

# IDAS form 1—Application details

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

This form can also be completed online using MyDAS at [www.dsdip.qld.gov.au/MyDAS](http://www.dsdip.qld.gov.au/MyDAS)

## Mandatory requirements

**Applicant details** (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

For companies, contact name

Postal address

Suburb			
State		Postcode	
Country			

Contact phone number

Mobile number (non-mandatory requirement)

Fax number (non-mandatory requirement)

Email address (non-mandatory requirement)

@

Applicant's reference number (non-mandatory requirement)

**1. What is the nature of the development proposed and what type of approval is being sought?**

**Table A**—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

- a) What is the nature of the development? (Please only tick one box.)
- ☐ Material change of use    ☐ Reconfiguring a lot    ☐ Building work    ☐ Operational work
- b) What is the approval type? (Please only tick one box.)
- ☐ Preliminary approval under s241 of SPA    ☐ Preliminary approval under s241 and s242 of SPA    ☐ Development permit
- c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)
- d) What is the level of assessment? (Please only tick one box.)
- ☐ Impact assessment    ☐ Code assessment

**Table B**—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

- a) What is the nature of development? (Please only tick one box.)
- ☐ Material change of use    ☐ Reconfiguring a lot    ☐ Building work    ☐ Operational work
- b) What is the approval type? (Please only tick one box.)
- ☐ Preliminary approval under s241 of SPA    ☐ Preliminary approval under s241 and s242 of SPA    ☐ Development permit
- c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)
- d) What is the level of assessment?
- ☐ Impact assessment    ☐ Code assessment

**Table C**—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

- ☐ Refer attached schedule    ☐ Not required

**2. Location of the premises** (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

**Table D**—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water). (Attach a separate schedule if there is insufficient space in this table.)

- ☐ Street address **and** lot on plan (All lots must be listed.)
- ☐ Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)							
ii)							
iii)							

**Planning scheme details** (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

**Table E**—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

**3. Total area of the premises on which the development is proposed** (indicate square metres)

--

**4. Current use/s of the premises** (e.g. vacant land, house, apartment building, cane farm etc.)

--

**5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)**

☐ No ☐ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

**6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)**

☐ No  
☐ Yes—complete either Table F, Table G or Table H as applicable

**Table F**

Name of owner/s of the land	
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	
Date	

**Table G**

Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

**Table H**

Name of owner/s of the land	
<input type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

**7. Identify if any of the following apply to the premises (Tick applicable box/es.)**

- ☐ Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- ☐ On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- ☐ In a tidal water area—complete Table K
- ☐ On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)

**Table I**

Name of water body, watercourse or aquifer

**Table J**

Lot on plan description for strategic port land	Port authority for the lot

Table K	
Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

**8. Are there any existing easements on the premises?** (e.g. for vehicular access, electricity, overland flow, water etc)

☐ No ☐ Yes—ensure the type, location and dimension of each easement is included in the plans submitted

**9. Does the proposal include new building work or operational work on the premises?** (Including any services)

☐ No ☐ Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

**10. Is the payment of a portable long service leave levy applicable to this application?** (Refer to notes at the end of this form for more information.)

☐ No—go to question 12 ☐ Yes

**11. Has the portable long service leave levy been paid?** (Refer to notes at the end of this form for more information.)

☐ No  
☐ Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L		
Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

**12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the *Sustainable Planning Act 2009*?**

☐ No  
☐ Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

**13. List below all of the forms and supporting information that accompany this application** (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application. Note: this question does not apply for applications made online using MyDAS)

Description of attachment or title of attachment	Method of lodgement to assessment manager

**14. Applicant's declaration**

☐ By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

**Notes for completing this form**

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

**Applicant details**

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

**Question 1**

- Schedule 3 of the Sustainable Planning Regulation 2009 identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

**Question 6**

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

**Question 11**

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the Building and Construction Industry (Portable Long Service Leave) Regulation 2002.

## Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at [www.qleave.qld.gov.au](http://www.qleave.qld.gov.au). For further information contact QLeave on 1800 803 481 or visit [www.qleave.qld.gov.au](http://www.qleave.qld.gov.au).

**Privacy**—The information collected in this form will be used by the Department of State Development, Infrastructure and Planning (DSDIP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## OFFICE USE ONLY

Date received

Reference numbers

## NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To

Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s

## QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

# IDAS form 6—Building or operational work assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for development applications for building work or operational work assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form must be used for building work or operational work relating on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

This form can also be completed online using MyDAS at [www.dsdip.qld.gov.au/MyDAS](http://www.dsdip.qld.gov.au/MyDAS)

## Mandatory requirements

1. What is the nature of the work that requires assessment against a planning scheme? (Tick all applicable boxes.)

- ☐ Building work—complete Table A ☐ Operational work—complete Table B

### Table A

a) What is the nature of the building work (e.g. building, repairing, altering, underpinning, moving or demolishing a building)?

b) Are there any current approvals associated with this application? (e.g. material change of use.)

- ☐ No ☐ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)



**Table B**

a) What is the nature of the operational work? (Tick all applicable boxes.)

- ☐ Road works
 ☐ Stormwater
 ☐ Water infrastructure  
☐ Drainage works
 ☐ Earthworks
 ☐ Sewerage infrastructure  
☐ Landscaping
 ☐ Signage
 ☐ Clearing vegetation under the planning scheme  
☐ Other—provide details

b) Is the operational work necessary to facilitate the creation of new lots? (E.g. subdivision.)

- ☐ No
 ☐ Yes—specify the number of lots being created

c) Are there any current approvals associated with this application? (E.g. material change of use.)

- ☐ No
 ☐ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

**2. What is the dollar value of the proposed building work?**  
(Inc GST, materials and labour.)

\$

**3. What is the dollar value of the proposed operational work?**  
(Inc GST, materials and labour.)

\$

#### Mandatory supporting information

**4. Confirm that the following mandatory supporting information accompanies this application**

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
<b>All applications involving building work or operational work</b>		
<p>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</p> <ul style="list-style-type: none"> <li>the location and site area of the land to which the application relates (<i>relevant land</i>)</li> <li>the north point</li> <li>the boundaries of the relevant land</li> <li>the allotment layout showing existing lots, any proposed lots (including the dimensions of those lots), existing or proposed road reserves, building envelopes and existing or proposed open space (note: numbering is required for all lots)</li> <li>any existing or proposed easements on the relevant land and their function</li> <li>any access limitation strips</li> <li>all existing and proposed roads and access points on the relevant land.</li> </ul>	<input type="checkbox"/> Confirmed	

A statement about how the proposed development addresses the local government's planning schemes and any other planning documents relevant to the application.	<input type="checkbox"/> Confirmed	
A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>Applications for building work (including extensions and demolition that is assessable development)</b>		
<p>Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following:</p> <ul style="list-style-type: none"> <li>the north point</li> <li>the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only)</li> <li>the room layout (for residential development only) with all rooms clearly labelled</li> <li>the existing and the proposed built form (for extensions only)</li> <li>the gross floor area of each proposed floor area.</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation).	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Plans showing the extent of any demolition that is assessable development.	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>Applications for operational work involving earthworks (filling and excavating)</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>existing and proposed contours</li> <li>areas to be cut and filled</li> <li>the location and level of any permanent survey marks or reference stations used as datum for the works</li> <li>the location of any proposed retaining walls on the relevant land and their height</li> <li>the defined flood level (if applicable)</li> <li>the fill level (if applicable).</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>Applications for operational work involving roadworks</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>existing and proposed contours</li> <li>the centreline or construction line showing chainages, bearings, offsets if the construction line is not the centreline of the road and all intersection points</li> <li>information for each curve including tangent point chainages and offsets, curve radii, arc length, tangent length, superelevation (if applicable) and curve widening (if applicable)</li> <li>kerb lines including kerb radii (where not parallel to centreline) and tangent point changes (where not parallel to centreline)</li> <li>edge of pavement where kerb is not constructed</li> <li>position and extent of channelisation</li> <li>location and details of all traffic signs, guideposts, guardrail and other street furniture</li> <li>pavement markings including details on raised pavement markers</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	

<ul style="list-style-type: none"> <li>• catchpit, manhole and pipeline locations</li> <li>• drainage details (if applicable)</li> <li>• cross road drainage culverts (if applicable)</li> <li>• concrete footpaths and cycle paths</li> <li>• location and details for access points, ramps and invert crossings</li> <li>• changes in surfacing material.</li> </ul>		
<b>Applications for operational work involving stormwater drainage</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>• existing and proposed contours</li> <li>• drainage locations, diameters and class of pipe, open drains and easements</li> <li>• manhole location, chainage and offset or coordinates and inlet and outlet invert levels</li> <li>• inlet pit locations, chainage and offset or coordinates and invert and kerb levels.</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>Applications for operational work involving water reticulation</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>• kerb lines or edge of pavement where kerb is not constructed</li> <li>• location and levels of other utility services where affected by water reticulation works</li> <li>• pipe diameter, type of pipe and pipe alignment</li> <li>• water main alignments</li> <li>• water supply pump station details (if applicable)</li> <li>• minor reservoir details (if applicable)</li> <li>• conduits</li> <li>• location of valves and fire hydrants</li> <li>• location of house connections (if applicable)</li> <li>• location of bench marks and reference pegs.</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>Applications for operational work involving sewerage reticulation</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>• location of all existing and proposed services</li> <li>• location of all existing and proposed sewer lines and manhole locations</li> <li>• location of all house connection branches</li> <li>• kerb lines or edge of pavement where kerb is not constructed</li> <li>• chainages</li> <li>• design sewer invert levels</li> <li>• design top of manhole levels</li> <li>• type of manhole and manhole cover</li> <li>• pipe diameter, type of pipe and pipe alignment</li> <li>• location of house connections (if applicable)</li> <li>• sewer pump station details (if applicable).</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>Applications for operational work involving street lighting</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>• location of all light poles and service conduits</li> <li>• location of all other cross road conduits</li> <li>• type of wattage and lighting</li> <li>• any traffic calming devices</li> <li>• additional plans for roundabouts and major roads (if applicable)</li> <li>• details of any variations to normal alignment</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	

<ul style="list-style-type: none"> <li>• details of lighting levels.</li> </ul>		
<b>Applications for operational work involving public utility services</b>		
Drawings showing: <ul style="list-style-type: none"> <li>• any existing light poles and power poles</li> <li>• any existing underground services</li> <li>• details of proposed services</li> <li>• alteration to existing services.</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>Applications for operational work involving landscaping works</b>		
Drawings showing: <ul style="list-style-type: none"> <li>• the location of proposed plant species</li> <li>• a plant schedule indicating common and botanical names, pot sizes and numbers of plants</li> <li>• planting bed preparation details including topsoil depth, subgrade preparation, mulch type and depth, type of turf, pebble, paving and garden edge</li> <li>• the location and type of any existing trees to be retained</li> <li>• construction details of planter boxes, retaining walls and fences</li> <li>• the proposed maintenance period</li> <li>• irrigation system details.</li> </ul>	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	

**Privacy**—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

#### OFFICE USE ONLY

Date received

Reference numbers

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# Schedule 3 Assessable Development

## Checklist 4—Operational work

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This checklist only applies when the development application seeks approval for operational work. Before completing this checklist, please complete *Checklist 1—Various aspects of development*.

You may complete this checklist as part of your development application. The checklist will:

- help you identify whether you need to make a development application for the proposed development
- help you identify the relevant Integrated Development Assessment System (IDAS) form you need to complete as part of your application
- assist in identifying the assessment manager or referral agency for development that is assessable development under schedule 3 of the Sustainable Planning Regulation 2009.

If your development involves reconfiguring a lot, building work or material change of use, it is recommended you complete *Checklist 2—Material change of use*, *Checklist 3—Reconfiguring a lot*, or *checklist 5—Building work*, where relevant.

If you are unsure of any answers to questions, phone or visit your local government, or go to the Department of State Development, Infrastructure and Planning's website at [www.dsdip.qld.gov.au](http://www.dsdip.qld.gov.au).

All terms used in this checklist have the meaning given in the *Sustainable Planning Act 2009* or the Sustainable Planning Regulation 2009.

### Part 1—General questions

#### 1.1 Is the operational work clearing native vegetation on:

- freehold land
- indigenous land
- any of the following under the Land Act 1994:
  - land subject to a lease
  - a road
  - trust land, other than indigenous land
  - land subject to a licence or permit?

- |                              |                                     |
|------------------------------|-------------------------------------|
| <input type="checkbox"/> No  | • Continue to question 1.2          |
| <input type="checkbox"/> Yes | • Complete part 2 of this checklist |

#### 1.2 Is any of the proposed operational work associated with reconfiguring a lot and the reconfiguration is also assessable development?

- |                              |                                     |
|------------------------------|-------------------------------------|
| <input type="checkbox"/> No  | • Continue to question 1.3          |
| <input type="checkbox"/> Yes | • Complete part 3 of this checklist |

<b>1.3 Does any of the proposed operational work involve taking or interfering with:</b>	
<ul style="list-style-type: none"> <li>• water from a watercourse, lake or spring, or from a dam constructed on a watercourse or lake</li> <li>• artesian water as defined under the <i>Water Act 2000</i>, schedule 4</li> <li>• overland flow water</li> <li>• subartesian water</li> </ul>	
<input type="checkbox"/> No	• Continue to question 1.4
<input type="checkbox"/> Yes	• Complete part 4 of this checklist
<b>1.4 Is the operational work the construction of a dam, or carried out in relation to a dam, and, because of the works, the dam must be failure impact assessed?</b>	
<input type="checkbox"/> No	• Continue to question 1.5
<input type="checkbox"/> Yes	• Complete part 5 of this checklist
<b>1.5 Is any of the proposed operational work for agricultural activities or animal husbandry activities (as defined in the <i>Wild Rivers Act 2005</i>) in a wild river area?</b>	
<input type="checkbox"/> No	• Continue to question 1.6
<input type="checkbox"/> Yes	• Complete part 6 of this checklist
<b>1.6 Is any of the proposed operational work tidal works?</b>	
<input type="checkbox"/> No	• Continue to question 1.7
<input type="checkbox"/> Yes	• Complete part 7 of this checklist
<b>1.7 Is any of the operational work proposed to be carried out completely or partly within a coastal management district?</b>	
<input type="checkbox"/> No	• Continue to question 1.8
<input type="checkbox"/> Yes	• Complete part 8 of this checklist
<b>1.8 Is any of the proposed operational work for constructing or raising waterway barrier works as defined under the <i>Fisheries Act 1994</i>?</b>	
<input type="checkbox"/> No	• Continue to question 1.9
<input type="checkbox"/> Yes	• Complete part 9 of this checklist
<b>1.9 Is any of the proposed operational work to be carried out completely or partly within a declared fish habitat area as defined under the <i>Fisheries Act 1994</i>?</b>	
<input type="checkbox"/> No	• Continue to question 1.10
<input type="checkbox"/> Yes	• Complete part 10 of this checklist
<b>1.10 Is any of the proposed operational work removing, destroying or damaging marine plants as defined under the <i>Fisheries Act 1994</i>?</b>	
<input type="checkbox"/> No	• Continue to question 1.11

<input type="checkbox"/> Yes	• Complete part 11 of this checklist
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### 1.11 Does the proposal involve operational works that are high impact earthworks in the Great Barrier Reef Wetland Protection Area?

<input type="checkbox"/> No	• End of checklist
<input type="checkbox"/> Yes	• Complete part 12 of this checklist

## Part 2—Clearing native vegetation

### 2.1 Do any of the following apply?

The clearing is on premises to which structure plan arrangements apply.	<input type="checkbox"/> Yes <input type="checkbox"/> No
The clearing is clearing, or for another activity or matter, mentioned in schedule 24, part 1 of the Sustainable Planning Regulation 2009.	<input type="checkbox"/> Yes <input type="checkbox"/> No
The clearing is mentioned in schedule 24, part 2 of the Sustainable Planning Regulation 2009, as clearing for the particular land.	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If you answered **yes** to any of the above, this aspect of your operational work is not assessable development
- If you answered **no** to ALL of the above, continue to question 2.2

### 2.2 Is the proposed vegetation clearing for a relevant purpose under the *Vegetation Management Act 1999*, section 22A for one or more of the following?

A project declared to be a coordinated project under the <i>State Development and Public Works Organisation Act 1971</i> , section 26 outside of a wild river high preservation area under the <i>Wild Rivers Act 2005</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Necessary to control non-native plants or declared pests	<input type="checkbox"/> Yes <input type="checkbox"/> No
To ensure public safety	<input type="checkbox"/> Yes <input type="checkbox"/> No
For establishing a necessary fence, firebreak, road or vehicular track, or for constructing necessary built infrastructure, (each 'relevant infrastructure') and the clearing for the relevant infrastructure can not reasonably be avoided or minimised	<input type="checkbox"/> Yes <input type="checkbox"/> No
A natural and ordinary consequence of other assessable development for which a development approval was given under the repealed <i>Integrated Planning Act 1997</i> , or a development application was made under that Act, before 16 May 2003 and is outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i> .	<input type="checkbox"/> Yes <input type="checkbox"/> No
For fodder harvesting outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i> :	<input type="checkbox"/> Yes <input type="checkbox"/> No
For thinning	<input type="checkbox"/> Yes <input type="checkbox"/> No
For clearing of encroachment	<input type="checkbox"/> Yes <input type="checkbox"/> No
For an extractive industry outside: <ul style="list-style-type: none"> <li>• a wild river high preservation area under the <i>Wild Rivers Act 2005</i>, or</li> <li>• an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i></li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
For clearing regrowth vegetation on freehold land, indigenous land or leases issued under the <i>Land Act 1994</i> for agriculture or grazing purposes, in an area shown as a registered area of agriculture on a registered area of agriculture map in a wild river high preservation area under the <i>Wild River Act 2000</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No

<p>The Minister responsible for administering the <i>Vegetation Management Act 1999</i> is satisfied the development applied for is a for special indigenous purpose under the <i>Cape York Peninsula Heritage Act 2007</i> outside:</p> <ul style="list-style-type: none"> <li>a wild river high preservation area under the <i>Wild Rivers Act 2000</i>, or</li> <li>an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i></li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
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- If you answered **no** to ALL of the above, then the clearing is not for a relevant purpose and this aspect of the development is prohibited development. If this is the only aspect of vegetation clearing then that is the end of part 2 of this checklist, otherwise continue to question 2.3
- If **yes** to any of the above, continue to question 2.3

**2.3 Is any part of the vegetation clearing on land to which a property development plan under the *Wild Rivers Act 2005* applies?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 2.5</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 2.4</li> </ul>

**2.4 Is the proposed vegetation clearing consistent with the property development plan under the *Wild Rivers Act 2005*?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of development is prohibited development and a development application can not be made for this aspect of development.</li> <li>If this is the only aspect of vegetation clearing then that is the end of part 2 of this checklist, otherwise continue to question 2.5.</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 2.5</li> </ul>

**2.5 Is the proposed vegetation clearing associated with a material change of use or reconfiguring a lot for which referral is required in relation to clearing vegetation under schedule 7, table 3, item 10 and table 2, item 4 of the Sustainable Planning Regulation 2009?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>The proposed operational work for clearing native vegetation is assessable development and a development permit is required.</li> <li>This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Clearing native vegetation state code</i> in the State Development Assessment Provisions (SDAP).</li> <li>You must complete <i>IDAS Form 11—Clearing native vegetation</i></li> <li>End of part 2 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>This aspect of development is assessable development. DSDIP may be a concurrence agency for the application (see schedule 7, table 2, item 4 and table 3, item 10 of the Sustainable Planning Regulation 2009) and will assess the application against the <i>Clearing native vegetation state code</i> in the SDAP.</li> <li>If DSDIP is a concurrence agency for the application, you must refer a copy of your application to DSDIP.</li> <li>End of part 2 of this checklist</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 1
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 5 and schedule 7, table 3, item 10
- Vegetation Management Act 1999*, section 22A

**Part 3—Operational work for reconfiguring a lot**



### 3.1 Is any part of the operational work for reconfiguring a lot in a priority development area?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 3.2</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>This aspect of the development is not assessable development.</li> <li>End of part 3 of this checklist</li> </ul>

### 3.2 Do all of the following apply:

- the land is in the area of a local government that, under the *South East Queensland Water (Distribution and Retail Restructuring) Act 2009*, is a participating local government for a distributor-retailer
- the participating local government is the assessment manager
- the development application is made before 1 March 2014

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of the development is assessable development and you will need a development permit.</li> <li>The local government will be the assessment manager for the application.</li> <li>End of part 3 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>This aspect of the development is assessable development and you will need a development permit</li> <li>The local government will be the assessment manager for the application and the distributor-retailer (or SARA) will be a concurrence agency for the application.</li> <li>End of part 3 of this checklist</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 47

## Part 4—Taking or interfering with water

### 4.1 Is the proposed operational work to be carried out in a priority development area or on premises to which structure plan arrangements apply?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.2</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>This aspect of development is not assessable development and does not require a development permit.</li> <li>End of part 4 of this checklist.</li> </ul>

### 4.2 Does any of the proposed operational work involve taking or interfering with water from a watercourse, lake or spring or from a dam constructed on a watercourse or lake?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 4.17</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.3</li> </ul>

### 4.3 Are the proposed works for any of the following purposes?

Taking water from a watercourse, lake or spring in an emergency situation for a public purpose or fighting a fire destroying, or threatening to destroy, a dwelling house	<input type="checkbox"/> Yes <input type="checkbox"/> No
Taking water from a watercourse, lake or spring if: <ul style="list-style-type: none"> <li>the water is taken by the owner of land adjoining the watercourse, lake or spring</li> <li>the water is taken for domestic purposes or stock purposes</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No

Taking water from a watercourse, lake or spring for camping purposes or for watering travelling stock	<input type="checkbox"/> Yes <input type="checkbox"/> No
Using a water truck to pump water	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 4.4
- If **yes** to any of the above, this aspect of development does not require a development permit.
  - If this is the only aspect of taking or interfering with water proposed then that is the end of part 4 of this checklist
  - If there are other aspects of taking or interfering with water proposed, continue to question 4.4

#### 4.4 Are the proposed works self-assessable development under schedule 3, part 2, table 4, item 1 of the Sustainable Planning Regulation 2009?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• Go to question 4.5</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• This aspect of development is self-assessable development and must comply with any relevant self assessable code</li> <li>• If the proposal involves more than one aspect of operational work for taking or interfering with water, and the other aspect is not self-assessable development, then continue to question 4.5</li> </ul>

#### 4.5 Is any of the proposed operational work to be carried out in a wild river area under the *Wild Rivers Act 2005*?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• Go to question 4.12</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• Continue to question 4.6</li> </ul>

#### 4.6 Do both of the following apply:

- The proposed operational work is to be carried out in a wild river high preservation area or a wild river special floodplain management area
- the work interferes with the flow of water in a watercourse, lake or spring in the area

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• Go to question 4.8</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• Continue to question 4.7</li> </ul>

#### 4.7 Do any of the following apply?

The works are for the maintenance of works as defined under the <i>Water Act 2000</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
The works increase the interference with water in Lake Eyre Basin to the extent necessary for taking water for town water supply demands	<input type="checkbox"/> Yes <input type="checkbox"/> No
The work is authorised wild river operational work for the area	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, then this aspect of the development is prohibited development
  - If this is the only aspect of taking and interfering with water proposed, then that is the end of part 4 of this checklist
  - If other aspects of taking and interfering with water are proposed, continue to question 4.8
- If **yes** to any of the above, continue to question 4.8

#### 4.8 Does the proposed operational work involve interfering with the flow of water in a nominated waterway, as defined under the *Wild Rivers Act 2005*, in a wild river preservation area?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• Go to question 4.10</li> </ul>
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<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.9</li> </ul>
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#### 4.9 Does the proposed work involve any of the following?

The waterway being interfered with is a dam or weir as defined under the <i>Water Act 2000</i> .	<input type="checkbox"/> Yes <input type="checkbox"/> No
The proposed work is authorised wild river operational work for the area	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, then this aspect of the development is prohibited development
  - If this is the only aspect of taking and interfering with water proposed, then that is the end of part 4 of this checklist
  - If other aspects of taking and interfering with water are proposed, continue to question 4.12
- If **yes** to any of the above, continue to question 4.10

#### 4.10 Is any part of the proposed works on land to which a property development plan under the *Wild Rivers Act 2005* applies?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 4.12</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.11</li> </ul>

#### 4.11 Is the proposed works consistent with the property development plan under the *Wild Rivers Act 2005*?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of development is prohibited development and a development application can not be made for this aspect of development.</li> <li>If this is the only aspect of taking or interfering with water then that is the end of part 4 of this checklist, otherwise Continue to question 4.12.</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.12</li> </ul>

#### 4.12 Is the work for a water pump?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.13</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 13—Watercourse pump</i></li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.13</li> </ul>

#### 4.13 Is the work for water storage (other than for a dam requiring failure impact assessment)?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.14</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 14—Water storage</i></li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.14</li> </ul>

**4.14 Is the work for gravity diversion from a watercourse?**

<input type="checkbox"/> No	<ul style="list-style-type: none"><li>Continue to question 4.15</li></ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"><li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li><li>You must complete <i>IDAS form 15—Gravity diversion from a watercourse</i></li><li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li><li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.15</li></ul>

**4.15 Is the work for a watercourse diversion?**

<input type="checkbox"/> No	<ul style="list-style-type: none"><li>Continue to question 4.16</li></ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"><li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li><li>You must complete <i>IDAS form 17—Watercourse diversion</i></li><li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li><li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.16</li></ul>

**4.16 Is the work for other work for taking or interfering with water?**

<input type="checkbox"/> No	<ul style="list-style-type: none"><li>Continue to question 4.17</li></ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"><li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li><li>You must complete <i>IDAS form 21—Other work in a watercourse</i></li><li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li><li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.17</li></ul>

**4.17 Does any of the proposed operational work involve taking or interfering with artesian water as defined under the *Water Act 2000*, schedule 4 (other than using a water truck to pump water)?**

<input type="checkbox"/> No	<ul style="list-style-type: none"><li>Go to question 4.20</li></ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"><li>Continue to question 4.18</li></ul>

**4.18 Is any part of the proposed works on land to which a property development plan under the *Wild Rivers Act 2005* applies?**

<input type="checkbox"/> No	<ul style="list-style-type: none"><li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li><li>You must complete <i>IDAS form 12—Taking or interfering with artesian or sub-artesian water</i></li><li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li><li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.20</li></ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"><li>Continue to question 4.19</li></ul>

#### 4.19 Is the proposed works consistent with the property development plan under the *Wild Rivers Act 2005*?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of development is prohibited development and a development application can not be made for this aspect of development.</li> <li>If this is the only aspect of taking or interfering with water then that is the end of part 4 of this checklist, otherwise continue to question 4.20.</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 12—Taking or interfering with artesian or sub-artesian water</i></li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.20</li> </ul>

#### 4.20 Does the proposed operational work involve taking or interfering with overland flow water (other than using a water truck to pump water)?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 4.29</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.21</li> </ul>

#### 4.21 Is the proposed taking or interfering :

Mentioned as assessable development in a wild river declaration under the <i>Wild Rivers Act 2005</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
In an area declared under the <i>Water Act 2000</i> to be a drainage and embankment area and the operations are declared under that Act to be assessable development	<input type="checkbox"/> Yes <input type="checkbox"/> No
In a wild river floodplain management area and the operations are: <ul style="list-style-type: none"> <li>specified works; or</li> <li>stated in the wild river declaration for the area to be assessable development</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Mentioned as assessable development in a water resource plan, or prescribed as assessable development under a regulation under the <i>Water Act 2000</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **yes** to any of the above, continue to question 4.22.
- If **no** to all of the above and there are no other aspects of taking or interfering with water proposed, then that is the end of part 4 of this checklist. If other aspects of taking or interfering with water are proposed, go to question 4.29

#### 4.22 Is any of the proposed operational work to be carried out in a wild river area under the *Wild Rivers Act 2005*?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP. <ul style="list-style-type: none"> <li>You must complete <i>IDAS form 19—Taking overland flow</i></li> </ul> </li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.29</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.23</li> </ul>

#### 4.23 Is any part of the proposed works on land to which a property development plan under the *Wild Rivers Act 2005* applies?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 4.25</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.24</li> </ul>

**4.24 Is the proposed works consistent with the property development plan under the *Wild Rivers Act 2005*?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of development is prohibited development and a development application can not be made for this aspect of development.</li> <li>If this is the only aspect of taking or interfering with water then that is the end of part 4 of this checklist, otherwise go to question 4.25.</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Go to question 4.25</li> </ul>

**4.25 For operational work that is the taking of overland flow water, is any of the proposed works to be carried out in a wild river high preservation area or a wild river special floodplain management area?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 4.27</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.26</li> </ul>
<input type="checkbox"/> N/A	<ul style="list-style-type: none"> <li>Go to question 4.27</li> </ul>

**4.26 Is the proposed taking of overland flow water stated in a wild river declaration for the area to be assessable development for which a development application can be made?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of the development is prohibited development</li> <li>If this is the only aspect of taking and interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If other aspects of taking and interfering with water are proposed, continue to question 4.27</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li> <li>If there are no other aspects of taking or interfering proposed, then this is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, continue to question 4.27</li> </ul>

**4.27 For operational work that is interfering with overland flow water, is any of the proposed works to be carried out in a wild river floodplain management area or a wild river special floodplain management area?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li> <li>If there are no other aspects of taking or interfering proposed, then this is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, Go to question 4.29</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.28</li> </ul>
<input type="checkbox"/> N/A	<ul style="list-style-type: none"> <li>Go to question 4.29</li> </ul>

**4.28 Do both of the following apply:**

The operations are declared under the <i>Water Act 2000</i> or the wild river declaration for the area to be assessable development	<input type="checkbox"/> Yes <input type="checkbox"/> No
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The operational work is not for specified works in the area and is not stated in the wild river declaration for the area to be assessable development for which a development application may be made	<input type="checkbox"/> Yes <input type="checkbox"/> No
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- If **yes** to all of the above, the development is prohibited development and a development application cannot be made.
- If **no** to all of the above, a development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the *Sustainable management of water resources state code* in the SDAP.
- If there are no other aspects of taking or interfering with water proposed, then that is the end of part 4 of this checklist.
- If other aspects of taking or interfering with water are proposed, continue to question 4.29

**4.29 Does the proposed operational work involve taking or interfering with subartesian water (other than using a water truck to pump water)?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• End of part 4 of this checklist.</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• Continue to question 4.30</li> </ul>

**4.30 Is the proposed taking or interfering with subartesian water mentioned or prescribed as assessable development in any of the following?**

A water resource plan under the <i>Water Act 2000</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
A wild river declaration under the <i>Wild Rivers Act 2005</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
A regulation under the <i>Water Act 2000</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **yes** to any of the above, continue to question 4.31
- If **no** to all of the above, end of part 4 of this checklist.

**4.31 Is any part of the proposed works on land to which a property development plan under the *Wild Rivers Act 2005* applies?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li> <li>• You must complete <i>IDAS form 12—Taking or interfering with artesian or sub-artesian water</i></li> <li>• End of part 4 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• Continue to question 4.32</li> </ul>

**4.32 Is the proposed works consistent with the property development plan under the *Wild Rivers Act 2005*?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• This aspect of development is prohibited development and a development application can not be made for this aspect of development.</li> <li>• End of part 4 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• A development permit is required and this application will be assessed by DSDIP's SARA as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP.</li> <li>• You must complete <i>IDAS form 12—Taking or interfering with artesian or sub-artesian water</i></li> <li>• End of part 4 of this checklist</li> </ul>



## Part 5—For particular dams

### 5.1 Is the proposed operational work for the following?

The construction of a dam more than ten metres in height and having a storage capacity of more than 1 500 megalitres	<input type="checkbox"/> Yes <input type="checkbox"/> No
The construction of a dam more than ten metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in relation to an existing non-referable dam that will result in the dam being more than ten metres in height and having a storage capacity of more than 1 500 megalitres	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work to an existing non-referable dam that will result in the dam being more than ten metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works that involve the increase of capacity of a non-referable dam by more than 10 per cent if the dam is: <ul style="list-style-type: none"><li>more than ten metres in height and having a storage capacity of more than 1 500 megalitres, or</li><li>more than ten metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level</li></ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works carried out in relation to a referable dam if, because of the works, the storage capacity of the dam will increase by more than 10% after the works are carried out.	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing a dam for which the chief executive under the <i>Water Supply (Safety and Reliability) Act 2008</i> has given a notice to have the dam failure impact assessed.	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, the proposed operational work is not required to be failure impact assessed and is therefore not assessable development. This is the end of part 5 of this checklist
- If **yes** to any of the above, this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Referrable dams state code* in the SDAP.
  - You must complete *IDAS form 16—Particular dams*
  - End of part 5 of this checklist

## Part 6—For a wild river area

### 6.1 Is the proposed operational work declared to be assessable development under the wild river declaration for the area?

<input type="checkbox"/> No	<ul style="list-style-type: none"><li>This aspect of development is not assessable development and no development permit is required End of part 6 of this checklist</li></ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"><li>Continue to question 6.2</li></ul>

### 6.2 Does the proposed work involve any of the following?

Any part of the operational work is located in a wild river high preservation area	<input type="checkbox"/> Yes <input type="checkbox"/> No
The work is for agricultural activities in a wild river preservation area or a wild river special floodplain management area in relation to the production of a high risk species as defined under the <i>Wild Rivers Act 2005</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
The work is for animal husbandry activities in a wild river special floodplain management area	<input type="checkbox"/> Yes <input type="checkbox"/> No



- If **yes** to any of the above, this aspect of development is prohibited development and a development application can not be made. This is the end of part 6 of this checklist
- If **no** to all of the above, continue to question 6.3

### 6.3 Will the proposed operational work be carried out on land to which a property development plan applies?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Agricultural or animal husbandry activities in a wild river area state code</i> in the SDAP.</li> <li>• You must complete <i>IDAS form 29—Agricultural activities in a wild river area</i> if the operational work is for agricultural activities</li> <li>• You must complete <i>IDAS form 30—Animal husbandry activities in a wild river area</i> if the operational work is for animal husbandry activities</li> <li>• End of part 6 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• Continue to question 6.4</li> </ul>

### 6.4 Is the proposed development consistent with the property development plan?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• This aspect of development is prohibited development and a development application cannot be made</li> <li>• End of part 6 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Agricultural or animal husbandry activities in a wild river area state code</i> in the SDAP.</li> <li>• You must complete <i>IDAS form 29—Agricultural activities in a wild river area</i> if the operational work is for agricultural activities</li> <li>• You must complete <i>IDAS form 30—Animal husbandry activities in a wild river area</i> if the operational work is for animal husbandry activities</li> <li>• End of part 6 of this checklist</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 9
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 42
- *Sustainable Planning Act 2009*, schedule 1, items 1 and 2

## Part 7—Tidal work

### 7.1 Is the proposed tidal work any of the following:

Excluded work	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work that is self-assessable development under schedule 3, part 2, table 4, item 8 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 7.2.
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required.

**7.2 Is any of the proposed tidal work to be carried out in a wild river area under the *Wild Rivers Act 2005*?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 7.6</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 7.3</li> </ul>

**7.3 Is the proposed tidal work for any of the specified works under the *Wild Rivers Act 2005*?**

Infrastructure and works prescribed under a regulation to be necessary for disaster management	<input type="checkbox"/> Yes <input type="checkbox"/> No
De-snagging that is the minimum necessary to allow safe navigation of a marked navigable channel	<input type="checkbox"/> Yes <input type="checkbox"/> No
Infrastructure that is roads, railways, pipelines conveyor belts and cables	<input type="checkbox"/> Yes <input type="checkbox"/> No
Jetties and boat ramps for use by the public	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works for rehabilitation of land (e.g. rehabilitation of abandoned mines)	<input type="checkbox"/> Yes <input type="checkbox"/> No
Infrastructure for the transmission or distribution of electricity	<input type="checkbox"/> Yes <input type="checkbox"/> No
Other infrastructure, prescribed under a regulation that relates to the transportation, movement, transmission or flow of anything through a wild river area including, for example, goods, materials, substances, matter, particles with or without charge, light, energy, information and anything generated or produced	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, this aspect of development is prohibited development and a development application cannot be made. End of part 7 of this checklist
- If **yes** to any of the above, continue to question 7.4

**7.4 Will the proposed operational work be carried out on land to which a property development plan applies?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 7.6</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 7.5</li> </ul>

**7.5 Is the proposed development consistent with the property development plan?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of development is prohibited development and no application can be made</li> <li>End of part 7 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 7.6</li> </ul>

**7.6 Is any of the proposed tidal work prescribed tidal work?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence against the <i>Tidal works, or development in a coastal management district state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i></li> <li>End of part 7 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i></li> <li>This application requires assessment by the local government as assessment manager and the chief executive of DSDIP will be a concurrence agency for the application; you must refer a copy of the application to DSDIP</li> <li>End of part 7 of this checklist</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 5
- Sustainable Planning Regulation 2009, schedule 7, table 2, items 13 to 18
- *Sustainable Planning Act 2009*, schedule 1, items 2 and 4

## Part 8—Coastal management

### 8.1 Is the proposed operational work any of the following:

Excluded works	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work that is self-assessable development under schedule 3, part 2, table 4, item 8 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 8.2.
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required. End of part 8 of this checklist.

### 8.2 Is the proposed operational work for any of the following?

Interfering with quarry material as defined under the <i>Coastal Protection and Management Act 1995</i> on state coastal land above high-water mark	<input type="checkbox"/> Yes <input type="checkbox"/> No
Disposing of dredge spoil or other solid waste material in tidal water	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing an artificial waterway	<input type="checkbox"/> Yes <input type="checkbox"/> No
Removing or interfering with coastal dunes on land, other than State coastal land, that is in an erosion prone area as defined in the <i>Coastal Protection and Management Act 1995</i> and above high-water mark	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If you answered **no** to all of the above, a development permit is not required for this aspect of development and that is the end of part 8 of this checklist
- If you answered **yes** to any of the above, continue to question 8.3

### 8.3 Is any of the proposed work to be carried out in a wild river area under the *Wild Rivers Act 2005*?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• This application may require assessment by DSDIP's SARA as assessment manager or concurrence agency against the <i>Tidal works, or development in a coastal management district state code</i> in the SDAP.</li> <li>• You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i></li> <li>• End of part 8 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• Continue to question 8.4</li> </ul>

### 8.4 Is all of the proposed operational work for specified works under the *Wild Rivers Act 2005*?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• This aspect of the development is prohibited development and a development application cannot be made</li> <li>• End of part 8 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• Continue to question 8.5</li> </ul>

**8.5 Will the proposed operational work be carried out on land to which a property development plan applies?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This application may require assessment by DSDIP's SARA as assessment manager or concurrence agency against the <i>Tidal works, or development in a coastal management district state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i></li> <li>End of part 8 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 8.6</li> </ul>

**8.6 Is the proposed development consistent with the property development plan?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of development is prohibited development and a development application cannot be made</li> <li>End of part 8 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>This application may require assessment by DSDIP's SARA as assessment manager or concurrence agency against the <i>Tidal works, or development in a coastal management district state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i></li> <li>This aspect of development will be subject to the relevant wild river declaration for the area and assessment may be required for the purpose of the <i>Wild Rivers Act 2005</i></li> <li>End of part 8 of this checklist</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 5
- Sustainable Planning Regulation 2009, schedule 7, table 2, items 13 to 18
- Sustainable Planning Act 2009*, schedule 1, items 2 and 4

**Part 9—Waterway barrier works**

**9.1 Is the proposed operational work any of the following:**

Work that is self-assessable development under schedule 3, part 2 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 9.2.
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required. End of part 9 of this checklist.

**9.2 Is any of the proposed operational work to be carried out in a wild river area under the *Wild Rivers Act 2005*?**

<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required for this aspect of development. This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Constructing or raising waterway barrier works in fish habitats state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 27—Waterway barrier works</i></li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 9.3</li> </ul>

**9.3 Is any of the proposed operational work to be carried out in a wild river high preservation area or a wild river special floodplain management area?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 9.5</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 9.4</li> </ul>

#### 9.4 Is the works for any of the following?

Specified works in the area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Maintenance of existing waterway barrier works	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing or raising temporary waterway barrier works associated with the carrying out of specified works or the maintenance of existing waterway barrier works	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing new waterway barrier works, or raising of an existing waterway barrier works, within the Lake Eyre Basin for storing water for town water supply demands	<input type="checkbox"/> Yes <input type="checkbox"/> No
Authorised wild river operational work for the area	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, this aspect of development is prohibited development and a development application cannot be made. That is the end of part 9 of this checklist
- If **yes** to any of the above, continue to question 9.5

#### 9.5 Will the proposed operational work be carried out on land to which a property development plan applies?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>A development permit is required for this aspect of development. This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Constructing or raising waterway barrier works in fish habitats state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 27—Waterway barrier works</i></li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 9.6</li> </ul>

#### 9.6 Is the proposed development consistent with the property development plan?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of development is prohibited development and a development application cannot be made</li> <li>End of part 9 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required for this aspect of development. This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Constructing or raising waterway barrier works in fish habitats state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 27—Waterway barrier works</i></li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 6
- Sustainable Planning Regulation 2009, schedule 3, part 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 29
- Sustainable Planning Act 2009*, schedule 1, items 2 and 6

### Part 10—Declared fish habitat area

#### 10.1 Is the operational work reasonably necessary for any of the following?

<p>The maintenance of existing structures, including for example the following structures, if the structures were constructed in compliance with all the requirements under any Act relating to a structure of that type:</p> <ul style="list-style-type: none"> <li>boat ramps, boardwalks, drains, fences, jetties, roads, safety signs, swimming enclosures and weirs</li> <li>powerlines or associated powerline infrastructure.</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Educational or research purposes relating to the declared fish habitat area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Monitoring the impact of development on the declared fish habitat area	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>The construction or placement of structures, including for example, safety signs, swimming enclosures and aids to navigation, if:</p> <ul style="list-style-type: none"> <li>the impact on the area is minor</li> <li>the structures are constructed in compliance with all the requirements, under any Act relating to a structure of that type.</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Public benefit works, including, for example, the construction of runnels for mosquito control, the removal of Lyngbya and seed collection for site rehabilitation, if the impact on the area is minor	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **yes** to any of the above, a permit is not required for this aspect of development but the proposed work must comply with any applicable self assessable codes
- If **no** to all of the above, continue to question 10.2

#### 10.2 Is the proposed operational work to be carried out in a wild river area under the *Wild Rivers Act 2005*?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Development completely or partially in a declared fish habitat area state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 27—Waterway barrier works</i></li> <li>End of part 10 of this checklist.</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 10.3</li> </ul>

#### 10.3 Is the proposed operational work to be carried out in a wild river high preservation area?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 10.5</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 10.4</li> </ul>

- If **no**, this aspect of development is prohibited development and that is the end of part 10 of this checklist
- If **yes**, continue to question 10.5

#### 10.5 Will the proposed operational work be carried out on land to which a property development plan applies?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency, against the <i>Development completely or partially in a declared fish habitat area state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 27—Waterway barrier works</i></li> <li>End of part 10 of this checklist.</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 10.6</li> </ul>

#### 10.6 Is the proposed development consistent with the property development plan?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>This aspect of development is prohibited development and a development application cannot be made</li> <li>End of part 10 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency, against the <i>Development completely or partially in a declared fish habitat area state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 27—Waterway barrier works</i></li> <li>End of part 10 of this checklist</li> </ul>

Section reference:

- Sustainable Planning Act 2009, schedule 1, items 2 and 8
- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 7
- Sustainable Planning Regulation 2009, schedule 3, part 2, table 4, item 3
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 26

## Part 11—Removal, destruction or damage of a marine plant

### 11.1 Is the proposed operational work any of the following?

For reconfiguring a lot that is assessable development under table 3, item 1, if there is a development permit in effect for the reconfiguration	<input type="checkbox"/> Yes <input type="checkbox"/> No
For a material change of use that is assessable development, if there is a development permit in effect for the change of use	<input type="checkbox"/> Yes <input type="checkbox"/> No
Self-assessable development under schedule 3, part 2 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **yes** to any of the above, this aspect of development is not assessable development and no development permit is required. End of part 11 of this checklist.
- If **no** to all of the above, continue to question 11.2

### 11.2 Is the proposed operational work to be carried out in a wild river area under the *Wild Rivers Act 2005*?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Removal, destruction or damage of marine plants state code</i> in the SDAP.</li> <li>You must complete <i>IDAS form 26—Marine plants and declared fish habitat areas</i></li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 11.3</li> </ul>

### 11.3 Is the proposed operational work any of the following?

Specified works in the area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Operational work that is a necessary and unavoidable part of installing or maintaining works or infrastructure required to support other development for which a development permit or compliance permit is not required or, if a development application or a request for compliance assessment is required, the permit is held or has been applied for.	<input type="checkbox"/> Yes <input type="checkbox"/> No



- If **no** to all of the above, this aspect of development is prohibited development and a development application cannot be made. End of part 11 of this checklist.
- If **yes** to any of the above, continue to question 11.4

**11.4 Will the proposed operational work be carried out on land to which a property development plan applies?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Removal, destruction or damage of marine plants state code</i> in the SDAP.</li> <li>• You must complete <i>IDAS form 26—Marine plants and declared fish habitat areas</i></li> <li>• End of part 11 of this checklist.</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• Continue to question 11.5</li> </ul>

**11.5 Is the proposed development consistent with the property development plan?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• This aspect of development is prohibited development and a development application cannot be made</li> <li>• End of part 11 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Removal, destruction or damage of marine plants state code</i> in the SDAP.</li> <li>• You must complete <i>IDAS form 26—Marine plants and declared fish habitat areas</i></li> <li>• End of part 11 of this checklist.</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 8
- Sustainable Planning Regulation 2009, schedule 3, part 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 30
- *Sustainable Planning Act 2009*, schedule 1, items 2 and 7

**Part 12—Great Barrier Reef Wetland Protection Areas**

**12.1 Is the proposed operational work for a domestic housing activity only?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• Continue to question 12.2</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• A development permit is not required for this aspect of development and this is the end of the checklist</li> </ul>

**12.2 Is the proposed operational work the natural and ordinary consequence of a material change of use or reconfiguring a lot for which the state was a concurrence agency under schedule 7, table 3, item 21A or table 2, item 43A of the Sustainable Planning Regulation 2009?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• Continue to question 12.3</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• A development permit is not required for this aspect of development and this is the end of the checklist</li> </ul>

**12.3 Is the proposed operational work associated with government supported transport infrastructure or electricity infrastructure?**



<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Wetland protection area state code</i> in the SDAP.</li> <li>• You must complete <i>IDAS form 33—Great Barrier Reef Wetland protection area</i></li> <li>• End of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• A permit is not required for this aspect of development but the proposed work must comply with any applicable self assessable code</li> <li>• End of this checklist</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 10
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 43B

**Privacy—please refer to your assessment manager for further details on the use of information recorded in this form**

**Disclaimer:**

While the Department of State Development, Infrastructure and Planning (DSDIP) believes that the information contained on this checklist and provided as part of this process will be of assistance to you, it is provided on the basis that you will not rely on the information. It is your responsibility to make your own enquiries regarding the interpretation and application of the applicable legislation to your circumstances.

To the full extent permitted by law, DSDIP expressly disclaims all liability (including but not limited to liability for negligence) for errors or omissions of any kind or for any loss (including direct and indirect losses), damage or other consequence which may arise from your reliance on this process and the information contained on this checklist.

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**OFFICE USE ONLY**

Date received

Reference numbers

*The Sustainable Planning Act 2009* is administered by DSDIP. This checklist and all other required application materials should be sent to your assessment manager and any referral agency.

# **JIM PAPAS DRAFTING PTY. LTD.**

ACN 010 943 905 ABN 56 010 943 905

Please address all  
correspondence to:  
**P.O. Box 2347,  
Mareeba Q 4880**

**Phone: (07) 4092 4638  
Mobile: 0408 770 394  
Email: [jimpapas@westnet.com.au](mailto:jimpapas@westnet.com.au)**

The Chief Executive Officer,  
Cairns Regional Council,  
P.O. Box 154,  
Mareeba Qld 4880

December 20, 2013  
1292 L01 Part 2

Attn: Mr. J. Thompson

Dear Sir,

## **RE: PROPOSED RETAIL OUTLET AT 15 FRONT STREET MOSSMAN FOR SUGARLAND MEATS**

(CRC Ref No 8/7/2796 (4219642))

We submit the attached operational works application on behalf of Briley Consulting Pty. Ltd.

We seek your approval of these proposals and request that you issue an "Operational Works" permit to allow construction to be incorporate the works within the building construction works.

Yours faithfully,

JIM PAPAS  
DRAFTING PTY. LTD.



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JIM PAPAS

# **JIM PAPAS DRAFTING PTY. LTD.**

ACN 010 943 905 ABN 56 010 943 905

## **COVER SHEET**

### **OPERATIONAL WORKS APPLICATION FOR RETAIL OUTLET AT 15 FRONT STREET MOSSMAN**

Job No. **1292**

Job Description: **Proposed Retail Outlet at 15 Front Street, Mossman**

Client: **Sugarland Meats**

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Part 3: Design Approval.

Part 4: Design Report.

Part 5: Project Report

Part 6: Development Conditions

Part 7: Design Drawings in a separate volume.

#### **ATTACHMENTS**

Design Drawings consist of 4 copies (3 x A1, 1 x A3) of Dwgs. C01 – C04

SPA Forms 1, 6 and Checklist .

Decision Notice Approval: Negotiated Decision Notice Approval

Statement of Compliance

Operational Works Receipting Checklist.

# **JIM PAPAS DRAFTING PTY. LTD.**

ACN 010 943 905 ABN 56 010 943 905

## **PART 3 - DESIGN APPROVAL**

### **3.01 PRELODGEEMENT DISCUSSIONS**

There were no pre-lodgement discussions held regarding this project.

### **3.02 DESIGN REQUIREMENTS**

We believe that this submission complies with the requirements of this section.

All aspects of this submission have been prepared under the direction of a Registered Professional Engineer Queensland. (RPEQ)

### **3.03 ADJOINING LAND OWNERS**

No operational works are expected to be undertaken on adjoining property.  
The next section is not applicable.

### **3.04 LOCAL AUTHORITY APPROVAL**

Statement of Compliance is attached.  
Approved drawings endorsed by RPEQ will be provided to Council as required.

### **3.05 APPROVAL OF OTHER AGENCIES**

We have complied with the conditions of the referral agency.

### **3.06 SUPPORTING INFORMATION**

Design Plans: Copies attached.

Job Specification: None provided, information, which may be included in a Job Specification, is shown on the drawings.

Design Report: Copy attached.

Operational Works Application: Refer covering letter.

Prescribed Application Fee: A cheque in the sum of \$214 is attached.

Evidence of Payment of Portable Long Service Leave and Occupational Health and safety fee: None provided, the value of the works is less than the minimum threshold and in any event these operational works will form part of the building works.

# **JIM PAPAS DRAFTING PTY. LTD.**

ACN 010 943 905 ABN 56 010 943 905

## **PART4 - DESIGN REPORT**

### **STATEMENT OF COMPLIANCE:**

Copy of the completed Statement of Compliance is attached.

### **APPROVAL CONDITIONS**

A copy of the Development Permit is attached, complete with references showing design compliance as applicable.

### **PRELODGEEMENT DISCUSSIONS**

There were no pre-lodgement discussions held regarding this project.

### **ADJOINING LANDOWNERS.**

No operational works are expected to be undertaken on adjoining property.

### **EVIDENCE OF NEGOTIATIONS WITH SERVICE AUTHORITIES**

Not applicable to this application

### **STORMWATER DRAINAGE CALCULATIONS**

Not applicable to this application.

### **CATCHMENT PLAN.**

Not applicable to this application.

### **ALTERNATIVE DESIGN**

Not applicable.

### **STORMWATER DRAINAGE CALCULATIONS FOR DRAINAGE FEATURES**

None applicable.

### **PERMANENT STORMWATER QUALITY STRUCTURES**

Not applicable.

### **EROSION AND SEDIMENT CONTROL STRATEGY**

Not applicable to this application .

### **TRAFFIC MANAGEMENT PLAN**

None provided at this time. Such a plan is properly the responsibility of the Contractor and it will be provided prior to the commencement of the works.

### **WATER RETICULATION NETWORK**

Not applicable to this application.

### **PAVEMENT DESIGN**

Prior to design California Bearing Ratio (CBR) testing has not been undertaken for the site. The CBR is to be evaluated prior to construction by in situ CBR, and 4 day soaked CBR all performed by an NATA registered materials testing authority using procedures prescribed by the Department of Main Roads and the Standards Association of Australia.

The pavement design shall be reassessed after completion of testing. For the purpose of the design the subgrade CBR is assumed to be 7.

### **GEOTECHNICAL REPORTS**

Not applicable.

### **STRUCTURAL AND GEOTECHNICAL CERTIFICATION**

Not applicable.

# **JIM PAPAS DRAFTING PTY. LTD.**

ACN 010 943 905 ABN 56 010 943 905

## **PUMPING STATIONS**

Not applicable to this application

## **LANDSCAPE DESIGN**

Not applicable to this application.

## **STAGED DEVELOPMENT**

Not applicable to this application.

## **MATERIALS**

All materials selected for use in this project are to industry standard and in accordance with FNQROC Standard Specification. All such materials shall be installed in accordance with the manufacturer's specifications and requirements

## **PRICED BILL OF QUANTITIES**

Not applicable to this application.

# **JIM PAPAS DRAFTING PTY. LTD.**

ACN 010 943 905 ABN 56 010 943 905

## **PART 5 - PROJECT REPORT**

### **1.0 GENERAL DESCRIPTION**

The site is currently vacant and is located at 15 Front Street, Mossman.

The entire project encompasses a retail outlet with a access driveway, commercial vehicle crossing and associated car parking area.

There are no known features on the site, which are detrimental to its development.

### **2.0 ROADWORKS**

The only works that are to occur in the Front Street road reserve is construction of a concrete commercial vehicle crossing in accordance with FNQROC Design Manual Std. Dwg S1015 and associated interlock block paving.

### **3.0 STORMWATER DRAINAGE**

The stormwater drainage system has been designed using the rational Method in accordance with Australian Rainfall and Runoff (ARR) and the Queensland Urban Drainage manual(QUDM)

In accordance with the QUDM recommendations, the minor system is contained within an underground system based on a 10 year return interval. The major system design is based on an average return interval of 100 years. This system uses a combination of the underground pipe system and overland flow.

Times of concentration are based on QUDM standard inlet times.

Runoff coefficients have been established in accordance with QUDM.

Intensity figures have been obtained from FNQROC Design Manual IFD Chart 18 Port Douglas and Mossman.

### **4.0 POTABLE WATER RETICULATION**

A standard 20mm domestic water service is to be provided to the site. All other water supply works are subject to a separate plumbing application.

### **4.0 SEWERAGE AND HOUSE DRAINAGE**

The location of an existing 100Ø house connection branch is shown on the drawings. All other house drainage works are subject to a separate plumbing application.

### **5.0 ELECTRICAL AND TELECOMMUNICATION RETICULATIONS**

Not applicable to this application.

# JIM PAPAS DRAFTING PTY. LTD.

ACN 010 943 905 ABN 56 010 943 905

## PART 6 - DEVELOPMENT CONDITIONS

### Material Change of Use Development Permit

Development No:

Date of Issue:

Condition 1:	(a)	Completed	
	(b)	Completed	
Condition 2		Not applicable	
Condition 3	(a)	Completed	
	(b)	Completed, but not applicable to this application.	
	(c)	Completed although we have opted to leave a small area which has been backfilled with aggregate to facilitate maintenance and drainage.	
	(d)	Deleted	
Condition 4		This submission completes this condition.	
Condition 5		This condition is not applicable to this application.	
Condition 6		Completed.	
Condition 7	(a)	Completed. We have shown a future 20mm domestic water supply to service the development and the location of an existing house connection branch. Connection of these services to proposed development is beyond the scope of this application and both are subject to future required plumbing applications.	
Condition 8		Not applicable to this application	
Condition 9		Not applicable to this application	
Condition 10		Not applicable to this application	
Condition 11		Not applicable to this application	
Condition 12	(a)	Completed	
	(b)	Completed	
Condition 13		Deleted	
Condition 14		Completed	
Condition 15		Completed	
Condition 16		Not applicable to this application	
Condition 17		Not applicable to this application	
Condition 18		Not applicable to this application	
Condition 19		Not applicable to this application	
Condition 20		Not applicable to this application	
Condition 21	(a)	Completed	
	(b)	Completed	(c) Completed



# JIM PAPAS DRAFTING PTY. LTD.

ACN 010 943 905 ABN 56 010 943 905

- (d) Completed
- (e) Completed

Condition 22	Completed
Condition 23	Not applicable to this application
Condition 24	Not applicable to this application
Condition 25	Not applicable to this application
Condition 26	Not applicable to this application

## **Referral Agency Conditions – Department of Transport and Main Roads**

Condition 1	Completed
Condition 2	Completed
Condition 3	Completed
Condition 4	Completed
Condition 5	Completed
Condition 6	Completed

## FNQROC DEVELOPMENT MANUAL

Council ..... CAIRNS REGIONAL COUNCIL  
(INSERT COUNCIL NAME)

### STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development ..... Proposed Retail Outlet

Location of Development ..... 15 Front Street Mossman

Applicant ..... Sugarland Meats

Designer ..... Briley Consultants

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	Y
Geotechnical requirements	Y
Geometric Road Design	N.A.
Pavements	Y
Structures / Bridges	N.A.
Subsurface Drainage	N.A.
Stormwater Drainage	Y
Site Re-grading	Y
Erosion Control and Stormwater Management	N.A.
Pest Plant Management	N.A.
Cycleway / Pathways	N.A.

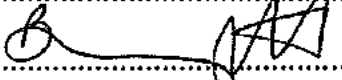
## APPLICATION PROCEDURES

Landscaping	No, subject to a separate application
Water Source and Disinfection/Treatment Infrastructure (if applicable)	N.A.
Water Reticulation and Pump Stations	N.A.
Sewer Reticulation and Pump Stations	N.A.
Electrical Reticulation and Street Lighting	N.A.
Public Transport	N.A.
Associated Documentation/ Specification	None required
Priced Schedule of Quantities	N.A.
Referral Agency Conditions	Y
Supporting Information (AP1.08)	None applicable
Other	Nil

Conscientiously believing the above statements to be true and correct, signed on behalf of:

**Designer** ..... Briley Consultants ..... **RPEQ No** ..... 9326 .....

**Name in Full** ..... Brian J Smyth .....

**Signature** .....  ..... **Date** ..... 20/12/2013 .....



## Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

**Name of Council:**

**Development Name and Location:**

Proposed Retail Outlet at 15 Front Street, Mossman

**Planning Permit No/Council File No:** ..... 8 ..... / ..... 7 ..... / ..... 2796 (4219642)

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
1. Completed 'Statement of Compliance' form. (FNQROC - AP1 ~ Appendix A)	Y	
2. IDAS Forms A, E & IDAS Assessment Checklist (Available from <a href="http://www.ipa.qld.gov.au">www.ipa.qld.gov.au</a> )	Y	
3. Payment of Engineering Application Fees (Copy of receipt to be attached)	Y	
4. Copy of Decision Notice for Development Application Conditions, <u>inc. explanation of how each condition is to be addressed (Statement of Compliance)</u>	Y	
5. Engineering Design drawings - Complete sets (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format)	Y	
6. One copy of Design and Standard Specifications (Unbound Copy Preferable)	N	Standard specification shall be FNQROC specification. information generally contained in a job specification is shown on the drawings.
7. Written consent from adjoining property owners authorising any works on their property	N.A.	
8. Water reticulation network in electronic format (Engineer to confirm system requirements and compatibility with Cairns Water)	N.A.	
9. Landscape drawings - Complete set (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format). These must be accompanied by elements of the stormwater & street lftg. layout design, to avoid conflicts.	N	Landscape design shall be subject to a separate submission



## Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
10. Overall network drawings (for staged development) for:		
• Water	N.A.	
• Stormwater	N.A.	
• Sewer	N.A.	
• Pathways and roads	N.A.	
• Street Lighting	N.A.	
• Electrical	N.A.	
• Gas	N.A.	
• Public Transport	N.A.	
• Park Reserves	N.A.	
• Drainage Reserves	N.A.	
11. Pavement design criteria	Y	
12. Geotechnical reports for proposed earthworks	N	None applicable at this time.
13. Structural and geotechnical certificates for retaining walls etc.	N.A.	
14. Water supply/sewerage pump station design parameters	N.A.	
15. Stormwater drainage calculations	N.A.	
16. Erosion and Sediment Control Strategy (ESCS)	N.A.	
17. Declared Pest Management Plan (if applicable)	N.A.	
18. The approval of any other Authorities & concurrence agencies likely to be affected by the works.	Y	Refer design report.



## Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

19. Contact details of the Consulting Engineer who is submitting the Application:

Name of Engineer	Brian Smyth	
Name of Company	Briley Consultants	
Telephone Number (s)	Office: 4054 3052	Mobile: 0400 543 052
Email address	br85287@bigpond.net.au	
RPEQ No.	9326	

20. Date of submission of application 23 / 12 / 2012

***(For further information on all of the above refer to the FNQROC Development Manual Section AP1)***

**APPLICANT DETAILS**

Justin Edwards  
C/- Planz Town Planning Pty Ltd  
17 Atherton Street  
WHITFIELD QLD 4870

**ADDRESS**

15 Front Street, Mossman

**REAL PROPERTY DESCRIPTION**

Lot 2 on SP238242

**PROPOSAL**

Shopping Facilities

**DECISION**

Approved subject to conditions (refer to approval package below).

**DECISION DATE**

This Negotiated Decision Notice dated 13 December 2013 replaces the Decision Notice dated 30 October 2013.

**TYPE**

Material Change of Use (Development Permit)

**REFERRAL AGENCIES**

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
<input checked="" type="checkbox"/> State-controlled road	Department of State Development, Infrastructure and Planning	Concurrence	Far North Queensland Regional Office PO Box 2358 CAIRNS QLD 4870

**SUBMISSIONS**

There were no submissions for this application.

43.2013.5303  
2/25

**FURTHER DEVELOPMENT PERMITS REQUIRED**

Development Permit for Building Works  
Development Permit for Plumbing Works  
Development Permit for Operational Works

**CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT**

None

**DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)**

Not in conflict

**APPROVED DRAWING(S) AND/OR DOCUMENT(S)**

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
Site Plan – Street Layout	Generally in accordance with Plan No 108-13 Sheet 1 of 4 Rev. A (Council Ref No 4095815) and amended in accordance with conditions 3 and 13	Received 28 Aug 2013
Site, Floor Plans	Generally in accordance with Plan No 108-13 Sheet 1 of 3 (Council Ref No 4095815) and amended in accordance with conditions 3 and 13	Received 28 Aug 2013
Elevations – Sheet 1	Plan no 108-13 Sheet 2 of 3 prepared by Greg Skyring Design & Drafting (Council ref no 4095815)	9 Aug 2013
Elevations – Sheet 2	Plan no 108-13 Sheet 3 of 3 prepared by Greg Skyring Design & Drafting (Council ref no 4095815)	9 Aug 2013
Landscaping Plan	To Be Determined	TBD

**ASSESSMENT MANAGER CONDITIONS**

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
  - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
  - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval



**Timing of Effect**

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

**Amendment to Design**

3. The proposed development must be amended to accommodate the following changes:
  - a. A redesign (enlarging) of the sealed vehicle manoeuvring and parking area onsite in order to enable provision of a loading area and seven (7) vehicle parking spaces.
  - b. Delete the 1.6 metre wide garden bed along the northern edge of the shop.
  - c. Provide a concrete or other approved surface access for the full width of the access area between the shop and the northern boundary, for the length of the proposed shop, to enable vehicular access and provision of 1.5 metre wide pedestrian access from the rear of the shop to the street front. The plans should show a variation in the methods of surfacing and or colours of the access surface to visually demarcate areas intended for vehicular traffic and areas intended for pedestrian traffic.
  - ~~d. Amended plans are to provide a 1.5 metre wide awning along the northern side of the shop to allow all weather pedestrian traffic between the vehicle parking areas at the rear of the shop and the entry at the front of the shop.~~

Details of the above amendments must be endorsed by the Chief Executive Officer prior to issue of a Development Permit for Building and Operational Works.

**Operational Works**

4. An Operational Works Approval is required for; the internal driveway and parking area, water and sewer works associated with the development and the on-street works. Such works must be completed to the satisfaction of the Chief Executive Officer prior to Commencement of Use. Where plans are required, three (3) A1 size copies of the plans and one (1) copy at A3 size must be submitted to Council.

**Airconditioning / Refrigeration Screens**

5. Airconditioning or refrigeration units located above ground level and visible from external properties and the street must be screened with appropriate materials to improve the appearance of the building. Such screening must be completed prior to the Commencement of Use.

### **Sustainable Development**

6. The proposed building should comply as far as practically possible with the provisions of 4.6.7 Sustainable Development Code of the Douglas Shire Planning Scheme 2008, or a higher standard as required by the Building Code of Australia (BCA).

### **Water Supply and Sewerage Works Internal**

7. Undertake the following water supply and sewerage works internal to the subject land:
  - a. The development must be serviced by a single internal water and sewerage connection made clear of any buildings or structures.

The above works must be designed and constructed in accordance with the FNQROC Development Manual.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to Commencement of Use.

### **Damage to Council Infrastructure**

8. In the event that any part of Council's existing sewer / water or road infrastructure is damaged as a result of construction activities occurring on the site, including but not limited to; mobilisation of heavy construction equipment, stripping and grubbing, the applicant/owner must notify Cairns Regional Council immediately of the affected infrastructure and have it repaired or replaced at the developer's / owner's / builder's cost, prior to the Commencement of Use.

### **Liquid Waste Disposal**

9. Trade waste discharge to sewer must meet the requirements of Cairns Water and Waste's Trade Waste Environmental Management Plan (TWEMP).

Detailed Hydraulic Plans must be provided accompanied by a report which demonstrates that the facility complies with the TWEMP and must be approved by Council prior to the issue of a Development Permit for Building Work. All measures for pre-treatment in accordance with the approved plans must be installed prior to Commencement of Use.

### **Refuse Storage**

10. Bulk bin refuse storage is required to service the site in accordance with Council requirements. Brochures on these requirements – 'Requirements for Refuse Storage' are available from Cairns Water and Waste.

11. The refuse bin enclosure must be roofed and bunded and fitted with a bucket trap.

#### **Vehicle Parking**

12. The amount of vehicle parking must be as specified in Council's Planning Scheme which is a minimum of seven (7) spaces. All parking, driveway and vehicular manoeuvring areas must be imperviously sealed, drained and line marked. The car parking layout must comply with the Australian Standard AS2890.1 2004 Parking Facilities – off-street car parking and the Douglas Shire Planning Scheme 2008, in particular:
  - a. The driveway serving the parking area must include a physical means of speed control at the exit point;
  - b. Appropriate signage must be installed at the entry and exit point for the safety of pedestrians using Front Street.

Amended plans must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Building Work.

#### **~~Protection of Landscaped Areas from Parking~~**

- ~~13. Landscaped areas adjoining the parking area must be protected by a 150 mm high vertical concrete kerb or similar obstruction. The kerb must be set back from the garden edge sufficiently to prevent vehicular encroachment and damage to plants by vehicles.~~

#### **Parking Signage**

14. Erect signs advising of the location of the off-street visitor parking area and access thereto. The signs must be erected prior to Commencement of Use. One (1) sign must be located on the Front Street frontage.

#### **Bicycle Parking**

15. Provide secured, on-site bicycle parking in accordance with Table 10-1 of *AUSTROADS Guide to Traffic Engineering Practice Part 14 – Bicycles*. Based on the provisions in Table 10-1 (page 133) the minimum number of parking spaces required for this development is two (2) spaces.

The bicycle parking area must be constructed prior to Commencement of Use.

### **Lighting**

16. All lighting installed upon the premises including car parking areas must be certified by Ergon Energy (or such other suitably qualified person). The vertical illumination at a distance of 1.5 metres outside the boundary of the subject land must not exceed eight (8) lux measured at any level upwards from ground level.

### **Stockpiling and Transportation of Fill Material**

17. Soil used for filling or spoil from the excavation is not to be stockpiled in locations that can be viewed from adjoining premises or a road frontage for any longer than one (1) month from the commencement of works.

Transportation of fill or spoil to and from the site must not occur within:

- a. peak traffic times;
  - b. before 7:00 am or after 6:00 pm Monday to Friday;
  - c. before 7:00 am or after 1:00 pm Saturdays; or
  - d. on Sundays or Public Holidays.
18. Dust emissions or other air pollutants, including odours, must not extend beyond the boundary of the site and cause a nuisance to surrounding properties.

### **Storage of Machinery and Plant**

19. The storage of any machinery, material and vehicles must not cause a nuisance to surrounding properties, to the satisfaction of the Chief Executive Officer.

### **Landscaping Plan**

20. The site must be landscaped in accordance with Planning Scheme Policy No 7 – Landscaping and with details included on a Landscaping Plan. The Landscaping Plan must show:
- a. Deep planting of the western boundary setback area is to be achieved, with a minimum bed width of two (2) metres. The plan should show a three (3) tier approach of trees, shrubs and groundcovers, with particular emphasis on screening the use from adjoining residential properties;
  - b. Plant selection is to ensure that 60 per cent of dense planting is to consist of endemic or native species, with palms used as an accent plant only;
  - c. Utilisation of appropriate species with regard to any site constraints; eg avoiding plants with invasive root systems in close proximity to property boundaries or infrastructure;

- d. Inclusion of any other relevant conditions included in this Development Permit. A copy of this Development Approval must be given to the applicant's Landscape Architect/Designer.

Two (2) A1 copies and one (1) A3 copy of the landscape plan must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Building Work.

The completion of all landscaping works must be undertaken in accordance with the endorsed plan prior to the issue of a Certificate of Classification or Commencement of Use whichever occurs first. Landscaped areas must be maintained at all times to the satisfaction of the Chief Executive Officer.

### **General External Works**

21. The applicant is to undertake the following external works, at no cost to council:

- a. Replace / repair any damage to existing kerb and channel, footway or roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drain lines) that may occur during and works carried out in association with the construction of the approved development. This includes replacing of any footpath pavers impacted by works.
- b. Provision of a commercial concrete crossover(s) and apron(s) in accordance with FNQROC standard drawing S1015;
- c. Line marking of on-street parking spaces impacted upon by works;
- d. Make good kerb at redundant crossovers.

The external works outlined above constitute Operational Works. Three (3) copies of a plan of the works at A1 size and one (1) copy at A3 size must be endorsed by the Chief Executive Officer prior to commencement of such works. Such work must be constructed in accordance with the endorsed plan to the satisfaction of the Chief Executive Officer prior to Commencement of Use.

### **Lawful Point of Discharge**

- 22. All stormwater from the property must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development, all to the requirements and satisfaction of the Chief Executive Officer.

### **Screen Fence**

23. A 1.8 metre high screen fence must be provided to the full length of the rear boundary and to the portion of the southern (side) boundary that does not include buildings constructed to the boundary, to the satisfaction of the Chief Executive Officer. The fencing must be consistent in terms of design and materials with other fences in the locality. The fencing must be completed prior to the Commencement of Use.

### **Details of Development Signage**

24. The development must provide clear and legible signage incorporating the street number for the benefit of the public.

### **Advertising Signage**

25. All signage associated with the use must comply with the Design and Siting of Advertising Devices Code contained within the Douglas Shire Planning Scheme 2008 and plans detailing the signage must be endorsed by the Chief Executive Officer prior to the Commencement of Use.

### **Noise**

26. Noise from refrigeration equipment, airconditioning units, and / or other mechanical equipment, must not emanate from the subject land to a degree that would, in the opinion of the Chief Executive Officer, create an environmental nuisance having regard to the provisions of Chapter 8 Part 3B of the *Environmental Protection Act 1994*.

### **CONCURRENCE AGENCY CONDITIONS & REQUIREMENTS**

<b>Concurrency Agency</b>	<b>Concurrency Agency Reference</b>	<b>Date</b>	<b>Council Electronic Reference</b>
DSDIP	SDA-0913-004562	1 Oct 2013	4138641

Refer to Appendix 2: Concurrence Agency Requirements. (Please note that these conditions / requirements may be superseded by subsequent negotiations with the relevant referral agencies).

### **ADVICE**

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of sections 339 and 341 of the *Sustainable Planning Act 2009*.

2. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.

#### **Infrastructure Charges Notice**

4. A charge levied for the supply of trunk infrastructure is payable to Council towards the provision of trunk infrastructure in accordance with the Adopted Infrastructure Charges Notice, a copy of which is attached for reference purposes only. The original Adopted Infrastructure Charges Notice will be provided under cover of a separate letter.

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

Please note that this Decision Notice and the Adopted Infrastructure Charges Notice are stand-alone documents. *The Sustainable Planning Act 2009* confers rights to make representations and appeal in relation to a Decision Notice and an Adopted Infrastructure Charges Notice separately.

The amount in the Adopted Infrastructure Charges Notice is subject to index adjustments and may be different at the time of payment. Please contact the Development Assessment team at Council for review of the charge amount prior to payment.

The time when payment is due is contained in the Adopted Infrastructure Charges Notice.

5. For information relating to the *Sustainable Planning Act 2009* log on to [www.dsdip.qld.gov.au](http://www.dsdip.qld.gov.au). To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to [www.cairns.qld.gov.au](http://www.cairns.qld.gov.au).

#### **LAND USE DEFINITIONS\***

In accordance with Douglas Shire Planning Scheme 2008 the approved land use of Shopping Facilities is defined as:

*Means the use of premises for the display and retail sale of goods and for personal services such as betting (in the form of TAB agency or similar facility), hair and beauty care, Laundromat, dry cleaning agent and other customer services. The use includes:*

- *The hiring out of small domestic items such as appliances, entertainment, sporting and health equipment;*

- *The exchange of domestic items and clothing;*
- *A small scale bakery, dressmaking establishment, jewellery manufacturing establishment etc, where the use includes a shopfront retail component.*

*The use also includes facilities commonly described as shop, supermarket, department store, retail chain outlets and the like.*

*The use does not include facilities herein defined as Display Facilities.*

*\*This definition is provided for convenience only. This Development Permit is limited to the specifications, facts and circumstances as set out in the application submitted to Council and is subject to the abovementioned conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.*

**RIGHTS OF APPEAL**  
Attached

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**End of Decision Notice**



**APPENDIX 2: CONCURRENCE AGENCY CONDITIONS & REQUIREMENTS**

SDA-0013-004562



Department of  
State Development,  
Infrastructure and Planning

Our reference: SDA-0013-004562  
Your reference: 23/2700

Date: 01/10/2013

Mr Peter Tabulo  
Chief Executive Officer  
Cairns Regional Council  
PO Box 359  
Cairns QLD 4870

Att: Mrs Michelle Henderson

Dear Mr Tabulo

**Concurrence agency response—with conditions**

15 Front Street, Mossman, QLD, 4871

(Given under section 285 of the *Sustainable Planning Act 2009*)

The referral agency material for the development application described below was received by the Department of State Development, Infrastructure and Planning under section 272 of the *Sustainable Planning Act 2009* on 10 September 2013.

**Applicant details**

Applicant name:	Justin Edwards
Applicant contact details:	C/- Planz Town Planning 17 Atherton St Whitfield, QLD, 4870

**Site details**

Street address:	15 Front Street, Mossman, QLD, 4871
Real property description:	Lot 2 on SP238242

**DECISION NOTICE DETAILS**  
**SUSTAINABLE PLANNING ACT 2009**

SDA-0913-004562

Site area: 915 square metres  
Local government area: Cairns Regional Council

**Application details**

Proposed development: Development permit for material change of use and shopping facilities

**Aspects of development and type of approval being sought**

Nature of Development	Approval Type	Brief Description of Proposal	Level of Assessment
Material Change of Use	Development permit	Shop	Code Assessment

**Referral triggers**

The development application was referred to the department under the following provisions of the Sustainable Planning Regulation 2009:

Referral trigger Schedule 7, Table 3, Item 1 — State-controlled road

**Conditions**

Under section 287(1)(a) of the *Sustainable Planning Act 2009*, the department requires that the conditions set out in Attachment 1 attach to any development approval.

**Reasons for decision to impose conditions**

Under section 289(1) of the *Sustainable Planning Act 2009*, the department is required to set out the reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

**Relevant period**

Under section 287(1)(d) of the *Sustainable Planning Act 2009*, the department requires that the relevant period for any development approval is to be four (4) years starting the day the approval takes effect.

**Further advice**

Under section 287(6) of the *Sustainable Planning Act 2009*, the department offers advice about the application to the assessment manager—see Attachment 3.

A copy of this response has been sent to the applicant for their information.

If you require any further information, please contact Joanne Manson, Senior Planning Officer, Regional Services – Far North Queensland on (07) 4048 1498 who will be pleased to assist.

Yours sincerely

**DECISION NOTICE DETAILS**  
**SUSTAINABLE PLANNING ACT 2009**

SDA-0913-004562



[Robin Clark  
Manager (Planning)]

cc: Justin Edwards  
c/- Plant Town Planning Pty Ltd  
17 Atherton Street, Whitfield, QLD, 4870

enc: Attachment 1—Conditions to be imposed  
Attachment 2—Reasons for decision to impose conditions  
Attachment 3—Further advice

**DECISION NOTICE DETAILS**  
**SUSTAINABLE PLANNING ACT 2009**

SDA-0913-004562

Our reference: SDA-0913-004562

Your reference: 8/1/2798

**Attachment 1—Conditions to be imposed**

No.	Conditions	Condition timing
Material change of use		
State-controlled road – Department of Transport and Main Roads		
1.	Development must be carried out generally in accordance with the following plans and report, except as modified by these concurrence agency conditions: # Greg Skyring Design and Drafting Pty Ltd "Proposed Shop" Site Plans No 108-13 Sheet No 1 of 4 Rev A and Site, Floor Plans No 108-13 Sheet No 1 of 3. # Planz Town Planning Pty Ltd Development Report dated 26 August 2013.	Prior to the commencement of use and to be maintained at all times.
2.	The permitted road access location for the development is between Lot 2 on SP238242 and the Captain Cook Highway generally in accordance with "Proposed Shop" Site Plans No 108-13 Sheet No1 of 4 Rev A.	Prior to the commencement of use and to be maintained at all times.
3.	Direct access is not permitted between the Captain Cook Highway and the subject site at any location other than the permitted road access location.	At all times
4.	Vehicles must enter and exit the subject site at the permitted road access location in a forward direction.	At all times
5.	The applicant must upgrade the existing vehicular access to a commercial standard access-driveway at the permitted road access location, from the kerb and channel line to the property frontage. The vehicular access must be designed and constructed in accordance with FNQROC standards.	Prior to the commencement of use and to be maintained at all times.
6.	The applicant must ensure there is sufficient onsite car parking without a reliance on parking in the state-controlled road, the Captain Cook Highway.	Prior to the commencement of use and to be maintained at all times.

Our reference: SDA-0913-004562

Your reference: 8/7/2768

**Attachment 2—Reasons for decision to impose conditions**

The reasons for this decision are:

- # to ensure the proposed development generally proceeds in accordance with cited planning report and associated plans of development that depicts how the development will be carried out.
- # to ensure the proposed development does not compromise the safe and efficient operation of a state-controlled road, namely Captain Cook Highway.
- # to ensure vehicle access at the permitted road access location minimises impacts on the safety and efficiency of the state-controlled road network.
- # to ensure the proposed development does not increase the number of road access locations to the state-controlled road.
- # to ensure the permitted road access is upgraded to the appropriate standard that minimises impacts on the safety and efficiency of the state-controlled road network.
- # to ensure the development provides on-site car parking and sufficient truck manoeuvring to minimise parking on the state-controlled road reserve adjacent to the site.
- # to ensure vehicles movements entering and exiting the site minimises impacts on the safety and efficiency of the state-controlled road network.

**Findings on material questions of fact**

- # The development application was properly referred to the Department of State Development, Infrastructure and Planning on 11 September 2013.
- # The development application contained a planning report and associated plans of development which the department relied on in making its referral agency assessment.

**Evidence or other material on which the findings were based**

- # The development triggers referral agency assessment under the *Sustainable Planning Regulation 2009*.
- # The department undertook an assessment in accordance with the provisions of Section 282 of the *Sustainable Planning Act 2009*.

**DECISION NOTICE DETAILS**  
**SUSTAINABLE PLANNING ACT 2009**

SDA-2013-004562

Our reference: SDA-2013-004562  
Your reference: 67/2768

**DECISION NOTICE DETAILS**  
**SUSTAINABLE PLANNING ACT 2009**

SDA-0913-004562

**Attachment 3—Further advice**

General advice – advertising devices	
1.	<p>In accordance with Section 50(2) and Schedule 6 of the <i>Transport Infrastructure Act 1994</i> and Part 5 and Schedule 1 of the <i>Transport Infrastructure (State-Controlled Roads) Regulation 2006</i>, written approval is required to carry out ancillary works and encroachments on a state-controlled road.</p> <p>The Department of Transport and Main Roads should be contacted on (07) 4050 5451 to make an application for a Road Corridor Permit under section 50(2) of the <i>Transport Infrastructure Act 1994</i> to carry out ancillary works and encroachments. Ancillary works and encroachments include but are not limited to advertising signs or other advertising devices, paths or bikeways, buildings/shelters, vegetation clearing, landscaping and planting.</p>
2.	<p>For business advertising on awnings:</p> <ul style="list-style-type: none"> <li># signs must not infringe into a traffic lane, taking road cross-fall into account;</li> <li># advertising must apply only to products or services available or business names for the business conducted from a building to which the awning is attached;</li> <li># clearance underneath the sign must be at least 2.5m and signs must not move, may be illuminated but not flash; and</li> <li># the awning and support columns shall not protrude any closer than 700mm to the face of the kerb and channel.</li> </ul>
Further development permits, compliance permits or compliance certificates	
Road works	
1.	<p>In accordance with Section 33 of the <i>Transport Infrastructure Act 1994</i>, written approval is required to carry out road works, including road access works on a state-controlled road. These development conditions do not constitute such approval. The Department of Transport and Main Roads should be contacted on (07) 4050 5451 to make an application for approval under section 33 of the <i>Transport Infrastructure Act 1994</i> to carry out road works.</p> <p>The Department of Transport and Main Roads' technical standards and publications can be accessed at <a href="http://www.tmr.qld.gov.au/Business-industry/Technical-standards-publications.aspx">http://www.tmr.qld.gov.au/Business-industry/Technical-standards-publications.aspx</a>.</p>

## CONCRETE NOTES

### 1.0 GENERAL

- 1.01 WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE FOLLOWING:  
AS 3600 CONCRETE STRUCTURES  
AS 3610 FORMWORK FOR CONCRETE  
AS 1379 SPECIFICATION AND SUPPLY OF CONCRETE  
AS 1478 CHEMICAL ADMIXTURES FOR CONCRETE, MORTAR AND GROUT  
AS 3582 SUPPLEMENTARY CEMENTITIOUS MATERIALS FOR USE WITH PORTLAND AND BLENDED CEMENT  
AS 3972 GENERAL PURPOSE AND BLENDED CEMENTS  
AS 3799 LIQUID MEMBRANE-FORMING CURING COMPOUNDS FOR CONCRETE  
AS 3735 (IF APPLICABLE) CONCRETE STRUCTURES RETAINING LIQUIDS
- 1.02 WET CONCRETE SHALL BE UNIFORM, HOMOGENOUS, COHESIVE, AND SUITABLE FOR READILY WORKING INTO CORNERS, AROUND REINFORCEMENT, PENETRATIONS AND COMPLETELY FILLING THE VOID WITHIN THE FORMWORK WITHOUT SEGREGATION, LOSS OF MATERIAL, CONTAMINATION OR EXCESS FREE WATER WATER OR EXPOSED SURFACES. FINISHED CONCRETE SHALL BE A DURABLE, DENSE, HOMOGENOUS MASS FREE OF STONE POCKETS WITH A UNIFORM COLOUR, TEXTURE, LOW PERMEABILITY AND ADEQUATE STRENGTH FOR GRADE.
- 1.03 CONCRETE PROPERTIES  
(a) STRENGTH GRADE (MPa) SHALL BE AS SPECIFIED ON THE PROJECT DRAWINGS OR IN TABLE 1.4 BELOW.  
(b) SLUMP SHALL BE AS REQUIRED FOR PLACEMENT (eg PUMPING, CHUTES etc) FOR COMPACTION AND FINISHING  
(c) USE OF ADDITIVES IF FORBIDDEN UNLESS APPROVED BY THE SUPERINTENDENT IN WRITING PRIOR TO CONSTRUCTION COMMENCING.  
(d) FOR READY MIXED CONCRETE, NO WATER SHALL BE ADDED TO THE MIX AFTER THE TRUCK HAS LEFT THE BATCHING PLANT. THIS APPLIES TO BOTH ON SITE OR PERMANENT BATCHING PLANTS.
- 1.04 BEAM SIZES ARE DESIGNATED DEPTH (INCLUDING SLAB IF ANY) x WIDTH. PLACE CONCRETE IN SLABS AND INTEGRATED BEAMS SIMULTANEOUSLY. BEAM DEPTHS DO NOT INCLUDE THE THICKNESS OF ANY APPLIED FINISH.
- 1.05 COVER NOTED IS THE CLEAR DISTANCE BETWEEN THE REINFORCEMENT INCLUDING LIGATURE, TIE WIRE etc AND THE SURFACE OF THE CONCRETE.
- 1.06 COVER SHALL NOT BE LESS THAN THAT SPECIFIED.

### 2.00 QUALITY OF CONCRETE

TABLE 2.1

STRUCTURAL ELEMENT	BLINDING	DECK SLABS BEAMS, KERBS	PIERS FOOTINGS	HEADWALLS WINGWALLS
EXPOSURE CLASSIFICATION	B1	B1	B1	B1
STRENGTH GRADE (MPa)	N7	S40	S40	S32
MAXIMUM DENSITY (kg/m³)		2350	2350	2350
MAXIMUM AGGREGATE SIZE (mm)		20	20	20
MAXIMUM PEAK INSITU CONCRETE TEMPERATURE (°C)		65	65	65
CEMENT TYPE	GB	GB	GB	GB
MINIMUM CEMENTITIOUS CONTENT (kg/m³)	100	360	360	360
SUPPLEMENTARY CEMENTITIOUS CONTENT		MIN. 25% OF CEMENT CONTENT	MIN. 25% OF CEMENT CONTENT	MIN. 25% OF CEMENT CONTENT
MAXIMUM WATER/CEMENT RATIO		0.45	0.45	0.45

### 3.0 CEMENT

- 3.01 SUPPLEMENTARY CEMENTITIOUS MATERIALS INCLUDE SILICA FUME, FLY ASH AND BLAST FURNACE SLAG
- 3.02 CEMENTITIOUS MATERIALS SHALL BE LESS THAN 6 MONTHS OLD AND SHALL BE USED IN ORDER OF RECEIPT
- 3.03 FOR GENERAL BLEND CEMENT (CONTAINING GENERAL PURPOSE PORTLAND CEMENT) PLUS AT LEAST 5% SUPPLEMENTARY CEMENTITIOUS MATERIALS:  
• SILICA FUME SHALL BE LESS THAN 10% OR;  
• FLY ASH SHALL BE LESS THAN 25% OR;  
• BLAST FURNACE SLAG SHALL BE LESS THAN 40%  
THESE ARE IN ADDITION TO MATERIALS INCORPORATED INTO GB CEMENT
- 3.04 MAXIMUM ALLOWABLE SULPHATE CONTENT OF CONCRETE SHALL BE LESS THAN 5% OF MASS OF ACID SOLUBLE SO3 AS A PERCENTAGE OF CEMENTITIOUS MATERIALS
- 3.05 DO NOT USE CALCIUM CHLORIDE. DO NOT USE STRONGLY IONIZED SALTS. MAXIMUM ALLOWABLE ACID SOLUBLE CHLORINE ION CONTENT OF CONCRETE SHALL BE LESS THAN 0.15% BY MASS OF CEMENTITIOUS MATERIALS.
- 4.0 READY MIXED CONCRETE
- 4.01 PRIOR TO WORK COMMENCING THE CONTRACTOR SHALL PROVIDE TO THE SUPERINTENDENT, FOR HIS APPROVAL, THE FOLLOWING INFORMATION:  
(a) THE NAME OF THE CONCRETE SUPPLIER  
(b) THE NAME OF THE RESPONSIBLE PERSON AT THE PLANT  
(c) THE LOCATION OF THE PLANT  
(d) CONCRETE MIX DESIGNS FOR EACH STRUCTURAL ELEMENT INCLUDING FOR EACH DESIGN THE SOURCE OF MATERIALS, TYPE, PROPORTIONS ETC  
(e) DOCUMENTARY EVIDENCE OF SATISFACTORY PERFORMANCE BEING EVIDENCE FROM A NATA CERTIFIED LABORATORY OF RELEVANT TEST RESULTS OF DESIGN MIX INCLUDING BUT NOT LIMITED TO 3, 7 AND 28 DAY COMPRESSIVE STRENGTHS, CHARACTERISTIC STRENGTH, TEMPERATURE RISE, DRYING SHRINKAGE etc.
- 4.02 EACH DELIVERY TRUCK SHALL PROVIDE A DOCKET LISTING THE INFORMATION REQUIRED BY AS 1379 (CLAUSE 1.8.3) AND THE FOLLOWING:  
(a) SERIAL NUMBER OF IDENTIFICATION CERTIFICATE FOR EACH BATCH  
(b) THE CONCRETE ELEMENT FOR WHICH THE CONCRETE WAS ORDERED AND ITS PLACEMENT LOCATION  
(c) METHOD OF PLACEMENT AND CLIMATIC CONDITIONS  
(d) PROJECT ASSESSMENT TYPE USED  
(e) TOTAL AMOUNT OF WATER REQUIRED BY THE MIX DESIGN  
(f) THE AMOUNT OF WATER ADDED AT THE PLANT.
- 4.03 MIX CONCRETE TO ENSURE A UNIFORM DISTRIBUTION OF CONSTITUENTS AND A HOMOGENOUS MASS.
- 4.04 TEST SLUMP FOR EACH BATCH OF CONCRETE OF CONCRETE DELIVERED BEFORE PLACEMENT OF CONCRETE. PROVIDE THE SUPERINTENDENT WITH A RECORD OF THE TEST RESULT. THE SLUMP MEASURED SHALL BE NO GREATER THAN THE TARGET SLUMP AND WITHIN THE TOLERANCES NOTED IN AS 1379
- 4.05 CARRY OUT PROJECT ASSESSMENT OF CONCRETE IN ACCORDANCE WITH AS 1379. TAKE SAMPLES ON SITE AT THE POINT OF DISCHARGE FROM THE AGITATOR AND SPREAD TAKING OF SAMPLES THROUGHOUT THE POUR. FOR EACH CONCRETE DESIGN MIX TAKE ONE SAMPLE PER 25m³ OF CONCRETE DELIVERED PER DAY AND NOT LESS THAN 5 SAMPLES TOTAL. EACH SAMPLE SHALL CONSIST OF FOUR CYLINDERS; TEST 2 AT 7 DAYS AND 2 AT 28 DAYS.
- 4.06 ALL CONCRETE TESTING SHALL BE UNDERTAKEN BY AN APPROVED INDEPENDENT NATA REGISTERED LABORATORY. THE CONTRACTOR SHALL PROMPTLY PROVIDE THE SUPERINTENDENT WITH ALL TEST RESULTS.

### 5.0 FORMWORK

- 5.01 THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CERTIFICATION, CONSTRUCTION AND PERFORMANCE OF ALL FORMWORK AND FALSEWORK.
- 5.02 CONSTRUCT FORMWORK TO COMPLY WITH AS 3610 SUCH THAT THE FINISHED CONCRETE SHALL HAVE DIMENSIONS, SHAPE, LOCATION AND FINISH AS NOTED ON THE DRAWINGS OR AS SPECIFIED.
- 5.03 APPLY RELEASE AGENT TO THE INTERIOR OF THE FORMWORK THAT IS COMPATIBLE WITH THE REQUIRED FINISHED SURFACE.
- 5.4 PRIOR TO PLACEMENT OF CONCRETE REMOVE ALL FREE WATER, DUST DIRT, DEBRIS SHAVINGS etc. FROM ALL FORMWORK.

- 5.05 ALL FORMWORK, REINFORCEMENT, DOWELS, WATERSTOPS etc SHALL BE INSPECTED AND APPROVED BY THE SUPERINTENDENT PRIOR TO PLACEMENT OF CONCRETE.
- 5.06 IF REQUIRED, DAMPEN ALL FORMWORK AND/OR SUBGRADE IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE.
- 5.07 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT. PIPES OR ELECTRICAL CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE SUPERINTENDENT. THE CONCRETE COVER TO EMBEDDED PIPES OR CONDUITS SHALL BE A MINIMUM OF 20mm.
- 6.0 PLACEMENT OF CONCRETE
- 6.01 USE PLACEMENT METHODS THAT MINIMISE PLASTIC SETTLEMENT AND SHRINKAGE CRACKING. LIMIT VERTICAL FREE FALL BY THE USE OF CHUTES, HOPPERS etc. KEEP CHUTES FULL AND IMMERSER IN CONCRETE. PLACE CONCRETE IN LAYERS AND BLEND SUCCEEDING LAYERS BY COMPACTION.
- 6.02 MAINTAIN CONCRETE IN PLASTIC STATE AND PROPERLY COMPACT USING MECHANICAL VIBRATORS AND HAND METHODS IF REQUIRED TO REMOVE AIR BUBBLES AND GIVE MAXIMUM COMPACTION WITHOUT SEGREGATION OF CONCRETE. DO NOT USE VIBRATORS TO MOVE CONCRETE ALONG FORMS.
- 6.03 IF DIRECTED MAINTAIN A SITE LOG BOOK TO RECORD EACH CONCRETE POUR SHOWING THE DATE, CLIMATIC CONDITIONS, LOCATION OF POUR, SPECIFIED GRADE AND SOURCE OF CONCRETE, DELIVERY DOCKET NUMBER(S), METHOD OF PLACEMENT, COMPACTION METHOD, TYPE OF PROJECT ASSESSMENT, SLUMP MEASUREMENTS AND OTHER NOTABLE MATTERS.
- 6.04 DO NOT PLACE CONCRETE IF THE AIR TEMPERATURE IS LESS THAN OR IS EXPECTED TO BE LESS THAN 5°C.
- 6.05 WHEN THE AIR TEMPERATURE IS GREATER THAN OR IS EXPECTED TO BE GREATER THAN 32°C THE THE CONTRACTOR SHALL:  
(a) UNDERTAKE ALL NECESSARY MEASURES TO ENSURE THAT THE CONCRETE TEMPERATURE IS MAINTAINED AT A TEMPERATURE LESS THAN 32°C  
(b) PROTECT FRESH CONCRETE FROM PREMATURE DRYING, PARTICULARLY IN HOT WINDY OR DRY (MEANING LOW HUMIDITY) CONDITIONS BY PROVIDING WIND BREAKS OR OTHER APPROVED METHODS.
- 6.06 COMMENCE CURING OF CONCRETE IN ACCORDANCE WITH AS 3600 AS SOON AS POSSIBLE AFTER COMPLETION OF PLACEMENT OPERATIONS. ACCEPTABLE CURING METHODS INCLUDE:  
(a) MOIST CURING - PONDING OR SPRINKLING WITH WATER.  
(b) COVER WITH AN IMPERVIOUS MEMBRANE, SEAL AROUND THE EDGES. (USE A WHITE OR LIGHT COLOUR IN HOT CONDITIONS)  
(c) STEAM CURING  
(d) USE AN ABSORBENT MEMBRANE KEPT CONTINUOUSLY WET OR COVERED WITH AN IMPERVIOUS MEMBRANE  
(e) USING AN APPROVED CURING COMPOUND
- 6.0 CURING SHALL CONTINUE FOR AT LEAST 3 DAYS FOR EXPOSURE CLASSIFICATIONS A1 AND A2 AND 7 DAYS FOR EXPOSURE CLASSIFICATIONS B1, B2 AND C.
- 6.08 DO NOT PERMIT RAPID DEHYDRATION AT END OF CURING PERIOD
- 6.09 CONSTRUCTION JOINTS SHALL BE MADE ONLY WHERE SHOWN ON THE DRAWINGS OR WHERE APPROVED BY THE ENGINEER.
- 6.10 SAW CUT JOINTS AS SOON AS PRACTICABLE TO AVOID SPALLING OF CONCRETE AND IN ALL CASES WITHIN 12 HOURS OF PLACEMENT. IMMEDIATELY AFTER SAW CUTTING OPERATION IS COMPLETE FLUSH OUT ALL JOINTS TO REMOVE ANY RESIDUE AND INSERT A TEMPORARY FOAM PLASTIC BEAD TO KEEP JOINTS CLEAN.
- 6.11 STEEL TROWEL FINISH: AFTER MACHINE FLOATING IS COMPLETE, USE POWER TROWELS TO PRODUCE A SMOOTH SURFACE FREE OF DEFECTS. WHEN SURFACE HAS HARDENED SUFFICIENTLY USE STEEL HAND TROWELS TO PRODUCE FINAL CONSOLIDATED FINISH FREE OF TROWEL MARKS AND OF UNIFORM TEXTURE AND APPEARANCE.
- 7.0 STRIPPING OF FORMWORK
- 7.1 DO NOT STRIP FORMWORK UNTIL CONCRETE HAS HARDENED SUFFICIENTLY TO WITHSTAND MOVEMENT AND FORM REMOVAL WITHOUT DAMAGE AND NOT WITHIN 36 HOURS OF PLACEMENT OF CONCRETE
- 7.2 STRIP CONCRETE IN ACCORDANCE WITH THE PROVISIONS OF AS 3600. REMOVE FORM TIE BOLTS WITHOUT DAMAGING THE CONCRETE.

amendments			<b>JIM PAPAS DRAFTING PTY. LTD.</b> CIVIL ENGINEERING DESIGN AND DRAFTING P.O. Box 2347 Ph. (07) 40924638 Naremba Q 4860 Mob. 0408 770 394 Email: jimpapas@westnet.com.au	<b>BRILEY CONSULTANTS</b> CONSULTING ENGINEERS Ph. (07) 4054 3052 Mob 0400 543 052 Email: br5287@bigpond.net.au	 <b>DIAL BEFORE YOU DIG</b> www.1100.com.au	<b>SUGARLAND MEATS</b> PROPOSED RETAIL OUTLET AT 15 FRONT STREET, MOSSMAN	DRAWING TITLE: STANDARD NOTES (SHEET 1 OF 2)	SCALE	HOR	DRAWN	J.P.
A	ORIGINAL ISSUE	20.12.13						(AT A1 SIZE)	VER	DESIGNED	J.P.
								DATE	NOV 2013	CHECKED	J.P.
								APPROVED	B. J. SMYTH RPED No. 9326		
								DWG NUMBER	1292 - C01	AMDT	A



## REINFORCEMENT

- 1.01 ALL REINFORCEMENT SHALL COMPLY WITH THE FOLLOWING:  
AS 3600 CONCRETE STRUCTURES  
AS/NZS 4671 STEEL REINFORCING PRODUCTS

THE CONTRACTOR SHALL PROVIDE THE SUPERINTENDENT WITH A CERTIFICATE OF COMPLIANCE FOR ALL REINFORCING PRODUCTS. ALL REINFORCING USED SHALL HAVE UNIQUE MARKS TO IDENTIFY THE SUPPLIER.

- 1.02 REINFORCEMENT SHALL BE CLEAN, FREE OF LOOSE MILL SCALE, RUST, OIL GREASE RUST AND ANY OTHER MATERIAL THAT MAY REDUCE THE BOND BETWEEN THE REINFORCEMENT AND CONCRETE. DO NOT WELD REINFORCEMENT. DO NOT CUT, BEND OR HEAT REINFORCEMENT ON SITE.

- 1.03 THE GRADE AND TYPE OF REINFORCEMENT ARE DENOTED ON THE DRAWINGS BY THE FOLLOWING SYMBOLS:

- R - STRUCTURAL GRADE 250 PLAIN ROUND BAR
- N - STRUCTURAL GRADE 500 HOT ROLLED DEFORMED BAR DUCTILITY CLASS N
- L - STRUCTURAL GRADE 500 HOT ROLLED DEFORMED BAR DUCTILITY CLASS L
- RF - STRUCTURAL GRADE 500 HARD DRAWN WIRE RECTANGULAR MESH
- W - STRUCTURAL GRADE 500 REINFORCING WIRE

THE LOCATION OF THE REINFORCEMENT IS DENOTED BY THE FOLLOWING ABBREVIATIONS:

- EW - EACH WAY
- BTM - BOTTOM
- TOP - TOP
- BAU - BOTTOM UNDER (BAR LAID FIRST)
- T/O - TOP OVER (BAR LAID LAST)

- 1.04 REINFORCEMENT IS DEPICTED DIAGRAMMATICALLY AND IS NOT NECESSARILY SHOWN IN THE TRUE PROJECTION. PLACE REINFORCEMENT AT EQUAL CENTRES IF SPACING IS NOT NOMINATED.

- 1.05 PROVIDE STANDARD COGS AND HOOKS TO AS 3600. PROVIDE N12 TRIMMER BARS, 1000mm LONG AT EACH LAYER OF REINFORCEMENT, A MINIMUM OF 2 BARS 150mm APART, AT ALL RE-ENTRANT CORNERS, SERVICE PENETRATIONS, OPENINGS AND WHERE NOTED ON THE DRAWINGS.

- 1.06 SECURE REINFORCEMENT IN POSITION AND MAINTAIN SPECIFIED CLEAR COVER BY USE OF APPROVED CHAIRS, SPACERS, LIGATURES AND TIES AT 800 MAXIMUM CENTRES EACH WAY U.N.O. PROVIDE SUFFICIENT SUPPORT SUCH THAT THE REINFORCEMENT IS NOT DISPLACED BY WORKMEN OR EQUIPMENT DURING PLACEMENT OF CONCRETE.

- 1.07 USE 2.5mm TIE WIRE TO SECURE REINFORCEMENT. TIE BUNDLED BARS TOGETHER AT 400 MINIMUM CENTRES. TURN THE ENDS OF THE TIE WIRE AWAY FROM THE COVER ZONE. FOR BEAMS TIE STIRRUPS TO BARS AT EACH CORNER. TIE OTHER LONGITUDINAL BARS TO STIRRUPS AT 1000mm MAXIMUM CENTRES.

- 1.08 SPLICE REINFORCEMENT AT LOCATIONS SHOWN ON THE DRAWINGS OR AS APPROVED BY THE SUPERINTENDENT. STAGGER LAPS WHERE POSSIBLE. LAPPED SPLICE LENGTHS SHALL COMPLY WITH AS 3600. CLEAR SPACING BETWEEN LAPPED BARS SHALL BE LESS THAN 3 TIMES THE BAR DIAMETER.

- 1.09 MESH SHALL BE SUPPLIED IN FLAT SHEETS.

- 1.10 LAY MESH SUCH THAT THE MINIMUM CLEAR COVER IS MAINTAINED TO THE MAIN WIRE.

- 1.11 PROVIDE MESH LAPS TO CROSS WIRES SUCH THAT THE 2 OUTERMOST WIRES OF ONE SHEET LAP THE 2 OUTERMOST WIRES OF THE ADJOINING SHEET BY AT LEAST 25MM. DO NOT OVERLAP MORE THAN 3 SHEETS AT ANY ONE LOCATION.

- 1.12 DOWELS SHALL BE SAWN TO LENGTH WITH SQUARE CUT ENDS FREE OF BURRS. INSTALL DOWELS PARALLEL TO SURFACE OF CONCRETE AND PERPENDICULAR TO THE PLANE OF THE JOINT. MAINTAIN DOWEL ALIGNMENT BY USE OF AN APPROVED SUITABLE SUPPORT ASSEMBLY TO ENSURE HORIZONTAL AND VERTICAL ALIGNMENT. DO NOT INSERT DOWELS DURING PLACEMENT OF CONCRETE.

- 1.13 USE A PERCUSSION ROTARY DRILL TO MAKE HOLES FOR GROUTED BARS AND THREADED RODS. THE HOLES SHALL BE DRY AND THOROUGHLY CLEANED BY WIRE BRUSHING AND BLOWING DUST USING COMPRESSED AIR BEFORE INSTALLATION OF ANCHORS. EMBEDMENT LENGTHS SHALL BE AS NOTED ON THE DRAWINGS.

- 1.14 FILL HOLES WITH ADHESIVE USING AN APPROPRIATE CAULKING GUN FROM BOTTOM UPWARDS. DISCARD ADHESIVE FROM FIRST TRIGGER PULL. BARS SHALL BE DRY, DEGREASED AND WITH FLAKY RUST REMOVED. ROTATE BAR DURING INSTALLATION TO ENSURE COMPLETE COVERAGE AND PUSH FIRMLY HOME. PROTECT BAR FROM DISPLACEMENT DURING CURING. ALL SUCH WORK SHALL COMPLY IN ALL RESPECTS WITH THE MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND REQUIREMENTS.

## GENERAL

1. THESE NOTES SHALL BE READ IN CONJUNCTION WITH OTHER CONTRACT DOCUMENTS. IN THE EVENT OF DISCREPANCY, PRECEDENCE SHALL BE DRAWINGS, NOTES THEN SPECIFICATION.
2. REFER ALL DISCREPANCIES TO SUPERINTENDENT FOR RESOLUTION PRIOR TO WORK PROCEEDING.
3. ALL WORK SHALL BE CARRIED OUT IN A SAFE MANNER IN ACCORDANCE WITH THE APPLICABLE STATUTORY REGULATIONS, BY-LAWS AND RULES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OCCUPATIONAL HEALTH AND SAFETY OF ALL SITE PERSONNEL, VISITORS AND GENERAL PUBLIC AS REQUIRED BY RELEVANT LEGISLATION, INDUSTRIAL AGREEMENTS AND ACCEPTED INDUSTRY PRACTICE.
4. PRIOR TO COMMENCING WORK ON SITE THE CONTRACTOR SHALL:
  - ENSURE THAT ALL NECESSARY APPROVALS AND PERMITS HAVE BEEN OBTAINED.
  - PAY ALL NECESSARY FEES.
  - GIVE REQUIRED NOTICE WITHIN THE PERTINENT NOTIFICATION PERIOD TO ALL RELEVANT AUTHORITIES
5. DO NOT SCALE DRAWINGS
6. UNLESS NOTIFIED OTHERWISE ALL DIMENSIONS ARE IN MILLIMETRES, LEVELS AND CHAINAGES ARE IN METRES.
7. BEWARE OF HAZARDS ASSOCIATED WITH EXISTING BURIED, CONCEALED OR OVERHEAD SERVICES LOCATED WITHIN THE SITE. TAKE ALL NECESSARY STEPS TO LOCATE AND PROTECT ALL SERVICES. REFER NOTE TITLED "EXISTING SERVICES"
8. DISPOSE OF ALL SURPLUS MATERIAL AS DIRECTED BY THE SUPERINTENDENT. CONCRETE AND BUILDER'S WASTE SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S WASTE REGULATIONS.
9. PROPRIETARY ITEMS ARE NOTED TO INDICATE REQUIRED PROPERTIES NOT AN EXCLUSIVE PREFERENCE. SUBSTITUTE WITH HAVING SIMILAR PROPERTIES MAY BE EMPLOYED WITH THE SUPERINTENDENT'S APPROVAL. ALL PROPRIETARY ITEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS AND REQUIREMENTS.

### amendments

A	ORIGINAL ISSUE	20.12.13

**JIM PAPAS DRAFTING  
PTY. LTD.**  
CIVIL ENGINEERING DESIGN AND DRAFTING  
P.O. Box 2347 Ph. (07) 40924538  
Mareeba Q 4689 Mob. 0408 770 394  
Email: jim.papas@westnet.com.au

**BRILEY  
CONSULTANTS**  
CONSULTING ENGINEERS  
Ph. (07) 4054 3052 Mob 0400 543 052  
Email: brd5287@bigpond.net.au



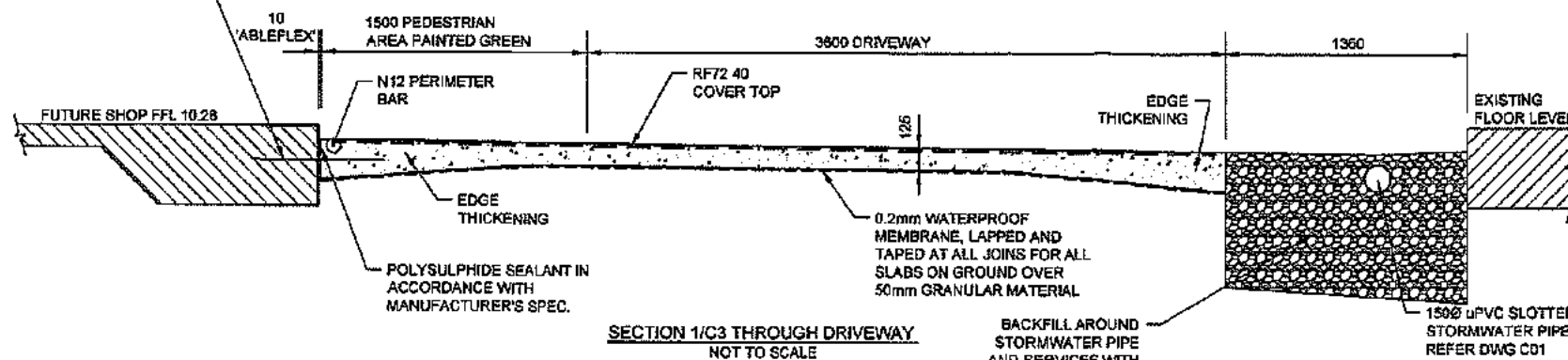
**SUGARLAND MEATS**  
PROPOSED RETAIL OUTLET AT  
15 FRONT STREET, MOSSMAN

DRAWING TITLE: STANDARD NOTES (SHEET 2 OF 2)

SCALE (AT A1 SIZE)	HOR 1:100 VER	DRAWN DESIGNED	J.P. J.P.
DATE	NOV 2013	CHECKED	J.P.
APPROVED	D. J. SMYTH RPEQ No. 9328		
DWG NUMBER	1292 - C02	AMDT	A

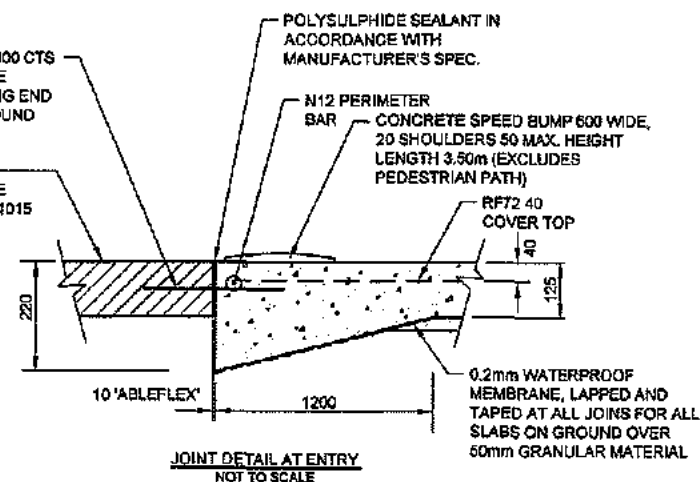


CAST R16x400LG DOWELS AT 800 CTS 200 INTO NEW SHOP SLAB, PAINT PROTRUDING END WITH BOND BREAKING COMPOUND



CAST R16x400LG DOWELS AT 800 CTS OUT 200mm INTO NEW VEHICLE CROSSING. PAINT PROTRUDING END WITH BOND BREAKING COMPOUND

COMMERCIAL VEHICLE CROSSING IN ACCORDANCE WITH FNQROC STD. DWG S1015



#### CONCRETE PAVING

PROVISIONAL PAVEMENT DESIGN STATED HEREIN IS BASED ON A MINIMUM CBR UNDER SERVICE CONDITIONS OF 10.

STRIP ALL VEGETABLE MATTER, TOP SOIL AND OTHER UNSUITABLE MATERIAL FROM AREAS TO BE PAVED.

EXCAVATE OR FILL AS NECESSARY TO 175mm BELOW DESIGN FINISHED LEVEL. COMPACT SURFACES EXPOSED BY SURFACE STRIPPING AND BY EXCAVATION TO 98% SRDD, OR 70% DENSITY INDEX FOR COHESIONLESS MATERIALS, TO A DEPTH OF AT LEAST 250mm. COMPACT FILL TO 98% SRDD IN LAYERS OF THICKNESS APPROPRIATE TO THE COMPACTION PLANT EMPLOYED.

SHOULD ANY SOFT OR UNSUITABLE MATERIAL BE IDENTIFIED, SEEK ADVICE OF THE SUPERINTENDENT.

PLACE CONCRETE TO THE FOLLOWING SPECIFICATIONS:  
CONCRETE: N25  
SLUMP: 50mm TO 60mm.  
CONCRETE THICKNESS: 125mm.  
REINFORCEMENT: GENERALLY ONE LAYER RF72, 40 TOP COVER BUT AS SHOWN.  
CURE BY FLOODING OR OTHER APPROVED METHOD REFER TO STANDARD NOTES.

CONSTRUCT PAVEMENT CONTROL JOINTS IN LOCATIONS AND TO DETAILS SHOWN ON THE DRAWINGS. DEPTH OF CUT SHALL BE 35mm, WIDTH 3mm.

CONSTRUCT CONCRETE PAVEMENT AFTER COMPLETION OF BUILDING CONSTRUCTION AND/OR KEEP ALL CONSTRUCTION TRAFFIC OFF PAVEMENT. IF CONSTRUCTION TRAFFIC IS TO USE THE PAVEMENT, THEN PAVEMENT THICKNESS MUST BE INCREASED TO THE APPROVAL OF THE SUPERINTENDENT AT THE CONTRACTOR'S EXPENSE.

#### GENERAL NOTES

##### GENERAL

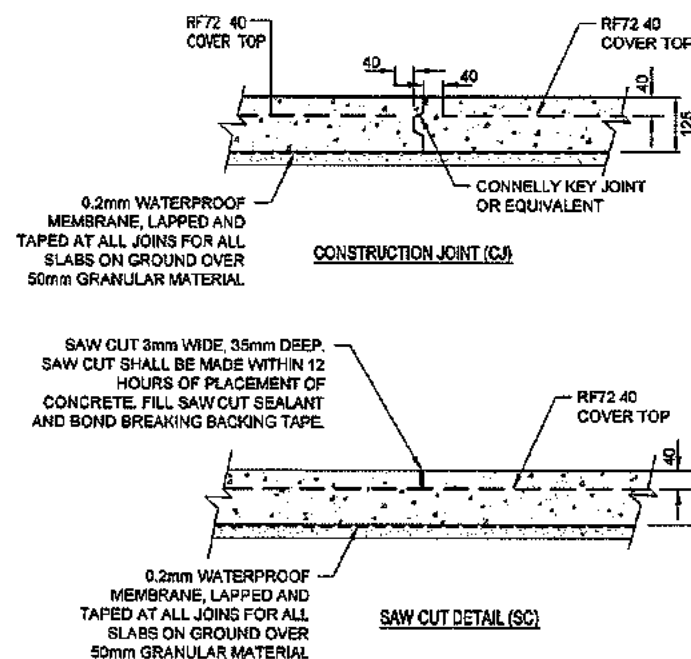
GRADE EVENLY BETWEEN LEVELS SHOWN. IF IN DOUBT, ASK! REFER TO THE DESIGNER'S DRAWINGS FOR ADDITIONAL DIMENSIONS.

##### SERVICES AND UTILITIES

ALL EXISTING SERVICES AND UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE OPERATIONS OF THE CONTRACTOR.

##### EXISTING KERB AND CHANNEL

THE CONTRACTOR SHALL REPAIR ALL KERBS WHICH ARE PRESENTLY DAMAGED OR MISSING (i.e. THROUGH INVERT CROSSINGS AND THE LIKE) AND REPAIR ALL KERBS DAMAGED DURING THE CONSTRUCTION OF THE WORKS.



#### PAVER NOTES

##### GENERAL

1. THE CONTRACTOR SHALL TAKE SUFFICIENT PHOTOS OF THE EXISTING PAVERS TO SHOW LAYING PATTERNS, DAMAGE TO EXISTING PAVERS, SPECIAL PATTERNS AND THE LIKE AND SHALL INCLUDE THOSE PAVERS THAT ARE TO REMAIN.
2. THE CONTRACTOR SHALL ALSO MAKE APPROPRIATE ARRANGEMENT TO DIVERT PEDESTRIANS AROUND THE WORK SITE.
3. THERE IS NO UNDERTAKING THAT THERE ARE SUFFICIENT PAVERS TO RESTORE THE FOOTPATH TO A PRISTINE CONDITION AND THE CONTRACTOR SHALL EXERCISE ALL CARE TO RETAIN AS MANY UNBROKEN PAVERS AS POSSIBLE.

##### EXISTING PAVERS TO BE TAKEN UP

4. WHERE PAVERS ARE TO BE TAKEN UP, THE CONTRACTOR SHALL REMOVE THE EXISTING PAVERS CAREFULLY AND STORE ON SITE FOR REPLACEMENT LATER.
5. THE CONTRACTOR SHALL INSTALL ALL NECESSARY SERVICES, PIPES AND CONDUITS IN THE DISTURBED AREA AND SHALL TRIM GRADE AND COMPACT THE SUBGRADE TO 98% SRDD.
6. THE CONTRACTOR SHALL PAVE THE DISTURBED AREA USING THE PAVERS PREVIOUSLY TAKEN UP BEING CAREFUL TO RETAIN AS MANY COMPLETE PAVERS AS POSSIBLE.
7. COUNCIL SHALL BE GIVEN SUFFICIENT OPPORTUNITY TO COLLECT ALL UNUSED PAVERS AND PIECES THEREOF.

##### EXISTING PAVERS TO REMAIN

8. EXISTING PAVERS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AS A RESULT OF THE WORKS.
9. AT THE COMPLETION OF THE WORKS THE CONTRACTOR SHALL REPLACE ALL DAMAGED PAVERS WITH COMPLETE PAVERS USING THE PAVERS PREVIOUSLY TAKEN UP.

#### INTERLOCKING CONCRETE BLOCK PAVING

TAKE UP EXISTING PAVERS TO THE EXTENT SHOWN.

EXCAVATE OR FILL AS NECESSARY TO APPROPRIATE DEPTH BELOW DESIGN FINISHED LEVELS. COMPACT SURFACES EXPOSED BY SURFACE STRIPPING AND BY EXCAVATION TO 98% SRDD OR TO 70% DENSITY INDEX FOR COHESIONLESS MATERIAL TO A DEPTH OF AT LEAST 250mm.

COMPACT FILL TO 98% SRDD IN LAYERS OF THICKNESS APPROPRIATE TO THE COMPACTION PLANT EMPLOYED.

SHOULD ANY SOFT OR UNSUITABLE MATERIAL BE IDENTIFIED SEEK ADVICE OF THE SUPERINTENDENT.

PAVING UNITS SHALL BE LAID ON A SAND BED OF 25mm COMPACTED THICKNESS. BEDDING SAND SHALL COMPLY WITH THE REQUIREMENTS OF THE FNQROC DEVELOPMENT MANUAL.

PAVING UNITS SHALL COMPRISE PAVING UNITS THAT HAVE BEEN PREVIOUSLY TAKEN UP.

LAYING PATTERN: HERRINGBONE AS EXISTING AND AS SHOWN IN THE PHOTOS TAKEN PRIOR TO WORK COMMENCING.

JOINT FILLING SAND SHALL COMPLY WITH THE REQUIREMENTS OF THE FNQROC DEVELOPMENT MANUAL.

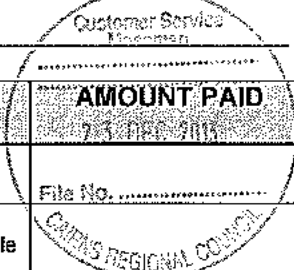
PROVIDE CONCRETE EDGE RESTRAINTS WHERE NECESSARY. CONCRETE IN SUCH RESTRAINTS SHALL BE N20.

ALL PAVING WORKS ON FOOTPATH SHALL COMPLY WITH THE REQUIREMENTS OF THE FNQROC DEVELOPMENT MANUAL.

amendments			JIM PAPAS DRAFTING PTY. LTD.		BRILEY CONSULTANTS		DIAL BEFORE YOU DIG		SUGARLAND MEATS		SCALE (AT A1 SIZE)		HOR. N.T.S.		DRAWN		J.P.	
A	ORIGINAL ISSUE	20.12.13	CIVIL ENGINEERING DESIGN AND DRAFTING		CONSULTING ENGINEERS		www.1100.com.au		PROPOSED RETAIL OUTLET AT 15 FRONT STREET, MOSSMAN		DATE	NOV 2013	CHECKED	J.P.	APPROVED	B. J. SMYTH RPEQ No. 9326	DWG NUMBER	1292 - C04
			P.O. Box 2347 Ph. (07) 40924638		Ph. (07) 4054 3052 Mob 0400 343 052												AMDT	A
			Marooch QLD 4880 Mob. 0408 770 394		Email: br5287@bigpond.net.au													
			Email: jim.papas@westnet.com.au															

## DEVELOPMENT ASSESSMENT – RECEIPT SHEET

APPLICATION NO: \_\_\_\_\_ DATE: 23.12.13 RECEIPT NO: 7069968  
 APPLICANT: Jim Pappas Drafting Pty Ltd CONTACT NAME: Jim Pappas  
 ADDRESS OF APPLICANT: Po Box 2347 MAREEBA 4873  
 PHONE: 4092 4638 EMAIL: jimpappas@westnet.com.au  
 SITE LOCATION: 15 Front St Mossman 4873  
 LOT & PLAN: Lot 2 SP 238242



RECEIPT CODE	TYPE OF APPLICATION	AMOUNT PAID 23 DEC 2013	
1894	<ul style="list-style-type: none"><li>Planning and Development Certificates</li></ul>	File No. 238242	
1811	<ul style="list-style-type: none"><li>Consideration of Alternative Acceptable Measure / Report to Council</li><li>Prelodgement Enquiry / Report to Council / Compliance Check for Self Assessable Development</li></ul>	CAIRNS REGIONAL COUNCIL	
1852	<ul style="list-style-type: none"><li>Application for Material Change of Use and Preliminary Approvals for Building Work – Code and Impact</li><li>Extension of Currency Period / Reconsider Lapsed Approval for Material Change of Use</li><li>Request for Superseded Scheme application</li><li>Signage under DSC Scheme (Op Works)</li></ul>		
1806	<ul style="list-style-type: none"><li>Application for Reconfiguring a Lot</li><li>Extension of Currency Period / Reconsider Lapsed Approval for Reconfiguring a Lot</li></ul>		
1852/1806	Combined application  (Split fee: Code: 1840 for MCU and Code: /1814 for ROL)	1840 MCU	
		1814 ROL	
1896	Modification or Cancellation of Application or Consent Order		
1898	Landscape Plan Assessments		
1801	<ul style="list-style-type: none"><li>Vegetation Protection</li><li>Permit to Damage Protected Vegetation</li></ul>		
1816	Applications for Operational Works/Re-assessment (Excludes Signage – DSC Scheme)	214.00	
NA	Applications for Engineering Work on the Road Reserve - CAIRNS ONLY		
1816	Works/Final Works Inspections, Re-inspections		
1803	Bonds for Outstanding Works, Construction Security, Defects Liability, EPS		
1814	Endorsement of Survey Plans		
SALES			
1805	Public Notification Signs		
1807	Sale of Planning Documents (Including Hard Copies of CairnsPlan / Douglas Shire Planning Scheme)		
1809	<ul style="list-style-type: none"><li>CDs of Cairns Plan / Douglas Shire Planning Scheme and superseded schemes</li><li>CDs - copy of application</li><li>C-Data Manipulation</li><li>CD supplied to customer <input type="checkbox"/></li></ul>		
1852	Copies of Development Application,		
1811	Letter of Enquiry to determine land use history		

*M. Pappas*