



LAMBERT & REHBEIN

ENGINEERS • MANAGERS • SCIENTISTS

27 October, 2014
Our File Ref: C13018CL001
Contact: Joshua Ruiz

Douglas Shire Council
PO Box 723
Mossman Qld 4873

Attention: Neil Beck

DOUGLAS SHIRE COUNCIL Received	
File Name	OP 507/2014
Document No	
30 OCT 2014	
Attention	SKA orig ✓
Information	R/N 46978

**RE: OPERATIONAL WORKS APPLICATION
FOR LOT 4 ON RP907338, CASSOWARY RIDGE SUBDIVISION
CAPTAIN COOK HIGHWAY, KILLALOE**

Please find enclosed the Operational Works Application for the above project. Included with this application are the following items:

- Completed IDAS Form 1 and 3, and Checklist 4
- Application Lodgement Fee totalling \$7660.60
- FNQROC Statement of Compliance Operational Works Design and Checklist
- Civil Engineering Design Drawings

The engineering documentation submitted for operational works approval satisfies the relevant assessment managers development approval conditions dated 12th December 2005 (ref: SUB039/04) amended by the assessment managers conditions dated 21st February 2012 (ref:8/37/153 SUB039/04) and the Department of Transport and Main Roads 'Conditions of Development'.

We request that you provide Operation Works Approval and liaise with the undersigned relating to any further information that may be required to gain the requested approval.

Yours faithfully

For and on behalf of

LAMBERT & REHBEIN (Nth QLD) PTY LTD

JOSHUA RUIZ

MANAGER, NORTH QUEENSLAND

Enc: IDAS Form 6
Lodgement Fee – Cheque
FNQROC Design Certification
Civil Engineering Design Drawings

DIRECTORS	Brendan L Rehbein, Brent F Woolgar, Ashley P Ruffin, Steve A Williams
SENIOR ASSOCIATES	Andrew M Pezzutti, Rob J Siddle, Terence Chan, Fred A Gattuso
ASSOCIATES	Timothy J Fisher, Amanda Merrick, Ben J Hargreaves

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Level 2, 26 Florence Street (PO Box 1830), Cairns, Qld 4870

Telephone: (07) 4031 6788 www.lar.net.au Facsimile: (07) 4031 6799



IDAS form 1—Application details

(Sustainable Planning Act 2009 version 4.1 effective 4 July 2014)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

This form can also be completed online using MyDAS at www.dsdlp.qld.gov.au/MyDAS

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

Leo International Group

For companies, contact name

C/- Joshua Ruiz

Postal address

PO Box 1830

Suburb Cairns

State Qld

Postcode 4870

Country Australia

Contact phone number

(07) 4031 6788

Mobile number (non-mandatory requirement)

0423 799 021

Fax number (non-mandatory requirement)

Email address (non-mandatory requirement)

joshua.r

@lar.net.au

Applicant's reference number (non-mandatory requirement)

1. What is the nature of the development proposed and what type of approval is being sought?

Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

a) What is the nature of the development? (Please only tick one box.)

☐ Material change of use ☐ Reconfiguring a lot ☐ Building work ☒ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☒ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

Civil works associated with Reconfiguration of Lot 4 on RP907338, 1 Lot into 4.

d) What is the level of assessment? (Please only tick one box.)

☐ Impact assessment ☒ Code assessment

Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

a) What is the nature of development? (Please only tick one box.)

☐ Material change of use ☐ Reconfiguring a lot ☐ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☐ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

d) What is the level of assessment?

☐ Impact assessment ☐ Code assessment

Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

☐ Refer attached schedule ☒ Not required

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water). (Attach a separate schedule if there is insufficient space in this table.)

- ☒ Street address and lot on plan (All lots must be listed.)
☐ Street address and lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)		6889R	Captain Cook Highway, Killaloe	4877	4	RP907338	Douglas
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

3. Total area of the premises on which the development is proposed (indicate square metres)

1617000

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

A portion of Lot 4 adjacent the Captain Cook Highway is utilised for agricultural purposes. The remainder is vacant land covered with vegetation.

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)

☐ No ☒ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
8/37/153 SUB039/04	21/02/2012	21/12/2014

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

☒ No
☐ Yes—complete either Table F, Table G or Table H as applicable

Table F

Name of owner/s of the land	
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	
Date	

Table G

Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

Table H

Name of owner/s of the land	
<input type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

- ☐ Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- ☐ On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- ☐ In a tidal water area—complete Table K
- ☐ On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)
- ☐ Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* (no table requires completion)

Table I

Name of water body, watercourse or aquifer

Table J

Lot on plan description for strategic port land	Port authority for the lot

Table K

Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

☒ No ☐ Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (including any services)

☐ No ☒ Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

☐ No—go to question 12 ☒ Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

☒ No
☐ Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L

Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the Sustainable Planning Act 2009?

☒ No
☐ Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

- 13. List below all of the forms and supporting information that accompany this application (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application. Note: this question does not apply for applications made online using MyDAS)**

Description of attachment or title of attachment	Method of lodgement to assessment manager
Civil Engineering Drawings (Lambert & Rehbein project no. C13018)	Electronic
Cairns Regional Council Decision Notice	Electronic
Superseded Douglas Shire Council Decision Notice	Electronic
Idas Form 1 and 6, Idas Checklist 4	Electronic
FNQROC Design Statement of Compliance and Operational Works Checklist	Electronic

14. Applicant's declaration

- ☒ By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

Notes for completing this form

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

Applicant details

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

- Schedule 3 of the *Sustainable Planning Regulation 2009* identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 7

- If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the *Sustainable Planning Regulation 2009* identifies where compliance assessment is required.

Question 11

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the *Building and Construction Industry (Portable Long Service Leave) Regulation 2002*.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of State Development, Infrastructure and Planning (DSDIP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

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Reference numbers

NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To

Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Department of State Development, Infrastructure and Planning
PO Box 15009 City East Qld 4002
tel 13 QGOV (13 74 68)
info@dsdip.qld.gov.au

www.dsdip.qld.gov.au

IDAS form 1—Application details
Version 4.1—4 July 2014

IDAS form 6—Building or operational work assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for development applications for building work or operational work assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form must be used for building work or operational work relating on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

This form can also be completed online using MyDAS at www.dsdip.qld.gov.au/MyDAS

Mandatory requirements

1. What is the nature of the work that requires assessment against a planning scheme? (Tick all applicable boxes.)

- ☐ Building work—complete Table A ☒ Operational work—complete Table B

Table A

a) What is the nature of the building work (e.g. building, repairing, altering, underpinning, moving or demolishing a building)?

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b) Are there any current approvals associated with this application? (e.g. material change of use.)

- ☐ No ☐ Yes— provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

Table B

a) What is the nature of the operational work? (Tick all applicable boxes.)

- ☒ Road works
 ☒ Stormwater
 ☐ Water infrastructure
☐ Drainage works
 ☒ Earthworks
 ☐ Sewerage infrastructure
☐ Landscaping
 ☐ Signage
 ☐ Clearing vegetation under the planning scheme
☐ Other—provide details

b) Is the operational work necessary to facilitate the creation of new lots? (E.g. subdivision.)

- ☐ No
 ☒ Yes—specify the number of lots being created

3

c) Are there any current approvals associated with this application? (E.g. material change of use.)

- ☐ No
 ☒ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
8/37/153 SUB 039/04 (3499902)	21/02/2012	12/12/2013

2. What is the dollar value of the proposed building work?
(Inc GST, materials and labour.)

\$

3. What is the dollar value of the proposed operational work?
(Inc GST, materials and labour.)

\$

Mandatory supporting information

4. Confirm that the following mandatory supporting information accompanies this application

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
All applications involving building work or operational work		
<p>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</p> <ul style="list-style-type: none"> the location and site area of the land to which the application relates (<i>relevant land</i>) the north point the boundaries of the relevant land the allotment layout showing existing lots, any proposed lots (including the dimensions of those lots), existing or proposed road reserves, building envelopes and existing or proposed open space (note: numbering is required for all lots) any existing or proposed easements on the relevant land and their function any access limitation strips all existing and proposed roads and access points on the relevant land. 	<input checked="" type="checkbox"/> Confirmed	Electronic

A statement about how the proposed development addresses the local government's planning schemes and any other planning documents relevant to the application.	<input checked="" type="checkbox"/> Confirmed	Electronic
A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for building work (including extensions and demolition that is assessable development)		
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following: <ul style="list-style-type: none"> the north point the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only) the room layout (for residential development only) with all rooms clearly labelled the existing and the proposed built form (for extensions only) the gross floor area of each proposed floor area. 	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation).	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Plans showing the extent of any demolition that is assessable development.	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Applications for operational work involving earthworks (filling and excavating)		
Drawings showing: <ul style="list-style-type: none"> existing and proposed contours areas to be cut and filled the location and level of any permanent survey marks or reference stations used as datum for the works the location of any proposed retaining walls on the relevant land and their height the defined flood level (if applicable) the fill level (if applicable). 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	Electronic
Applications for operational work involving roadworks		
Drawings showing: <ul style="list-style-type: none"> existing and proposed contours the centreline or construction line showing chainages, bearings, offsets if the construction line is not the centreline of the road and all intersection points information for each curve including tangent point chainages and offsets, curve radii, arc length, tangent length, superelevation (if applicable) and curve widening (if applicable) kerb lines including kerb radii (where not parallel to centreline) and tangent point changes (where not parallel to centreline) edge of pavement where kerb is not constructed position and extent of channelisation location and details of all traffic signs, guideposts, guardrail and other street furniture pavement markings including details on raised pavement markers 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	Electronic

<ul style="list-style-type: none"> • catchpit, manhole and pipeline locations • drainage details (if applicable) • cross road drainage culverts (if applicable) • concrete footpaths and cycle paths • location and details for access points, ramps and invert crossings • changes in surfacing material. 		
Applications for operational work involving stormwater drainage		
Drawings showing: <ul style="list-style-type: none"> • existing and proposed contours • drainage locations, diameters and class of pipe, open drains and easements • manhole location, chainage and offset or coordinates and inlet and outlet invert levels • inlet pit locations, chainage and offset or coordinates and invert and kerb levels. 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	Electronic
Applications for operational work involving water reticulation		
Drawings showing: <ul style="list-style-type: none"> • kerb lines or edge of pavement where kerb is not constructed • location and levels of other utility services where affected by water reticulation works • pipe diameter, type of pipe and pipe alignment • water main alignments • water supply pump station details (if applicable) • minor reservoir details (if applicable) • conduits • location of valves and fire hydrants • location of house connections (if applicable) • location of bench marks and reference pegs. 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for operational work involving sewerage reticulation		
Drawings showing: <ul style="list-style-type: none"> • location of all existing and proposed services • location of all existing and proposed sewer lines and manhole locations • location of all house connection branches • kerb lines or edge of pavement where kerb is not constructed • chainages • design sewer invert levels • design top of manhole levels • type of manhole and manhole cover • pipe diameter, type of pipe and pipe alignment • location of house connections (if applicable) • sewer pump station details (if applicable). 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for operational work involving street lighting		
Drawings showing: <ul style="list-style-type: none"> • location of all light poles and service conduits • location of all other cross road conduits • type of wattage and lighting • any traffic calming devices • additional plans for roundabouts and major roads (if applicable) • details of any variations to normal alignment 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

<ul style="list-style-type: none"> • details of lighting levels. 		
Applications for operational work involving public utility services		
Drawings showing: <ul style="list-style-type: none"> • any existing light poles and power poles • any existing underground services • details of proposed services • alteration to existing services. 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for operational work involving landscaping works		
Drawings showing: <ul style="list-style-type: none"> • the location of proposed plant species • a plant schedule indicating common and botanical names, pot sizes and numbers of plants • planting bed preparation details including topsoil depth, subgrade preparation, mulch type and depth, type of turf, pebble, paving and garden edge • the location and type of any existing trees to be retained • construction details of planter boxes, retaining walls and fences • the proposed maintenance period • irrigation system details. 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

Privacy—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

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Reference numbers

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Schedule 3 Assessable Development

Checklist 4—Operational work

(Sustainable Planning Act 2009 version 4.1 effective 1 October 2014)

This checklist only applies when the development application seeks approval for operational work. Before completing this checklist, please complete *Checklist 1—Various aspects of development*.

You may complete this checklist as part of your development application. The checklist will:

- help you identify whether you need to make a development application for the proposed development
- help you identify the relevant Integrated Development Assessment System (IDAS) form you need to complete as part of your application
- assist in identifying the assessment manager or referral agency for development that is assessable development under schedule 3 of the Sustainable Planning Regulation 2009.

If your development involves reconfiguring a lot, building work or material change of use, it is recommended you complete *Checklist 2—Material change of use*, *Checklist 3—Reconfiguring a lot*, or *checklist 5—Building work*, where relevant.

If you are unsure of any answers to questions, phone or visit your local government, or go to the Department of State Development, Infrastructure and Planning's website at www.dsdlp.qld.gov.au.

All terms used in this checklist have the meaning given in the *Sustainable Planning Act 2009* or the Sustainable Planning Regulation 2009.

Part 1—General questions

1.1 Is the operational work clearing native vegetation on:

- freehold land
- indigenous land
- any of the following under the *Land Act 1994*:
 - land subject to a lease
 - a road
 - trust land, other than indigenous land
 - land subject to a licence or permit?

- | | |
|---|-------------------------------------|
| <input type="checkbox"/> No | • Continue to question 1.2 |
| <input checked="" type="checkbox"/> Yes | • Complete part 2 of this checklist |

1.2 Is any of the proposed operational work associated with reconfiguring a lot and the reconfiguration is also assessable development?

- | | |
|---|-------------------------------------|
| <input type="checkbox"/> No | • Continue to question 1.3 |
| <input checked="" type="checkbox"/> Yes | • Complete part 3 of this checklist |

1.3 Does any of the proposed operational work involve taking or interfering with:	
<ul style="list-style-type: none"> • water from a watercourse, lake or spring, or from a dam constructed on a watercourse or lake • artesian water as defined under the <i>Water Act 2000</i>, schedule 4 • overland flow water • subartesian water 	
<input checked="" type="checkbox"/> No	• Continue to question 1.4
<input type="checkbox"/> Yes	• Complete part 4 of this checklist
1.4 Is the operational work the construction of a dam, or carried out in relation to a dam, and, because of the works, the dam must be failure Impact assessed?	
<input checked="" type="checkbox"/> No	• Continue to question 1.5
<input type="checkbox"/> Yes	• Complete part 5 of this checklist
1.5 Is any of the proposed operational work tidal works?	
<input checked="" type="checkbox"/> No	• Continue to question 1.6
<input type="checkbox"/> Yes	• Complete part 6 of this checklist
1.6 Is any of the operational work proposed to be carried out completely or partly within a coastal management district?	
<input checked="" type="checkbox"/> No	• Continue to question 1.7
<input type="checkbox"/> Yes	• Complete part 7 of this checklist
1.7 Is any of the proposed operational work for constructing or raising waterway barrier works as defined under the <i>Fisheries Act 1994</i>?	
<input checked="" type="checkbox"/> No	• Continue to question 1.8
<input type="checkbox"/> Yes	• Complete part 8 of this checklist
1.8 Is any of the proposed operational work to be carried out completely or partly within a declared fish habitat area as defined under the <i>Fisheries Act 1994</i>?	
<input checked="" type="checkbox"/> No	• Continue to question 1.9
<input type="checkbox"/> Yes	• Complete part 9 of this checklist
1.9 Is any of the proposed operational work removing, destroying or damaging marine plants as defined under the <i>Fisheries Act 1994</i>?	
<input checked="" type="checkbox"/> No	• Continue to question 1.10
<input type="checkbox"/> Yes	• Complete part 10 of this checklist
1.10 Does the proposal involve operational works that are high impact earthworks in the Great Barrier Reef Wetland Protection Area?	
<input checked="" type="checkbox"/> No	• Continue to question 1.11

<input type="checkbox"/> Yes	• Complete part 11 of this checklist
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1.11 Does the proposal involve operational works that are the construction or modification of a levee?

<input checked="" type="checkbox"/> No	• End of checklist
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<input type="checkbox"/> Yes	• Complete part 12 of this checklist
------------------------------	--------------------------------------

Part 2—Clearing native vegetation

2.1 Do any of the following apply?

The clearing is on premises to which structure plan arrangements apply.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
The clearing is clearing, or for another activity or matter, mentioned in schedule 24, part 1 of the Sustainable Planning Regulation 2009.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
The clearing is mentioned in schedule 24, part 2 of the Sustainable Planning Regulation 2009, as clearing for the particular land.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

- If you answered **yes** to any of the above, this aspect of your operational work is not assessable development
- If you answered **no** to ALL of the above, continue to question 2.2

2.2 Is the proposed vegetation clearing for a relevant purpose under the *Vegetation Management Act 1999*, section 22A for one or more of the following?

A project declared to be a coordinated project under the <i>State Development and Public Works Organisation Act 1971</i> , section 26	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Necessary to control non-native plants or declared pests	<input type="checkbox"/> Yes	<input type="checkbox"/> No
To ensure public safety	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For relevant infrastructure and the clearing cannot reasonably be avoided or minimised	<input type="checkbox"/> Yes	<input type="checkbox"/> No
A natural and ordinary consequence of other assessable development for which a development approval was given under the repealed <i>Integrated Planning Act 1997</i> , or a development application was made under that Act, before 16 May 2003 and is outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i> .	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For fodder harvesting outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i> :	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For thinning	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For clearing of encroachment	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For an extractive industry outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For necessary environmental clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For high value agriculture clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For irrigated high value agriculture clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
The Minister responsible for administering the <i>Vegetation Management Act 1999</i> is satisfied the development applied for is a for special indigenous purpose under the <i>Cape York Peninsula Heritage Act 2007</i> outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i>	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If you answered **no** to ALL of the above, then the clearing is not for a relevant purpose and this aspect of the development is prohibited development. If this is the only aspect of vegetation clearing then that is the end of part 2 of this checklist, otherwise continue to question 2.3
- If **yes** to any of the above, continue to question 2.3

2.3 Is the proposed vegetation clearing associated with a material change of use or reconfiguring a lot for which referral is required in relation to clearing vegetation under schedule 7, table 3, item 10 and table 2, item 4 of the Sustainable Planning Regulation 2009?

<input type="checkbox"/> No	<ul style="list-style-type: none"> • The proposed operational work for clearing native vegetation is assessable development and a development permit is required • This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Queensland vegetation management state code</i> in the State Development Assessment Provisions (SDAP) • You must complete <i>IDAS Form 11—Clearing native vegetation</i> • End of part 2 of this checklist
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • This aspect of development is assessable development • The chief executive of DSDIP may be a concurrence agency for the application (see schedule 7, table 2, item 4 and table 3, item 10 of the Sustainable Planning Regulation 2009) and will assess the application against the <i>Queensland vegetation management state code</i> in the SDAP • If DSDIP is a concurrence agency for the application, you must refer a copy of your application to DSDIP • End of part 2 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 1
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 4 and schedule 7, table 3, item 10
- *Vegetation Management Act 1999*, section 22A

Part 3—Operational work for reconfiguring a lot

3.1 Is any part of the operational work for reconfiguring a lot in a priority development area?

<input checked="" type="checkbox"/> No	<ul style="list-style-type: none"> • Continue to question 3.2
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • This aspect of the development is not assessable development • End of part 3 of this checklist

3.2 Do all of the following apply:

- the land is in the area of a local government that, under the *South East Queensland Water (Distribution and Retail Restructuring) Act 2009*, is a participating local government for a distributor–retailer
- the participating local government is the assessment manager
- the development application is made before 1 March 2014

<input type="checkbox"/> No	<ul style="list-style-type: none"> • This aspect of the development is assessable development and you will need a development permit • The local government will be the assessment manager for the application • End of part 3 of this checklist
<input checked="" type="checkbox"/> Yes	<ul style="list-style-type: none"> • This aspect of the development is assessable development and you will need a development permit • The local government will be the assessment manager for the application and the distributor–retailer (or SARA) will be a concurrence agency for the application. • End of part 3 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 47

Part 4—Taking or interfering with water

4.1 Is the proposed operational work to be carried out in a priority development area or on premises to which structure plan arrangements apply?

- | | |
|------------------------------|---|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • Continue to question 4.2 |
| <input type="checkbox"/> Yes | <ul style="list-style-type: none"> • This aspect of development is not assessable development and does not require a development permit • End of part 4 of this checklist |

4.2 Does any of the proposed operational work involve taking or interfering with water from a watercourse, lake or spring or from a dam constructed on a watercourse or lake?

- | | |
|------------------------------|---|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • End of part 4 of this checklist |
| <input type="checkbox"/> Yes | <ul style="list-style-type: none"> • Continue to question 4.3 |

4.3 Are the proposed works for any of the following purposes?

Taking water from a watercourse, lake or spring in an emergency situation for a public purpose or fighting a fire destroying, or threatening to destroy, a dwelling house	<input type="checkbox"/> Yes <input type="checkbox"/> No
Taking water from a watercourse, lake or spring if: <ul style="list-style-type: none"> • the water is taken by the owner of land adjoining the watercourse, lake or spring • the water is taken for domestic purposes or stock purposes 	<input type="checkbox"/> Yes <input type="checkbox"/> No
Taking water from a watercourse, lake or spring for camping purposes or for watering travelling stock	<input type="checkbox"/> Yes <input type="checkbox"/> No
Using a water truck to pump water	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 4.4
- If **yes** to any of the above, this aspect of development does not require a development permit.
 - If this is the only aspect of taking or interfering with water proposed then that is the end of part 4 of this checklist
 - If there are other aspects of taking or interfering with water proposed, continue to question 4.4

4.4 Are the proposed works self-assessable development under schedule 3, part 2, table 4, item 1 of the Sustainable Planning Regulation 2009?

- | | |
|------------------------------|--|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • Go to question 4.5 |
| <input type="checkbox"/> Yes | <ul style="list-style-type: none"> • This aspect of development is self-assessable development and must comply with any relevant self-assessable code • If the proposal involves more than one aspect of operational work for taking or interfering with water, and the other aspect is not self-assessable development, then continue to question 4.5 |

4.5 Is the work for a water pump?

- | | |
|-----------------------------|--|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • Continue to question 4.6 |
|-----------------------------|--|

<input type="checkbox"/> Yes	<ul style="list-style-type: none"> A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP You must complete <i>IDAS form 13—Watercourse pump</i> If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist If there are other aspects of taking or interfering with water proposed, then continue to question 4.6
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4.6 Is the work for water storage (other than for a dam requiring failure impact assessment)?

<input type="checkbox"/> No	<ul style="list-style-type: none"> Continue to question 4.7
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP You must complete <i>IDAS form 14—Water storage</i> If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist If there are other aspects of taking or interfering with water proposed, then continue to question 4.7

4.7 Is the work for gravity diversion from a watercourse?

<input type="checkbox"/> No	<ul style="list-style-type: none"> Continue to question 4.8
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP You must complete <i>IDAS form 15—Gravity diversion from a watercourse</i> If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist If there are other aspects of taking or interfering with water proposed, then continue to question 4.8

4.8 Is the work for a watercourse diversion?

<input type="checkbox"/> No	<ul style="list-style-type: none"> Continue to question 4.9
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP You must complete <i>IDAS form 17—Watercourse diversion</i> If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist If there are other aspects of taking or interfering with water proposed, then continue to question 4.9

4.9 Is the work for other work for taking or interfering with water?

<input type="checkbox"/> No	<ul style="list-style-type: none"> End of part 4 of this checklist
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP You must complete <i>IDAS form 21—Other work in a watercourse</i> End of part 4 of this checklist

Part 5—For particular dams**5.1 Is the proposed operational work for the following?**

The construction of a dam more than 10 metres in height and having a storage capacity of more than 1500 megalitres	<input type="checkbox"/> Yes <input type="checkbox"/> No
The construction of a dam more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in relation to an existing non-referable dam that will result in the dam being more than 10 metres in height and having a storage capacity of more than 1500 megalitres	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work to an existing non-referable dam that will result in the dam being more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works that involve the increase of capacity of a non-referable dam by more than 10 per cent if the dam is: <ul style="list-style-type: none">• more than 10 metres in height and having a storage capacity of more than 1500 megalitres, or• more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works carried out in relation to a referable dam if, because of the works, the storage capacity of the dam will increase by more than 10% after the works are carried out.	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing a dam for which the chief executive under the <i>Water Supply (Safety and Reliability) Act 2008</i> has given a notice to have the dam failure impact assessed.	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, the proposed operational work is not required to be failure impact assessed and is therefore not assessable development. This is the end of part 5 of this checklist
- If **yes** to any of the above, this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Particular dams state code* in the SDAP.
 - You must complete *IDAS form 16—Particular dams*
 - End of part 5 of this checklist

Part 6—Tidal work**6.1 Is the proposed tidal work any of the following:**

Excluded work	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work that is self-assessable development under schedule 3, part 2, table 4, item 8 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 6.2.
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required.

6.2 Is any of the proposed tidal work prescribed tidal work?

<input type="checkbox"/> No	<ul style="list-style-type: none"> This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence against the <i>Tidal works, or development in a coastal management district state code</i> in the SDAP You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i> End of part 6 of this checklist
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i> This application requires assessment by the local government as assessment manager and the chief executive of DSDIP will be a concurrence agency for the application; you must refer a copy of the application to DSDIP End of part 6 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 5
- Sustainable Planning Regulation 2009, schedule 7, table 2, items 13 to 18

Part 7—Coastal management

7.1 Is the proposed operational work any of the following:

Excluded works	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work that is self-assessable development under schedule 3, part 2, table 4, item 8 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If no to all of the above, continue to question 7.2
- If yes to any of the above, this aspect of development is not assessable development and a development permit is not required. End of part 7 of this checklist.

7.2 Is the proposed operational work for any of the following?

Interfering with quarry material as defined under the <i>Coastal Protection and Management Act 1995</i> on state coastal land above high-water mark	<input type="checkbox"/> Yes <input type="checkbox"/> No
Disposing of dredge spoil or other solid waste material in tidal water	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing an artificial waterway	<input type="checkbox"/> Yes <input type="checkbox"/> No
Removing or interfering with coastal dunes on land, other than State coastal land, that is in an erosion prone area as defined in the <i>Coastal Protection and Management Act 1995</i> and above high-water mark	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If you answered no to all of the above, a development permit is not required for this aspect of development and that is the end of part 7 of this checklist
- If you answered yes to any of the above,
 - This application may require assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Tidal works, or development in a coastal management district state code* in the SDAP
 - You must complete *IDAS form 23—Tidal works and development within coastal management districts*
 - End of part 7 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 5
- Sustainable Planning Regulation 2009, schedule 7, table 2, items 13 to 18

Part 8—Waterway barrier works

8.1 Is the proposed operational work any of the following:

Work that is self-assessable development under schedule 3, part 2 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above,
 - A development permit is required for this aspect of development. This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Constructing or raising waterway barrier works in fish habitats state code* in the SDAP
 - You must complete *IDAS form 27—Waterway barrier works*
 - End of part 8 of this checklist
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required. End of part 8 of this checklist.

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 6
- Sustainable Planning Regulation 2009, schedule 3, part 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 29

Part 9—Declared fish habitat area

9.1 Is the operational work reasonably necessary for any of the following?

The maintenance of existing structures, including for example the following structures, if the structures were constructed in compliance with all the requirements under any Act relating to a structure of that type: <ul style="list-style-type: none"> • boat ramps, boardwalks, drains, fences, jetties, roads, safety signs, swimming enclosures and weirs • powerlines or associated powerline infrastructure. 	<input type="checkbox"/> Yes <input type="checkbox"/> No
Educational or research purposes relating to the declared fish habitat area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Monitoring the impact of development on the declared fish habitat area	<input type="checkbox"/> Yes <input type="checkbox"/> No
The construction or placement of structures, including for example, safety signs, swimming enclosures and aids to navigation, if: <ul style="list-style-type: none"> • the impact on the area is minor • the structures are constructed in compliance with all the requirements, under any Act relating to a structure of that type. 	<input type="checkbox"/> Yes <input type="checkbox"/> No
Public benefit works, including, for example, the construction of runnels for mosquito control, the removal of Lyngbya and seed collection for site rehabilitation, if the impact on the area is minor	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **yes** to any of the above, a permit is not required for this aspect of development but the proposed work must comply with any applicable self-assessable codes. End of part 9 of this checklist.
- If **no** to all of the above:
 - A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency, against the *Development in or adjacent to a declared fish habitat area state code* in the SDAP
 - You must complete *IDAS form 27—Waterway barrier works*
 - End of part 9 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 7
- Sustainable Planning Regulation 2009, schedule 3, part 2, table 4, item 3
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 26

Part 10—Removal, destruction or damage of a marine plant

10.1 Is the proposed operational work any of the following?

For reconfiguring a lot that is assessable development under table 3, item 1, if there is a development permit in effect for the reconfiguration	<input type="checkbox"/> Yes <input type="checkbox"/> No
For a material change of use that is assessable development, if there is a development permit in effect for the change of use	<input type="checkbox"/> Yes <input type="checkbox"/> No
Self-assessable development under schedule 3, part 2 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **yes** to any of the above, this aspect of development is not assessable development and no development permit is required. End of part 10 of this checklist.
- If **no** to all of the above, continue to question 10.2

10.2 Is the proposed operational work any of the following?

Specified works in the area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Operational work that is a necessary and unavoidable part of installing or maintaining works or infrastructure required to support other development for which a development permit or compliance permit is not required or, if a development application or a request for compliance assessment is required, the permit is held or has been applied for.	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, this aspect of development is prohibited development and a development application cannot be made. End of part 10 of this checklist.
- If **yes** to any of the above:
 - A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Removal, destruction or damage of marine plants state code* in the SDAP
 - You must complete *IDAS form 26—Marine plants and declared fish habitat areas*
 - End of part 10 of this checklist.

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 8
- Sustainable Planning Regulation 2009, schedule 3, part 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 30

Part 11—Great Barrier Reef Wetland Protection Areas

11.1 Is the proposed operational work for a domestic housing activity only?

- | | |
|------------------------------|--|
| <input type="checkbox"/> No | • Continue to question 11.2 |
| <input type="checkbox"/> Yes | • A development permit is not required for this aspect of development and this is the end of the checklist |

11.2 Is the proposed operational work the natural and ordinary consequence of a material change of use or reconfiguring a lot for which the state was a concurrence agency under schedule 7, table 3, item 21A or table 2, item 43A of the Sustainable Planning Regulation 2009?

- | | |
|------------------------------|--|
| <input type="checkbox"/> No | • Continue to question 11.3 |
| <input type="checkbox"/> Yes | • A development permit is not required for this aspect of development and this is the end of the checklist |

11.3 Is the proposed operational work associated with government supported transport infrastructure or electricity infrastructure?

- | | |
|------------------------------|--|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Wetland protection area state code</i> in the SDAP. • You must complete <i>IDAS form 33—Great Barrier Reef Wetland protection area</i> • End of part 11 of this checklist |
| <input type="checkbox"/> Yes | <ul style="list-style-type: none"> • A permit is not required for this aspect of development but the proposed work must comply with any applicable self assessable code • End of part 11 of this checklist |

Part 12—Construction or modification of a levee

12.1 Will the proposed operational work result in any of the following off-property impacts:

A change to the flow path of overland flow water where it enters or exits the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in the velocity of flood flow beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in flooded area beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in flood height beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If **no** to all of the above this development is categorised as a Category 1 levee and must comply with any applicable self-assessable code – end of this checklist
- If **yes** to any of the above continue to question 13.2

12.2 Will the proposed operational work result in any of the following impacts:

An increase in flood height above the floorboards in an occupied building that results in 3 or more people being affected	<input type="checkbox"/> Yes	<input type="checkbox"/> No
---	------------------------------	-----------------------------

An increase in flood velocity above the floorboards in an occupied building that results in 3 or more people being affected

☐ Yes ☐ No

- If **no** to all of the above:
 - This is categorised as a Category 2 levee and is subject to code assessment
 - A development permit is required and this application requires assessment by the local government as assessment manager against the applicable code for the construction or modification of a levee
 - You must complete *IDAS form 20—Interfering with overland flow water and construction or modification of a levee*.
 - End of this checklist.
- If **yes** to any of the above:
 - This is categorised as a Category 3 levee and is subject to impact assessment
 - A development permit is required and this application requires assessment by the local government as assessment manager against the applicable code for the construction or modification of a levee
 - This application will require assessment by the chief executive of DSDIP as concurrence agency against the *Construction or modification of levees state code* in the SDAP
 - You must complete *IDAS form 20—Interfering with overland flow water and construction or modification of a levee*.
 - End of this checklist.

Section references:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 11
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 48.

Privacy—please refer to your assessment manager for further details on the use of information recorded in this form

Disclaimer:

While the Department of State Development, Infrastructure and Planning (DSDIP) believes that the information contained on this checklist and provided as part of this process will be of assistance to you, it is provided on the basis that you will not rely on the information. It is your responsibility to make your own enquiries regarding the interpretation and application of the applicable legislation to your circumstances.

To the full extent permitted by law, DSDIP expressly disclaims all liability (including but not limited to liability for negligence) for errors or omissions of any kind or for any loss (including direct and indirect losses), damage or other consequence which may arise from your reliance on this process and the information contained on this checklist.

OFFICE USE ONLY

Date received

Reference numbers

The Sustainable Planning Act 2009 is administered by DSDIP. This checklist and all other required application materials should be sent to your assessment manager and any referral agency.

Department of State Development, Infrastructure and Planning
PO Box 15009 City East Qld 4002
tel 13 QGOV (13 74 68)
info@dsdip.qld.gov.au

www.dsdip.qld.gov.au

*Checklist 4—Operational work
Version 4.1—1 October 2014*



ENQUIRIES: Michelle Henderson
PHONE: (07) 4099 9457
FAX: (07) 4044 3836
YOUR REF: L70211
OUR REF: 8/37/153 SUB 039/04 (3499902)

21 February 2012

RECEIVED
23 FEB 2012

BY: OCK

N Romano
C/- RPS Australia East Pty Ltd
PO Box 1949
CAIRNS QLD 4870

Dear Sir/Madam

**DECISION NOTICE FOR REQUEST TO EXTEND RELEVANT PERIOD AND
REQUEST FOR PERMISSIBLE CHANGE TO CONDITIONS FOR 6889R CAPTAIN
COOK HIGHWAY KILLALOE**

With reference to the abovementioned request, the General Manager Planning & Environment, under Instrument of Delegation, approves the request to extend the relevant period of the approval for two (2) years up to and including 12 December 2013.

With regard to the Request for permissible change the General Manager Planning & Environment, under Instrument of Delegation partially approves and partially refuses the request to change the existing approval, Development Permit SUB 039/04 for Reconfiguring a Lot (1 lots into 4 lots) at Captain Cook Highway, Killaloe, being on Lot 4 on RP907338, whereby the development is to be undertaken in two (2) stages, with proposed Lots 1 and 2 to be created as Stage 1 and proposed Lots 3 and 4 to be created as Stage 2.

The notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

45.2005.4521
1/17

For all correspondence:
PO Box 359 Cairns Q 4870
Email: cairns@cairns.qld.gov.au
Web: cairns.qld.gov.au

Cairns Regional Council
119-145 Spence Street, Cairns Q 4870
P: 07 4044 3044 F: 07 4044 3022

Resource Australia Cairns Centre
64-66 Front Street, Mossman Q 4873
P: 07 4099 9444 F: 07 4098 2902

Should you have any enquires in relation to this Decision Notice, please contact Michelle Henderson of Council's Development Assessment Team on telephone number (07) 4099 9457.

Yours faithfully

A handwritten signature in black ink, appearing to be 'KR' with a stylized flourish.

Kelly Reaston
Manager Development Assessment

Att.



APPLICANT DETAILS

N Romano
C/- RPS Australia East Pty Ltd
PO Box 1949
CAIRNS QLD 4870

ADDRESS

6889R Captain Cook Highway Killaloe

REAL PROPERTY DESCRIPTION

Lot 4 on RP907338

PROPOSAL

Reconfiguring a Lot (1 Lot into 4 Lots)

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

21 February 2012

TYPE

Reconfiguration of a Lot (Development Permit)

REFERRAL AGENCIES

(State Controlled Roads, Public
Passenger Transport & Railway Matters)
Department of Transport and Main Roads
Far North Region (Cairns)
PO Box 6185
CAIRNS QLD 4870

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Operational Work

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

45,2005,4521
3/17

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

ASSESSMENT MANAGER CONDITIONS:

4.4 The applicant is required to enter into an environmental covenant with Cairns Regional Council "the Council", over all of the existing remnant vegetation on the subject site (Lot 4 on RP907338). The following requirements will be included in this covenant:

- (a) No landscaping in the defined covenant areas is to be undertaken without the express permission of "the Council";
- (b) The clearing of vegetation from the defined covenant areas will not be permitted other than as approved by the Council;
- (c) The defined covenant area is to be properly surveyed and is to include all of Lots 1, 2, 3 & 4 covered by existing remnant vegetation, with the exception of the proposed access and building envelopes for Lots 2, 3 & 4 as shown on drawing number 62384-6 and all land below RL 50metres AHD on Lot 1. The maximum width of the driveway is to be 4.0m and the maximum area of the proposed building envelopes are 1200m².

The proposed access and building envelope identified for proposed Lot 1 will not be permitted until the existing dwelling/s have been removed or a Material Change of Use permits the construction of an additional dwelling on the land.

- (d) Any works, including drainage and vegetation clearing, undertaken outside the defined covenant area by the lot owner shall not prejudice the integrity of the existing vegetation nor the visual amenity of the ridgeline and hill slope;
- (e) No structures shall be constructed within the covenant areas other than as approved by the Council.

This covenant is to be drafted and approved by Council prior to endorsement of the Plan of Survey. This Covenant is to be binding on successive owners of the land and a copy of this Covenant is to included in the contract documentation for the sale of the effected allotments.

DECISION NOTICE DETAILS
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- (f) The Covenant over proposed Lot 1 may have flexibility to accommodate some minor agricultural practices under the existing canopy. Any approval for these activities is to be granted by the Covenantor and Covenantee.
- (g) Nothing in this Covenant prevents the Covenantor from removing or damaging vegetation protected by this Covenant:
 - (i) Which poses an immediate and severe danger to persons or property; and/or
 - (ii) Which is authorised by a relevant authority for the provision or maintenance of a firebreak in accordance with the *Fire and Rescue Service Act 1990* or any other applicable Acts, Regulations, Local Laws and Subordinate Local Laws.

4.7 Water Supply Headworks

~~The applicant shall pay to the Council headworks contributions for water supply and sewerage in accordance with Council's Local Planning Policy: "Determination of Contributions for Water Supply and Sewerage Headworks and External Works" ("the Policy").~~

~~The contribution shall be calculated at the rate per Equivalent Domestic Connection ("EDC") applicable at the time of payment in accordance with the Policy.~~

~~For information purposes only:~~

~~(a) The Current rates per EDC at the time of this approval are:~~

~~Water Supply: \$10,504.00~~

~~(b) The current number of EDCs for the approved use are:~~

~~Water Supply: 1~~

Developer Contributions

Pay a monetary contribution to Council in accordance with the Planning Scheme Policy towards the provision of water supply.

Contributions must be paid at the rates applicable at time of payment.

Payment is required prior to the issue of a Compliance Certificate for the Plan of Survey.

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

All other conditions of the Decision Notice dated 12 December 2005 (attached) remain unchanged.

RIGHTS OF APPEAL

Attached

End of Decision Notice

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

Appendix 1 APPROVED PLAN(S) & DOCUMENT(S)

ENQUIRIES: Mrs Jenny Elphinstone
PHONE: (07) 4099 9482
FAX: (07) 4044 3535
YOUR REF:
OUR REF: 8/58/2 2149204

29 June 2009

Conics (Cairns) Pty Ltd
PO Box 1949
CAIRNS QLD 4870

Dear Sir/Madam

EXTENSION OF CURRENCY PERIOD
FOR DEVELOPMENT APPLICATION -
8/38/2 CAPTAIN COOK HIGHWAY KILLALOE

In accordance with Section 3.5.7 of the *Integrated Planning Act 1997*, please be advised that Council has extended the decision period for two (2) years, up to and including 12 December 2011, subject to the conditions contained within the Decision Notice dated 12 December 2005 (copy attached).

Should you require any further information or assistance, please contact Mrs Jenny Elphinstone of Council's Development Assessment Team on telephone number (07) 4099 9482.

Yours faithfully

Simon Clarke
Manager Development Assessment

Att.

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1/11

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

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3. Referral Agency:

Department of Main Roads
PO Box 6185
CAIRNS QLD 4870

Attn: Mr Malcolm Hardy

4. Conditions

Plan of Reconfiguration

- 4.1 The approved reconfiguration and the carrying out of any works on the premises associated with the development must be in accordance with Plan of Reconfiguration No. 62384-5 dated 01/12/04 with the following amendments:

- (a) Delete

Electrical & Telephone Services

- 4.2 Prior to the approval of the Plan of Survey, the Applicant must submit to Council a copy of a letter from Byron Energy stating that electrical services have been made available to proposed Lots 1-4.
- 4.3 Prior to the approval of the Plan of Survey, the Applicant must submit to Council a copy of a letter from Telstra stating that telephone services have been made available to proposed Lots 1-4.

Covenant

- 4.4 The applicant is required to enter into an environmental covenant with Douglas Shire Council "the Council", over all of the existing remnant vegetation on the subject site (Lot 4 on RP907338). The following requirements will be included in this covenant:
- (a) No landscaping in the defined covenant areas is to be undertaken without the express permission of "the Council";
 - (b) The clearing of vegetation from the defined covenant areas will not be permitted other than as approved by the Council;
 - (c) The defined covenant area is to be properly surveyed and is to include all of Lots 1, 2, 3 & 4 covered by existing remnant vegetation, with the exception of the proposed access and building envelopes for Lots 2, 3 & 4 as shown on drawing number 62384-5 and all land below RL 30metres AHD on Lot 1. The maximum width of the driveway is to be 4.0m and the maximum area of the proposed building envelopes are 1200m².

.../3.

-3-

The proposed access and building envelope identified for proposed Lot 1 will not be permitted until the existing dwellings have been removed or a Material Change of Use permits the construction of an additional dwelling on the land.

- (d) Any works, including drainage and vegetation clearing, undertaken outside the defined covenant area by the lot owner shall not prejudice the integrity of the existing vegetation nor the visual amenity of the ridge-line and hill slopes;
- (e) No structures shall be constructed within the covenant areas other than as approved by the Council.

This covenant is to be drafted and approved by Council prior to endorsement of the Plan of Survey. This Covenant is to be binding on successive owners of the land and a copy of this Covenant is to be included in the contract documentation for the sale of the effected allotments.

- (f) The Covenant over proposed Lot 1 may have flexibility to accommodate some minor agricultural practices under the existing strategy. Any approval for these activities is to be granted by the Covenantee and Covenantor.

Amenity

- 4.3 Any development, including dwellings, sheds and auxiliary buildings, undertaken outside the covenant area shall reduce the visual impact on the amenity of the area by:

- (i) minimising mow-down and filling of the site;
- (ii) limiting the colour of any structure to those identified on the attached, approved colour schemes; and
- (iii) including landscaping measures, including the retention of trees, to screen development from the Captain Cook Highway.
- (iv) The roof line of any dwelling on site should be kept below the visual line of the ridge-line.

Road Works

- 4.4 The applicant must undertake the following works:

External

- (a) Provision is to be made for the following works external to the subject site in accordance with Council's requirements including:

- i. **Francis Road**

- (a) 8.0m wide formation with a 3.5m wide gravel pavement and 1.25m wide shoulders for the full length of the road.

...16.

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

-4-

- (b) Upgrading the intersection of Francis Road with the Highway to AUSTRROADS standards in accordance with Section D1.29 of the FVQ Development Manual.

(c) **Internal Accesses**

- (a) The internal accesses contained within the proposed *accessways* to have a maximum width of 4.0m, with provision of passing area up to 5.0m wide.
- (b) Internal access to each site is required to be sealed (concrete/bitumen), in locations where the slope exceeds fifteen degrees (15°). The applicant will be required to install sediment control devices on this access to manage erosion and sediment loss off-site.

All works are to be shown on the engineering plans for Operational Works approval.

Water Supply Methodology

- 4.7 The Applicant shall pay to the Council *hardworks* contributions for water supply and sewerage in accordance with Council's Local Planning Policy: "Determination of Contributions for Water Supply and Sewerage *Hardworks* and External Works" ("the Policy").

The contribution shall be calculated at the rate per Equivalent Domestic Connection ("EDC") applicable at the time of payment in accordance with the Policy.

For information purposes only:

- (a) The current rates per EDC at the time of this approval are:
- | | |
|--------------|-------------|
| Water Supply | \$19,504.00 |
|--------------|-------------|
- (b) The current number of EDCs for the approved use are:
- | | |
|--------------|---|
| Water Supply | 1 |
|--------------|---|

Maintenance Period

- 4.8 The Applicant shall maintain in accordance with the requirements of the Operational Works Development Form it and the For North Queensland Regional Organisation of Councils Development Manual all road construction works of any nature whatsoever and any drainage works carried out under the provisions of the subdivision of the land and any *parkland* works for a period of twenty-four (24) months. The Applicant shall *take* good within each period any defects arising from faulty workmanship or materials in respect to such road construction and drainage works carried out as part of the works associated with the subdivision.

.../5.

-3-

Sewerage

- 4.9 The minimum level of on-site treatment of waste for Lots 1, 2, 3 & 4 (if dwelling is to be located on Lot 1/2/3/4) is Advanced Secondary in accordance with the requirements of the *Catchment Sewerage Code - July 2002*.

Water Supply

- 4.10 The applicant is required to provide to each allotment an adequate supply of potable water in both quantity and quality in accordance with Australian Standards, prior to the endorsement of the plan of survey. Alternatively, should each site have an individual bore source, the applicant is to demonstrate to the Council that an adequate supply of potable water in both quantity and quality in accordance with the Australian Standard, is available to each lot prior to endorsement of the Plan of Survey.

Contract of Sale

- 4.11 The applicant is to notify prospective purchasers of the requirements of conditions 1, 2, 3 and 4 on the contract of sale.

Defect Period

- 4.12 The development authorised by this Development Permit must cease at the expiration of four (4) years from the day that this Development Permit takes effect under the *Integrated Planning Act 1997* unless a detailed plan of survey has been lodged with Council for endorsement and all conditions of this approval complied with.


Compliance with Conditions

- 4.13 The Plan of Survey with associated documents shall not be endorsed by Council until all of the conditions of approval have been complied with.

5. Further Development Approvals Required:

Operational Works

Developmental Permits

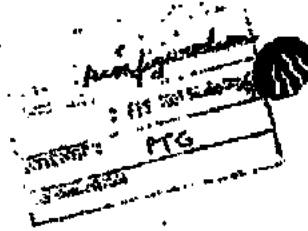


J.R. Noddy
Acting Chief Executive Officer

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

3 February 2011

Mr TADOKCHI
Chief Executive Officer
Douglas Shire Council
PO Box 267
Marrumbidgee NSW 2533



Queensland
Government

Department of Main Roads

Douglas Shire

Douglas Shire: Capital Creek Highway (Oxley-Murrumbidgee)
Located adjacent to Douglas Shire Road Intersection, Kildare
Lot 6 on RP 59011, Parish of Viner
Bony Creek Road
Proposed Road Widening of Lot 6 (Additional Information) Application
Referenced Agency's Report No. (2010/0000000000)

I refer to the above application received at the Department 21 January 2011 requesting consideration of the above development.

A. CONDITIONS OF DEVELOPMENT

Pursuant to the *Sustainable Planning Act 2009*, the Queensland Department of Main Roads, as a Competent Authority, has assessed the impact of the proposed development on the State-controlled road network and requires that Council include the following conditions of development for the subject application:

1. Permitted Road Access Location

- (1) Access between the State-controlled road (i.e. Capital Creek Highway) and the proposed Lot 1 shall be via a new single access located 25m north of the existing access to the existing dwelling house on the subject land, only. The existing access to the existing dwelling house and to the existing care home shall be permanently closed.
- (2) Access between the State-controlled road (i.e. Capital Creek Highway) and the proposed Lot 2, 3 and 4 shall be via Pamela Road, to the satisfaction of Douglas Shire Council.
- (3) No additional direct access between the Capital Creek Highway and the subject land is permitted.

2. Road Access Works

- (1) Road access works at the permitted road access location are required and shall be constructed to meet the standards of the

Queensland Department of Main Roads
Permitted Access
PTG
Queensland Department of Main Roads
Address: 100/101 111

Queensland Department of Main Roads
Permitted Access
Queensland Department of Main Roads
Telephone: 07 5500 0000
Facsimile: 07 5500 0000

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DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

- 3 -

Summary

The reasons and information used in the making of conditions attached above includes:

- Department of Water Supply, Sewerage and Drainage
- Department of Water Supply, Sewerage and Drainage in Development Applications, Building and Assessment
- Council, and
- Douglas Water Planning Scheme.

2.1. OVERALL DISCUSSION

Council is required to refer Condition 1 and 4 above to the Council, to ensure that the proposed conditions of Condition 1 and 4 are met.

This Department would appreciate a copy of Council's decision on the application.

A copy of this letter has been sent to the applicant.

Yours sincerely


Paul Pagan
ADJUTANT (TRANSPORT PLANNING) PERMITTING

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15/17

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Maths Record

Fig. 1

Fig. 2

Top Surface of Road

Gutter

Side Drain

Subgrade

Roadway

Fig. 1 and Fig. 2 are cross-sectional views of a road construction. Fig. 1 shows a road with a central gutter and side drains, with labels for 'Top Surface of Road', 'Gutter', 'Side Drain', 'Subgrade', and 'Roadway'. Fig. 2 shows a similar road cross-section with labels for 'Top Surface of Road', 'Gutter', 'Side Drain', 'Subgrade', and 'Roadway'.

ORDER FROM THE DIRECTOR, FBI

Page 1 of 2

Division 8 **Appeals to court relating to
development applications and
approvals**

461 **Appeals by applicants**

- (1) An applicant for a development application may appeal to the court against any of the following—
 - (a) the refusal, or the refusal in part, of the development application;
 - (b) any condition of a development approval, another matter stated in a development approval and the identification or inclusion of a code under section 242;
 - (c) the decision to give a preliminary approval when a development permit was applied for;
 - (d) the length of a period mentioned in section 341;
 - (e) a deemed refusal of the development application.
- (2) An appeal under subsection (1)(a), (b), (c) or (d) must be started within 20 business days (the *applicant's appeal period*) after—

[s 462]

- (a) if a decision notice or negotiated decision notice is given—the day the decision notice or negotiated decision notice is given to the applicant; or
 - (b) otherwise—the day a decision notice was required to be given to the applicant.
- (3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.

462 Appeals by submitters—general

- (1) A submitter for a development application may appeal to the court only against—
 - (a) the part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment under section 314; or
 - (b) the part of the approval relating to the assessment manager's decision under section 327.
- (2) To the extent an appeal may be made under subsection (1), the appeal may be against 1 or more of the following—
 - (a) the giving of a development approval;
 - (b) any provision of the approval including—
 - (i) a condition of, or lack of condition for, the approval; or
 - (ii) the length of a period mentioned in section 341 for the approval.
- (3) However, a submitter may not appeal if the submitter—
 - (a) withdraws the submission before the application is decided; or
 - (b) has given the assessment manager a notice under section 339(1)(b)(ii).

- (4) The appeal must be started within 20 business days (the *submitter's appeal period*) after the decision notice or negotiated decision notice is given to the submitter.

463 Additional and extended appeal rights for submitters for particular development applications

- (1) This section applies to a development application to which chapter 9, part 7 applies.
- (2) A submitter of a properly made submission for the application may appeal to the court about a referral agency's response made by a prescribed concurrence agency for the application.
- (3) However, the submitter may only appeal against a referral agency's response to the extent it relates to—
- (a) if the prescribed concurrence agency is the chief executive (environment)—development for an aquacultural ERA; or
 - (b) if the prescribed concurrence agency is the chief executive (fisheries)—development that is—
 - (i) a material change of use of premises for aquaculture; or
 - (ii) operational work that is the removal, damage or destruction of a marine plant.
- (4) Despite section 462(1), the submitter may appeal against the following matters for the application even if the matters relate to code assessment—
- (a) a decision about a matter mentioned in section 462(2) if it is a decision of the chief executive (fisheries);
 - (b) a referral agency's response mentioned in subsection (2).

[s 464]

464 Appeals by advice agency submitters

- (1) Subsection (2) applies if an advice agency, in its response for an application, told the assessment manager to treat the response as a properly made submission.
- (2) The advice agency may, within the limits of its jurisdiction, appeal to the court about—
 - (a) any part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment under section 314; or
 - (b) any part of the approval relating to the assessment manager's decision under section 327.
- (3) The appeal must be started within 20 business days after the day the decision notice or negotiated decision notice is given to the advice agency as a submitter.
- (4) However, if the advice agency has given the assessment manager a notice under section 339(1)(b)(ii), the advice agency may not appeal the decision.

465 Appeals about decisions relating to extensions for approvals

- (1) For a development approval given for a development application, a person to whom a notice is given under section 389, other than a notice for a decision under section 386(2), may appeal to the court against the decision in the notice.
- (2) The appeal must be started within 20 business days after the day the notice of the decision is given to the person.
- (3) Also, a person who has made a request under section 383 may appeal to the court against a deemed refusal of the request.
- (4) An appeal under subsection (3) may be started at any time after the last day the decision on the matter should have been made.

466 Appeals about decisions relating to permissible changes

- (1) For a development approval given for a development application, the following persons may appeal to the court against a decision on a request to make a permissible change to the approval—
 - (a) if the responsible entity for making the change is the assessment manager for the application—
 - (i) the person who made the request; or
 - (ii) an entity that gave a notice under section 373 or a pre-request response notice about the request;
 - (b) if the responsible entity for making the change is a concurrence agency for the application—the person who made the request.
- (2) The appeal must be started within 20 business days after the day the person is given notice of the decision on the request under section 376.
- (3) Also, a person who has made a request under section 369 may appeal to the court against a deemed refusal of the request.
- (4) An appeal under subsection (3) may be started at any time after the last day the decision on the matter should have been made.

467 Appeals about changing or cancelling conditions imposed by assessment manager or concurrence agency

- (1) A person to whom a notice under section 378(9)(b) giving a decision to change or cancel a condition of a development approval has been given may appeal to the court against the decision in the notice.
- (2) The appeal must be started within 20 business days after the day the notice of the decision is given to the person.

Division 9 Appeals to court about compliance assessment

468 Appeals against decision on request for compliance assessment

- (1) A person to whom an action notice has been given under section 405(5) about a request for compliance assessment of development, a document or work may appeal to the court against the decision in the notice.
- (2) The appeal must be started within 20 business days after the notice is given to the person.

469 Appeals against condition imposed on compliance permit or certificate

- (1) A person who is given a compliance permit or compliance certificate subject to any conditions may appeal to the court against the decision to impose the condition.
- (2) The appeal must be started within 20 business days after the day the compliance permit or compliance certificate is given to the person.

470 Appeals against particular decisions about compliance assessment

- (1) A person to whom any of the following notices have been given may appeal to the court against the decision in the notice—
 - (a) a notice of a decision on a request to change or withdraw an action notice;
 - (b) a notice under section 413(2)(c) about a decision to refuse a request to change a compliance permit or compliance certificate.
- (2) The appeal must be started within 20 business days after the day the notice is given to the person.

Division 10 Appeals to court about other matters

471 Appeal by applicant for approval of a proposed master plan

- (1) A person who has applied for an approval of a proposed master plan may appeal to the court against—
 - (a) the refusal, or the refusal in part, to give the approval; or
 - (b) a matter stated in the notice of decision about the application; or
 - (c) a deemed refusal of the master plan application.
- (2) An appeal under subsection (1)(a) or (b) must be started within 20 business days (the *applicant's appeal period*) after the day the applicant is given notice of the decision.
- (3) An appeal under subsection (1)(c) may be started at any time after the last day a decision on the matter should have been made.

472 Appeal about extension of period under s 98

- (1) A person who has requested an extension under section 98(2) may appeal to the court against a refusal of the request.
- (2) An appeal under subsection (1) must be started within 20 business days after the day the person is given notice of the refusal.
- (3) Also, a person who has made a request under section 98(2) may appeal to the court against a deemed refusal of the request.
- (4) An appeal under subsection (3) may be started at any time after the last day the decision on the matter should have been made.

[s 473]

- (5) However, an appeal under this section may only be about whether the refusal is so unreasonable that no reasonable relevant local government could have refused the request.

473 Appeals against enforcement notices

- (1) A person who is given an enforcement notice may appeal to the court against the giving of the notice.
- (2) The appeal must be started within 20 business days after the day notice is given to the person.

474 Stay of operation of enforcement notice

- (1) The lodging of a notice of appeal about an enforcement notice stays the operation of the enforcement notice until—
 - (a) the court, on the application of the entity issuing the notice, decides otherwise; or
 - (b) the appeal is withdrawn; or
 - (c) the appeal is dismissed.
- (2) However, subsection (1) does not apply if the enforcement notice is about—
 - (a) a work, if the enforcement notice states the entity believes the work is a danger to persons or a risk to public health; or
 - (b) stopping the demolition of a work; or
 - (c) clearing vegetation on freehold land; or
 - (d) the removal of quarry material allocated under the *Water Act 2000*; or
 - (e) extracting clay, gravel, rock, sand or soil, not mentioned in paragraph (d), from Queensland waters; or
 - (f) development the assessing authority reasonably believes is causing erosion or sedimentation; or

- (g) development the assessing authority reasonably believes is causing an environmental nuisance.

475 Appeals against local laws

- (1) This section applies if—
 - (a) an applicant is dissatisfied with a decision of a local government or the conditions applied under a local law about the use of premises or the erection of a building or other structure; and
 - (b) the use is not prohibited development under the planning scheme or a temporary local planning instrument for the planning scheme area.
- (2) The applicant may appeal to the court against the decision or the conditions applied.
- (3) The appeal must be started within 20 business days after the day notice of the decision is given to the applicant.

476 Appeals against decisions on compensation claims

- (1) A person who is dissatisfied with a decision under section 710 or 716 for the payment of compensation may appeal to the court against—
 - (a) the decision; or
 - (b) a deemed refusal of the claim.
- (2) An appeal under subsection (1)(a) must be started within 20 business days after the day notice of the decision is given to the person.
- (3) An appeal under subsection (1)(b) may be started at any time after the last day a decision on the matter should have been made.

[s 477]

477 Appeals against decisions on requests to acquire designated land under hardship

- (1) A person who is dissatisfied with a designator's decision to refuse a request made by the person under section 222 may appeal to the court against—
 - (a) the decision; or
 - (b) a deemed refusal of the request.
- (2) An appeal under subsection (1)(a) must be started within 20 business days after the day notice of the decision is given to the person.
- (3) An appeal under subsection (1)(b) may be started at any time after the last day a decision on the matter should have been made.

478 Appeals about particular charges for infrastructure

- (1) This section applies to a person who has been given, and is dissatisfied with—
 - (a) an infrastructure charges notice, regulated infrastructure charges notice or regulated State infrastructure charges notice; or
 - (b) a negotiated infrastructure charges notice, negotiated regulated infrastructure charges notice or negotiated regulated State infrastructure charges notice.
- (2) The person may appeal to the court against the notice.
- (3) An appeal against a notice mentioned in subsection (1) must be started within 20 business days after the day the notice is given to the person.
- (4) An appeal under this section may only be about—
 - (a) whether a charge in the notice is so unreasonable that no reasonable relevant local government, State infrastructure provider or coordinating agency could have imposed it; or

- (b) an error in the calculation of the charge.
- (5) To remove any doubt, it is declared that an appeal under this section can not be about the methodology used to establish the charge in the relevant infrastructure charges schedule, regulated infrastructure charges schedule or regulated State infrastructure charges schedule.

479 Appeals from building and development committees

- (1) A party to a proceeding decided by a building and development committee may appeal to the court against the committee's decision, but only on the ground—
 - (a) of an error or mistake in law on the part of the committee; or
 - (b) that the committee had no jurisdiction to make the decision or exceeded its jurisdiction in making the decision.
- (2) An appeal against a building and development committee's decision must be started within 20 business days after the day notice of the committee's decision is given to the party.

480 Court may remit matter to building and development committee

If an appeal includes a matter within the jurisdiction of a building and development committee and the court is satisfied the matter should be dealt with by a building and development committee, the court must remit the matter to the committee for decision.

Division 11 Making an appeal to court

481 How appeals to the court are started

- (1) An appeal is started by lodging written notice of appeal with the registrar of the court.

[s 482]

- (2) The notice of appeal must state the grounds of the appeal.
- (3) The person starting the appeal must also comply with the rules of the court applying to the appeal.
- (4) However, the court may hear and decide an appeal even if the person has not complied with subsection (3).

482 Notice of appeal to other parties—development applications and approvals

- (1) An appellant under division 8 must give written notice of the appeal to—
 - (a) if the appellant is an applicant—
 - (i) the chief executive; and
 - (ii) the assessment manager; and
 - (iii) any concurrence agency; and
 - (iv) any principal submitter whose submission has not been withdrawn; and
 - (v) any advice agency treated as a submitter whose submission has not been withdrawn; or
 - (b) if the appellant is a submitter or an advice agency whose response to the development application is treated as a submission for an appeal—
 - (i) the chief executive; and
 - (ii) the assessment manager; and
 - (iii) any referral agency; and
 - (iv) the applicant; or
 - (c) if the appellant is a person to whom a notice mentioned in section 465(1) has been given—
 - (i) the chief executive; and
 - (ii) the assessment manager for the development application to which the notice relates; and

- (iii) any entity that was a concurrence agency for the development application to which the notice relates; and
 - (iv) the person who made the request under section 383 to which the notice relates, if the person is not the appellant; or
 - (d) if the appellant is a person mentioned in section 466(1)—
 - (i) the chief executive; and
 - (ii) the responsible entity for making the change to which the appeal relates; and
 - (iii) the person who made the request to which the appeal relates under section 369, if the person is not the appellant; and
 - (iv) if the responsible entity is the assessment manager—any entity that was a concurrence agency for the development application to which the notice of the decision on the request relates; or
 - (e) if the appellant is a person to whom a notice mentioned in section 467 has been given—the entity that gave the notice.
- (2) The notice must be given within—
- (a) if the appellant is a submitter or advice agency whose response to the development application is treated as a submission for an appeal—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (3) The notice must state—
- (a) the grounds of the appeal; and
 - (b) if the person given the notice is not the respondent or a co-respondent under section 485—that the person may, within 10 business days after the notice is given, elect to

become a co-respondent to the appeal by filing in the court a notice of election in the approved form.

483 Notice of appeals to other parties—compliance assessment

- (1) An appellant under division 9 must, within 10 business days after the day the appeal is started, give written notice of the appeal to—
 - (a) if the appellant is a person to whom an action notice, compliance permit or compliance certificate has been given—
 - (i) the compliance assessor who gave the notice, permit or certificate; and
 - (ii) if the compliance assessor was a nominated entity of a local government and a copy of the request for compliance assessment was given to the local government under section 402—the local government; or
 - (b) if the appellant is a person to whom a notice mentioned in section 470(1) has been given—
 - (i) the entity that gave the notice; and
 - (ii) if the entity that gave the notice was a nominated entity of a local government and the written agreement of the local government was required to give the notice—the local government.
- (2) The notice must state the grounds of the appeal.

484 Notice of appeal to other parties—other matters

- (1) An appellant under division 10 must, within 10 business days after the day the appeal is started, give written notice of the appeal to—

- (a) if the appeal is under section 471—the local government and coordinating agency for the application for approval of the master plan; or
 - (b) if the appeal is under section 472 or 475—the local government; or
 - (c) if the appeal is under section 478—the entity that gave the notice the subject of the appeal; or
 - (d) if the appellant is a person to whom an enforcement notice is given—the entity that gave the notice and if the entity is not the local government, the local government; or
 - (e) if the appellant is a person dissatisfied with a decision about compensation—the local government that decided the claim; or
 - (f) if the appellant is a person dissatisfied with a decision about acquiring designated land—the designator; or
 - (g) if the appellant is a party to a proceeding decided by a building and development committee—the other party to the proceeding.
- (2) The notice must state the grounds of the appeal.

485 Respondent and co-respondents for appeals under div 8

- (1) Subsections (2) to (8) apply for appeals under sections 461 to 464.
- (2) The assessment manager is the respondent for the appeal.
- (3) If the appeal is started by a submitter, the applicant is a co-respondent for the appeal.
- (4) Any submitter may elect to become a co-respondent for the appeal.
- (5) If the appeal is about a concurrence agency's response, the concurrence agency is a co-respondent for the appeal.

[s 486]

- (6) If the appeal is only about a concurrence agency's response, the assessment manager may apply to the court to withdraw from the appeal.
- (7) The respondent and any co-respondents for an appeal are entitled to be heard in the appeal as a party to the appeal.
- (8) A person to whom a notice of appeal is required to be given under section 482 and who is not the respondent or a co-respondent for the appeal may elect to be a co-respondent.
- (9) For an appeal under section 465—
 - (a) the assessment manager is the respondent; and
 - (b) if the appeal is started by a concurrence agency that gave the assessment manager a notice under section 385—the person asking for the extension the subject of the appeal is a co-respondent; and
 - (c) any other person given notice of the appeal may elect to become a co-respondent.
- (10) For an appeal under section 466—
 - (a) the responsible entity for making the change to which the appeal relates is the respondent; and
 - (b) if the responsible entity is the assessment manager—
 - (i) if the appeal is started by a person who gave a notice under section 373 or a pre-request response notice—the person who made the request for the change is a co-respondent; and
 - (ii) any other person given notice of the appeal may elect to become a co-respondent.
- (11) For an appeal under section 467, the respondent is the entity given notice of the appeal.

486 Respondent and co-respondents for appeals under div 9

- (1) For an appeal under section 468 or 469—
 - (a) the compliance assessor is the respondent; and

- (b) if the compliance assessor is a nominated entity of a local government and the appeal relates to a matter required by a local government—the local government is a co-respondent.
- (2) However, if the appeal is only about a matter required by the local government, the compliance assessor may apply to the court to withdraw from the appeal.
- (3) For an appeal under section 470—
 - (a) the entity that gave the notice to which the appeal relates is the respondent; and
 - (b) if the entity mentioned in paragraph (a) is a nominated entity of a local government and the local government did not agree to the request mentioned in section 470(1)—the local government is a co-respondent.
- (4) However, if the appeal is only about the local government's refusal of the request, the entity that gave the notice to which the appeal relates may apply to the court to withdraw from the appeal.

487 Respondent and co-respondents for appeals under div 10

- (1) This section applies if an entity is required under section 484 to be given a notice of an appeal.
- (2) The entity given notice is the respondent for the appeal.
- (3) However, if under a provision of the section more than 1 entity is required to be given notice, only the first entity mentioned in the provision is the respondent.
- (4) The second entity mentioned in the provision may elect to be a co-respondent.

488 How an entity may elect to be a co-respondent

An entity that is entitled to elect to be a co-respondent to an appeal may do so, within 10 business days after notice of the

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appeal is given to the entity, by following the rules of court for the election.

489 Minister entitled to be party to an appeal involving a State Interest

If the Minister is satisfied an appeal involves a State interest, the Minister may, at any time before the appeal is decided, elect to be a party to the appeal by filing in the court a notice of election in the approved form.

490 Lodging appeal stops particular actions

- (1) If an appeal, other than an appeal under section 465, 466 or 467, is started under division 8, the development must not be started until the appeal is decided or withdrawn.
- (2) If an appeal is about a condition imposed on a compliance permit, the development must not be started until the appeal is decided or withdrawn.
- (3) Despite subsections (1) and (2), if the court is satisfied the outcome of the appeal would not be affected if the development or part of the development is started before the appeal is decided, the court may allow the development or part of the development to start before the appeal is decided.

292 Advice agency's response powers

- (1) An advice agency's response may, within the limits of the advice agency's jurisdiction, make a recommendation to the assessment manager about any aspect of the application relevant to the assessment manager's decision on the application, including, for example—
 - (a) the conditions that should attach to any development approval; and

[s 293]

- (b) that any approval should be for part only of the application; and
 - (c) that any approval should be a preliminary approval only.
- (2) Alternatively, an advice agency's response may, within the limits of the advice agency's jurisdiction, advise the assessment manager that—
 - (a) the advice agency has no recommendations relating to the application; or
 - (b) it should refuse the application.
- (3) An advice agency's response may also tell the assessment manager to treat the response as a properly made submission.



62384

12 DEC 2005

ENQUIRIES Mr Paul Gleeson
DEPARTMENT: Manager Planning Services - ☎ (07) 4099 9456

CIC REF: SUB 039/04
YOUR REF:

Mr Leslie (Barry) Crockford
PO Box 355
MOSSMAN QLD 4873

12 December 2005

**INTEGRATED PLANNING ACT
NEGOTIATED DECISION NOTICE
DEVELOPMENT APPLICATION**

Applicant's Name : Mr Barry Crockford
Owner's Name : Mr LB Crockford
Proposal : Council approve the application for a Reconfiguring a Lot Development Permit by Leslie Crockford to create 4 allotments from an existing allotment described as Lot 4 on RP907338 and located at Captain Cook Highway and Francis Road, Killaloe
Application Number : SUB 039/04
Site Address : Captain Cook Highway, Killaloe
Property Description : Lot 4 on RP907338, Parish of Victory, County of Solander

This Negotiated Decision Notice supersedes the Decision Notice dated 11 April 2005. Conditions 4.1 and 4.4 have been amended all other conditions remain unchanged.

1. **Decision:** **Decision Date:** 6th December 2005

Approved subject to Conditions

2. **Type of Development Approval:**

Reconfiguration a Lot

Development Permit

ADMINISTRATION CENTRE
(ALL DEPARTMENTS)
64-66 FRONT STREET, MOSSMAN

PHONE (07) 4099 9444 FACSIMILE (07) 4098 2902
EMAIL douglas@dsc.qld.gov.au
INTERNET www.dsc.qld.gov.au

ALL COMMUNICATIONS TO BE
ADDRESSED TO:
THE CHIEF EXECUTIVE OFFICER
P.O. BOX 357
MOSSMAN QLD 4873

LIBRARY 14 MILL ST., MOSSMAN

PHONE (07) 4099 9496 FACSIMILE (07) 4098 3298

3. Referral Agency:

Department of Main Roads
PO Box 6185
CAIRNS QLD 4870

Attn: Mr Malcolm Hardy

4. Conditions

Plan of Reconfiguration

- 4.1 The approved reconfiguration and the carrying out of any works on the premises associated with the development must be in accordance with Plan of Reconfiguration No. 62384-6 dated 01/12/04 with the following amendment:

- (a) delete

Electrical & Telephone Services

- 4.2 Prior to the approval of the Plan of Survey, the Applicant must submit to Council a copy of a letter from Ergon Energy stating that electrical services have been made available to proposed Lots 1-4.
- 4.3 Prior to the approval of the Plan of Survey, the Applicant must submit to Council a copy of a letter from Telstra stating that telephone services have been made available to proposed Lots 1-4.

Covenant

- 4.4 The applicant is required to enter into an environmental covenant with Douglas Shire Council "the Council", over all of the existing remnant vegetation on the subject site (Lot 4 on RP907338). The following requirements will be included in this covenant:
- (a) No landscaping in the defined covenant areas is to be undertaken without the express permission of "the Council";
- (b) The clearing of vegetation from the defined covenant areas will not be permitted other than as approved by the Council;
- (c) The defined covenant area is to be properly surveyed and is to include all of Lots 1, 2, 3 & 4 covered by existing remnant vegetation, with the exception of the proposed access and building envelopes for Lots 2, 3 & 4 as shown on drawing number 62384-6 and all land below RL 50metres AHD on Lot 1. The maximum width of the driveway is to be 4.0m and the maximum area of the proposed building envelopes are 1200m².

The proposed access and building envelope identified for proposed Lot 1 will not be permitted until the existing dwelling/s have been removed or a Material Change of Use permits the construction of an additional dwelling on the land.

- (d) Any works, including drainage and vegetation clearing, undertaken outside the defined covenant area by the lot owner shall not prejudice the integrity of the existing vegetation nor the visual amenity of the ridgeline and hill slope;
- (e) No structures shall be constructed within the covenant areas other than as approved by the Council.

This covenant is to be drafted and approved by Council prior to endorsement of the Plan of Survey. This Covenant is to be binding on successive owners of the land and a copy of this Covenant is to be included in the contract documentation for the sale of the effected allotments.

- (f) The Covenant over proposed Lot 1 may have flexibility to accommodate some minor agricultural practices under the existing canopy. Any approval for these activities is to be granted by the Covenantor and Covenantee.

Amenity

- 4.5 Any development, including dwellings, sheds and ancillary buildings, undertaken outside the covenant area shall reduce the visual impact on the amenity of the area by:

- (i) minimising excavation and filling of the sites;
- (ii) limiting the colour of any structure to those identified on the attached, approved colour scheme; and
- (iii) including landscaping measures, including the retention of trees, to screen development from the Captain Cook Highway.
- (iv) The roof line of any dwelling on site should be kept below the visual line of the ridgeline.

Road Works

- 4.6 The applicant must undertake the following works:

External

- (a) Provision is to be made for the following works external to the subject site in accordance with Council's requirements including:

- i. Francis Road

- (a) 8.0m wide formation with a 5.5m wide gravel pavement and 1.25m wide shoulders for the full length of the road.

.../4.

- (b) Upgrading the intersection of Francis Road with the Highway to AUSTROADS standards in accordance with Section D1.29 of the FNQ Development Manual.

(ii) Internal Accesses

- (a) The internal accesses contained within the proposed easement/s to have a maximum width of 4.0m, with provision of passing areas up to 5.0m wide.
- (b) Internal access to each site is required to be sealed (concrete/bitumen), in locations where the slope exceeds fifteen degrees (15°). The applicant will be required to install sediment control devices on this access to manage erosion and sediment loss off-site.

All works are to be shown on the engineering plans for Operational Works approval.

Water Supply Headworks

- 4.7 The Applicant shall pay to the Council headworks contributions for water supply and sewerage in accordance with Council's Local Planning Policy: *"Determination of Contributions for Water Supply and Sewerage Headworks and External Works"* ("the Policy").

The contribution shall be calculated at the rate per Equivalent Domestic Connection ("EDC") applicable at the time of payment in accordance with the Policy.

For information purposes only:

- (a) The current rates per EDC at the time of this approval are:

Water Supply	\$10,504.00
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- (b) The current number of EDCs for the approved use are:

Water Supply	1
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Maintenance Period

- 4.8 The Applicant shall maintain in accordance with the requirements of the Operational Works Development Permit and the Far North Queensland Regional Organisation of Councils Development Manual all road construction works of any nature whatsoever and any drainage works carried out under the provisions of the subdivision of the land and any parkland works for a period of twenty-four (24) months. The Applicant shall make good within such period any defects arising from faulty workmanship or materials in respect to such road construction and drainage works carried out as part of the works associated with the subdivision.

.../5.

Sewerage

- 4.9 The minimum level of on-site treatment of waste for Lots 1, 2, 3 & 4 (if dwelling is to be located on the hillslope) is Advanced Secondary in accordance with the requirements of the *On-site Sewerage Code - July 2002*.

Water Supply

- 4.10 The applicant is required to provide to each allotment an adequate supply of potable water in both quantity and quality in accordance with Australian Standards, prior to the endorsement of the plan of Survey. Alternatively, should each site have an individual bore source, the applicant is to demonstrate to the Council that an adequate supply of potable water in both quantity and quality in accordance with the Australian Standard, is available to each lot prior to endorsement of the Plan of Survey.

Contract of Sale

- 4.11 The applicant is to notify prospective purchasers of the requirements of conditions 1, 2, 3 and 4 on the contract of sale.

Currency Period

- 4.12 The development authorised by this Development Permit must cease at the expiration of four (4) years from the day that this Development Permit takes effect under the *Integrated Planning Act 1997* unless a detailed plan of survey has been lodged with Council for endorsement and all conditions of this approval complied with.

Compliance with Conditions

- 4.13 The Plan of Survey with associated documents shall not be endorsed by Council until all of the conditions of approval have been complied with.

5. Further Development Approvals Required:

Operational Works

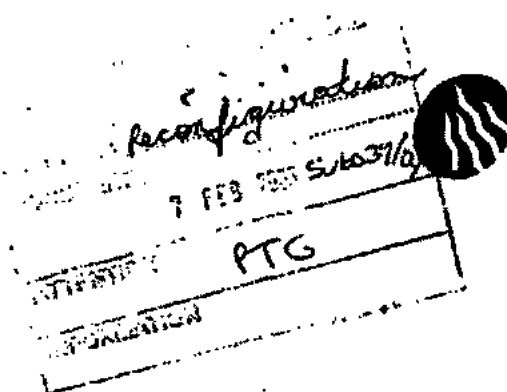
Development Permit



J R Neely
Acting Chief Executive Officer

3 February 2005

Mr T Melchert
Chief Executive Officer
Douglas Shire Council
PO Box 357
Mossman Qld 4873



**Queensland
Government**

Department of Main Roads

Dear Mr Melchert

**Douglas Shire : Captain Cook Highway (Cairns-Mossman)
Located opposite Bonnie Doon Road intersection, Killaloe
Lot 4 on RP 907338, Parish of Victory
Barry Crockford
Proposed Reconfiguration of Lot (3 Additional Allotments) Application
Referral Agency's Response (conditions apply)**

I refer to the above application received at the Department 31 January 2005 requesting consideration of the above development.

A. CONDITIONS OF DEVELOPMENT

Pursuant to the *Integrated Planning Act 1997*, the Queensland Department of Main Roads, as a Concurrence Agency, has assessed the impact of the proposed development on the State-controlled road network and requires that Council include the following conditions of development for the subject application:

1. Permitted Road Access Location

- (i) Access between the State-controlled road (i.e. Captain Cook Highway) and the proposed Lot 1 shall be via a new single access located 38m north of the existing access to the existing dwelling house on the subject land, only. The existing accesses to the existing dwelling house and to the existing cane barracks shall be permanently closed.
- (ii) Access between the State-controlled road (i.e. Captain Cook Highway) and the proposed Lots 2, 3 and 4 shall be via Francis Road, to the satisfaction of Douglas Shire Council.
- (iii) No additional direct access between the Captain Cook Highway and the subject land is permitted.

2. Road Access Works

- (i) Road access works at the permitted road access location are required and shall be constructed in accordance with:

North Queensland Region
Peninsula District
PO Box 6186
CAIRNS Queensland 4870
ABN 67 636 727 711

Our ref 4520A/102(377A)
Your ref SUB036/04
Enquiries MALCOLM HARDY
Telephone +61 7 4050 5811
Facsimile +61 7 4050 5438

- the Department of Main Roads *Road Planning and Design Manual*, and
- current Department of Main Roads standards.

A recent site inspection indicates the road access works require the provision of the following:

- install an Access Type 2 as indicated on the attached DMR Plan with minimum width 6m (W) and minimum radius of turnout 10m (R),
- bitumen sealed from the edge of the existing bitumen of the Captain Cook Highway to the cane tramline,
- cane tramline crossing construction to the specifications and approval of Mossman Central Mill Co Ltd,
- pruning and clearing of vegetation on the northern side of the access to improve traffic sight visibility, and
- permanent closure of the existing accesses to the proposed Caretaker's Residence and existing cane barracks and re-instatement to match adjoining roadside conditions.

- (ii) The landowner/ applicant shall write to the Cairns office of the Department of Main Roads to obtain the necessary plans, forms and approvals for the road access works prior to works commencing within the State-controlled road reserve (i.e. Captain Cook Highway).
- (iii) All road access works shall be completed to the satisfaction of the Director-General of the Department of Main Roads prior to Council signing and dating the plan of survey of the subject land.

3. Access Easements

The applicant/ landowner shall register access easements:

- over the proposed Lot 2 from the permitted access location in condition 1 (ii) above, to the common boundary with the proposed Lot 3 in favour of the proposed Lots 3 and 4, and
 - over the proposed Lot 3 from the common boundary with the proposed Lot 2, to the common boundary with the proposed Lot 4 in favour of the proposed Lot 4,
- generally as indicated by the existing access track in C&B Group Plan No. 62384-6 Issue A dated 13/12/04, with the Titles Office of the Department of Natural Resources, to the satisfaction of the Director-General of the Department of Main Roads and Chief Executive Officer of Douglas Shire Council, prior to Council signing and dating the plan of survey of the subject land.

An all-weather access shall be constructed within the easements prior to Council signing and dating the plan of survey of the subject land, to the requirements and satisfaction of Douglas Shire Council.

4. Building Alignment Setback

A building alignment setback of 50 metres from the centreline of Captain Cook Highway shall apply to all new structures intended to be located on the subject land to the satisfaction of the Director-General of the Department of Main Roads.

Reasons

The reasons and information used in the setting of conditions detailed above include:

- Department of Main Roads Access Policy,
- Department of Main Roads Involvement in Development Applications Referrals and Assessment Guide, and
- Douglas Shire Planning Scheme.

B. GENERAL DISCUSSION

Council is requested to reflect Conditions 1 and 4 above on its Rates Record, to ensure that the planning intentions of Conditions 1 and 4 are secured.

This Department would appreciate a copy of Council's decision notice regarding the application.

A copy of this letter has been sent to the applicant.

Yours sincerely



Brad Finegan

A/MANAGER (TRANSPORT PLANNING) PENINSULA

LEGEND

CAPTAIN

4003

BU8'58

33.34a

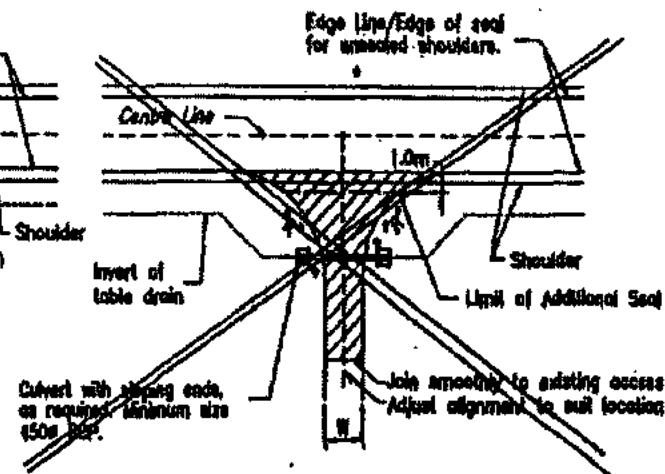
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1.4 ACCESSES

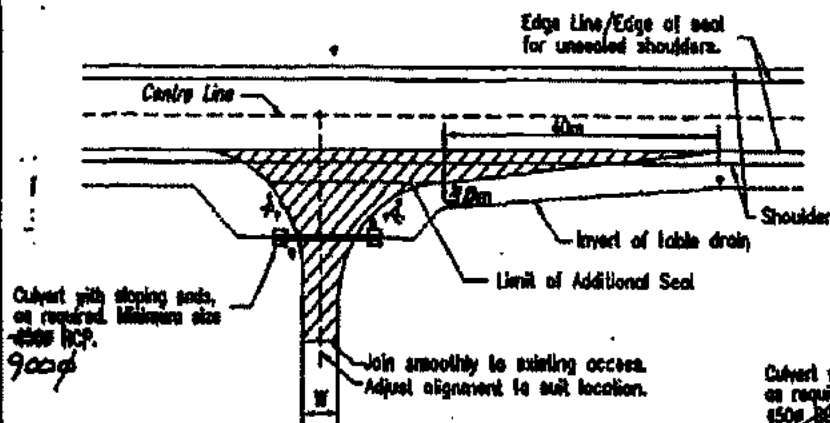
1.4.1 Level of Treatment



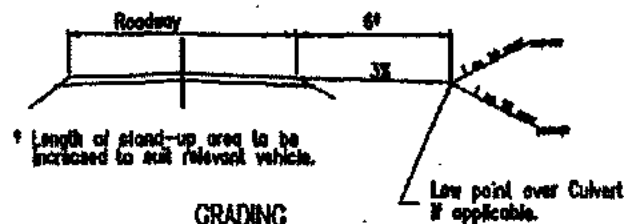
ACCESS TYPE 1
N.T.S

NOTES

1. W = Minimum for single access, 8m dual access.
2. R = Radius of layout to be determined from V-Pull program using vehicle relevant to land use, minimum radius 10m.
- Road edge guide post.
- 150mm subbase (type 2.3) to edge of existing bitumen seal or shoulder on new construction.



ACCESS TYPE 2
N.T.S



*Division 8 – Appeals to court relating to development applications***Appeals by applicants**

- 4.1.27. (1) An applicant for a development application may appeal to the court against any of the following:-
- (a) the refusal, or the refusal in part, of a development application;
 - (b) a matter stated in a development approval, including any condition applying to the development, and the identification of a code under Section 3.1.6;66
 - (c) the decision to give a preliminary approval when a development permit was applied for;
 - (d) the length of a currency period;
 - (e) a deemed refusal.
- (2) An appeal under subsection (1)(a) to (d) must be started within twenty (20) business days (the “**applicant’s appeal period**”) after the day the decision notice or negotiated decision notice is given to the applicant.
- (3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

Name of Council: *CAIRNS REGIONAL COUNCIL*

Development Name and Location: *1 LOT INTO & AT LOT 4 ON RP907338
6889R CAIRNS COOK HIGHWAY, KILLALOE*

Planning Permit No/Council File No: *0* / *37* / *153*

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
1. Completed 'Statement of Compliance' form. (FNQROC - AP1 – Appendix A)	✓	
2. IDAS Forms A, E & IDAS Assessment Checklist (Available from www.ipa.qld.gov.au)	✓	<i>IDAS FORM 1, 6 AND CHECKLIST 4</i>
3. Payment of Engineering Application Fees (Copy of receipt to be attached)	✓	
4. Copy of Decision Notice for Development Application Conditions, <u>inc. explanation of how each condition is to be addressed (Statement of Compliance)</u>	✓	
5. Engineering Design drawings - Complete sets (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format)	✓	
6. One copy of Design and Standard Specifications (Unbound Copy Preferable)	<i>N/A</i>	<i>WORKS TO BE CARRIED OUT UNDER FNQROC SPECIFICATIONS</i>
7. Written consent from adjoining property owners authorising any works on their property	<i>N/A</i>	
8. Water reticulation network in electronic format (Engineer to confirm system requirements and compatibility with Cairns Water)	<i>N/A</i>	
9. Landscape drawings - Complete set (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format). These must be accompanied by elements of the stormwater & street lgt. layout design, to avoid conflicts.	<i>N/A</i>	



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
10. Overall network drawings (for staged development) for:		
• Water	N/A	
• Stormwater	✓	
• Sewer	N/A	
• Pathways and roads	✓	
• Street Lighting	N/A	
• Electrical	N/A	
• Gas	N/A	
• Public Transport	N/A	
• Park Reserves	N/A	
• Drainage Reserves	N/A	
11. Pavement design criteria	✓	
12. Geotechnical reports for proposed earthworks	N/A	GEOTECH TO BE PROVIDED DURING CONSTRUCTION
13. Structural and geotechnical certificates for retaining walls etc.	N/A	
14. Water supply/sewerage pump station design parameters	N/A	
15. Stormwater drainage calculations	N/A	
16. Erosion and Sediment Control Strategy (ESCS)	✓	
17. Declared Pest Management Plan (if applicable)	N/A	
18. The approval of any other Authorities & concurrence agencies likely to be affected by the works.	N/A	



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

19. Contact details of the Consulting Engineer who is submitting the Application:

Name of Engineer	ANDREW PEZZUTTI	
Name of Company	LAMBERT + REHBEIN	
Telephone Number (s)	Office: (07) 40316788	Mobile:
Email address	andrew.p@lar.net.au	
RPEQ No.	6382	

20. Date of submission of application / / 200

(For further information on all of the above refer to the FNQROC Development Manual Section AP1)

FNQROC DEVELOPMENT MANUAL

Council CAIRNS REGIONAL COUNCIL
(INSERT COUNCIL NAME)

STATEMENT OF COMPLIANCE
OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development CASSOWARY RIDGE SUBDIVISION

Location of Development LOT 4 ON RP907338

Applicant LED INTERNATIONAL GROUP P/L

Designer LAMBERT + REHBEIN

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	✓
Geotechnical requirements	N/A - GEOTECH TO BE ENGAGED DURING CONSTRUCTION
Geometric Road Design	✓
Pavements	✓
Structures / Bridges	N/A
Subsurface Drainage	✓
Stormwater Drainage	N/A
Site Re-grading	N/A
Erosion Control and Stormwater Management	✓
Pest Plant Management	N/A
Cycleway / Pathways	N/A

APPLICATION PROCEDURES

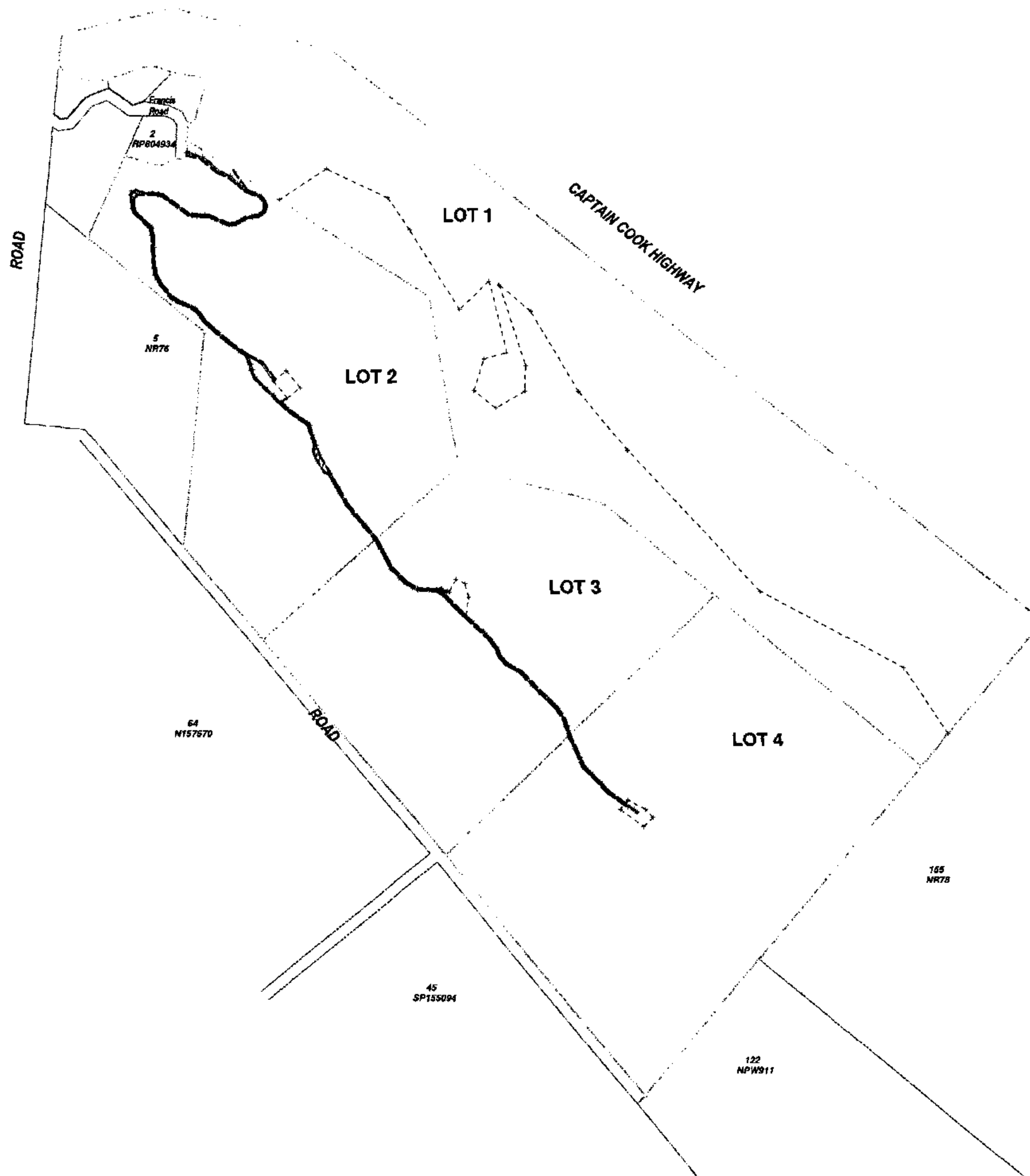
Landscaping	N/A
Water Source and Disinfection/Treatment Infrastructure (if applicable)	N/A
Water Reticulation and Pump Stations	N/A
Sewer Reticulation and Pump Stations	N/A
Electrical Reticulation and Street Lighting	TO BE PROVIDED BY ERCON
Public Transport	N/A
Associated Documentation/ Specification	✓
Priced Schedule of Quantities	✓
Referral Agency Conditions	✓
Supporting Information (AP1.08)	✓
Other	

Conscientiously believing the above statements to be true and correct, signed on behalf of:

Designer LAMBERT + REHBETN RPEQ No 6382

Name in Full ANDREW PEZZUTTI

Signature _____ Date _____



IMPORTANT NOTE

- This plan was prepared for the sole purpose of the client for the specific purpose of preparing a detail plan. This plan is not to be used for any other purpose, purpose, use or matter. The plan is prepared without the assumption of a duty of care to any other person (other than the Client/Third Party) and may not be relied on by Third Party.
- RPS Australia East Pty Ltd will not be liable (in negligence or otherwise) for any defect or inaccuracy, damage, liability or claim arising out of or incidental to:
 - Third Party publishing, using or relying on this plan;
 - RPS Australia East Pty Ltd relying on information provided to it by the Client or a Third Party where the information is incorrect, incomplete, inaccurate, out-of-date or unreliable;
 - any inaccuracies or other faults with information or data sourced from a Third Party;
 - RPS Australia East Pty Ltd relying on surface indications that are incorrect or inaccurate;
 - the Client or any Third Party not verifying information in this plan where recommended by RPS Australia East Pty Ltd;
 - judgement of this plan with any local authority against the recommendation of RPS Australia East Pty Ltd;
 - the accuracy, reliability, suitability or completeness of any representations or estimates made or referred to by RPS Australia East Pty Ltd in this plan.
- Without limiting paragraph 1 or 2 above, this plan may not be copied, distributed, or reproduced by any person without the note is clearly displayed on the plan.
- Scale shown is correct for the original plan and any copies of this plan should be verified by checking against the net scale.
- The title boundaries as shown herein were not marked at the time of survey and have been determined by plan dimension only and not by field survey. If not able to be located, services have been plotted from the records of relevant authorities where available and have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made herein.
- Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

NOTES

Level Datum: AHD

Origin of Levels: PSM 74738

Meridian: MGA Zone 55

Origin of Coordinates: PSM 74738


Contour Interval: 0.5m
Index: 1.0m



SCALE 1:4000 IS APPLICABLE ONLY
TO THE ORIGINAL SHEET SIZE (A1).
(1:8000 @ A3)

AMENDMENTS

PROJECT MANAGER Ben Shepherd	CHECKED
SURVEYED MJW 2/7/2013	DRAFTING CHECKED
DRAWN BCS	CAD REF 100373-2.DWG 100373-102.cdw
SHEET SIZE A1	SHEET OF 1 SHEETS 1



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RPS Australia East Pty Ltd
ACN 140 292 792
135 Abbot St
PO Box 1949
CAIRNS QLD 4870
T +61 7 4601 1308
F +61 7 4601 2042
W rpsgroup.com.au

**TIGERCHINA
PTY LTD**

Cassowary Ridge
Contour and Longsection Survey
of access track
through proposed lots 2-4
overall site plan

SCALE 1:4000	DATE	DRAWING NO. 100373-3	ISSUE
-----------------	------	-------------------------	-------



LEGEND

- Existing Access Track
- Proposed Access Track
- Existing Building Envelope (40m x 40m)

- IMPORTANT NOTE**
- (i) This plan was prepared for the purpose and exclusive use of BARRY CROCKFORD to accompany an application to the DOUGLAS SHIRE COUNCIL for approval for a material change of use of land/reconfiguration of a lot described in this plan and is not to be used for any other purpose or by any other person or corporation. C&B Consultants Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses 2 of 6 hereof.
 - (ii) The dimensions, area, size and location of improvements, flood information (if shown) and number of lots shown on this plan are approximate only and may vary.
 - (iii) Scale shown is correct for the original plan and any copies of this plan should be verified by checking against the bar scale.
 - (iv) This plan may not be photocopied unless this note is included.
 - (v) Boundary Information - DCDB:
Based on or contains data provided by the Department of Natural Resources, Mines and Energy, Queensland 2004 which gives no warranty in relation to the data (including accuracy, reliability, completeness or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data.
 - (vi) Aerial Photography
Aerial Photography has not been rectified. This image has been overlaid as a best fit on the boundaries shown and position is approximate only. Date of Photography: 27/08/2000

PROJECT MANAGEMENT
PLANNING
ENVIRONMENTAL SERVICES
SURVEYING

C&B CONSULTANTS PTY LTD
ACN 055 931 096

C&B GROUP

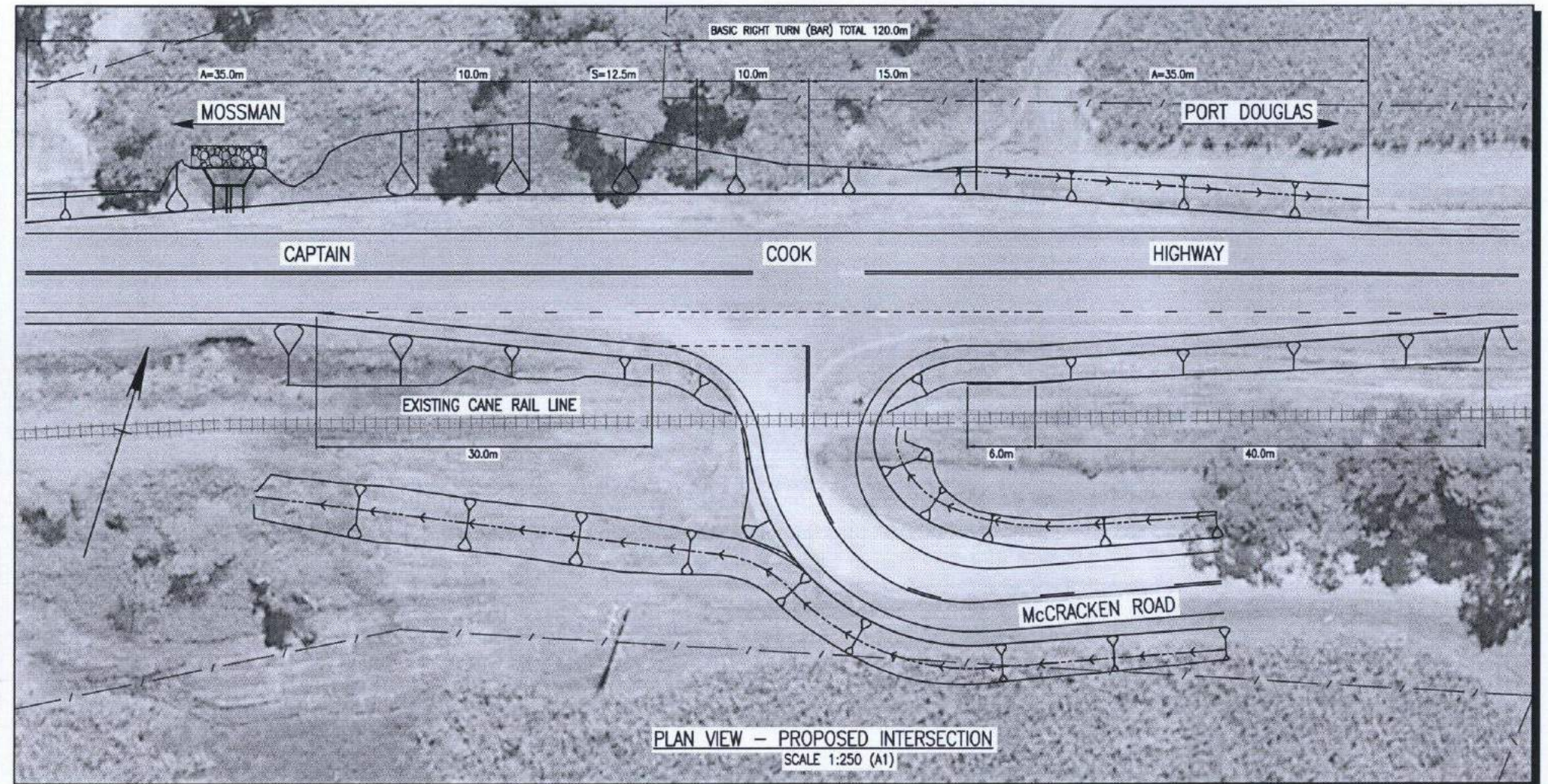
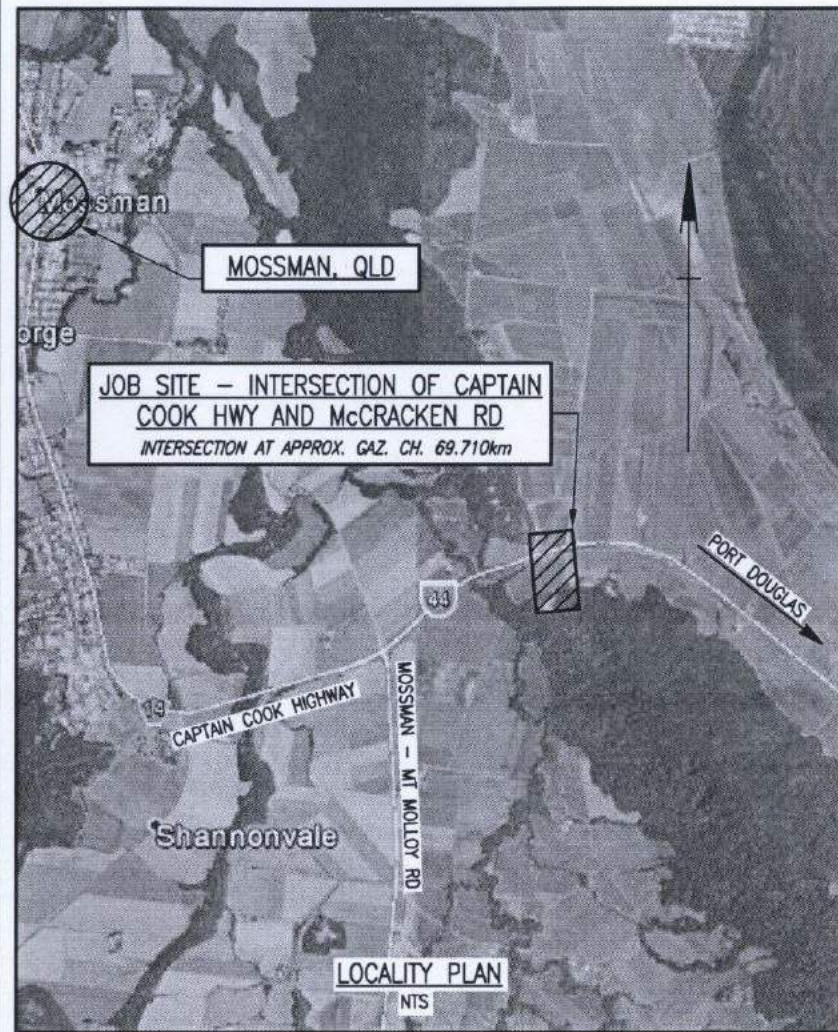
CAIRNS OFFICE PO Box 1948 CAIRNS QLD 4870
Tel: (07) 4031 1336 Fax: (07) 4031 2942
cairns@cbgroup.com.au www.cbgroup.com.au

BARRY CROCKFORD

RECONFIGURATION CONCEPT
PLAN OF LOTS 1-4
Cancelling Lot 4 on RP907338
Parish of Victory County of Solander

PROJECT MANAGER/SURVEYOR O.Caddick-King	DESIGNED
CHECKED	SURVEYED
DRAWN KJP 01/12/04	FIELD BK.
DRAFTING CHECKED	SHEET SIZE A3
CAD 62384-6.DWG	SHEET OF SHEETS 1
AMENDED	SCALE 1:7500
ISSUE	DRAWING NO. 62384-6

CASSOWARY RIDGE SUBDEVELOPMENT ACCESS INTERSECTION UPGRADE



SURVEY NOTE:

ALL SURVEY, DESIGN AND SETOUT INFORMATION IS BASED ON SURVEY INFORMATION SUPPLIED TO LAMBERT & REHBEIN SEQ PTY LTD BY RPS AUSTRALIA ASIA PACIFIC, UNIT 10, 9 PIONEER CLOSE, CRAGLIE, QLD, AUSTRALIA, 4877. PH: +617 4098 1148:

SURVEY FILES:- 100373-104 Francis road detail.dwg (27/9/13).
SURVEY GRID:- MERIDIAN MGA ZONE 55, ORIGIN OF COORDINATES IS PSM 74738.
SURVEY DATUM:- LEVEL DATUM AHD, ORIGIN OF LEVELS IS PSM 74738. FOR ADDITIONAL DETAILS REGARDING SURVEY CONTACT RPS.

DRAWING INDEX - INTERSECTION DESIGN

DRAWING NUMBER	REVISION	DRAWING TITLE
C13018-DI-001	A	LOCALITY PLAN AND DRAWING INDEX
C13018-TX-001	A	TYPICAL CROSS SECTIONS AND DETAILS
C13018-GA-001	A	GENERAL ARRANGEMENT
C13018-PM-001	A	PAVEMENT MARKING AND SIGNAGE
C13018-LS-001	A	LONGITUDINAL SECTIONS
C13018-DD-001	A	DRAINAGE DETAILS
C13018-CL-001	A	CONTROL LINE SETOUT TABLES
C13018-SP-001	A	VEHICLE SWEEP PATH ASSESMENT

DRAWING INDEX - INTERSECTION DESIGN cont.

DRAWING NUMBER	REVISION	DRAWING TITLE
C13018-XS-001	A	ANNOTATED CROSS SECTIONS (MCA1) SHEET 1 OF 3
C13018-XS-002	A	ANNOTATED CROSS SECTIONS (MCA1) SHEET 2 OF 3
C13018-XS-003	A	ANNOTATED CROSS SECTIONS (MCA1) SHEET 3 OF 3
C13018-XS-004	A	ANNOTATED CROSS SECTIONS (MCB1) SHEET 1 OF 2
C13018-XS-005	A	ANNOTATED CROSS SECTIONS (MCB1) SHEET 2 OF 2

EXISTING SERVICES:

NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS, NO RESPONSIBILITY IS TAKEN BY THE ENGINEER OR THE PRINCIPAL FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION AND SHALL BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGES CAUSED AS A RESULT OF THE WORKS.



ISSUED FOR
APPROVAL

21 Oct, 2013 - 4:26pm

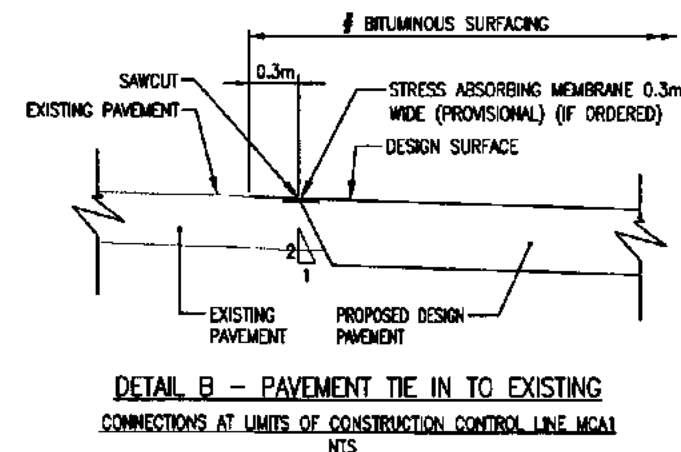
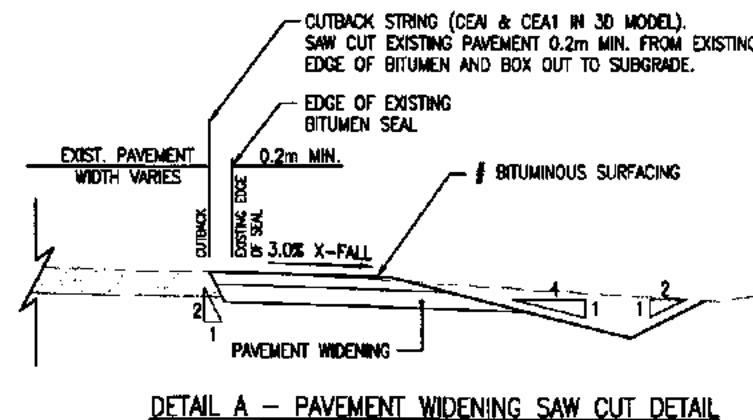
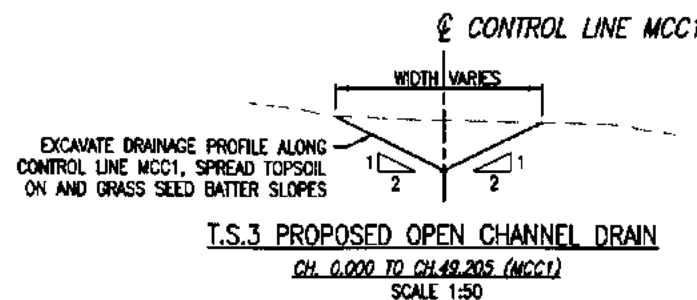
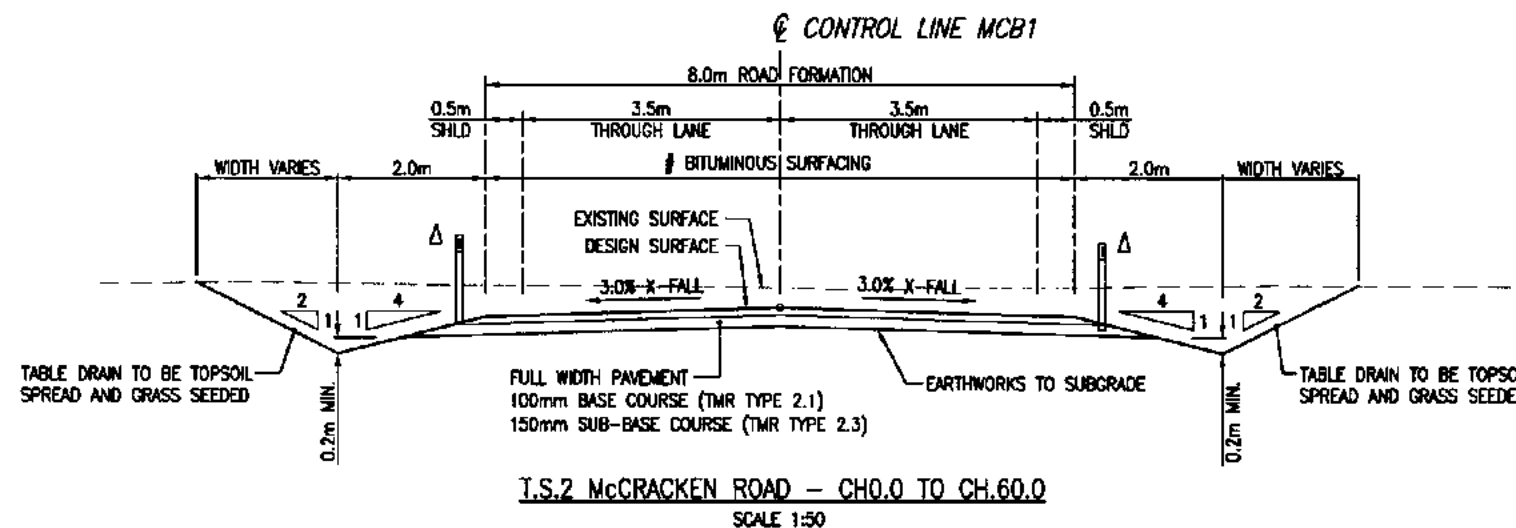
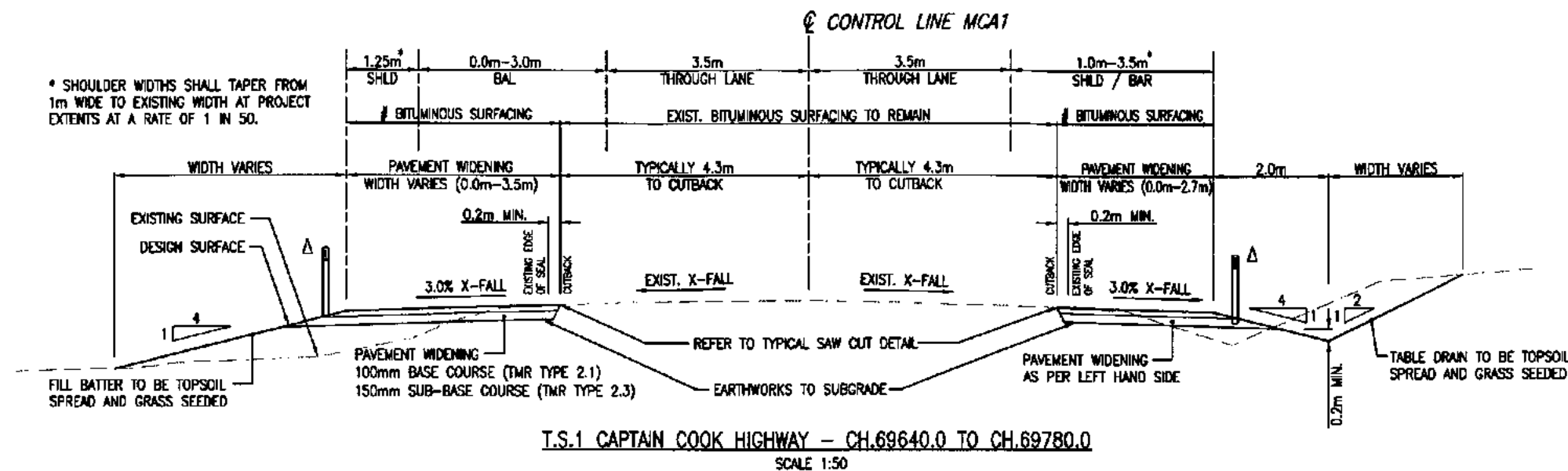
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SCALE 1:250 (A1)

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ENGINEERS • MANAGERS • SCIENTISTS
LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1830 CAIRNS 4870
A.C.N. 106 749 320
TELEPHONE (07) 4031 6788
FACSIMILE (07) 4031 6799
EMAIL mail@lar.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD
Title: LOCALITY PLAN AND DRAWING INDEX

Client: **LEO INTERNATIONAL GROUP**
Draftsperson: C.D.
Checked: A.P.
Designer: C.D.
Approved: S. WILLIAMS
RFED No: 05417
Scale: AS SHOWN
Date: 9/10/13
Sheet Size: A
Drawing No: A1 C13018-DI-001

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V:\Jobs\C13018\Drawings\DWG\External Intersection Drgs\Orgs\C13018-DI-001.dwg



- # BITUMINOUS SURFACING**
CAPTAIN COOK HIGHWAY - WIDENED PAVEMENT ONLY
- PRIMERSEAL - AMCS SPRAY RATE 1.2L/m²
10mm AGGREGATE SPREAD RATE 1m²/130m²
 - FIRST COAT SEAL - S0.3B PMB SPRAY RATE 2.3L/m²
16mm AGGREGATE SPREAD RATE 1m²/80m²
 - SECOND COAT SEAL - S0.3B PMB SPRAY RATE 1.5L/m²
10mm AGGREGATE SPREAD RATE 1m²/130m²
- McCRACKEN ROAD**
- SURFACING TO BE AS PER BOWEN DEVELOPMENTAL ROAD ABOVE, HOWEVER FULL ROAD WIDTH SHALL RECEIVE PRIMERSEAL, FIRST COAT SEAL AND SECOND COAT SEAL

- GENERAL NOTES:**
- Δ - ROAD EDGE GUIDE POSTS LOCATED IN ACCORDANCE WITH THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS SHOWN ON DRG. NO. C13018-PM-001.
 - GUIDE POSTS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH TMR STD. DRG. 1356.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DRG. NO. C13018-GA-001 FOR PAVEMENT DETAILS.
 - FOR REFERENCE POINT DATA INFORMATION, REFER TO THE STRIP MAP ATTACHED TO THE CONTRACT DOCUMENTS.

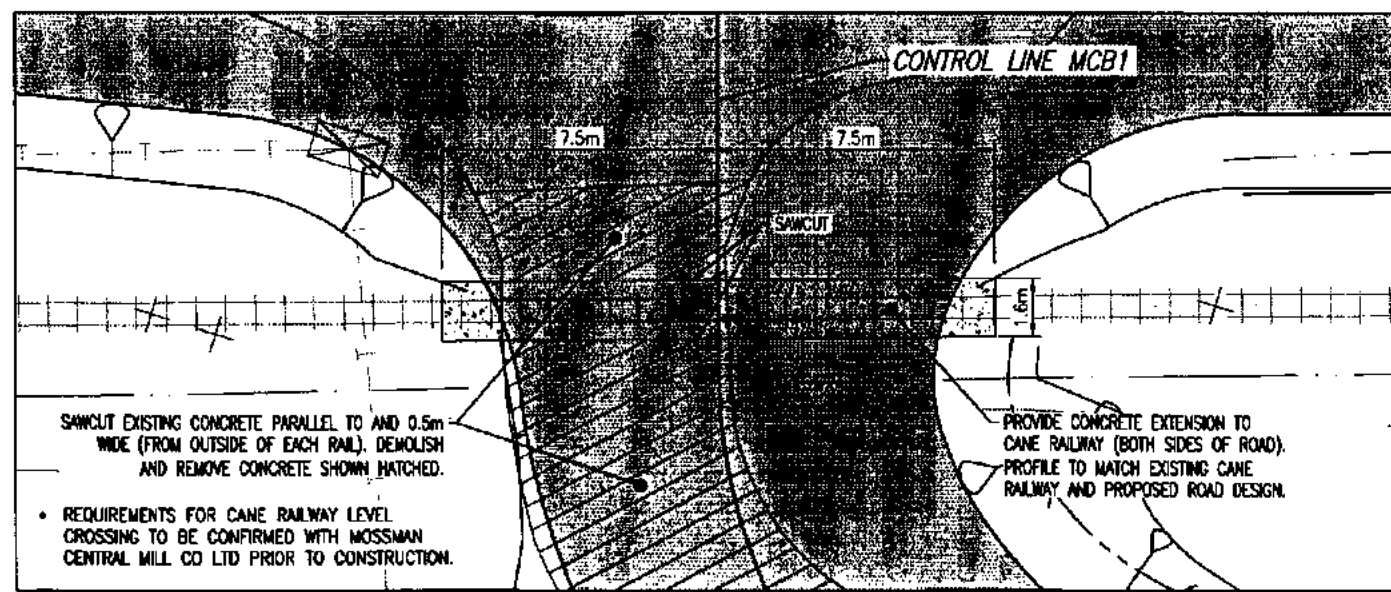
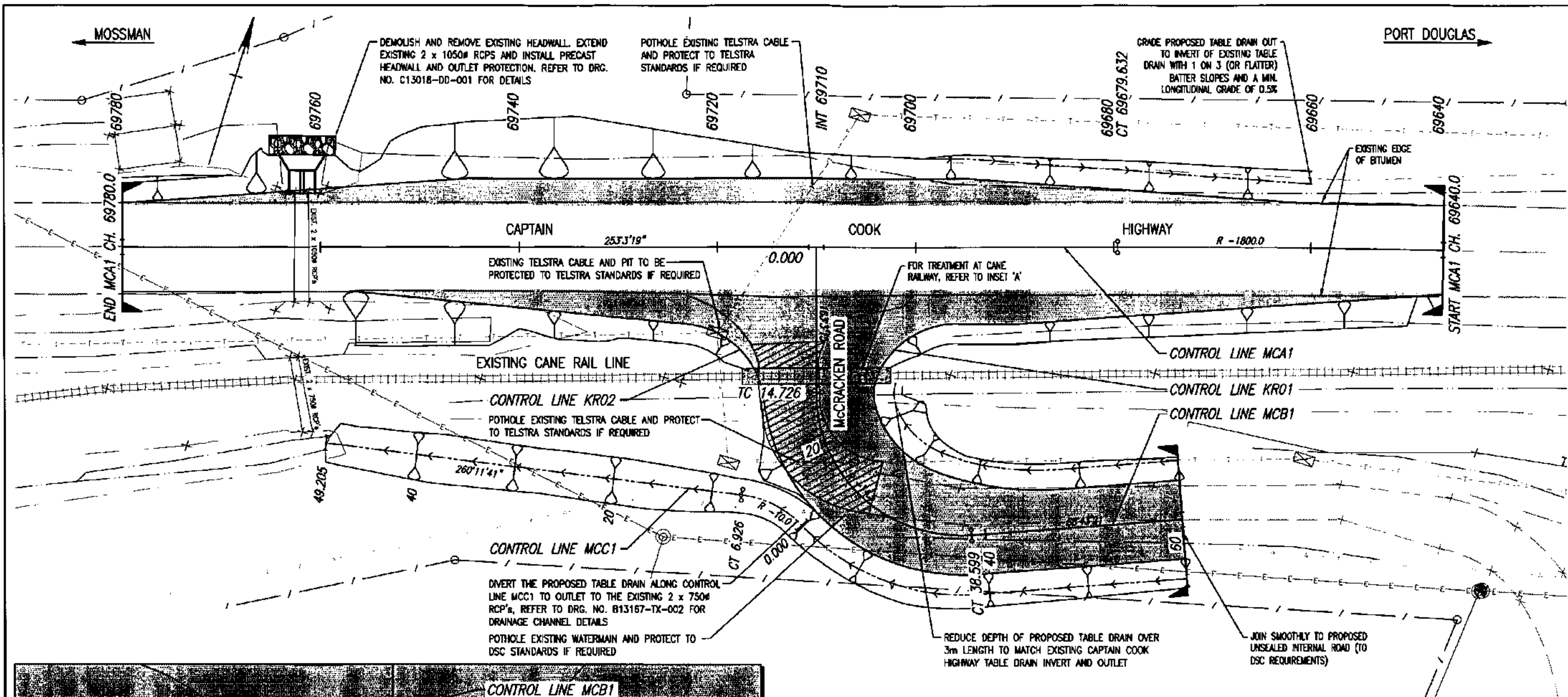
- CULTURAL HERITAGE MANAGEMENT:**
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE JOB SPECIFIC CHMP IF APPLICABLE.
 - ONLY AREAS WHICH HAVE CULTURAL HERITAGE CLEARANCE ARE TO BE USED FOR EXTRACTION OF PAVEMENT MATERIAL OR GENERAL EARTHWORKS.
 - IF CULTURAL HERITAGE MATERIAL IS FOUND AND WILL BE DISTURBED BY THE WORKS, THE CONTRACTOR SHALL CEASE WORK IN THE IMMEDIATE AREA TO PREVENT THE DISTURBANCE, NOTIFY THE SUPERINTENDENT AND WAIT FOR DIRECTIONS ON HOW THE FIND IS TO BE TREATED.

- CONSTRUCTION NOTES:**
- THE PAVEMENT SHALL BE COMPACTED AND TRIMMED TO THE PROFILE SHOWN ON THE TYPE CROSS SECTIONS.
 - SPREAD RATES FOR BITUMINOUS SURFACING ARE TO BE CONFIRMED BY THE TMR SUPERINTENDENT PRIOR TO CONSTRUCTION.

- ENVIRONMENTAL MANAGEMENT:**
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STANDARD EMP (C&M).
 - DISTURBED AREA (e.g. STOCKPILE SITES) ARE TO BE REHABILITATED BY TYPING AND RE-TOPSOILING AS DIRECTED BY THE SUPERINTENDENT.
 - BORROW PITS ARE TO BE FINISHED TO A TIDY CONDITION WITH A SIDE SLOPE NO STEEPER THAN 1 ON 4.

ISSUED FOR APPROVAL
21 Oct. 2013 - 5:18pm

		<p>LAMBERT & REHBEIN ENGINEERS MANAGERS SCIENTISTS</p> <p>LEVEL 2, 24 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1838 CAIRNS 4870 A.C.N. 106 749 320</p> <p>TELEPHONE (07) 4031 6768 FACSIMILE (07) 4031 6769 EMAIL mail@lar.net.au</p>		<p>Project: CASSOWARY RIDGE SUBDEVELOPMENT ACCESS INTERSECTION UPGRADE CAPTAIN COOK HWY AND McCRACKEN RD</p> <p>Title: TYPICAL CROSS SECTIONS AND DETAILS SHEET 1 OF 2</p>		<p>Client: LEO INTERNATIONAL GROUP</p> <table border="1"> <tr> <td>Draftsperson: C.D.</td> <td>Checked: A.P.</td> <td>Sheet Size</td> <td>Drawing No.</td> </tr> <tr> <td>Designer: C.D.</td> <td>Approved: S. WILLIAMS RPEO No. 66417</td> <td>A1</td> <td>C13018-TX-001</td> </tr> <tr> <td>Scale: AS SHOWN</td> <td>Date: 9/10/13</td> <td>A</td> <td></td> </tr> </table>		Draftsperson: C.D.	Checked: A.P.	Sheet Size	Drawing No.	Designer: C.D.	Approved: S. WILLIAMS RPEO No. 66417	A1	C13018-TX-001	Scale: AS SHOWN	Date: 9/10/13	A		
Draftsperson: C.D.	Checked: A.P.	Sheet Size	Drawing No.																	
Designer: C.D.	Approved: S. WILLIAMS RPEO No. 66417	A1	C13018-TX-001																	
Scale: AS SHOWN	Date: 9/10/13	A																		
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No.	Date	By	Amendment	Checked																
B	21/10/13	CD	ISSUED FOR APPROVAL																	
A	9/10/13	CD	ISSUED FOR REVIEW																	



INSET 'A' - CANE RAILWAY TREATMENT SCALE 1:100 (A1)

PAVEMENT AND SURFACING LEGEND

- BITUMEN SURFACING (SEE NOTE BELOW)
- 100mm BASE COURSE (TMR TYPE 2.1)
- 150mm SUB-BASE COURSE (TMR TYPE 2.3)
- ASSUMED SUBGRADE CBR OF 7 OR GREATER

FOR DEFINITIONS OF 'PRIMERSEAL', 'FIRST COAT SEAL' AND 'SECOND COAT SEAL' INCLUDING BINDER TYPE, SPRAY RATES AND SPREAD RATES REFER TO DRG. NO. C13018-TX-001 FOR DETAILS.

GENERAL NOTES:

1. FOR INTERNAL ROAD DESIGN BEYOND CH.60.0 (CONTROL LINE MCB1) REFER TO INTERNAL DESIGN PACKAGE.
2. DESIGN CONTOURS OMITTED FROM BATTER SLOPES FOR CLARITY.
3. EXISTING ROAD VERTICAL GEOMETRY ACHIEVES S10 FOR 110km/h.
4. INTERSECTION BASED ON TMR TYPE 'BAR' UPGRADE.
5. SIDE ROAD TAPERS BASED ON TMR NORTHERN REGION 'FEV ROUTE'.
6. FOR TYPICAL CROSS SECTIONS REFER TO DRG. NO. C13018-TX-001.
7. FOR CONTROL LINE SETOUT TABLES REFER TO DRG. NO. C13018-CL-001.
8. FOR CONTROL LINE LONGITUDINAL SECTIONS REFER TO DRG. NO. C13018-LS-001.
9. FOR PAVEMENT MARKING AND SIGNAGE REFER TO DRG. NO. C13018-PM-001.

PROPOSED CONSTRUCTION

- EDGE OF SHOULDER
- BATTER SLOPE
- DRAIN WITH DIRECTION
- DESIGN CONTOUR MAJOR
- DESIGN CONTOUR MINOR
- CULVERT & HEADWALL
- INLET / OUTLET PROTECTION

SURVEY FEATURES & SYMBOLS

- FENCE LINE
- BATTER TOP/BOTTOM
- ROAD CROWN
- EDGE OF BITUMEN
- WATER MAIN UG
- TELSTRA CABLE UG
- ELECTRICITY AG

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21 Oct. 2013 - 5:07pm

0 2 4 6 8m

SCALE 1:200 (A1)

0 1 2 3 4m

SCALE 1:100 (A1)

LAMBERT & REHBEIN
ENGINEERS MANAGERS SCIENTISTS

LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 9030 CAIRNS 4870
A.C.N. 106 749 320

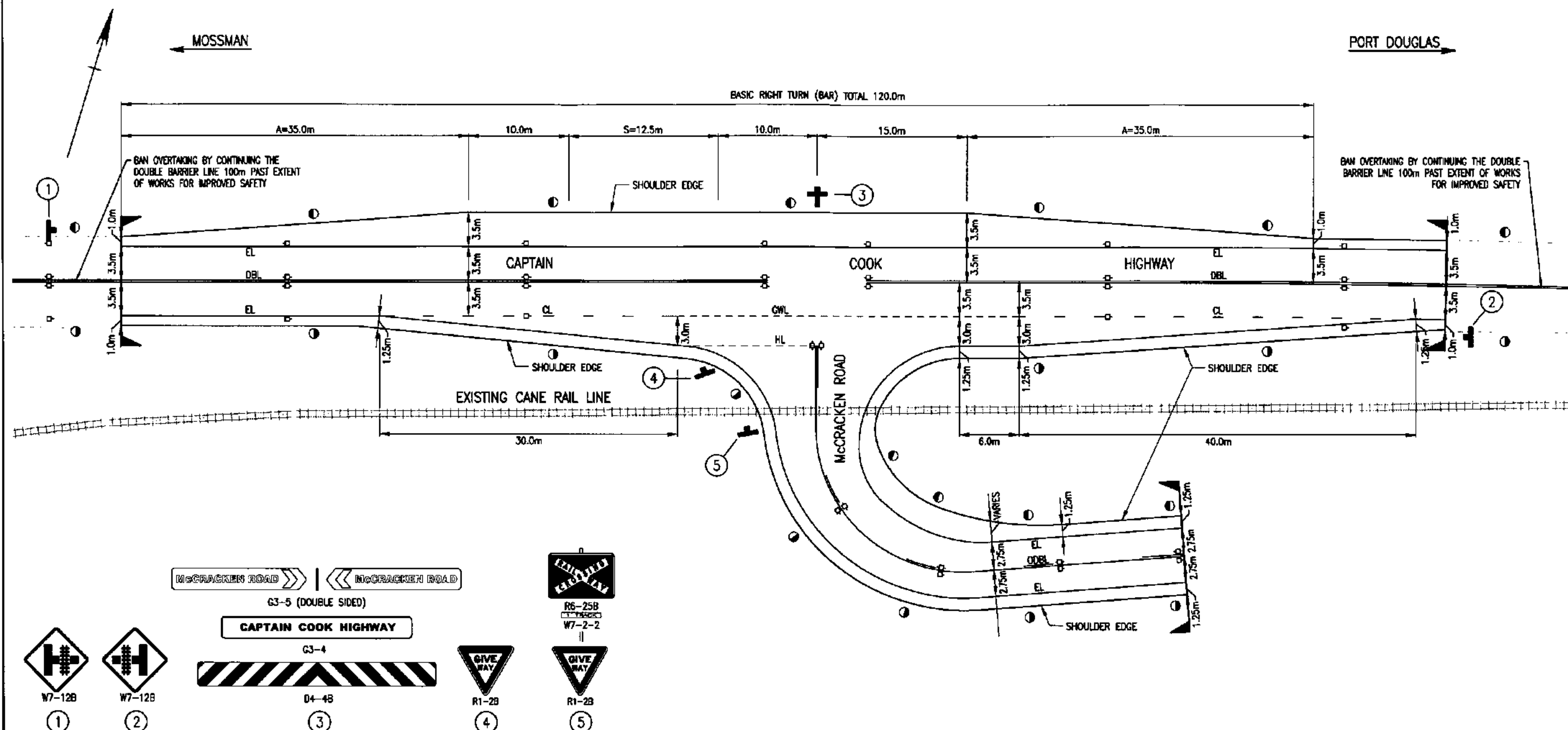
TELEPHONE (07) 4081 6700
FACSIMILE (07) 4081 6799
EMAIL mail@lor.net.au

Project: **CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND MCCrackEN RD**

Title: **GENERAL ARRANGEMENT**

Client: **LEO INTERNATIONAL GROUP**

Draftsperson: C.D.	Checked: A.P.	Sheet Size	Drawing No.
Designer: C.D.	Approved: S. WILLIAMS RPEd No. 06617	A1	C13018-GA-001
Scale: AS SHOWN	Date: 9/10/13	A	



McCRACKEN ROAD << >> McCRACKEN ROAD
G3-5 (DOUBLE SIDED)

CAPTAIN COOK HIGHWAY



D4-4B



R1-2B



R6-25B
W7-2-2



R1-2B

SIGNAGE LEGEND

② NEW SIGN (REFER SIGN DETAIL ABOVE)

PAVEMENT MARKING LEGEND:

DBL - BARRIER LINE DOUBLE (80mm)
LL - LANE LINE BROKEN (80mm)
ULL - LANE LINE UN-BROKEN (80mm)
ODBL - ONE DIRECTION BARRIER LINE (80mm)
EL - EDGE LINE (100mm)
CL - CONTINUITY LINE (100mm)
GWL - GIVEWAY LINE (200mm)
- BIDIRECTIONAL RRP
- UNIDIRECTIONAL RRP
- ROAD EDGE GUIDE POST (REFER TMR STD DRG 1356)

PAVEMENT MARKING & SIGNAGE NOTES:

- PAVEMENT MARKING, GUIDE POSTS AND RRP'S SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE TMR MUTCD AND STANDARD SPECIFICATION MRS45.
- ALL EXISTING PAVEMENT MARKINGS WHICH CONFLICT WITH THOSE SHOWN ON THESE PLANS ARE TO BE REMOVED OR AMENDED TO REFLECT THE PAVEMENT MARKING SHOWN ON THIS PLAN AND THE MUTCD.
- CONTROL LINES REMOVED FOR CLARITY.

GENERAL NOTES:

- FOR TYPICAL CROSS SECTIONS REFER TO DRG. NO. C13018-TX-001.
- FOR CONTROL LINE SETOUT TABLES REFER TO DRG. NO. C13018-CL-001.
- FOR CONTROL LINE LONGITUDINAL SECTIONS REFER TO DRG. NO. C13018-LS-001.
- FOR PAVEMENT WORKS, BATTERS AND EXISTING FEATURES REFER TO DRG. NO. C13018-GA-001.

ISSUED FOR APPROVAL

21 Oct. 2013 - 4:41pm

0 2 4 6 8m
SCALE 1:200 (A1)

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LEVEL 3, 25 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1831 CAIRNS 4870
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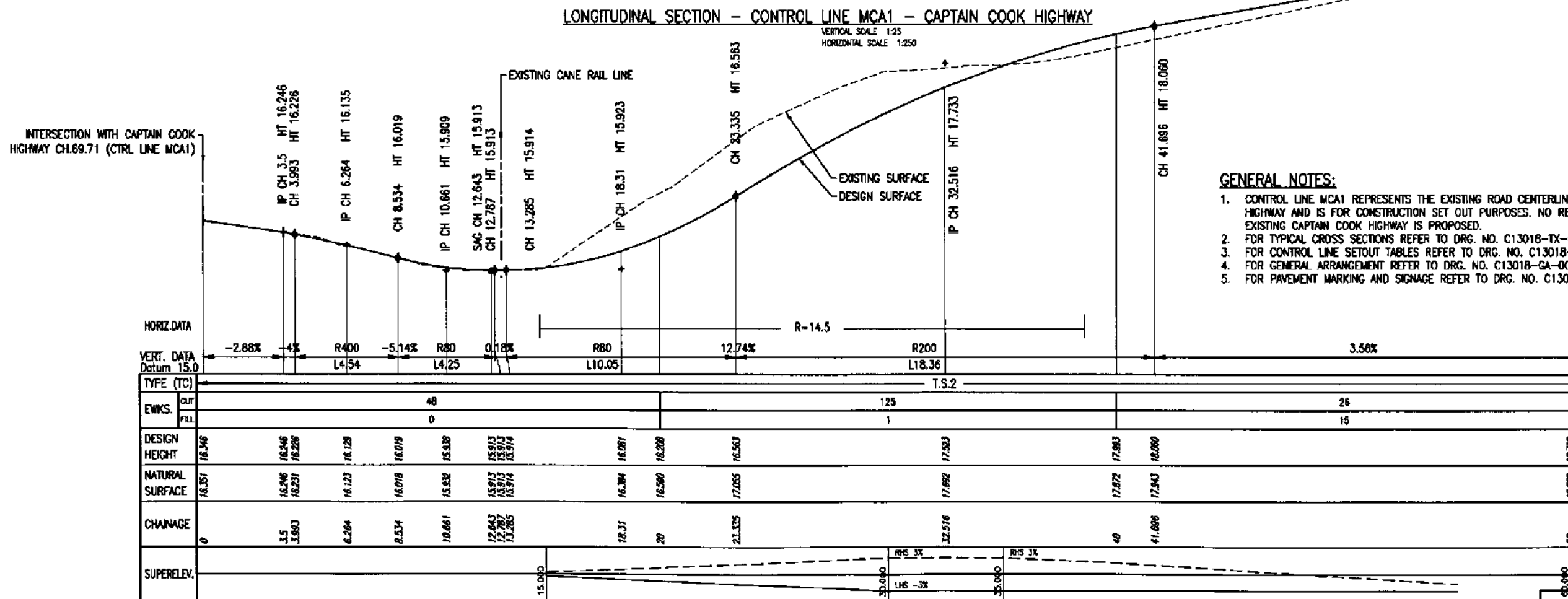
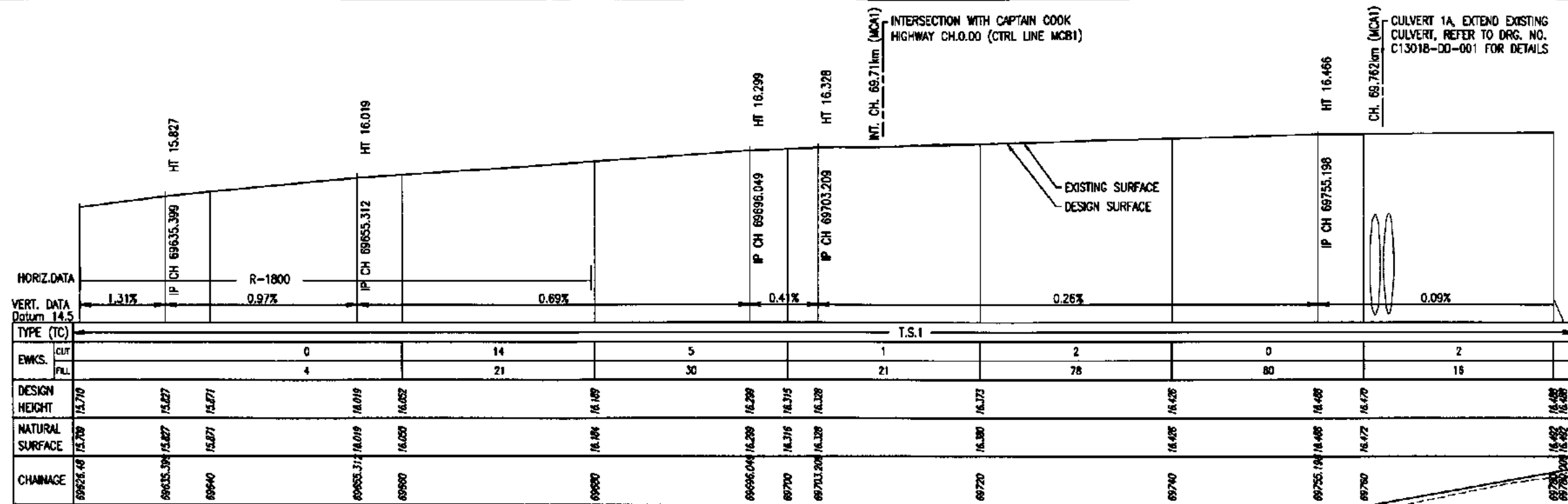
TELEPHONE (07) 4031 4700
FACSIMILE (07) 4031 4799
EMAIL info@lre.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD

Title: PAVEMENT MARKING AND SIGNAGE

Client: LEO INTERNATIONAL GROUP

Drawn by: C.D.	Checked: A.P.	Sheet Size A1	Drawing No. C13018-PM-001
Designer: C.D.	Approved: S. WILLIAMS RPEA No. 844.17	Scale: AS SHOWN	Date: 9/10/13



GENERAL NOTES:

1. CONTROL LINE MCA1 REPRESENTS THE EXISTING ROAD CENTERLINE OF THE CAPTAIN COOK HIGHWAY AND IS FOR CONSTRUCTION SET OUT PURPOSES. NO RE-GRADING OF THE EXISTING CAPTAIN COOK HIGHWAY IS PROPOSED.
2. FOR TYPICAL CROSS SECTIONS REFER TO DRG. NO. C13018-TX-001.
3. FOR CONTROL LINE SETOUT TABLES REFER TO DRG. NO. C13018-CL-001.
4. FOR GENERAL ARRANGEMENT REFER TO DRG. NO. C13018-GA-001.
5. FOR PAVEMENT MARKING AND SIGNAGE REFER TO DRG. NO. C13018-PM-001.

ISSUED FOR APPROVAL

21 Oct, 2013 - 5:13pm

0 2 4 6 8 10m

SCALE 1:250 Horiz. (A1)

0 0.5 1.0m

SCALE 1:25 Vert. (A1)

0 1 2 3 4m

SCALE 1:100 Horiz. (A1)

0 0.2 0.4 0.6 0.8m

SCALE 1:20 Vert. (A1)



LAMBERT & REHBEIN
ENGINEERS • MANAGERS • SCIENTISTS

LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1835 CAIRNS 4870
A.E.N. 106 749 320

TELEPHONE (07) 4931 6788
FACSIMILE (07) 4931 6799
EMAIL mail@lor.net.au



Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND MCCrackEN RD

Title: LONGITUDINAL SECTIONS

Client: LEO INTERNATIONAL GROUP

Draftsperson
C.D.

Checked:
A.P.

Design:
C.D.

Scale:
AS SHOWN

Sheet
Size

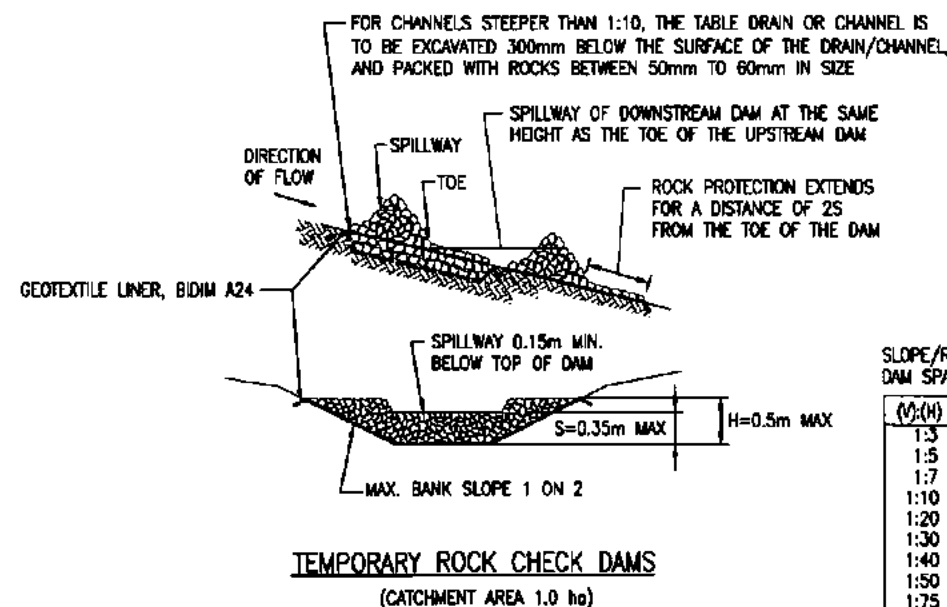
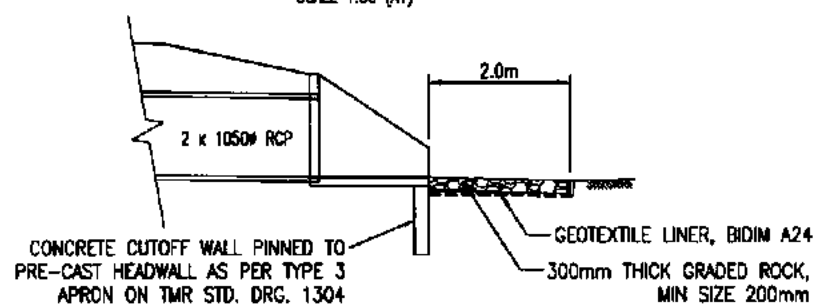
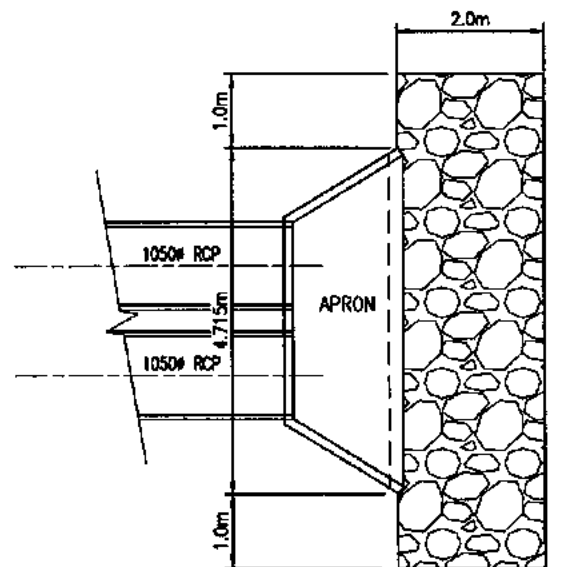
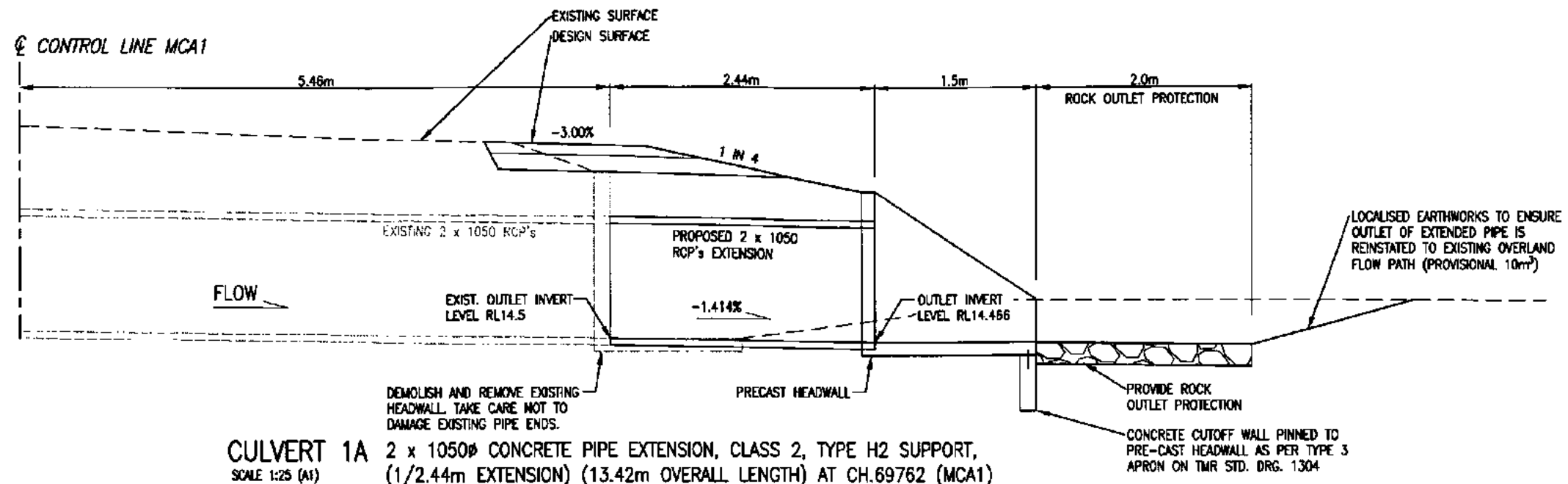
Approved: S. WILLIAMS
REF No: 96417

Date: 9/10/13

Drawing No.

A1 C13018-LS-001

A



(V:H)	SPACING (m)
1:3	11
1:5	17
1:7	25
1:10	35
1:20	70
1:30	105
1:40	140
1:50	175
1:75	260

CONSTRUCTION SEQUENCE

1. IF CHANNEL/TABLEDRAIN IS STEEPER THAN A 1:10 SLOPE EXCAVATE OUT TO A DEPTH OF 300mm WHERE THE ROCK CHECK DAMS ARE GOING TO BE PLACED.
2. LAY DOWN GEOTEXTILE OVER AREA THE ROCK CHECK DAM IS TO BE CONSTRUCTED.
3. PLACE ROCKS TO DIMENSIONS SHOWN ON DRAWING.

GENERAL NOTES:

1. DRAINAGE SECTIONS ARE SHOWN LOOKING IN THE DIRECTION OF THE ROAD CONTROL LINE, REFER TO INLET LEVELS TO DETERMINE DIRECTION OF FLOW.
2. ALL PIPES 600# OR LESS TO HAVE RUBBER RING JOINTS.
3. QUANTITIES SHOWN IN THE DRAINAGE SCHEDULE ARE APPROXIMATE AND FOR USE AS A GUIDE ONLY. THE CONTRACTOR SHALL PERFORM A CHECK OF ALL QUANTITIES PRIOR TO TENDERING BID. ALL PIPE AND BOX CULVERT WORKS ARE TO BE COSTED AS SUPPLY AND INSTALL AS PER TMR STD SPECIFICATIONS ROADS.

ISSUED FOR APPROVAL

21 Oct, 2013 - 5:20pm

0 0.5 1.0m
SCALE 1:25 (A1)

0 1.0 2.0m
SCALE 1:50 (A1)

No.	Date	By	Amendment	Checked
B	21/10/13	CD	ISSUED FOR APPROVAL	
A	9/10/13	CD	90% PRELIMINARY ISSUE	

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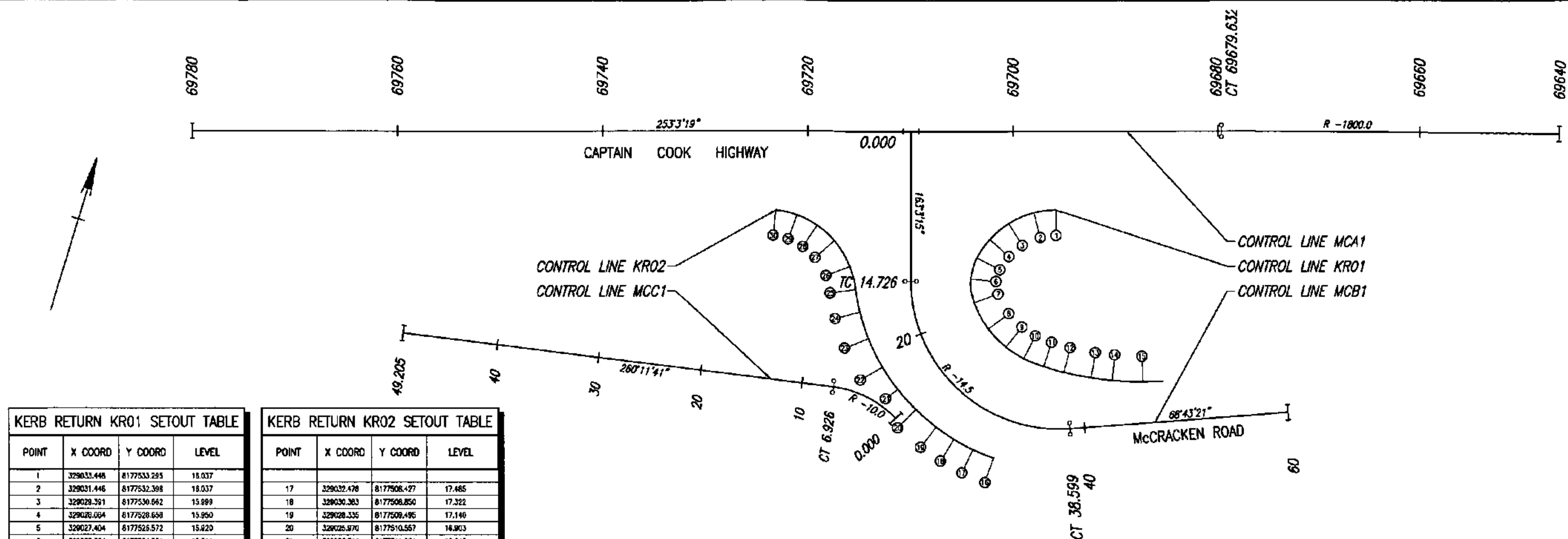
LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1830 CAIRNS 4870
A.C.N. 106 749 320

TELEPHONE: 077 4031 6788
FACSIMILE: 077 4031 6799
EMAIL: mail@lar.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD

Title: DRAINAGE DETAILS

LEO INTERNATIONAL GROUP			
Drawn by: C.D.	Checked: A.P.	Sheet Size	Drawing No.
Designer: C.D.	Approved: S. WILLIAMS RPEO No: 8447	A1	C13018-DD-001
Scale: AS SHOWN	Date: 9/10/13	A	



POINT	X COORD	Y COORD	LEVEL
1	329033.448	8177533.295	18.037
2	329031.446	8177532.398	18.037
3	329029.391	8177530.642	15.899
4	329028.064	8177528.658	15.950
5	329027.404	8177526.572	15.820
6	329027.394	8177524.394	15.911
7	329028.406	8177522.286	16.027
8	329030.476	8177520.228	16.451
9	329032.634	8177519.024	16.907
10	329034.644	8177518.444	17.237
11	329036.753	8177518.272	17.528
12	329038.814	8177518.309	17.746
13	329041.471	8177518.546	17.890
14	329043.482	8177518.893	17.974
15	329045.404	8177519.656	18.092

POINT	X COORD	Y COORD	LEVEL
17	329032.478	8177508.427	17.485
18	329030.363	8177506.850	17.322
19	329028.335	8177509.495	17.140
20	329026.870	8177510.557	16.903
21	329023.744	8177511.924	16.646
22	329021.690	8177513.587	16.402
23	329018.572	8177515.670	16.180
24	329016.036	8177518.095	16.043
25	329016.081	8177520.116	15.866
26	329015.781	8177522.126	15.616
27	329013.605	8177524.078	15.339
28	329011.569	8177525.022	16.040
29	329009.361	8177525.419	16.134
30	329007.215	8177525.259	16.170

GENERAL NOTES:

- CONTROL LINE MCA1 REPRESENTS THE EXISTING ROAD CENTERLINE OF THE CAPTAIN COOK HIGHWAY AND IS FOR CONSTRUCTION SET OUT PURPOSES. NO RE-GRADING OF THE EXISTING CAPTAIN COOK HIGHWAY IS PROPOSED.
- FOR LOCATION OF CONTROL LINES IN PLAN VIEW, REFER TO DRG. NO. C13018-GA-001.
- FOR LONGITUDINAL SECTIONS, REFER TO DRG. NO. C13018-LS-001.
- FOR ANNOTATED CROSS SECTIONS REFER TO DRG. NO. C13018-XS-001 TO DRG. NO. C13018-XS-005.
- SETTING OUT INFORMATION FOR STRINGS NOT SHOWN HERE (FOR EXAMPLE EDGE OF SHOULDER STRING FOR BAR WIDTH DEVELOPMENT) SHOULD BE ACCESSED VIA COMPUTER GENERATED STRING OUTPUT FROM THE DESIGN MODEL HELD BY THE SUPERVISING ENGINEERING SURVEYOR.

IN SEG	OUT SEG	TAN	CHAINAGE	X COORD	Y COORD	LEVEL	IN BEARING	OUT BEARING	IN RAD	OUT RAD
	ARC		69640.000	329084.652	8177556.541	15.871	254°18'01"	254°18'01"		-1800.000
			69650.000	329075.632	8177553.811	15.968	253°59'55"	253°59'55"		
			69660.000	329065.427	8177551.028	16.052	253°40'48"	253°40'48"		
			69670.000	329055.838	8177548.191	16.120	253°21'43"	253°21'43"		
	ARC	LINE	YES	69678.632	329046.810	16.186	253°03'19"	253°03'19"	-1800.000	
			69680.000	329046.264	8177545.302	16.189	253°03'19"	253°03'19"		
			69690.000	329036.698	8177542.387	16.257	253°03'19"	253°03'19"		
			69700.000	329027.132	8177539.473	16.315	253°03'19"	253°03'19"		
			69710.000	329017.567	8177536.558	16.348	253°03'19"	253°03'19"		
			69720.000	329008.001	8177533.644	16.373	253°03'19"	253°03'19"		
			69730.000	328998.435	8177530.729	16.389	253°03'19"	253°03'19"		
			69740.000	328988.869	8177527.815	16.428	253°03'19"	253°03'19"		
			69750.000	328979.303	8177524.900	16.452	253°03'19"	253°03'19"		
			69760.000	328969.737	8177521.986	16.470	253°03'19"	253°03'19"		
			69770.000	328960.171	8177519.071	16.479	253°03'19"	253°03'19"		
	LINE		69780.000	328950.606	8177516.157	16.488	253°03'19"			

IN SEG	OUT SEG	TAN	CHAINAGE	X COORD	Y COORD	LEVEL	IN BEARING	OUT BEARING	IN RAD	OUT RAD
	LINE		0.000	329017.558	8177536.556	16.346		163°03'15"		
			5.000	329019.015	8177531.772	16.184	163°03'15"	163°03'15"		
			10.000	329020.473	8177526.989	15.957	163°03'15"	163°03'15"		
	LINE	ARC	YES	14.726	329021.850	15.930	163°03'15"	163°03'15"		-14.500
			15.000	329021.933	8177522.207	15.836	161°58'19"	161°58'19"		
			20.000	329024.261	8177517.810	16.208	142°12'53"	142°12'53"		
			25.000	329027.939	8177514.440	16.709	122°27'28"	122°27'28"		
			30.000	329032.533	8177512.549	17.302	102°42'02"	102°42'02"		
			35.000	329037.502	8177512.304	17.710	82°56'36"	82°56'36"		
	ARC	LINE	YES	38.599	329040.982	8177513.183	17.926	66°43'28"	66°43'28"	-14.500
			40.000	329042.286	8177513.691	17.993	66°43'28"	66°43'28"		
			45.000	329046.947	8177515.506	18.178	66°43'28"	66°43'28"		
			50.000	329051.607	8177517.320	18.358	66°43'28"	66°43'28"		
			55.000	329056.268	8177519.134	18.534	66°43'28"	66°43'28"		
	LINE		60.000	329060.925	8177520.948	18.712	66°43'28"			

IN SEG	OUT SEG	TAN	CHAINAGE	X COORD	Y COORD	LEVEL	IN BEARING	OUT BEARING	IN RAD	OUT RAD
	ARC		0.000	329024.361	8177509.166	16.346		299°52'40"		-10.000
			5.000	329019.584	8177510.493	16.189	271°13'48"	271°13'48"		
	ARC	LINE	YES	6.926	329017.678	8177510.349	16.125	260°11'41"	260°11'41"	-10.000
			10.000	329014.647	8177508.825	16.032	260°11'41"	260°11'41"		
			15.000	329008.720	8177508.974	15.875	260°11'41"	260°11'41"		
			20.000	329004.793	8177508.122	15.718	260°11'41"	260°11'41"		
			25.000	328998.866	8177507.271	15.561	260°11'41"	260°11'41"		
			30.000	328994.939	8177506.419	15.403	260°11'41"	260°11'41"		
			35.000	328990.012	8177505.568	15.246	260°11'41"	260°11'41"		
			40.000	328985.085	8177504.716	15.089	260°11'41"	260°11'41"		
			45.000	328980.158	8177503.865	14.932	260°11'41"	260°11'41"		
	LINE		49.205	328976.014	8177503.149	14.800	260°11'41"			

ISSUED FOR APPROVAL
21 Oct, 2013 - 4:49pm

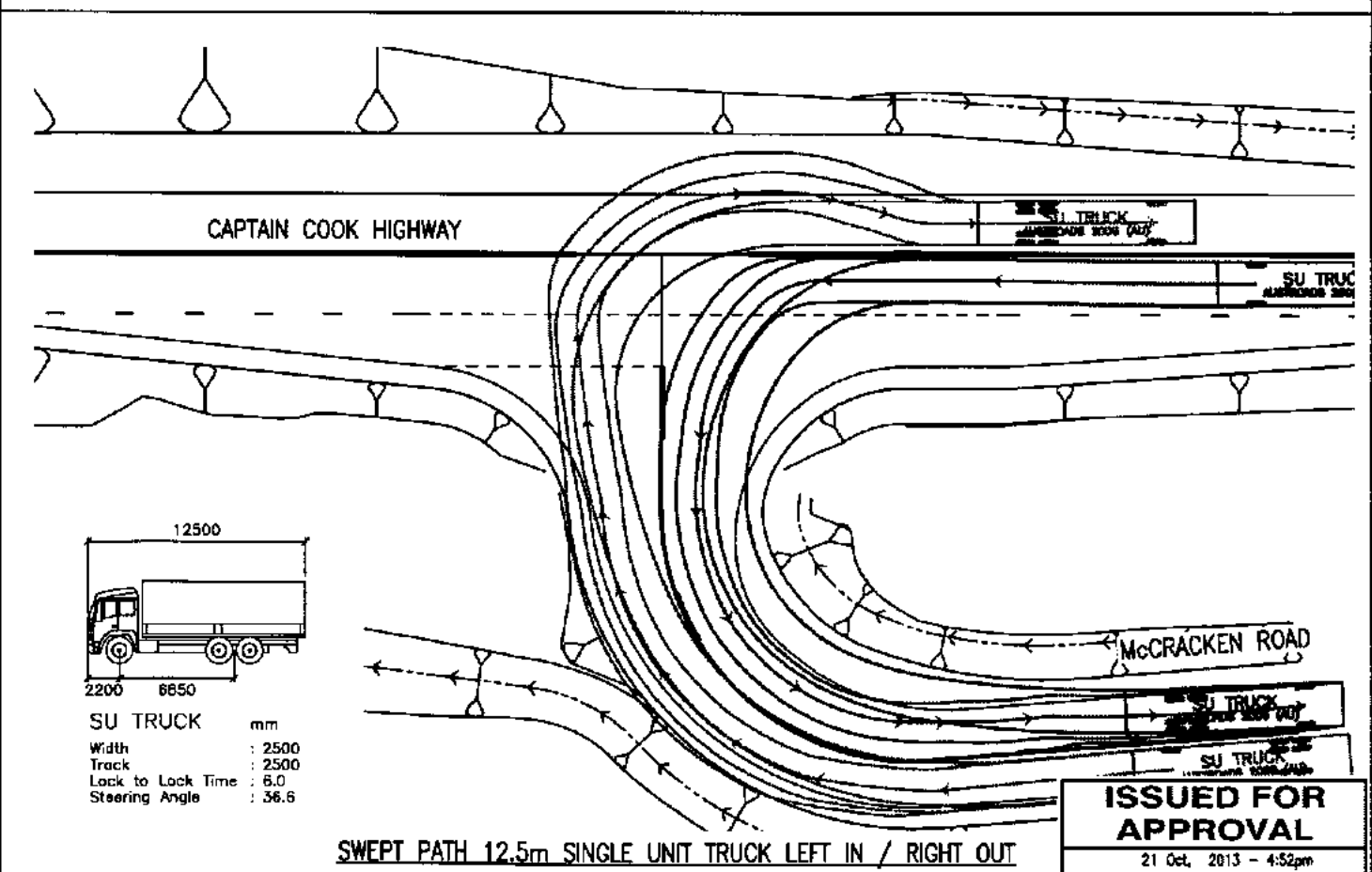
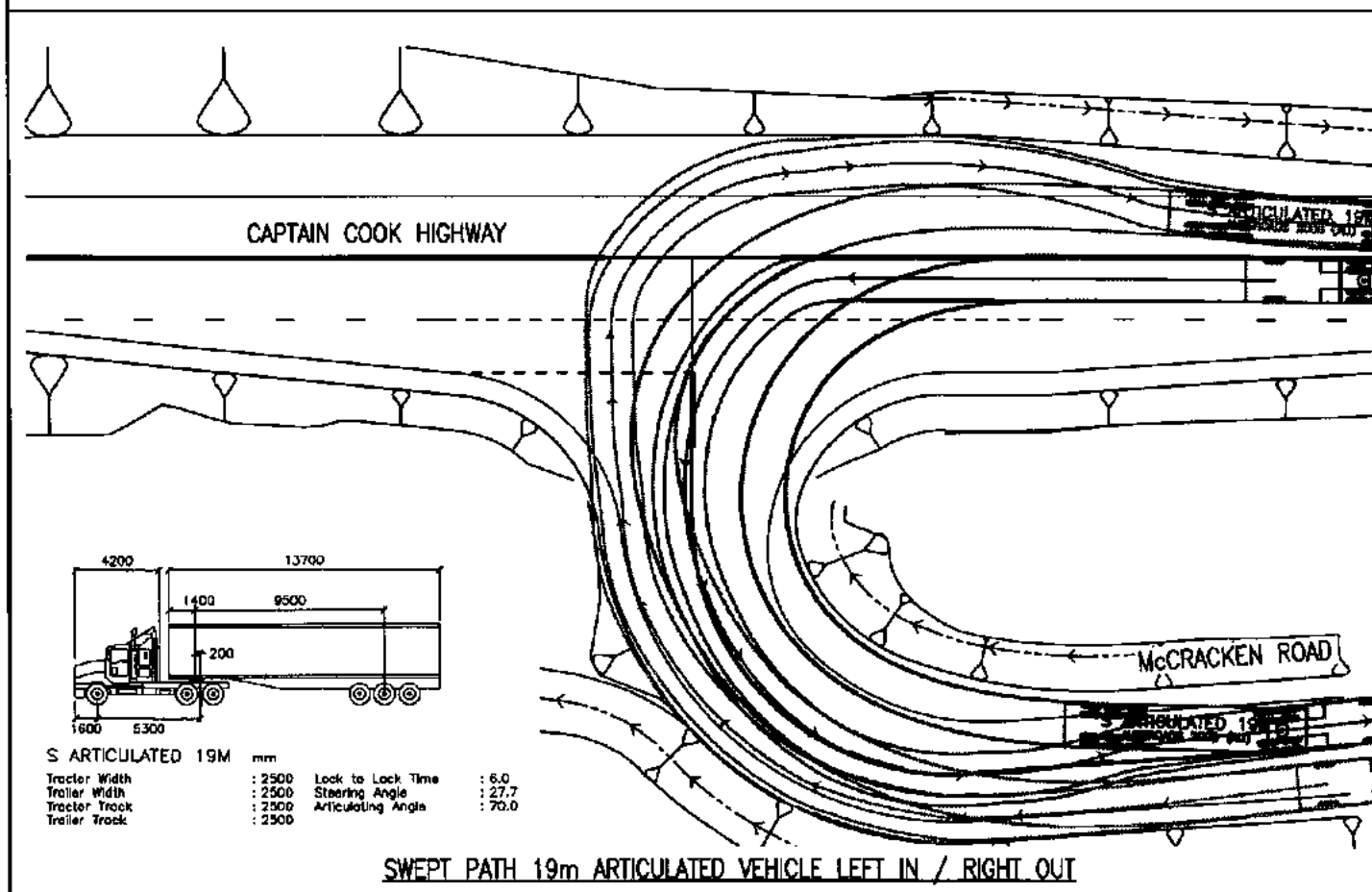
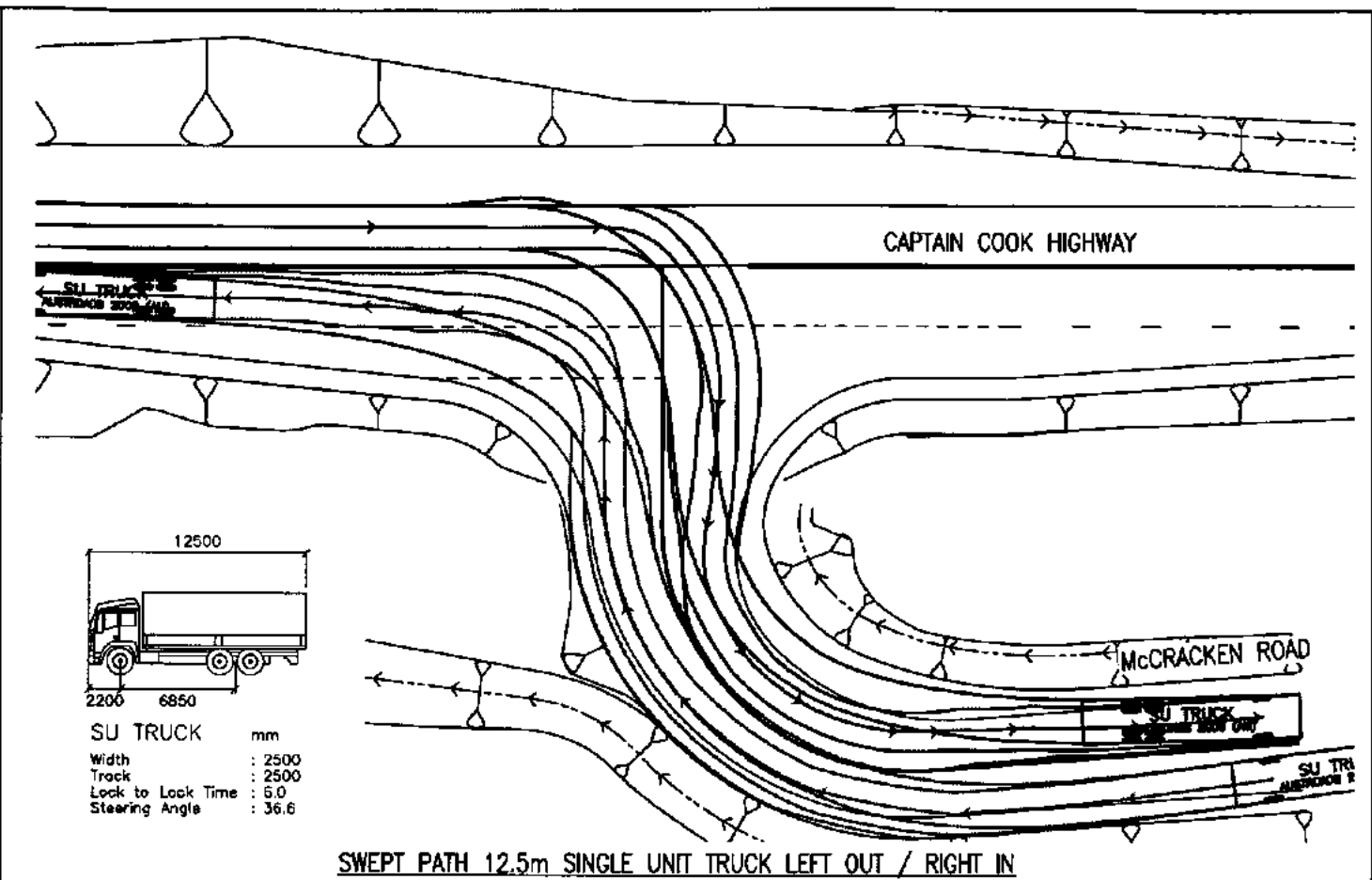
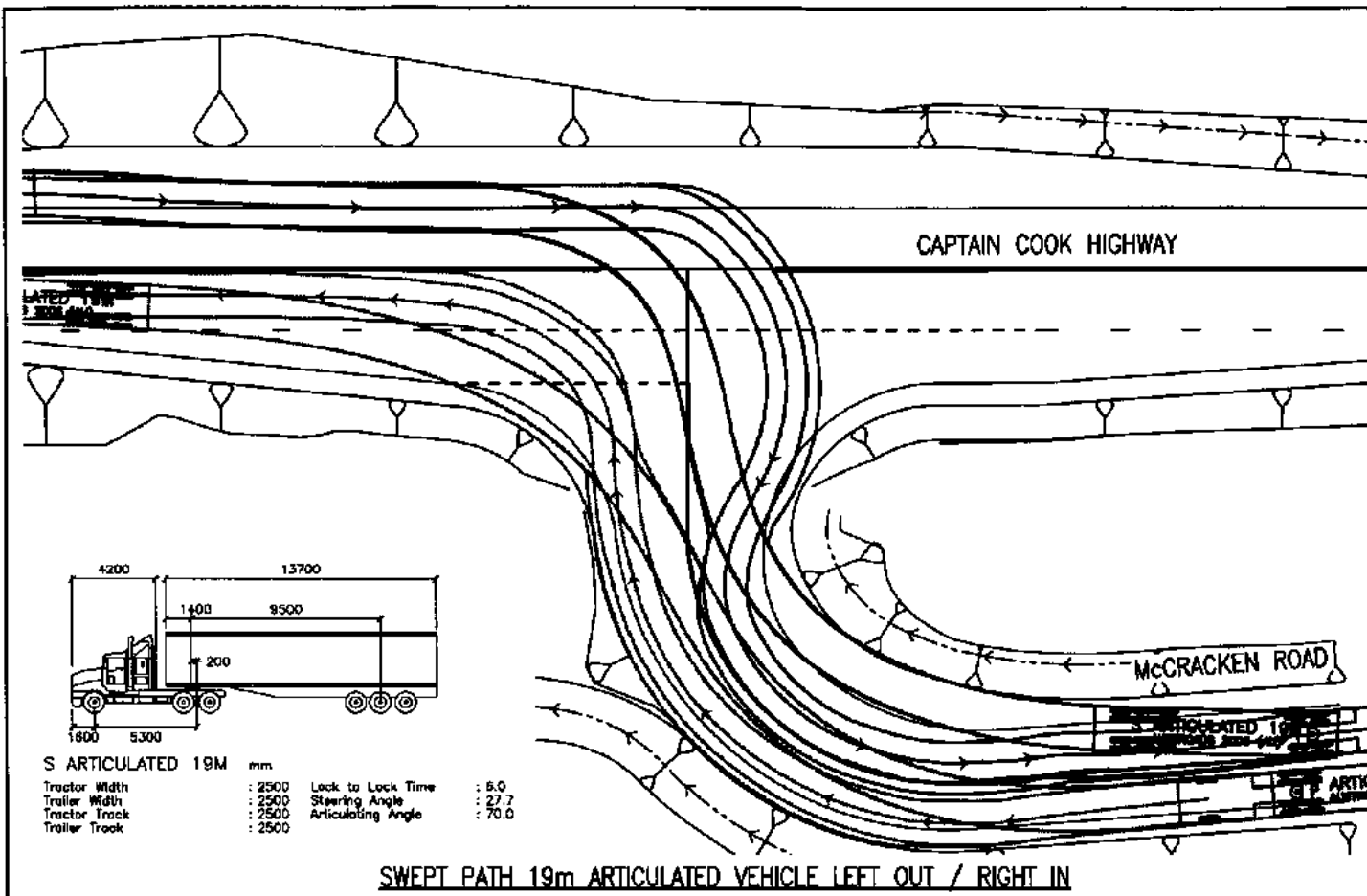
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No.	Date	By	Amendment	Checked
B	21/10/13	B	ISSUED FOR APPROVAL	
A	9/10/13	ED	90% PRELIMINARY ISSUE	

LAMBERT & REHBEIN
ENGINEERS MANAGERS SCIENTISTS
LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1831 CAIRNS 4871
A.C.N. 106 749 320
TELEPHONE (07) 4031 6788
FACSIMILE (07) 4031 6799
EMAIL info@l-r.com.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD
Title: CONTROL LINE SETOUT TABLES

Client: **LEO INTERNATIONAL GROUP**
Draftsperson: C.D. Checked: A.P. Sheet Size: A1 Drawing No.: C13018-CL-001
Designer: C.D. Approved: S. WILLIAMS RPEO No. 96417
Scale: AS SHOWN Date: 9/10/13



ISSUED FOR APPROVAL
 21 Oct, 2013 - 4:52pm

0 2 4 6 8m

SCALE 1:200 (A1)

No.	Date	By	Amendment	Checked
B	21/10/13	CD	ISSUED FOR APPROVAL	
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LAMBERT & REHBEIN
 ENGINEERS • MANAGERS • SCIENTISTS

LEVEL 2, 24 FLORENCE STREET
 CAIRNS QLD 4870
 P.O. BOX 1630 CAIRNS 4870
 A.C.N. 106 749 320

TELEPHONE (07) 4031 6788
 FACSIMILE (07) 4031 6799
 EMAIL mail@lar.net.au

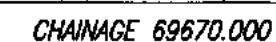
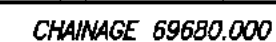
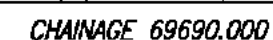
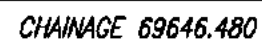
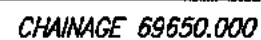
Project: **CASSOWARY RIDGE SUBDEVELOPMENT
 ACCESS INTERSECTION UPGRADE
 CAPTAIN COOK HWY AND McCRACKEN RD**

Title: **VEHICLE SWEEP PATH ASSESSMENT**

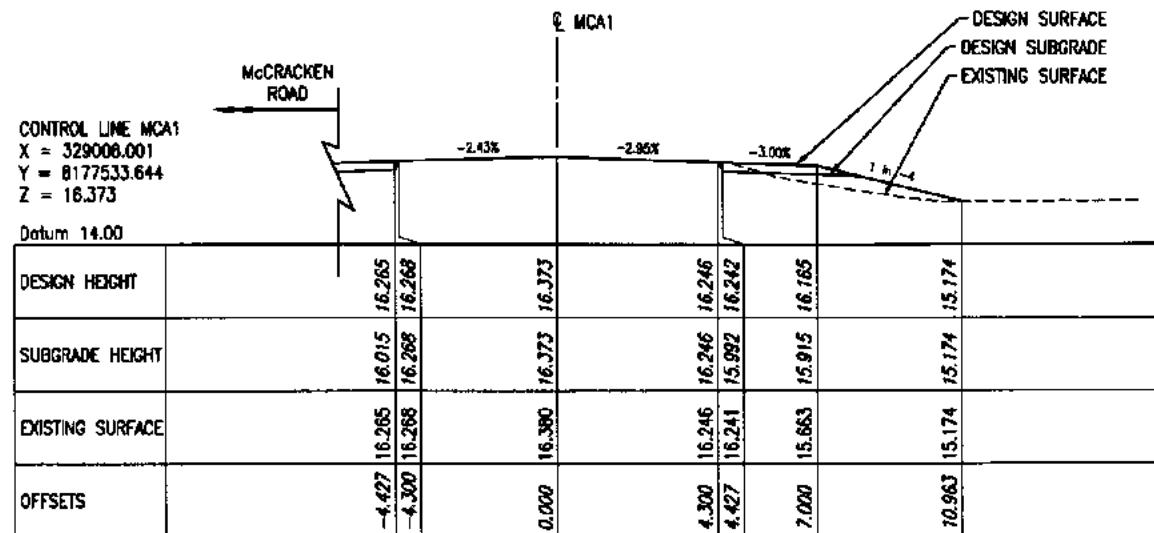
Client: **LEO INTERNATIONAL GROUP**

Draftsperson: C.D.	Checked: A.P.	Sheet Size A1	Drawing No. C13018-SP-001
Designer: C.D.	Approved: S. WILLIAMS RPEQ No: 86417	Date: 9/10/13	
Scale: AS SHOWN			

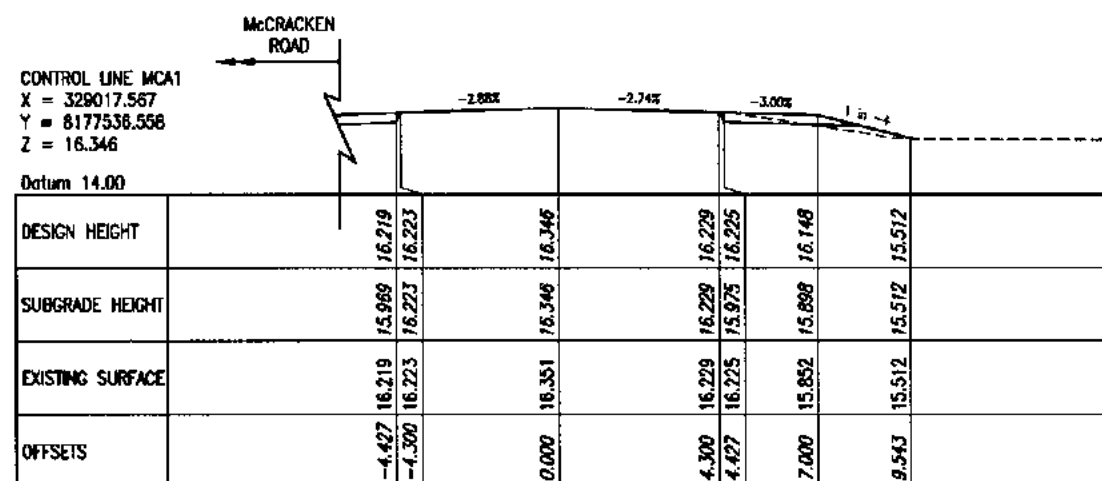
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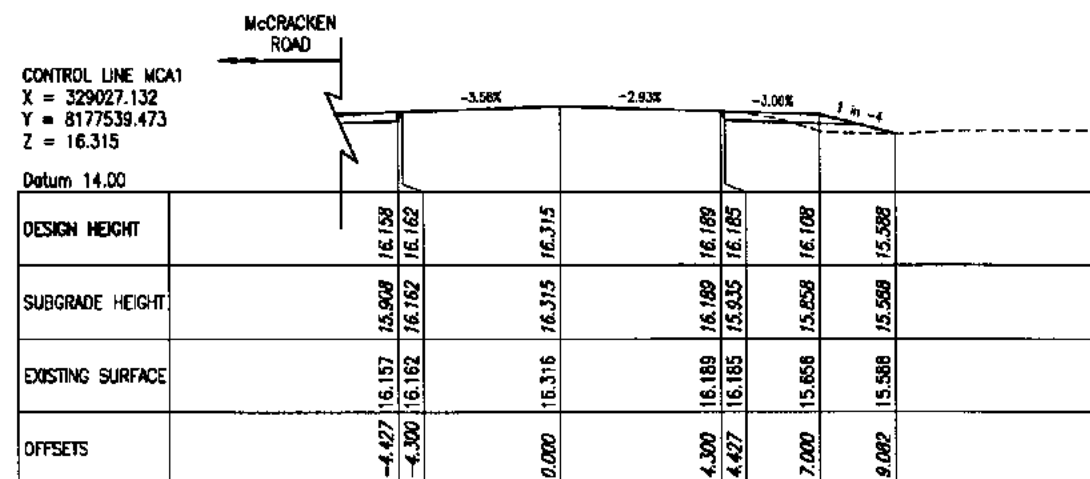
21 Oct 2013 - 5:48pm



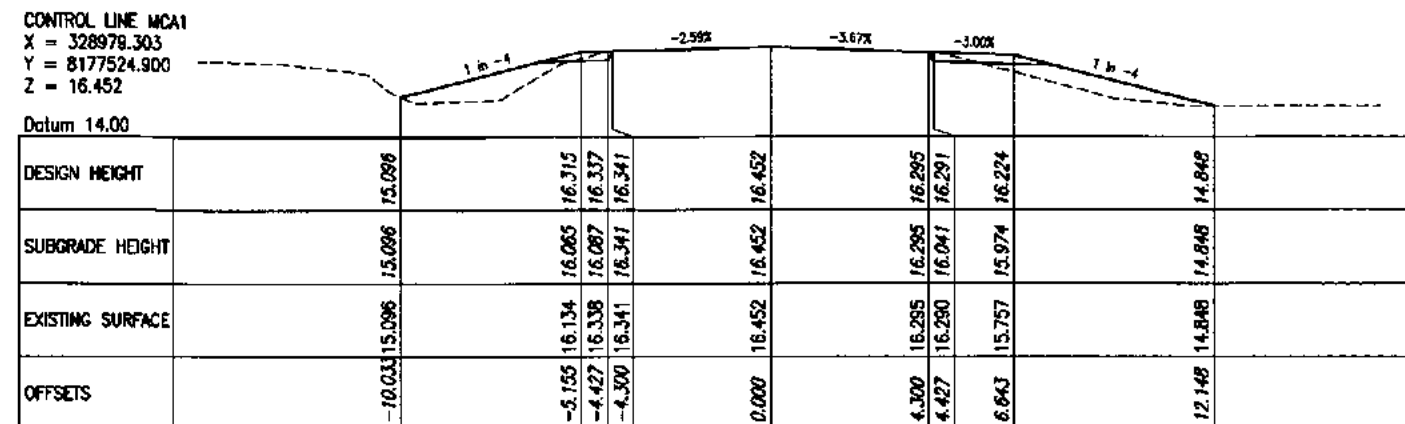
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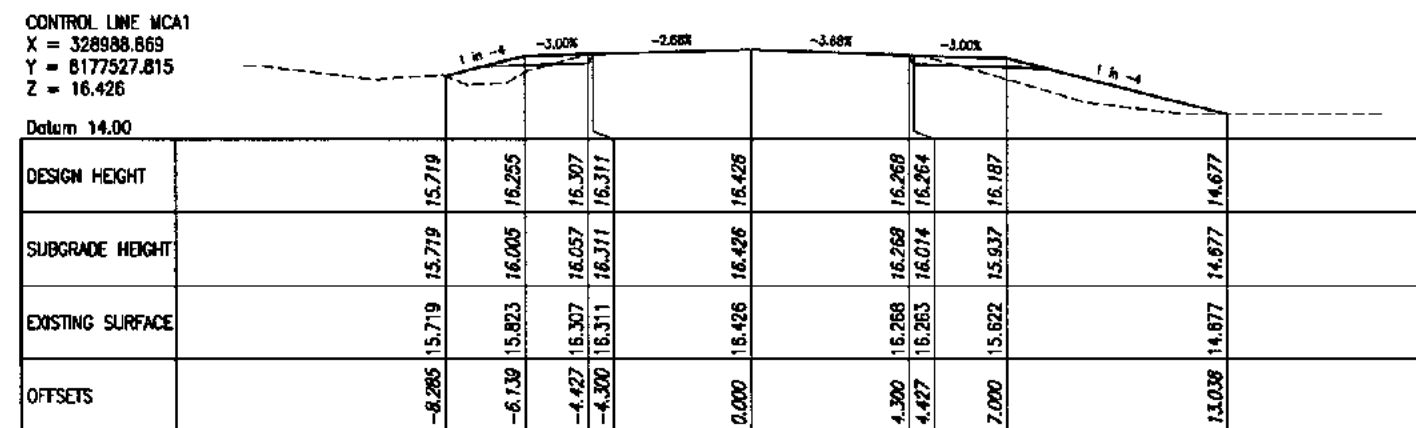
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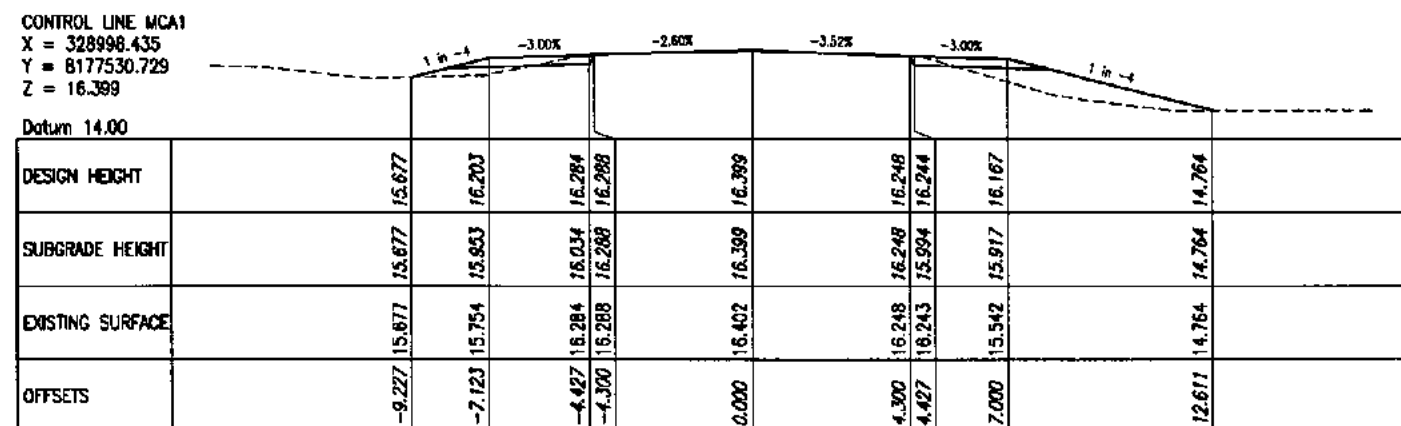
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CHAINAGE 69750.000



CHAINAGE 69740.000



CHAINAGE 69730.000

GENERAL NOTES:

1. FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
2. FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
3. FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

ISSUED FOR APPROVAL

21 Oct, 2013 ~ 5:31pm

0 1 2 3 4m
SCALE 1:100 (A1)

No.	Date	By	Amendment	Checked
B	21/10/13	CD	ISSUED FOR APPROVAL	
A	9/10/13	CD	90% PRELIMINARY ISSUE	

LAMBERT & REHBEIN
ENGINEERS MANAGERS SCIENTISTS

LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1030 CAIRNS 4870
A.C.N. 106 749 920

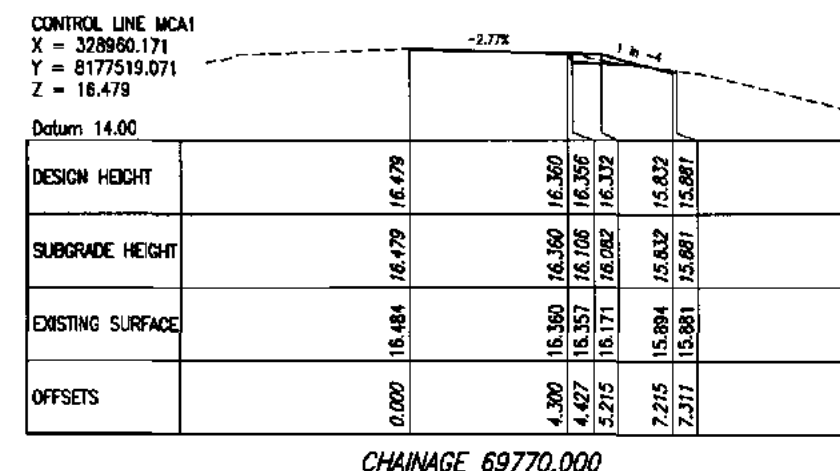
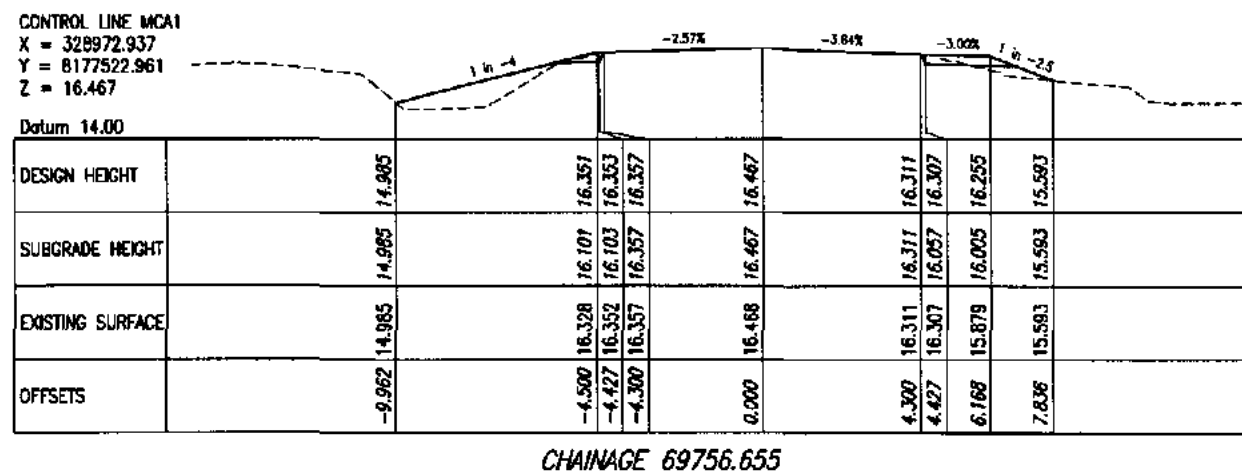
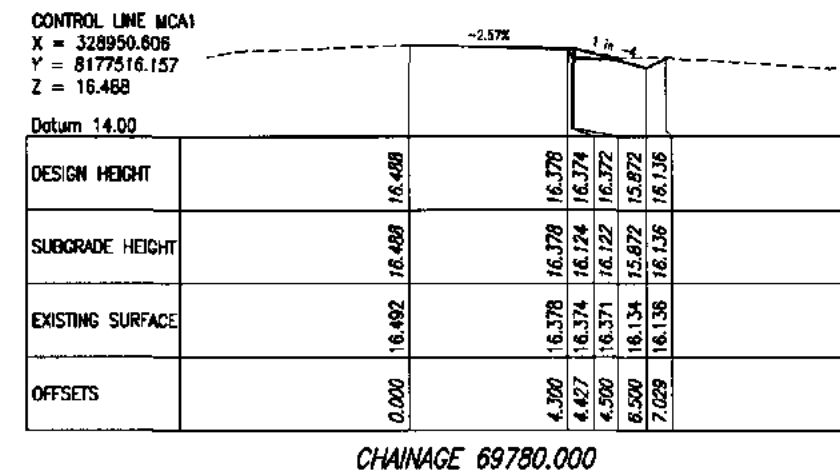
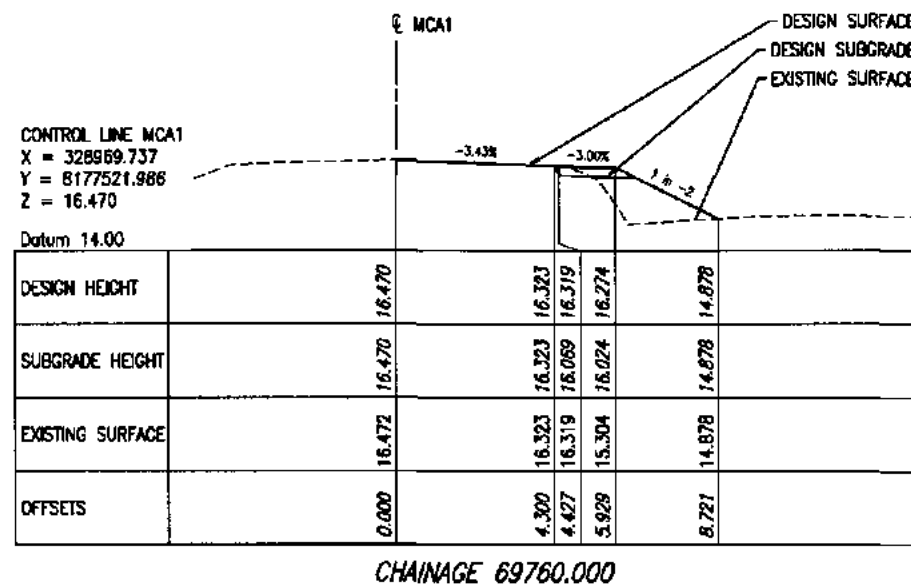
TELEPHONE (07) 4031 4788
FACSIMILE (07) 4031 6799
EMAIL mail@l-r.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD

Title: ANNOTATED CROSS SECTIONS (MCA1)
SHEET 2 OF 3

Client: LEO INTERNATIONAL GROUP

Draftsperson	Checked	Sheet	Drawing No.
C.D.	A.P.	A1	C13018-XS-002
Designer	Approved: S. WILLIAMS		
C.D.	APD No: 55417		
Scale:	Date: 9/10/13	A	
AS SHOWN			



GENERAL NOTES:

1. FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
2. FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
3. FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

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21 Oct, 2013 - 5:29pm

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CAIRNS QLD 4870
P.O. BOX 1838 CAIRNS 4870
A.C.N. 106 749 320

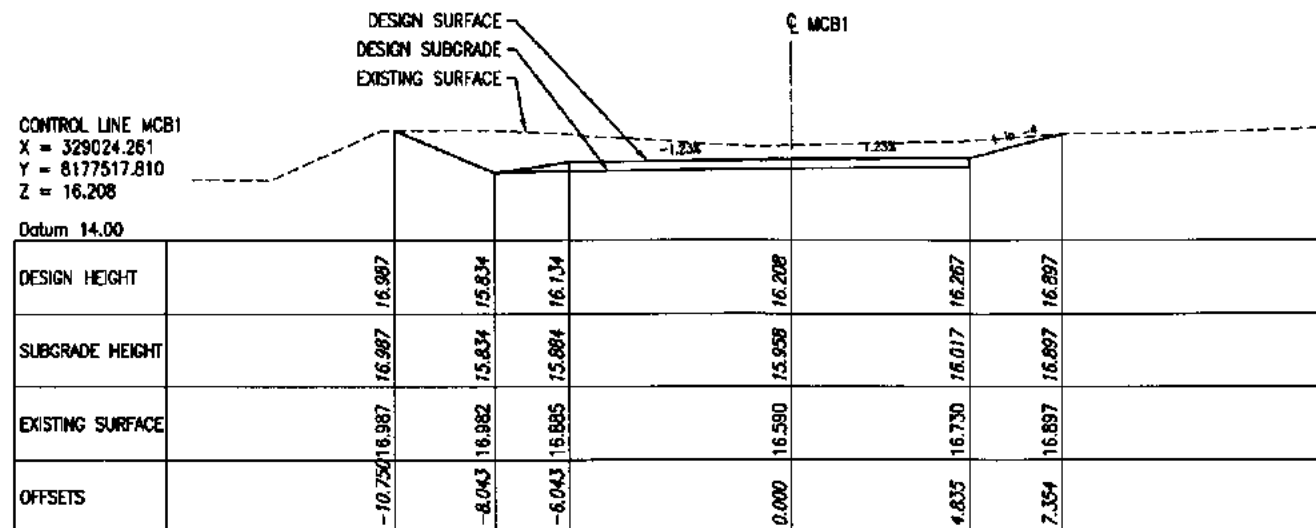
TELEPHONE (07) 4031 6788
FACSIMILE (07) 4031 6799
EMAIL mail@lar.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND MCCrackEN RD

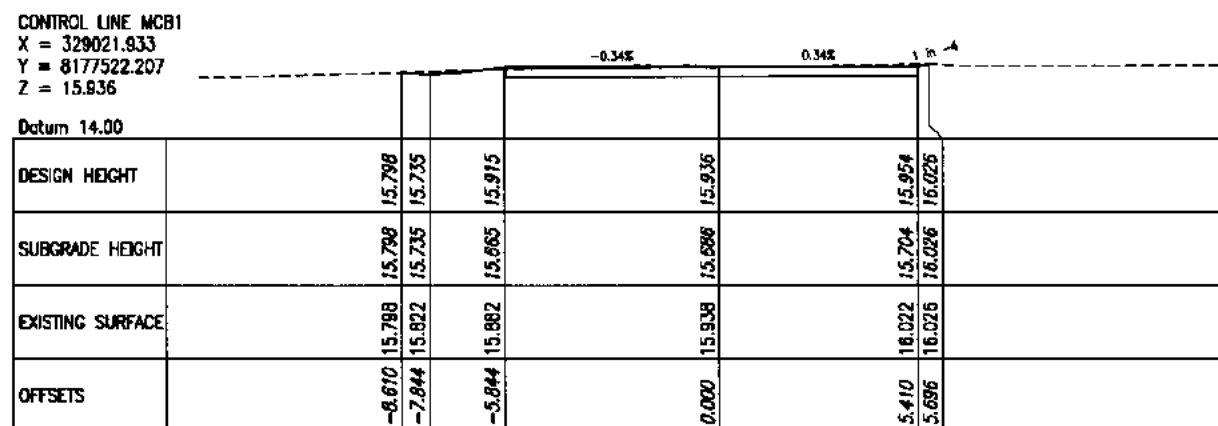
Title: ANNOTATED CROSS SECTIONS (MCA1)
SHEET 3 OF 3

Client: LEO INTERNATIONAL GROUP

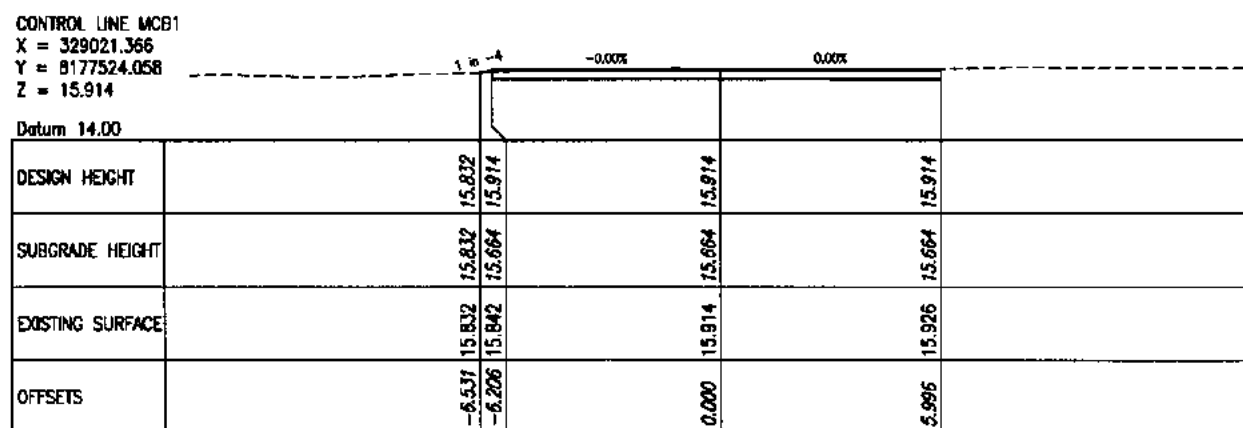
Draftsperson: C.D.	Checked: A.P.	Sheet Size A1	Drawing No. C13018-XS-003
Designer: C.D.	Approved: S. WILLIAMS RPEP No: 86477	Scale: AS SHOWN	Date: 9/18/13



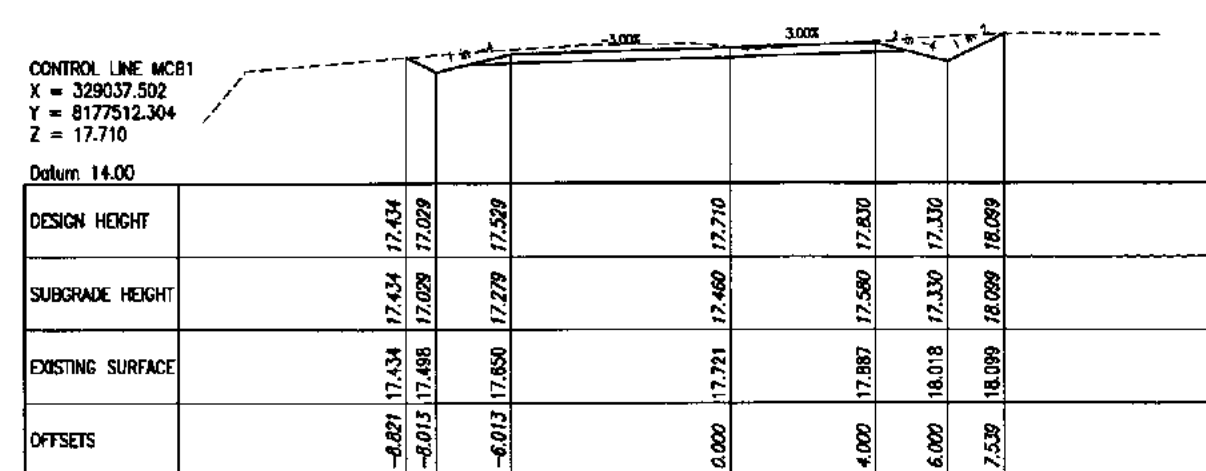
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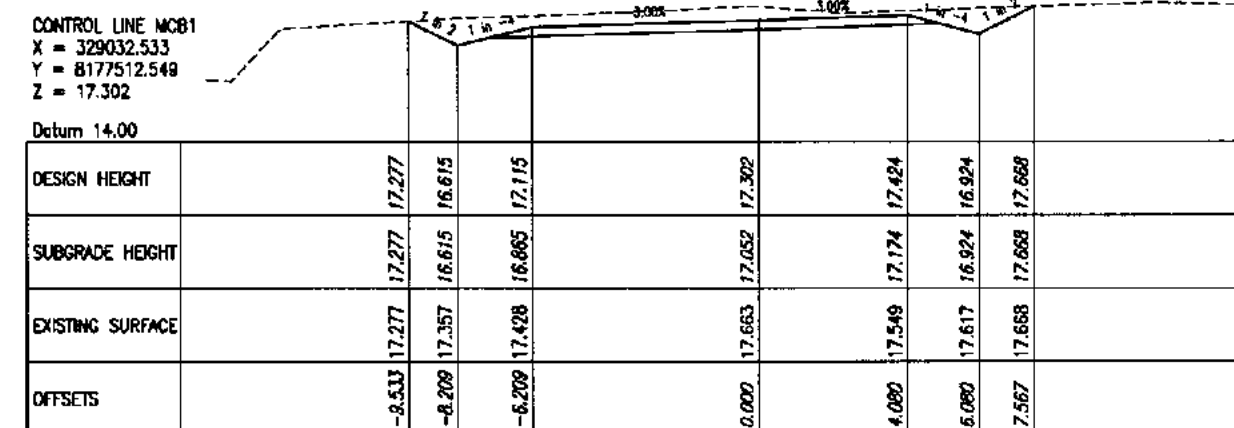
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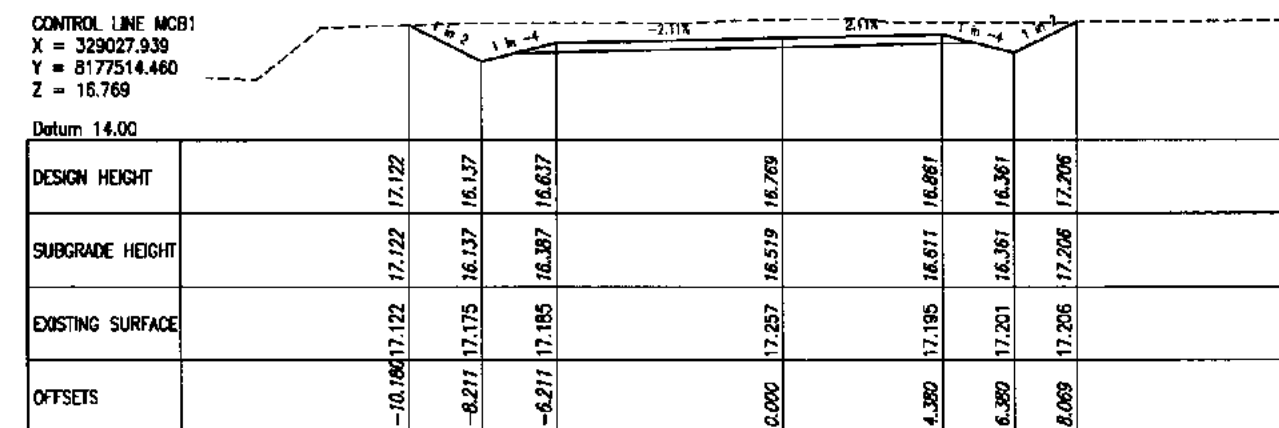
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CHAINAGE 30.000



CHAINAGE 25.000

GENERAL NOTES:

- FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
- FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
- FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

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APPROVAL**

21 Oct, 2013 - 5:27pm

0 1 2 3 4m

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ENGINEERS • MANAGERS • SCIENTISTS

LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1838 CAIRNS 4870
A.C.N. 106 749 320

TELEPHONE (07) 4081 4788
FACSIMILE (07) 4081 6799
EMAIL mail@l-r.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND MCCrackEN RD

Client: LEO INTERNATIONAL GROUP

Draftsperson:

C.D.

Checked:

A.P.

Designer:

C.D.

Approved: S. WILLIAMS

RPEQ No: 84417

Scale:

AS SHOWN

Date: 9/10/13

Sheet

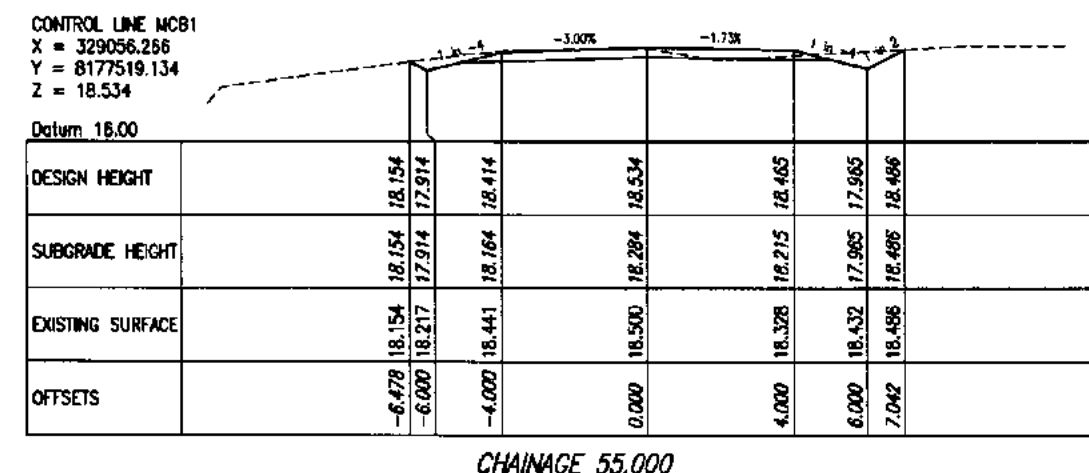
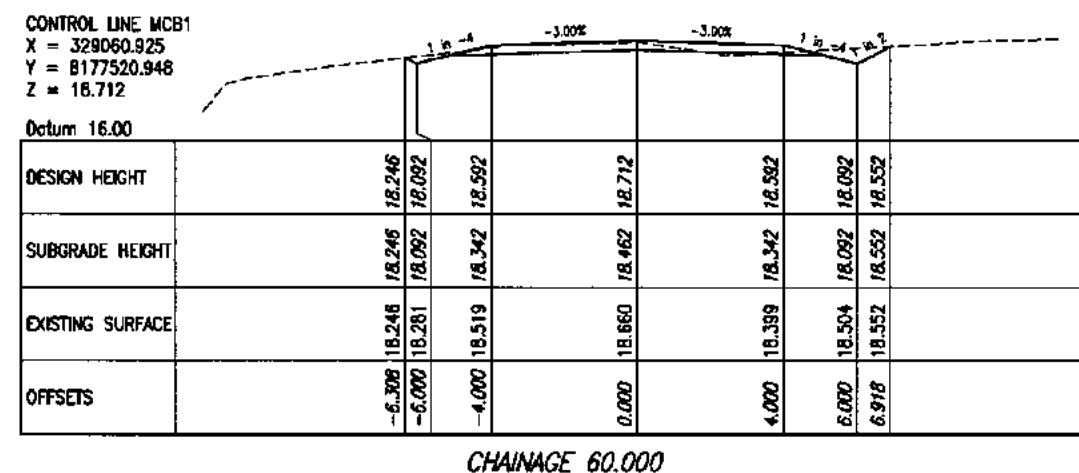
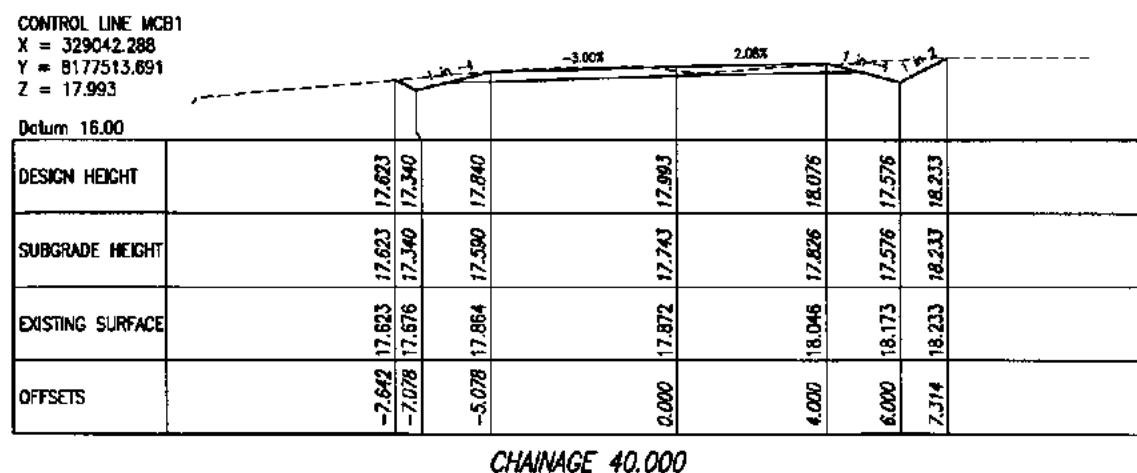
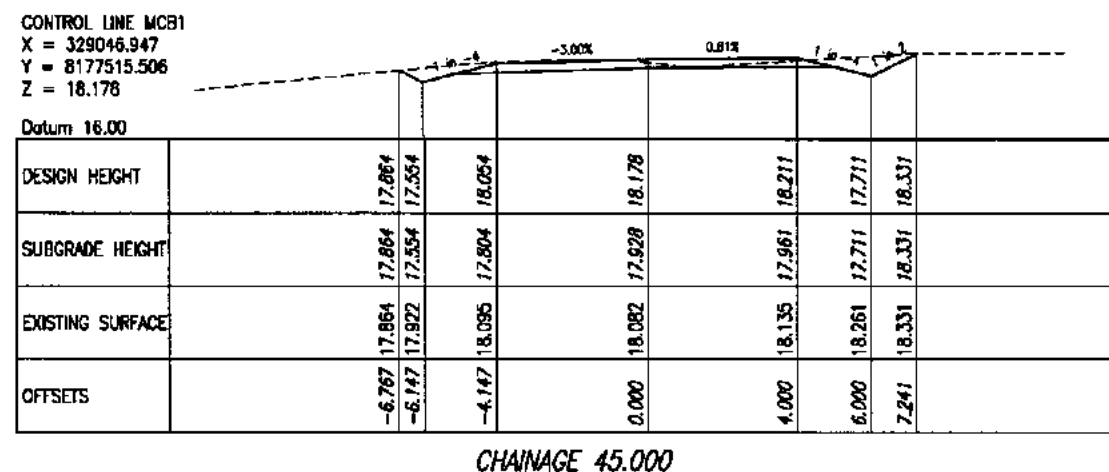
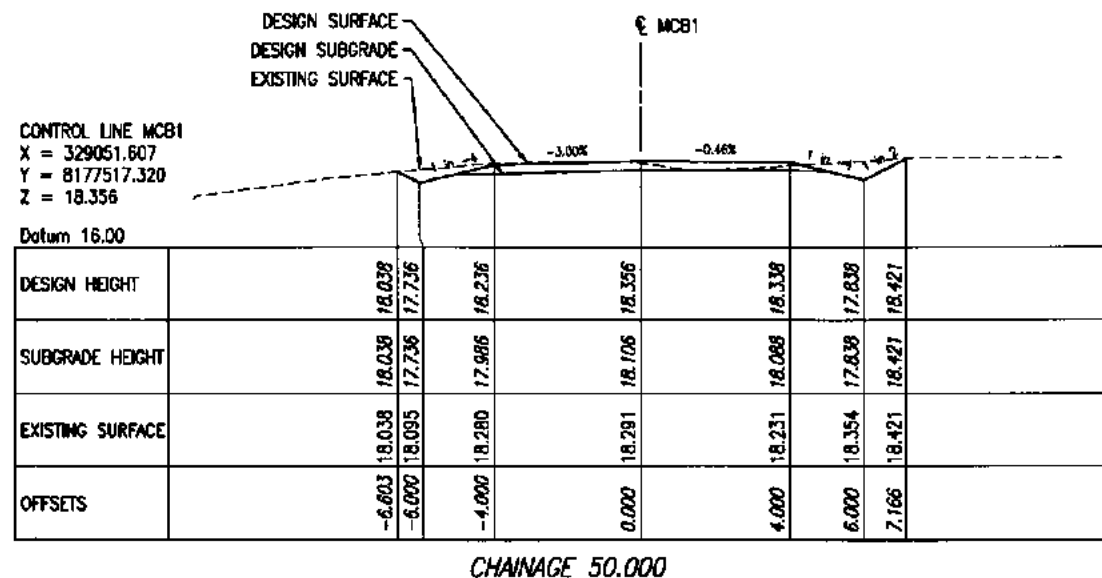
Size

A1

C13018-XS-004

Drawing No.

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GENERAL NOTES:

1. FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
2. FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
3. FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

**ISSUED FOR
APPROVAL**

21 Oct. 2013 - 5:50pm

0 1 2 3 4m
SCALE 1:100 (A1)

No.	Date	By	Amendment	Checked
B	21/10/13	CD	ISSUED FOR APPROVAL	
A	9/10/13	CD	30% PRELIMINARY ISSUE	

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ENGINEERS • MANAGERS • SCIENTISTS

LEVEL 3, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1638 CAIRNS 4870
A.C.N. 106 749 320

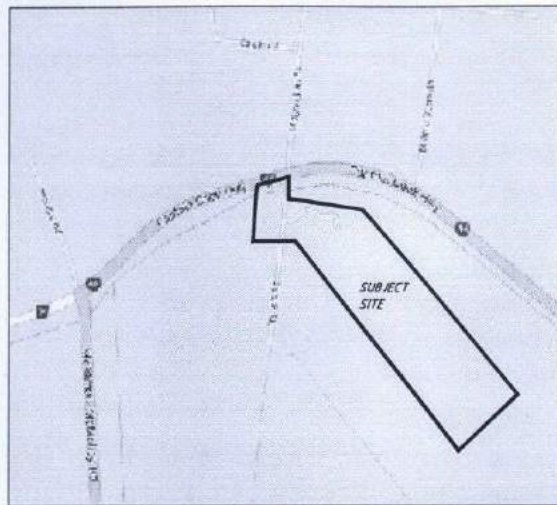
TELEPHONE (07) 4931 6789
FAXSIMILE (07) 4931 6799
EMAIL mail@lor.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND MCCrackEN RD

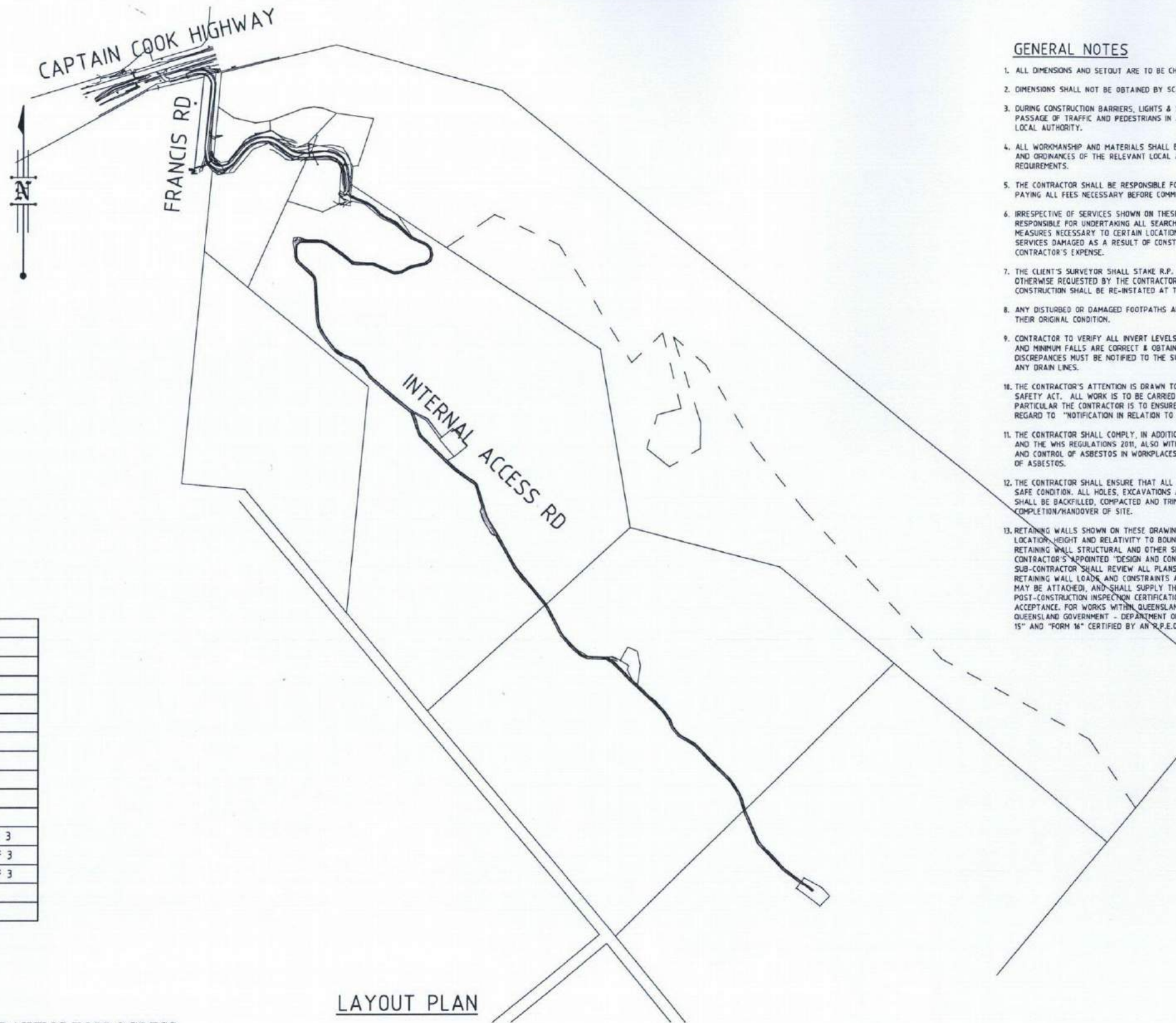
Client: LEO INTERNATIONAL GROUP
Title: ANNOTATED CROSS SECTIONS (MCB1)
SHEET 2 OF 2

Client: LEO INTERNATIONAL GROUP						
Drawn by: C.D.	Checked: A.P.	Sheet Size	Drawing No.			
Designer: C.D.	Approved: S. WILLIAMS RPEQ No. 04477	A1	C13018-XS-005			
Scale: AS SHOWN	Date: 9/10/13				A	

CASSOWARY RIDGE SUBDIVISION



LOCALITY PLAN



LAYOUT PLAN

DRAWING INDEX

DRAWING NO.	DRAWING DESCRIPTION
C13018-C000	COVER SHEET AND DRAWING LIST
C13018-C001	LAYOUT PLAN - SHEET 1 OF 5
C13018-C002	LAYOUT PLAN - SHEET 2 OF 5
C13018-C003	LAYOUT PLAN - SHEET 3 OF 5
C13018-C004	LAYOUT PLAN - SHEET 4 OF 5
C13018-C005	LAYOUT PLAN - SHEET 5 OF 5
C13018-C006	FRANCIS ROAD LONGITUDINAL SECTION
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C13018-C010	INTERNAL ACCESS ROAD LONGITUDINAL SECTION - SHEET 1 OF 3
C13018-C011	INTERNAL ACCESS ROAD LONGITUDINAL SECTION - SHEET 2 OF 3
C13018-C012	INTERNAL ACCESS ROAD LONGITUDINAL SECTION - SHEET 3 OF 3
C13018-C013	INTERNAL ACCESS ROAD CROSS SECTIONS - SHEET 1 OF 2
C13018-C014	INTERNAL ACCESS ROAD CROSS SECTIONS - SHEET 2 OF 2

EXISTING SERVICES

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DRAWING IN PROGRESS



LAMBERT & REHBEIN
ENGINEERS • MANAGERS • SCIENTISTS

LEVEL 2, 24 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1830 CAIRNS 4870
A.C.N. 106 749 320

TELEPHONE (07) 4031 6788
FACSIMILE (07) 4031 6799
EMAIL mail@lar.net.au



Project: CASSOWARY RIDGE SUBDIVISION

Title: COVER SHEET AND DRAWING LIST

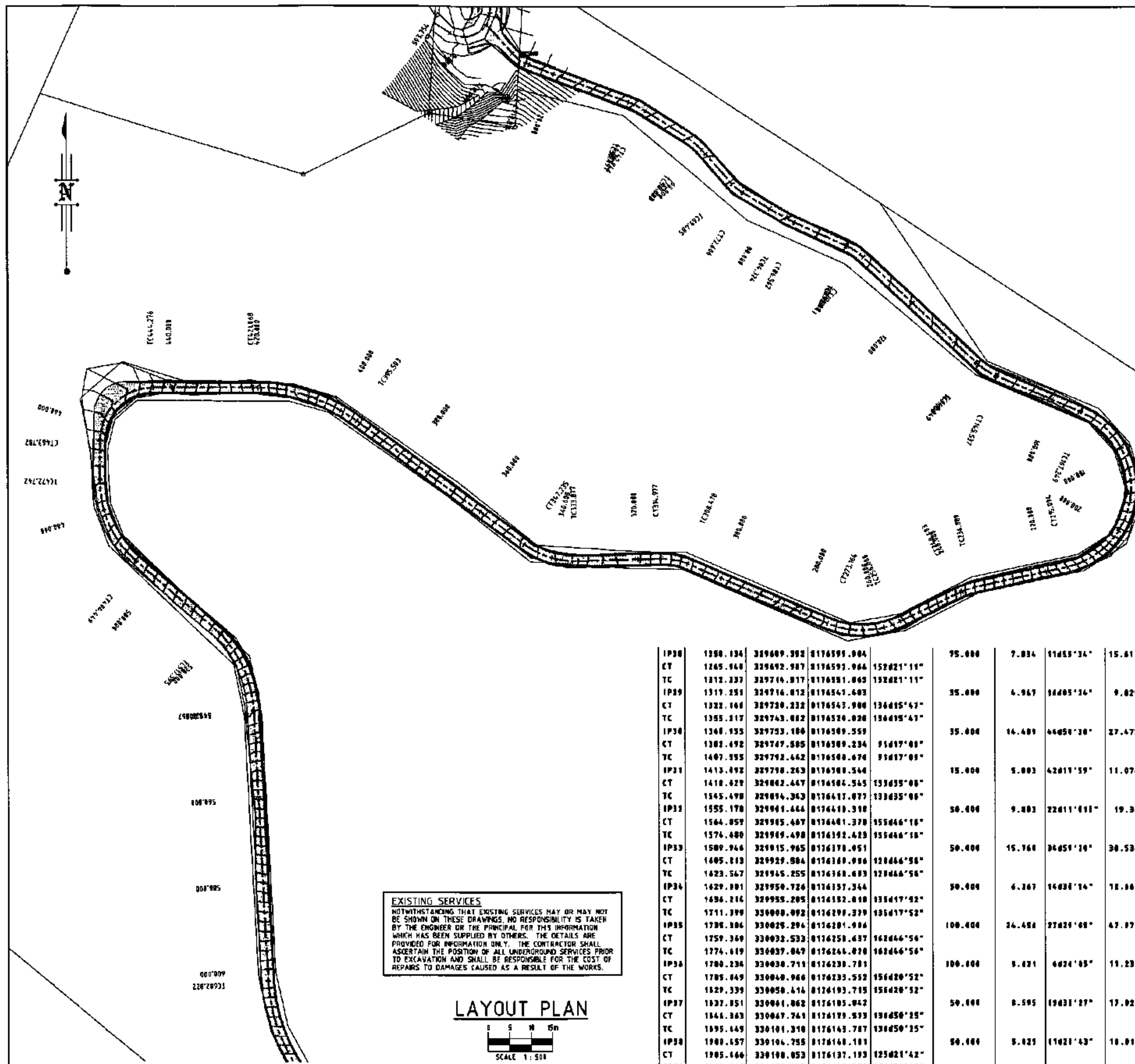
Client: **LEO INTERNATIONAL GROUP**

Draftsperson:	Checked:	Sheet Size	Drawing No.
MJ	AP	A1	C13018-C000
Designer:	Approved:		
MJ	REG No.		
Scale:	Date:		
NTS	October 2013		

GENERAL NOTES

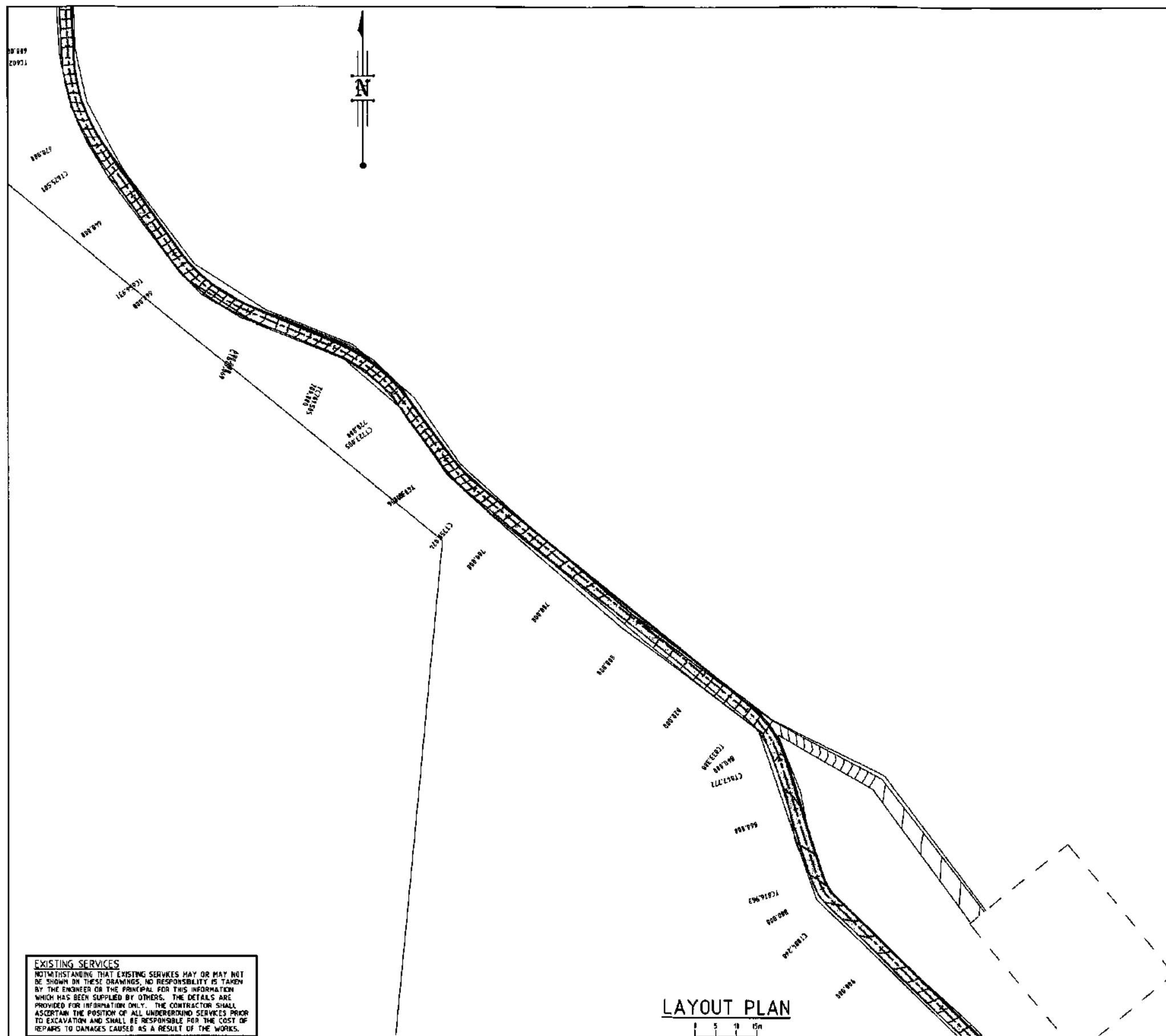
1. ALL DIMENSIONS AND SETOUT ARE TO BE CHECKED ON-SITE BEFORE WORK COMMENCES.
2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING.
3. DURING CONSTRUCTION BARRIERS, LIGHTS & SIGNS SHALL BE MAINTAINED TO ENSURE SAFE PASSAGE OF TRAFFIC AND PEDESTRIANS IN ACCORDANCE WITH THE REQUIREMENTS OF ALL LOCAL AUTHORITY.
4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH S.A.A. CODES & BY-LAWS AND ORDINANCES OF THE RELEVANT LOCAL AUTHORITY AND WORKPLACE HEALTH AND SAFETY REQUIREMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL RELEVANT AUTHORITIES AND PAYING ALL FEES NECESSARY BEFORE COMMENCING WORK.
6. IRRESPECTIVE OF SERVICES SHOWN ON THESE DRAWINGS THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERTAKING ALL SEARCHES, ORGANISING POT-HOLING AND ALL OTHER MEASURES NECESSARY TO CERTAIN LOCATION AND DEPTH OF EXISTING SERVICES. ANY SERVICES DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE RE-INSTATED AT THE CONTRACTOR'S EXPENSE.
7. THE CLIENT'S SURVEYOR SHALL STAKE R.P. BOUNDARIES PRIOR TO CONSTRUCTION UNLESS OTHERWISE REQUESTED BY THE CONTRACTOR. ANY PEGS DAMAGED OR LOST DURING CONSTRUCTION SHALL BE RE-INSTATED AT THE CONTRACTOR'S EXPENSE.
8. ANY DISTURBED OR DAMAGED FOOTPATHS AND PRIVATE PROPERTY SHALL BE REINSTATED TO THEIR ORIGINAL CONDITION.
9. CONTRACTOR TO VERIFY ALL INVERT LEVELS, SURFACE LEVELS, COVER OVER DRAINAGE LINES, AND MINIMUM FALLS ARE CORRECT & OBTAINABLE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES MUST BE NOTIFIED TO THE SUPERVISING ENGINEER PRIOR TO INSTALLATION OF ANY DRAIN LINES.
10. THE CONTRACTOR'S ATTENTION IS DRAWN TO THE REQUIREMENTS OF THE WORK HEALTH AND SAFETY ACT. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THIS ACT AND IN PARTICULAR THE CONTRACTOR IS TO ENSURE THE REQUIREMENTS OF THIS SPECIFICATION WITH REGARD TO "NOTIFICATION IN RELATION TO A NOTIFIABLE PROJECT" ARE FULFILLED.
11. THE CONTRACTOR SHALL COMPLY, IN ADDITION TO THE REQUIREMENTS OF THE WHS ACT 2011 AND THE WHS REGULATIONS 2011, ALSO WITH THE CODE OF PRACTICE FOR THE MANAGEMENT AND CONTROL OF ASBESTOS IN WORKPLACES AND CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS.
12. THE CONTRACTOR SHALL ENSURE THAT ALL WORKS AREAS ARE LEFT CLEAN, TIDY AND IN SAFE CONDITION. ALL HOLES, EXCAVATIONS AND OTHER CONSTRUCTION TRAFFIC DEPRESSIONS SHALL BE BACKFILLED, COMPACTED AND TRIMMED TO AN EVENLY GRASSED PROFILE PRIOR TO COMPLETION/HANDOVER OF SITE.
13. RETAINING WALLS SHOWN ON THESE DRAWINGS INDICATE ONLY THE RETAINING WALL TYPE, LOCATION, HEIGHT AND RELATIVITY TO BOUNDARIES OR OTHER KNOWN ELEMENTS. ALL RETAINING WALL STRUCTURAL AND OTHER SPECIFICATION SHALL BE DETAILED BY THE CONTRACTOR'S APPOINTED "DESIGN AND CONSTRUCTION" SUB-CONTRACTOR. THIS APPOINTED SUB-CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS TO ENSURE THAT ALL RETAINING WALL LOADS AND CONSTRAINTS ARE ACCOMMODATED INCLUDING ANY FENCES WHICH MAY BE ATTACHED, AND SHALL SUPPLY THE SUPERVISING ENGINEER ALL DESIGN AND POST-CONSTRUCTION INSPECTION CERTIFICATIONS NECESSARY FOR RELEVANT LOCAL AUTHORITY ACCEPTANCE. FOR WORKS WITHIN QUEENSLAND THIS SHALL INCLUDE (BUT NOT LIMITED TO) QUEENSLAND GOVERNMENT - DEPARTMENT OF LOCAL GOVERNMENT AND PLANNING IDAS "FORM 15" AND "FORM 16" CERTIFIED BY AN R.P.E.G. ENGINEER.

No.	Date	By	Amendment	Checked
A	11/10/13	MJ	90% PRELIMINARY ISSUE	



PT	CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL	TANGENT	DEF ANGLE	ARC LEN
IP1	0.000	329348.195	0171319.253	130d19'05"				
TC	0.997	329348.197	0171319.253	130d19'05"	10.000	2.456	27d35'59"	4.013
IP2	11.405	329347.811	0171318.699					
CT	13.014	329350.100	0171318.031	110d43'06"				
TC	30.497	329373.195	0171317.098	110d43'06"	20.000	2.234	12d44'47"	4.449
IP3	40.722	329375.204	0171318.900					
CT	42.944	329377.140	0171318.076	123d21'52"				
TC	56.040	329387.077	0171318.513	123d21'52"	15.000	1.990	15d10'35"	3.973
IP4	56.034	329388.744	0171319.412					
CT	58.021	329390.064	0171318.912	130d30'27"				
TC	69.488	329397.111	0171318.907	130d30'27"	10.000	1.573	17d53'44"	3.120
IP5	71.045	329398.150	0171318.727					
CT	72.000	329399.502	0171319.922	130d41'43"				
TC	81.324	329409.572	0171319.920	130d41'43"	20.000	2.120	4d34'37"	2.830
IP6	85.443	329410.534	0171319.350					
CT	86.562	329411.554	0171319.096	116d21'04"				
TC	99.020	329423.307	0171318.547	116d21'04"	15.000	2.479	10d45'59"	4.013
IP7	101.984	329425.425	0171318.525					
CT	104.441	329427.434	0171318.031	133d07'05"				
TC	140.369	329453.645	0171318.200	133d07'05"	15.000	2.620	19d40'50"	5.100
IP8	142.743	329455.550	0171318.497					
CT	145.557	329457.964	0171319.440	115d11'07"				
TC	167.249	329477.906	0171319.071	115d11'07"	19.000	50.941	14d16'30"	17.044
IP9	191.171	329532.000	0171319.540					
CT	215.004	329474.676	0171318.066	257d34'48"				
TC	236.009	329453.191	0171318.170	257d34'45"	15.000	1.006	13d43'41"	3.594
IP10	238.004	329451.627	0171318.709					
CT	240.403	329449.007	0171318.994	213d51'04"				
TC	250.000	329435.070	0171318.155	213d51'04"	20.000	9.151	49d10'17"	17.164
IP11	264.582	329427.684	0171317.122					
CT	275.104	329419.242	0171317.701	213d01'11"				
TC	300.470	329384.741	0171318.512	213d01'21"	15.000	3.301	24d49'24"	6.409
IP12	311.725	329383.703	0171318.003					
CT	314.977	329380.403	0171318.699	210d11'50"				
TC	339.077	329384.513	0171318.104	210d11'50"	20.000	6.930	30d15'56"	13.357
IP13	340.050	329384.574	0171318.000					
CT	347.235	329348.997	0171318.011	316d27'53"				
TC	395.503	329310.170	0171318.690	316d27'53"	40.000	13.230	34d37'00"	25.565
IP14	400.205	329299.534	0171318.505					
CT	421.000	329306.297	0171318.529	210d50'44"				
TC	444.276	329263.009	0171318.467	210d50'44"	12.500	12.371	09d26'27"	19.504
IP15	454.019	329250.710	0171318.434					
CT	469.702	329259.023	0171318.042	100d20'17"				
TC	472.742	329250.555	0171318.103	100d20'17"	25.000	11.591	49d44'59"	21.707
IP16	480.396	329250.460	0171318.512					
CT	491.449	329259.255	0171318.955	130d41'10"				
TC	517.595	329276.006	0171318.065	130d41'10"	27.500	11.707	44d24'07"	22.271
IP17	528.731	329285.744	0171317.101					
CT	539.067	329246.342	0171319.409	177d05'24"				
TC	602.022	329229.530	0171318.535	177d05'24"	40.000	11.453	32d29'07"	22.479
IP18	616.161	329200.120	0171318.004					
CT	625.501	329216.079	0171319.397	144d36'19"				
TC	656.931	329155.003	0171318.776	144d36'19"	40.000	11.361	31d42'39"	22.130
IP19	660.000	329321.603	0171318.515					
CT	679.069	329332.121	0171318.095	112d53'41"				
TC	701.505	329352.071	0171318.395	112d53'41"	40.000	10.073	30d40'54"	21.420
IP20	712.295	329362.900	0171318.046					
CT	723.005	329369.496	0171318.237	143d34'36"				
TC	739.956	329379.561	0171318.597	143d34'36"	40.000	5.460	14d25'16"	10.047
IP21	744.990	329302.565	0171318.525					
CT	750.004	329304.409	0171318.309	129d09'20"				
TC	820.300	329451.021	0171318.741	129d09'20"	25.000	7.440	33d09'53"	14.444
IP22	840.540	329456.041	0171318.043					
CT	847.772	329459.103	0171318.935	142d10'13"				
TC	874.703	329447.736	0171318.145	142d10'13"	15.000	3.727	27d56'20"	7.300
IP23	880.615	329449.109	0171318.595					
CT	884.260	329471.731	0171318.987	134d23'54"				
TC	943.210	329520.175	0171318.767	134d23'54"	50.000	4.094	9d22'02"	0.175
IP24	947.297	329531.101	0171318.001					
CT	971.304	329534.456	0171318.539	125d01'51"				
TC	1007.307	329563.936	0171318.073	125d01'51"	15.000	5.231	30d23'13"	10.067
IP25	1012.420	329560.200	0171318.070					
CT	1017.464	329569.707	0171318.055	143d29'09"				
TC	1045.209	329583.203	0171318.040	143d29'09"	50.000	5.015	13d18'04"	11.570
IP26	1070.999	329584.936	0171318.494					
CT	1074.788	329587.034	0171318.447	150d13'00"				
TC	1170.401	329634.334	0171318.199	150d13'00"	75.000	6.423	9d43'14"	12.010
IP27	1174.009	329637.514	0171318.424					
CT	1193.216	329641.406	0171318.673	140d25'30"				
TC	1250.320	329684.341	0171318.943	140d25'30"	75.000	7.034	11d55'16"	15.011
IP28	1256.134	329689.352	0171319.904					

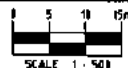
LAMBERT & REHBEIN ENGINEERS • MANAGERS • SCIENTISTS LEVEL 2, 36 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1031 CAIRNS 4874 A.C.N. 106 749 320 TELEPHONE (07) 4331 4788 FACSIMILE (07) 4331 6709 EMAIL: malk@lar.net.au				Project: CASSOWARY RIDGE SUBDIVISION Title: LAYOUT PLAN - SHEET 2 OF 5		Client: LEO INTERNATIONAL GROUP Draftsperson: MJ Checked: AP Designer: MJ Approved: RPD Scale: AS SHOWN Date: October 2013		Drawing No.: A1C13018-C002 Sheet: 2/4 Date: October 2013	
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DRAWING IN PROGRESS

LAYOUT PLAN



LAMBERT & REHBEIN
 ENGINEERS • MANAGERS • SCIENTISTS
 LEVEL 2, 26 FLORENCE STREET
 CAIRNS QLD 4870
 P.O. BOX 1838 CAIRNS 4870
 A.C.N. 106 749 320
 TELEPHONE 07 4931 6768
 FACSIMILE 07 4931 6799
 EMAIL mail@lor.net.au

Project: CASSOWARY RIDGE SUBDIVISION

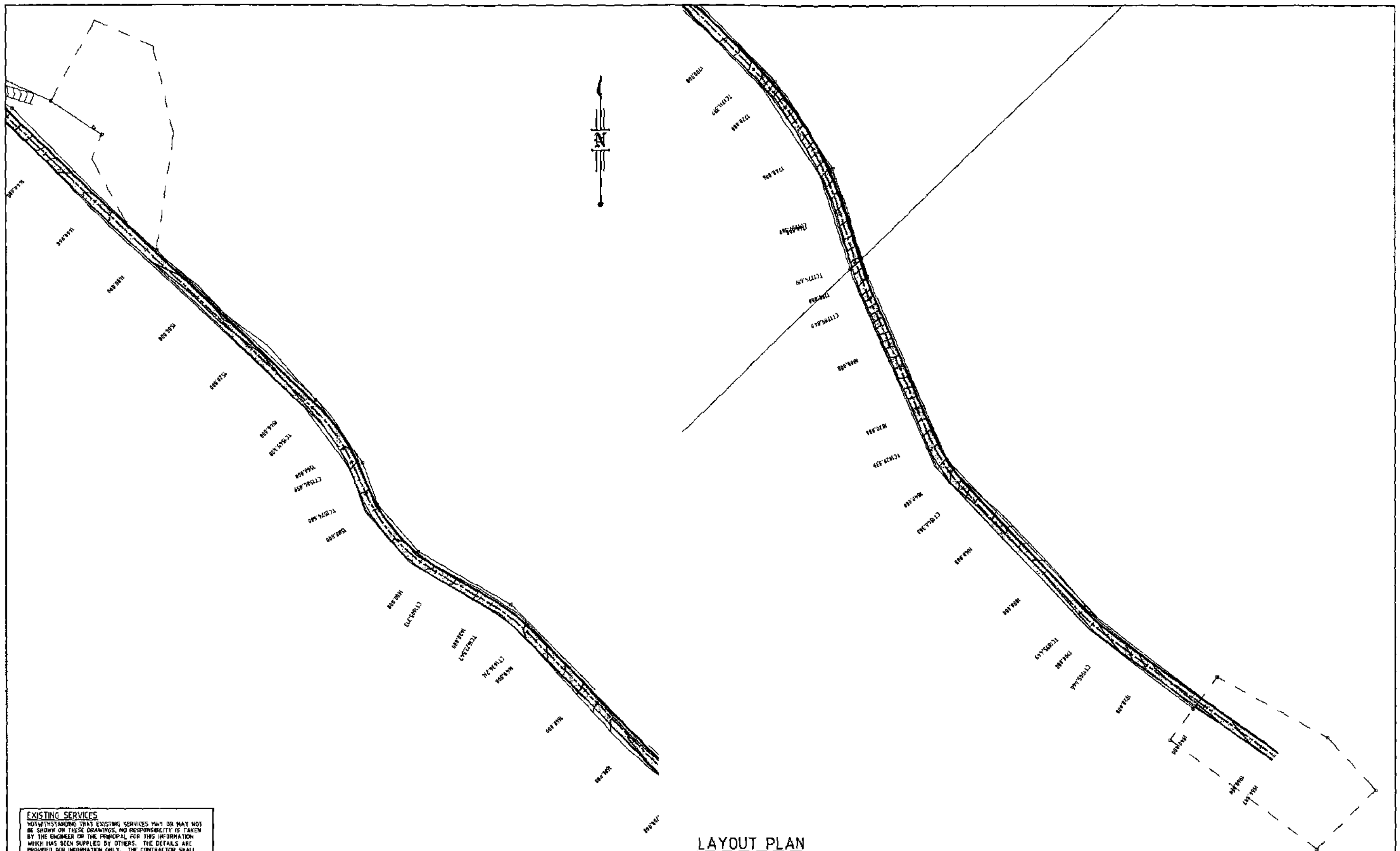
Client: LEO INTERNATIONAL GROUP

Title: LAYOUT PLAN - SHEET 3 OF 5

Designperson: MJ	Checked: AP	Sheet Size	Drawing No.
Designer: MJ	Approved: RPED No:	A1	C13018-C003
Scale: AS SHOWN	Date: October 2013	A	

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DRAWING IN PROGRESS

LAYOUT PLAN



<table border="1"> <tr> <td>No.</td> <td>Date</td> <td>By</td> <td>Amendment</td> <td>Checked</td> </tr> <tr> <td>A</td> <td>11/10/13</td> <td>MJ</td> <td>10% PRELIMINARY ISSUE</td> <td></td> </tr> </table>				No.	Date	By	Amendment	Checked	A	11/10/13	MJ	10% PRELIMINARY ISSUE		LAMBERT & REHBEIN ENGINEERS • MANAGERS • SCIENTISTS LEVEL 2, 26 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1031 CAIRNS 4870 A.C.N. 104 749 320 TELEPHONE 071 4031 6788 FACSIMILE 071 4031 6799 EMAIL mail@lr.net.au		Project: CASSOWARY RIDGE SUBDIVISION Title: LAYOUT PLAN - SHEET 5 OF 5		Client: LEO INTERNATIONAL GROUP Draftsperson: MJ Designer: MJ Scale: AS SHOWN		Checked: AP Approved: RPER No. Date: October 2013		Sheet Size: A1 Drawing No.: C13018-C005	
				No.	Date	By	Amendment	Checked															
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- NOMINAL "BURA 100yd" FLEXIBLE PAVEMENT DESIGN:- ENROCC STANDARDS

- 150mm COR W BASE COURSE
TOTAL BOX DEPTH = 150mm
- IT SHOULD BE NOTED THAT THIS IS A MINIMUM PAVEMENT DESIGN ONLY.
ACTUAL PAVEMENT COMPOSITION SHALL BE DETERMINED BY THE
SUPERINTENDENT FOLLOWING SOAKED COR TESTING OF SUBGRADE BY
AN N.E.T.A. APPROVED GEOTECHNICAL CONSULTANT.
- THE CONTRACTOR SHALL BOX ROAD PAVEMENT TO MINIMUM BOX DEPTH OF 210MM PRIOR TO
IMPERVIOUS SOAKED COR TESTING OF SUB-GRADE. FOLLOWING COMPLETION OF SOAKED COR
TESTING OF THIS SUB-GRADE THE BOX SHALL BE FURTHER RECAVATED TO FINAL DEPTH.




CONTROL LINE CHAINAGE	CONTROL LINE FINISHED LEVEL	EXISTING SURFACE LEVEL	EOB (RHS)	EOB (LHS)
0.000	16.351	16.351		
20.000	16.59	16.59		
40.000	17.872	17.872	20.983	
60.000	18.66	18.66	30.580	30.579
80.000	18.660	18.660	30.993	30.954
100.000	19.777	19.777	39.659	39.787
120.000	20.743	20.743	48.572	48.727
140.000	21.72	21.72	57.589	57.618
160.000	22.754	22.754	66.627	66.633
180.000	23.830	23.830	75.664	75.767
200.000	24.979	24.979	84.712	84.789
220.000	26.206	26.206	93.764	93.715
240.000	26.813	26.813	102.800	102.851
260.000	26.857	26.857	111.834	111.911
280.000	30.757	30.757	120.773	120.702
300.000	31.175	31.175	129.811	129.852
320.000	31.762	31.762	138.698	138.687
340.000	32.431	32.431	147.581	147.568
360.000	33.119	33.119	156.464	156.458
380.000	33.81	33.81	165.351	165.357
400.000	34.731	34.731	174.252	174.249
420.000	35.691	35.691	183.169	183.168
440.000	36.217	36.217	192.098	192.098
460.000	36.834	36.834	201.037	201.041
480.000	37.106	37.106	210.000	210.015
500.000	37.889	37.889	218.964	218.964
520.000	38.116	38.116	227.949	227.949
540.000	40.442	40.442	236.934	236.934
560.000	42.12	42.12	245.918	245.918
580.000	42.953	42.953	254.902	254.902
600.000	43.823	43.823	263.886	263.886

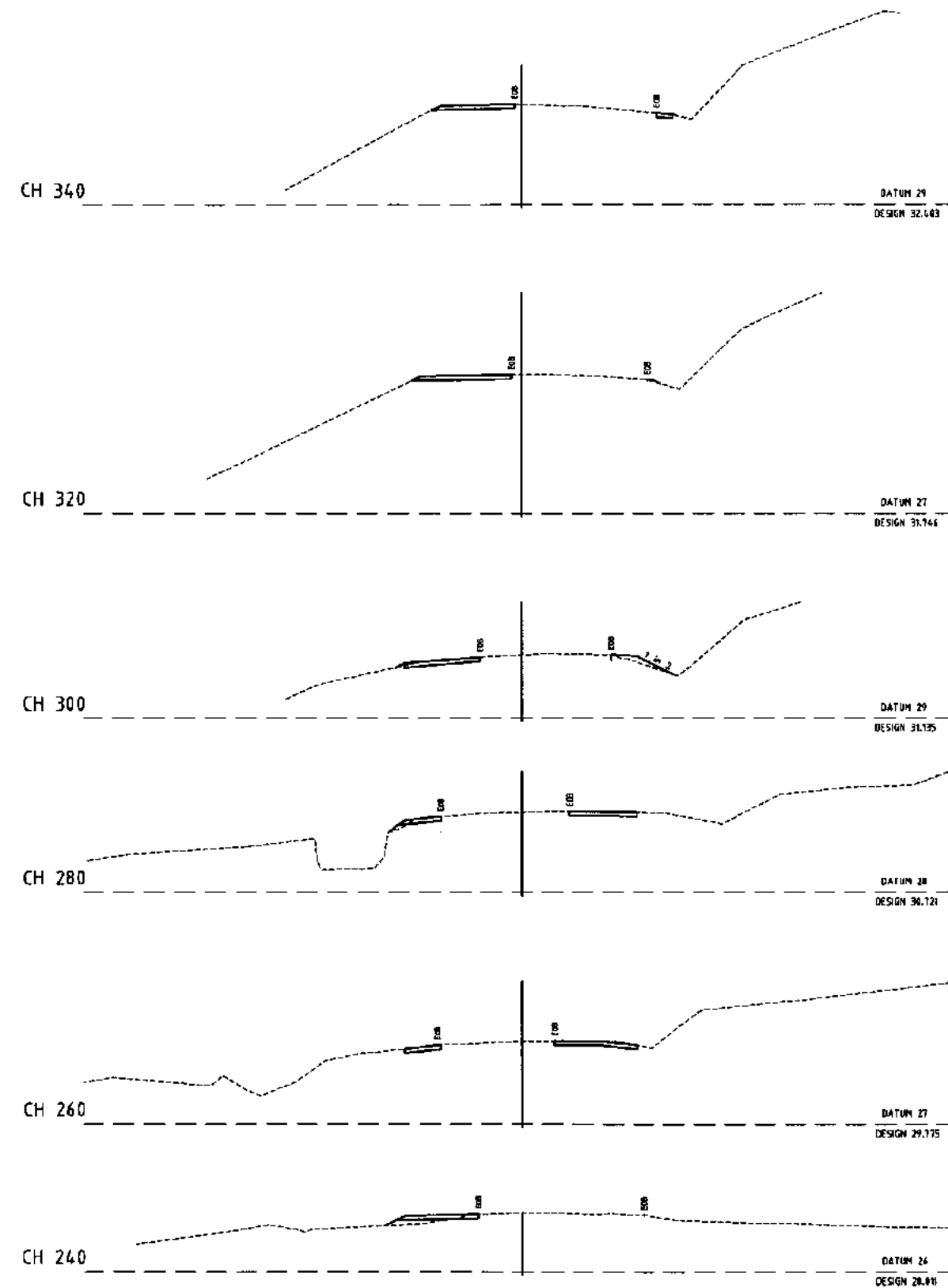
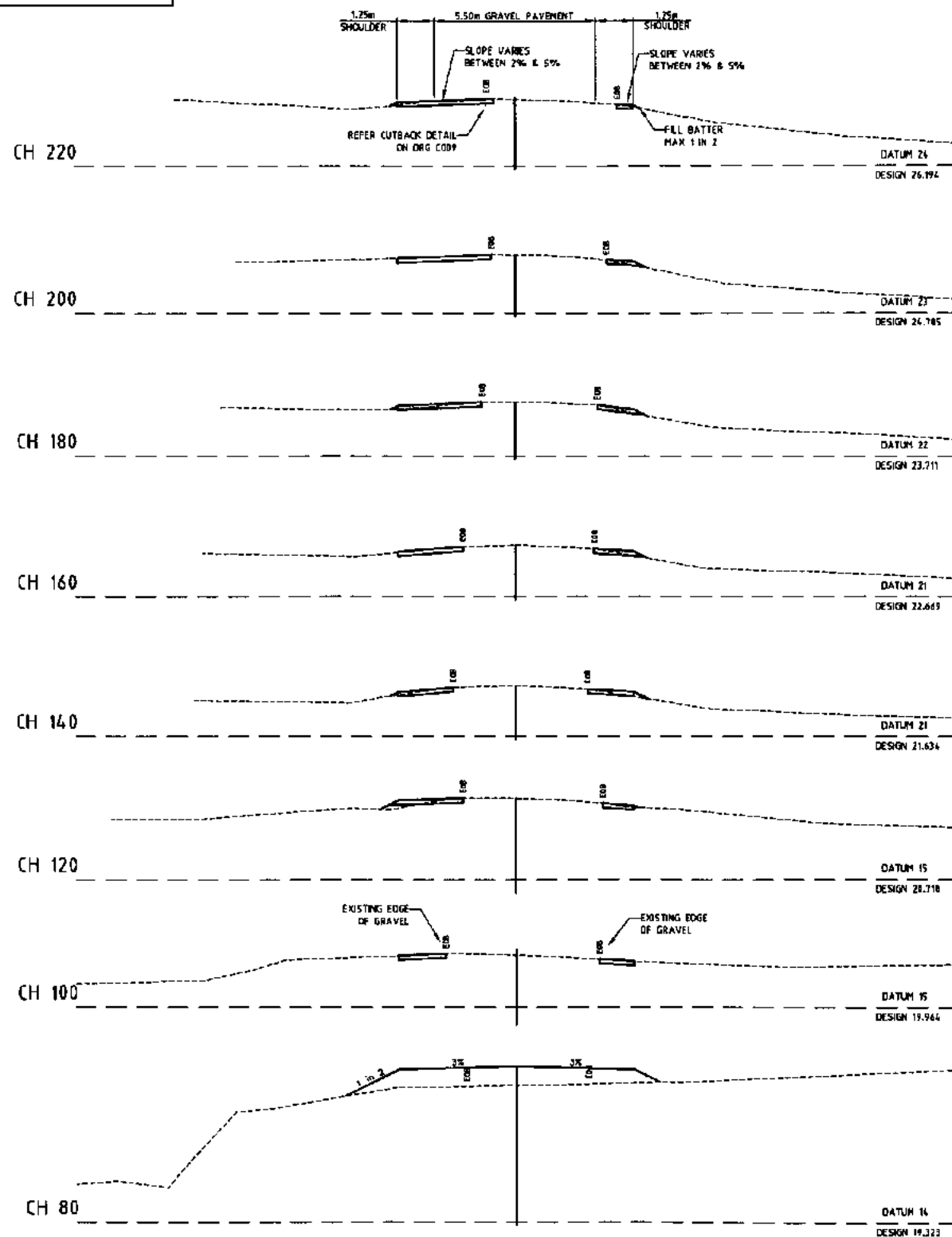
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SCALES:-



DRAWING IN PROGRESS

				 LAMBERT & REHBEIN ENGINEERS • MANAGERS • SCIENTISTS				Project: CASSOWARY RIDGE SUBDIVISION				Client: LEO INTERNATIONAL GROUP							
				LEVEL 2, 26 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1038 CAIRNS 4870 A.C.N. 106 749 320				Telephone (07) 4031 6788 Facsimile (07) 4031 6799 Email mail@lar.net.au				Draftsman: MJ		Checked: AP		Sheet Size		Drawing No.	
								Title: FRANCIS ROAD LONGITUDINAL SECTION				Designer: MJ		Approved RPEL No.		A1 C13018-C006			
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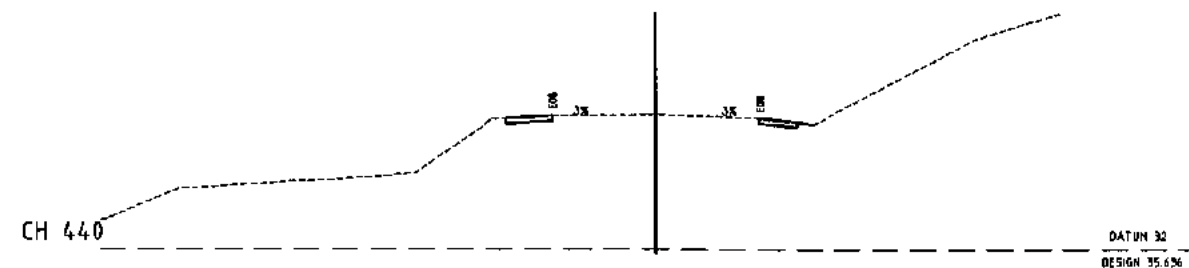
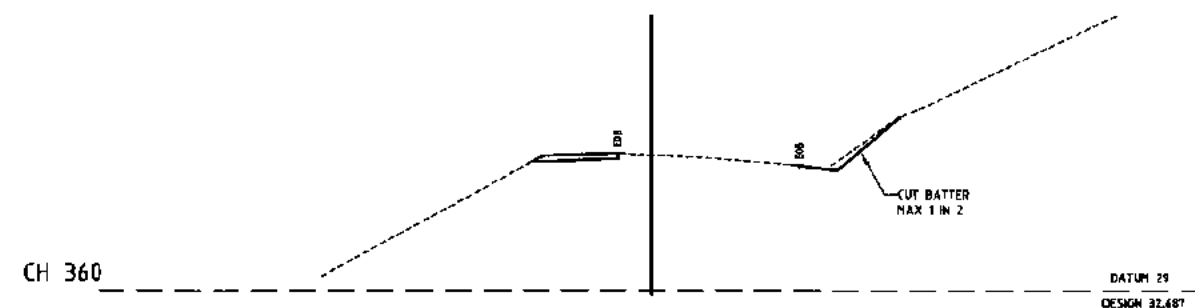
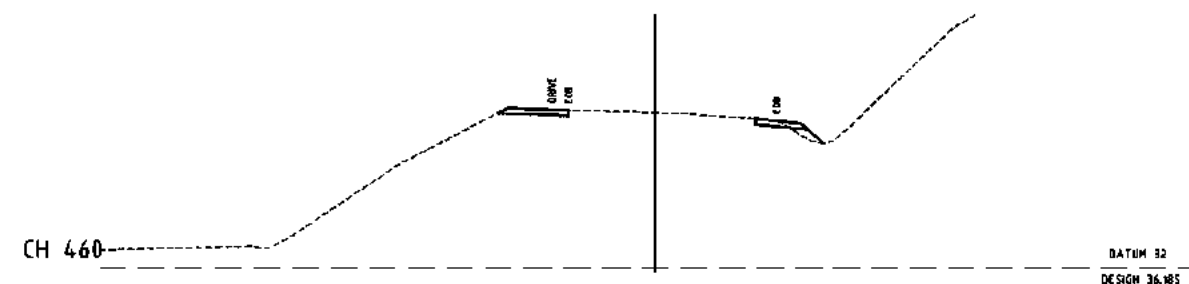
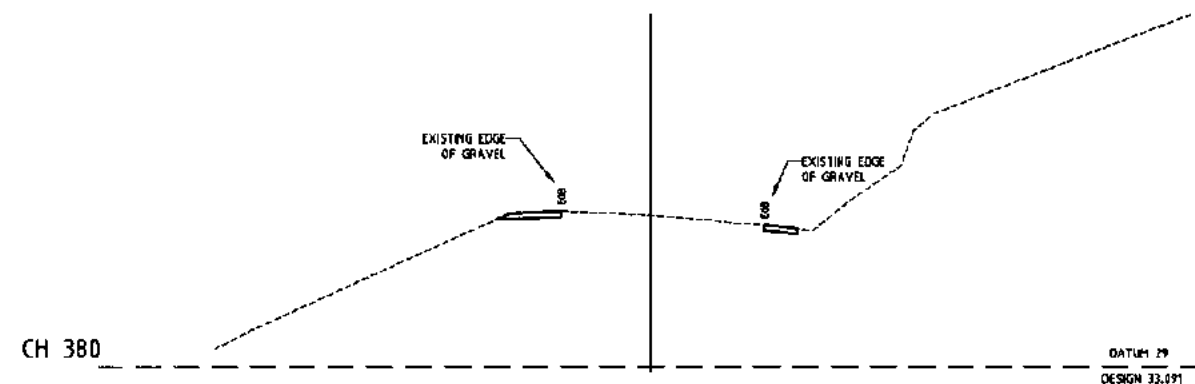
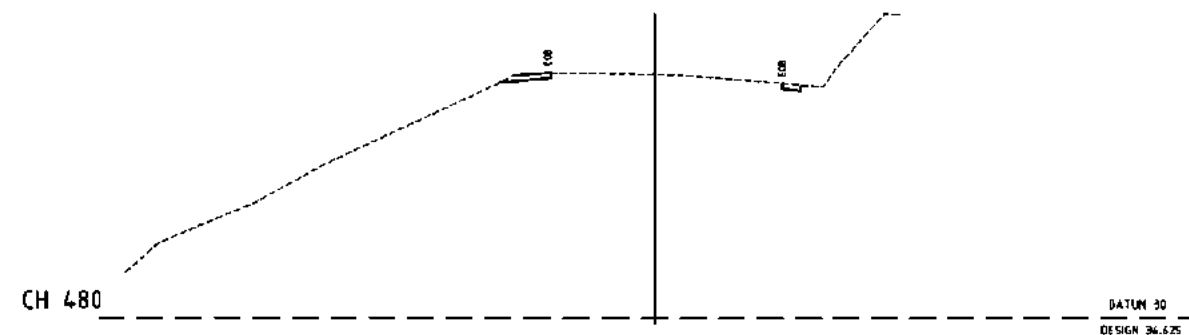
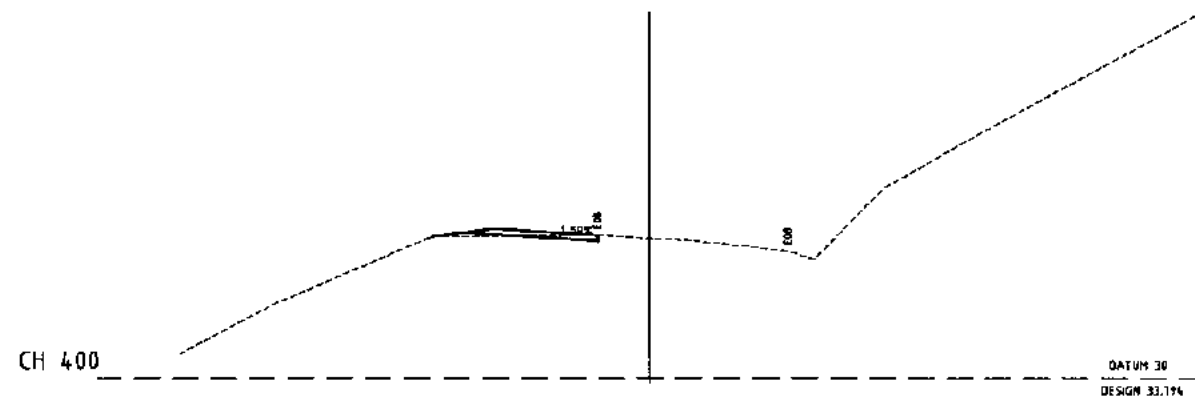
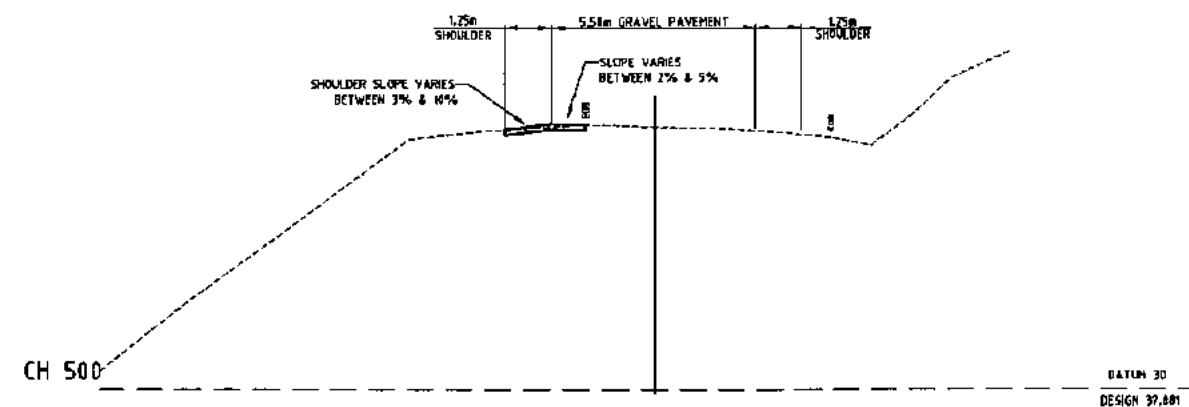


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				 LAMBERT & REHBEIN ENGINEERS • MANAGERS • SCIENTISTS LEVEL 2, 28 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1033 CAIRNS 4870 A.C.N. 108 749 320 TELEPHONE 07 4031 6788 FACSIMILE 07 4031 6799 EMAIL mail@lor.net.au 	Project: CASSOWARY RIDGE SUBDIVISION		Client: LEO INTERNATIONAL GROUP			
					Title: FRANCIS ROAD CROSS SECTIONS Sheet 1 of 3		Draftsperson: MJ	Checked: AP	Sheet Size: A1	Drawing No. C13018-C007
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No.	Date	By	Amendment			Scale: 1:100	Date: October 2013			
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LAMBERT & REHBEIN
ENGINEERS • MANAGERS • SCIENTISTS

LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1630 CAIRNS 4870
A.C.N. 106 749 320

TELEPHONE 1071 6031 6768
FACSIMILE 1071 5051 6799
EMAIL moli@loc.net.au



Client: **LEO INTERNATIONAL GROUP**

Sheet	Drawing No.
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Size	A1	C13018-C008
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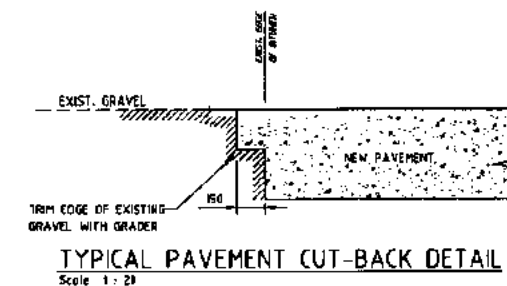
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TYPICAL PAVEMENT CUT-BACK DETAIL

Scale 1 : 20



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LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1830 CAIRNS 4878
A.C.N. 106 749 320

TELEPHONE 1071 4031 6788
FACSIMILE 1071 4031 6799
EMAIL mq@qlac.net.au

Client:	LEO INTERNATIONAL GROUP
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Draftsperson:
MJ

Checked:
AP

Sheet	Drawing No.
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Designer:
MJ

Approved RPEQ No.	
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Scale:
1:100

Date: October 2013

Size	A1	C13018-C009
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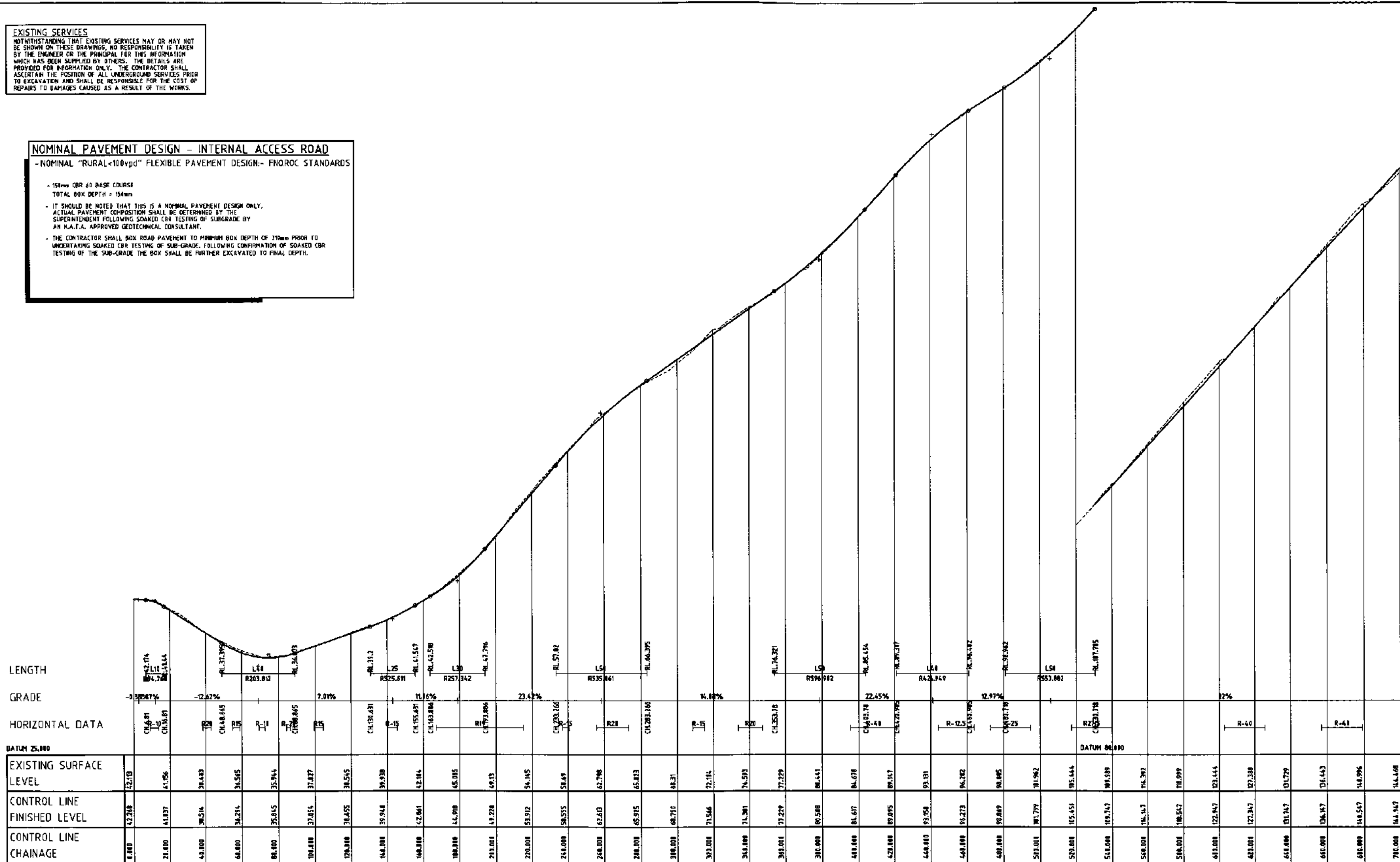
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- NOMINAL "RURAL<100yrd" FLEXIBLE PAVEMENT DESIGN:- FNQROC STANDARDS



- 75mm CBR 60 BASE COURSE
- TOTAL BOX DEPTH = 150mm
- IT SHOULD BE NOTED THAT THIS IS A NOMINAL PAVEMENT DESIGN ONLY. ACTUAL PAVEMENT COMPOSITION SHALL BE DETERMINED BY THE SUPERINTENDING FOLLOWING SOAKED CBR TESTING OF SUBGRADE BY AN M.F.T.A. APPROVED GEOTECHNICAL CONSULTANT.
- THE CONTRACTOR SHALL BOX ROAD PAVEMENT TO MINIMUM BOX DEPTH OF 210mm PRIOR TO UNDERTAKING SOAKED CBR TESTING OF SUB-GRADE. FOLLOWING CONFIRMATION OF SOAKED CBR TESTING OF THE SUB-GRADE THE BOX SHALL BE FURTHER EXCAVATED TO FINAL DEPTH.



LONGITUDINAL SECTION

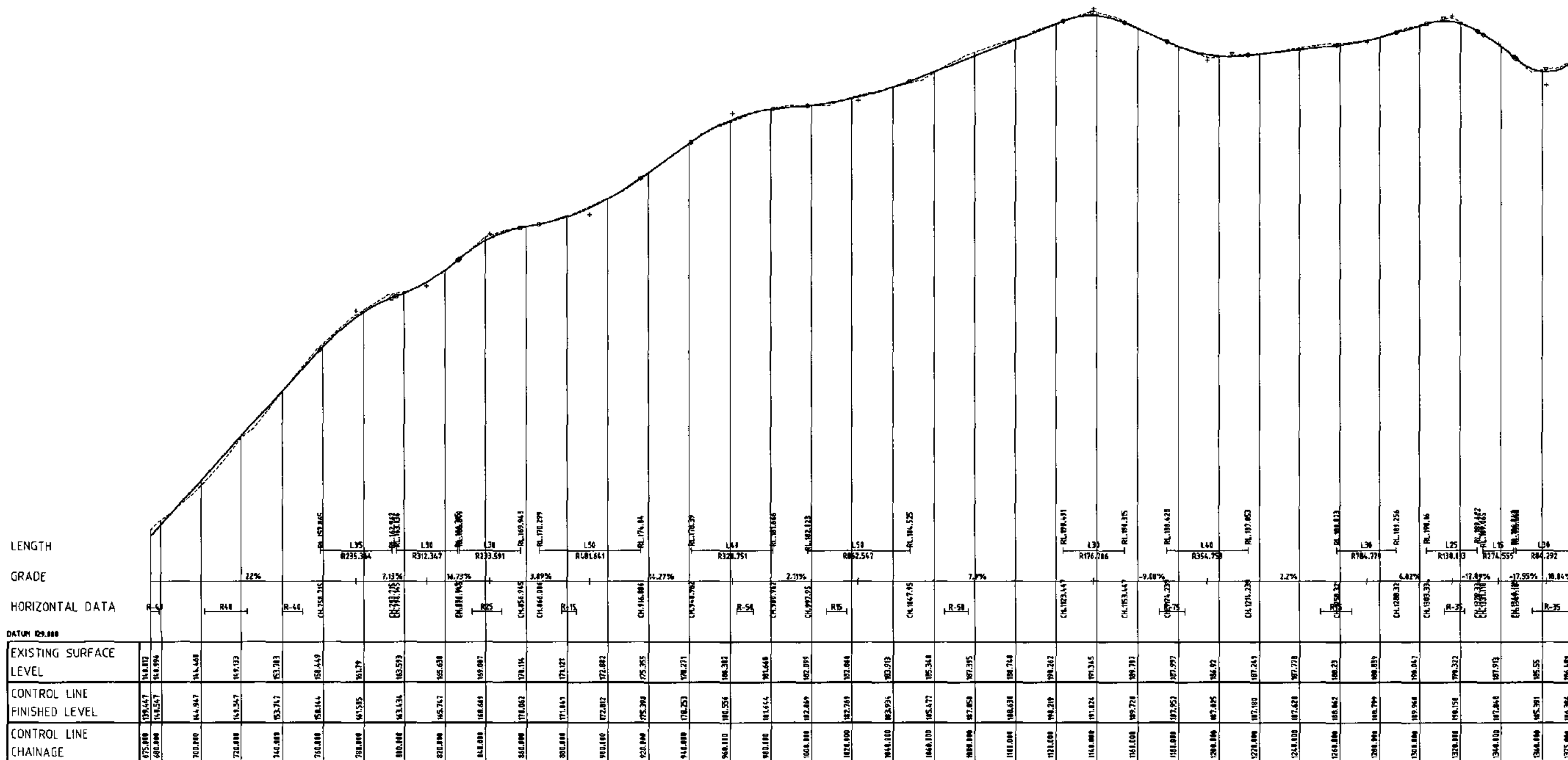
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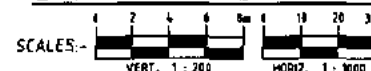
				 LAMBERT & REHBEIN ENGINEERS • MANAGERS • SCIENTISTS				Project: CASSOWARY RIDGE SUBDIVISION Client: LEO INTERNATIONAL GROUP			
				LEVEL 2, 26 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1838 CAIRNS 4870 A.C.N. 106 749 320 TELEPHONE 1071 4831 4718 FACSIMILE 1071 4831 4799 EMAIL moli@lar.net.au				Title: INTERNAL ACCESS ROAD LONGITUDINAL SECTION Sheet 1 of 3			
								Draftsman: MJ Checked: AF Designer: MJ Approved: RPEQ No.			
				No. Date By Amendment Checked				Sheet No. Drawing No. A1 C13018-C010			
				No. Date By Amendment Checked				Scale: AS SHOWN Date: October 2013			
				No. Date By Amendment Checked				A			

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LONGITUDINAL SECTION



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LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1830 CAIRNS 4870
A.C.N. 106 749 320
TELEPHONE 071 4831 6788
FACSIMILE 071 4831 6789
EMAIL mail@lre.net.au

Project: CASSOWARY RIDGE SUBDIVISION

Client: LEO INTERNATIONAL GROUP

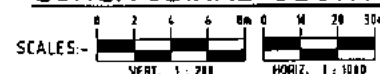
Title: INTERNAL ACCESS ROAD
LONGITUDINAL SECTION Sheet 2 of 3

Draftsperson: MJ	Checked: AP	Sheet Size	Drawing No.
Designer: MJ	Approved: RPE No.	A1	C13018-C011
Scale: AS SHOWN	Date: October 2013	A	

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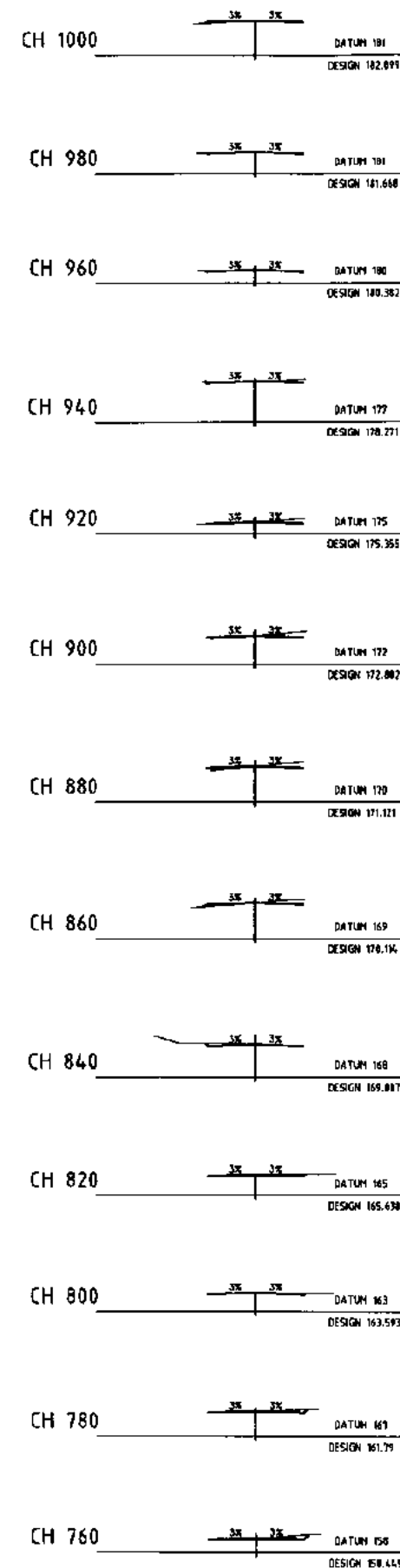
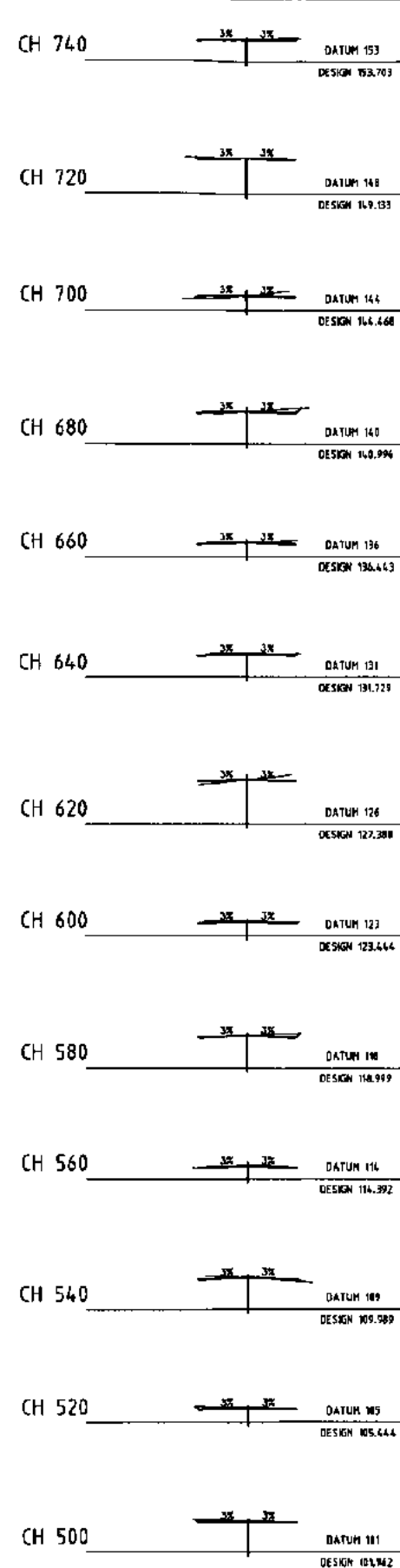
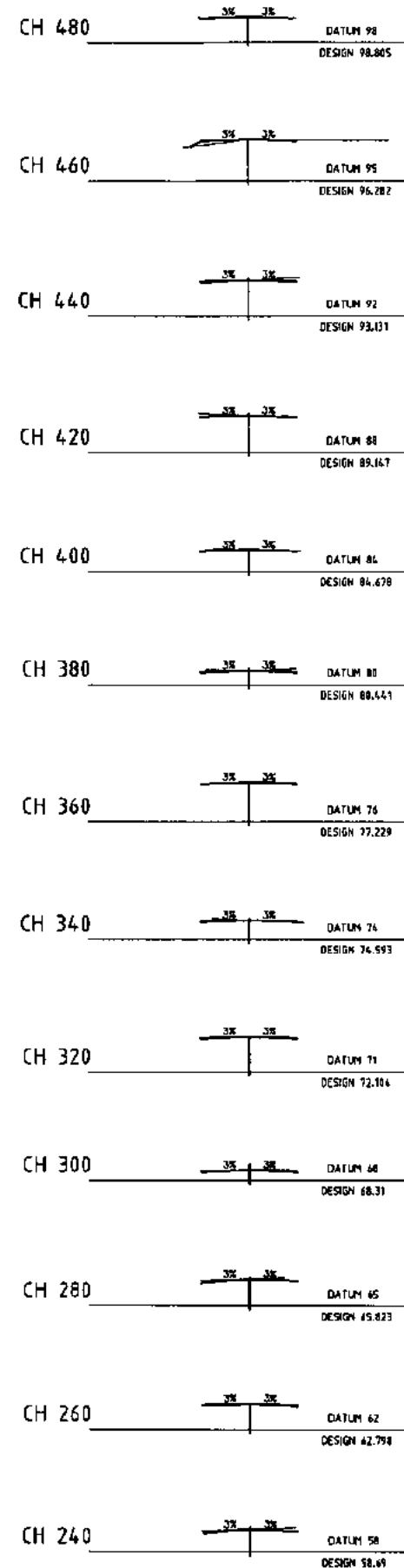
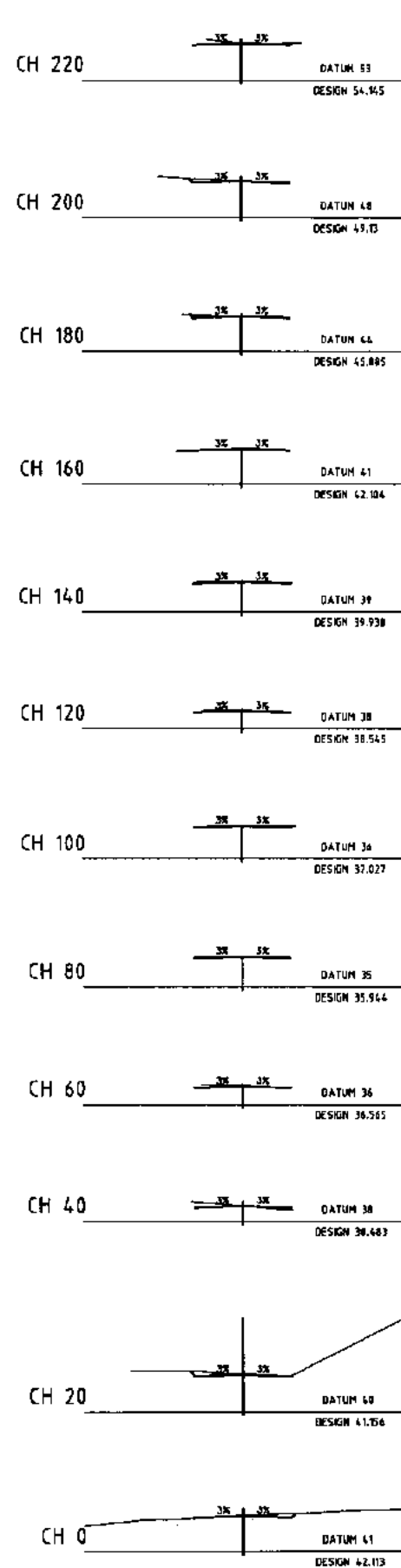


LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1830 CAIRNS 4870
A.C.N. 106 749 320

TELEPHONE 1071 4031 4788
FACSIMILE 1071 4031 4790
EMAIL mail@cor.net.au

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NOTE BATTER SLOPES TO NATURAL SURFACE TO BE CONFIRMED ON SITE (MAX 1 IN 2)



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				<p>Title: INTERNAL ACCESS ROAD CROSS SECTIONS Sheet 1 of 2</p>		<p>Draftsperson: MJ</p>		<p>Checked: AP</p>		<p>Sheet Size: A1</p>	
				<p>Design: MJ</p>		<p>Approved: RPOD</p>		<p>Drawing No: C13018-C013</p>			
				<p>Scale: 1:100</p>		<p>Date: October 2013</p>		<p>Author: A</p>			

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DESIGN 187.778

CH 1220
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DESIGN 187.249

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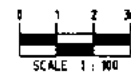
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CH 1760
DATUM 215
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NOTE: BATTER SLOPES TO NATURAL SURFACE
TO BE CONFIRMED ON SITE (MAX 1 IN 2)



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LEVEL 2, 26 FLORENCE STREET
CAIRNS QLD 4870
P.O. BOX 1838 CAIRNS 4870
A.C.N. 106 749 320

TELEPHONE 1871 4331 4388
FACSIMILE 1871 4331 4399
EMAIL mail@lar.net.au

Project: CASSOWARY RIDGE SUBDIVISION

Title: INTERNAL ACCESS ROAD
CROSS SECTIONS Sheet 2 of 2

Client: LEO INTERNATIONAL GROUP

Drawn by: MJ	Checked: AP	Sheet Size A1	Drawing No. C13018-C014
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