

IDAS form 1—Application details

(Sustainable Planning Act 2009 version 4.2 effective 3 August 2015)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

JUSTINE MURRAY

For companies, contact name

Postal address

PO BOX 909

Suburb

PORT DOUGLAS

State

Postcode

4877

Country

Contact phone number

044 800 1336

Mobile number (non-mandatory requirement)

Fax number (non-mandatory requirement)

40.2015.1139.1

Email address (non-mandatory requirement)

juss
@ daintreenaturals.com

Applicant's reference number (non-mandatory requirement)

1. What is the nature of the development proposed and what type of approval is being sought?**Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)**

a) What is the nature of the development? (Please only tick one box.)

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

- ☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☒ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

HOUSE

d) What is the level of assessment? (Please only tick one box.)

- ☒ Impact assessment ☐ Code assessment

Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

a) What is the nature of development? (Please only tick one box.)

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

- ☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☒ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

HOME ACTIVITY

d) What is the level of assessment?

- ☒ Impact assessment ☐ Code assessment

Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

- ☐ Refer attached schedule ☒ Not required

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water.) (Attach a separate schedule if there is insufficient space in this table.)

- ☒ Street address **and** lot on plan (All lots must be listed.)
- ☐ Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)			GEORGE ROAD FORESTCREEK		86	735858	DOUGLAS.
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)	Conservation	WORLD HERITAGE + ENVIRONS	NONE
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

3. Total area of the premises on which the development is proposed (indicate square metres)

117.6 HA

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

vacant land

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)

☒ No ☐ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

☐ No
☒ Yes—complete either Table F, Table G or Table H as applicable

Table F

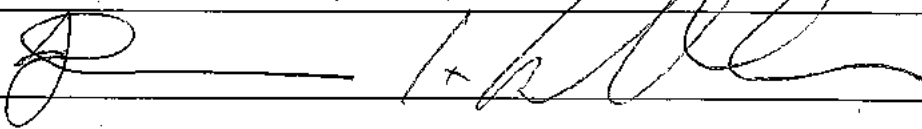
Name of owner/s of the land	Justine Murray / Matthew Wheldon
I/We, the above-mentioned owner/s of the land, consent to the making of this application	
Signature of owner/s of the land	
Date	

Table G

Name of owner/s of the land	Matthew Wheldon
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

Table H

Name of owner/s of the land	
<input type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

- ☐ Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- ☐ On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- ☐ In a tidal water area—complete Table K
- ☐ On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)
- ☐ Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* (no table requires completion)

Table I

Name of water body, watercourse or aquifer

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water). (Attach a separate schedule if there is insufficient space in this table.)

- ☒ Street address and lot on plan (All lots must be listed.)
☐ Street address and lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)			GEORGE ROAD, FORESTCREEK		86	135858	DOUGLAS
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)	CONSERVATION	WORLDHERITAGE + ENVIRONS	NONE
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

3. Total area of the premises on which the development is proposed (Indicate square metres)

117.6 HA

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

vacant land - conservation

Table J

Lot on plan description for strategic port land	Port authority for the lot

Table K

Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

☒ No ☐ Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (Including any services)

☐ No ☒ Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

☒ No—go to question 12 ☐ Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

☐ No

☐ Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L

Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the *Sustainable Planning Act 2009*?

☒ No

☐ Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

- 13. List below all of the forms and supporting information that accompany this application** (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application)

Description of attachment or title of attachment	Method of lodgement to assessment manager
Project Details + Report	over Counter
Construction + Site Plans	over counter.

14. Applicant's declaration

- ☐ By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

Notes for completing this form

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

Applicant details

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

- Schedule 3 of the *Sustainable Planning Regulation 2009* identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 7

- If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the *Sustainable Planning Regulation 2009* identifies where compliance assessment is required.

Question 11

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the *Building and Construction Industry (Portable Long Service Leave) Regulation 2002*.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of Infrastructure, Local Government and Planning (DILGP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

OFFICE USE ONLY

Date received

5/11/15

Reference numbers

107208

NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To

Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form
		\$287.00	5/11/15		

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Material Charge of Use Application by J Murray

SITE DESCRIPTION

Location	Lot 86 RP73585 George Road Forest Creek
Parish/County	Alexandra/Solander
Locality	World Heritage Environs
Zone	Conservation – Impact Accessible
Area	117.6 ha (115.5ha forest+2.1 cleared)
Tenure	Freehold (no easements)
Topography	Gently sloping to rugged gorges, straddles Alexandra Range
Aspect	Mostly south east facing with small north east corner over range
Rainfall/climate	2000-3000mm/Tropical
Vegetation	Majority simple microphyll vine fern forest with small <i>Brachiaria</i> paddock
Soil /Drainage	Blocky light red clay loam with good drainage overlying granite boulders
Current Land use	Conservation/Revegetation
Neighbouring Land use	Rural residential /Conservation

PROPOSED DEVELOPMENT

Description	House – one bedroom
Construction	Steel/Timber on concrete slab
Access	Existing driveway and buggy track
Power Supply	Micro-hydro with backup PV Solar and battery storage
Water Supply	2x25000lt Rainwater Tanks
Effluent disposal	Septic tank with 10m trench based on 300lt/day
Earthworks	Level pad 160m2+10x2m trenches
Landscaping	Native ferns and palms

CONTACTORS LIST

Architect – Peter Dall’alda Design

Engineer – CMG Consulting Engineers

Geotechnical - Dirt Professionals Pty Ltd

Building certifier – GMA Certification

Builder – Inspired Property Solutions Pty Ltd

Plumber – Zammataro Plumbing Pty Ltd

Landscaping – Owner

COMMENTS

The proposed development has been carefully designed to meet all performance criteria of the World Heritage and Environ Locality and Home Activity Codes of the current DSC town plan and guidelines approved by WTMA.

Provision of onsite security has become a necessary due to ongoing trespass by neighbours who have constructed unauthorized infrastructure (water pipelines) from the creek on the land. The establishment of a residence will help ensure protection of the property’s world heritage values by allowing early detection of further trespass.

Less than 0.5ha of the total 117.6ha will be impacted with the house constructed in the middle of the existing cleared area being over 50 meters from Geoffrey Creek with no shading from /or disturbance of the surrounding rainforest. The proposed land use is similar to surrounding rural residential dwellings along George Road. The house will be hidden from view from George Road and other houses by existing vegetation.

Minimal environmental and traffic impacts are anticipated with no extra dust, noise or traffic load created after construction is completed. Existing driveway and access paths require no upgrading. Minimal earthworks will be needed as the proposed house site is nearly level, trenching will follow the contour on the nor-eastern end.

Solar and micro-hydro power (existing) and water efficient appliances with rainwater tanks will ensure the sustainability of this low impact development.

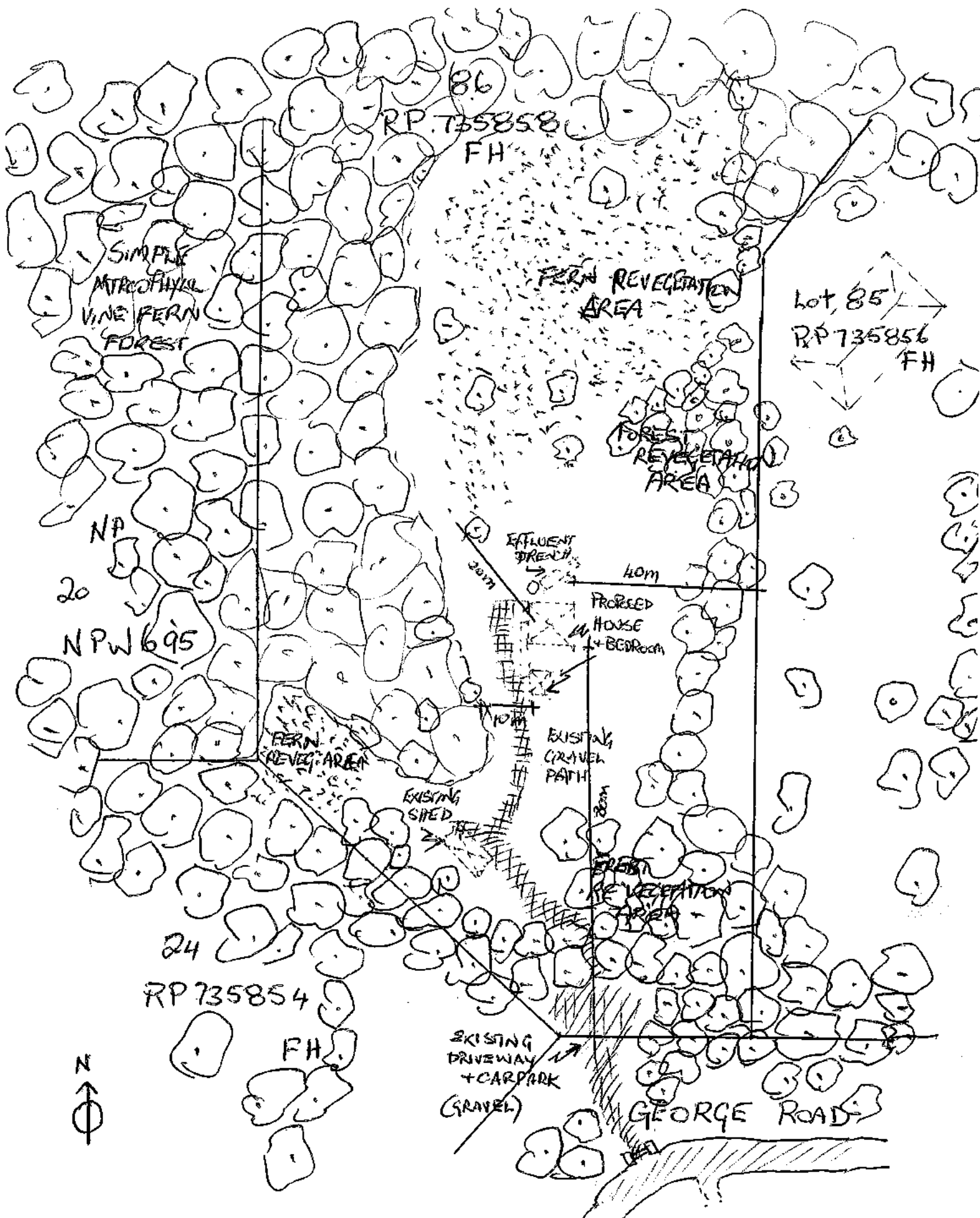
Effluent disposal via septic tank and trenches meets guidelines based on preliminary site investigation and experience in the area by our plumbing contractor based on the low projected load.

All finishes will be in natural pastel colours using water based paints or low toxic metal finishes.

Television and mobile phone reception is available on site. No landline service will be required.

Four revegetation projects using native plants propagated on site have already been completed on the property with further projects planned including the landscaping of the area surrounding the house with low level fern forest.

It is proposed to conduct low impact research/testing on the property as part of ongoing development of natural based products sold under the Daintree Naturals label. Utilising the ground level of the house and small temporary areas in the clearing and forest, no addition infrastructure will be required. No extra traffic, dust or noise will be created.



Check all figures
on site. Set Back
to be observed in
reference to scale.

PROPOSED RESIDENCE
J MURRAY
Lot 86 GEORGE RD
FOREST CREEK

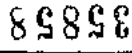
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ASG

9/15

Detailed Site
PLAN

REFERENCE MARKS

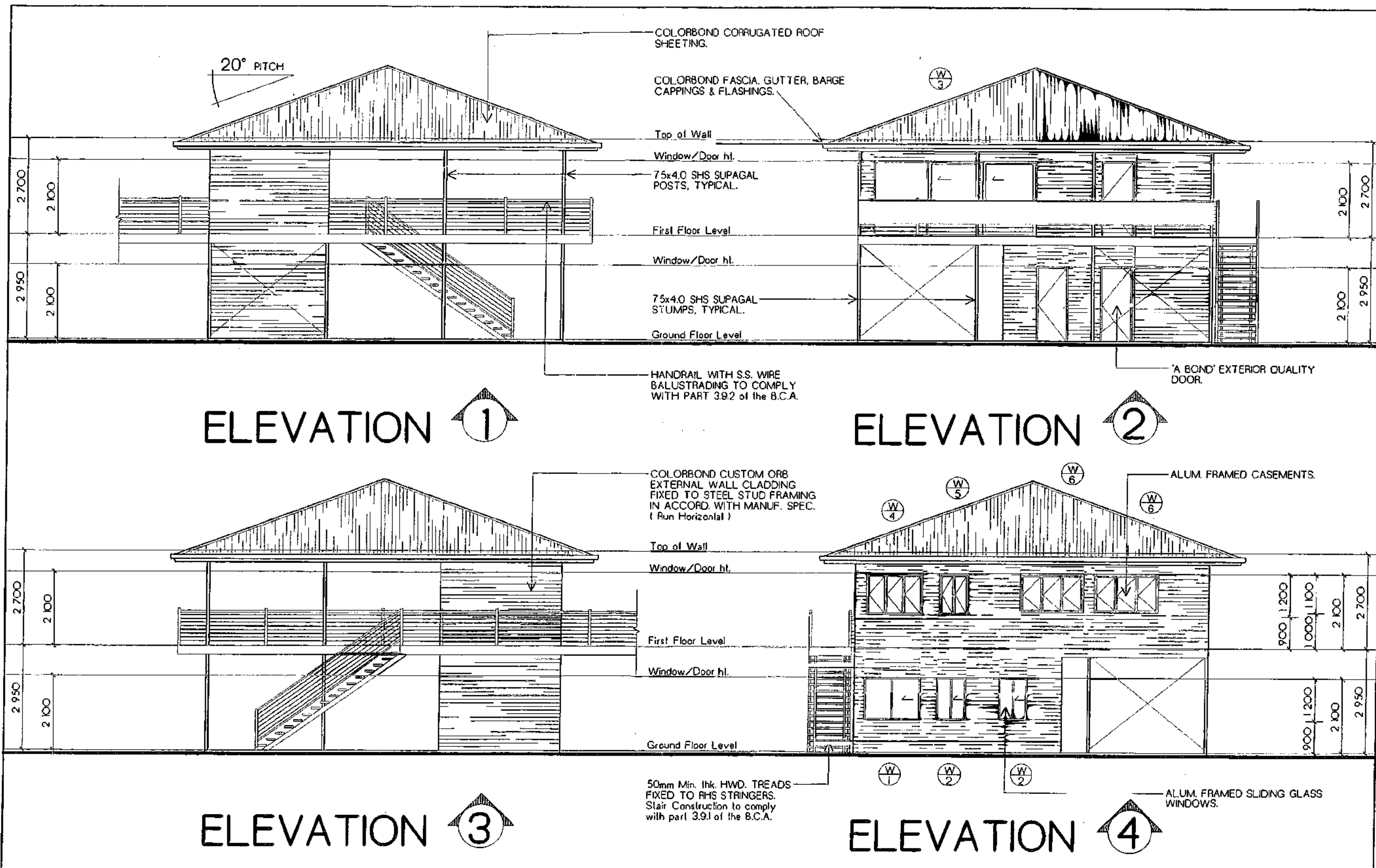


PLAN MUST BE DRAWN WITHIN BLUE LINES

Amendments in red by me on '9.1.1981

Licensed Surveyor

CISP



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

C. M. G. 15-409
C.M.G. CONSULTING ENGINEERS
 208 BUCHAN ST. CAIRNS QLD. 4870
 PH. 07 4031 2775 FAX. 07 4031 9013

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 Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work commences.

building designer
peter dall'alba design
 carl. bid loch, JP.
 lic. under OBSA Act 1991 - No. 57534
 96A gordon street, gordonvale, 4865.
 telephone: 07 4058 1983

PROPOSED RESIDENCE FOR :
J. MURRAY,
LOT 86, George ROAD, Forest Creek.

1:100.

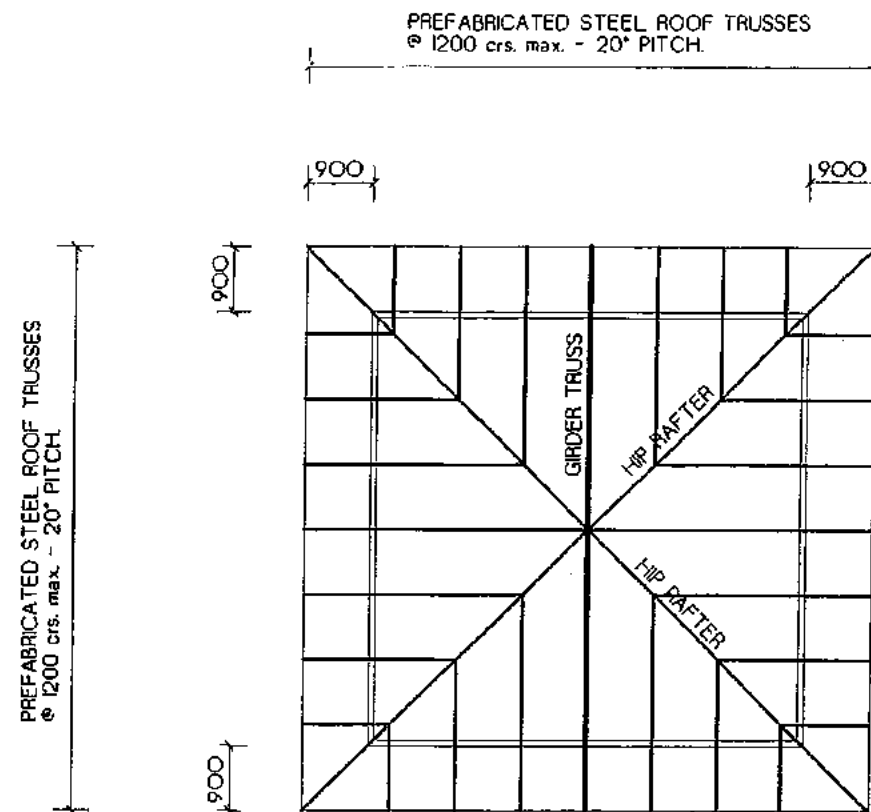
APRIL 2009

1170

WIND CLASSIFICATION

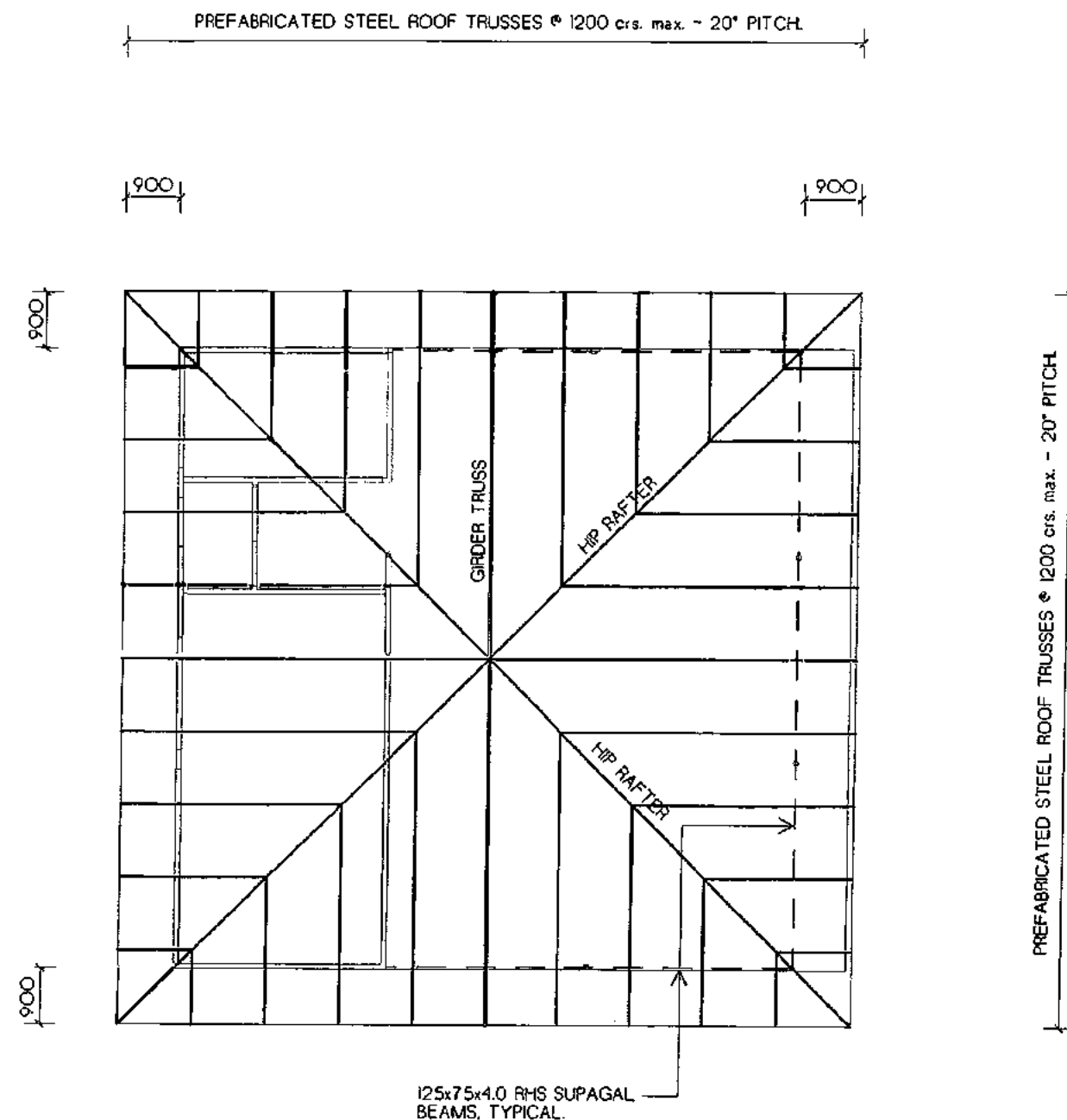
W7
 OF 9

C2



NOTE:

TRUSS TIE-DOWN IN ACCORD.
WITH MANUF. SPECIFICATIONS.



ROOF FRAMING PLAN

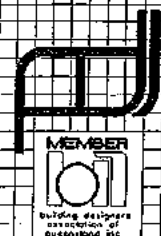
1:100

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. Pennington 15-4-09

C.M.G. ENGINEERS CONSULTING
208 BUCHAN ST.
CAIRNS QLD. 4870
PH. 07 4031 2775
FAX. 07 4051 9013

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Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences.



**building
designer**

peter dall'alba design
cert. bldg tech. J.P.
lic. under OBSA Act 1991 - No. 57534
96A Gordon Street, Gordonvale, 4885.
Telephone: 07 4058 1883

PROPOSED RESIDENCE FOR :
J. MURRAY,
LOT 86, George ROAD, Forest
Creek.

1:100.

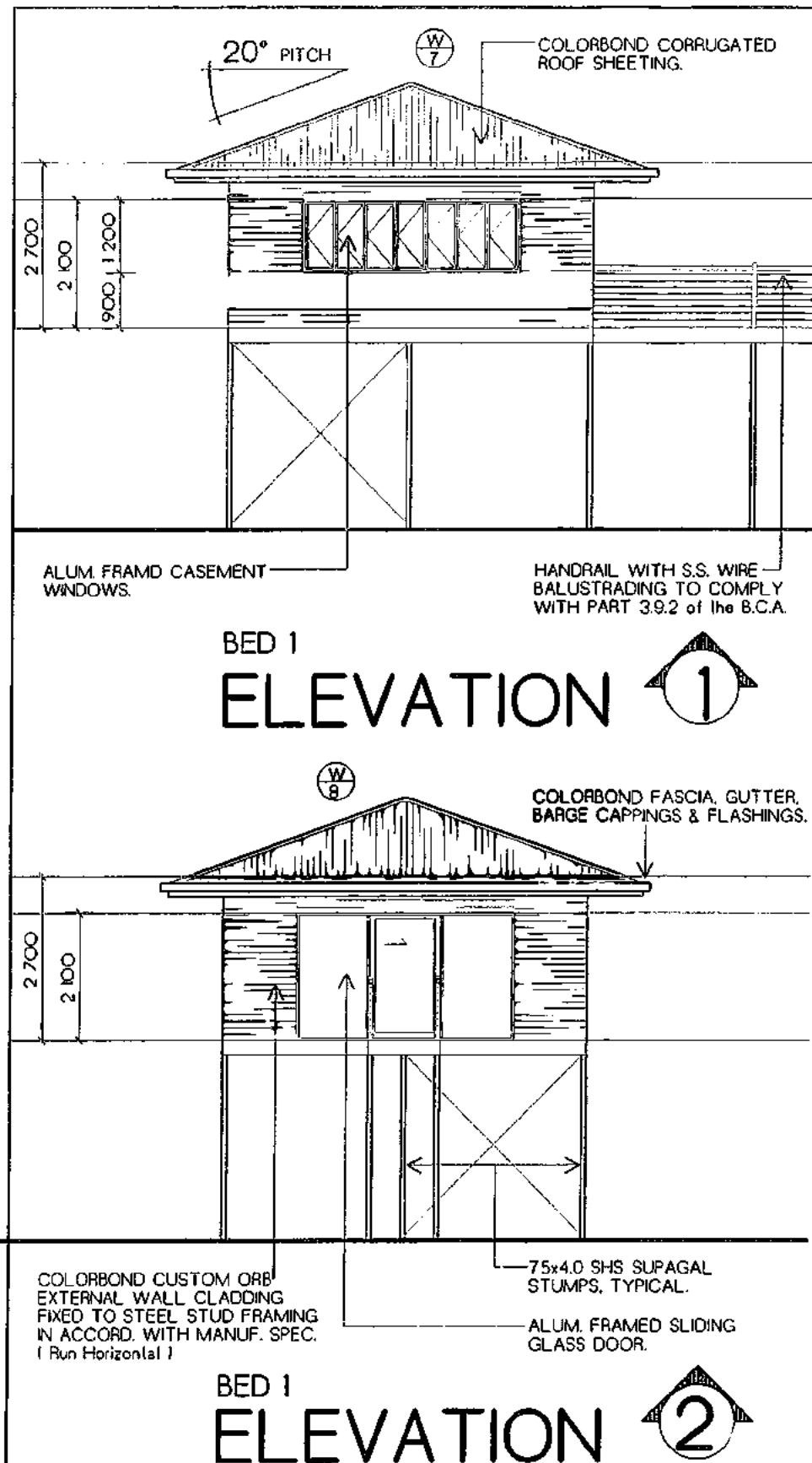
APRIL 2009

1170

WIND
CLASSIFICATION

W6
OF 9

C2



RAINWATER TANKS:

THE TANK CAPACITY TO BE A LEAST 5000 LITRES WHERE USED FOR EXTERNAL AND INTERNAL USE. THE TANK MUST BE INSTALLED IN SUCH A WAY THAT IT RECEIVES THE RAINFALL FROM A ROOF CATCHMENT OF AT LEAST 100 SQM OR HALF THE ROOF AREA, WHICHEVER IS THE LESSER. THE TANK(S) IS/ARE REQUIRED TO BE CONNECTED TO ALL TOILET CISTERNS & TO WASHING MACHINE COLD TAPS. PROVIDE A SCREENED DOWNPIPE RAINHEAD TO ALL DOWNPIPES THAT CONNECT TO THE TANK(S). THE SCREEN MESH TO HAVE OPENINGS NO SMALLER THAN 4 MM AND NO LARGER THAN 6MM AND DESIGNED TO SHED LEAVES. THE TANK(S) TO BE PROVIDED WITH MOSQUITO-PROOF SCREENS OF BRASS, COPPER, ALUMINIUM OR STAINLESS STEEL, WITH THE GAUZE NOT COARSER THAN 1MM APERTURE MESH OR FLAP VALVES AT EVERY OPENING OF THE RAINWATER TANK. IF A TANK IS PROVIDED WITH A MANHOLE, THE MANHOLE MUST HAVE A DIAMETER OF NO MORE THAN 400MM AND A VERMIN TRAP. PROVIDE FOR AN AUTOMATIC OR MANUAL INTERCHANGE DEVICE THAT ALLOWS ALTERNATE USE OF THE WATER FROM THE TANK OR THE RETICULATED WATER SUPPLY MUST BE INSTALLED TO ENSURE THAT THERE IS A CONTINUAL SUPPLY OF WATER FOR SANITY FLUSHING AND LAUNDRY USE. A SUITABLE BACKFLOW DEVICE MUST BE INSTALLED TO PROTECT POTABLE WATER WITHIN THE RETICULATED SUPPLY IN ACCORDANCE WITH AS/NZS 3500:2003 PLUMBING AND DRAINAGE. POLYETHYLENE TANKS SHALL BE IN ACCORDANCE WITH AS/NZS 4766 (INT)2002 POLYETHYLENE STORAGE TANKS FOR WATER AND CHEMICALS. GALVANISED STEEL SHEET TANKS SHALL BE IN ACCORDANCE WITH AS397:2001 STEEL SHEET AND STRIP HOT DIPPED ZINC-COATED OR ALUMINIUM/ZINC-COATED AND HAVE A MINIMUM COATING OF 550 G/M². STAINLESS STEEL TANKS SHALL BE IN ACCORDANCE WITH ASTM A240/240M-05 STANDARD SPECIFICATION FOR CHROMIUM-NICKEL STAINLESS STEEL PLATE, SHEET, AND STRIP FOR PRESSURE VESSELS AND FOR GENERAL APPLICATIONS. CONCRETE TANKS TO BE IN ACCORDANCE WITH AS3735:2001 CONCRETE STRUCTURES CONTAINING LIQUIDS.

RAINWATER TANK OVERFLOW

THE RAINWATER TANK OVERFLOW MUST BE CONNECTED TO AN UNDERGROUND STORMWATER LINE DISCHARGING TO THE KERB, AN OPEN DRAIN OR ANY APPROVED DISCHARGE POINT

RAINWATER TANK STANDS:

THE RAINWATER TANK STAND OR OTHER SUPPORTING STRUCTURE MUST COMPLY WITH WITH AS/NZS1170:1:2002 PERMANENT, IMPOSED AND OTHER ACTIONS AND AS/NZS1170:2:2002 WIND ACTIONS.

WATER TANK TIE-DOWN

75x6 THK. GALV. FISHPLATE CAST INTO 600x600x600 MASS CONC. FOOTING EACH SIDE OF TANK. 6mm GALV. WIRE ANCHOR ROPE PASSED OVER TANK THROUGH LIFTING LUGS AND FIXED TO FISHPLATES WITH WIRE ROPE GRIPS.

BUILDING PLATFORM PREPARATION

1. AN AREA APPROXIMATELY 2000 PAST THE BUILDING LINES IS TO BE STRIPPED OF ALL TOPSOIL AND ALL ORGANIC MATTER ETC. IS TO BE GRUBBED OUT LEAVING FIRM STABLE MATERIAL ONLY. ALL TOP SOIL CAN BE STOCKPILED ON SITE FOR LATER USE IN LANDSCAPING.
2. ANY TREE STUMPS UNDER THE PLATFORM ARE TO BE REMOVED AND THE RESULTANT HOLES ARE TO BE BACKFILLED WITH APPROVED NON-PLASTIC FILL MATERIAL IN COMPACTED LAYERS NOT EXCEEDING 150 mm TO 98 % S.R.D.D.
3. THE BUILDING PLATFORM SHALL THEN BE COMPACTED WITH A MINIMUM 10 TONNE VIBRATION ROLLER. THE USE OF VIBRATORY ROLLERS FOR EARTH WORKS COMPACTION MAY CAUSE SIGNIFICANT GROUND VIBRATION & CAREFUL SITE CONTROL, OR THE USE OF HEAVY STATIC COMPACTION PLANT WILL BE REQUIRED TO AVOID DAMAGE TO ADJOINING BUILDINGS.
4. ANY FILL IS TO BE SPREAD IN LAYERS NOT EXCEEDING 150 mm & COMPACTED WITH THE ROLLER TO 98% S.R.D.D. AT OPTIMUM MOISTURE CONTENT.
5. THE BUILDING PLATFORM IS TO BE SHAPED TO ALLOW FOR 50mm MINIMUM SAND BEDDING UNDER BUILDING SLABS & TO ENSURE THAT IT DRAINS TO ITS PERIMETER AND SUCH DRAINAGE IS TAKEN AWAY FROM THE BUILDING PLATFORM AREA.
6. ON COMPLETION OF ROLLING, THE BUILDER SHALL ENGAGE A SOIL TESTER TO CARRY OUT A MINIMUM OF 4 PENETROMETER TESTS OVER THE SITE, AND THE RESULTS SHALL BE FORWARDED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.
7. RE-SPREAD TOP SOIL TO OWNERS REQUIREMENTS
8. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT AUTHORITIES & GENERALLY IN ACCORDANCE WITH A.S. 2870
9. THE CERTIFICATION OF THE FOOTINGS IS BASED ON AN ASSUMED CLASS 'S' SITE CLASSIFICATION, MINIMUM SAFE BEARING CAPACITY 100 KPa.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

C. M. G. 15409
C.M.G. CONSULTING ENGINEERS
 208 BUCHAN ST.
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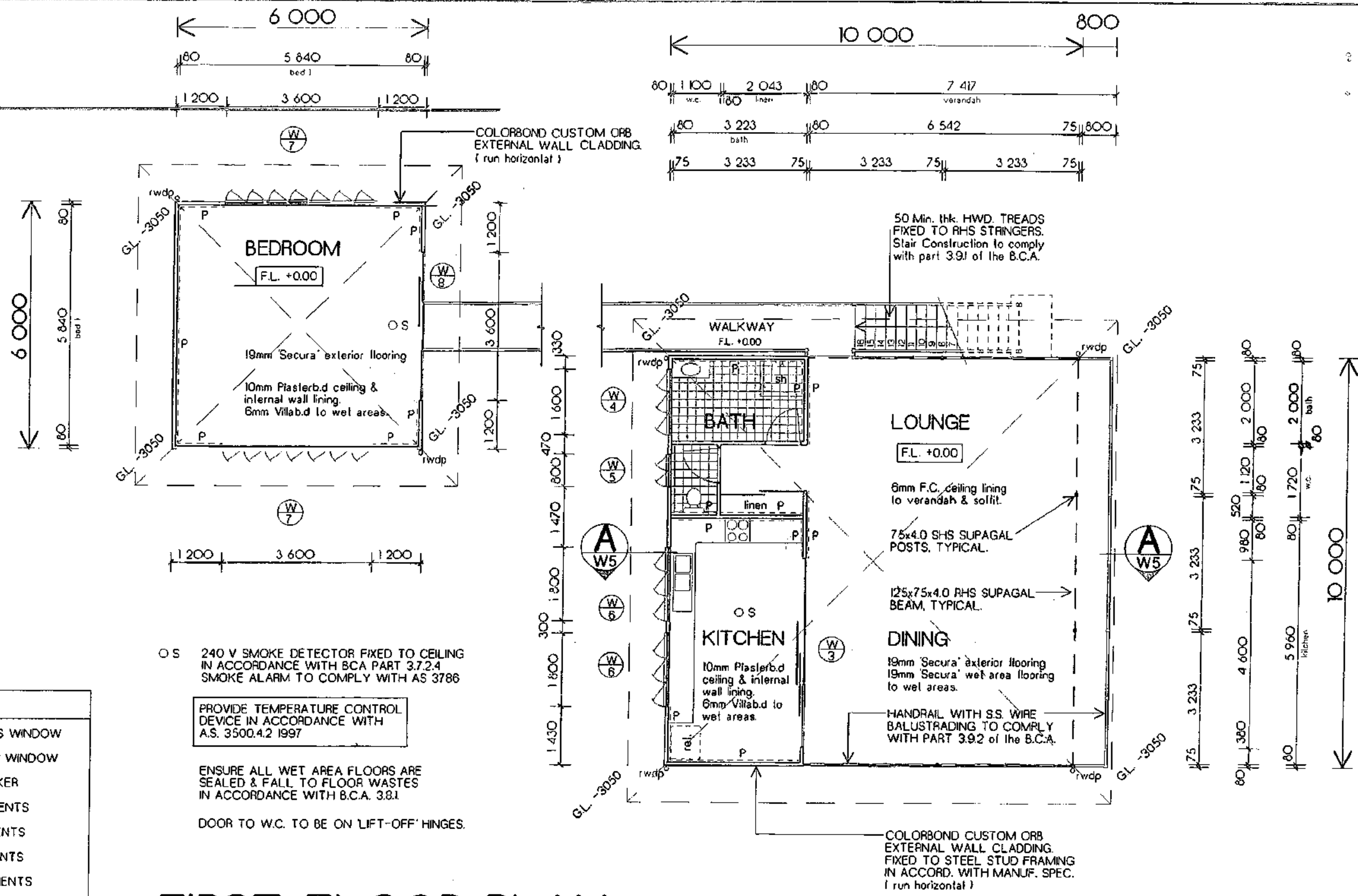
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 Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work commences.

building designer
peter dall'alba design
 cert. bld tech. JP.
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PROPOSED RESIDENCE FOR :
J. MURRAY,
LOT 86, George ROAD, Forest
Creek.

1 : 100.
 APRIL 2009
1170
W8
 OF 9
 WIND CLASSIFICATION **C2**

FLOOR AREA :	
GROUND FLOOR	- 100.0 m ²
FIRST FLOOR	- 108.0 m ²
BED 1	- 36.0 m ²
TOTAL	- 243.0 m ²



FIRST FLOOR PLAN

1:100

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

C.M.G. CONSULTING ENGINEERS
 208 BUCHAN ST. CAIRNS QLD. 4870
 PH. 07 4031 2775 FAX. 07 4051 9013

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PROPOSED RESIDENCE FOR :
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LOT 86, George ROAD, Forest Creek.

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WIND CLASSIFICATION

W2
 OF 9

C2

FLOORING FIXED TO C15015
Z.A. JOISTS.

75x4.0 SHS SUPAGAL
POSTS.

C15015 Z.A. JOISTS @ 450 cns. max.

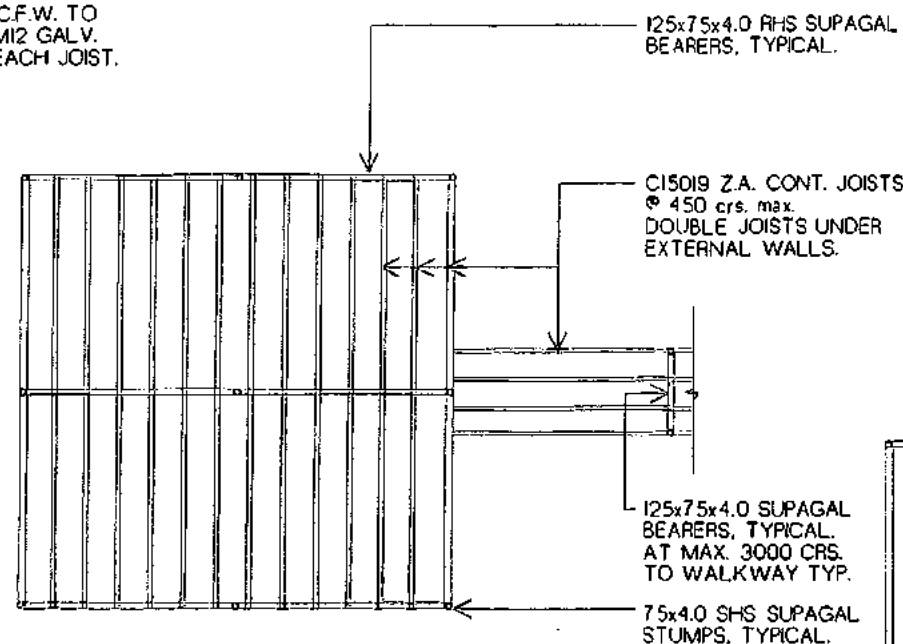
50 CLEAT, C.F.W. TO
BEARER, 2/M12 GALV.
BOLTS TO EACH JOIST.

125x75x4.0 RHS
BEARER, C.F.W. TO
TOP OF STUMPS.

75x4.0 SHS SUPAGAL
STUMPS.

DETAIL F1

1:20



CONCRETE NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE
WITH AS 3600

2. MINIMUM COVER TO REINFORCEMENT TO BE AS FOLLOWS
UNLESS NOTED OTHERWISE ON THE DRAWING:

UNDERSIDE & SIDE OF FOOTINGS	65 mm
TOP OF FOOTINGS	30 mm
FLOOR SLAB	30 mm

3. CONTROL JOINTS SHALL BE PROPERLY FORMED AND
USED ONLY WHERE SHOWN.

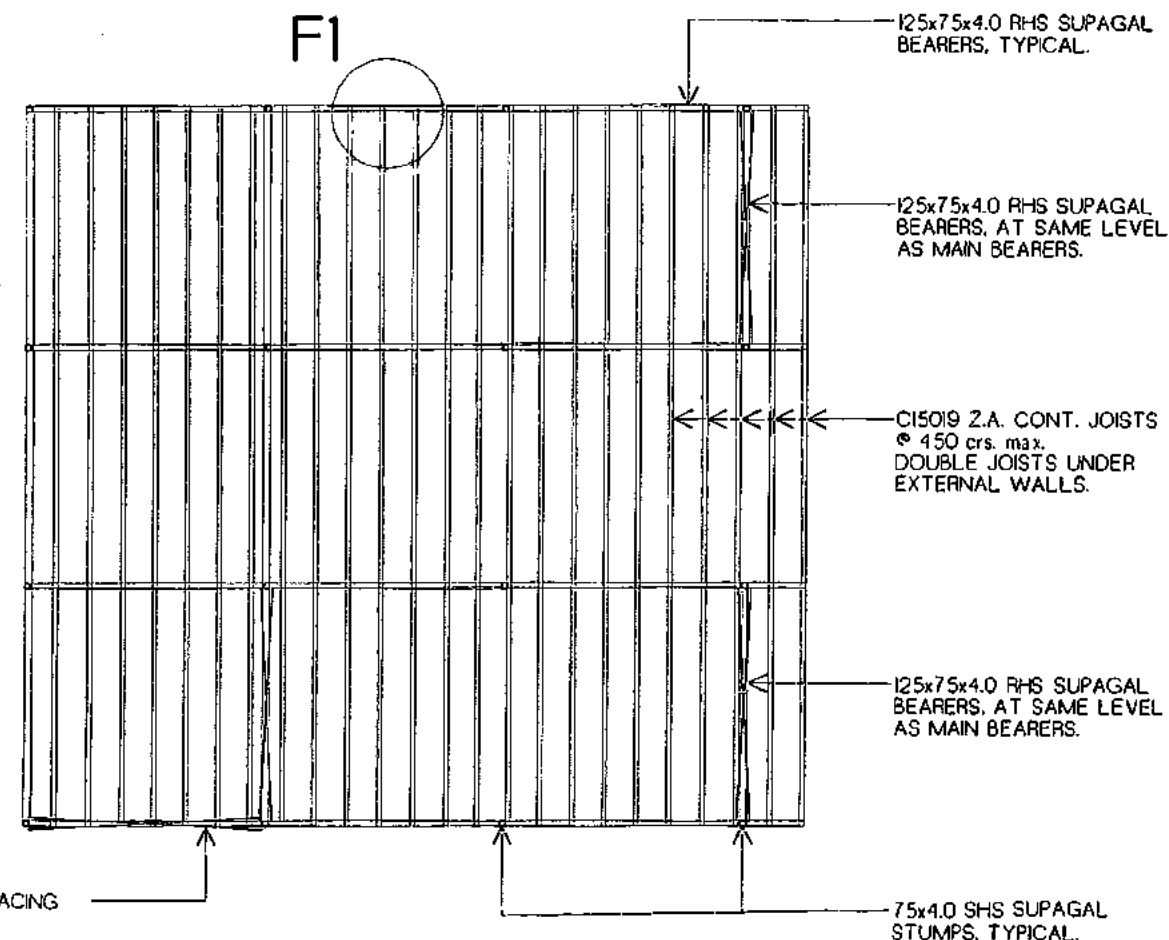
4. REINFORCEMENT IS SHOWN DIAGRAMATICALLY AND NOT
NECESSARILY SHOWN IN THE TRUE PROJECTION.

5. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS
SHOWN OR AS OTHERWISE APPROVED BY THE SUPERINTENDENT.

6. ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT
POSITION SO AS NOT TO BE DISPLACED DURING CONCRETING, ON
APPROVED BAR CHAIRS AT 1000 mm MAXIMUM CENTRES BOTH WAYS.
WHERE REQUIRED PROVIDE SUPPORT BARS N16 AT 1000 mm
MAXIMUM CENTRES.

7. CONCRETE COMPONENTS AND QUALITY SHALL BE AS FOLLOWS:

ELEMENT	SLUMP MAX.	AGGREGATE SIZE	F _c	AGGREGATE
FOUNDATIONS				
GROUND SLABS	80 +/- 15	20 mm	N20	NORMAL



FLOOR FRAMING PLAN

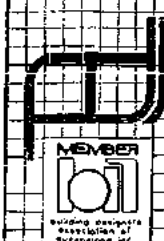
1:100

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

P. J. J. 15-409

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PROPOSED RESIDENCE FOR :
J. MURRAY,
LOT 86, George ROAD, Forest
Creek.

1:100, 1:20,

APRIL 2009

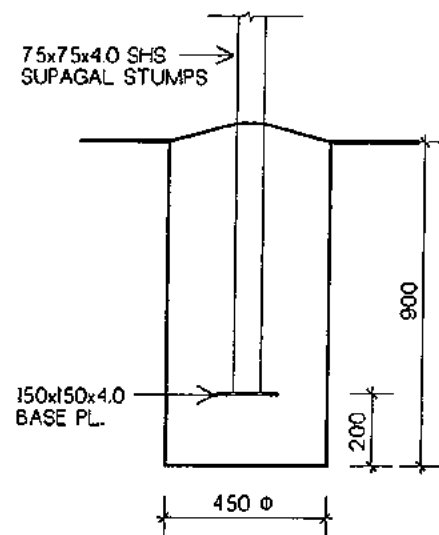
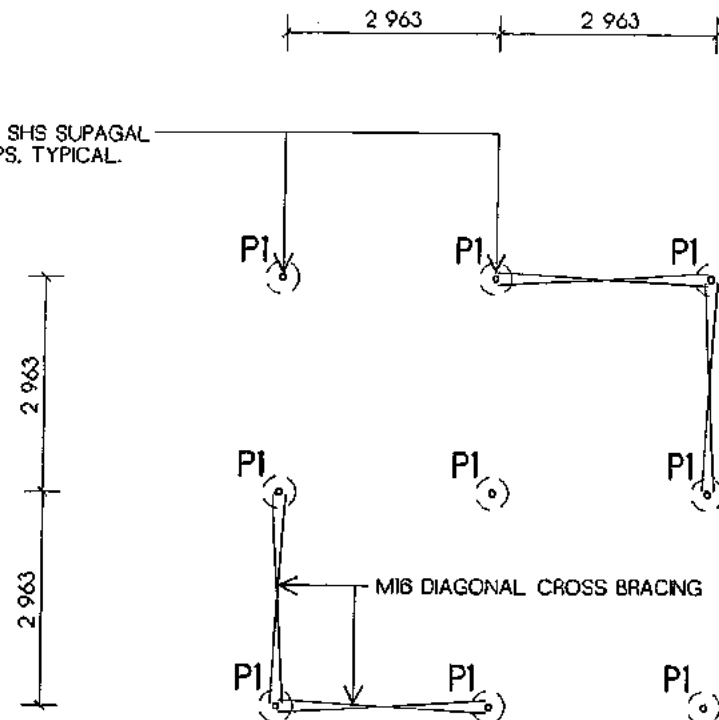
1170

WIND
CLASSIFICATION

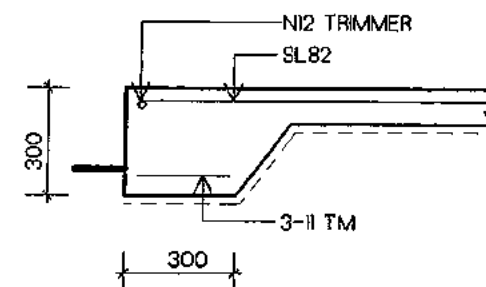
W4
OF 9

C2

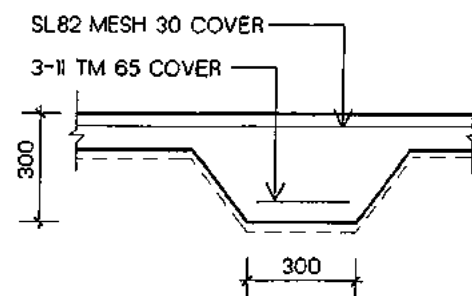
75x4.0 SHS SUPAGAL STUMPS, TYPICAL.



FOOTING P1
1:20



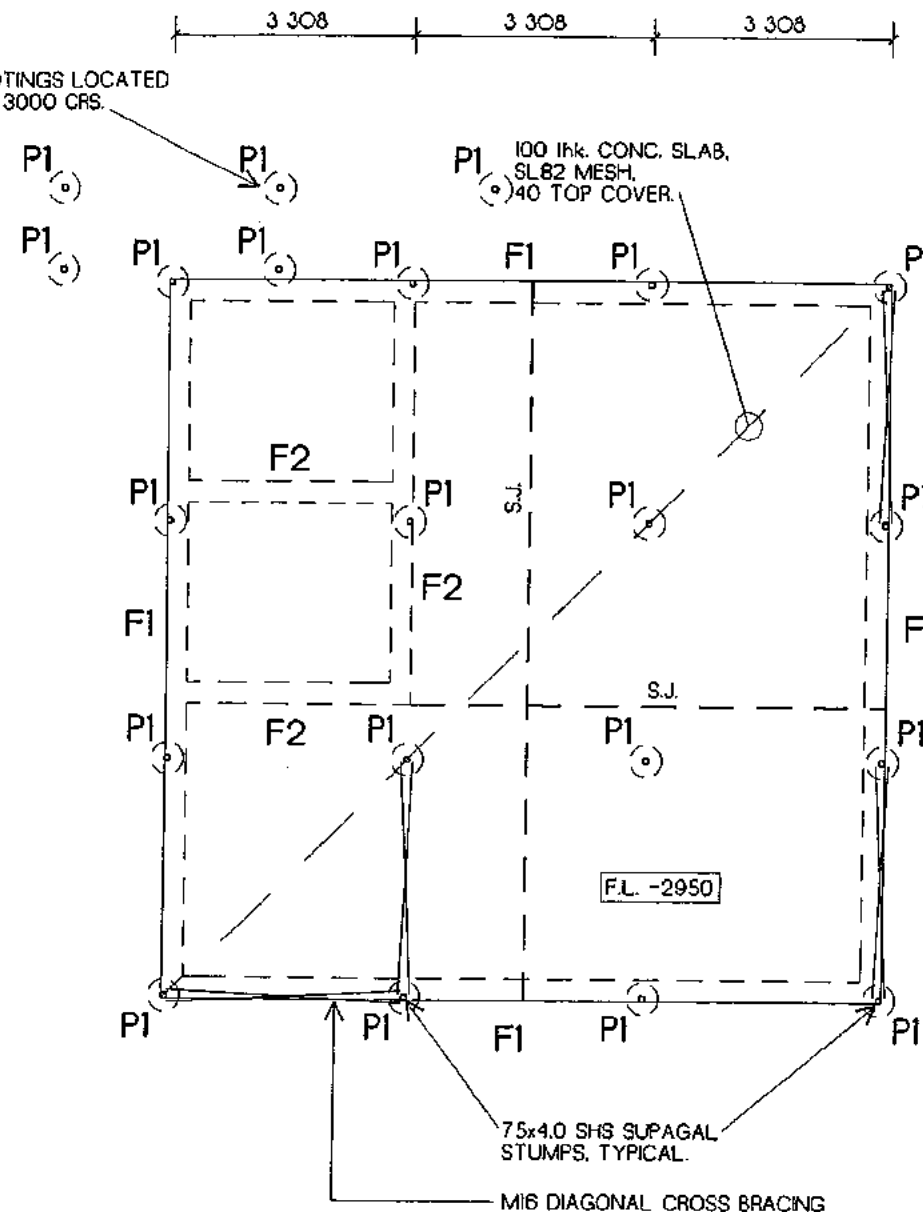
FOOTING F1
1:20



FOOTING F2
1:20

S.J. - DENOTES 25mm SAWN JOINT WITHIN 12 HOURS OF PLACEMENT OF CONCRETE

WALKWAY FOOTINGS LOCATED ON SITE, MAX. 3000 CRS.

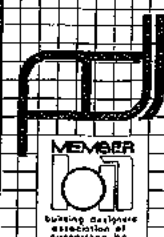


FOOTING PLAN
1:100

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

Signature 15-409
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PROPOSED RESIDENCE FOR :
J. MURRAY,
LOT 249, WHITE BEECH ROAD,
COW BAY.

1:100, 1:20,

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WIND CLASSIFICATION

W3
OF 9

C2