Sir/Madam

RE: Application for Early Concurrence Agency Assessment (Caretakers)– Amenity and Aesthetics Referral - 2125 Mossman Daintree Road, Wonga Beach – Lot 104 on SP146780

Rapid Building Approvals acting on behalf of the owners of the abovementioned land A Schoenberger seek **an early concurrence agency response** over land at 2125 Mossman Daintree Road, Wonga Beach legally described at Lot 104 on SP146780.

The proposal is to introduce a caretakers dwelling located in the middle paddock of the property (see site plan). With the site and property being located within the rural zone (Figure 1). With the proposed development being identified as self-assessable under the Planning Scheme.

There is already approved for Animal keeping (Native Animal Rehabilitation) located on the site (MCUC2020/3683/1). Furthermore, we have an undertaking from the property owner that it was and is their intention to establish a small tropical fruit farm, initially of 100 trees, but not exceeding 5,000m² of the cropping area. To be in the middle paddock in proximity to the proposed caretaker's residence. The caretakers will also provide general maintenance of the property for example: maintaining roads/tracks, drainage lines, pest flora and fauna etc. It's noted that a proposed walkway will connect the existing dwelling and the existing secondary dwelling. With this to be converted into a single dwelling. Our Building Approval will be conditioned to reflect the above land use definitions to ensure compliance.

In our assessment, the only identified non-compliance is due to the Hillslopes which triggers a concurrence agency assessment. This is also confirmed in Council correspondence. This assessment is provided below for your consideration and decision.

Supporting this application, the following is provided:

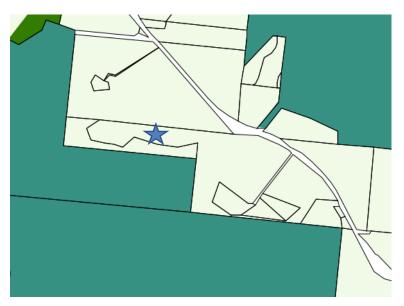
- DA Form;
- Hillslopes Overlay Code Assessment;
- Plans (site plan, floor plan, elevations and walkway plan);
- Fee: \$333.00 (previously paid).

Should you require any further information or assistance in relation to this manner please don't hesitate to contact Ryan Bird on (07) 4229 0835 or via email at approvals@rapidapprovals.com.au

Regards, Ryan Bird The proposed dark and subdued colours for the proposed caretakers residence are:

- House exterior-Deep Ocean
- Roof- Surf Mist
- Trim and gutters- Shale Grey

Figure 1- Rural Zoning:



Hillslopes Overlay Code

Performance outcomes	Acceptable outcomes	Applicant response			
For self-assessable development					
PO1 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	AO1.1 Development is located on parts of the site that are not within the Hillslopes constraint subcategory as shown on the Hillslopes overlay Maps contained in schedule 2.	Complies PO1 . The area of the proposed secondary dwelling is flat and located behind the vegetation, making it not visible from the road.			
	AO1.2 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%).	Complies. The proposed development does not occur on land with a gradient in excess of 1 in 6 (16.6%).			
For assessable developr	nent				
PO2 The landscape character and visual amenity quality of hillslopes areas is	AO2.1 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) or	AO2.1 Complies. The proposed development does not occur on land with a gradient in excess of 1 in 6 (16.6%).			
retained to protect the scenic backdrop to the region.	AO2.2 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.	AO2.2 N/A			
	AO2.3 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to minimise the visual impact of the construction; (c) provided with erosion control measures immediately after construction.	AO2.3 Conditioned to comply As the driveway and access will be a dirt driveway and access way where it will be design and materials used will be in similar type of other driveways and access within the surrounding area. Therefore, will not have a visual impact of the area as well have the same erosion control measures immediately after construction.			
	AO2.4 The clearing or disturbance of vegetation is limited to clearing and disturbance that:	AO2.4 Complies. The subject area of the caretakers dwelling is located in an existing cleared paddock. Therefore will not need any additional clearing or disturbance of vegetation on site.			

 (a) is necessary for the construction of driveways; (b) is necessary to contain the proposed development; (c) minimises canopy clearing or disturbance; (d) minimises riparian clearing or disturbance. AO2.5 On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction	AO2.5 N/A
 minimise modification to the natural terrain of the land). AO2.6 Development does not alter the sky line. AO2.7 Buildings and structures: (a) are finished predominantly in the following exterior colours or surfaces: (i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; (b) are not finished in the following exterior colours or surfaces: (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright 	 AO2.6 Complies The proposed development will not alter the skyline. AO2.7 Complies. The proposed colours are: House exterior-Deep Ocean Roof- Surf Mist Trim and gutters- Shale Grey These colours are considered darker and more subdued palate and are generally consistent with other similar approvals in the shire.
colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces. AO2.8 Exterior colour schemes limit the use of white or other light	AO2.8 Complies. The exterior colour schemes does not

	colours to exterior trim and highlighting of architectural features AO2.9	use of white and other light colour on the proposed development. Therefore the proposed colour scheme will ensure that the caretakes will compatible with the surrounding area and landscape.
	Areas between the first floor (including outdoor deck areas) and ground-level are screened from view.	A02.9 N/A
	AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land: (a) with a gradient of 1 in 6 (16.6%) or more; (b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.	AO2.10 N/A
Lot reconfiguration – N/	/A	

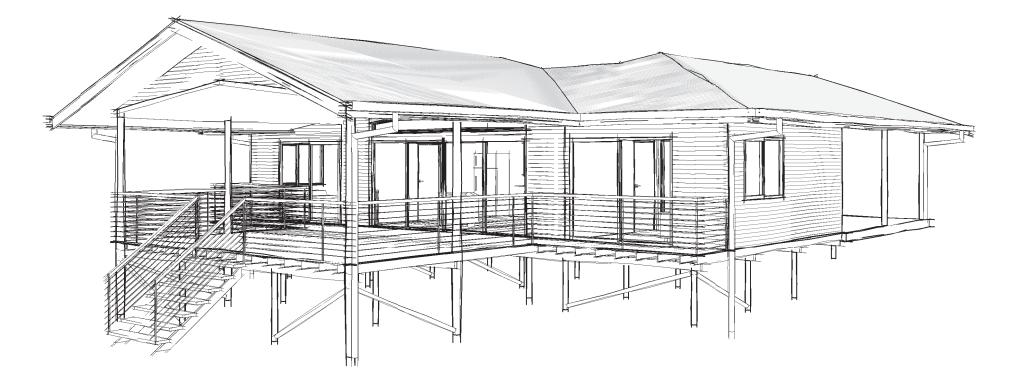


Affordability Without Compromise

QBCC: 1117525

PROPOSED RESIDENCE

- JOB NUMBER NQS21
 - **CLIENT** ANNIE SCHOENBERGER
- SITE ADDRESS Lot 104 on SP146780 2125 MOSSMAN DAINTREE RD WONGA BEACH



34/5 FACULTY CLOSE, SMITHFIELD PH: (07) 4038 3900 FAX: (07) 4027 9613 WEB: www.qldkithomes.com.au

DRAWING SCHEDULE				
SHEET No.	SHEET NAME	SCALE	REVISION	
00	COVER SHEET	NTS	А	
01	CONSTRUCTION NOTES	NTS	А	
02	SITE PLAN	NTS	А	
03	FLOOR PLAN	1:100	А	
04	ELEVATIONS	1:100	А	
05	3D VIEWS	NTS	А	
06	SECTION	1:50	А	
07	SECTION DETAILS	AS NOTED	А	
08	FOOTINGS PLAN	1:100	А	
09	FOOTING DETAILS	1:100	А	
10	SUBFLOOR LAYOUT	1:100	А	
11	ROOF LAYOUT	1:100	А	
12	ELECTRICAL PLAN	1:100	А	
13	DRAINAGE PLAN	1:100	А	

CONSTRUCTION ISSUE

General Notes

General

- 1. Do not scale drawings. All dimensions to be confirmed on site. Notify Superior Steel of any discrepancies
- All workmanship and materials to be in accordance with relevant Australian standards, the Building Code of Australia and local authority regulations.
- 3. The structure is to be maintained in a stable condition at all times.

General Construction

- 1. The sub-floor space of a dwelling must be ventilated in accordance with the relevant codes and standards.
- 2. All glazing to comply with relevant codes & standards & must be designed for the wind loads specific to the building
- 3. Smoke alarms must be installed in accordance with relevant codes & standards, be connected to mains power & comply with relevant codes & standards. Positions shown on plans are to be used as a guide only, actual position is to be in accordance with relevant codes & standards.
- 4. All balustrades and handrails to have a minimum height of 1000mm above finished floor level (i.e. top of tiles, carpet etc.) and have no opening greater than 125mm, in accordance with the building $\frac{1}{2}$. code of Australia.

Termite

- Termite treatment to be as required by AS 3660.1, the Building Code of Australia and the Qld 1. Master Builders Association's "Home Owners Guide for Termite Management".
- 2. Termite protection generally shall be by:
- a. Ground floor slab as barrier and exposed edge of slab as visual barrier;
- b. Termi-mesh or similar approved collars to slab penetrations; &
- c. Termite resistant (hazard level H2) timber framing, trim and arch
- 3. Where ground floor slab is the barrier, no less than 75mm of the slab edge must be exposed above finished ground level, it must be not concealed by render, tiles, claddings or flashings.
- 4 Builder to provide access for clear visual inspections to the entire perimeter of the building and the exposed edge of concrete slabs.
- 5. A durable notice showing full details of termite treatment used and the date provided to be posted inside the meter box or similar approved location.
- 6 Owner to maintain access for clear visual inspections and make periodic inspections.

Site Notes

- 1. Earthworks to be in accordance with AS 3798.
- 2. Site preparation shall generally consist of clearing of vegetation followed by excavation of
- topsoils and material to suit final design levels. All water to be drained away from buildings during and after construction to avoid ponding of 3 water adjacent to external walls.
- 4. Finished slab levels to be min 150mm above finished ground level u.n.o.
- All levels to be confirmed on site.

Footing and Slab Notes

- 1. Footings have been designed for specified soil classification. Builder to verify site conditions prior to construction.
- 2. Natural foundations to be scrubbed out and free of organic matter and debris and compacted to min 5% SRDD at -5% to +2% of optimum moisture content or not less than 70% density index for cohesionless soils.
- 3. Fill to slab and foundations shall be an approved non-plastic material compacted in max 200mm ayers to in 5% SRDD at -5% to +2% of optimum moisture content or not less than 70% density index or cohesionless soils.
- 4. Footing trenches to be clean and dry at the time of casting with any softened material removed. ase of all footings to be founded on firm natural ground with min safe bearing capacity of 100 kPa
- Pour slab on 200um damp proof membrane laid on 50mm of compacted sand.
- Concrete slab and footings N20. Vibrate concrete and cure slab for min 7 days. Concrete 6. cover to be maintained by the use of approved chairs spaced at approx. 750mm centres. Conduits and pipes shall not be placed within cover concrete.

Slab Height

Minimum finished slab height must be determined for each individual project and is dependent upon design factors such as:

- 1. U.N.O on plan minimum finished slab heights to be 150mm above adjacent finished ground level or 100mm above sandy, well-drained areas or 50mm above paved or concreted areas which fall away from the dwelling for 50mm over the first 1m.
- 2. Masonry veneer construction where DPC's must be 150mm minimum above adjacent ground level and require a slab edge recess as per BCA part 3.3.4.5 - 170mm above adjacent finished ground level or 70mm above adjacent paved or concreted area which fall away from the wall and are protected from the weather by a carport, verandah or the like. These dimensions assume a 20mm slab edge recess.
- 3. Level relative to drainage ORG as per AS 3500, plumbing and drainage code 150mm minimum above top of org to lowest fixture point (i.e. floor waste or shower drain) level of ORG must be 75mm minimum above finished ground level.
- 4 Standard building regulations require the level if all habitable rooms be 300mm minimum above the Q100 flood level or as determined by the local authority.
- 5. Local town planning schemes may specify levels relative to the finished surfaces in rural areas

Concrete

- 1. Concrete generally in accordance with AS3600.
- 2. Concrete specification unless noted otherwise:

Element	Class & Grade	Max Agg	Max Slump
Groundslab & footings	N20	20mm	80mm
Suspended slabs	N32	20mm	80mm
Core fill	S20	10mm	230mm

- 3 Reinforcement notation:
- 'N' denotes Grade D500N hot rolled rebar to AS4671 'S' denotes Grade D250N hot rolled rebar to AS4671
 - 'R' denotes Grade R250N hot rolled plain round to AS4671
 - 'L' denotes Grade R500L cold drawn round wire to AS4671
 - 'DW' denotes Grade D500L cold drawn ribbed wire to AS4671
 - 'RL', 'SL', 'L_TM' denotes Grade D500 deformed wire meshes to AS4671
- Additives shall not be used without the Superintendent's approval.
- Mechanically vibrate concrete in the form to give maximum compaction without segregation of the concrete.
- Cure concrete as required by Section 19 of AS3600.
- Δ Concrete sizes shown are minimum and do not include applied finishes
- Do not reduce or hole concrete without Superintendent's approval. 5.
- Do not place conduits, pipes and the like within the cover concrete. 6.
- 7. Formwork shall generally comply with AS3610.
- Stripping of formwork shall comply with Section 19 of AS3600 8. Stripping times (Ground Slab/Footings): Removal of forms 3 days Removal of props 14 days
 - Stripping times (Suspended Slabs):
 - Removal of forms 14 days
 - Removal of props 14 days
 - (Such floor shall remain unloaded for 28 days)

Pathways & Driveways

- 1. All pathways and pavements shall have a minimum fall of 1 in 100 (1%) and maximum fall of 1 in 5 (20%) U.N.O.
- 2. Check with local authority requirements prior to construction any driveways, pathways or crossovers between the property boundary and road kerb.

Structural Timber

- 1. Timber generally to AS 1684 and AS 1720.
- Min stress grade F14 unless noted otherwise.
- Min bolt size M12 unless noted otherwise. 3
- 4 Timber framing:
- a. 90x35 MGP-12 (H2) framing
- b. Studs @ 450 ctrs, 1 row nogging
- c. Single bottom plate, double top plate
- d. M12 cyclone rods at ends, corners, beside openings and otherwise at max 1200mm ctrs
- e. Lintels 150x75 F14 hwd unless noted otherwise
- 5. Wall bracing (unless noted otherwise): 4mm F27 structural ply fixed with 2.8Øx30 gal flathead nails @ 100 ctrs at top & bottom plate, @ 150 ctrs at vertical edges and @ 300 ctrs at intermediate studs.
- Fix wall bottom plate to joists with M12 bolts @ 900 ctrs. 6
- Fix wall top plate to trusses with 125x75x6 angle bracket, 1/M12 bolt top plate and truss.
- Where bracing wall is parallel to joists or trusses, provide 50x75 F14 hwd nogging @ 900 ctrs 8. fixed with 2/75mm batten screws each end. 1/M12 bolt thru nogging and wall top plate.

Steelwork

- 1. Generally in accordance with AS 4100, AS 1554.1 and AS 1538.
- 2. Unless noted otherwise, the following materials shall be used:
 - a. Hot rolled sections Grade C300 plus to AS 3679.1
 - Steel hollow sections Grade C350 to AS 1163 b.
 - Cold formed steel sections Grade 450 to AS 1397 C.
 - Bolts Grade 4.6/S to AS 1111 generally and Grade 8.8/S to AS 1252 Ь
 - Galvanised bolts to AS 1214
 - Welding to comply with AS 1554.1
- 3. Unless noted otherwise use:
- a. 10mm thick cleats, gussets, fins and end plates
- b. All bolts to be galvanised to AS 1214
- c. 6mm continuous fillet welds to AS 1554.1
- d. All structural steelwork galvanised or system painted to equivalent protection

Waterproofing

1. Any exposed structural timber which has any area in contact with another material and which will be inaccessible after fixing is to be given a coat of primer before fixing.

Roofing

Roof Drainage

building.

standards

3500 3 U N O

Bathrooms & Wet Areas

b.

6

- 1. Roof trusses and roof bracing in accordance with manufacturer's specification for specified wind classification
- 2. Roof battens (U.N.O) 2 @ 600 ctrs at ridges and eaves, otherwise 850 ctrs a. 75x38 F11 hwd battens fix with 1-No. 14 Type 17 75mm batten screw.

4. Gutters & downpipes must be selected from relevant codes & standards.

roof pitches less than 12.5° must be designed as a box gutter.

gutter provisions should be made for an overflow system

1. Bathrooms and wet areas are to be treated in accordance with BCA.

cladding, fixed in accordance with manufactures specifications.

A minimum of 80% of all internal fixed lighting must be energy efficient lighting.

Minimum fall of eave gutters = 1:500

c. Minimum for box gutters = 1:100

provided at top of door to suit hinges.

with manufactures specifications.

minimum area of 12m² and a minimum dimension of 2.5m.

water efficiency labelling and standards (WELS) rating.

Design Gust Wind Speed

(m/s)

(WELS) rated and must be compatible with the size of the toilet bowl.

sinks and bathroom basins must have a minimum 3-star (WELS) rating.

Vh.s

SLS

32

39

47

Greater than 1.2m from corners

SLS

±0.55

±0.82

±1.63

ULS

±1.80

±2.68

±5.33

Sustainability Requirements

5-Star Energy Rating

Internal Lighting

Air-conditioning

3-star (WELS) shower

3-star (WELS) Tapware

Wind

Classification

C1

C2

C3

Dual flush 4-star (WELS) Toilet

Vh.u

ULS

50

61

74

- b. Topspan 40 battens fix with 2-No. M6-11x25 Zips.
- 3. Roof sheeting fixed in accordance with manufacturer's specification for specified wind classification.

level with site surface sloping to channel and kerb.

1. All roof water drainage must be connected to a stormwater drainage system complying with the relevant codes & standards. Or roof water to be discharged onto a concrete splash pad at ground

2. Roof drainage system must have an overflow system to prevent the backflow of water into the

The area specific rainfall intensity must be selected form the relevant codes & standards.

5. Gutter to be installed with a fall not less than 1 in 500 with support brackets at 1.2m maximum ctrs. Box gutters must be installed with a fall not less than 1 in 100, in accordance with relevant codes &

7. Valley gutter width shall be in accordance with relevant codes & standards. Refer to roof sheeting manufactures specifications for limitations on sheet overhangs into valley gutters. Valley gutters on

8. Downpipe positions are calculated using the Stramit QLD guide in conjunction with AS 2179 & AS

9. Unless noted otherwise, downpipes and gutters to be installed using the following: a. Downpipes should not exceed spacings of 1.2m, if downpipe is more than 1.2m from valley

2. Doors to toilets which swing 'in' are to have lift-off hinges. Adequate clearance should be,

3. All timber or steel framed walls to wet areas to be lined with FC or approved wet area

4. All timber to steel framed floors to have wet area flooring in wet areas, fixed in accordance

Class 1 buildings and attached enclosed class 10a buildings will require a 5-star energy rating. Achieving 5 stars will be by compliance with the provisions of part 3.12 of the building code of Australia. Concessions apply to buildings which have an outdoor living space which is directly accessible from a living area such as a lounge, kitchen, dining or family room. The outdoor living space must have a

In climate zones 1 & 2 buildings with a conforming outdoor living space will be required to be not less than 4.5-stars, where the roof of the outdoor living space achieves a total R-value of 1.5 downwards the building will require a minimum 4.25-stars and where the outdoor living space is fitted with a 900mm diameter minimum ceiling fan and roof achieves a total R-value of 1.5 downwards, 4-stars.

All hard-wired; new and replacement air-conditioners to have an energy efficiency ratio of at least 2.9.

In areas serviced by a water service provider, all shower roses to have a minimum 3-star

In areas serviced by a water service provider, all toilets cisterns must be dual flush 4-star

In areas serviced by a water service provider, all tapware serving laundry troughs, kitchen

Ultimate and Serviceability Limit State Design Wind Pressures

Design Pressures for Windows (kPa)

Up to 1.2m from the corner ULS SLS -2.70 -0.83 -4.02 -1.23 -7 99 -2.45

NOTE: (1). VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK. (2). VERIFY ALL ON SITE DIMENSIONS BEFORE COMMENCING ANY FABRICATION. (3). FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. (4). ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, THE STANDARD BUILDING BY-LAWS THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS (5) SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING

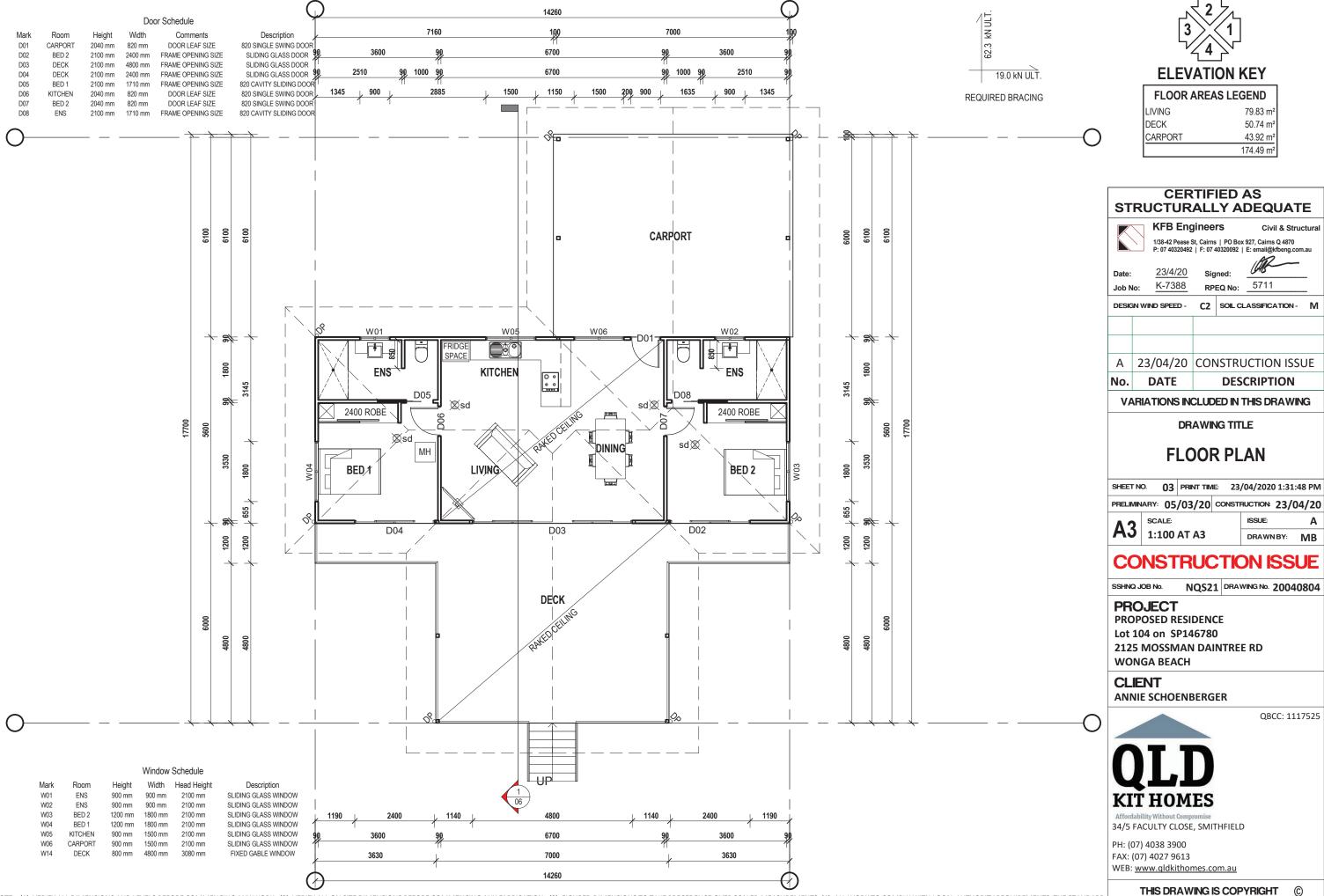
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NQ Sheds & Patios Pty Ltd ABN: 79 142 579 619 QBCC: 1201601 & 1117525 Address: 34/5 Faculty Close, Smithfield 4878 Ph: 07 4038 3900 W: www.ngsheds.com.au

Client: Annie Schoenberger Site: 2125 Mossman Daintree Rd Wonga Beach 4873 QLD Proposed: 2 Bed Dwelling Project Number: Schoenberger Site: 104/SP146780 Area: 360000m2

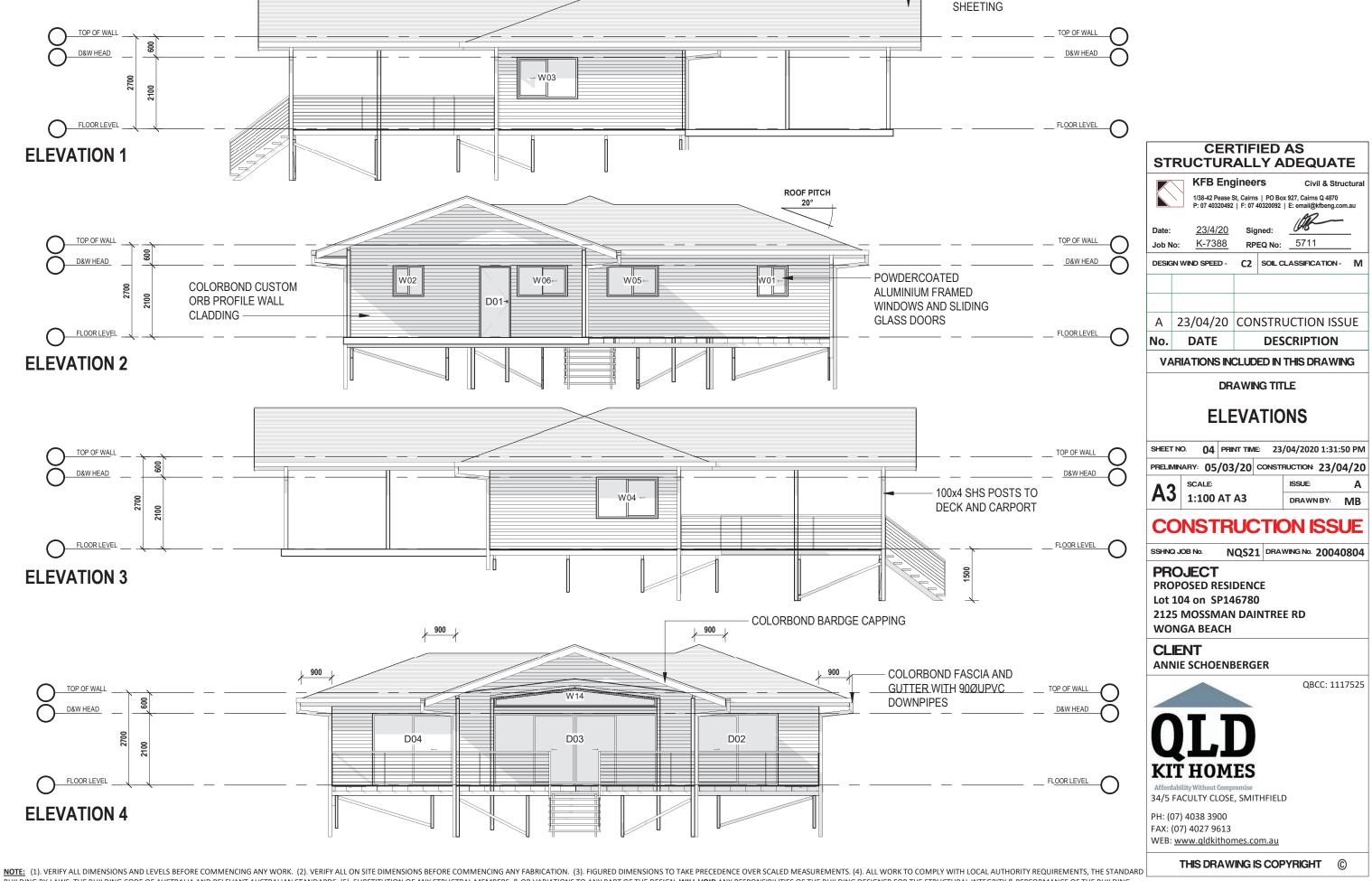


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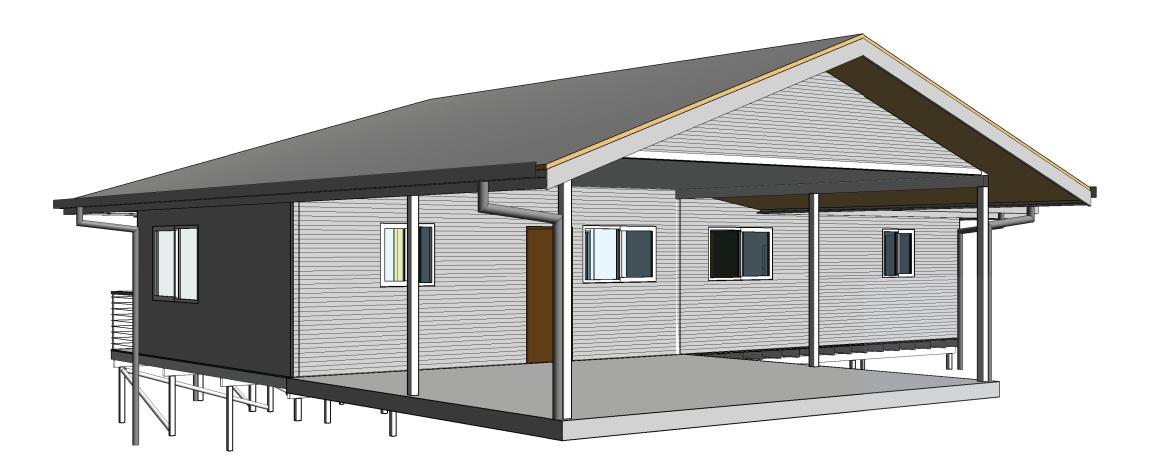
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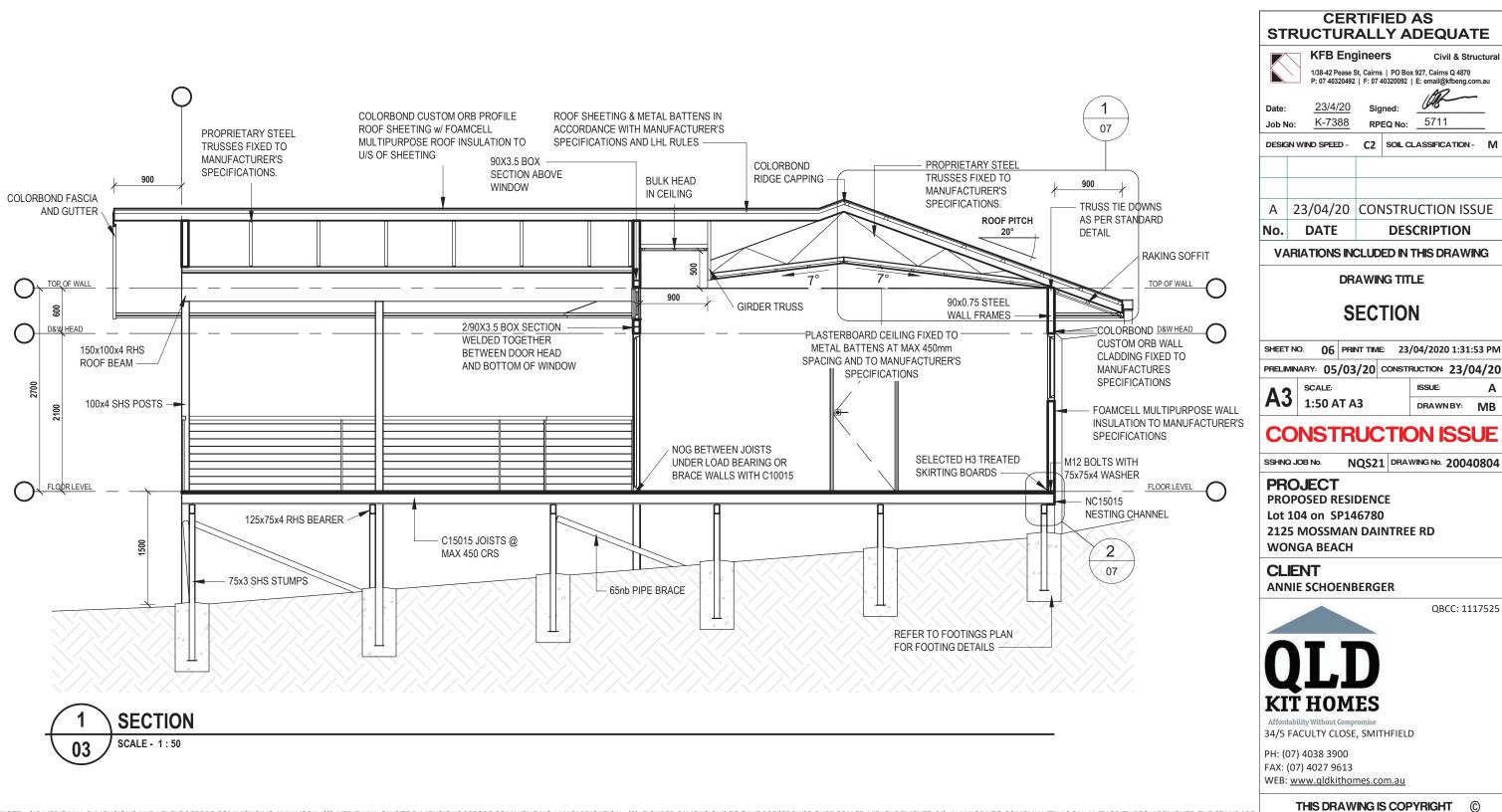
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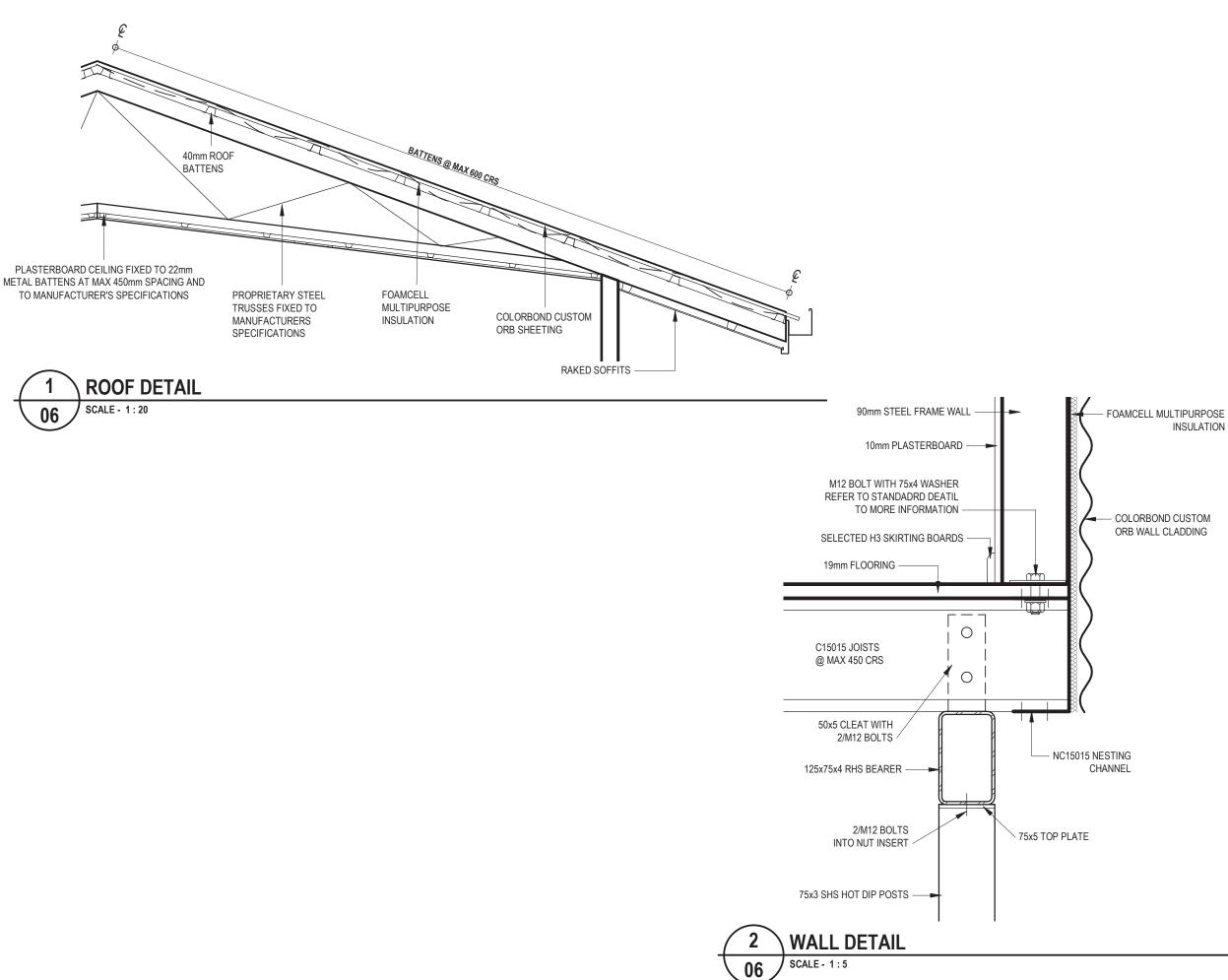




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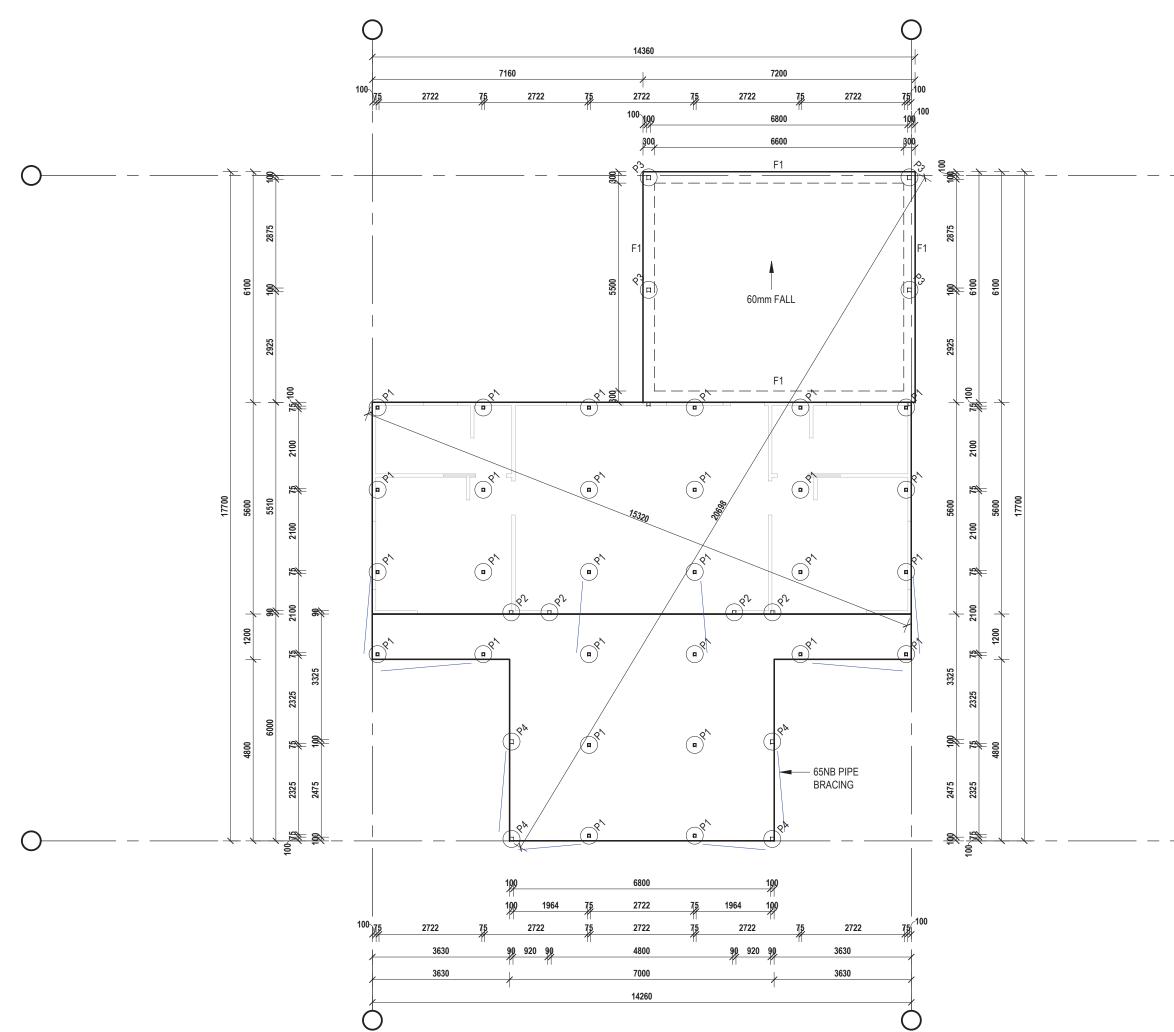


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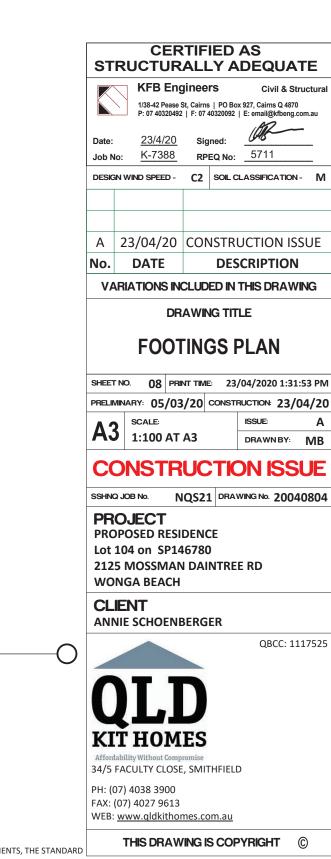


CERTIFIED AS STRUCTURALLY ADEQUATE **KFB Engineers** Civil & Structural 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au Ø Date: 23/4/20 Siar Job No: <u>K-7388</u> RPEQ No: 5711 C2 SOIL CLASSIFICATION - M DESIGN WIND SPEED -A 23/04/20 CONSTRUCTION ISSUE DATE DESCRIPTION No. VARIATIONS INCLUDED IN THIS DRAWING DRAWING TITLE SECTION DETAILS 07 PRINT TIME: 23/04/2020 1:31:53 PM SHEET NO. PRELIMINARY: 05/03/20 CONSTRUCTION: 23/04/20 SCALE: ISSUE: A3 SNOTED AT A3 Α DRAWNBY: MB **CONSTRUCTION ISSUE** SSHNQ JOB No. NQS21 DRAWING No. 20040804 PROJECT PROPOSED RESIDENCE Lot 104 on SP146780 **2125 MOSSMAN DAINTREE RD** WONGA BEACH CLIENT ANNIE SCHOENBERGER QBCC: 1117525 KIT HOMES 34/5 FACULTY CLOSE, SMITHFIELD PH: (07) 4038 3900 FAX: (07) 4027 9613 WEB: www.qldkithomes.com.au THIS DRAWING IS COPYRIGHT C

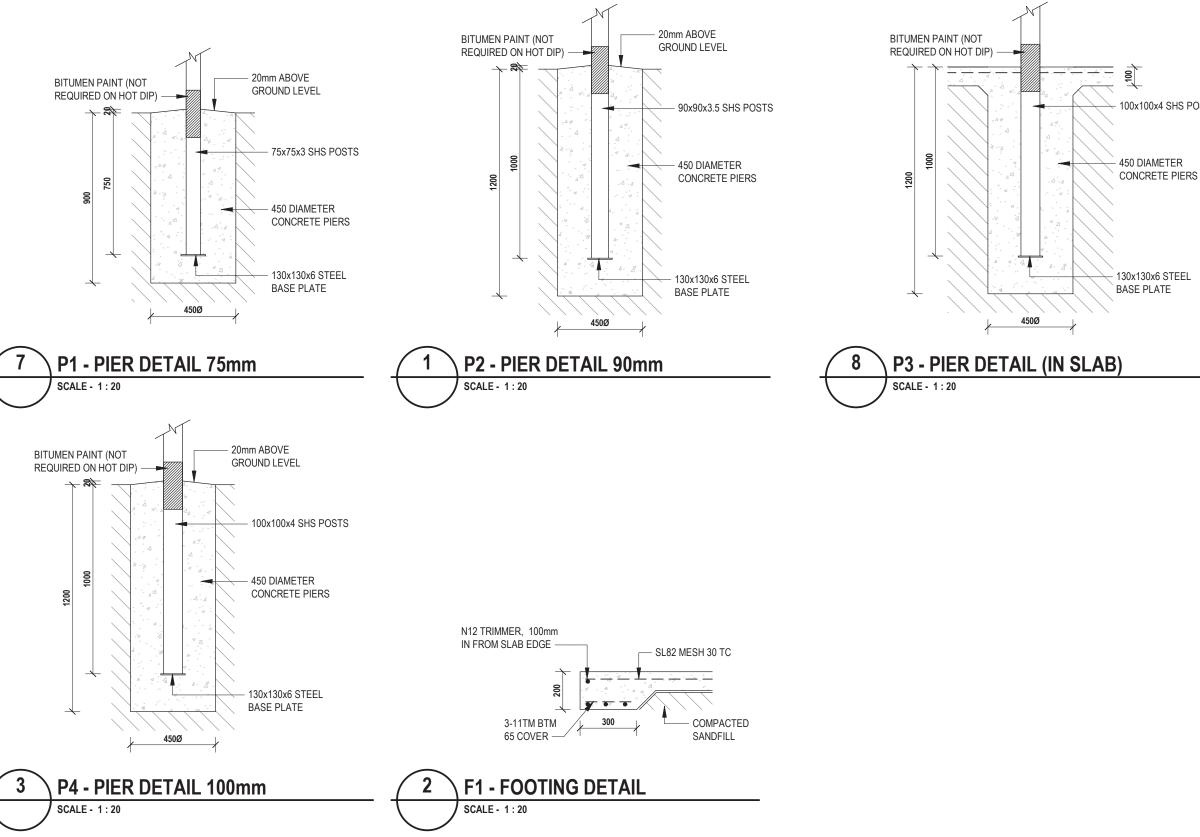
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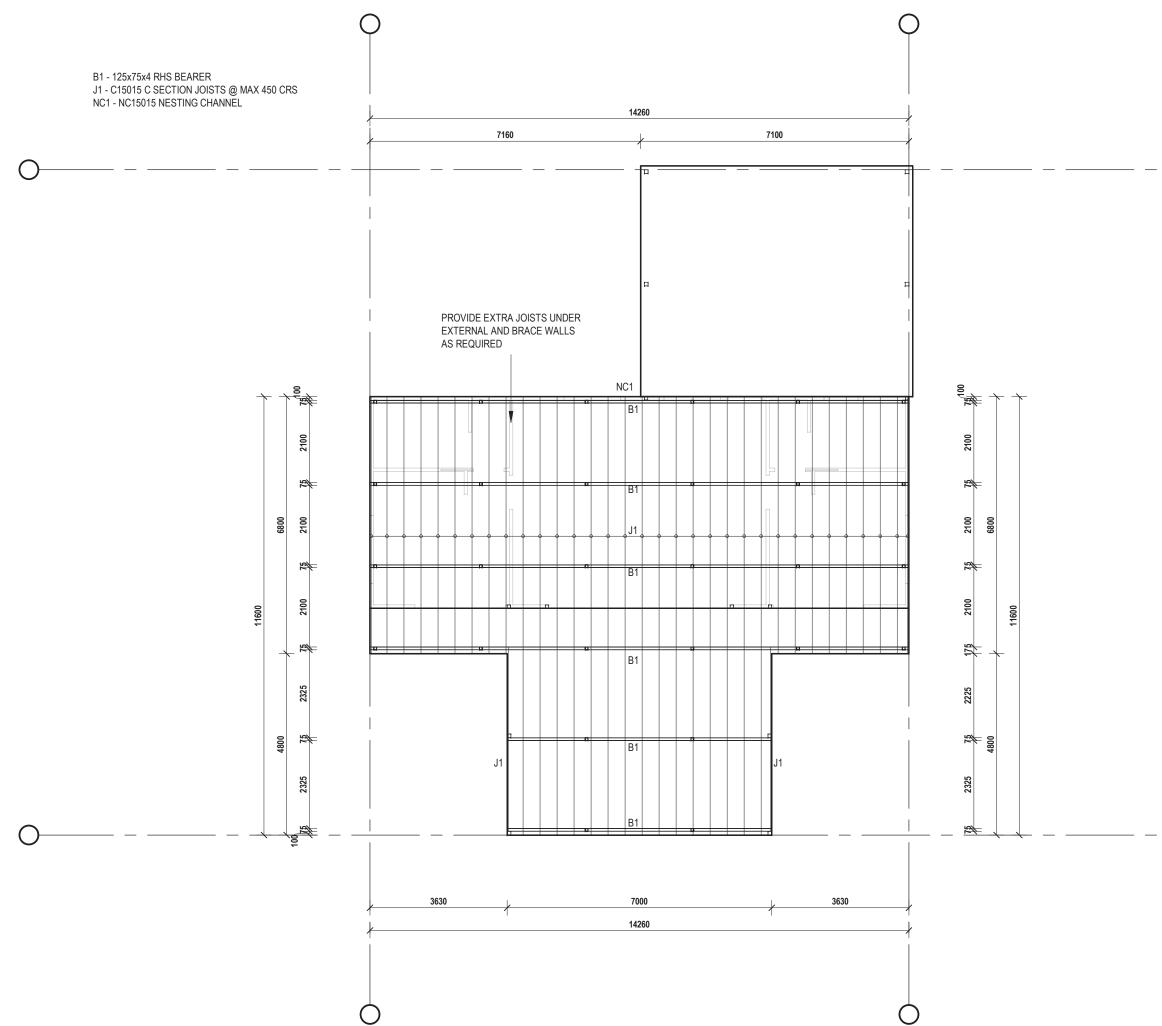


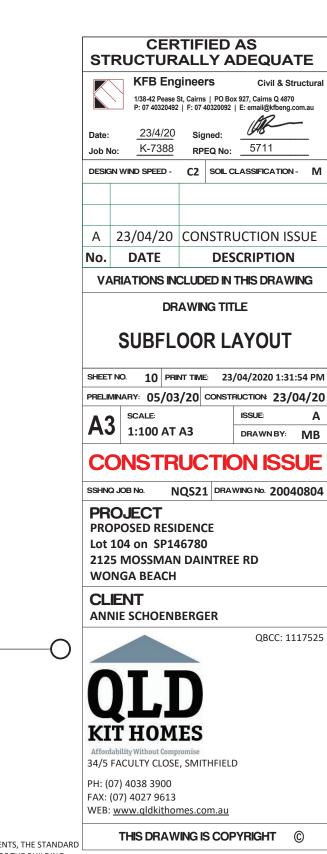
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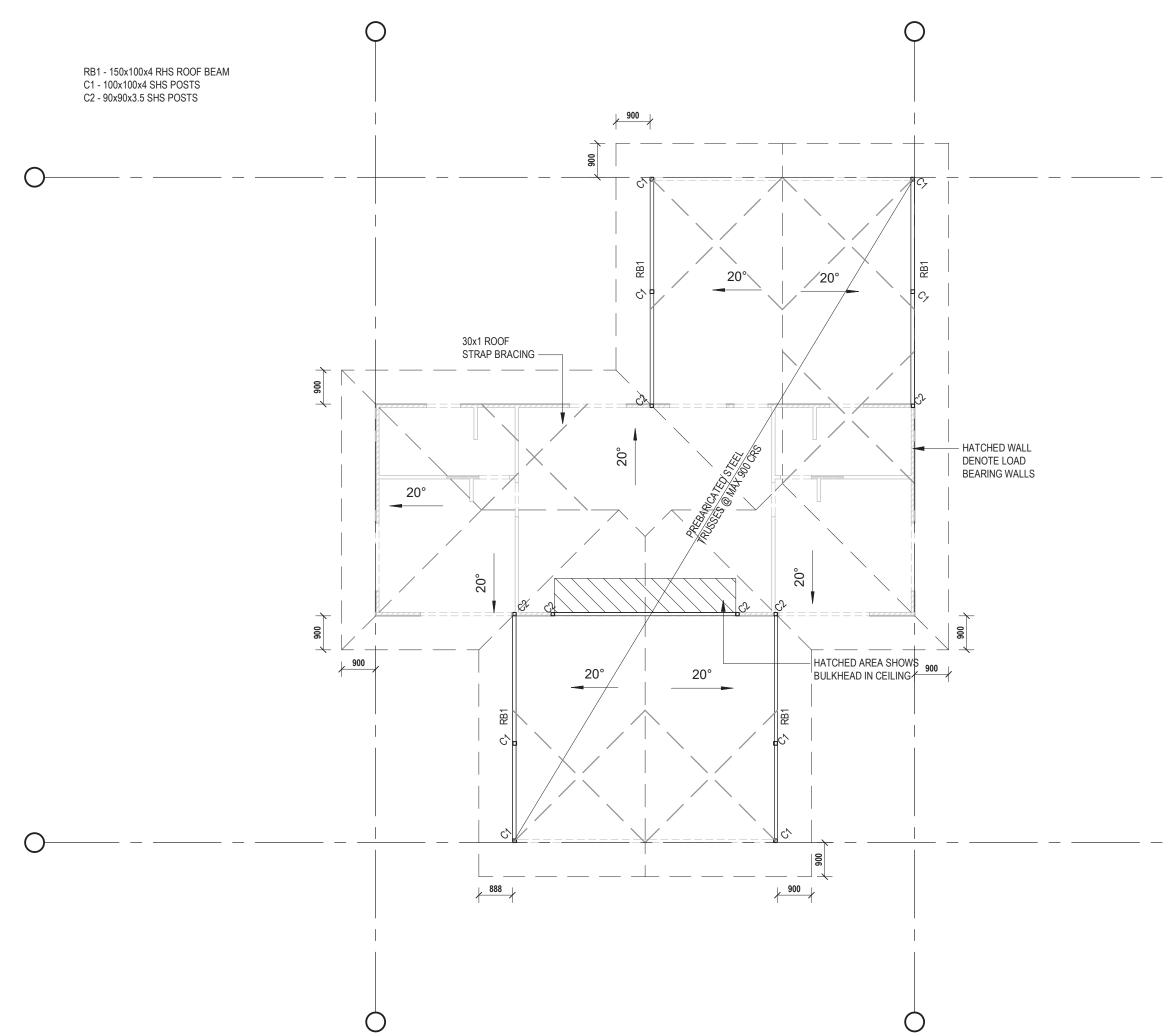
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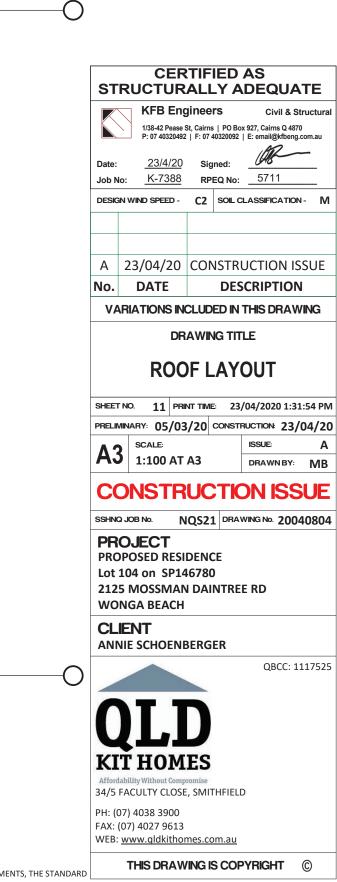


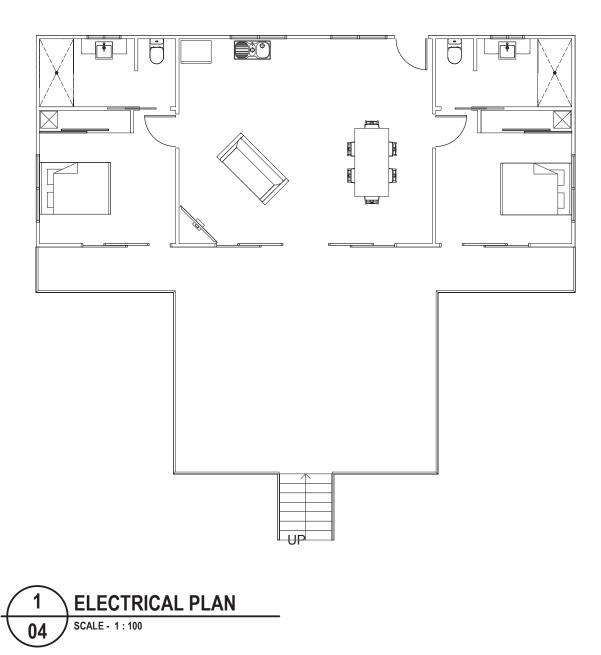


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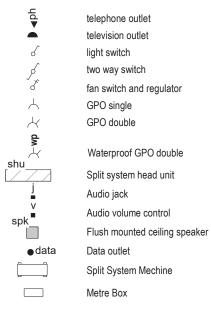


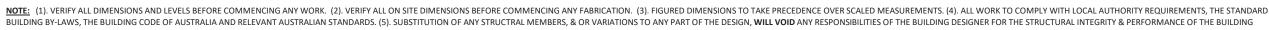
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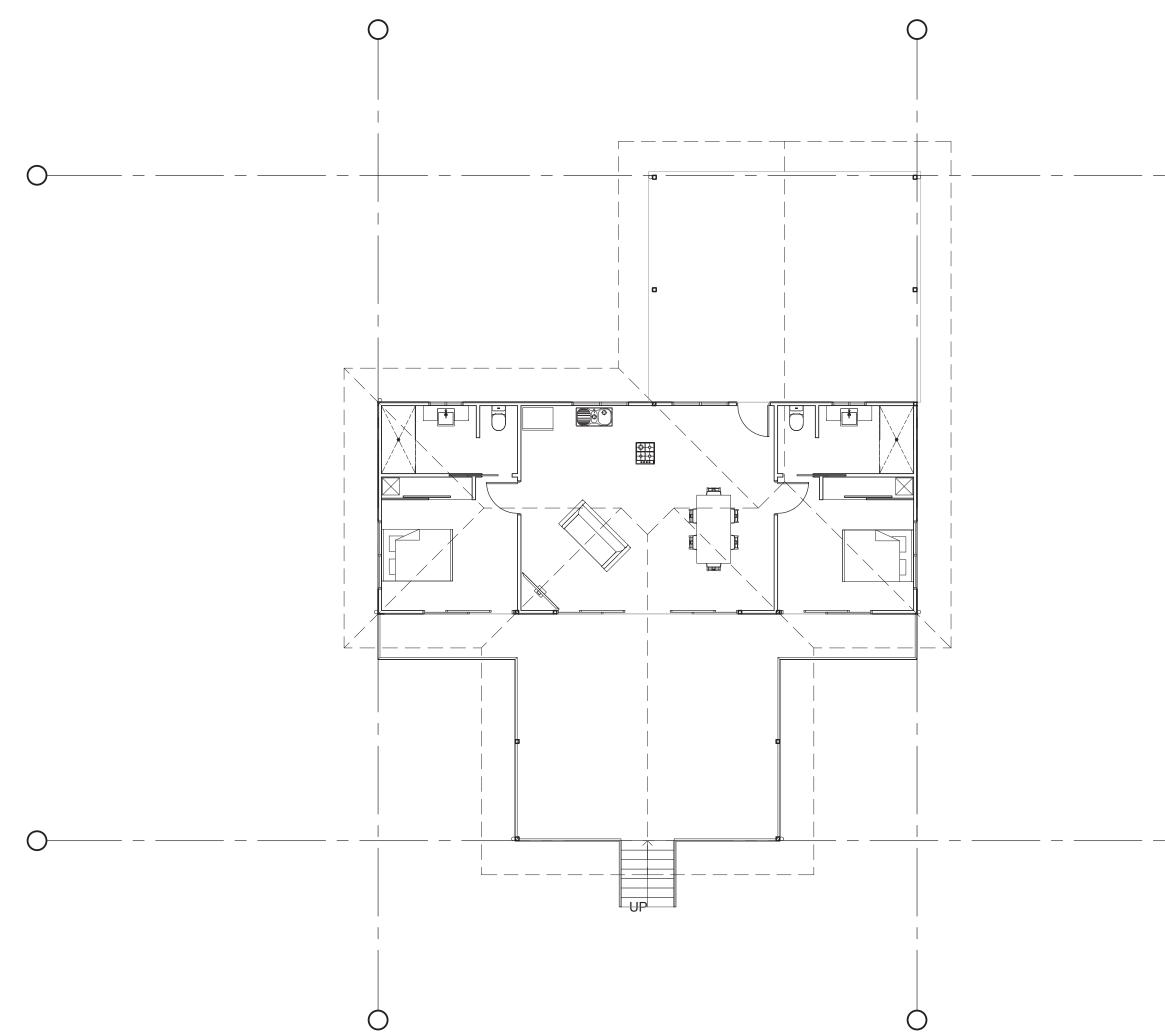


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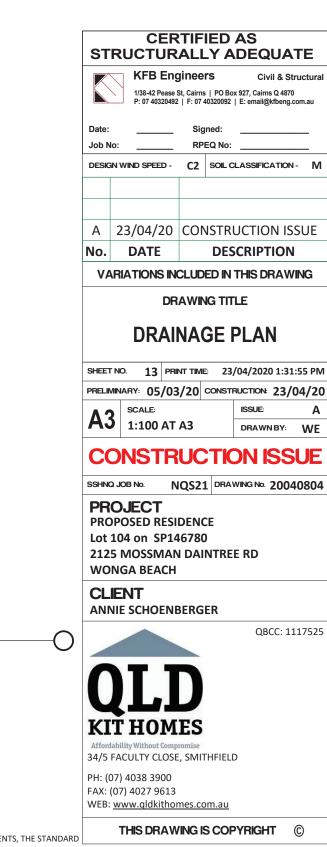




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