

GMA Certification Group 287-

BUILDING SURVEYORS

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40.2014.369.1

12 August 2014

The Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN Q 4877

Attention: Development Services

Dear Sir,

Re: **Material Change of Use Application - Dwelling**
Lot 14 SP192599 Thomson Low Drive, Shannonvale

DOUGLAS SHIRE COUNCIL	
Received	
File Name	MCUC369/2014
Document No	
22 AUG 2014	
Attention	SKA
Information	R/D 35608

GMA Certification Group has been engaged to assess an application for the construction of a dwelling on the abovementioned allotment as illustrated on the attached plans.

The property is located within a Rural Areas and Rural Settlements Locality.

Accordingly, the application for Material Change of Use is enclosed for Council's assessment, which includes:

1. IDAS Forms 1 & 5
2. 1 x copy of plans
3. Waste water report
4. Report assessing compliance with Douglas Shire Planning Scheme

Should you require any further information or wish to discuss the application, please contact me on 4098 5150 or by email jevans@gmacert.com.au

King Regards,

GMA Certification Group
Encl.

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Table 1. Application Details

Applicant	Alan & Natalie Jenkins Constructions P/L.
Registered Owner of Land	Bryce & Charlie Madgwick
Contact	Jeff Evans GMA Certification Group PO BOX 831 PORT DOUGLAS Q 4877. P- 07 4098 5150 E- Jevans@gmacert.com.au
Real Property Description	Lot146 SP192599
Location	Thomson Low Drive, Shannonvale
Tenure	Freehold
Total Area	1.079 Hectares
Present Use	Vacant
Contaminated Lands or Environmental Management Registers	Nil
Easements and Encumbrances	Registered covenant
Proposal	Development Permit for a Material Change of Use for a Dwelling.
Local Government Authority	Douglas Shire Council
Planning Scheme	2008 Douglas Shire Planning Scheme
Planning Area	Rural Settlement
Overlays	Natural Hazards - Bushfire

Table 2. Assessment against the Douglas Shire Planning Scheme Codes

Rural Settlement Planning Area Code

Performance Criteria	Acceptable Solutions	Comments
P1 The establishment of uses is consistent with the outcomes sought for the Rural Settlement Planning Area.	A1.1 Uses identified as inconsistent uses in the Assessment Table are not established in the Rural Settlement Planning Area.	The dwelling is a consistent use according to the assessment table.

Site Coverage

Performance Criteria	Acceptable Solutions	Comments
P2 The built form is subservient to the natural environment or the rural character of the area.	A2.1 The maximum site coverage for all Buildings (including Outbuildings) contained on an allotment is 450m ² . A2.2 An Outbuilding used for purposes ancillary to a House has a maximum Site Coverage not greater than 20% of the total Site Coverage specified in 2.1 above.	Site coverage is approximately 231m ² or 2.3%. None proposed.

Building Setbacks

Performance Criteria	Acceptable Solutions	Comments
P3 Buildings/structures are Setback to: Maintain the natural or rural character of the area; and Achieve separation from neighboring Buildings and from Road frontages.	A3.1 Buildings and Structures are setback not less than: 40 metres from the property boundary adjoining a State-Controlled road; or 25 metres from the property boundary adjoining the Cape Tribulation Road; or 20 metres from the property boundary fronting any other Road; and 6 metres from the side and rear property boundaries of the site.	The proposed setbacks are illustrated on the attached site plan and comply with the Acceptable Solutions of the Code.
P4 Buildings and structures are screened from any adjacent Road to maintain the natural or rural character of the area.	A4.1 At the time that a site is developed for any purpose, the road frontage setback areas are landscaped so that 10m of the setback area immediately adjacent to any road frontage, where the minimum total setback required is 20m or greater, is landscaped with Dense Planting.	See landscape Code assessment.

Scenic Amenity

Performance Criteria	Acceptable Solutions	Comments
P5 Buildings/structures are designed to maintain the low density rural settlement character of the area and sited to minimize impacts on the environment and Scenic Amenity values of the area.	A5.1 White and shining metallic finishes are avoided on external surfaces in prominent view.	External colours include: Roof- Colorbond Shale Grey Walls- Colorbond Surfmist
P6 Buildings/structures are sited to achieve the retention of native trees and protect existing watercourses, riparian vegetation and wildlife corridors.	A6.1 No acceptable solution. (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	N/A

Sloping Sites

<p>P7 Building and structures are designed and sited to be responsive to the constraints of sloping sites.</p>	<p>A7.1 Building and structures are erected on land with a maximum slope not exceeding 15%.</p> <p>OR</p> <p>Development proposed to be erected on land with a maximum slope between 15% and 33% is accompanied by a Geotechnical Report prepared by a qualified engineer at development application stage.</p> <p>OR</p> <p>Development proposed to be erected on land with a maximum slope above 33% is accompanied by a Specialist Geotechnical Report prepared by a qualified engineer at development application stage which includes signoff that the site can be stabilized.</p> <p>AND</p> <p>Any buildings/structures proposed to be erected on land with a maximum slope above 15% are accompanied by a qualified engineer at the building application stage.</p> <p>(Information that the Council may request as part of the Geotechnical Report are outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).</p>	<p>The slope of the land is less than 15%.</p>
<p>P8 The building style and construction methods used for development on sloping sites are responsive to the site constraints.</p>	<p>A8.1 A split level form is utilized.</p> <p>A8.2 A single plane concrete slab is not utilized.</p> <p>A8.3 Any voids between the floor of the building and ground level, or between outdoor decks and ground level, are screened from view by using lattice/batten screening and/or landscaping.</p>	<p>N/A</p>
<p>P9 Development on sloping land minimises any impact on the landscape character of the surrounding area.</p>	<p>A9.1 Buildings/structures are sited below any ridgelines and are sited to avoid protruding above the surrounding tree level.</p>	<p>N/A</p>
<p>P10 Development on sloping sites ensures that the quality and quantity of stormwater traversing the Site does not cause any detrimental impact to the natural environment or to any other sites.</p>	<p>A10.1 All stormwater drainage discharges to a lawful point of discharge and does not adversely affect downstream, upstream, underground stream or adjacent properties.</p>	<p>Stormwater to be managed on-site and directed to lawful point of discharge, being Thomson Low Drive.</p>

Land Use Code

House Code

General

P1 Buildings on a lot have the appearance and bulk of a single House with ancillary Outbuildings.	A1.1 A lot contains no more than one house. A1.2 Ancillary buildings have a maximum site coverage of 10% of the balance area of the site not otherwise taken up by the house.	The allotment is vacant at present. Ancillary buildings are not proposed at this time.
P2 The house is used for residential purposes.	A2.1 The house is used by one Household.	N/A
P3 Resident's vehicles are accommodated on Site and are sited to minimize the dominance of car accommodation on the street	A3.1 A minimum of 2 vehicle spaces are provided on-site and may be provided in tandem. A3.2 At least one garage, carport or designated car space must be located at least 6 metres from the Main Street frontage.	Vehicle parking is adequate.

General Codes

Filling and Excavation Code

Filling and Excavation – General

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P1 All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the Site or the surrounding area.	A1.1 The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height. AND Cuts in excess of those stated in A1.1 above are separated by benches/terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting. A1.2 Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation. A1.3 Cuts are screened from view by the siting of the Building/structure, wherever possible. A1.4 Topsoil from the Site is retained from cuttings and reused on benches/terraces. A1.5 No crest of any cut or toe of any fill, or any part of any retaining wall or structure, is located closer than 600 mm to any boundary of the property, unless the prior written approval of the adjoining landowner and the Council, has been obtained. A1.6 Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, Landscaping or other protective/aesthetic measures.	The maximum excavation at the rear of the site is approximately 2m. The fill area to the frontage of the building platform is less than 2m. Batters are graded to a slope which will be capable of stabilisation with vegetation. The rear cut will be screen by the dwelling. All excavated material has been utilised on-site. N/A Cut and fill batters will be vegetated.

Visual Impact and Site Stability

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P2 Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.	<p>A2.1 The extent of filling or excavation does not exceed 40% of the Site area or 500 m² whichever is the lesser.</p> <p>EXCEPT THAT</p> <p>A2.1 does not apply to reconfiguration of 5 lots or more.</p> <p>A2.2 Filling and excavation does not occur within 2 metres of the Site boundary.</p>	<p>Complies</p> <p>Filling and excavation generally complies with setbacks.</p>

Flooding and Drainage

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P3 Filling and excavation does not result in a change to the run off characteristics of a Site which then have a detrimental impact upon the Site or nearby land or adjacent Road reserves.	<p>A3.1 Filling and excavation does not result in the ponding of water on a Site or adjacent land or Road reserves.</p> <p>A3.2 Filling and excavation does not result in an increase in the flow of water across a Site or any other land or Road reserves.</p> <p>A3.3 Filling and excavation does not result in an increase in the volume of water or concentration of water in a Watercourse and overland flow paths.</p> <p>A3.4 Filling and excavation complies with the specifications set out in the Planning Scheme Policy No 6 – FNQROC Development Manual.</p>	<p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p>

Water Quality

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P4 Filling and excavation does not result in a reduction of the water quality of receiving waters.	A4.1 Water quality is maintained to comply with the specifications set out in the Planning Scheme Policy No. 6 – FNQROC Development Manual.	Complies

Landscaping Code

Landscape Design

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P1 Landscape design satisfies the purpose and the detailed requirements of this Code.	<p>A1.1 Landscaping is undertaken in accordance with a Landscape Plan drawn to scale which complies with and illustrates all the relevant requirements of this Code and Planning Scheme Policy No 7 – Landscaping.</p> <p>AND</p> <p>Landscaping is maintained in accordance with the requirements specified in this Code and Planning Scheme Policy No 7 – Landscaping.</p>	<p>The owners will install landscaping immediately after moving into the completed dwelling so as to ensure survival of the vegetation.</p> <p>As with most owner occupiers on acreage, the amount of landscaping required under the Scheme is expensive. The owners plan to develop their landscaping over time so as to increase their privacy and enhance the amenity of the neighbourhood.</p>

Landscape Character and Planting

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P2 Landscaping contributes to a sense of place, is functional to the surroundings and provides dominant visual interest and form.</p>	<p>A2.1 A minimum of 80% of the proposed landscape area is open to the sky for sunlight and ventilation.</p> <p>A2.2 The percentage of native or endemic species utilised in the Landscaping is as specified in the Locality Code.</p> <p>OR</p> <p>Where not specified in the Locality Code, in accordance with Planning Scheme Policy No. 7 – Landscaping.</p> <p>A2.3 Landscaping includes planting layers comprised of canopy, middle storey, screening and groundcovers, with palm trees used as accent plants only.</p>	<p>Not sure what is meant by this statement?</p> <p>There will be a compliant ration of native vegetation included in landscaping.</p> <p>Landscaping will, in time comply withis requirement.</p>
<p>P3 Landscaping is consistent with the existing landscape character of the area and native vegetation existing on the Site is to be retained wherever possible and integrated with new Landscaping.</p>	<p>A3.1 Existing native vegetation on Site is retained and incorporated into the Site design, wherever possible.</p> <p>A3.2 Any mature vegetation on the Site which is removed or damaged during development of the Site is replaced with advanced native species.</p> <p>A3.3 Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are planted on Site or on the street.</p> <p>A3.4 Street trees are 100% native species which enhance the landscape character of the streetscape, with species chosen from the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping.</p>	<p>Existing trees to the rear perimeter of the site will be retained.</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>
<p>P4 Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.</p>	<p>A4.1 Species are selected in accordance with the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping.</p>	<p>Landscaping will comply.</p>
<p>P5 Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal Roadways.</p>	<p>A5.1 Where car parking areas are uncovered or open, shade trees are planted at regular intervals (a minimum of 1 shade tree is provided for every 5 car parks) throughout the car parking areas, and adjacent to driveways and internal Roadways.</p> <p>A5.2 A minimum of 1 shade tree is provided for every 10 metres along a driveway or internal Roadway.</p> <p>A5.3 Landscape beds and trees are protected by garden edging, bollards or wheel stops.</p> <p>A5.4 Trees within car parking areas have a minimum planting area the equivalent of 1 car parking bay, with a minimum topsoil depth of 0.8 metre.</p>	<p>N/A</p> <p>N/A</p> <p>Garden edging will be provided where appropriate.</p> <p>N/A</p>

Screening

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P6 Fences along street Frontages are articulated with appropriate Landscaping.	A6.1 Perimeter fencing to any street Frontage complies with the relevant Planning Area Code. A6.2 Trees, shrubs and groundcovers are planted within any recessed areas along the fence line.	Fencing is not proposed at this time. All landscaping will be installed within the property boundaries.
P7 Landscaping within Recreation Areas of residential development are functional, well designed and enhance the residential amenity.	A7.1 One shade tree is provided for each private open space or private Recreation Area. A7.2 Tree species provide 30% shade over the area within 5 years. A7.3 A minimum of 50% of the Landscaping and Recreational Area is landscaped, with trees, shrubs, groundcovers, minimising large expanses of hardstand areas and structures. A7.4 Plants are located to provide shelter and shade to Habitable Rooms and outdoor Recreation Areas from the hot summer sun.	N/A N/A N/A N/A
P8 Undesirable features are screened with Landscaping.	A8.1 Landscaping of Dense Planting is planted along and near retaining walls, long blank walls of Buildings, mechanical and air-conditioning units, clothes drying areas, bin enclosures and other utility structures with appropriate trees, shrubs and groundcovers.	N/A
P9 The environmental values of the Site and adjacent land are enhanced.	A9.1 Landscaping using similar endemic or native species, is planted on-Site on land adjoining an area of natural environmental value.	Primarily native species will be utilised.

Streetscape and Site Amenity

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P10 Landscaping for residential development enhances the streetscape and the visual appearance of the development.	A10.1 Dense Planting along the front of the Site incorporates: <ul style="list-style-type: none"> • shade canopy trees to provide shade to the Frontage of the Site within 5 years of planting; • landscape screening of blank walls; • low shrubs, groundcovers and mulch to completely cover unsealed ground. A10.2 Dense Planting to the rear of the Site incorporates: <ul style="list-style-type: none"> • 1 shade tree for an average of every 75 m², growing to the Building eave Height within 5 years of planting; • screening shrubs to grow to 3 metres in Height within 2 years of planting; • low shrubs, groundcovers and mulch to completely cover unsealed ground. A10.3 Dense Planting to the side boundaries incorporates: <ul style="list-style-type: none"> • trees planted for an average of every 10 metres where adjacent to a Building; • low shrubs, groundcovers and mulch to completely cover unsealed ground. 	Landscaping will be undertaken so as to be consistent with the existing developed allotments in the area.

<p>P11 Landscaping for non-residential development enhances the streetscape and the visual appearance of the development.</p>	<p>A11.1 Dense Planting along the front boundary of the Site where a Building is Setback from the front alignment, incorporates:</p> <ul style="list-style-type: none"> • shade canopy trees to provide shade to the Frontage of the Site within 5 years of planting where appropriate; • landscape screening of blank walls; • low shrubs, groundcovers and mulch to completely cover unsealed ground. <p>A11.2 Dense Planting to the rear of the Site where a Building is Setback from the rear alignment, incorporates:</p> <ul style="list-style-type: none"> • 1 shade tree for an average of every 75 m² growing to the Building eave Height within 5 years of planting; • screening shrubs to grow to 3 metres in Height within 2 years of planting; • low shrubs, groundcovers and mulch to completely cover unsealed ground. <p>A11.3 Dense Planting to the side boundaries where visible from the street or adjoining a boundary to a different Planning Area, and where a Building is Setback from the side boundary, incorporates:</p> <ul style="list-style-type: none"> • trees planted for an average of every 10 metres where adjacent to a Building; • screening shrubs, low shrubs and groundcover appropriate for the amount of space, light and ventilation of the area; • low shrubs, groundcovers and mulch to completely cover unsealed ground. <p>A11.4 A minimum of 20% of shade trees and shrubs is incorporated in all areas of Landscaping growing to the Building eave Height within 5 years.</p>	<p>N/A</p>
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Maintenance and Drainage

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P12 Landscaped areas are designed in order to be maintained in an efficient manner.</p>	<p>A12.1 A maintenance program is undertaken in accordance with the Maintenance Schedule in Planning Scheme Policy No 7 – Landscaping.</p> <p>A12.2 A reticulated irrigation system is provided to common Landscaping and Recreation Areas and planter boxes in accordance with Australian Standards, with 1 hose cock within each area.</p> <p>A12.3 Turf areas are accessible by standard lawn maintenance equipment.</p> <p>A12.4 Plant species are selected with long life expectancy and minimal maintenance requirements where on-Site management will be limited.</p> <p>A12.5 Mulching is provided to all garden beds to reduce weed growth and to retain water, and is to be replenished every year in the ongoing maintenance program.</p>	<p>The home-owners will undertake appropriate maintenance.</p> <p>The home-owners will install irrigation if warranted.</p> <p>Yes!</p> <p>Appropriate plants will be selected.</p> <p>Mulching will be carried out when and if required.</p>

P13 Stormwater runoff is minimised and reused in Landscaping through water infiltration, where appropriate.	A13.1 Adequate drainage is provided to all paving, turf and garden beds, including the use of swales, spoon drains, subsurface drainage, field gullies, rock or pebble lined Watercourses and stormwater connections. A13.2 Overland flow paths are not to be restricted by Landscaping works. A13.3 Water runoff is re-used through draining of hard surface areas towards permeable surfaces, turf, garden beds and by minimising impervious surfaces on the Site.	Will comply. Will comply. Will comply.
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Safety

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P14 Tree species and their location accommodate vehicle and pedestrian sight lines.	A14.1 Trees located near pathways, driveways, Access points, parking areas and street corners have a minimum 3.0 metres of clear trunk.	N/A
P15 The landscape design enhances personal safety and reduces the potential for crime and vandalism.	A15.1 Security and foot lighting is provided to all common areas, including car parks, entries, driveways and pathways. A15.2 Hard surfaces are stable, non-slippery and useable in all weathers. A15.3 Bushfire hazard is minimised with planting of bushfire resistant species near bushfire prone areas, (refer to the Bushfire Risk Overlay on the relevant Locality Map). A15.4 Lighting for bicycle paths is provided in accordance with the relevant Australian Standards	N/A N/A N/A N/A

Vehicle Parking and Access

Vehicle Parking and Access Code

Vehicle Parking Numbers

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P1 Sufficient parking spaces are provided on the Site to accommodate the amount and type of vehicle traffic expected to be generated by the use or uses of the Site, having particular regard to: <ul style="list-style-type: none"> • the desired character of the area in which the Site is located; • the nature of the particular use and its specific characteristics and scale; • the number of employees and the likely number of visitors to the Site; • the level of local accessibility; • the nature and frequency of any 	A1.1 The minimum number of vehicle parking spaces provided on the Site is not less than the number prescribed in Schedule 1 of this Code for the particular use or uses. Where the number of spaces calculated from the Schedule is not a whole number, the number of spaces provided is the next highest whole number.	There is sufficient area on the lot to accommodate adequate vehicle parking.

<p>public transport serving the area;</p> <ul style="list-style-type: none"> • whether or not the use involves the retention of an existing Building and the previous requirements for car parking for the Building; • whether or not the use involves an identified Valuable Conservation Feature and Valuable Site; and • whether or not the use involves the retention of significant vegetation. 		
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Parking for People with Disabilities

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P2 Parking spaces are provided to meet the needs of vehicle occupants with disabilities.</p>	<p>A2.1 For parking areas with a total number of ordinary vehicle spaces less than 50, wheelchair accessible spaces are provided as follows:</p> <ul style="list-style-type: none"> • Medical, higher education, entertainment facilities and shopping centres – 2 spaces; • All other uses – 1 space. <p>A2.2 For parking areas with 50 or more ordinary vehicle spaces, wheelchair accessible spaces are provided as follows:</p> <ul style="list-style-type: none"> • Medical, higher education, entertainment facilities and shopping centres – 3% (to the closest whole number) of the total number of spaces required; • All other uses – 2% (to the closest whole number) of the total number of spaces required. 	N/A

Motor Cycles

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P3 In recognition that motorcycles are low Road-space transport, a proportion of the parking spaces provided may be for motorcycles. The proportion provided for motor cycles is selected so that:</p> <ul style="list-style-type: none"> • ordinary vehicles do not demand parking in the spaces reserved for motor cycles due to capacity constraints; and, • it is a reflection of the make-up of the likely vehicle fleet that uses the parking; and, • it is not a reflection of the lower cost of providing motorcycle parking. 	<p>A3.1 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% per cent of total ordinary parking.</p> <p style="text-align: center;">AND</p> <p>The motorcycle parking complies with other elements of this Code.</p>	N/A

Compact Vehicles

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P4 A proportion of the parking spaces provided may be for compact vehicles. The proportion of total parking provided for compact vehicles is selected considering:</p> <ul style="list-style-type: none"> • compact vehicles spaces are not 	<p>A4.1 For parking areas exceeding 100 spaces for short term users or 50 spaces for long-term users, parking is provided for compact vehicles as a substitute for ordinary vehicle parking so that:</p> <ul style="list-style-type: none"> • compact vehicle parking does not exceed 10% of total vehicle parking required; and, 	N/A

<p>available to non-compact vehicles; and,</p> <ul style="list-style-type: none"> • it is a reflection of the proportion of the likely vehicle fleet that uses the parking; and, • compact vehicle spaces are located so as to be proximate to pedestrian destinations such that they present significant inclination for use by users of compact vehicles; and, • the scale of parking spaces, likely users and the likely degree of familiarity with the availability of such spaces 	<ul style="list-style-type: none"> • the parking location is proximate to the entry locations for parking users; and, • the parking provided complies with other elements of this Code. 	
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Bicycles Parking

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P5 Sufficient bicycle parking spaces with appropriate security and end of trip facilities are provided on-Site to accommodate the amount of bicycles expected to be generated by the use or uses.</p>	<p>A5.1 The minimum number of bicycle parking spaces provided on Site is not less than the number prescribed in Schedule 1 of this Code, for the particular use or uses.</p>	N/A

Vehicular Access to the Site

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P6 The location of Access points minimises conflicts and is designed to operate efficiently and safely taking into account:</p> <ul style="list-style-type: none"> • the amount and type of vehicular traffic; • the type of use (eg long-stay, short-stay, regular, casual); • Frontage Road traffic conditions; • the nature and extent of future street or intersection improvements; • current and future on-street parking arrangements; • the capacity of the adjacent street system; and • the available sight distance. 	<p>A6.1 The location of the Access points is in accordance with the provisions of the relevant Australian Standards.</p> <p style="text-align: center;">AND</p> <p>Where the Site has Frontage to more than one street, the Access is from the lowest order street.</p> <p>A6.2 All redundant Accesses must be removed and a suitable barrier Erected to prevent further use of the Access.</p> <p>A6.3 Only one Access point is to be provided to each Site unless stated otherwise in another Code.</p>	N/A

Accessibility and Amenity for Users

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P7 On-Site vehicle parking is provided where it is convenient, attractive and safe to use, and does not detract from an attractive or existing streetscape character.</p>	<p>A7.1 Short term visitor parking is provided at the front or on the main approach side of the Site, with easy Access to the Building entry, where such provision is in keeping with the desired character of the area in which the Site is located.</p> <p style="text-align: center;">AND</p> <p>In mixed use premises that include residential or accommodation uses (excluding, Port Douglas – Tourist Centre), at least 50% of the required number of parking spaces for the nonresidential use/s on the Site is provided in an easily accessible location on the premises, so as to be convenient to use for customers and other visitors.</p>	N/A

P8 The layout of parking areas provides a high degree of amenity and accessibility for different users.	A8.1 The layout of the parking area provides for the accessibility and amenity of the following: <ul style="list-style-type: none"> • People with Disabilities • Cyclists • Motorcyclists • Compact Vehicles • Ordinary Vehicles • Service Delivery Vehicles. A8.2 Where covered parking areas are required in accordance with Schedule 1 of this Code, sails or other secure structural forms of covering provide shade and weather protection for vehicles and passengers.	N/A
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Access Driveways

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P9 The dimensions of Access driveways cater for all vehicles likely to enter the Site and minimises the disruption of vehicular, cyclist and pedestrian traffic.	A9.1 Access driveways are designed in accordance with the provisions of the relevant Australian Standards.	N/A
P10 The surface construction materials of Access driveways within the Road reserve contribute to the streetscape and alerts pedestrians to the location of the driveway.	A10.1 Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.	N/A

Access for People with Disabilities

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P11 Access for people with disabilities is provided to the Building from the parking area and from the street.	A11.1 Access for people with disabilities is provided in accordance with the relevant provisions of the Australian Standards.	N/A

Access for Pedestrians

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P12 Access for pedestrians is provided to the Building from the parking area and from the street.	A12.1 Defined, safe pedestrian pathways are provided to the Building entry from the parking area and from the street.	N/A

Access for Cyclists

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P13 Access for cyclists is provided to the Building or to bicycle parking area from the street.	A13.1 Access pathways for cyclists are provided in accordance with the relevant provisions of the Australian Standards. AND Where Access for cyclists is shared with Access for pedestrians and vehicles, the shared use is identified by signage and linemarking.	N/A

Dimensions of Parking Spaces

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P14 Parking spaces must have adequate areas and dimensions to meet user requirements.</p>	<p>A14.1 Car parking for the disabled, ordinary car parking spaces and motorcycle parking spaces meet the requirements of the relevant Australian Standards.</p> <p>AND</p> <p>Parking spaces for special vehicles that are classified in accordance with the relevant Australian Standards meet the requirements of that Standard.</p> <p>AND</p> <p>Parking spaces for standard sized buses have the following minimum dimensions:</p> <ul style="list-style-type: none"> • width: 4 metres • length: 20 metres • clear Height: 4 metres. <p>AND</p> <p>Parking spaces for compact vehicles have the following minimum dimensions:</p> <ul style="list-style-type: none"> • 15 per cent less in width measurements than required by Australian Standards for any ordinary vehicle; and, • 20 per cent less in length measurements than required by Australian Standards for any ordinary vehicle. <p>AND</p> <p>Parking spaces for special vehicles meet the requirements dictated by the vehicle dimensions and manoeuvring characteristics and provide sufficient clearance to obstructions and adjacent vehicles to achieve a level of service to users equivalent to that specified by the relevant Australian Standards.</p> <p>A14.2 Parking spaces for bicycles meet the requirement of the relevant Australian Standard.</p>	N/A

On-Site Driveways, Manoeuvring Areas and Parking/Standing Areas

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P15 On-Site driveways, manoeuvring areas and vehicle parking/standing areas are designed, constructed and maintained such that they:</p> <ul style="list-style-type: none"> • are at gradients suitable for intended vehicle use; • consider the shared movements of pedestrians and cyclists; • are effectively drained and surfaced; and • are available at all times they are required. 	<p>A15.1 On-Site driveways, vehicle manoeuvring and loading/unloading areas:</p> <ul style="list-style-type: none"> • are sealed in urban areas; <p>AND</p> <p>upgraded to minimise noise, dust and runoff in other areas of the Shire in accordance with the relevant Locality Code;</p> <ul style="list-style-type: none"> • have gradients and other design features in accordance with the provisions of the relevant Australian Standards; and • drain adequately and in such a way that adjoining and downstream land is not adversely affected. <p>A15.2 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking.</p>	N/A

Vehicle Circulation, Queuing and Set Down Areas

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P16 Sufficient area or appropriate circulation arrangements are provided to enable all vehicles expected to use the Site to drive on and off the Site in forward gear.	A16.1 Circulation and turning areas comply with the provisions of the relevant Australian Standards.	N/A
P17 An on-Site circulation system provides safe and practical Access to all parking, loading/unloading and manoeuvring areas.	A17.1 Circulation driveways comply with the provisions of the relevant Australian Standards.	N/A
P18 Where vehicle queuing, set down or special vehicle parking is expected, sufficient queuing or parking area is provided to enable vehicles to stand without obstructing the free flow of moving traffic or pedestrian movement.	A18.1 Queuing and set down areas comply with the relevant Australian Standard and any relevant AUSTROAD Guidelines.	N/A

Natural Areas and Scenic Amenity Code

Natural Areas and Scenic Amenity Code

Development in Areas of Natural and Scenic Amenity Value

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P1 Where a development within a DDA triggers this Code, the natural and environmental values of the areas of Remnant Vegetation and/or Watercourse/s are protected from inappropriate development.	<p>A1.1 Buildings/structures Access Roads/car parking, infrastructure and landscape/recreation facilities are constructed within the DDA identified on a Site Plan drawn to scale.</p> <p>A1.2 Where internal Roads are required to service the development, the Roads are located within a DDA identified on a Site Plan drawn to scale.</p> <p>(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 8 – Natural Areas and Scenic Amenity and Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).</p>	<p>Construction will occur in an existing cleared area.</p> <p>N/A</p>
P2 Development does not adversely impact on the natural and environmental values and Scenic Amenity of areas identified as Remnant Vegetation and/or Watercourse/s.	<p>A2.1 Where development occurs, it is located on that part of the Site which poses the least threat to the natural and environmental values and Scenic Amenity, for example:</p> <ul style="list-style-type: none"> • adjacent to existing development; • within an existing cleared area; • within a disturbed area with little potential for rehabilitation; • within an area close to an Access Road; • removed from an identified area of important habitat. <p>A2.2 Development within the DDA is sited to minimise visual intrusion on the Site and the surrounding landscape.</p> <p>A2.3 No continuous boundary fence lines or barriers are Erected on an approved development Site within a DDA identified on a Site Plan drawn to scale.</p>	<p>As above.</p> <p>Complies.</p> <p>Fencing is not proposed at this time.</p>

	<p>A2.4 Infrastructure, such as water mains, sewers, electricity and telecommunication services, is sited underground, wherever reasonable, to protect Scenic Amenity, and is located within a DDA on a Site Plan drawn to scale.</p> <p>A2.5 Internal Roads associated with the development are designed and constructed to achieve a low speed environment.</p> <p>A2.6 Roads and infrastructure services do not cross the Setback area/riparian corridor; or if this is not possible, the number of crossings is minimised.</p> <p>A2.7 Setback areas/riparian corridors are provided in accordance with A4.1, A4.2, A4.3 and A4.4 below;</p> <p style="text-align: center;">AND</p> <p>The lowest intensity of development occurs adjacent to any Setback area/riparian corridor, and in the case of reconfiguration, larger lots are located adjacent to any Setback area/riparian corridor.</p> <p>A2.8 There is no fragmentation or alienation of any Remnant Vegetation.</p> <p>A2.9 Any natural, environmental or Scenic Amenity value of any balance area outside the DDA is protected.</p>	<p>Complies.</p> <p>N/A</p> <p>N/A</p> <p>Complies.</p> <p>Complies.</p>
<p>P3 Any development involving filling and excavation minimises detrimental impacts on any aquatic environment.</p>	<p>A3.1 No Acceptable Solution.</p> <p>(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 8 – Natural Areas and Scenic Amenity and Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).</p>	<p>N/A</p>

Setback Areas/Riparian Corridors

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P4 Setback areas/riparian corridors adjacent to Watercourses are provided/maintained or re-established and revegetated with species endemic to the local area.</p>	<p>A4.1 For residential reconfiguration (Residential 1, Residential 2 or Rural Settlement Planning Area), Aquaculture, Tourist Activities, Industrial Activities and other large scale developments or development likely to have an impact on water quality of adjacent Watercourse/s any degraded sections of the Setback area/riparian corridor are revegetated with endemic species typical of the riparian corridor in the area.</p> <p>A4.2 Revegetation occurs in accordance with a Landscape Plan prepared by a suitably qualified professional in compliance with the requirements of Planning Scheme Policy No 8 – Natural Areas and Scenic Amenity, Landscaping Code and Planning Scheme Policy No 7 – Landscaping.</p> <p>A4.3 The minimum width of the Setback area/riparian corridor, measured out from the shoulder of each high bank, for the respective categories of Watercourses, where a riparian corridor of vegetation already exists is:</p> <ul style="list-style-type: none"> • Category 1 – Major Perennial Watercourse – 30 metres • Category 2 – Perennial Watercourse – 20 metres • Category 3 – Minor Perennial – 10 metres, <p style="text-align: center;">AND</p>	<p>N/A</p> <p>See landscape Code assessment.</p> <p>N/A</p>

	<p>buildings are sited clear of the Setback area/riparian corridor, in accordance with the relevant Setbacks outlined above.</p> <p style="text-align: center;">OR</p> <p>The minimum width of the Setback area/riparian corridor, measured out from the shoulder of each high bank, for the respective categories of Watercourses, where no riparian corridor of vegetation already exists is:</p> <ul style="list-style-type: none"> • Category 1 – Major Perennial Watercourse – 10 metres • Category 2 – Perennial Watercourse – 5 metres • Category 3 – Minor Perennial – 2.5 metres, <p style="text-align: center;">AND</p> <p>buildings are sited clear of the Setback area/riparian corridor, in accordance with the relevant Setbacks above.</p> <p>A4.4 Native vegetation within the Setback area/riparian corridor, other than identified noxious and environmental weeds, is retained.</p>	
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Use of Setback Areas/Riparian Corridors

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P5 Any use of a Setback area/riparian corridor does not adversely affect the integrity of the Setback area/riparian corridor.	A5.1 Only low key, passive, low impact recreational facilities, including pedestrian and cycle paths or boardwalks, are located within the Setback area/riparian corridor.	N/A
	A5.2 The location of low key, passive, low impact recreational facilities, including pedestrian and cycle paths or boardwalks within the Setback area/riparian corridor, does not affect the connectivity function and landscape/environmental or Scenic Amenity values of the Setback area/riparian corridor.	N/A

Retaining and Protecting Highly Visible Areas

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P6 Any development sited wholly or partially on land with a slope greater than 15% protects the Scenic Amenity values of the land from inappropriate and visually prominent development.	<p>A6.1 Land with a slope greater than 15% and including Remnant Vegetation remains undeveloped and in its natural state.</p> <p>A6.2 Any development remains unobtrusive and sited below the tree line and ridge line.</p> <p>(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 8 – Natural Areas and Scenic Amenity and Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).</p>	N/A

Overlay Codes

Acid Sulfate Soils Code

The proposal is located on land that is greater than 20m AHD.

Cultural Heritage and Valuable Sites

Overlay is not applicable.

Natural Hazards

The property is located in an area designated as Medium Bushfire Risk Hazard. The building will be assessed under AS3959 during the building approval process.

Conclusion

The development application seeks a Development Permit for Material Change of Use for the purpose of a dwelling on land described as Lot 14 SP192599 Thomson Low Drive, Shannonvale.

The proposed development is considered consistent with the relevant Planning Scheme Codes and the surrounding locality.

IDAS form 1—Application details

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

This form can also be completed online using MyDAS at www.dsdip.qld.gov.au/MyDAS

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

ALAN JENKINS & NATALIE GORDON

For companies, contact name

Postal address

65 MORRISH ROAD

Suburb JULATTEN

State QLD

Postcode 4871

Country AUSTRALIA

Contact phone number

0740941016

Mobile number (non-mandatory requirement)

0419792710

Fax number (non-mandatory requirement)

0740941981

Email address (non-mandatory requirement)

alcon

@westnet.com.au

Applicant's reference number (non-mandatory requirement)

1. What is the nature of the development proposed and what type of approval is being sought?

Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

a) What is the nature of the development? (Please only tick one box.)

☐ Material change of use ☐ Reconfiguring a lot ☒ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☒ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

New Dwelling @ Pato.

d) What is the level of assessment? (Please only tick one box.)

☐ Impact assessment ☒ Code assessment

Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

a) What is the nature of development? (Please only tick one box.)

☐ Material change of use ☐ Reconfiguring a lot ☐ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☐ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

d) What is the level of assessment?

☐ Impact assessment ☐ Code assessment

Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

☐ Refer attached schedule ☐ Not required

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water). (Attach a separate schedule if there is insufficient space in this table.)

- ☒ Street address **and** lot on plan (All lots must be listed.)
☐ Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)		14	THOMPSON LOW DRIVE, SHANNONVALE	4873	14	SP192599	DOUGLAS SHIRE
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

3. Total area of the premises on which the development is proposed (indicate square metres)

1.079 HA

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

VACANT LAND

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)

☒ No ☐ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

☐ No
☒ Yes—complete either Table F, Table G or Table H as applicable

Table F

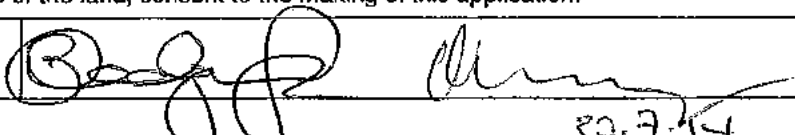
Name of owner/s of the land	BRYCE + VICTORIA MADGWICK
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	
Date	30/7/14

Table G

Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

Table H

Name of owner/s of the land	BRYCE & CHARLIE MADGWICK
<input checked="" type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

- ☐ Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- ☐ On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- ☐ In a tidal water area—complete Table K
- ☐ On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)

Table I

Name of water body, watercourse or aquifer

Table J

Lot on plan description for strategic port land	Port authority for the lot

Table K

Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

☐ No ☒ Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (Including any services)

☐ No ☒ Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

☐ No—go to question 12 ☒ Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

☐ No

☒ Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L

Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)
\$1562.00	23.7.14	E170318

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the *Sustainable Planning Act 2009*?

☒ No

☐ Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

- 13. List below all of the forms and supporting information that accompany this application** (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application. Note: this question does not apply for applications made online using MyDAS)

Description of attachment or title of attachment	Method of lodgement to assessment manager
PLANS	MAIL
BSA & QLEAVE	
IDAS FORMS 1 & 2 , CONTRACT AGREEMENT	
ENERGY EFFICIENCY REPORT	

14. Applicant's declaration

☒ By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

Notes for completing this form

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

Applicant details

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

- Schedule 3 of the *Sustainable Planning Regulation 2009* identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 11

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the *Building and Construction Industry (Portable Long Service Leave) Regulation 2002*.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of State Development, Infrastructure and Planning (DSDIP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

OFFICE USE ONLY

Date received

Reference numbers

NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

IDAS form 5—Material change of use assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for development applications for a material change of use assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the Sustainable Planning Act 2009 (SPA) or the Sustainable Planning Regulation 2009.

This form must also be used for material change of use on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

This form can also be completed online using MyDAS at www.dsdip.qld.gov.au/MyDAS

Mandatory requirements

- 1. Describe the proposed use.** (Note: this is to provide additional detail to the information provided in question 1 of *IDAS form 1—Application details*. Attach a separate schedule if there is insufficient space in this table.)

General explanation of the proposed use	Planning scheme definition (include each definition in a new row) (non-mandatory)	No. of dwelling units (if applicable) or gross floor area (if applicable)	Days and hours of operation (if applicable)	No. of employees (if applicable)
Dwelling	House	1	-	-

- 2. Are there any current approvals associated with the proposed material change of use?** (e.g. a preliminary approval.)

☒ No ☐ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

3. Does the proposed use involve the following? (Tick all applicable boxes.)

The reuse of existing buildings on the premises	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
New building work on the premises	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
The reuse of existing operational work on the premises	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
New operational work on the premises	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes

Mandatory supporting information

4. Confirm that the following mandatory supporting information accompanies this application

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
All applications		
<p>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</p> <ul style="list-style-type: none"> the location and site area of the land to which the application relates (<i>relevant land</i>) the north point the boundaries of the relevant land any road frontages of the relevant land, including the name of the road the location and use of any existing or proposed buildings or structures on the relevant land (note: where extensive demolition or new buildings are proposed, two separate plans [an existing site plan and proposed site plan] may be appropriate) any existing or proposed easements on the relevant land and their function the location and use of buildings on land adjoining the relevant land all vehicle access points and any existing or proposed car parking areas on the relevant land. Car parking spaces for persons with disabilities and any service vehicle access and parking should be clearly marked for any new building on the relevant land, the location of refuse storage the location of any proposed retaining walls on the relevant land and their height the location of any proposed landscaping on the relevant land the location of any stormwater detention on the relevant land. 	<input checked="" type="checkbox"/> Confirmed	
A statement about how the proposed development addresses the local government's planning scheme and any other planning instruments or documents relevant to the application.	<input type="checkbox"/> Confirmed	
A statement about the intensity and scale of the proposed use (e.g. number of visitors, number of seats, capacity of storage area etc.).	<input checked="" type="checkbox"/> Confirmed	
<p>Information that states:</p> <ul style="list-style-type: none"> the existing or proposed floor area, site cover, maximum number of storeys and maximum height above natural ground level for existing or new buildings (e.g. information regarding existing buildings but not being reused) the existing or proposed number of on-site car parking bays, type of vehicle cross-over (for non-residential uses) and vehicular servicing arrangement (for non-residential uses). 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	

A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
When the application involves the reuse of existing buildings		
Plans showing the size, location, existing floor area, existing site cover, existing maximum number of storeys and existing maximum height above natural ground level of the buildings to be reused.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
When the application involves new building work (including extensions)		
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following: <ul style="list-style-type: none"> the north point the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only) the room layout (for residential development only) with all rooms clearly labelled the existing and the proposed built form (for extensions only) the gross floor area of each proposed floor area. 	<input checked="" type="checkbox"/> Confirmed	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation)	<input checked="" type="checkbox"/> Confirmed	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
When the application involves reuse of other existing work		
Plans showing the nature, location, number of on-site car parking bays, existing area of landscaping, existing type of vehicular cross-over (non-residential uses), and existing type of vehicular servicing arrangement (non-residential uses) of the work to be reused.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
When the application involves new operational work		
Plans showing the nature, location, number of new on-site car parking bays, proposed area of new landscaping, proposed type of new vehicle cross-over (non-residential uses), proposed maximum new vehicular servicing arrangement (non-residential uses) of the proposed new operational work.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

Privacy—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

OFFICE USE ONLY

Date received

Reference numbers

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

GEOFF WARD PLUMBING



P.O.Box 973 Pt Douglas QLD 4877 Ph: 0740984021 0467632419
geoffwardplumbing@gmail.com

Wastewater Management System

for

Bryce and Charlie Madgwick

At

Lot 14 Thompson Low Drive
Shannonvale QLD 4873

LIC 22509 GAS LIC L50316 QBSA 1203667 ABN 40 491 014 169

INTRODUCTION:

Site and soil assessment by Geoff Ward on behalf of Bryce and Charlie Madgwick to design a Domestic Wastewater management System at Lot 14 Thompson Low Drive, Shannonvale.

Real Property Description:

Lot 14 on SP 192599

Local Authority: Douglas Shire Council

It is understood the intention is to construct a dwelling at the site.
A site and soil evaluation was carried out on 1st August 2014.

SITE FACTORS:

This site was identified by its street address.

A photograph is included as part of this report to confirm the identity of the site.



SITE AND SOIL EVALUATION

LOT 14 Thompson Low Drive, Shannonvale.

The site and soil evaluation carried out on the 01/08/2014 provided the following results.

Site Assessment

Site Factor

Slope
Aspect
Exposure
Erosion/land slip
Boulders/rock outcrop
Vegetation
Watercourse
Water table
Wells/Bores
Fill
Flooding
Channelled run off
Soil surface conditions
Other Site Factors
through middle of the block.

Results

10'
East,NorthEasterly
High Full Sunlight
Not Noted
Not Noted
Cleared Block
RHS Boundary creek run off
6 m
30m
Not inland application area
Not likely
RHS Boundary creek run off
Moist weakly structured
Next door storm water runs

Soil Assessment

Soil Property

Colour
Texture
Structure
Coarse Fragments
Measured Permeability Kst (m/d)
Soil Category
Resultant Design Load Rating, DLR (mm/d)

Results

Brown
Clay Loam
Weakly structured
Not Noted
0.12-0.5
4
20

WASTEWATER MANAGEMENT SYSTEM

An "All-Waste" septic tank discharging into an "Advanced Enviro-Septic" bed is considered suitable for this site.

This system has been designed to conform to the requirements of the following codes, acts, regulations and standards. All work to be carried out in accordance with the following codes.

- AZ/NZ 1547:2012 On-site domestic-wastewater management.
- Queensland PLUMBING AND DRAINAGE ACT 2002.
- Queensland STANDARD PLUMBING AND DRAINAGE REGULATION 2003.
- Queensland PLUMBING AND WASTEWATER CODE.

SYSTEM SIZING FACTORS

A population equivalent of six (6) persons has been chosen for the proposed four bedroom dwelling.

The residence is connected to a reticulated water supply system. They shall include:

- Dual flush 6/3 Litre water closets.
- Shower-flow restrictors.
- Aerial faucets (taps).
- Water-conserving automatic washing machines.

Note:- Garbage grinders are not permitted.

As per AS/NZ 1547:2012 Appendix H, Table H1 the "Typical wastewater design flow" for a "Reticulated water supply" gives a flow allowance of 120 L/person/day.

The daily flow for the dwelling (6 persons @ 120 L/person/day) will be 720 L/day.

From AS/NZ 1547:2012 Table J1 the minimum capacity of the All- Waste septic tank required is 3000 L.

The tank must NOT be fitted with an outlet filter.

LAND APPLICATION SYSTEM

DISPOSAL AREA SIZING

From AS/NZ 1547:2012 Tale L1

$$L = Q / \text{DLR} * W$$

Where:

L = Length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

$$\begin{aligned} L &= 720/20 * 2.50 \\ &= 12.6\text{m} \end{aligned}$$

Use one 2.50m wide by 12.6m long advanced enviro septic bed.

See site plan and detail cross section.

SYSTEM SAND

All Advanced Enviro-Septic systems require the use of "system sand" surrounding the pipe. This sand, typically washed coarse sand, must adhere to the following specification.

AS Sieve Size (mm)	Percent Passing %
9.50	100
4.75	95-100
2.36	80-100
1.18	50-85
0.600	25-60
0.300	5-30
0.150	0-10
0.075	0-2

If there is any doubt if the sand media proposed for use will meet the requirements please contact Earth Test for further advice.

SYSTEM INSTALLATION

The entire bottom of the bed should be scarified a minimum of 200mm deep parallel to the AES pipes.

Avoid compaction by keeping people and machinery off the finished trench or bed floor.

The system shall be installed by a licensed plumber in accordance with the manufacturer's recommendations and the relevant Australian Standards.

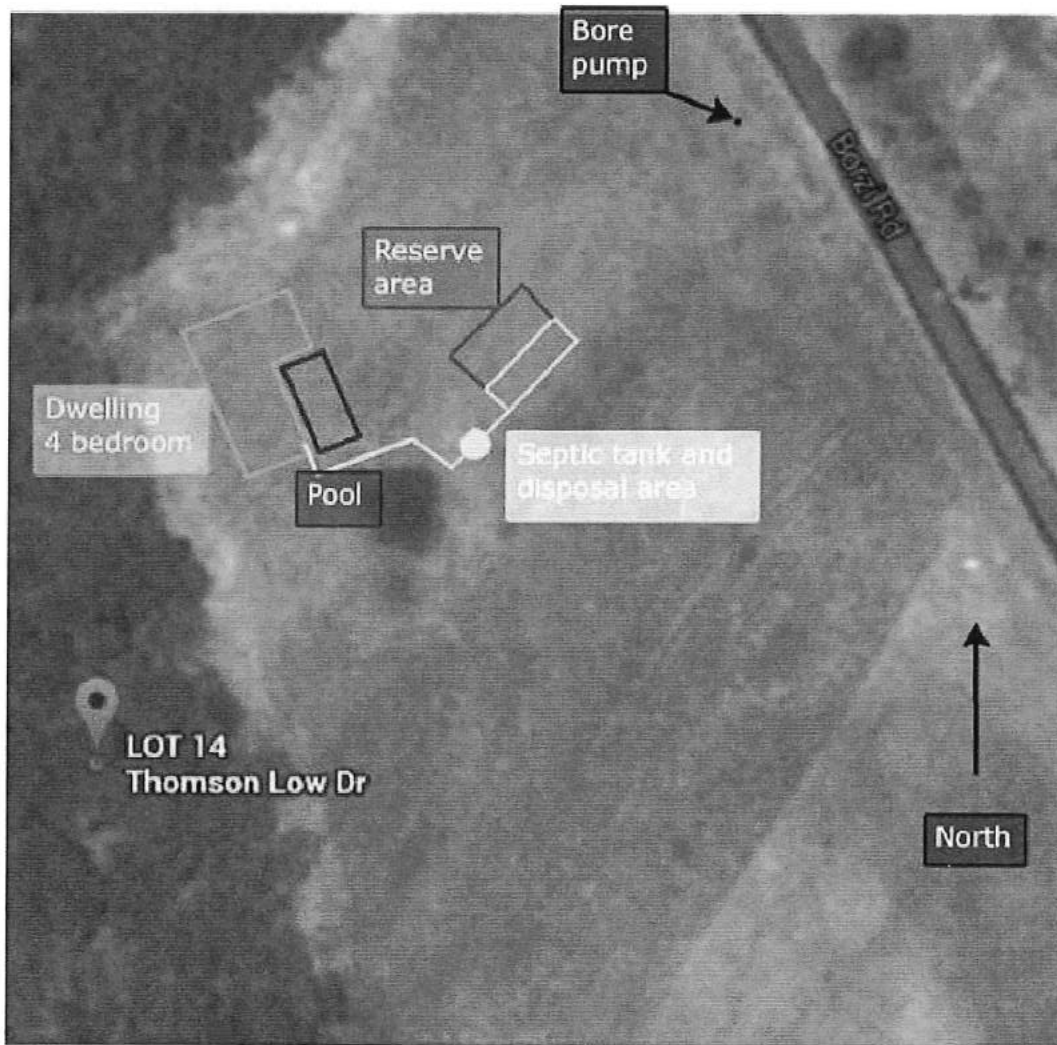
OPERATION AND MAINTENANCE

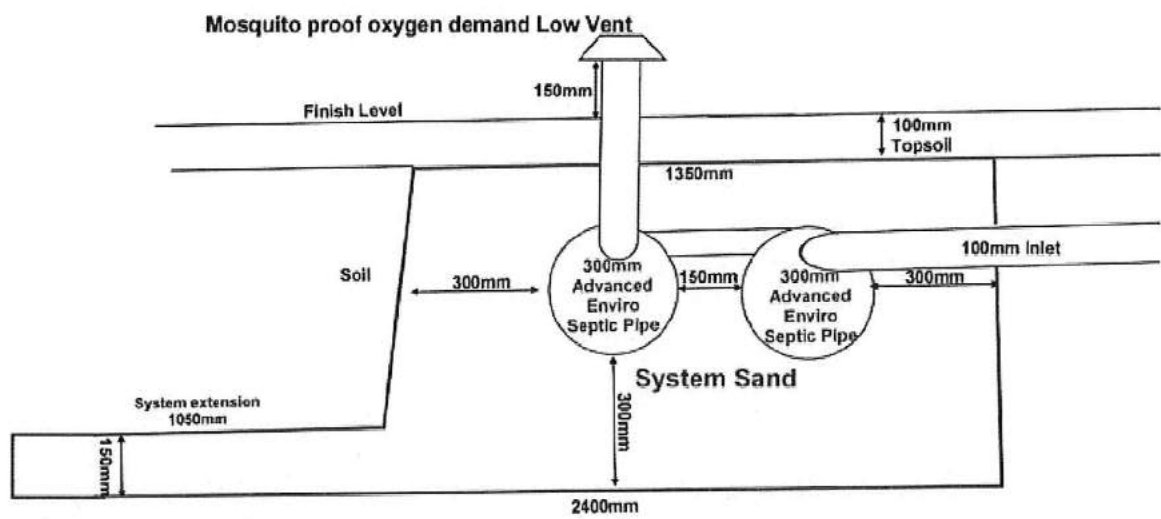
Homeowners should be fully informed of the proper operation and maintenance requirements of the on-site wastewater system.

An operation and maintenance guide is attached to this report.

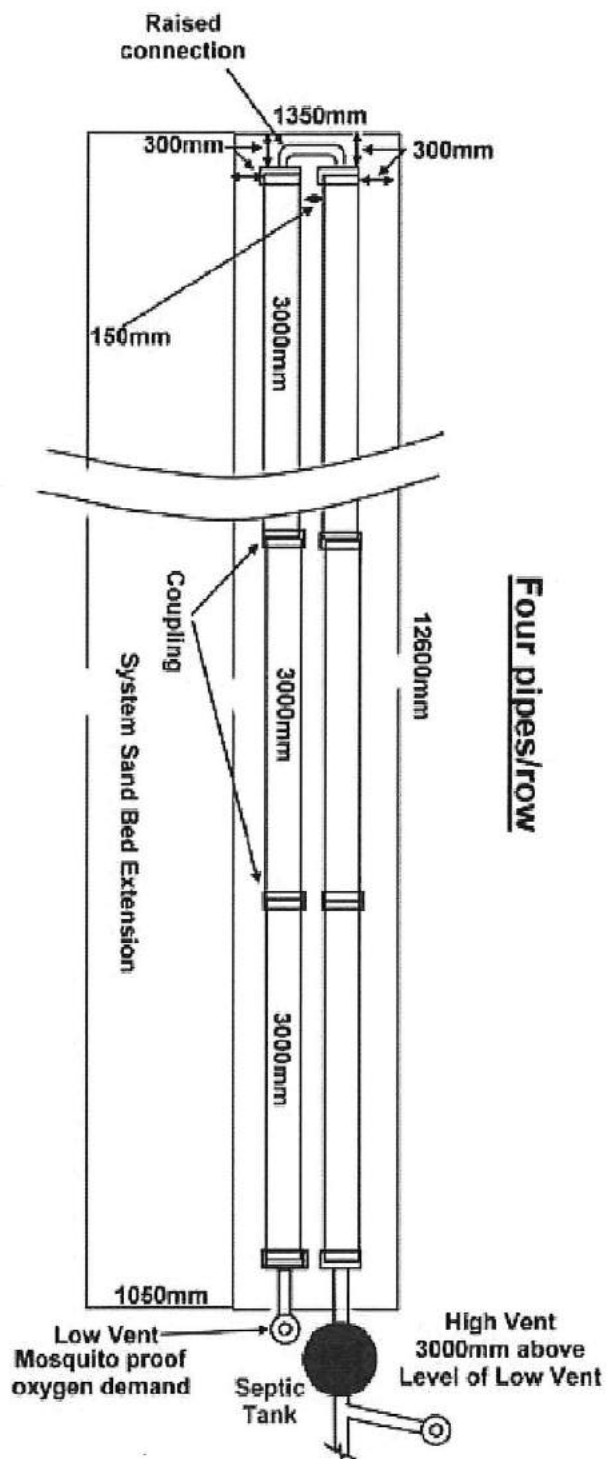
Geoff Ward

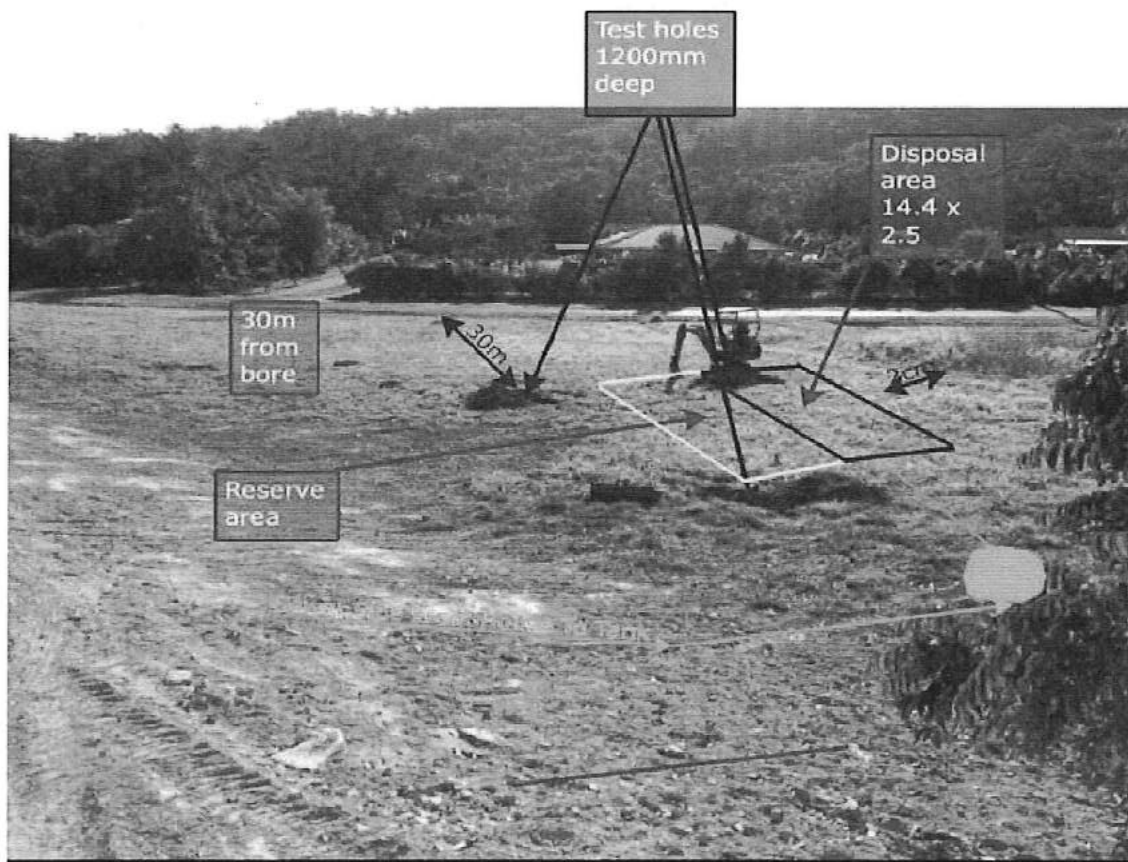
SITE PLAN
Lot 14 Thompson Low Drive, Shannonvale.
Not to scale.





2400mm Wide Two Pipe
Advanced Enviro-Septic Cross-Section







"Always the BEST Option" until site and soil conditions rule it out.

Site Address	LOT 14 THOMPSON LOW DRIVE, SHANNONVALE QLD 4873				
Client Name	BRYCE MADGWICK				
Designed By	GEOFFREY WARD	Designers Ph Number	0467 632 419	QBSA Lic Number	1203667
Lie Plumber Name	GEOFFREY WARD	Plumber Ph Number	4098 4021	Plumb / Drainer Lic Number	22509
Council Area	DOUGLAS SHIRE COUNCIL	AES Certif Number	QLD 0000501	Date	01-08-14

This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the design.

System Designers site and soil calculation data entry		IMPORTANT NOTES	
Is this a new home installation Y or N	Y	>>	Minimum single vent size is 80mm.
Number of person	6		or 2 x 50mm house vents
Daily Design Flow Allowance Litre/Person/Day	120		a septic tank outlet filter is NOT RECOMMENDED
Number of rows required to suit site constraints	2	>>	The maximum lth of a single AES pipe run is 30 meters
Surface Soil Category as established by site and soil evaluation. CATEGORY	4	>>	Category may require design considerations. Ref AS1547
Design Loading Rate based on site & soil evaluation DLR (mm/day)	30	>>	Soil conditioning may be necessary. Ref AS1547 & Comments.
Enter Site Slope in % for standard AES systems to calculate extension	0		
Is this design a gravity system Y or N	Y	>>	A House Vent & LOW VENT required on this system
PLEASE CHECK YOU HAVE FALL FROM TANK TO AES SYSTEM PIPES			

COMMENTS :- "The outcome must be important to everyone. "

- Ripping of receiving surface is required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate and rip parallel to the site slope/AES pipe.

- Plumbers are reminded to practice good construction techniques as per AS 1547 and as provided on AES installation instructions supplied with components.

AES System Calculator Outcomes			AES dimensions		
Total System load - litres / day (Q).	720	l/d		AES System	System Extension
Min Length of AES pipe rows to treat loading	12.0	lm	Lth m : (L)	12.6	12.6
Number of FULL AES Pipe lengths per row	4	lths	Width m : (W)	1.35	0.55
Buffer Capacity of AES System pipe in Litres	1696	ltr.	Sand Depth	0.75	0.15
AES Additional infiltration extension required	7.0	m2	Area m2	17.0	7.0
IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"			Enter Custom Width m >		
AES INFILTRATION FOOT PRINT AREA - $L = Q / (DLR \times W)$		Length	Width	Minimum AES foot print required .	
for this Basic Serial design is		12.6	x 1.90	=	24.0 m2 total

Code	AES System Bill of Materials.		Chankar Environmental Use Only	
AES-PIPE	AES 3 mtr Lths required	8 lths		
AESC	AESC Couplings required	6		
AESO	AESO Offset adaptors	4		
AESODV	AES Oxgen demand vent	1		
TOTAL SYSTEM SAND REQUIRED (Guide Only)		17 m3		
PLEASE email your AES CALC and Drawings to				
DESIGNREVIEW@ENVIRO-SEPTIC.COM.AU				Designreview@enviro-septic.com.au

> The AES Calculator is a design aid to allow checking of the AES components and configuration and is a guide only. Site and soil

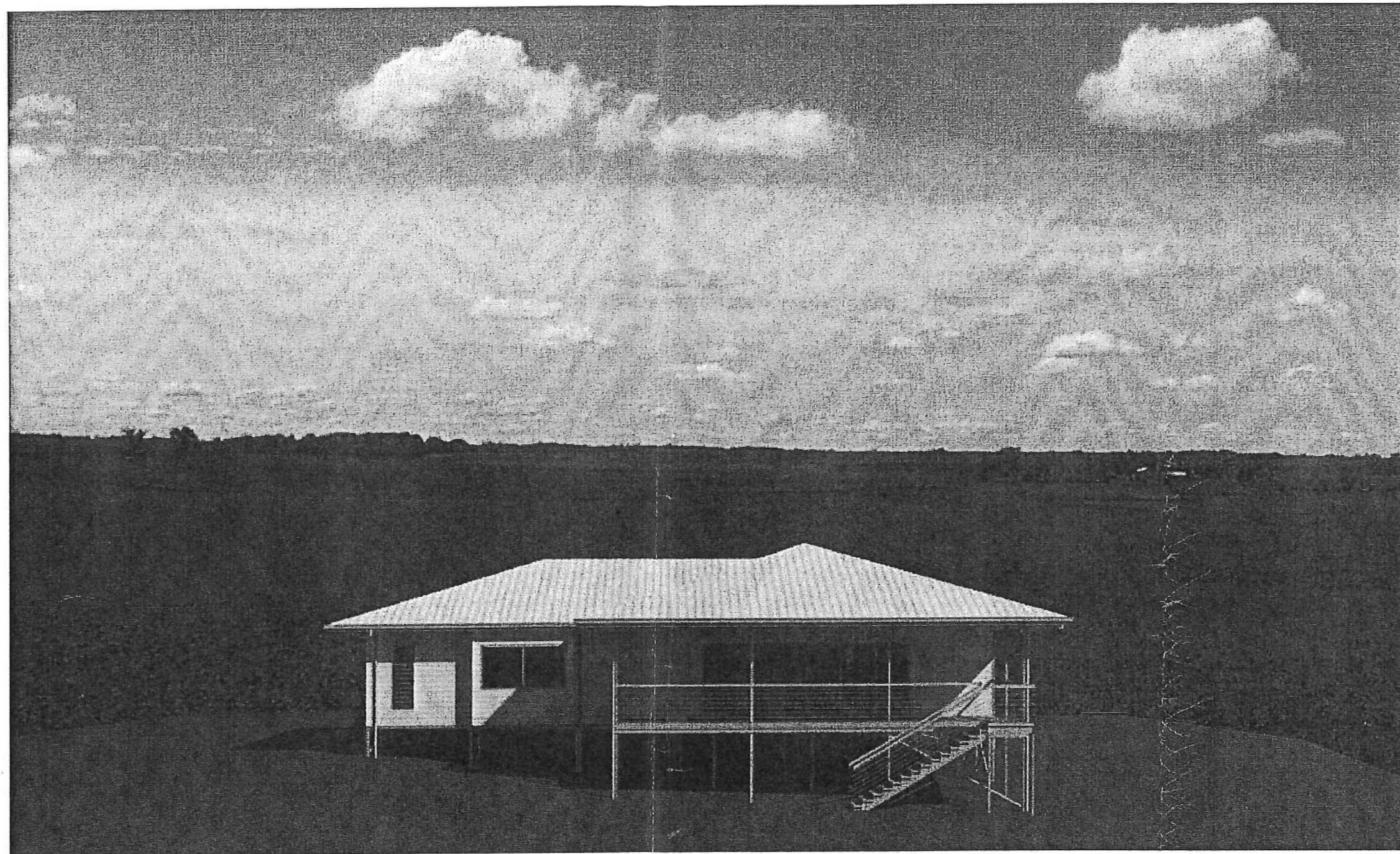
conditions referencing AS 1547:2000 are calculated and designed by a Qualified Designer

> Chankar Environmental has no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator.

> AES pipes can be cut to length on site. They are supplied in 3 meter lths only.

REVISIONS			
Sheet Number	Current Revision	Current Revision Date	Current Revision Description
A.01			
A.02			
A.03			
A.04			
A.05			
A.06			
A.07			
A.08			
A.09			
A.10			
A.11			
A.12			
A.13			

Sheet List	
Sheet Name	Sheet Number
PROJECT COVER SHEET	A.01
FLOOR PLAN	A.02
STUMP SETOUT	A.03
SUB FLOOR	A.04
BRACING PLAN ON SUB FLOOR	A.05
HIP ROOF TRUSS SYSTEM	A.06
TRUSS PLAN DETAILS	A.07
ROOF LOAD REACTION REPORT	A.08
SECTION	A.09
NORTH/EAST	A.10
SOUTH/WEST	A.11
SITE PLAN	A.12
SPECIFICATION (C2)	A.13



GENERAL NOTES OF CONSTRUCTION
STATUTORY REQUIREMENTS:
The builder shall comply to all applicable statutory requirements such as Australian Standards, Building Code of Australia, Acts of Commonwealth, State and Local Authority by laws, orders, regulations or proclamations.

OTHER REQUIREMENTS:
The builder shall comply to all applicable requirements and conditions as described in the Building Approval documentation. The builder shall provide all evidence required to comply with this any additional approvals as required to complete the project construction.

DIMENSIONS:
The builder and sub-contractors are to confirm all dimensions and setout prior to any construction and works on site. Notify HOMEFAB of any discrepancies.

STEEL FRAMING:
All steel framing is to be designed, detailed and constructed in accordance with BCA Clause 3.4.2 and 3.4.4

BUSHFIRE PRONE AREAS:
Affected building aspects must comply with the Building Code of Australia Volume Two Part 3.7.4 and Australian Standard AS 3959-2009.
The Category of Bushfire Attack is Bsl2.5.
As the building is to be constructed in designated Bushfire Prone Area, the following construction requirements apply (but not limited to):

- (1) All doors and windows are to be fitted with metal mesh screens (max aperture 2mm)
- (2) All doors are to be fitted with weatherstrips and tight fitting metal screen doors
- (3) All glazing incorporated in the sliding doors shall be Grade A safety glass
- (4) All panel lift garage doors shall be fitted with suitable weatherstrips, draught excluders, draught seals or guide tracks, as appropriate to door type, with maximum gap no greater than 3mm.
- (5) Gap under metal roof corrugations are to be sealed at the eaves with metal mesh as above or mineral fibre wool (Flammability Index less or equal to 5)
- (6) Ridge capping to be pre-formed or tightly sealed over corrugations to prevent burning embers from penetrating into roof cavity
- (7) Roof vent to be screened with metal mesh as above.
- (8) Gutter guards if used are to have a Flammability Index less or equal to 5
- (9) Exposed water/gas piping shall be metal.

Local Authority: **DOUGLAS SHIRE COUNCIL**
Lot: **14**
Parish: **VICTORY**
RP: **SP192599**

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: **C2**

[Signature] 11-7-14
C.M.G. CONSULTING ENGINEERS PTY. LTD.
208 BUCHAN ST.
CAIRNS QLD. 4870
PH. 0740312775
FAX. 0740519013

BE AWARE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF HOMEFAB STEEL TRUSS & FRAME, FOR THE STRUCTURAL INTEGRITY & DESIGN PERFORMANCE OF THE BUILDING.

HOME-FAB
"Strong as Steel"
HOMEFAB STEEL TRUSS AND FRAME
6 Slade Street - PO Box 342
Mareeba, Queensland 4880 Australia.
ACN: 067844393. Phone: 07 4092 2369
Fax: 07 4092 2355.
Website: www.homefab.com.au.
Email: sales@homefab.com.au

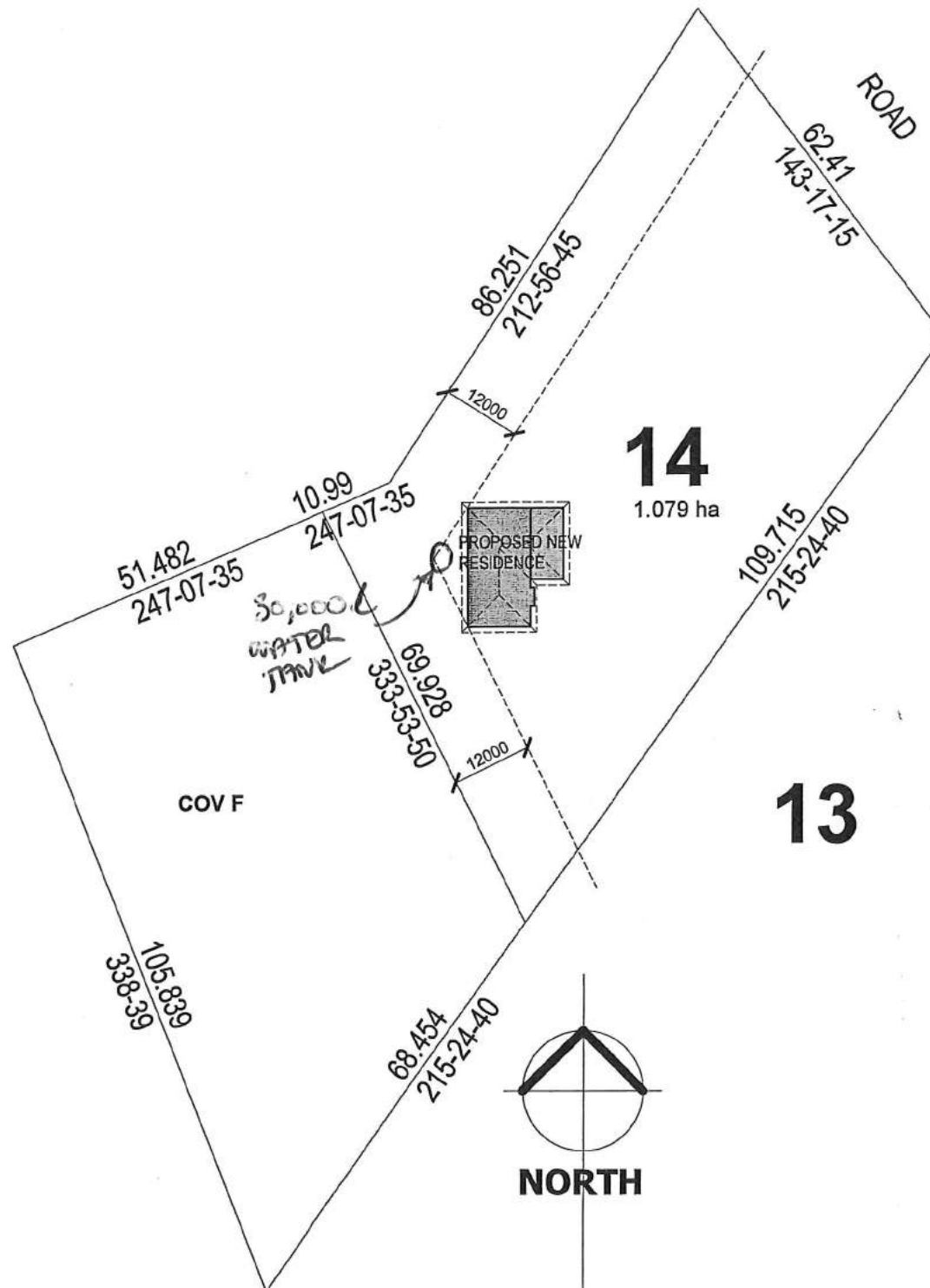
building designers' association of queensland inc.

**BRYCE & CHARLIE
MADGWICK**

**PROPOSED RESIDENCE ON: LOT 14,
THOMPSON LOW DRIVE,
SHANNONVALE**

Drawn by **A.J.v.A**
QBSA Lic. **1205233**

Soil Class: P	A.01
Wind Class: C2	
HOME-FAB Project number	JENKMADG



SITE PLAN

1 : 1000

BE AWARE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN **WILL VOID** ANY RESPONSIBILITIES OF **HOMEFAB STEEL TRUSS & FRAME**, FOR THE STRUCTURAL INTEGRITY & DESIGN PERFORMANCE OF THE BUILDING.

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association of
queensland inc.

**BRYCE & CHARLIE
MADGWICK**

**PROPOSED RESIDENCE ON: LOT 14,
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SHANNONVALE**

Drawn by A.J.v.A
QBSA Lic. 1205233

Soil Class: P	A.12
Wind Class: C2	
HOME-FAB Project number	JENKMADG

Local Authority: **DOUGLAS SHIRE COUNCIL**
Lot: **14**
Parish: **VICTORY**
RP: **SP192599**

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FOR CONSTRUCTION IN WIND CLASSIFICATION:
C2

C. J. Madwick 11-7-14
**C.M.G. CONSULTING
ENGINEERS PTY. LTD.**
208 BUCHAN ST.
CAIRNS QLD 4870
PH. 0740312775
FAX. 0740519013

BALUSTRADE:
Proprietary continuous balustrade. Must be provided along any stairway or ramp, balcony, deck, or verandah if its level above the surface beneath, is more than 1m BCA.(Part 3.9.2 Balustrades)

Corrugated roof sheeting fixed to Manufacturer's specification for: C2 - Windclass.
AIRCELL INSULBREAK 65 Roof insulation.

Colorbond fascia, barge, gutter and accessories.

External wall cladding: Colorbond Custom ORB external wall cladding fixed to Man.spec.for: C2 Wind Class INSULBREAK 65 external wall insulation and fasteners

Top of wall 2700
Head height 2100

GROUND FLOOR 0

NOTE: Grade subgrade under subfloor to prevent ponding. Stormwater to drain away from deck area.

NORTH

1 : 100

Corrugated roof sheeting fixed to Manufacturer's specification for: C2 - Windclass.
AIRCELL INSULBREAK 65 Roof insulation.

Colorbond fascia, barge, gutter and accessories.

External wall cladding: Colorbond Custom ORB external wall cladding fixed to Man.spec.for: C2 Wind Class INSULBREAK 65 external wall insulation and fasteners

Top of wall 2700
Head height 2100

GROUND FLOOR 0

NOTE: Grade subgrade under subfloor to prevent ponding. Stormwater to drain away from deck area.

Window Schedule

Number	Height	Width	Count
W01	1500	1200	1
W02	1171	1000	1
W03	900	3000	1
W04	2100	3000	2
W05	900	1500	1
W06	1200	1800	3
W07	1300	2400	1
W08	1801	600	1
W09	900	2400	1
W10	900	1200	1

Local Authority: DOUGLAS SHIRE COUNCIL

Lot: 14

Parish: VICTORY

RP: SP192599

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: C2

C.M.G. CONSULTING
C.M.G. ENGINEERS PTY.LTD.
208 BUCHAN ST.
CAIRNS QLD.4870
PH. 0740312775
FAX. 0740519013

10/07/2014 8:53:07 AM

EAST

1 : 100

BALUSTRADE:
Proprietary continuous balustrade. Must be provided along any stairway or ramp, balcony, deck, or verandah if its level above the surface beneath, is more than 1m BCA.(Part 3.9.2 Balustrades)

BE AWARE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF HOMEFAB STEEL TRUSS & FRAME, FOR THE STRUCTURAL INTEGRITY & DESIGN PERFORMANCE OF THE BUILDING.

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**BRYCE & CHARLIE
MADGWICK**

**PROPOSED RESIDENCE ON: LOT 14,
THOMPSON LOW DRIVE,
SHANNONVALE**

Drawn by A.J.v.A
QBSA Lic. 1205233

Soil Class: P

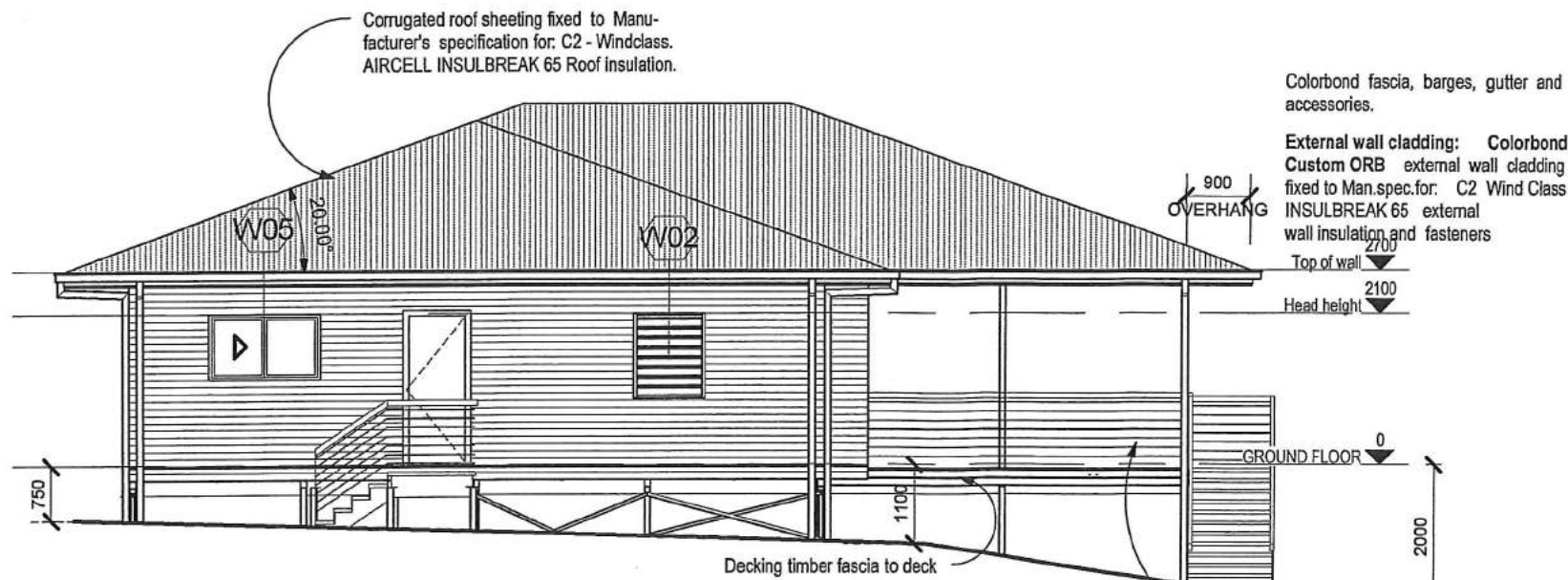
Wind Class: C2

HOME-FAB
Project number

A.10

JENKMADG

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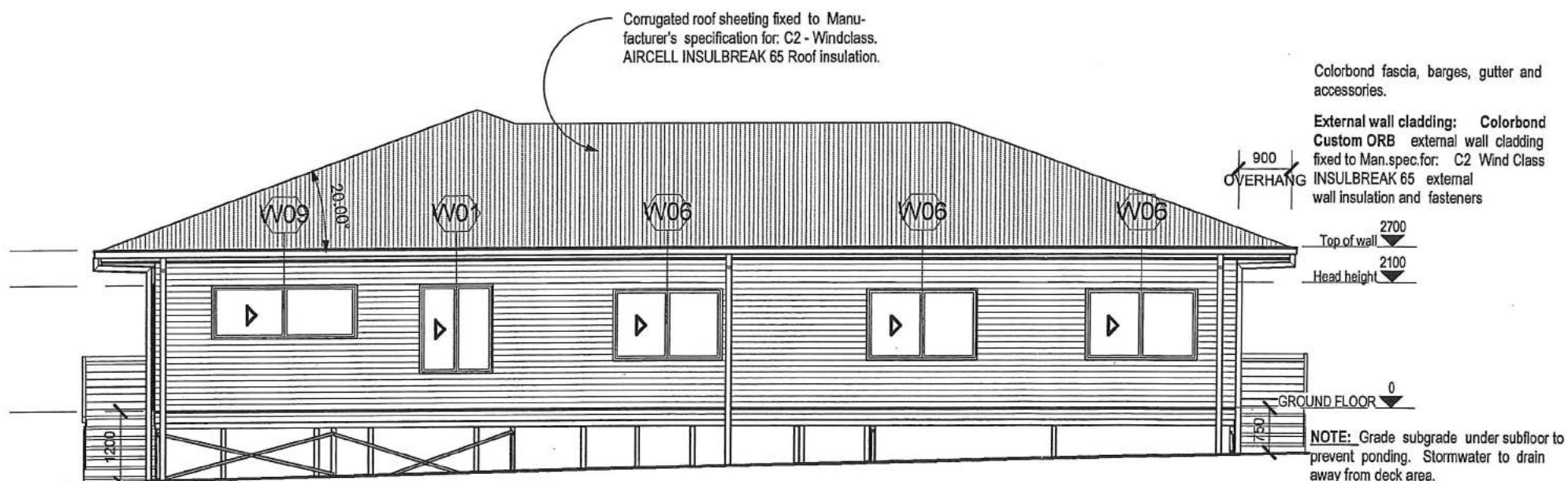


SOUTH

1 : 100

NOTE: Grade subgrade under subfloor to prevent ponding. Stormwater to drain away from deck area.

BALUSTRADE:
Proprietary continuous balustrade. Must be provided along any stairway or ramp, balcony, deck, or verandah if its level above the surface beneath, is more than 1m
BCA (Part 3.9.2 Balustrades)



WEST

1 : 100

BE AWARE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF HOMEFAB STEEL TRUSS & FRAME, FOR THE STRUCTURAL INTEGRITY & DESIGN PERFORMANCE OF THE BUILDING.

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queensland inc.

**BRYCE & CHARLIE
MADGWICK**

**PROPOSED RESIDENCE ON: LOT 14,
THOMPSON LOW DRIVE,
SHANNONVALE**

Drawn by A.J.v.A
QBSA Lic. 1205233

Soil Class: P
Wind Class: C2
A.11
HOME-FAB
Project number JENKMADG

Window Schedule

Number	Height	Width	Count
--------	--------	-------	-------

W01	1500	1200	1
W02	1171	1000	1
W03	900	3000	1
W04	2100	3000	2
W05	900	1500	1
W06	1200	1800	3
W07	1300	2400	1
W08	1801	600	1
W09	900	2400	1
W10	900	1200	1

Local Authority: DOUGLAS SHIRE COUNCIL
Lot: 14
Parish: VICTORY
RP: SP192599

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DETAILS AS SHOWN ON THESE DRAWINGS
FOR CONSTRUCTION IN WIND CLASSIFICATION:
C2

C. M. G.
C.M.G. CONSULTING
208 BUCHAN ST.
CAIRNS QLD. 4870
PH. 0740312775
FAX. 0740519013

GENERAL:

1. 240 V smoke detector fixed to ceiling in accordance with BCA Part 3.7.2.4. Smoke alarm to comply with AS 3786, AS 3000 and BCA 3.7.2.3

2. Wet area floors are sealed and fall to floor wastes in accordance with BCA 3.8.1

3. Door to WC to be lift-off hinges.

4. Glazing: Obscure glass to bathroom - Ens. and wc windows. All other to be clear glass. Glazing to be in accordance with AS 1288, AS 2208, and AS 2047

5. Plumbing and drainage to comply with the relevant standards, sewerage by-laws and requirements of the Local Authority.

6. Down pipes are to be installed in accordance with the BCA (latest edition) Spacing between down pipes to be no more than 12meters

7. TERMITES: Termite protection to be provided by: (1) Concrete slab on ground to AS2870. Ensure minimum 75mm exposed slab edge for inspection. (2) All slab penetrations to be protected by proprietary system. Provide warranty from installer. (3) All timber both structural and trims to be treated AS1604 H2 internal and H3 external Provide certificate of treatment. (4) Termite control to be in accordance with BCA 3.1.3

8. Hot water system: Solar hot water system, Heatpump or Gas and replacements in a recirculated gas area.

9. Temperature control device to hot water unit in accordance with AS 3500.4.2 (1997) to be provided. Fittings: 3 Star WELS rated shower roses. 4 Star WELS rated dual flush cisterns. 3 Star WELS rated tapware to Laundry tubs. Kitchen sinks and basins.

10. Air conditioning: Air conditioners to have an energy efficient rating of at least 2.5. Ensure door and window openings are correctly sealed in accordance with Part 3.12.3 of the B.C.A

11. Fans: Ceiling fans - 1 per 20sqm

Ceiling fans to be installed to all living areas (allow 2) and Bedrooms (allow 1)

Outdoor living spaces: (Bigger than 12sqm, min. 2.5m wide, min. 2 sides open) to be provided with ceiling fan - 1 per 20sqm

12. Lighting: 80% of the floor area of a dwelling or addition to be fitted with energy efficient lighting as required by QDC MP 4.1 including balcony or patio.

13. Gable end treatment: Additional insulation required to gable ends based on total R value of wall required. (R1.9 min.)

14. Roof insulation: Roof insulation over trusses to entire roof. Outdoor living spaces to be insulated.

15. Glazing: Treated glazing, particularly for windows facing west and north west.

16. Roof colour: Metal sheet to be light coloured to reflect heat.

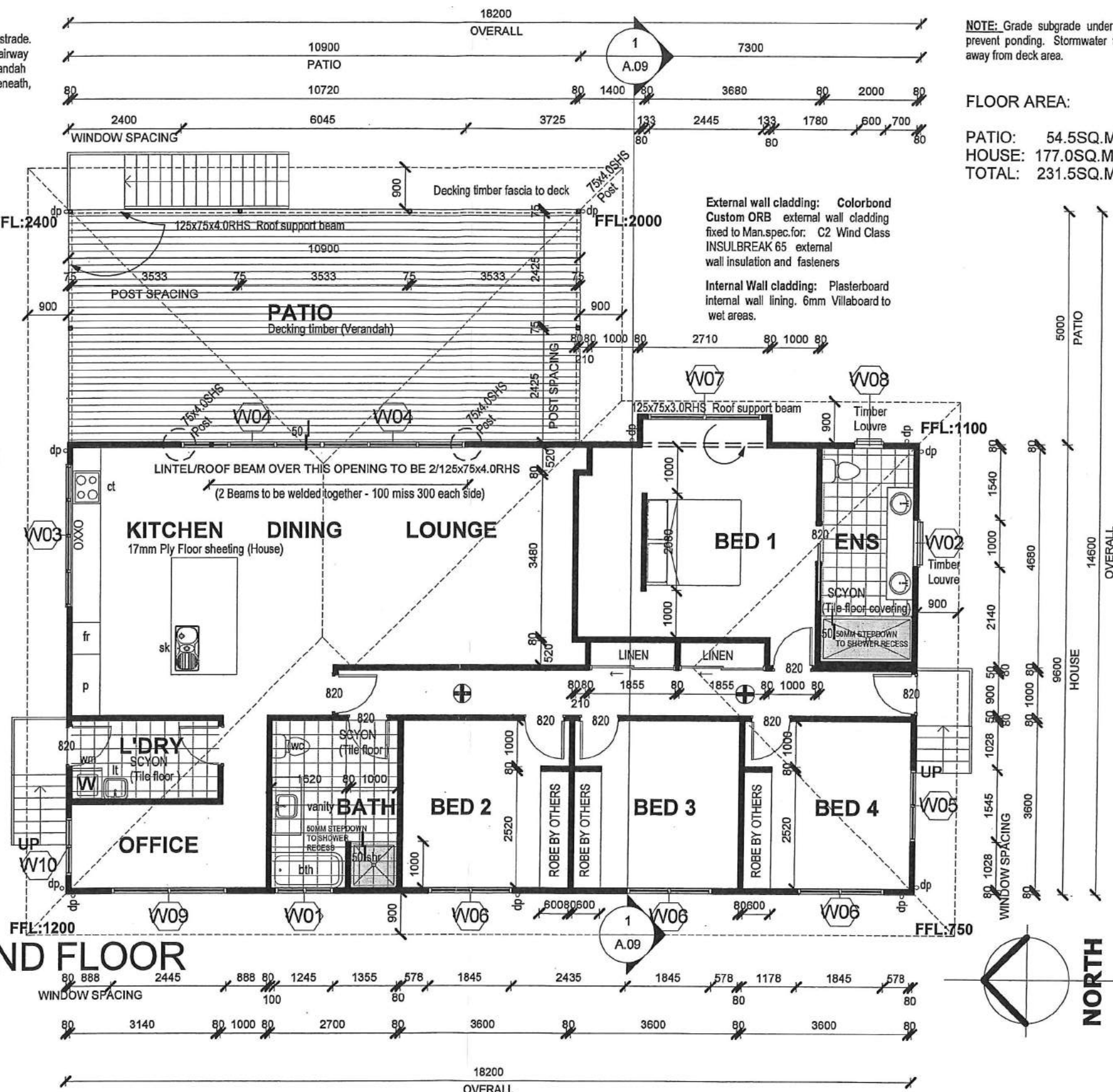
17. Stormwater: Provide concrete splash pads under house downpipes, unless being diverted into approved stormwater tanks.

BALUSTRADE:
Proprietary continuous balustrade. Must be provided along any stairway or ramp, balcony, deck, or verandah if its level above the surface beneath, is more than 1m
BCA (Part 3.9.2 Balustrades)

14600 OVERALL
5000 PATIO
9600 HOUSE
18200 OVERALL

GROUND FLOOR

1 : 100



NOTE: Grade subgrade under subfloor to prevent ponding. Stormwater to drain away from deck area.

FLOOR AREA:

PATIO: 54.5SQ.M
HOUSE: 177.0SQ.M
TOTAL: 231.5SQ.M

External wall cladding: Colorbond Custom ORB external wall cladding fixed to Man.spec.for: C2 Wind Class INSULBREAK 65 external wall insulation and fasteners

Internal Wall cladding: Plasterboard internal wall lining. 6mm Villaboard to wet areas.

THERMAL BREAK: Required to be installed behind external cladding products over metal framing and vapour permeable membrane. (TYVEK or similar)
Hardiebreak Thermal Strip is the only recommended thermal break to be used with Scyon and James Hardie external cladding products.

TILING AND WATERPROOFING over James Hardie Scyon Flooring Sheets: In all cases the sheets shall be installed to comply with James Hardie Scyon design and construction requirements: Sheets are to be installed with falls to prevent ponding. Water and drainage away from the building. Falls shall be a min. of 1:100 (i.e. approx. 20mm in 2m) for balconies and decks and shall be created by design and construction.

Falls are typically between 1:50 and 1:80 for internal wet areas (showers) and 1:100 for general wet area floors and would be created by an installed screed.

Any material used for external water proofing systems shall comply with AS4654.1

AS4654.2 for concrete decks.

ABBREVIATIONS

wc	Toilet
bn	Hand Basin
sh	Shower
lt	Laundry tub
bt	Bath tub
wm	Washing machine
dy	Dryer
dp	Downpipe
sk	Sink
f	Fridge
cl	Cooktop
sd	Smoke alarm

SMOKE ALARM:
Denotes approved self contained smoke alarm. Smoke alarm to combine both smoke detection and alarm facilities and be connected directly to 240V mains power supply with battery back-up. Smoke alarm units and installation to comply with: AS3786 and relevant BCA Part 3.7.2

Window Schedule

Number	Height	Width	Count
W01	1500	1200	1
W02	1171	1000	1
W03	900	3000	1
W04	2100	3000	2
W05	900	1500	1
W06	1200	1800	3
W07	1300	2400	1
W08	1801	600	1
W09	900	2400	1
W10	900	1200	1

Note: W02 & W08 Timber Louvers

Local Authority: DOUGLAS SHIRE COUNCIL
Lot: 14
Parish: VICTORY
RP: SP192599

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: C2

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building designers' association of queensland inc.

BRYCE & CHARLIE MADGWICK

PROPOSED RESIDENCE ON: LOT 14, THOMPSON LOW DRIVE, SHANNONVALE

Drawn by A.J.v.A
QBSA Lic. 1205233

Soil Class: P

Wind Class: C2

HOME-FAB Project number

A.02

JENKMADG

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