IDAS form 1—Application details

(*Sustainable Planning Act 2009* version 4.2 effective 3 August 2015)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details)*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)	JAMES WILLIAM BUSH / KAY COLLEEN WILSON
For companies, contact name	
Postal address	515 SILVER ASH ROAD COW BAY
Suburb	COW BAY
State	QUEENSLAND — Postcode 4873
Country	AUSTRALIA
Contact phone number	0419899837 / 0438891998
Mobile number (non-mandatory requirement)	
Fax number (non-mandatory requirement)	

R/N 119693

MCU
Hom

297.35
40.2016.1295.1

Queensland

Email address (non-mandatory requirement)

@

Applicant's reference number (non-mandatory requirement)

1. What is the nature of the development proposed and what type of approval is being sought?

Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

a) What is the nature of the development? (Please only tick one box.)

☒ Material change of use ☐ Reconfiguring a lot ☐ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☒ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

New Dwelling

d) What is the level of assessment? (Please only tick one box.)

☐ Impact assessment ☒ Code assessment

Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

a) What is the nature of development? (Please only tick one box.)

☐ Material change of use ☐ Reconfiguring a lot ☐ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☐ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

d) What is the level of assessment?

☐ Impact assessment ☐ Code assessment

Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

☐ Refer attached schedule ☒ Not required

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water.) (Attach a separate schedule if there is insufficient space in this table.)

[X] Street address **and** lot on plan (All lots must be listed.)

[ ] Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					**Lot on plan description**		**Local government area** (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)			SILVER ASH ROAD COW BAY	4873	515	RP742056	DOUGLAS SHIRE
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				**Zone reference**	**Datum**	**Local government area (if applicable)**
Easting	Northing	Latitude	Longitude			
					[ ] GDA94 [ ] WGS84 [ ] other	

3. Total area of the premises on which the development is proposed (indicate square metres)

1·07ha NOT SUBJ OF CONVERSION

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

VACANT LAND

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)

No ☒ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
MCU Approval, Septic Approval - Ref - 2015/1100	25-11-2015	

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

☒ No

☐ Yes—complete either Table F, Table G or Table H as applicable

Table F	
Name of owner/s of the land	
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	
Date	

Table G	
Name of owner/s of the land	
☐ The owner's written consent is attached or will be provided separately to the assessment manager.	

Table H	
Name of owner/s of the land	
☐ By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

☐ Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I

☐ On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J

☐ In a tidal water area—complete Table K

☐ On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)

☐ Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* (no table requires completion)

Table I
Name of water body, watercourse or aquifer

Table J	
Lot on plan description for strategic port land	Port authority for the lot

Table K	
Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

☒ No ☐ Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (Including any services)

☐ No ☒ Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

☒ No—go to question 12 ☐ Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

☐ No

☐ Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L		
Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the *Sustainable Planning Act 2009*?

☒ No

☐ Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

13. List below all of the forms and supporting information that accompany this application (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application)

Description of attachment or title of attachment	Method of lodgement to assessment manager
Certifiers Contract	over the counter
IDAS 1 & 2.	
Site Plan / Drawings / Form 15	
MCU Approval	
Septic Approval.	

14. Applicant's declaration

☒ By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

Notes for completing this form

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

Applicant details

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

- Schedule 3 of the Sustainable Planning Regulation 2009 identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 7

- If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the Sustainable Planning Regulation 2009 identifies where compliance assessment is required.

Question 11

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the Building and Construction Industry (Portable Long Service Leave) Regulation 2002.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of Infrastructure, Local Government and Planning (DILGP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

OFFICE USE ONLY

Date received 12-10-2015 Reference numbers GSA 2016/05

NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To Douglas Shire Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s
12-01-2016	GSA Building Approvals	A16457	1A

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid ($)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form
	N/A.				

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

IDAS form 5—Material change of use assessable against a planning scheme

(*Sustainable Planning Act 2009* version 3.1 effective 3 August 2015)

This form must be used for development applications for a material change of use assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form must also be used for material change of use on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

Mandatory requirements

1. Describe the proposed use. (Note: this is to provide additional detail to the information provided in question 1 of *IDAS form 1—Application details*. Attach a separate schedule if there is insufficient space in this table.)

General explanation of the proposed use	Planning scheme definition (include each definition in a new row) (non-mandatory)	No. of dwelling units (if applicable) or gross floor area (if applicable)	Days and hours of operation (if applicable)	No. of employees (if applicable)
ONE 'ALL AUSSIE SHEDS'				
CARPORTS 8.5m x 4m		ONE		OWNER
CARPORT TO BE BUILT		40.25 m²		BUILDER
AND CONVERTED INTO		BUILT TO INCLUDE		
A ONE BEROOM / ONE		BATHROOM		
BATHROOM PRIVATE DWELLING		AREA		

2. Are there any current approvals associated with the proposed material change of use? (e.g. a preliminary approval.)

☒ No ☐ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

3. Does the proposed use involve the following? (Tick all applicable boxes.)

The reuse of existing buildings on the premises	☒ No	☐ Yes
New building work on the premises	☐ No	☒ Yes
The reuse of existing operational work on the premises	☒ No	☐ Yes
New operational work on the premises	☐ No	☒ Yes

Mandatory supporting information

4. Confirm that the following mandatory supporting information accompanies this application

Mandatory supporting information	**Confirmation of lodgement**	**Method of lodgement**
All applications		
A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are **recommended** scales) which shows the following: • the location and site area of the land to which the application relates (*relevant land*) • the north point • the boundaries of the relevant land • any road frontages of the relevant land, including the name of the road • the location and use of any existing or proposed buildings or structures on the relevant land (note: where extensive demolition or new buildings are proposed, two separate plans [an existing site plan and proposed site plan] may be appropriate) • any existing or proposed easements on the relevant land and their function • the location and use of buildings on land adjoining the relevant land • all vehicle access points and any existing or proposed car parking areas on the relevant land. Car parking spaces for persons with disabilities and any service vehicle access and parking should be clearly marked • for any new building on the relevant land, the location of refuse storage • the location of any proposed retaining walls on the relevant land and their height • the location of any proposed landscaping on the relevant land • the location of any stormwater detention on the relevant land.	☒ Confirmed	
A statement about how the proposed development addresses the local government's planning scheme and any other planning instruments or documents relevant to the application.	☐ Confirmed	
A statement about the intensity and scale of the proposed use (e.g. number of visitors, number of seats, capacity of storage area etc.).	☐ Confirmed	
Information that states: • the existing or proposed floor area, site cover, maximum number of storeys and maximum height above natural ground level for existing or new buildings (e.g. information regarding existing buildings but not being reused) • the existing or proposed number of on-site car parking bays, type of vehicle cross-over (for non-residential uses) and vehicular servicing arrangement (for non-residential uses).	☐ Confirmed ☐ Not applicable	

A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	☐ Confirmed ☐ Not applicable	
When the application involves the reuse of existing buildings		
Plans showing the size, location, existing floor area, existing site cover, existing maximum number of storeys and existing maximum height above natural ground level of the buildings to be reused.	☐ Confirmed ☒ Not applicable	
When the application involves new building work (including extensions)		
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are **recommended** scales) which show the following: • the north point • the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only) • the room layout (for residential development only) with all rooms clearly labelled • the existing and the proposed built form (for extensions only) • the gross floor area of each proposed floor area.	☒ Confirmed	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are **recommended** scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation)	☒ Confirmed	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	☒ Confirmed ☐ Not applicable	
When the application involves reuse of other existing work		
Plans showing the nature, location, number of on-site car parking bays, existing area of landscaping, existing type of vehicular cross-over (non-residential uses), and existing type of vehicular servicing arrangement (non-residential uses) of the work to be reused.	☐ Confirmed ☒ Not applicable	
When the application involves new operational work		
Plans showing the nature, location, number of new on-site car parking bays, proposed area of new landscaping, proposed type of new vehicle cross-over (non-residential uses), proposed maximum new vehicular servicing arrangement (non-residential uses) of the proposed new operational work.	☐ Confirmed ☒ Not applicable	

Privacy—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

OFFICE USE ONLY

Date received [ ] Reference numbers [ ]

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

RE - Site Plan - Lot 515 Silver Ash, Road Cow Bay.

The house site is situated where it is due to a seasonal creek running through the front of our property, angling in to where the site of our house needs to be. This site provides us with the widest area of approximately 25 metres, making the house 10 metres from the bank of the creek and 10 metres from the front boundary. The house itself, as it sits (see attached site plan), is 4 metres wide by 8.5 metres long. From this site we sit approximately 20 metres from our southern boundary and approximately 30 metres from the northern line. Due to the topography of our block, including both a seasonal and permanent creek (see plan), this is the best area to build that affords the least impact to the environment and allows us to sit

within the surrounding vegetation. Although our property is closer to the front boundary, that section is heavily forested and the colour of our dwelling 'pale eucalypt' will blend well into the surrounding vegetation and will not be readily seen from the road.

We hope this satisfies any questions you may have regarding this matter. Please do not hesitate to contact us if any further information is needed.

Regards,

Kay Wilson JAMES BUSH

Form 15—Compliance Certificate for building Design or Specification

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) cannot give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description
This section need only be completed if details of street address and property description are applicable.
EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address *(include no., street, suburb / locality & postcode)*

515 Silver Ash Road

Cow Bay, Queensland Postcode 4873

Lot & plan details *(attach list if necessary)*

Lot 515 on RP 742056

In which local government area is the land situated?

Douglas Shire

2. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

ShedTech Holdings Standard Engineering Drawings for Gable & Skillion Carports
Portal Frames
Purlins
Connection Details
Bracing
Foundations

3. Basis of certification
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS 1170.0	General Principals (2002)
AS 1170.1	Permanent & Other Actions (2002)
AS 1170.2	Wind Actions (2011)
AS 1170.3	Snow and Ice Actions (2003)
AS 1170.4	Earthquake Loads (2007)
AS 4100	Steel Structures Code (1998)
AS 4600	Cold Formed Section Code (2005)
AS 2870	Residential Slabs and Footings (2011)
Building Code of Australia Volume 1 & 2 (as applicable)	
L.H.L Testing requirements as stated in BCA 2015	

4. Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Project Number: #100812

Drawing Numbers: SH2009-60, SH2009-61.

Other Documentation: Shed Kit Compliance Statement, Wind Load Certificate, Job Elevations, Slab Layout & Engineering Calculations.

LOCAL GOVERNMENT USE ONLY

Date received		Reference Number/s	

5. Building certifier reference number	Building certifier reference number
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (*in full*) John L Towler Company name (*if applicable*): Bare Engineering Contact person: Phone no. *business hours*: (07) 5482 1146 Mobile no.: Fax no.: (07) 5482 3854 Email address: Postal address: PO Box 783 Gympie QLD Postcode 4570 Licence or registration number (*if applicable*): N.P.E.R 131 7430 R.P.E.Q No: 4562
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	Signature Date: 12 / 10 / 15

SHED alliance

ShedTech

ShedTech

Shed Kit Compliance Statement

Customer Details:

Order Number:	100812
Customer Name:	James Bush
Site Address:	515 Silver Ash Road, Cow Bay, QLD, 4873

Building Specifications:

Length:	8.50m
Width:	4.00m
Height:	2.90m
Building Style:	Carport
Roof Style:	Gable
Roof Pitch:	10 °
Roof Cladding:	Trimdek .42 BMT
Roof Screws:	14-10x50 Vortex Screw
Roof Batten Type:	TopHat 61mm 1.00 BMT
Max Batten Spacing:	1000mm
Bearers :	C20019
Rafters:	C15015
Columns:	75 x 75 x 2.5 SHS
Bracing:	N / A
Gutter:	Emline Gutter
Down Pipe:	Round PVC 90m * 6m
Barge Cap:	Type 54 Barge Flashing 0.55 BMT
Ridge Cap:	Type 119 Ridge Cap 10° 0.55
Other Information:	N / A

SHEDTECH ENG. DEPT.		
CHECKED BY ST	INTIAL AN	DATE Oct 12,2015

ShedTech

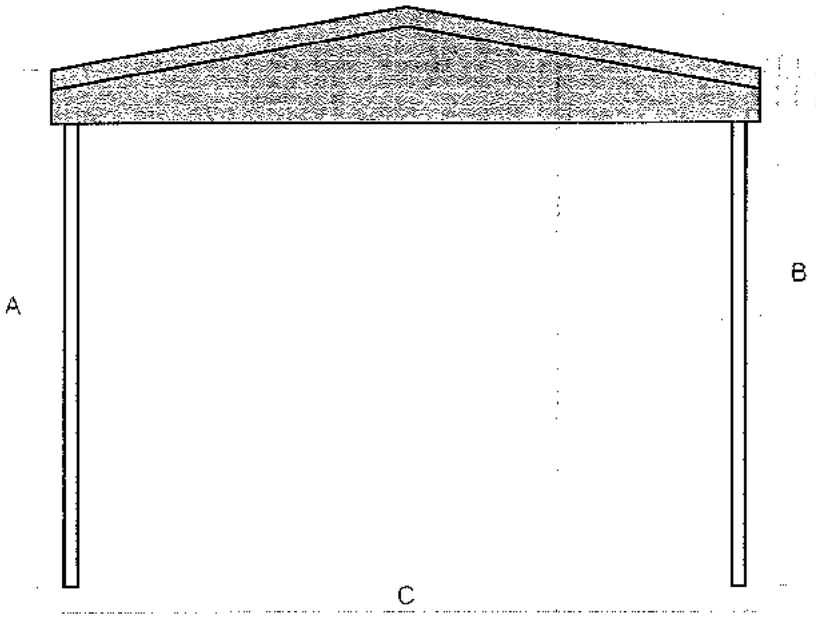
All Aussie Sheds & Carports

ABN: 26 726 245 062
Address: 173 Ross River Rd Mundingburra QLD 4814
Email: info@allaussiesheds.com.au
Web: www.allaussiesheds.com.au
Phone: 07 4775 7922
Fax: 07 4775 3242
Lic No: BSA 1193676

Order

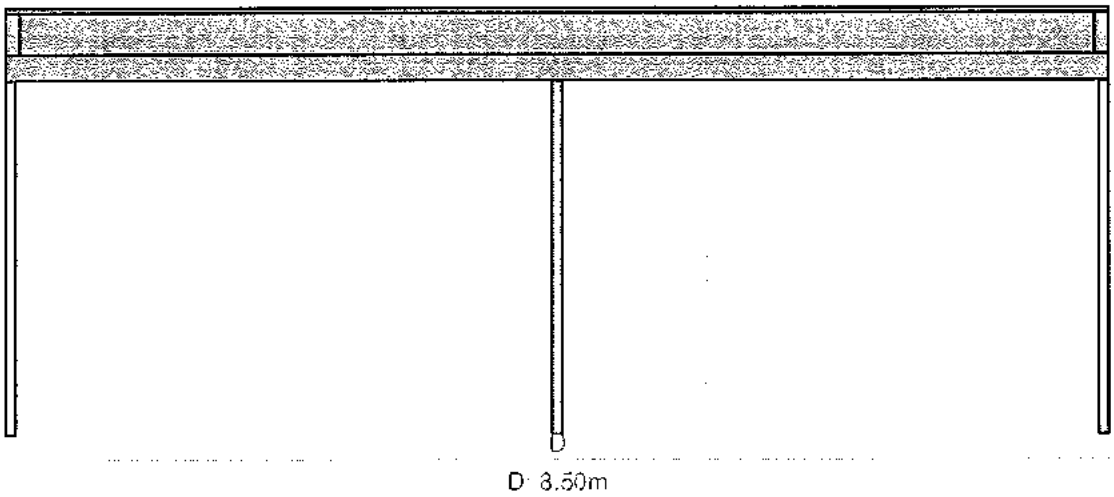
No: **100812**
Date: 09/10/2015

Plan View



A: 2.90m B: 3.25m C: 4.00m Pitch: 10°

Side View



D: 8.50m

SHEDTECH ENG. DEPT.		
CHECKED BY ST	INTIAL AN	DATE Oct 12,2015

ShedTech

All Aussie Sheds & Carports

ABN: 26 726 245 062
Address: 173 Ross River Rd
Mundingburra QLD 4814
Email: info@allaussiesheds.com.au
Web: www.allaussiesheds.com.au
Phone: 07 4775 7922
Fax: 07 4775 3242
Lic No: BSA 1193676

Order
No: **100812**
Date: 09/10/2015

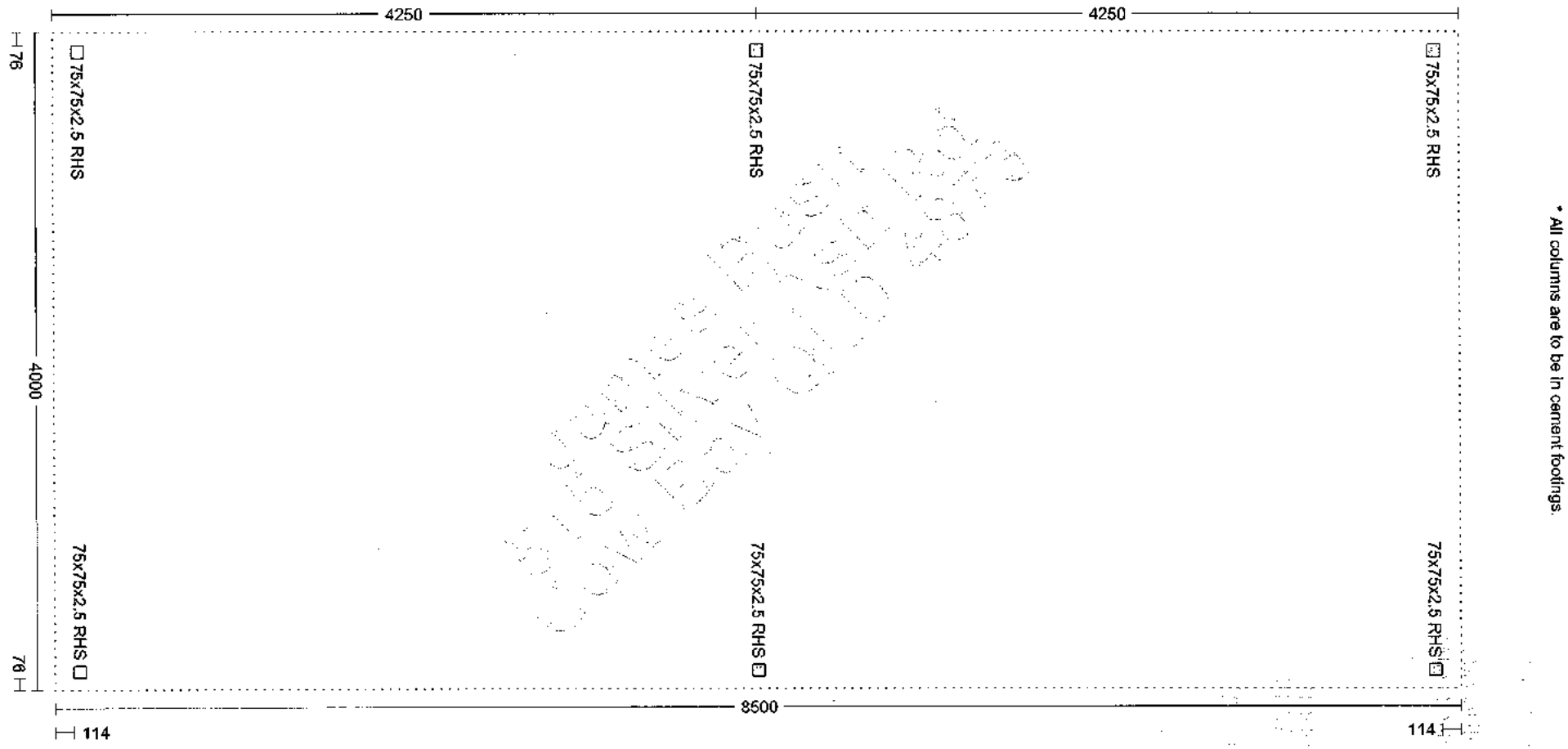
Windload Certificate (AS/NZS 1170.2:2011)

	ITEM	DESIGN VALUE & DETAILS
Compliance Details		
1	Shed Supplier	All Aussie Sheds & Carports
2	Shed Engineer	Bare Engineering
3	Compiled By	All Aussie Sheds & Carports
Building Details		
4	Building Description	Gable Carport
5	BCA Classification	10a
6	Length	8.50m
7	Width	4.00m
8	Eave Height	2.90m
Site Details		
9	Site Address	515 Silver Ash Rd Cow Bay, QLD, 4873
10	Wind Region	C
11	Importance Level	2
12	Annual Probability of Wind Exceedance	1:500
13	Cyclonic Factor	1.05
14	Regional Wind Speed (m/s)	69
15	Wind Direction Multiplier	1.0
16	Terrain Category	2.5
17	Terrain/Height Multiplier	0.87
18	Shielding Multiplier	0.90
19	Topographic Multiplier	1.00
20	Design Wind Speed (m/s)	**54**
21	Design Wind Pressure (KPa)	1.75

SHEDTECH ENG. DEPT.		
CHECKED BY ST	INTIAL AN	DATE Oct 12,2015

1. Column and Mullion Locations

Intermediate columns may be moved to ensure they are not in the same plane as rafters.



Intermediate columns may be moved to ensure they are not in the same plane as rafters.

ShedTech

Site Details

James Bush
515 Silver Ash Rd
Cow Bay
QLD 4873
M: 0419899837

SHEDTECH ENG. DEPT.		
CHECKED BY ST	INTIAL AN	DATE Oct 12,2015

Shed Sold By

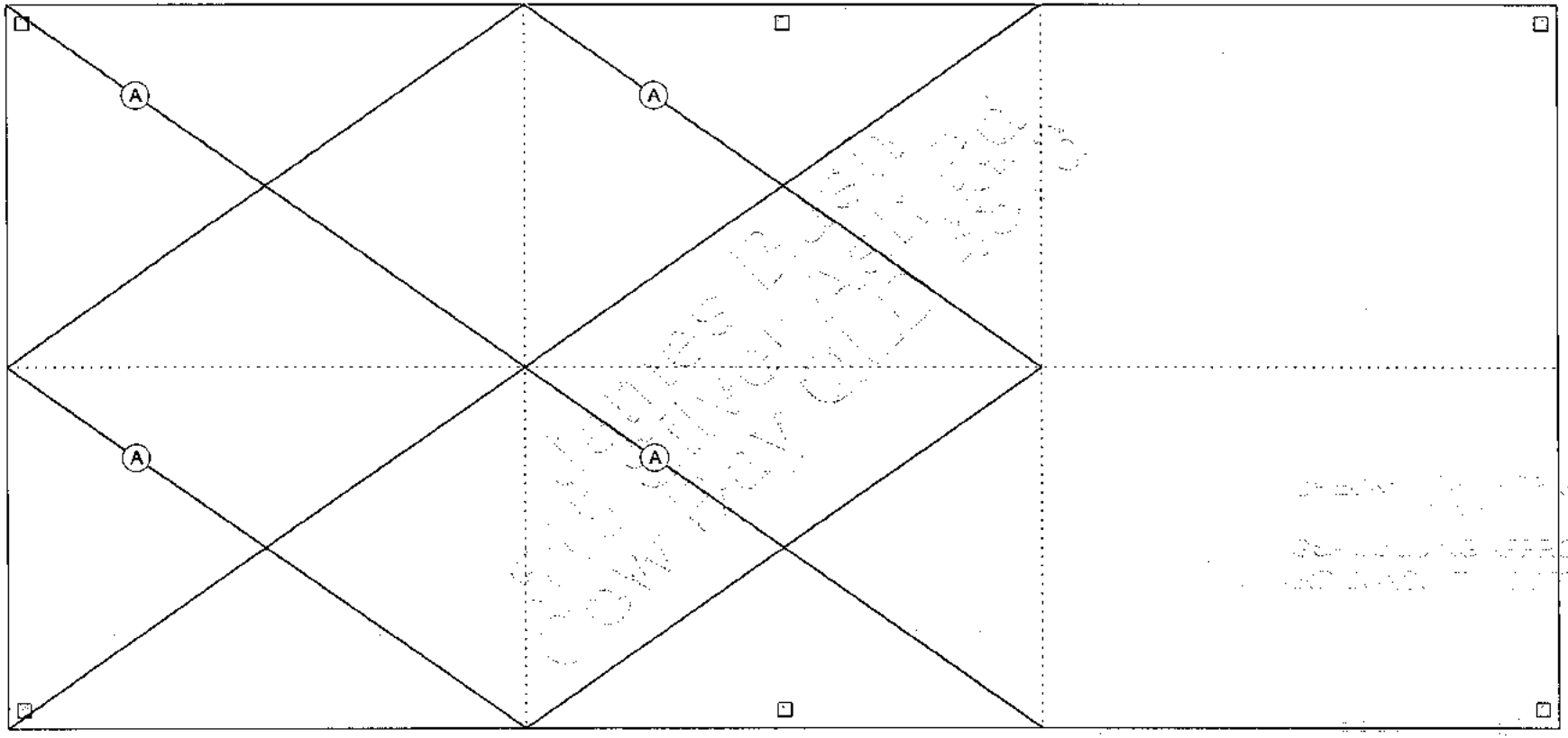
All Aussie Sheds & Carports
ABN: 26 726 245 062
173 Ross River Rd
Mundingburra QLD 4814
P: 07 4775 7922
F: 07 4775 3242
W: www.allaussiesheds.com.au
E: info@allaussiesheds.com.au

Specifics

Shed Order Number: 100812
Shed Type: Gable Carport

1. This drawing is not to scale (NTS) and all dimensions are in millimetres unless noted.
2. This drawing should be used in conjunction with the relevant engineering diagrams and hold down brackets specified in the order.

1. Bracing Locations



SHEDTECH ENG. DEPT.		
CHECKED BY ST	INTIAL AN	DATE Oct 12,2015

ShedTech

Site Details

James Bush
515 Silver Ash Rd
Cow Bay
QLD 4873
M: 0419899837

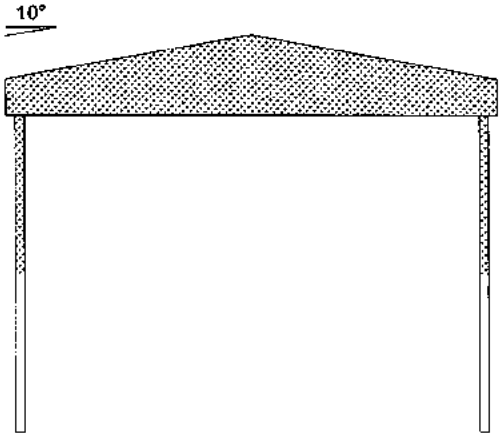
Shed Sold By

All Aussie Sheds & Carports
ABN: 26 726 245 062
173 Ross River Rd
Mundingburra QLD 4814
P: 07 4775 7922
F: 07 4775 3242
W: www.allaussiesheds.com.au
E: info@allaussiesheds.com.au

Bracing Specifics

Shed Order Number: 100812

- (A) 30mm x 1.0m Strap (Minimum)
- (B) 12mm Rod
- (C) 16mm Rod
- (D) 20mm Rod



SHEDTECH ENG. DEPT.		
CHECKED BY ST	INTIAL AN	DATE Oct 12,2015

Width	**4.00m**	**Roof Sheet**	**Trimdek**
Length	**8.50m**	**Wall Sheet**	**Trimdek**
Height	**2.90m**	**Wind Speed**	**54 m/s**
Column Size	**75mm SHS**	**Gable End Skirting**	**Yes**
No. Columns	**6**	**Side Wall Skirting**	**No**

Bracing Calculations		
End Wall Area	1.91 m²	Area includes skirting depth for 200mm beam x width + 100mm header x width
Area of Exposed Columns	0.61 m²	Only the top half of the column area has been calculated. Bracing for the bottom half is achieved by the holddowns directly.
Side Wall Area	0.00 m²	Skirt height 0mm x length
qu	1.75 KPa	0.6 x 54 x 54 / 1000
Leeward Wall Cpe	0.3	0.3 or 0.2 where length > 4 x width
Windward Wall Cpe	0.7	AS1170.2 Table 5.2(A) for z = h
Cpt	1.0	Leeward wall Cpe + Windward wall Cpe
Column Cpt	1.2	
Force on End Wall	3.33 KN	End wall area x qu x Cpt
Force on Columns	1.27 KN	Column area x qu x Column Cpt
Total Force for Bracing	4.60 KN	Force on end wall + Force on columns
Roof Sheeting Drag Coefficient	0.04	0.02 for Low-Rib or 0.04 for High-Rib
Wall Sheeting Drag Coefficient	0.04	0.02 for Low-Rib or 0.04 for High-Rib
Drag on Roof	0.00 KN	(Width / cos(pitch)) x (length - 4 x height) x qu x roof sheet drag coefficient OR = 0 where length < 4 x height
Drag on Walls	0.00 KN	Side skirting x (length - 4 x height) x qu x wall sheet drag coefficient OR = 0 where length < 4 x height
Total Bracing Requirement	**4.60 KN**	Total force for bracing + drag on roof + drag on walls

ShedTech

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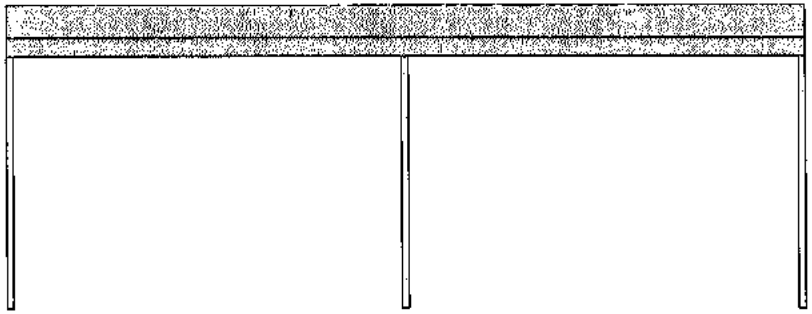
E: info@allaussiesheds.com.au

Specifics

Shed Order Number: 100812
Shed Type: Gable Carport
Carport Bracing Calculations



SHEDTECH ENG. DEPT.		
CHECKED BY ST	INTIAL AN	DATE Oct 12,2015

SHS Type	**75 x 75 x 2.5 BMT**
Post Height	**2.900m**
Number of Posts	**6**
Bracing Achieved Per Post	**1.21 KN**
Total Bracing Achieved	**7.29 KN**

Bracing Strengths for 75 x 75 x 2.5 BMT		
Ix	613,000 mm4	
Zx	16,335 m³	
E	200,000	
Y	300 MPa	
Phi - AS4100 Bending Safety Factor	0.9	
Max Allowable Bending Moment	4.41 KNm	Zx x Y x Phi / 1000000
Post Height	2.90	
Max Deflection Ratio	90.0	Max deflection ratio is for servicability loads
Load	1.00 KN	Dummy Load for Checking
Deflection Limit	32.22 mm	Post Height x 1000 / Max Deflection Ratio
Deflection	66.31 mm	Deflection of post with 1 KN on it Load x Post Height³ / 3 / E / Ix x 10^12
Moment	2.90 KNm	Moment at base of column Post Height x Load
Stress	177.53 MPa	Stress in base of column due to 1KN Load Moment / Zx x 1000000
Bracing Due to Deflection Limits	1.21 KN	Deflection Limit / Deflection / 0.4
Bracing Due to Strength of Section	1.52 KN	Y x Phi / Stress
Max Bracing Load	**1.21 KN**	Least value of bracing due to deflection limits or strength of section

ShedTech

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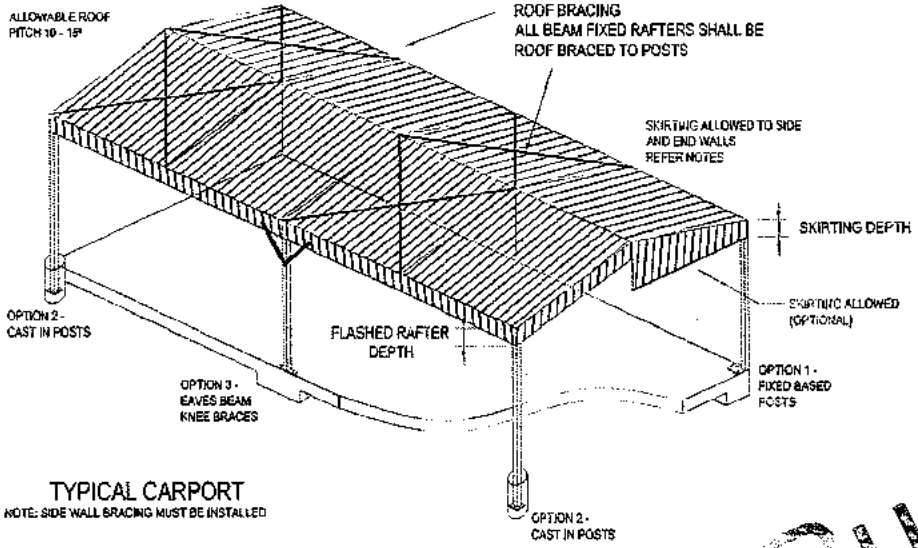
E: info@allaussiesheds.com.au

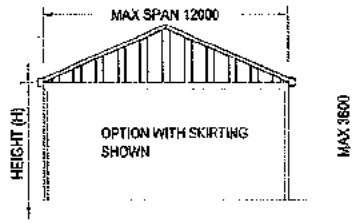
Specifics

Shed Order Number: 100812
Shed Type: Gable Carport
Cantilevered Post Bracing

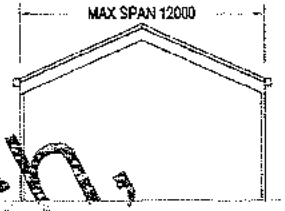


TYPICAL CARPORT

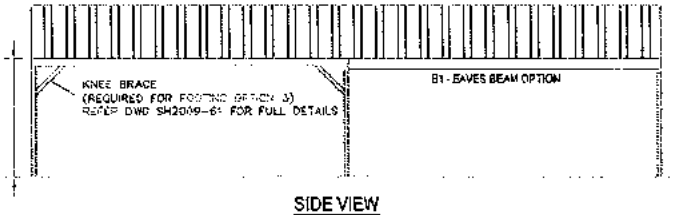
NOTE: SIDE WALL BRACING MUST BE INSTALLED



END VIEW
GABLE INFILL OPTION



END VIEW
FLASHED RAFTER OPTION



SIDE VIEW

BRACING REQUIREMENTS FOR CARPORTS (KN)

ROOF ONLY BUILDINGS and CARPORTS

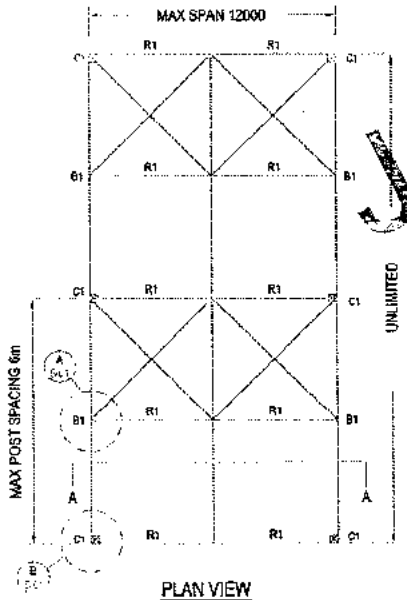
LONG WIND BRACING REQUIREMENTS for 10 to 20 degree Open Sides Sheds

Note - Linear interpolation between heights and spans is permitted

Select minimum bracing requirement and add for skirting and extra length if required

SHED SPAN (m)	MAXIMUM HEIGHT (m)	LENGTH (m)	Site Wind Speed 40m/s	50m/s	61m/s
4.5	2.4m	up to 6m	1.2 KN	1.9 KN	2.8 KN
	3.6m	up to 12m	1.3 KN	2.0 KN	3.0 KN
	ALL	Add for skirting	3.1 KN	4.7 KN	7.1 KN
	ALL	Add Drag per 3m	+0.9 KN	+0.9 KN	+1.3 KN
6	3.6m	up to 12m	2.2 KN	3.3 KN	4.9 KN
	4.2m	up to 18m	2.0 KN	3.0 KN	4.5 KN
	ALL	Add for skirting	6.0 KN	7.4 KN	11.2 KN
	ALL	Add Drag per 3m	+0.7 KN	+0.9 KN	+1.6 KN
7.5	3.6m	up to 12m	2.9 KN	3.9 KN	4.6 KN
	4.2m	up to 18m	2.4 KN	3.7 KN	6.6 KN
	ALL	Add for skirting	7.6 KN	10.4 KN	16.7 KN
	ALL	Add Drag per 3m	+1.3 KN	+2.0 KN	+3.0 KN
9.0	3.6m	up to 12m	2.9 KN	4.3 KN	6.6 KN
	6.0m	up to 18m	4.1 KN	6.1 KN	9.5 KN
	ALL	Add for skirting	9.4 KN	14.1 KN	21.2 KN
	ALL	Add Drag per 3m	KN	KN	KN
12	3.6m	up to 12m	3.6 KN	5.7 KN	8.5 KN
	6.0m	up to 24m	6.7 KN	10.1 KN	15.2 KN
	ALL	Add for skirting	15.1 KN	22.6 KN	34.1 KN
	ALL	Add Drag per 3m	+1.4 KN	+2.1 KN	+3.2 KN

NOTE: INTERPOLATION OF THESE VALUES IS ALLOWED.



PLAN VIEW

RAFTER SPAN	max Cyclonic Load Case	B1	B2	FOOTING OPTIONS 1 & 3 W x D	FOOTING OPTION 2 D x D	PURLIN	LAP
5000	33N	C20015	C15012	400 × 400 × 300D	450D × 650D	64TH075 @ 1500	0%
	40N	C20015	C15012	400 × 400 × 300D	450D × 650D	64TH075 @ 1400	10%
	50N/50C	C20015	C15012	400 × 400 × 350D	450D × 650D	64TH075 @ 1300	15%
	61N/61C	C20019	C15015	450 × 450 × 350D	450D × 650D	64TH100 @ 1300	15%
6000	33N	C20015	C15012	450 × 450 × 300D	450D × 650D	64TH075 @ 1500	0%
	40N	C20015	C15012	450 × 450 × 300D	450D × 650D	64TH075 @ 1300	10%
	50N/50C	C20019	C15015	450 × 450 × 350D	450D × 650D	64TH100 @ 1300	10%
	61N/61C	C20019	C15019	450 × 450 × 400D	450D × 650D	64TH100 @ 950	15%
7500	33N	C20015	C15015	450 × 450 × 300D	450D × 650D	64TH075 @ 1500	0%
	40N	C20015	C15015	450 × 450 × 300D	450D × 650D	64TH075 @ 1250	10%
	50N/50C	C20019	C15019	450 × 450 × 350D	450D × 1000D	64TH100 @ 1300	10%
	61N/61C	C20024	C15024	500 × 500 × 350D	450D × 1200D	64TH100 @ 900	15%
9000	33N	C20015	C20015	500 × 450 × 350D	450D × 1000D	64TH075 @ 1400	0%
	40N	C20015	C20015	500 × 450 × 350D	450D × 1000D	64TH075 @ 1100	10%
	50N/50C	C25019	C20019	600 × 600 × 350D	450D × 1200D	64TH100 @ 1150	10%
	61N/61C	C25024	C20024	600 × 600 × 400D	600D × 1200D	64TH120 @ 950	15%
12000	33N	C25019	C20019	500 × 450 × 350D	450D × 1000D	64TH075 @ 1400	0%
	40N	C25019	C20019	500 × 450 × 350D	450D × 1000D	64TH075 @ 1100	10%
	50N/50C	C25024	C20024	600 × 600 × 350D	450D × 1200D	64TH100 @ 1150	10%
	61N/61C	C30024	C25024	600 × 600 × 400D	600D × 1200D	64TH120 @ 950	15%

RAFTER AND PURLIN REQUIREMENTS MAY REPLACED WITH SITE SPECIFIC CALCULATIONS BY ENGINEER.

NOTE:
REFER SH2009-03 FOR PURLIN FIXING

PURPOSE:
TO CONSTRUCT STANDARD CARPORTS

INSTRUCTIONS:
1) SELECT THE WIND CATEGORY FOR THE BUILDING FROM SH2009-00
2) SELECT HEIGHT, SPAN AND BAY SIZE OF THE CARPORT
3) SELECT THE RAFTER SIZES FROM TABLE PROVIDED
4) SELECT PURLIN SIZE AND FIXING FROM TABLE & NOTE PROVIDED
6) CALCULATE THE BRACING REQUIRED.
7) USING THE BRACING VALUES TABLE ON SH2009-01, WORK OUT THE POST SIZE REQUIRED TO ACHIEVE THE BRACING REQUIRED. (NOTE: EACH VALUE SHOWN IS PER POST, EITHER CAST IN OR KNEE BRACED SET)
8) DECIDE WHETHER CAST IN POSTS ARE BEING USED OR IF THE CARPORT IS TO BE KNEE BRACED
5) SELECT FOOTING FROM DETAILS PROVIDED SH2009-07 & SH2009-08
7) SELECT THE CONNECTION DETAILS FROM SH2009-01

OTHER DRAWINGS THAT MAY BE APPLIED:

SH2009-00	DRAWING REGISTER
SH2009-07	SLAB & FOUNDATION DETAILS
SH2009-08	PIER ONLY DETAILS
SH2009-01	CARPORT CONNECTION DETAILS

ISSUE	AMENDMENT	DATE	INITIALS
C5	ENGINEER REVIEWED	20.09.2012	JME
P1	PRELIM COPY ENGINEER REVIEW	29.04.2012	JLT
C4	AMENDMENTS TO TITLE BLOCK	29-12-2010	JME
C3	CONSTRUCTION ISSUE	20.08.2009	CMH
C2	MINOR AMENDMENTS MADE	21.01.2009	CMH
C1	CONSTRUCTION ISSUE	20.08.2009	CMH

DRAWN	DESIGNED	CHECKED
CMH	JLT	JLT

PROJECT ENGINEER: JLT
REVISION VERIFICATION: 20.09.2012
PROJECT DIRECTOR: JOHN A. TOWLER
DATE
R.P.E.Q. No 4562

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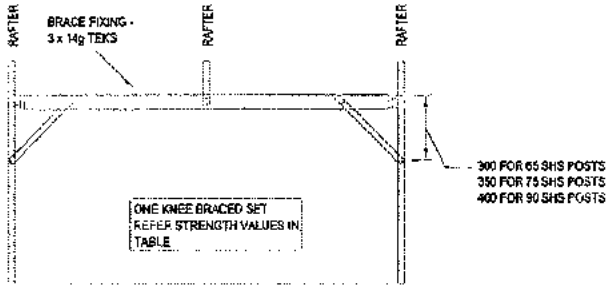
DRAWING TITLE: GABLE CARPORT

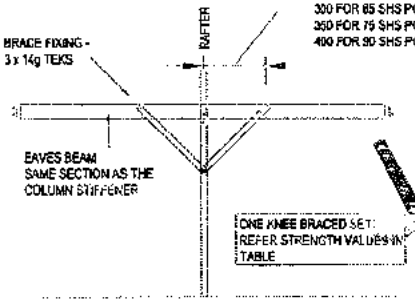
SCALES	PROJECT No.	DRAWING No	ISSUE
NOT TO SCALE	12-J7798	SH2009-60	C5

TYPICAL BRACING VALUES OF POST - CAST IN OR KNEE BRACED									
POST HEIGHT	65 × 2.5 SHS	65 × 3.0 SHS	75 × 3.0 SHS	75 × 3.5 SHS	75 × 4.0 SHS	90 × 3.0 SHS	90 × 3.5 SHS	100 × 4.0 SHS	125 × 4.0 SHS
2.40m	1.1	1.3	2.1	2.2	2.5	3.7	4.0	5.0	8.1
2.70m	0.9	1.0	1.6	1.7	2.0	2.9	3.1	4.4	7.2
3.00m	0.7	0.8	1.3	1.4	1.6	2.4	2.5	4.0	6.4
3.30m	0.6	0.7	1.1	1.1	1.3	2.0	2.1	3.4	5.9
3.60m	0.5	0.6	0.9	1.0	1.0	1.6	1.9	2.8	5.4
4.20m	0.3	0.4	0.6	0.7	0.8	1.2	1.3	2.1	4.2
4.80m	0.2	0.3	0.5	0.5	0.6	0.9	0.9	1.6	3.2
OPTION 3 BASE PLATES	6mm FIXED 2 x M10 BOLTS							8mm FIXED 2 x M12 BOLTS	

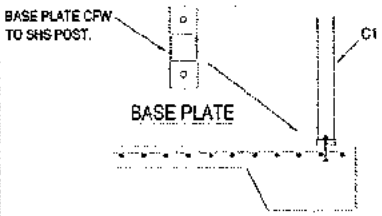
NOTE: INTERPOLATION OF THESE BRACING VALUES IS ALLOWED.



KNEE BRACE - TYPE 1



KNEE BRACE - TYPE 2

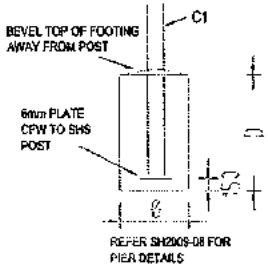


BASE PLATE

OPTION 3
NOTE: KNEE BRACE REQUIRED FOR THIS OPTION

STANDARD POST BRACING CAPACITIES

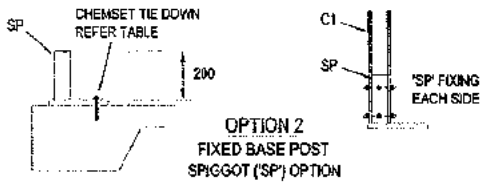
7/61



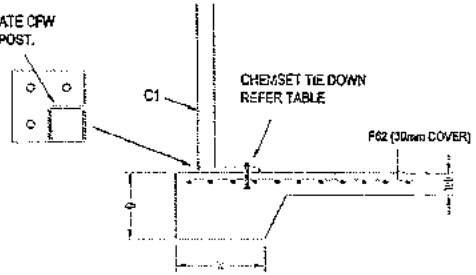
OPTION 1
FIXED BASE POST

2/61

POST	BASE PLATE	TIE DOWN	SPIGGOT ('SP')	'SP' FIXING PER SIDE
65 SHS	8mm	3 x M10	50x4mm	2 × 12g TEK
75 SHS	8mm	3 x M12	65x5mm	3 × 12g TEK
100 SHS	10mm	3 x M16	90x5mm	3 × 14g TEK
125 SHS	12mm	3 x M16	110x5mm	2 x M16 HS

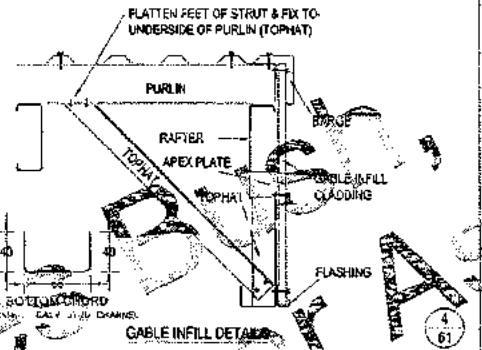


OPTION 2
FIXED BASE POST
SPIGGOT ('SP') OPTION



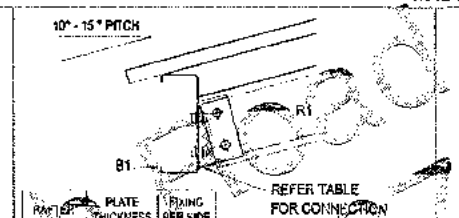
OPTION 2
FIXED BASE POST
NOTE: KNEE BRACE NOT REQUIRED FOR THIS OPTION

3/61



GABLE INFILL DETAILS

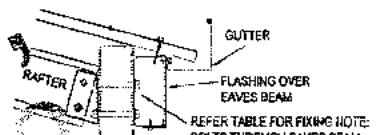
4/61



RAFTER	PLATE THICKNESS	FIXING PER SIDE
C100	2.0mm	1 × M12
C150	2.0mm	2 × M12
C200	3.0mm	2 × M16
C250	3.0mm	3 × M16

DETAIL A
STANDARD RAFTER TO BEAM DETAIL

5/61

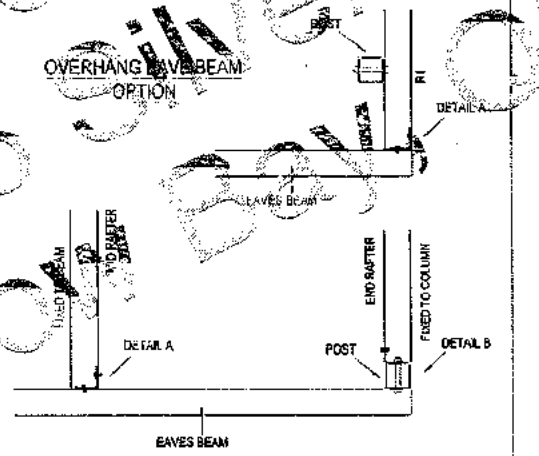


SECTION	PLATE THICKNESS	COLUMN FIXING	RAFTER FIXING
C200	3.0mm	2 × M16 BOLTS	2 × M16 BOLTS
C250	3.0mm	2 × M16 BOLTS	2 × M16 BOLTS
C300	3.0mm	2 × M16 BOLTS	2 × M16 BOLTS

DETAIL B
STANDARD EAVES BEAM / POST FIXING

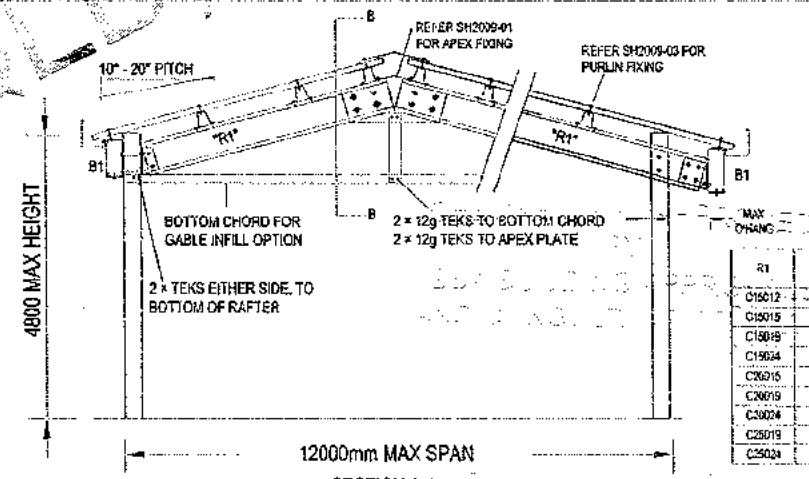
6/61

OVERHANG EAVE BEAM OPTION



STANDARD EAVE BEAM CONNECTION DETAIL

8/61



R1	MAX OHANG
C15012	600mm
C15015	600mm
C15019	700mm
C15024	750mm
C20015	450mm
C20019	600mm
C20024	750mm
C25019	600mm
C25024	900mm

SECTION A-A
STANDARD CROSS SECTION

9/61

ISSUE	AMENDMENT	DATE	INITIALS
C5	ENGINEER REVIEWED	20.09.2012	JME
P1	PRELIM COPY ENGINEER REVIEW	30.08.2012	JLT
C4	EXTRA POST OPTIONS ADDED	29.12.2010	JME
C3	CONSTRUCTION ISSUE	20.08.2009	CMH
C2	MINOR AMENDMENTS MADE	21.01.2009	CMH
C1	CONSTRUCTION ISSUE	20.08.2009	CMH

DRAWN	DESIGNED	CHECKED
CMH	JLT	JLT

PROJECT ENGINEER	DESIGN VERIFICATION
JLT	20.09.2012

PROJECT DIRECTOR	DATE
JOHN L. TOWLER R.P.E.Q. No 4562	

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DRAWING TITLE
GABLE CARPORT DETAILS

SCALES	PROJECT No.	DRAWING No.	ISSUE
NOT TO SCALE	12-J7798	SH2009-61	C5

DOUGLAS
SHIRE COUNCIL

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ABN 71 241 237 800

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

OUR REF: 2015 / 1160

25 November 2015

Applicant:
Zammataro Plumbing Pty Ltd
PO Box 107
MOSSMAN QLD 4873

Dear Sir/Madam

COMPLIANCE PERMIT
Plumbing and Drainage Act 2002 s 85(6)

SITE DETAILS:	**Silver Ash Road COW BAY 4873**
TITLE DETAILS:	**LOT: 515 RP: 742056**
DESCRIPTION OF WORKS:	**Plumbing Application**
PROJECT DESCRIPTION:	**Plumbing Fixtures - Domestic**

I wish to advise that permission has been granted to commence the Plumbing and Drainage work for the above site, subject to the following conditions:

1. All work is to be in accordance with the requirements of the Plumbing & Drainage Act 2002. Your attention is drawn to section 82 of the Act in that all Plumbing and Drainage work must comply with the Standard Plumbing and Drainage Regulation, even if a Compliance Permit has been issued contrary to the Standard Plumbing and Drainage Regulation.
2. Inspection openings, vents and an overflow relief gully are to be installed in accordance with AS3500.
3. Inspection & Testing shall be in accordance with Division 3 of the Standard Plumbing & Drainage Regulation 2003.
4. Dual flush Cisterns are to be installed in all new installations.
5. Serviceable tempering devices are to be located no higher than 1.6 metres from ground or floor level.
6. Vent to be located between second last and last drainage points.
7. The pump discharge pipe from waste fixtures, or swimming pools, shall be connected in accordance with Clause 10.7, or connected to a gully riser as shown in Figure 10.1 or Figure 10.2 of the AS/NZS 3500.2: 2003.
8. Within seven days of completion of the plumbing and drainage work, the licenced person is to arrange for a final Plumbing Inspection. Should no defects be found, a Compliance Certificate will be issued.

If you have any queries or wish to book a Plumbing Inspection, please contact Douglas Shire Council's Plumbing/Trade Waste Officer on (07) 4099 9479.

Yours faithfully

Richard Jerrett
Plumbing/Trade Waste Officer

CC Plumber: A Zammataro

DOUGLAS
SHIRE COUNCIL

PO Box 723 Mossman Qld 4873
www.douglas.qld.gov.au
enquiries@douglas.qld.gov.au
ABN 71 241 237 800

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

OUR REF: 2015 / 1161

25 November 2015

Applicant:
Zammataro Plumbing Pty Ltd
PO Box 107
MOSSMAN QLD 4873

Dear Sir/Madam

COMPLIANCE PERMIT
Plumbing and Drainage Act 2002 s 85(6)

SITE DETAILS: **Silver Ash Road COW BAY 4873**
TITLE DETAILS: **LOT: 515 RP: 742056**

I wish to advise that permission has been granted to commence the On-Site Sewerage work for the above site, subject to the following conditions:

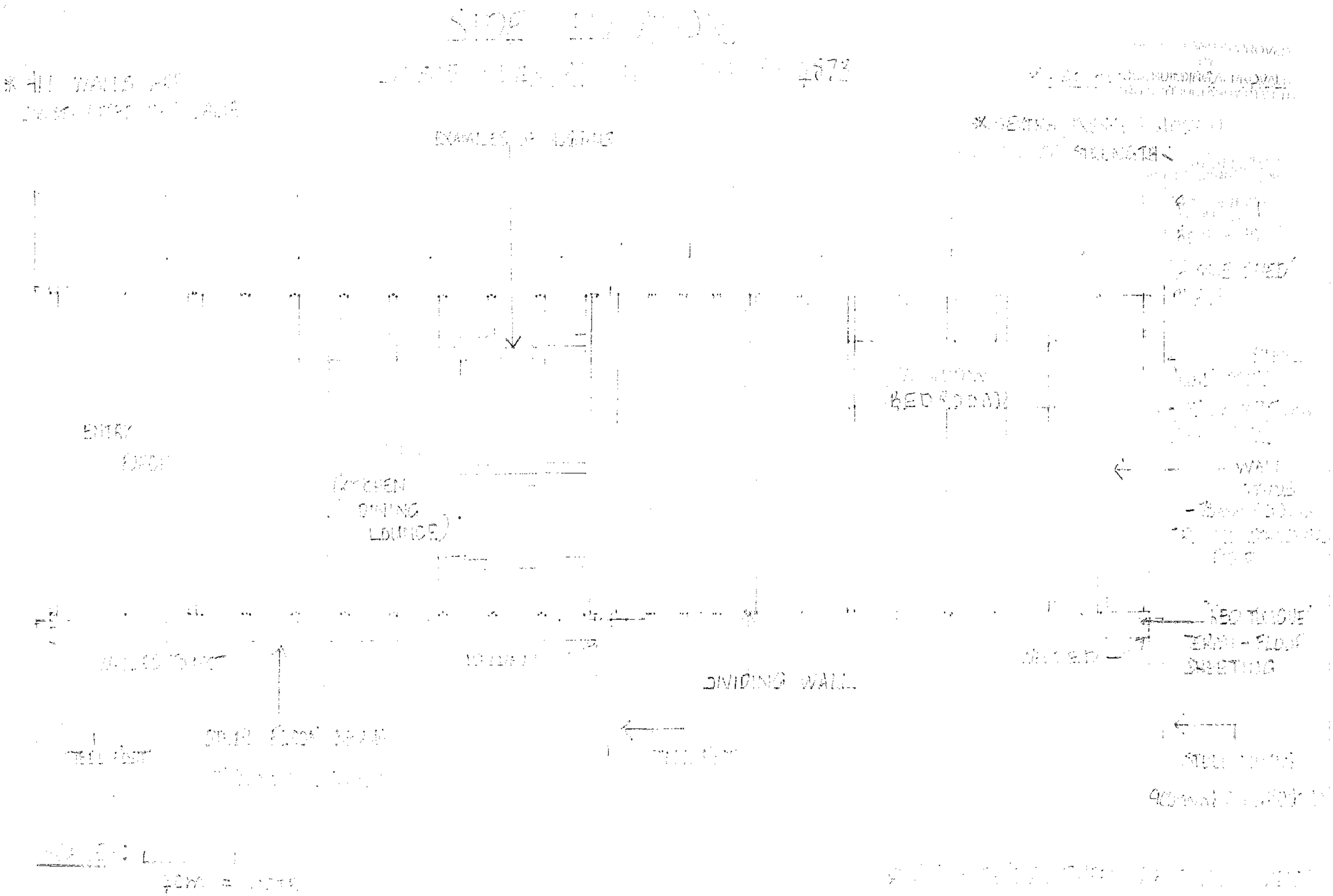
1. All work is to be in accordance with the requirements of the Plumbing & Drainage Act 2002. Your attention is drawn to Section 82 of the Act in that all Plumbing and Drainage work must comply with the Standard Plumbing and Drainage Regulation, even if a Compliance Permit has been issued contract to the Standard Plumbing and Drainage Regulation.
2. Inspection & Testing shall be in accordance with Division 3 of the Standard Plumbing & Drainage Regulation 2003.
3. The On-Site Sewerage facility is to be installed strictly in accordance with the On-Site Sewerage Report dated November 2015 prepared by Zammataro Plumbing Pty Ltd.
4. Within seven days of completion of the On-Site Sewerage work, the licenced person is to arrange for a Final Plumbing Inspection. Should no defects be found, a Compliance Certificate will be issued.
5. The issue of this permit does not:
   (i) Indicate the effluent disposal area will be satisfactory or
   (ii) Prejudice Council's right to require additional or remedial works.
6. The On-site Treatment System shall be operated and maintained in accordance with the Chief Executive Approval No 18/2015 (PIC) and Manufacturer's specifications. The owner shall enter into an annual service agreement with a suitably qualified service person. The Service Agreement shall be renewed annually and a signed copy forwarded to Council prior to the expiry date of the previous agreement.

Should you have any queries or wish to book a Plumbing Inspection, please contact Douglas Shire Council's Plumbing/Trade Waste Officer on (07) 4099 9479.

Yours faithfully

Richard Jerrett
Plumbing/Trade Waste Officer

CC: Plumber – A Zammataro


BEDROOM
ENTRY
(KITCHEN
DINING
LOUNGE)
DIVIDING WALL

Pale Eucalypt•