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DOUGLAS SHIRE COUNCIL	
Received	
File Name	OP 507/2014
Document No	
30 OCT 2014	
Attention	SKA orig ✓
Information	R/N 46978

27 October, 2014
Our File Ref: C13018CL001
Contact: Joshua Ruiz

Douglas Shire Council
PO Box 723
Mossman Qld 4873

Attention: Neil Beck

**RE: OPERATIONAL WORKS APPLICATION
FOR LOT 4 ON RP907338, CASSOWARY RIDGE SUBDIVISION
CAPTAIN COOK HIGHWAY, KILLALOE**

Please find enclosed the Operational Works Application for the above project. Included with this application are the following items:

- Completed IDAS Form 1 and 6, and Checklist 4
- Application Lodgement Fee totalling \$7660.60
- FNQROC Statement of Compliance Operational Works Design and Checklist
- Civil Engineering Design Drawings

The engineering documentation submitted for operational works approval satisfies the relevant assessment managers development approval conditions dated 12th December 2005 (ref: SUB039/04) amended by the assessment managers conditions dated 21st February 2012 (ref:8/37/153 SUB039/04) and the Department of Transport and Main Roads 'Conditions of Development'.

We request that you provide Operation Works Approval and liaise with the undersigned relating to any further information that may be required to gain the requested approval.

Yours faithfully
For and on behalf of
LAMBERT & REHBEIN (Nth QLD) PT Y LTD

JOSHUA RUIZ
MANAGER, NORTH QUEENSLAND

Enc: IDAS Form 6
Lodgement Fee – Cheque
FNQROC Design Certification
Civil Engineering Design Drawings

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IDAS form 1—Application details

(Sustainable Planning Act 2009 version 4.1 effective 4 July 2014)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

This form can also be completed online using MyDAS at www.dsdip.qld.gov.au/MyDAS

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)	Leo International Group
For companies, contact name	C/- Joshua Ruiz
Postal address	PO Box 1830
	Suburb Cairns
	State Qld Postcode 4870
Country Australia	
Contact phone number	(07) 4031 6788
Mobile number (non-mandatory requirement)	0423 799 021
Fax number (non-mandatory requirement)	



Email address (non-mandatory requirement)

joshua.r

@lar.net.au

Applicant's reference number (non-mandatory requirement)

1. What is the nature of the development proposed and what type of approval is being sought?

Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

a) What is the nature of the development? (Please only tick one box.)

- Material change of use Reconfiguring a lot Building work Operational work

b) What is the approval type? (Please only tick one box.)

- Preliminary approval under s241 of SPA Preliminary approval under s241 and s242 of SPA Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

Civil works associated with Reconfiguration of Lot 4 on RP907338, 1 Lot into 4.

d) What is the level of assessment? (Please only tick one box.)

- Impact assessment Code assessment

Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

a) What is the nature of development? (Please only tick one box.)

- Material change of use Reconfiguring a lot Building work Operational work

b) What is the approval type? (Please only tick one box.)

- Preliminary approval under s241 of SPA Preliminary approval under s241 and s242 of SPA Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

d) What is the level of assessment?

- Impact assessment Code assessment

Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

- Refer attached schedule Not required

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water). (Attach a separate schedule if there is insufficient space in this table.)

- Street address and lot on plan (All lots must be listed.)
 Street address and lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)		6889R	Captain Cook Highway, Killaloe	4877	4	RP907338	Douglas
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

3. Total area of the premises on which the development is proposed (indicate square metres)

1617000

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

A portion of Lot 4 adjacent the Captain Cook Highway is utilised for agricultural purposes. The remainder is vacant land covered with vegetation.

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)

No Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
8/37/153 SUB039/04	21/02/2012	21/12/2014

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

No
 Yes—complete either Table F, Table G or Table H as applicable

Table F

Name of owner/s of the land

I/We, the above-mentioned owner/s of the land, consent to the making of this application.

Signature of owner/s of the land

Date

Table G

Name of owner/s of the land

The owner's written consent is attached or will be provided separately to the assessment manager.

Table H

Name of owner/s of the land

By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

- Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- In a tidal water area—complete Table K
- On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)
- Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* (no table requires completion)

Table I

Name of water body, watercourse or aquifer

Table J	
Lot on plan description for strategic port land	Port authority for the lot

Table K	
Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

No Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (including any services)

No Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

No—go to question 12 Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

No
 Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L		
Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the Sustainable Planning Act 2009?

No
 Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

13. List below all of the forms and supporting information that accompany this application (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application. Note: this question does not apply for applications made online using MyDAS)

Description of attachment or title of attachment	Method of lodgement to assessment manager
Civil Engineering Drawings (Lambert & Rehbein project no. C13018)	Electronic
Cairns Regional Council Decision Notice	Electronic
Superseded Douglas Shire Council Decision Notice	Electronic
Idas Form 1 and 6, Idas Checklist 4	Electronic
FNQROC Design Statement of Compliance and Operational Works Checklist	Electronic

14. Applicant's declaration

By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

Notes for completing this form

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

Applicant details

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

- Schedule 3 of the *Sustainable Planning Regulation 2009* identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 7

- If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the *Sustainable Planning Regulation 2009* identifies where compliance assessment is required.

Question 11

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the *Building and Construction Industry (Portable Long Service Leave) Regulation 2002*.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of State Development, Infrastructure and Planning (DSDIP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

OFFICE USE ONLY

Date received

Reference numbers

NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To

Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date received form sighted by assessment manager	Name of officer who sighted the form

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

IDAS form 6—Building or operational work assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for development applications for building work or operational work assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form must be used for building work or operational work relating on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

This form can also be completed online using MyDAS at www.dsdip.qld.gov.au/MyDAS

Mandatory requirements

1. What is the nature of the work that requires assessment against a planning scheme? (Tick all applicable boxes.)

- Building work—complete Table A Operational work—complete Table B

Table A

a) What is the nature of the building work (e.g. building, repairing, altering, underpinning, moving or demolishing a building)?

b) Are there any current approvals associated with this application? (e.g. material change of use.)

- No Yes— provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

Table B

a) What is the nature of the operational work? (Tick all applicable boxes.)

- Road works Stormwater Water infrastructure
 Drainage works Earthworks Sewerage infrastructure
 Landscaping Signage Clearing vegetation under the planning scheme
 Other—provide details

b) Is the operational work necessary to facilitate the creation of new lots? (E.g. subdivision.)

- No Yes—specify the number of lots being created

c) Are there any current approvals associated with this application? (E.g. material change of use.)

- No Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
8/37/153 SUB 039/04 (3499902)	21/02/2012	12/12/2013

2. What is the dollar value of the proposed building work? (Inc GST, materials and labour.) \$

3. What is the dollar value of the proposed operational work? (Inc GST, materials and labour.) \$

Mandatory supporting information

4. Confirm that the following mandatory supporting information accompanies this application

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
All applications involving building work or operational work		
A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following: <ul style="list-style-type: none"> the location and site area of the land to which the application relates (<i>relevant land</i>) the north point the boundaries of the relevant land the allotment layout showing existing lots, any proposed lots (including the dimensions of those lots), existing or proposed road reserves, building envelopes and existing or proposed open space (note: numbering is required for all lots) any existing or proposed easements on the relevant land and their function any access limitation strips all existing and proposed roads and access points on the relevant land. 	<input checked="" type="checkbox"/> Confirmed	Electronic

A statement about how the proposed development addresses the local government's planning schemes and any other planning documents relevant to the application.	<input checked="" type="checkbox"/> Confirmed	Electronic
A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for building work (including extensions and demolition that is assessable development)		
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following: <ul style="list-style-type: none"> the north point the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only) the room layout (for residential development only) with all rooms clearly labelled the existing and the proposed built form (for extensions only) the gross floor area of each proposed floor area. 	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation).	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Plans showing the extent of any demolition that is assessable development.	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Applications for operational work involving earthworks (filling and excavating)		
Drawings showing: <ul style="list-style-type: none"> existing and proposed contours areas to be cut and filled the location and level of any permanent survey marks or reference stations used as datum for the works the location of any proposed retaining walls on the relevant land and their height the defined flood level (if applicable) the fill level (if applicable). 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	Electronic
Applications for operational work involving roadworks		
Drawings showing: <ul style="list-style-type: none"> existing and proposed contours the centreline or construction line showing chainages, bearings, offsets if the construction line is not the centreline of the road and all intersection points information for each curve including tangent point chainages and offsets, curve radii, arc length, tangent length, superelevation (if applicable) and curve widening (if applicable) kerb lines including kerb radii (where not parallel to centreline) and tangent point changes (where not parallel to centreline) edge of pavement where kerb is not constructed position and extent of channelisation location and details of all traffic signs, guideposts, guardrail and other street furniture pavement markings including details on raised pavement markers 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	Electronic

<ul style="list-style-type: none"> • catchpit, manhole and pipeline locations • drainage details (if applicable) • cross road drainage culverts (if applicable) • concrete footpaths and cycle paths • location and details for access points, ramps and invert crossings • changes in surfacing material. 		
Applications for operational work involving stormwater drainage		
<p>Drawings showing:</p> <ul style="list-style-type: none"> • existing and proposed contours • drainage locations, diameters and class of pipe, open drains and easements • manhole location, chainage and offset or coordinates and inlet and outlet invert levels • inlet pit locations, chainage and offset or coordinates and invert and kerb levels. 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	Electronic
Applications for operational work involving water reticulation		
<p>Drawings showing:</p> <ul style="list-style-type: none"> • kerb lines or edge of pavement where kerb is not constructed • location and levels of other utility services where affected by water reticulation works • pipe diameter, type of pipe and pipe alignment • water main alignments • water supply pump station details (if applicable) • minor reservoir details (if applicable) • conduits • location of valves and fire hydrants • location of house connections (if applicable) • location of bench marks and reference pegs. 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for operational work involving sewerage reticulation		
<p>Drawings showing:</p> <ul style="list-style-type: none"> • location of all existing and proposed services • location of all existing and proposed sewer lines and manhole locations • location of all house connection branches • kerb lines or edge of pavement where kerb is not constructed • chainages • design sewer invert levels • design top of manhole levels • type of manhole and manhole cover • pipe diameter, type of pipe and pipe alignment • location of house connections (if applicable) • sewer pump station details (if applicable). 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for operational work involving street lighting		
<p>Drawings showing:</p> <ul style="list-style-type: none"> • location of all light poles and service conduits • location of all other cross road conduits • type of wattage and lighting • any traffic calming devices • additional plans for roundabouts and major roads (if applicable) • details of any variations to normal alignment 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

<ul style="list-style-type: none"> • details of lighting levels. 		
Applications for operational work involving public utility services		
Drawings showing: <ul style="list-style-type: none"> • any existing light poles and power poles • any existing underground services • details of proposed services • alteration to existing services. 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for operational work involving landscaping works		
Drawings showing: <ul style="list-style-type: none"> • the location of proposed plant species • a plant schedule indicating common and botanical names, pot sizes and numbers of plants • planting bed preparation details including topsoil depth, subgrade preparation, mulch type and depth, type of turf, pebble, paving and garden edge • the location and type of any existing trees to be retained • construction details of planter boxes, retaining walls and fences • the proposed maintenance period • irrigation system details. 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

Privacy—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

OFFICE USE ONLY

Date received

Reference numbers

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Schedule 3 Assessable Development Checklist 4—Operational work

(Sustainable Planning Act 2009 version 4.1 effective 1 October 2014)

This checklist only applies when the development application seeks approval for operational work. Before completing this checklist, please complete *Checklist 1—Various aspects of development*.

You may complete this checklist as part of your development application. The checklist will:

- help you identify whether you need to make a development application for the proposed development
- help you identify the relevant Integrated Development Assessment System (IDAS) form you need to complete as part of your application
- assist in identifying the assessment manager or referral agency for development that is assessable development under schedule 3 of the Sustainable Planning Regulation 2009.

If your development involves reconfiguring a lot, building work or material change of use, it is recommended you complete *Checklist 2—Material change of use*, *Checklist 3—Reconfiguring a lot*, or *checklist 5—Building work*, where relevant.

If you are unsure of any answers to questions, phone or visit your local government, or go to the Department of State Development, Infrastructure and Planning's website at www.dsdlp.qld.gov.au.

All terms used in this checklist have the meaning given in the *Sustainable Planning Act 2009* or the *Sustainable Planning Regulation 2009*.

Part 1—General questions

1.1 Is the operational work clearing native vegetation on:

- freehold land
- indigenous land
- any of the following under the *Land Act 1994*:
 - land subject to a lease
 - a road
 - trust land, other than indigenous land
 - land subject to a licence or permit?

- | | |
|-----------------------------------------|-------------------------------------|
| <input type="checkbox"/> No | • Continue to question 1.2 |
| <input checked="" type="checkbox"/> Yes | • Complete part 2 of this checklist |

1.2 Is any of the proposed operational work associated with reconfiguring a lot and the reconfiguration is also assessable development?

- | | |
|-----------------------------------------|-------------------------------------|
| <input type="checkbox"/> No | • Continue to question 1.3 |
| <input checked="" type="checkbox"/> Yes | • Complete part 3 of this checklist |

1.3 Does any of the proposed operational work involve taking or interfering with:

- water from a watercourse, lake or spring, or from a dam constructed on a watercourse or lake
- artesian water as defined under the *Water Act 2000*, schedule 4
- overland flow water
- subartesian water

- | | |
|----------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.4 |
| <input type="checkbox"/> Yes | • Complete part 4 of this checklist |

1.4 Is the operational work the construction of a dam, or carried out in relation to a dam, and, because of the works, the dam must be failure impact assessed?

- | | |
|----------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.5 |
| <input type="checkbox"/> Yes | • Complete part 5 of this checklist |

1.5 Is any of the proposed operational work tidal works?

- | | |
|----------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.6 |
| <input type="checkbox"/> Yes | • Complete part 6 of this checklist |

1.6 Is any of the operational work proposed to be carried out completely or partly within a coastal management district?

- | | |
|----------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.7 |
| <input type="checkbox"/> Yes | • Complete part 7 of this checklist |

1.7 Is any of the proposed operational work for constructing or raising waterway barrier works as defined under the *Fisheries Act 1994*?

- | | |
|----------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.8 |
| <input type="checkbox"/> Yes | • Complete part 8 of this checklist |

1.8 Is any of the proposed operational work to be carried out completely or partly within a declared fish habitat area as defined under the *Fisheries Act 1994*?

- | | |
|----------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.9 |
| <input type="checkbox"/> Yes | • Complete part 9 of this checklist |

1.9 Is any of the proposed operational work removing, destroying or damaging marine plants as defined under the *Fisheries Act 1994*?

- | | |
|----------------------------------------|--------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.10 |
| <input type="checkbox"/> Yes | • Complete part 10 of this checklist |

1.10 Does the proposal involve operational works that are high impact earthworks in the Great Barrier Reef Wetland Protection Area?

- | | |
|----------------------------------------|-----------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.11 |
|----------------------------------------|-----------------------------|

<input type="checkbox"/>	Yes	• Complete part 11 of this checklist
--------------------------	-----	--------------------------------------

1.11 Does the proposal involve operational works that are the construction or modification of a levee?

<input checked="" type="checkbox"/>	No	• End of checklist
-------------------------------------	----	--------------------

<input type="checkbox"/>	Yes	• Complete part 12 of this checklist
--------------------------	-----	--------------------------------------

Part 2—Clearing native vegetation

2.1 Do any of the following apply?

The clearing is on premises to which structure plan arrangements apply.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
The clearing is clearing, or for another activity or matter, mentioned in schedule 24, part 1 of the Sustainable Planning Regulation 2009.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
The clearing is mentioned in schedule 24, part 2 of the Sustainable Planning Regulation 2009, as clearing for the particular land.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

- If you answered **yes** to any of the above, this aspect of your operational work is not assessable development
- If you answered **no** to ALL of the above, continue to question 2.2

2.2 Is the proposed vegetation clearing for a relevant purpose under the *Vegetation Management Act 1999*, section 22A for one or more of the following?

A project declared to be a coordinated project under the <i>State Development and Public Works Organisation Act 1971</i> , section 26	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Necessary to control non-native plants or declared pests	<input type="checkbox"/> Yes	<input type="checkbox"/> No
To ensure public safety	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For relevant infrastructure and the clearing cannot reasonably be avoided or minimised	<input type="checkbox"/> Yes	<input type="checkbox"/> No
A natural and ordinary consequence of other assessable development for which a development approval was given under the repealed <i>Integrated Planning Act 1997</i> , or a development application was made under that Act, before 16 May 2003 and is outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i> .	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For fodder harvesting outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i> :	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For thinning	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For clearing of encroachment	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For an extractive industry outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For necessary environmental clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For high value agriculture clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For irrigated high value agriculture clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
The Minister responsible for administering the <i>Vegetation Management Act 1999</i> is satisfied the development applied for is a for special indigenous purpose under the <i>Cape York Peninsula Heritage Act 2007</i> outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i>	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If you answered **no** to ALL of the above, then the clearing is not for a relevant purpose and this aspect of the development is prohibited development. If this is the only aspect of vegetation clearing then that is the end of part 2 of this checklist, otherwise continue to question 2.3
- If **yes** to any of the above, continue to question 2.3

2.3 Is the proposed vegetation clearing associated with a material change of use or reconfiguring a lot for which referral is required in relation to clearing vegetation under schedule 7, table 3, item 10 and table 2, item 4 of the Sustainable Planning Regulation 2009?

<input type="checkbox"/> No	<ul style="list-style-type: none"> • The proposed operational work for clearing native vegetation is assessable development and a development permit is required • This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Queensland vegetation management state code</i> in the State Development Assessment Provisions (SDAP) • You must complete <i>IDAS Form 11—Clearing native vegetation</i> • End of part 2 of this checklist
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • This aspect of development is assessable development • The chief executive of DSDIP may be a concurrence agency for the application (see schedule 7, table 2, item 4 and table 3, item 10 of the Sustainable Planning Regulation 2009) and will assess the application against the <i>Queensland vegetation management state code</i> in the SDAP • If DSDIP is a concurrence agency for the application, you must refer a copy of your application to DSDIP • End of part 2 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 1
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 4 and schedule 7, table 3, item 10
- *Vegetation Management Act 1999*, section 22A

Part 3—Operational work for reconfiguring a lot

3.1 Is any part of the operational work for reconfiguring a lot in a priority development area?

<input checked="" type="checkbox"/> No	<ul style="list-style-type: none"> • Continue to question 3.2
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • This aspect of the development is not assessable development • End of part 3 of this checklist

3.2 Do all of the following apply:

- **the land is in the area of a local government that, under the *South East Queensland Water (Distribution and Retail Restructuring) Act 2009*, is a participating local government for a distributor–retailer**
- **the participating local government is the assessment manager**
- **the development application is made before 1 March 2014**

<input type="checkbox"/> No	<ul style="list-style-type: none"> • This aspect of the development is assessable development and you will need a development permit • The local government will be the assessment manager for the application • End of part 3 of this checklist
<input checked="" type="checkbox"/> Yes	<ul style="list-style-type: none"> • This aspect of the development is assessable development and you will need a development permit • The local government will be the assessment manager for the application and the distributor–retailer (or SARA) will be a concurrence agency for the application. • End of part 3 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 47

Part 4—Taking or interfering with water

4.1 Is the proposed operational work to be carried out in a priority development area or on premises to which structure plan arrangements apply?

- | | |
|------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • Continue to question 4.2 |
| <input type="checkbox"/> Yes | <ul style="list-style-type: none"> • This aspect of development is not assessable development and does not require a development permit • End of part 4 of this checklist |

4.2 Does any of the proposed operational work involve taking or interfering with water from a watercourse, lake or spring or from a dam constructed on a watercourse or lake?

- | | |
|------------------------------|-------------------------------------------------------------------------------------|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • End of part 4 of this checklist |
| <input type="checkbox"/> Yes | <ul style="list-style-type: none"> • Continue to question 4.3 |

4.3 Are the proposed works for any of the following purposes?

Taking water from a watercourse, lake or spring in an emergency situation for a public purpose or fighting a fire destroying, or threatening to destroy, a dwelling house	<input type="checkbox"/> Yes <input type="checkbox"/> No
Taking water from a watercourse, lake or spring if: <ul style="list-style-type: none"> • the water is taken by the owner of land adjoining the watercourse, lake or spring • the water is taken for domestic purposes or stock purposes 	<input type="checkbox"/> Yes <input type="checkbox"/> No
Taking water from a watercourse, lake or spring for camping purposes or for watering travelling stock	<input type="checkbox"/> Yes <input type="checkbox"/> No
Using a water truck to pump water	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 4.4
- If **yes** to any of the above, this aspect of development does not require a development permit.
 - If this is the only aspect of taking or interfering with water proposed then that is the end of part 4 of this checklist
 - If there are other aspects of taking or interfering with water proposed, continue to question 4.4

4.4 Are the proposed works self-assessable development under schedule 3, part 2, table 4, item 1 of the Sustainable Planning Regulation 2009?

- | | |
|------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • Go to question 4.5 |
| <input type="checkbox"/> Yes | <ul style="list-style-type: none"> • This aspect of development is self-assessable development and must comply with any relevant self-assessable code • If the proposal involves more than one aspect of operational work for taking or interfering with water, and the other aspect is not self-assessable development, then continue to question 4.5 |

4.5 Is the work for a water pump?

- | | |
|-----------------------------|------------------------------------------------------------------------------|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • Continue to question 4.6 |
|-----------------------------|------------------------------------------------------------------------------|

<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP • You must complete <i>IDAS form 13—Watercourse pump</i> • If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist • If there are other aspects of taking or interfering with water proposed, then continue to question 4.6
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4.6 Is the work for water storage (other than for a dam requiring failure impact assessment)?

<input type="checkbox"/> No	<ul style="list-style-type: none"> • Continue to question 4.7
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP • You must complete <i>IDAS form 14—Water storage</i> • If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist • If there are other aspects of taking or interfering with water proposed, then continue to question 4.7

4.7 Is the work for gravity diversion from a watercourse?

<input type="checkbox"/> No	<ul style="list-style-type: none"> • Continue to question 4.8
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP • You must complete <i>IDAS form 15—Gravity diversion from a watercourse</i> • If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist • If there are other aspects of taking or interfering with water proposed, then continue to question 4.8

4.8 Is the work for a watercourse diversion?

<input type="checkbox"/> No	<ul style="list-style-type: none"> • Continue to question 4.9
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP • You must complete <i>IDAS form 17—Watercourse diversion</i> • If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist • If there are other aspects of taking or interfering with water proposed, then continue to question 4.9

4.9 Is the work for other work for taking or interfering with water?

<input type="checkbox"/> No	<ul style="list-style-type: none"> • End of part 4 of this checklist
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> • A development permit is required and this application will be assessed by the chief executive of DSDIP as assessment manager or concurrence against the <i>Sustainable management of water resources state code</i> in the SDAP • You must complete <i>IDAS form 21—Other work in a watercourse</i> • End of part 4 of this checklist

Part 5—For particular dams

5.1 Is the proposed operational work for the following?

The construction of a dam more than 10 metres in height and having a storage capacity of more than 1500 megalitres	<input type="checkbox"/> Yes <input type="checkbox"/> No
The construction of a dam more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in relation to an existing non-referable dam that will result in the dam being more than 10 metres in height and having a storage capacity of more than 1500 megalitres	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work to an existing non-referable dam that will result in the dam being more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works that involve the increase of capacity of a non-referable dam by more than 10 per cent if the dam is: <ul style="list-style-type: none"> • more than 10 metres in height and having a storage capacity of more than 1500 megalitres, or • more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level 	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works carried out in relation to a referable dam if, because of the works, the storage capacity of the dam will increase by more than 10% after the works are carried out.	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing a dam for which the chief executive under the <i>Water Supply (Safety and Reliability) Act 2008</i> has given a notice to have the dam failure impact assessed.	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, the proposed operational work is not required to be failure impact assessed and is therefore not assessable development. This is the end of part 5 of this checklist
- If **yes** to any of the above, this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Particular dams state code* in the SDAP.
 - You must complete *IDAS form 16—Particular dams*
 - End of part 5 of this checklist

Part 6—Tidal work

6.1 Is the proposed tidal work any of the following:

Excluded work	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work that is self-assessable development under schedule 3, part 2, table 4, item 8 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 6.2.
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required.

6.2 Is any of the proposed tidal work prescribed tidal work?

<input type="checkbox"/> No	<ul style="list-style-type: none"> This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence against the <i>Tidal works, or development in a coastal management district state code</i> in the SDAP You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i> End of part 6 of this checklist
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> You must complete <i>IDAS form 23—Tidal works and development within coastal management districts</i> This application requires assessment by the local government as assessment manager and the chief executive of DSDIP will be a concurrence agency for the application; you must refer a copy of the application to DSDIP End of part 6 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 5
- Sustainable Planning Regulation 2009, schedule 7, table 2, items 13 to 18

Part 7—Coastal management

7.1 Is the proposed operational work any of the following:

Excluded works	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work that is self-assessable development under schedule 3, part 2, table 4, item 8 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If no to all of the above, continue to question 7.2
- If yes to any of the above, this aspect of development is not assessable development and a development permit is not required. End of part 7 of this checklist.

7.2 Is the proposed operational work for any of the following?

Interfering with quarry material as defined under the <i>Coastal Protection and Management Act 1995</i> on state coastal land above high-water mark	<input type="checkbox"/> Yes <input type="checkbox"/> No
Disposing of dredge spoil or other solid waste material in tidal water	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing an artificial waterway	<input type="checkbox"/> Yes <input type="checkbox"/> No
Removing or interfering with coastal dunes on land, other than State coastal land, that is in an erosion prone area as defined in the <i>Coastal Protection and Management Act 1995</i> and above high-water mark	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If you answered no to all of the above, a development permit is not required for this aspect of development and that is the end of part 7 of this checklist
- If you answered yes to any of the above,
 - This application may require assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Tidal works, or development in a coastal management district state code* in the SDAP
 - You must complete *IDAS form 23—Tidal works and development within coastal management districts*
 - End of part 7 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 5
- Sustainable Planning Regulation 2009, schedule 7, table 2, items 13 to 18

Part 8—Waterway barrier works

8.1 Is the proposed operational work any of the following:

Work that is self-assessable development under schedule 3, part 2 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If no to all of the above,
 - A development permit is required for this aspect of development. This application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Constructing or raising waterway barrier works in fish habitats state code* in the SDAP
 - You must complete *IDAS form 27—Waterway barrier works*
 - End of part 8 of this checklist
- If yes to any of the above, this aspect of development is not assessable development and a development permit is not required. End of part 8 of this checklist.

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 6
- Sustainable Planning Regulation 2009, schedule 3, part 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 29

Part 9—Declared fish habitat area

9.1 Is the operational work reasonably necessary for any of the following?

The maintenance of existing structures, including for example the following structures, if the structures were constructed in compliance with all the requirements under any Act relating to a structure of that type: <ul style="list-style-type: none"> • boat ramps, boardwalks, drains, fences, jetties, roads, safety signs, swimming enclosures and weirs • powerlines or associated powerline infrastructure. 	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Educational or research purposes relating to the declared fish habitat area	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Monitoring the impact of development on the declared fish habitat area	<input type="checkbox"/> Yes	<input type="checkbox"/> No
The construction or placement of structures, including for example, safety signs, swimming enclosures and aids to navigation, if: <ul style="list-style-type: none"> • the impact on the area is minor • the structures are constructed in compliance with all the requirements, under any Act relating to a structure of that type. 	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Public benefit works, including, for example, the construction of runnels for mosquito control, the removal of Lyngbya and seed collection for site rehabilitation, if the impact on the area is minor	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If **yes** to any of the above, a permit is not required for this aspect of development but the proposed work must comply with any applicable self-assessable codes. End of part 9 of this checklist.
- If **no** to all of the above:
 - A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency, against the *Development in or adjacent to a declared fish habitat area state code* in the SDAP
 - You must complete *IDAS form 27—Waterway barrier works*
 - End of part 9 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 7
- Sustainable Planning Regulation 2009, schedule 3, part 2, table 4, item 3
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 26

Part 10—Removal, destruction or damage of a marine plant

10.1 Is the proposed operational work any of the following?

For reconfiguring a lot that is assessable development under table 3, item 1, if there is a development permit in effect for the reconfiguration	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For a material change of use that is assessable development, if there is a development permit in effect for the change of use	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Self-assessable development under schedule 3, part 2 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Carried out in a priority development area	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If **yes** to any of the above, this aspect of development is not assessable development and no development permit is required. End of part 10 of this checklist.
- If **no** to all of the above, continue to question 10.2

10.2 Is the proposed operational work any of the following?

Specified works in the area	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Operational work that is a necessary and unavoidable part of installing or maintaining works or infrastructure required to support other development for which a development permit or compliance permit is not required or, if a development application or a request for compliance assessment is required, the permit is held or has been applied for.	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If **no** to all of the above, this aspect of development is prohibited development and a development application cannot be made. End of part 10 of this checklist.
- If **yes** to any of the above:
 - A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the *Removal, destruction or damage of marine plants state code* in the SDAP
 - You must complete *IDAS form 26—Marine plants and declared fish habitat areas*
 - End of part 10 of this checklist.

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 8
- Sustainable Planning Regulation 2009, schedule 3, part 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 30

Part 11—Great Barrier Reef Wetland Protection Areas

11.1 Is the proposed operational work for a domestic housing activity only?

- | | |
|------------------------------|------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> No | • Continue to question 11.2 |
| <input type="checkbox"/> Yes | • A development permit is not required for this aspect of development and this is the end of the checklist |

11.2 Is the proposed operational work the natural and ordinary consequence of a material change of use or reconfiguring a lot for which the state was a concurrence agency under schedule 7, table 3, item 21A or table 2, item 43A of the Sustainable Planning Regulation 2009?

- | | |
|------------------------------|------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> No | • Continue to question 11.3 |
| <input type="checkbox"/> Yes | • A development permit is not required for this aspect of development and this is the end of the checklist |

11.3 Is the proposed operational work associated with government supported transport infrastructure or electricity infrastructure?

- | | |
|------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> No | <ul style="list-style-type: none"> • A development permit is required and this application requires assessment by the chief executive of DSDIP as assessment manager or concurrence agency against the <i>Wetland protection area state code</i> in the SDAP. • You must complete <i>IDAS form 33—Great Barrier Reef Wetland protection area</i> • End of part 11 of this checklist |
| <input type="checkbox"/> Yes | <ul style="list-style-type: none"> • A permit is not required for this aspect of development but the proposed work must comply with any applicable self assessable code • End of part 11 of this checklist |

Part 12—Construction or modification of a levee

12.1 Will the proposed operational work result in any of the following off-property impacts:

A change to the flow path of overland flow water where it enters or exits the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in the velocity of flood flow beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in flooded area beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in flood height beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If **no** to all of the above this development is categorised as a Category 1 levee and must comply with any applicable self-assessable code – end of this checklist
- If **yes** to any of the above continue to question 13.2

12.2 Will the proposed operational work result in any of the following impacts:

An increase in flood height above the floorboards in an occupied building that results in 3 or more people being affected	<input type="checkbox"/> Yes	<input type="checkbox"/> No
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An increase in flood velocity above the floorboards in an occupied building that results in 3 or more people being affected	<input type="checkbox"/> Yes <input type="checkbox"/> No
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- If **no** to all of the above:
 - This is categorised as a Category 2 levee and is subject to code assessment
 - A development permit is required and this application requires assessment by the local government as assessment manager against the applicable code for the construction or modification of a levee
 - You must complete *IDAS form 20—Interfering with overland flow water and construction or modification of a levee*.
 - End of this checklist.
- If **yes** to any of the above:
 - This is categorised as a Category 3 levee and is subject to impact assessment
 - A development permit is required and this application requires assessment by the local government as assessment manager against the applicable code for the construction or modification of a levee
 - This application will require assessment by the chief executive of DSDIP as concurrence agency against the *Construction or modification of levees state code* in the SDAP
 - You must complete *IDAS form 20—Interfering with overland flow water and construction or modification of a levee*.
 - End of this checklist.

Section references:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 11
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 48.

Privacy—please refer to your assessment manager for further details on the use of information recorded in this form

Disclaimer:

While the Department of State Development, Infrastructure and Planning (DSDIP) believes that the information contained on this checklist and provided as part of this process will be of assistance to you, it is provided on the basis that you will not rely on the information. It is your responsibility to make your own enquiries regarding the interpretation and application of the applicable legislation to your circumstances.

To the full extent permitted by law, DSDIP expressly disclaims all liability (including but not limited to liability for negligence) for errors or omissions of any kind or for any loss (including direct and indirect losses), damage or other consequence which may arise from your reliance on this process and the information contained on this checklist.

OFFICE USE ONLY

Date received	<input style="width: 250px; height: 20px;" type="text"/>	Reference numbers	<input style="width: 310px; height: 20px;" type="text"/>
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The Sustainable Planning Act 2009 is administered by DSDIP. This checklist and all other required application materials should be sent to your assessment manager and any referral agency.



ENQUIRIES: Michelle Henderson
PHONE: (07) 4099 9457
FAX: (07) 4044 3836
YOUR REF: L70211
OUR REF: 8/37/153 SUB 039/04 (3499902)

21 February 2012

RECEIVED
23 FEB 2012

BY: OCK

N Romano
C/- RPS Australia East Pty Ltd
PO Box 1949
CAIRNS QLD 4870

Dear Sir/Madam

**DECISION NOTICE FOR REQUEST TO EXTEND RELEVANT PERIOD AND
REQUEST FOR PERMISSIBLE CHANGE TO CONDITIONS FOR 6889R CAPTAIN
COOK HIGHWAY KILLALOE**

With reference to the abovementioned request, the General Manager Planning & Environment, under Instrument of Delegation, approves the request to extend the relevant period of the approval for two (2) years up to and including 12 December 2013.

With regard to the Request for permissible change the General Manager Planning & Environment, under Instrument of Delegation partially approves and partially refuses the request to change the existing approval, Development Permit SUB 039/04 for Reconfiguring a Lot (1 lots into 4 lots) at Captain Cook Highway, Killaloe, being on Lot 4 on RP907338, whereby the development is to be undertaken in two (2) stages, with proposed Lots 1 and 2 to be created as Stage 1 and proposed Lots 3 and 4 to be created as Stage 2.

The notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

45.2005.4521
1/17

For all correspondence:
PO Box 359 Cairns Q 4870
Cairns Regional Council
Cairns Regional Council

Cairns Regional Council
119-145 Spence Street, Cairns Q 4870
P: 07 4044 3044 F: 07 4044 3022

Cairns Regional Council
64-66 Front Street, Mossman Q 4873
P: 07 4099 9444 F: 07 4098 2902

Should you have any enquires in relation to this Decision Notice, please contact Michelle Henderson of Council's Development Assessment Team on telephone number (07) 4099 9457.

Yours faithfully

A handwritten signature in black ink, appearing to be 'KR', written over a horizontal line.

Kelly Reaston
Manager Development Assessment

Att.



APPLICANT DETAILS

N Romano
C/- RPS Australia East Pty Ltd
PO Box 1949
CAIRNS QLD 4870

ADDRESS

6889R Captain Cook Highway Killaloe

REAL PROPERTY DESCRIPTION

Lot 4 on RP907338

PROPOSAL

Reconfiguring a Lot (1 Lot into 4 Lots)

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

21 February 2012

TYPE

Reconfiguration of a Lot (Development Permit)

REFERRAL AGENCIES

(State Controlled Roads, Public
Passenger Transport & Railway Matters)
Department of Transport and Main Roads
Far North Region (Cairns)
PO Box 6185
CAIRNS QLD 4870

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Operational Work

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

45,2005,4521
3/17

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

ASSESSMENT MANAGER CONDITIONS:

4.4 The applicant is required to enter into an environmental covenant with Cairns Regional Council "the Council", over all of the existing remnant vegetation on the subject site (Lot 4 on RP907338). The following requirements will be included in this covenant:

- (a) No landscaping in the defined covenant areas is to be undertaken without the express permission of "the Council";
- (b) The clearing of vegetation from the defined covenant areas will not be permitted other than as approved by the Council;
- (c) The defined covenant area is to be properly surveyed and is to include all of Lots 1, 2, 3 & 4 covered by existing remnant vegetation, with the exception of the proposed access and building envelopes for Lots 2, 3 & 4 as shown on drawing number 62384-6 and all land below RL 50metres AHD on Lot 1. The maximum width of the driveway is to be 4.0m and the maximum area of the proposed building envelopes are 1200m².

The proposed access and building envelope identified for proposed Lot 1 will not be permitted until the existing dwelling/s have been removed or a Material Change of Use permits the construction of an additional dwelling on the land.

- (d) Any works, including drainage and vegetation clearing, undertaken outside the defined covenant area by the lot owner shall not prejudice the integrity of the existing vegetation nor the visual amenity of the ridgeline and hill slope;
- (e) No structures shall be constructed within the covenant areas other than as approved by the Council.

This covenant is to be drafted and approved by Council prior to endorsement of the Plan of Survey. This Covenant is to be binding on successive owners of the land and a copy of this Covenant is to be included in the contract documentation for the sale of the effected allotments.

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- (f) The Covenant over proposed Lot 1 may have flexibility to accommodate some minor agricultural practices under the existing canopy. Any approval for these activities is to be granted by the Covenantor and Covenantee.
- (g) Nothing in this Covenant prevents the Covenantor from removing or damaging vegetation protected by this Covenant:
 - (i) Which poses an immediate and severe danger to persons or property; and/or
 - (ii) Which is authorised by a relevant authority for the provision or maintenance of a firebreak in accordance with the *Fire and Rescue Service Act 1990* or any other applicable Acts, Regulations, Local Laws and Subordinate Local Laws.

4.7 Water Supply Headworks

~~The applicant shall pay to the Council headworks contributions for water supply and sewerage in accordance with Council's Local Planning Policy: "Determination of Contributions for Water Supply and Sewerage Headworks and External Works" ("the Policy").~~

~~The contribution shall be calculated at the rate per Equivalent Domestic Connection ("EDC") applicable at the time of payment in accordance with the Policy.~~

~~For information purposes only:~~

~~(a) The Current rates per EDC at the time of this approval are:~~

~~Water Supply: \$10,504.00~~

~~(b) The current number of EDCs for the approved use are:~~

~~Water Supply: 1~~

Developer Contributions

Pay a monetary contribution to Council in accordance with the Planning Scheme Policy towards the provision of water supply.

Contributions must be paid at the rates applicable at time of payment.

Payment is required prior to the issue of a Compliance Certificate for the Plan of Survey.

DECISION NOTICE DETAILS
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All other conditions of the Decision Notice dated 12 December 2005 (attached) remain unchanged.

RIGHTS OF APPEAL

Attached

End of Decision Notice

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

Appendix 1 APPROVED PLAN(S) & DOCUMENT(S)

ENQUIRIES: Mrs Jenny Elphinstone
PHONE: (07) 4099 9482
FAX: (07) 4044 3536
YOUR REF:
OUR REF: 8/58/2 2149204

29 June 2009

Conics (Cairns) Pty Ltd
PO Box 1949
CAIRNS QLD 4870

Dear Sir/Madam

EXTENSION OF CURRENCY PERIOD
FOR DEVELOPMENT APPLICATION -
8/38/2 CAPTAIN COOK HIGHWAY KILLALOE

In accordance with Section 3.5.7 of the *Integrated Planning Act 1997*, please be advised that Council has extended the decision period for two (2) years, up to and including 12 December 2011, subject to the conditions contained within the Decision Notice dated 12 December 2005 (copy attached).

Should you require any further information or assistance, please contact Mrs Jenny Elphinstone of Council's Development Assessment Team on telephone number (07) 4099 9482.

Yours faithfully

Simon Clarke
Manager Development Assessment

Att.

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APPENDIX 1 DEVELOPMENT PERMIT DSC SUB 039/04



62384
1. 2. 3. 4. 5.

ENGINEER Mr Paul Gleeson
CONSULTANT Manager Planning Services - 20 (07) 4399 9456

DATE SUB 039/04
DATE

Mr Leslie (Barry) Crookford
PO Box 331
MOSSMAN QLD 4873

12 December 2005

INTEGRATED PLANNING ACT
NEGOTIATED DECISION NOTICE

DEVELOPMENT APPLICATION

Applicant's Name : Mr Barry Crookford
Owner's Name : Mr LB Crookford
Proposal : Council approve the application for a Reconfiguring a Lot Development Permit by Leslie Crookford to create 4 allotments from an existing allotment described as Lot 4 on RP907338 and located at Captain Cook Highway and Francis Road, Killaloe
Application Number : SUB 03904
Site Address : Captain Cook Highway, Killaloe
Property Description : Lot 4 on RP907338, Parish of Victory, County of Kalbar

This Negotiated Decision Notice supersedes the Decision Notice dated 11 April 2005. Conditions 4.1 and 4.4 have been amended all other conditions remain unchanged.

- 1. Decision:** Decision Date 0th December 2005
Approved subject to Conditions
- 2. Type of Development Approval:**
Reconfiguration of Lot Development Permit

ADMINISTRATION CENTRE (SIA) DEPARTMENT 8 PO BOX 331, MOSSMAN LIBRARY MAILING 8055904	PHONE (07) 4399 9456 FAX (07) 4399 9456 INTERNET www.boulder.qld.gov.au	FACSIMILE (07) 4399 9456 FACSIMILE (07) 4399 9456 FACSIMILE (07) 4399 9456	ALL COMMUNICATIONS TO BE ADDRESS TO: THE DEPUTY EXECUTIVE OFFICER PO BOX 331 MOSSMAN, QLD 4873
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SUSTAINABLE PLANNING ACT 2009

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3. Referral Agency:

Department of Main Roads
PO Box 6185
CAIRNS QLD 4870

Attn: Mr Malcolm Fordy

4. Conditions

Plan of Reconfiguration

4.1 The approved reconfiguration and the carrying out of any works on the premises associated with the development must be in accordance with Plan of Reconfiguration No. 62384-5 dated 01/12/04 with the following amendments:

(a) Delete

Electrical & Telephone Services

4.2 Prior to the approval of the Plan of Survey, the Applicant must submit to Council a copy of a letter from Byron Energy stating that electrical services have been made available to proposed Lots 1-4.

4.3 Prior to the approval of the Plan of Survey, the Applicant must submit to Council a copy of a letter from Telstra stating that telephone services have been made available to proposed Lots 1-4.

Covenant

4.4 The applicant is required to enter into an environmental covenant with Douglas Shire Council "the Council", over all of the existing remnant vegetation on the subject site (Lot 4 on RP907538). The following requirements will be included in this covenant:

(a) No landscaping in the defined covenant areas to be undertaken without the express permission of "the Council";

(b) The clearing of vegetation from the defined covenant areas will not be permitted other than as approved by the Council;

(c) The defined covenant area is to be properly swept and is to include all of Lots 1, 2, 3 & 4 covered by existing remnant vegetation, with the exception of the proposed access and building envelopes for Lots 2, 3 & 4 as shown on drawing number 62384-5 and all land below RL 30metres AHD on Lot 1. The maximum width of the driveway is to be 4.0m and the maximum area of the proposed building envelopes are 1200m².

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The proposed access and building envelope identified for proposed Lot 1 will not be permitted until the existing dwellings have been removed or a Material Change of Use permits the construction of an additional dwelling on the land.

- (d) Any works, including drainage and vegetation clearing, undertaken outside the defined covenant area by the lot owner shall not prejudice the integrity of the existing vegetation nor the visual amenity of the ridgeline and hill slopes;
- (e) No structures shall be constructed within the covenant areas other than as approved by the Council.

This covenant is to be drafted and approved by Council prior to endorsement of the Plan of Survey. This Covenant is to be binding on successive owners of the land and a copy of this Covenant is to be included in the contract documentation for the sale of the effected allotments.

- (f) The Covenant over proposed Lot 1 may have flexibility to accommodate some minor agricultural practices under the existing covenants. Any approval for these activities is to be granted by the Covenantee and Covenantor.

Amenity

- 4.3 Any development, including dwellings, sheds and auxiliary buildings, undertaken outside the covenant area shall reduce the visual impact on the amenity of the area by:
 - (i) minimising excavation and filling of the site;
 - (ii) limiting the colour of any structure to those identified on the attached approved colour schemes; and
 - (iii) including landscaping measures, including the retention of trees, to screen development from the Captain Cook Highway.
- (iv) The roof line of any dwelling on site should be kept below the visual line of the ridgeline.

Road Works

- 4.4 The applicant must undertake the following works:

External

- (a) Provision is to be made for the following works external to the subject site in accordance with Council's requirements including:

- i. **Francis Road**

- (a) 8.0m wide formation with a 3.5m wide gravel pavement and 1.25m wide shoulders for the full length of the road.

...16.

DECISION NOTICE DETAILS
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4.

- (b) Upgrading the intersection of Francis Road with the Highway to AUSTRROADS standards in accordance with Section D1.29 of the FNR Development Manual.

(k) **Internal Access**

- (a) The internal access contained within the proposed *accessways* to have a maximum width of 4.0m, with provision of paving area up to 5.0m wide.
- (b) Internal access to each site is required to be sealed (concrete/bitumen), in locations where the slope exceeds fifteen degrees (15°). The applicant will be required to install sediment control devices on this access to manage erosion and sediment loss off-site.

All works are to be shown on the engineering plans for Operational Works approval.

Water Supply Measurements

- 4.7 The Applicant shall pay to the Council *hardworks* contributions for water supply and sewerage in accordance with Council's Local Planning Policy: "Determination of Contributions for Water Supply and Sewerage *Hardworks* and External Works" ("the Policy").

The contribution shall be calculated at the rate per Equivalent Domestic Connection ("EDC") applicable at the time of payment in accordance with the Policy.

For information purposes only:

- (a) The current rates per EDC at the time of this approval are:
- | | |
|--------------|-------------|
| Water Supply | \$10,504.00 |
|--------------|-------------|
- (b) The current number of EDCs for the approved use are:
- | | |
|--------------|---|
| Water Supply | 1 |
|--------------|---|

Maintenance Period

- 4.8 The Applicant shall maintain in accordance with the requirements of the Operational Works Development Form it and the For North Queensland Regional Organisation of Councils Development Manual all road construction works of any nature whatsoever and any drainage works carried out under the provisions of the subdivision of the land and any related works for a period of twenty-four (24) months. The Applicant shall take good within such period any defects arising from faulty workmanship or materials in respect to such road construction and drainage works carried out as part of the works associated with the subdivision.

...15.

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Sewerage

- 4.9 The minimum level of on-site treatment of waste for Lots 1, 2, 3 & 4 (if existing is to be located on the hillside) is Advanced Secondary in accordance with the requirements of the *Casalter Sewerage Code - July 2002*.

Water Supply

- 4.10 The applicant is required to provide to each allotment an adequate supply of potable water in both quantity and quality in accordance with Australian Standards, prior to the endorsement of the plan of survey. Alternatively, should each site have an individual bore source, the applicant is to demonstrate to the Council that an adequate supply of potable water in both quantity and quality in accordance with the Australian Standard, is available to each lot prior to endorsement of the Plan of Survey.

Contract of Sale

- 4.11 The applicant is to notify prospective purchasers of the requirements of conditions 1, 2, 3 and 4 on the contract of sale.

Defeasance Period

- 4.12 The development authorised by this Development Permit must cease at the expiration of four (4) years from the day that this Development Permit takes effect under the *Integrated Planning Act 1997* unless a detailed plan of survey has been lodged with Council for endorsement and all conditions of this approval complied with.

Compliance with Conditions

- 4.13 The Plan of Survey with associated documents shall not be endorsed by Council until all of the conditions of approval have been complied with.

5. Further Development Approvals Required:

Operational Works

Development Permits



J R Noddy
Acting Chief Executive Officer

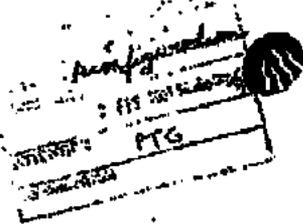
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DECISION NOTICE DETAILS
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3 February 2011

Mr TADOKET
Chief Executive Officer
Douglas Shire Council
PO Box 257
Maree QLD 4873



Queensland
Government

Department of Main Roads

Dear Mr Makher

Subject: Shire of Capricorn Coast Highway (Capricorn Highway)
Localised approval to Douglas Down Road Intersection, Kildale
Lot 6 on RP 593111, Parish of Tivory
Rural Catchment
Proposed Reinstatement of Lot 6 Additional Attachment Application
Relevant Agency's Receipt No (local matter 1997)

I refer to the above application received at the Department 21 January 2011 requesting consideration of the above development.

A. CONDITIONS OF DEVELOPMENT

Pursuant to the *Sustainable Planning Act 2009*, the Queensland Department of Main Roads, as a Competent Authority, has assessed the impact of the proposed development on the State-controlled road network and requires that Council include the following conditions of development for the subject application:

1. Permitted Road Access Location

- (1) Access between the State-controlled road (i.e. Capricorn Coast Highway) and the proposed Lot 6 shall be via a new right-of-way located 20m north of the existing access to the existing dwelling house on the subject land, only. The existing access to the existing dwelling house and to the existing care haven(s) shall be permanently closed.
- (2) Access between the State-controlled road (i.e. Capricorn Coast Highway) and the proposed Lots 2, 3 and 4 shall be via Farnside Road, to the satisfaction of Douglas Shire Council.
- (3) No additional direct access between the Capricorn Coast Highway and the subject land is permitted.

2. Road Access Works

- (1) Road access works at the permitted road access location are required and shall be completed in accordance with:

Queensland Department of Main Roads
Permitted Access
PTG 10/10/11
Contact Queensland DPI
Address: 100/101 711

Queensland Department of Main Roads
Roads Engineering
Queensland Department of Main Roads
Telephone: 07 552 0000
Facsimile: 07 552 0000

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- the Department of Main Roads, Road Planning and Design Internal, and
- several Departments of Main Roads contracts.

A review of the inspection indicates the road access works require the provision of the following:

- install an Access Type 2 as indicated on the attached DPM Plan with minimum width 4m (W) and minimum radius of 10m (R),
- drainage equal to the edge of the existing bitumen of the Captain Cook Highway to the satisfaction
- cost include existing construction to the satisfaction and approval of Main Roads (MRC) Ltd,
- grading and clearing of vegetation on the western side of the access to improve traffic sight visibility, and
- payment of the on-going maintenance to the proposed Certificate Holders and existing lane benches and re-landscape to match adjoining roadside conditions.

(B) The holder of any Survey shall write to the Chief Officer of the Department of Main Roads to obtain the necessary plans, forms and approvals for the road access works prior to works commencing within the State-controlled road corridor (i.e. Captain Cook Highway).

(C) All road access works shall be completed to the satisfaction of the Director-General of the Department of Main Roads prior to Council signing and during the plan of survey of the subject land.

3. Access Easements

The applicant/holder shall register access easements:

- over the proposed Lot 2 from the proposed access location in condition (B) above, to the common boundary with the proposed Lot 3 > Survey of the proposed Lots 2 and 4; and
- over the proposed Lot 3 from the common boundary with the proposed Lot 1, to the common boundary with the proposed Lot 4 in favour of the proposed Lot 4,

generally as indicated by the existing access easement in CAD Group 2201 No. 61344-6 Issue A dated 13/12/94, with the Title Officer or the Registrar of Movable Instruments, to the satisfaction of the Director-General of the Department of Main Roads and Chief Executive Officer of Douglas Shire Council, prior to Council signing and during the plan of survey of the subject land.

All 11-metre access shall be constructed within the easements prior to Council signing and during the plan of survey of the subject land, to the satisfaction and satisfaction of Douglas Shire Council.

4. Existing Alignment Easement

A 11-metre alignment easement of 11m across from the centreline of Captain Cook Highway shall apply to all new easements intended to be located on the subject land to the satisfaction of the Director-General of the Department of Main Roads.

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Summary

The reasons and information used in the making of a decision detailed above includes:

- Department of Public Health Assessment Policy
- Department of Public Health Assessment in Development Applications Bulletin and Assessment Guide, etc
- Douglas Water Planning Scheme.

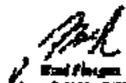
A GENERAL DISCUSSION

Council is required to follow Condition 1 and 4 shown in Table 1 below, to ensure that the proposed alterations of Condition 1 and 4 are correct.

This Department would appreciate a copy of Council's decision notice regarding the application.

A copy of this letter has been sent to the applicant.

Yours sincerely


Paul Morgan
ADJUTANT (TRANSPORT PLANNING) PERIODOLA

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Division 8 **Appeals to court relating to
development applications and
approvals**

461 **Appeals by applicants**

- (1) An applicant for a development application may appeal to the court against any of the following—
 - (a) the refusal, or the refusal in part, of the development application;
 - (b) any condition of a development approval, another matter stated in a development approval and the identification or inclusion of a code under section 242;
 - (c) the decision to give a preliminary approval when a development permit was applied for;
 - (d) the length of a period mentioned in section 341;
 - (e) a deemed refusal of the development application.
- (2) An appeal under subsection (1)(a), (b), (c) or (d) must be started within 20 business days (the *applicant's appeal period*) after—

[s 462]

- (a) if a decision notice or negotiated decision notice is given—the day the decision notice or negotiated decision notice is given to the applicant; or
 - (b) otherwise—the day a decision notice was required to be given to the applicant.
- (3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.

462 Appeals by submitters—general

- (1) A submitter for a development application may appeal to the court only against—
- (a) the part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment under section 314; or
 - (b) the part of the approval relating to the assessment manager's decision under section 327.
- (2) To the extent an appeal may be made under subsection (1), the appeal may be against 1 or more of the following—
- (a) the giving of a development approval;
 - (b) any provision of the approval including—
 - (i) a condition of, or lack of condition for, the approval; or
 - (ii) the length of a period mentioned in section 341 for the approval.
- (3) However, a submitter may not appeal if the submitter—
- (a) withdraws the submission before the application is decided; or
 - (b) has given the assessment manager a notice under section 339(1)(b)(ii).

- (4) The appeal must be started within 20 business days (the *submitter's appeal period*) after the decision notice or negotiated decision notice is given to the submitter.

463 Additional and extended appeal rights for submitters for particular development applications

- (1) This section applies to a development application to which chapter 9, part 7 applies.
- (2) A submitter of a properly made submission for the application may appeal to the court about a referral agency's response made by a prescribed concurrence agency for the application.
- (3) However, the submitter may only appeal against a referral agency's response to the extent it relates to—
- (a) if the prescribed concurrence agency is the chief executive (environment)—development for an aquacultural ERA; or
 - (b) if the prescribed concurrence agency is the chief executive (fisheries)—development that is—
 - (i) a material change of use of premises for aquaculture; or
 - (ii) operational work that is the removal, damage or destruction of a marine plant.
- (4) Despite section 462(1), the submitter may appeal against the following matters for the application even if the matters relate to code assessment—
- (a) a decision about a matter mentioned in section 462(2) if it is a decision of the chief executive (fisheries);
 - (b) a referral agency's response mentioned in subsection (2).

[s 464]

464 Appeals by advice agency submitters

- (1) Subsection (2) applies if an advice agency, in its response for an application, told the assessment manager to treat the response as a properly made submission.
- (2) The advice agency may, within the limits of its jurisdiction, appeal to the court about—
 - (a) any part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment under section 314; or
 - (b) any part of the approval relating to the assessment manager's decision under section 327.
- (3) The appeal must be started within 20 business days after the day the decision notice or negotiated decision notice is given to the advice agency as a submitter.
- (4) However, if the advice agency has given the assessment manager a notice under section 339(1)(b)(ii), the advice agency may not appeal the decision.

465 Appeals about decisions relating to extensions for approvals

- (1) For a development approval given for a development application, a person to whom a notice is given under section 389, other than a notice for a decision under section 386(2), may appeal to the court against the decision in the notice.
- (2) The appeal must be started within 20 business days after the day the notice of the decision is given to the person.
- (3) Also, a person who has made a request under section 383 may appeal to the court against a deemed refusal of the request.
- (4) An appeal under subsection (3) may be started at any time after the last day the decision on the matter should have been made.

466 Appeals about decisions relating to permissible changes

- (1) For a development approval given for a development application, the following persons may appeal to the court against a decision on a request to make a permissible change to the approval—
 - (a) if the responsible entity for making the change is the assessment manager for the application—
 - (i) the person who made the request; or
 - (ii) an entity that gave a notice under section 373 or a pre-request response notice about the request;
 - (b) if the responsible entity for making the change is a concurrence agency for the application—the person who made the request.
- (2) The appeal must be started within 20 business days after the day the person is given notice of the decision on the request under section 376.
- (3) Also, a person who has made a request under section 369 may appeal to the court against a deemed refusal of the request.
- (4) An appeal under subsection (3) may be started at any time after the last day the decision on the matter should have been made.

467 Appeals about changing or cancelling conditions imposed by assessment manager or concurrence agency

- (1) A person to whom a notice under section 378(9)(b) giving a decision to change or cancel a condition of a development approval has been given may appeal to the court against the decision in the notice.
- (2) The appeal must be started within 20 business days after the day the notice of the decision is given to the person.

[s 468]

**Division 9 Appeals to court about compliance
assessment**

**468 Appeals against decision on request for compliance
assessment**

- (1) A person to whom an action notice has been given under section 405(5) about a request for compliance assessment of development, a document or work may appeal to the court against the decision in the notice.
- (2) The appeal must be started within 20 business days after the notice is given to the person.

**469 Appeals against condition imposed on compliance
permit or certificate**

- (1) A person who is given a compliance permit or compliance certificate subject to any conditions may appeal to the court against the decision to impose the condition.
- (2) The appeal must be started within 20 business days after the day the compliance permit or compliance certificate is given to the person.

**470 Appeals against particular decisions about compliance
assessment**

- (1) A person to whom any of the following notices have been given may appeal to the court against the decision in the notice—
 - (a) a notice of a decision on a request to change or withdraw an action notice;
 - (b) a notice under section 413(2)(c) about a decision to refuse a request to change a compliance permit or compliance certificate.
- (2) The appeal must be started within 20 business days after the day the notice is given to the person.

Division 10 Appeals to court about other matters

471 Appeal by applicant for approval of a proposed master plan

- (1) A person who has applied for an approval of a proposed master plan may appeal to the court against—
 - (a) the refusal, or the refusal in part, to give the approval; or
 - (b) a matter stated in the notice of decision about the application; or
 - (c) a deemed refusal of the master plan application.
- (2) An appeal under subsection (1)(a) or (b) must be started within 20 business days (the *applicant's appeal period*) after the day the applicant is given notice of the decision.
- (3) An appeal under subsection (1)(c) may be started at any time after the last day a decision on the matter should have been made.

472 Appeal about extension of period under s 98

- (1) A person who has requested an extension under section 98(2) may appeal to the court against a refusal of the request.
- (2) An appeal under subsection (1) must be started within 20 business days after the day the person is given notice of the refusal.
- (3) Also, a person who has made a request under section 98(2) may appeal to the court against a deemed refusal of the request.
- (4) An appeal under subsection (3) may be started at any time after the last day the decision on the matter should have been made.

[s 473]

- (5) However, an appeal under this section may only be about whether the refusal is so unreasonable that no reasonable relevant local government could have refused the request.

473 Appeals against enforcement notices

- (1) A person who is given an enforcement notice may appeal to the court against the giving of the notice.
- (2) The appeal must be started within 20 business days after the day notice is given to the person.

474 Stay of operation of enforcement notice

- (1) The lodging of a notice of appeal about an enforcement notice stays the operation of the enforcement notice until—
- (a) the court, on the application of the entity issuing the notice, decides otherwise; or
 - (b) the appeal is withdrawn; or
 - (c) the appeal is dismissed.
- (2) However, subsection (1) does not apply if the enforcement notice is about—
- (a) a work, if the enforcement notice states the entity believes the work is a danger to persons or a risk to public health; or
 - (b) stopping the demolition of a work; or
 - (c) clearing vegetation on freehold land; or
 - (d) the removal of quarry material allocated under the *Water Act 2000*; or
 - (e) extracting clay, gravel, rock, sand or soil, not mentioned in paragraph (d), from Queensland waters; or
 - (f) development the assessing authority reasonably believes is causing erosion or sedimentation; or

- (g) development the assessing authority reasonably believes is causing an environmental nuisance.

475 Appeals against local laws

- (1) This section applies if—
 - (a) an applicant is dissatisfied with a decision of a local government or the conditions applied under a local law about the use of premises or the erection of a building or other structure; and
 - (b) the use is not prohibited development under the planning scheme or a temporary local planning instrument for the planning scheme area.
- (2) The applicant may appeal to the court against the decision or the conditions applied.
- (3) The appeal must be started within 20 business days after the day notice of the decision is given to the applicant.

476 Appeals against decisions on compensation claims

- (1) A person who is dissatisfied with a decision under section 710 or 716 for the payment of compensation may appeal to the court against—
 - (a) the decision; or
 - (b) a deemed refusal of the claim.
- (2) An appeal under subsection (1)(a) must be started within 20 business days after the day notice of the decision is given to the person.
- (3) An appeal under subsection (1)(b) may be started at any time after the last day a decision on the matter should have been made.

[s 477]

477 Appeals against decisions on requests to acquire designated land under hardship

- (1) A person who is dissatisfied with a designator's decision to refuse a request made by the person under section 222 may appeal to the court against—
 - (a) the decision; or
 - (b) a deemed refusal of the request.
- (2) An appeal under subsection (1)(a) must be started within 20 business days after the day notice of the decision is given to the person.
- (3) An appeal under subsection (1)(b) may be started at any time after the last day a decision on the matter should have been made.

478 Appeals about particular charges for infrastructure

- (1) This section applies to a person who has been given, and is dissatisfied with—
 - (a) an infrastructure charges notice, regulated infrastructure charges notice or regulated State infrastructure charges notice; or
 - (b) a negotiated infrastructure charges notice, negotiated regulated infrastructure charges notice or negotiated regulated State infrastructure charges notice.
- (2) The person may appeal to the court against the notice.
- (3) An appeal against a notice mentioned in subsection (1) must be started within 20 business days after the day the notice is given to the person.
- (4) An appeal under this section may only be about—
 - (a) whether a charge in the notice is so unreasonable that no reasonable relevant local government, State infrastructure provider or coordinating agency could have imposed it; or

- (b) an error in the calculation of the charge.
- (5) To remove any doubt, it is declared that an appeal under this section can not be about the methodology used to establish the charge in the relevant infrastructure charges schedule, regulated infrastructure charges schedule or regulated State infrastructure charges schedule.

479 Appeals from building and development committees

- (1) A party to a proceeding decided by a building and development committee may appeal to the court against the committee's decision, but only on the ground—
 - (a) of an error or mistake in law on the part of the committee; or
 - (b) that the committee had no jurisdiction to make the decision or exceeded its jurisdiction in making the decision.
- (2) An appeal against a building and development committee's decision must be started within 20 business days after the day notice of the committee's decision is given to the party.

480 Court may remit matter to building and development committee

If an appeal includes a matter within the jurisdiction of a building and development committee and the court is satisfied the matter should be dealt with by a building and development committee, the court must remit the matter to the committee for decision.

Division 11 Making an appeal to court

481 How appeals to the court are started

- (1) An appeal is started by lodging written notice of appeal with the registrar of the court.

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- (2) The notice of appeal must state the grounds of the appeal.
- (3) The person starting the appeal must also comply with the rules of the court applying to the appeal.
- (4) However, the court may hear and decide an appeal even if the person has not complied with subsection (3).

482 Notice of appeal to other parties—development applications and approvals

- (1) An appellant under division 8 must give written notice of the appeal to—
 - (a) if the appellant is an applicant—
 - (i) the chief executive; and
 - (ii) the assessment manager; and
 - (iii) any concurrence agency; and
 - (iv) any principal submitter whose submission has not been withdrawn; and
 - (v) any advice agency treated as a submitter whose submission has not been withdrawn; or
 - (b) if the appellant is a submitter or an advice agency whose response to the development application is treated as a submission for an appeal—
 - (i) the chief executive; and
 - (ii) the assessment manager; and
 - (iii) any referral agency; and
 - (iv) the applicant; or
 - (c) if the appellant is a person to whom a notice mentioned in section 465(1) has been given—
 - (i) the chief executive; and
 - (ii) the assessment manager for the development application to which the notice relates; and

- (iii) any entity that was a concurrence agency for the development application to which the notice relates; and
 - (iv) the person who made the request under section 383 to which the notice relates, if the person is not the appellant; or
- (d) if the appellant is a person mentioned in section 466(1)—
- (i) the chief executive; and
 - (ii) the responsible entity for making the change to which the appeal relates; and
 - (iii) the person who made the request to which the appeal relates under section 369, if the person is not the appellant; and
 - (iv) if the responsible entity is the assessment manager—any entity that was a concurrence agency for the development application to which the notice of the decision on the request relates; or
- (e) if the appellant is a person to whom a notice mentioned in section 467 has been given—the entity that gave the notice.
- (2) The notice must be given within—
- (a) if the appellant is a submitter or advice agency whose response to the development application is treated as a submission for an appeal—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (3) The notice must state—
- (a) the grounds of the appeal; and
 - (b) if the person given the notice is not the respondent or a co-respondent under section 485—that the person may, within 10 business days after the notice is given, elect to

become a co-respondent to the appeal by filing in the court a notice of election in the approved form.

483 Notice of appeals to other parties—compliance assessment

- (1) An appellant under division 9 must, within 10 business days after the day the appeal is started, give written notice of the appeal to—
 - (a) if the appellant is a person to whom an action notice, compliance permit or compliance certificate has been given—
 - (i) the compliance assessor who gave the notice, permit or certificate; and
 - (ii) if the compliance assessor was a nominated entity of a local government and a copy of the request for compliance assessment was given to the local government under section 402—the local government; or
 - (b) if the appellant is a person to whom a notice mentioned in section 470(1) has been given—
 - (i) the entity that gave the notice; and
 - (ii) if the entity that gave the notice was a nominated entity of a local government and the written agreement of the local government was required to give the notice—the local government.
- (2) The notice must state the grounds of the appeal.

484 Notice of appeal to other parties—other matters

- (1) An appellant under division 10 must, within 10 business days after the day the appeal is started, give written notice of the appeal to—

- (a) if the appeal is under section 471—the local government and coordinating agency for the application for approval of the master plan; or
 - (b) if the appeal is under section 472 or 475—the local government; or
 - (c) if the appeal is under section 478—the entity that gave the notice the subject of the appeal; or
 - (d) if the appellant is a person to whom an enforcement notice is given—the entity that gave the notice and if the entity is not the local government, the local government; or
 - (e) if the appellant is a person dissatisfied with a decision about compensation—the local government that decided the claim; or
 - (f) if the appellant is a person dissatisfied with a decision about acquiring designated land—the designator; or
 - (g) if the appellant is a party to a proceeding decided by a building and development committee—the other party to the proceeding.
- (2) The notice must state the grounds of the appeal.

485 Respondent and co-respondents for appeals under div 8

- (1) Subsections (2) to (8) apply for appeals under sections 461 to 464.
- (2) The assessment manager is the respondent for the appeal.
- (3) If the appeal is started by a submitter, the applicant is a co-respondent for the appeal.
- (4) Any submitter may elect to become a co-respondent for the appeal.
- (5) If the appeal is about a concurrence agency's response, the concurrence agency is a co-respondent for the appeal.

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- (6) If the appeal is only about a concurrence agency's response, the assessment manager may apply to the court to withdraw from the appeal.
- (7) The respondent and any co-respondents for an appeal are entitled to be heard in the appeal as a party to the appeal.
- (8) A person to whom a notice of appeal is required to be given under section 482 and who is not the respondent or a co-respondent for the appeal may elect to be a co-respondent.
- (9) For an appeal under section 465—
 - (a) the assessment manager is the respondent; and
 - (b) if the appeal is started by a concurrence agency that gave the assessment manager a notice under section 385—the person asking for the extension the subject of the appeal is a co-respondent; and
 - (c) any other person given notice of the appeal may elect to become a co-respondent.
- (10) For an appeal under section 466—
 - (a) the responsible entity for making the change to which the appeal relates is the respondent; and
 - (b) if the responsible entity is the assessment manager—
 - (i) if the appeal is started by a person who gave a notice under section 373 or a pre-request response notice—the person who made the request for the change is a co-respondent; and
 - (ii) any other person given notice of the appeal may elect to become a co-respondent.
- (11) For an appeal under section 467, the respondent is the entity given notice of the appeal.

486 Respondent and co-respondents for appeals under div 9

- (1) For an appeal under section 468 or 469—
 - (a) the compliance assessor is the respondent; and

- (b) if the compliance assessor is a nominated entity of a local government and the appeal relates to a matter required by a local government—the local government is a co-respondent.
- (2) However, if the appeal is only about a matter required by the local government, the compliance assessor may apply to the court to withdraw from the appeal.
- (3) For an appeal under section 470—
 - (a) the entity that gave the notice to which the appeal relates is the respondent; and
 - (b) if the entity mentioned in paragraph (a) is a nominated entity of a local government and the local government did not agree to the request mentioned in section 470(1)—the local government is a co-respondent.
- (4) However, if the appeal is only about the local government's refusal of the request, the entity that gave the notice to which the appeal relates may apply to the court to withdraw from the appeal.

487 Respondent and co-respondents for appeals under div 10

- (1) This section applies if an entity is required under section 484 to be given a notice of an appeal.
- (2) The entity given notice is the respondent for the appeal.
- (3) However, if under a provision of the section more than 1 entity is required to be given notice, only the first entity mentioned in the provision is the respondent.
- (4) The second entity mentioned in the provision may elect to be a co-respondent.

488 How an entity may elect to be a co-respondent

An entity that is entitled to elect to be a co-respondent to an appeal may do so, within 10 business days after notice of the

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appeal is given to the entity, by following the rules of court for the election.

489 Minister entitled to be party to an appeal involving a State Interest

If the Minister is satisfied an appeal involves a State interest, the Minister may, at any time before the appeal is decided, elect to be a party to the appeal by filing in the court a notice of election in the approved form.

490 Lodging appeal stops particular actions

- (1) If an appeal, other than an appeal under section 465, 466 or 467, is started under division 8, the development must not be started until the appeal is decided or withdrawn.
- (2) If an appeal is about a condition imposed on a compliance permit, the development must not be started until the appeal is decided or withdrawn.
- (3) Despite subsections (1) and (2), if the court is satisfied the outcome of the appeal would not be affected if the development or part of the development is started before the appeal is decided, the court may allow the development or part of the development to start before the appeal is decided.

292 Advice agency's response powers

- (1) An advice agency's response may, within the limits of the advice agency's jurisdiction, make a recommendation to the assessment manager about any aspect of the application relevant to the assessment manager's decision on the application, including, for example—
 - (a) the conditions that should attach to any development approval; and

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- (b) that any approval should be for part only of the application; and
 - (c) that any approval should be a preliminary approval only.
- (2) Alternatively, an advice agency's response may, within the limits of the advice agency's jurisdiction, advise the assessment manager that—
- (a) the advice agency has no recommendations relating to the application; or
 - (b) it should refuse the application.
- (3) An advice agency's response may also tell the assessment manager to treat the response as a properly made submission.

62384

7 12 2005



ENQUIRIES Mr Paul Gleeson
DEPARTMENT: Manager Planning Services - ☎ (07) 4099 9456

CIC REF: SUB 039/04
YOUR REF:

Mr Leslie (Barry) Crockford
PO Box 355
MOSSMAN QLD 4873

12 December 2005

**INTEGRATED PLANNING ACT
NEGOTIATED DECISION NOTICE
DEVELOPMENT APPLICATION**

Applicant's Name : Mr Barry Crockford
Owner's Name : Mr LB Crockford
Proposal : Council approve the application for a Reconfiguring a Lot Development Permit by Leslie Crockford to create 4 allotments from an existing allotment described as Lot 4 on RP907338 and located at Captain Cook Highway and Francis Road, Killaloe
Application Number : SUB 039/04
Site Address : Captain Cook Highway, Killaloe
Property Description : Lot 4 on RP907338, Parish of Victory, County of Solander

This Negotiated Decision Notice supersedes the Decision Notice dated 11 April 2005. Conditions 4.1 and 4.4 have been amended all other conditions remain unchanged.

1. **Decision:** **Decision Date:** 6th December 2005
Approved subject to Conditions
2. **Type of Development Approval:**
Reconfiguration a Lot **Development Permit**

ADMINISTRATION CENTRE
(ALL DEPARTMENTS)
64-66 FRONT STREET, MOSSMAN

PHONE (07) 4099 9444 FACSIMILE (07) 4098 2902
EMAIL douglas@dsc.qld.gov.au
INTERNET www.dsc.qld.gov.au

ALL COMMUNICATIONS TO BE
ADDRESSED TO:
THE CHIEF EXECUTIVE OFFICER
P.O. BOX 357
MOSSMAN QLD 4873

LIBRARY 14 MILL ST., MOSSMAN

PHONE (07) 4099 9496 FACSIMILE (07) 4098 3298

3. Referral Agency:

Department of Main Roads
PO Box 6185
CAIRNS QLD 4870

Attn: Mr Malcolm Hardy

4. Conditions

Plan of Reconfiguration

4.1 The approved reconfiguration and the carrying out of any works on the premises associated with the development must be in accordance with Plan of Reconfiguration No. 62384-6 dated 01/12/04 with the following amendment:

- (a) delete

Electrical & Telephone Services

4.2 Prior to the approval of the Plan of Survey, the Applicant must submit to Council a copy of a letter from Ergon Energy stating that electrical services have been made available to proposed Lots 1-4.

4.3 Prior to the approval of the Plan of Survey, the Applicant must submit to Council a copy of a letter from Telstra stating that telephone services have been made available to proposed Lots 1-4.

Covenant

4.4 The applicant is required to enter into an environmental covenant with Douglas Shire Council "the Council", over all of the existing remnant vegetation on the subject site (Lot 4 on RP907338). The following requirements will be included in this covenant:

- (a) No landscaping in the defined covenant areas is to be undertaken without the express permission of "the Council";
- (b) The clearing of vegetation from the defined covenant areas will not be permitted other than as approved by the Council;
- (c) The defined covenant area is to be properly surveyed and is to include all of Lots 1, 2, 3 & 4 covered by existing remnant vegetation, with the exception of the proposed access and building envelopes for Lots 2, 3 & 4 as shown on drawing number 62384-6 and all land below RL 50metres AHD on Lot 1. The maximum width of the driveway is to be 4.0m and the maximum area of the proposed building envelopes are 1200m².

The proposed access and building envelope identified for proposed Lot 1 will not be permitted until the existing dwelling/s have been removed or a Material Change of Use permits the construction of an additional dwelling on the land.

- (d) Any works, including drainage and vegetation clearing, undertaken outside the defined covenant area by the lot owner shall not prejudice the integrity of the existing vegetation nor the visual amenity of the ridgeline and hill slope;
- (e) No structures shall be constructed within the covenant areas other than as approved by the Council.

This covenant is to be drafted and approved by Council prior to endorsement of the Plan of Survey. This Covenant is to be binding on successive owners of the land and a copy of this Covenant is to be included in the contract documentation for the sale of the effected allotments.

- (f) The Covenant over proposed Lot 1 may have flexibility to accommodate some minor agricultural practices under the existing canopy. Any approval for these activities is to be granted by the Covenantor and Covenantee.

Amenity

4.5 Any development, including dwellings, sheds and ancillary buildings, undertaken outside the covenant area shall reduce the visual impact on the amenity of the area by:

- (i) minimising excavation and filling of the sites;
- (ii) limiting the colour of any structure to those identified on the attached, approved colour scheme; and
- (iii) including landscaping measures, including the retention of trees, to screen development from the Captain Cook Highway.
- (iv) The roof line of any dwelling on site should be kept below the visual line of the ridgeline.

Road Works

4.6 The applicant must undertake the following works:

External

(a) Provision is to be made for the following works external to the subject site in accordance with Council's requirements including:

i. Francis Road

- (a) 8.0m wide formation with a 5.5m wide gravel pavement and 1.25m wide shoulders for the full length of the road.

- (b) Upgrading the intersection of Francis Road with the Highway to AUSTRROADS standards in accordance with Section D1.29 of the FNQ Development Manual.

- (ii) Internal Accesses

- (a) The internal accesses contained within the proposed easement/s to have a maximum width of 4.0m, with provision of passing areas up to 5.0m wide.
- (b) Internal access to each site is required to be sealed (concrete/bitumen), in locations where the slope exceeds fifteen degrees (15°). The applicant will be required to install sediment control devices on this access to manage erosion and sediment loss off-site.

All works are to be shown on the engineering plans for Operational Works approval.

Water Supply Headworks

- 4.7 The Applicant shall pay to the Council headworks contributions for water supply and sewerage in accordance with Council's Local Planning Policy: "*Determination of Contributions for Water Supply and Sewerage Headworks and External Works*" ("the Policy").

The contribution shall be calculated at the rate per Equivalent Domestic Connection ("EDC") applicable at the time of payment in accordance with the Policy.

For information purposes only:

- (a) The current rates per EDC at the time of this approval are:

Water Supply	\$10,504.00
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- (b) The current number of EDCs for the approved use are:

Water Supply	1
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Maintenance Period

- 4.8 The Applicant shall maintain in accordance with the requirements of the Operational Works Development Permit and the Far North Queensland Regional Organisation of Councils Development Manual all road construction works of any nature whatsoever and any drainage works carried out under the provisions of the subdivision of the land and any parkland works for a period of twenty-four (24) months. The Applicant shall make good within such period any defects arising from faulty workmanship or materials in respect to such road construction and drainage works carried out as part of the works associated with the subdivision.

.../5.

Sewerage

- 4.9 The minimum level of on-site treatment of waste for Lots 1, 2, 3 & 4 (if dwelling is to be located on the hillslope) is Advanced Secondary in accordance with the requirements of the *On-site Sewerage Code – July 2002*.

Water Supply

- 4.10 The applicant is required to provide to each allotment an adequate supply of potable water in both quantity and quality in accordance with Australian Standards, prior to the endorsement of the plan of Survey. Alternatively, should each site have an individual bore source, the applicant is to demonstrate to the Council that an adequate supply of potable water in both quantity and quality in accordance with the Australian Standard, is available to each lot prior to endorsement of the Plan of Survey.

Contract of Sale

- 4.11 The applicant is to notify prospective purchasers of the requirements of conditions 1, 2, 3 and 4 on the contract of sale.

Currency Period

- 4.12 The development authorised by this Development Permit must cease at the expiration of four (4) years from the day that this Development Permit takes effect under the *Integrated Planning Act 1997* unless a detailed plan of survey has been lodged with Council for endorsement and all conditions of this approval complied with.

Compliance with Conditions

- 4.13 The Plan of Survey with associated documents shall not be endorsed by Council until all of the conditions of approval have been complied with.

5. Further Development Approvals Required:

Operational Works

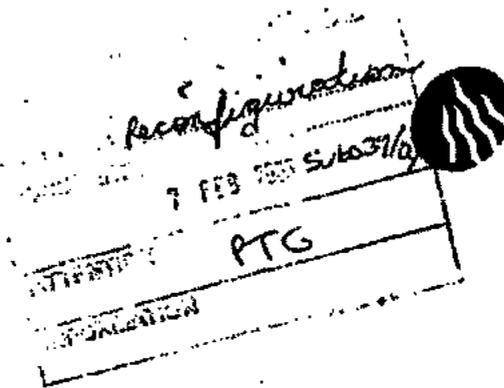
Development Permit



J R Neely
Acting Chief Executive Officer

3 February 2005

Mr T Melchert
Chief Executive Officer
Douglas Shire Council
PO Box 357
Mossman Qld 4873



**Queensland
Government**

Department of Main Roads

Dear Mr Melchert

**Douglas Shire : Captain Cook Highway (Cairns-Mossman)
Located opposite Bonnie Doon Road intersection, Killaloe
Lot 4 on RP 907338, Parish of Victory
Barry Crockford
Proposed Reconfiguration of Lot (3 Additional Allotments) Application
Referral Agency's Response (conditions apply)**

I refer to the above application received at the Department 31 January 2005 requesting consideration of the above development.

A. CONDITIONS OF DEVELOPMENT

Pursuant to the *Integrated Planning Act 1997*, the Queensland Department of Main Roads, as a Concurrence Agency, has assessed the impact of the proposed development on the State-controlled road network and requires that Council include the following conditions of development for the subject application:

1. Permitted Road Access Location

- (i) Access between the State-controlled road (i.e. Captain Cook Highway) and the proposed Lot 1 shall be via a new single access located 38m north of the existing access to the existing dwelling house on the subject land, only. The existing accesses to the existing dwelling house and to the existing cane barracks shall be permanently closed.
- (ii) Access between the State-controlled road (i.e. Captain Cook Highway) and the proposed Lots 2, 3 and 4 shall be via Francis Road, to the satisfaction of Douglas Shire Council.
- (iii) No additional direct access between the Captain Cook Highway and the subject land is permitted.

2. Road Access Works

- (i) Road access works at the permitted road access location are required and shall be constructed in accordance with:

North Queensland Region
Peninsula District
PO Box 6186
CAIRNS Queensland 4870
ABN 67 636 727 791

Our ref 4520A/102(377A)
Your ref SUB039/04
Enquiries MALCOLM HARDY
Telephone +61 7 4050 5811
Facsimile +61 7 4050 5435

- the Department of Main Roads *Road Planning and Design Manual*, and
- current Department of Main Roads standards.

A recent site inspection indicates the road access works require the provision of the following:

- install an Access Type 2 as indicated on the attached DMR Plan with minimum width 6m (W) and minimum radius of turnout 10m (R),
- bitumen sealed from the edge of the existing bitumen of the Captain Cook Highway to the cane tramline,
- cane tramline crossing construction to the specifications and approval of Mossman Central Mill Co Ltd,
- pruning and clearing of vegetation on the northern side of the access to improve traffic sight visibility, and
- permanent closure of the existing accesses to the proposed Caretaker's Residence and existing cane barracks and re-instatement to match adjoining roadside conditions.

- (ii) The landowner/ applicant shall write to the Cairns office of the Department of Main Roads to obtain the necessary plans, forms and approvals for the road access works prior to works commencing within the State-controlled road reserve (i.e. Captain Cook Highway).
- (iii) All road access works shall be completed to the satisfaction of the Director-General of the Department of Main Roads prior to Council signing and dating the plan of survey of the subject land.

3. Access Easements

The applicant/ landowner shall register access easements:

- over the proposed Lot 2 from the permitted access location in condition 1 (ii) above, to the common boundary with the proposed Lot 3 in favour of the proposed Lots 3 and 4, and
- over the proposed Lot 3 from the common boundary with the proposed Lot 2, to the common boundary with the proposed Lot 4 in favour of the proposed Lot 4,

generally as indicated by the existing access track in C&B Group Plan No. 62384-6 Issue A dated 13/12/04, with the Titles Office of the Department of Natural Resources, to the satisfaction of the Director-General of the Department of Main Roads and Chief Executive Officer of Douglas Shire Council, prior to Council signing and dating the plan of survey of the subject land.

An all-weather access shall be constructed within the easements prior to Council signing and dating the plan of survey of the subject land, to the requirements and satisfaction of Douglas Shire Council.

4. Building Alignment Setback

A building alignment setback of 50 metres from the centreline of Captain Cook Highway shall apply to all new structures intended to be located on the subject land to the satisfaction of the Director-General of the Department of Main Roads.

Reasons

The reasons and information used in the setting of conditions detailed above include:

- Department of Main Roads Access Policy,
- Department of Main Roads Involvement in Development Applications Referrals and Assessment Guide, and
- Douglas Shire Planning Scheme.

B. GENERAL DISCUSSION

Council is requested to reflect Conditions 1 and 4 above on its Rates Record, to ensure that the planning intentions of Conditions 1 and 4 are secured.

This Department would appreciate a copy of Council's decision notice regarding the application.

A copy of this letter has been sent to the applicant.

Yours sincerely


Brad Finegan
A/MANAGER (TRANSPORT PLANNING) PENINSULA

PROJECT MANAGER M. J. ROBERTS	
DESIGNER M. J. ROBERTS	
DATE NOV 1988	
SCALE 1:1000	
SHEET NO. 1 OF 1	
PROJECT NO. 17500	
CLIENT C&B GROUP	
SITE NO. 17500	
PROJECT NO. 17500	
SHEET NO. 1 OF 1	
DATE NOV 1988	
SCALE 1:1000	
SHEET NO. 1 OF 1	
PROJECT NO. 17500	
CLIENT C&B GROUP	

IMPORTANT NOTE

This plan was prepared for the purpose of showing the layout of the proposed development and is not to be used for any other purpose. It is the responsibility of the client to ensure that the plan is used for the intended purpose and that all necessary permissions are obtained.

The plan shows the layout of the proposed development and is not to be used for any other purpose. It is the responsibility of the client to ensure that the plan is used for the intended purpose and that all necessary permissions are obtained.

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LEGEND

Existing Access Track

Proposed Access Track

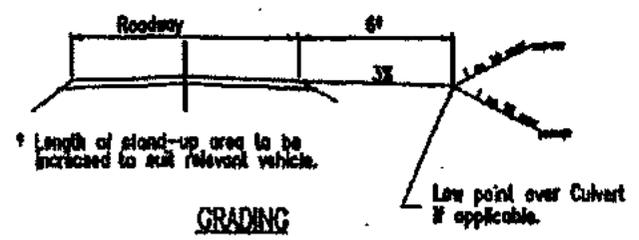
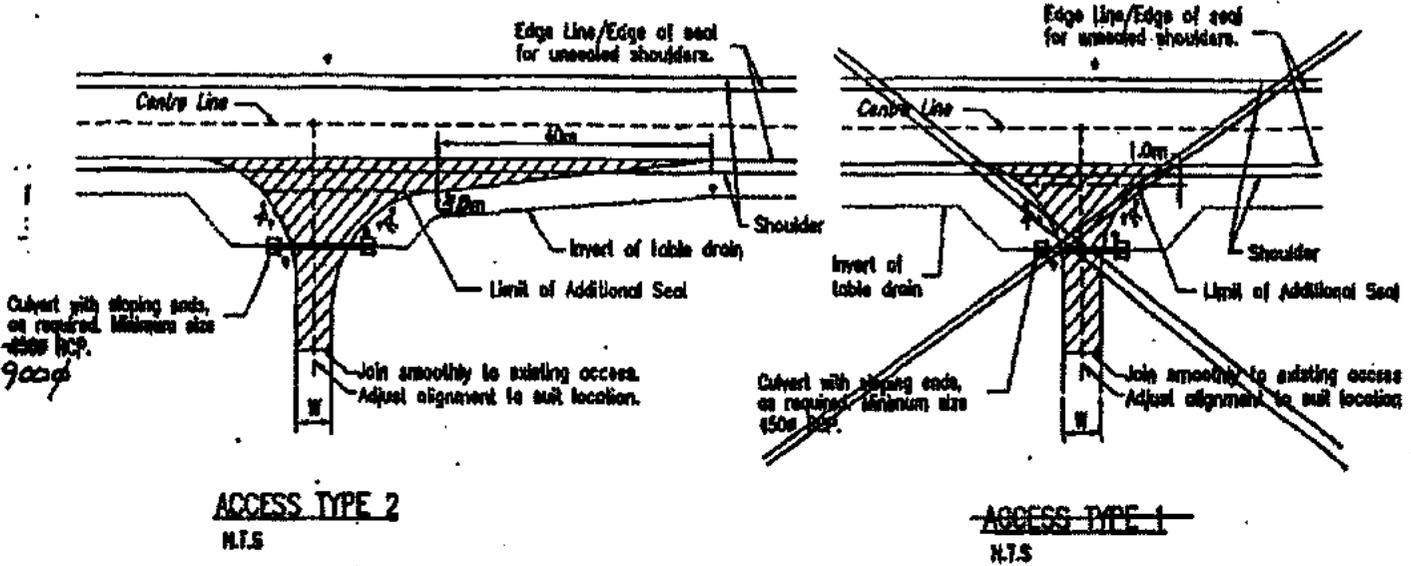
Existing Building Envelope

Proposed Building Envelope



1.4 ACCESSES

1.4.1 Level of Treatment



- NOTES**
1. W = Minimum 4m single access, 8m dual access.
 2. R = Radius of layout to be determined from Y-Pull program using vehicle relevant to land use, minimum radius 10m.
- * Road edge guide post.
 - 150mm subbase (type 2.3) to edge of existing bitumen seal or shoulder on new construction.

*Division 8 – Appeals to court relating to development applications***Appeals by applicants**

- 4.1.27. (1) An applicant for a development application may appeal to the court against any of the following:-
- (a) the refusal, or the refusal in part, of a development application;
 - (b) a matter stated in a development approval, including any condition applying to the development, and the identification of a code under Section 3.1.6;66
 - (c) the decision to give a preliminary approval when a development permit was applied for;
 - (d) the length of a currency period;
 - (e) a deemed refusal.
- (2) An appeal under subsection (1)(a) to (d) must be started within twenty (20) business days (the “**applicant’s appeal period**”) after the day the decision notice or negotiated decision notice is given to the applicant.
- (3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

Name of Council: CAIRNS REGIONAL COUNCIL

Development Name and Location: 1 LOT INTO & AT LOT 4 ON RP907338
6889R CAIRNS COOK HIGHWAY, KILLALOE

Planning Permit No/Council File No: 0, 37, 153

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
1. Completed 'Statement of Compliance' form. (FNQROC - AP1 – Appendix A)	✓	
2. IDAS Forms A, E & IDAS Assessment Checklist (Available from www.ipa.qld.gov.au)	✓	IDAS FORM 1, 6 AND CHECKLIST 4
3. Payment of Engineering Application Fees (Copy of receipt to be attached)	✓	
4. Copy of Decision Notice for Development Application Conditions, <u>inc. explanation of how each condition is to be addressed (Statement of Compliance)</u>	✓	
5. Engineering Design drawings - Complete sets (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format)	✓	
6. One copy of Design and Standard Specifications (Unbound Copy Preferable)	N/A	WORKS TO BE CARRIED OUT UNDER FNQROC SPECIFICATIONS
7. Written consent from adjoining property owners authorising any works on their property	N/A	
8. Water reticulation network in electronic format (Engineer to confirm system requirements and compatibility with Cairns Water)	N/A	
9. Landscape drawings - Complete set (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format). These must be accompanied by elements of the stormwater & street lgt. layout design, to avoid conflicts.	N/A	



Operational Works Receiving Checklist

(To be completed by Consulting engineer making the application)

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
10. Overall network drawings (for staged development) for:		
• Water	N/A	
• Stormwater	✓	
• Sewer	N/A	
• Pathways and roads	✓	
• Street Lighting	N/A	
• Electrical	N/A	
• Gas	N/A	
• Public Transport	N/A	
• Park Reserves	N/A	
• Drainage Reserves	N/A	
11. Pavement design criteria	✓	
12. Geotechnical reports for proposed earthworks	N/A	<i>GEOTECH TO BE PROVIDED DURING CONSTRUCTION</i>
13. Structural and geotechnical certificates for retaining walls etc.	N/A	
14. Water supply/sewerage pump station design parameters	N/A	
15. Stormwater drainage calculations	N/A	
16. Erosion and Sediment Control Strategy (ESCS)	✓	
17. Declared Pest Management Plan (if applicable)	N/A	
18. The approval of any other Authorities & concurrence agencies likely to be affected by the works.	N/A	



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

19. Contact details of the Consulting Engineer who is submitting the Application:

Name of Engineer	ANDREW PEZZUTTI	
Name of Company	LAMBERT + REHBEIN	
Telephone Number (s)	Office: (07) 40316788	Mobile:
Email address	andrew.p@lar.net.aq	
RPEQ No.	6382	

20. Date of submission of application / / 200

(For further information on all of the above refer to the FNQROC Development Manual Section AP1)

FNQROC DEVELOPMENT MANUAL

Council CAIRNS REGIONAL COUNCIL
(INSERT COUNCIL NAME)

STATEMENT OF COMPLIANCE
OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development CASSOWARY RIDGE SUBDIVISION

Location of Development LOT 4 ON RP907338

Applicant LED INTERNATIONAL GROUP P/L

Designer LAMBERT + REHBEIN

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	✓
Geotechnical requirements	N/A - GEOTECH TO BE ENGAGED DURING CONSTRUCTION
Geometric Road Design	✓
Pavements	✓
Structures / Bridges	N/A
Subsurface Drainage	✓
Stormwater Drainage	N/A
Site Re-grading	N/A
Erosion Control and Stormwater Management	✓
Pest Plant Management	N/A
Cycleway / Pathways	N/A

APPLICATION PROCEDURES

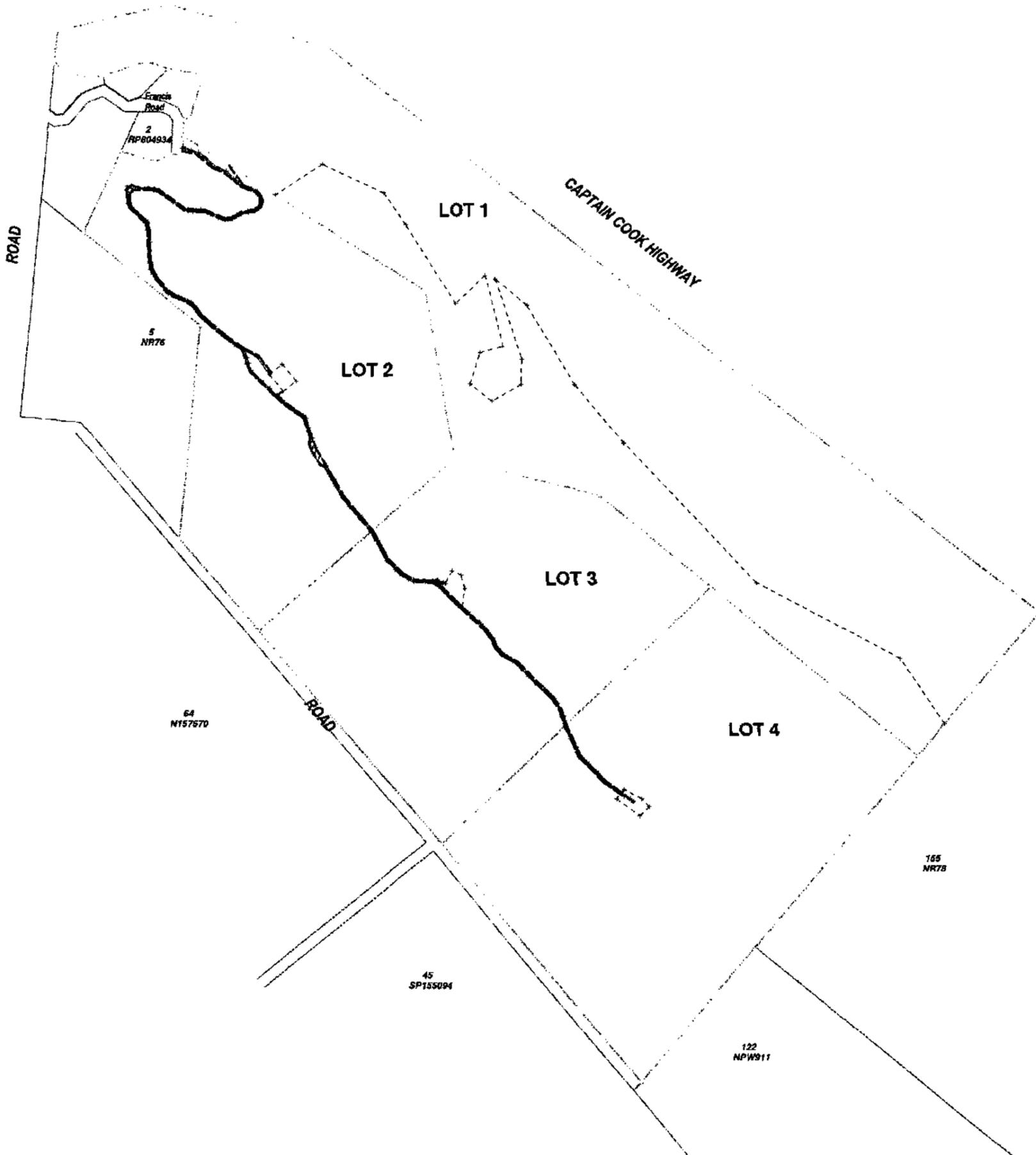
Landscaping	N/A
Water Source and Disinfection/Treatment Infrastructure (if applicable)	N/A
Water Reticulation and Pump Stations	N/A
Sewer Reticulation and Pump Stations	N/A
Electrical Reticulation and Street Lighting	TO BE PROVIDED BY ERCON
Public Transport	N/A
Associated Documentation/ Specification	✓
Priced Schedule of Quantities	✓
Referral Agency Conditions	✓
Supporting Information (AP1.08)	✓
Other	

Conscientiously believing the above statements to be true and correct, signed on behalf of:

Designer LAMBERT + REHBEIN RPEQ No 6382

Name in Full ANDREW PEZZUTTI

Signature _____ Date _____



IMPORTANT NOTE

- The plan was prepared for the sole purpose of the client for the specific purpose of preparing a detail plan. This plan is not to be used for any other application, purpose, use or matter. The plan is prepared without the assumption of a duty of care to any other person (other than the Client/Third Party) and may not be relied on by Third Party.
- RPS Australia East Pty Ltd will not be liable (in negligence or otherwise) for any defect or inaccuracy, damage, liability or claim arising out of or incidental to:
 - Third Party publishing, using or relying on this plan;
 - RPS Australia East Pty Ltd relying on information provided to it by the Client or a Third Party where the information is incorrect, incomplete, inaccurate, out-of-date or unreliable;
 - any inaccuracies or other faults with information or data sourced from a Third Party;
 - RPS Australia East Pty Ltd relying on surface indications that are incorrect or unreliable;
 - the Client or any Third Party not verifying information in this plan where recommended by RPS Australia East Pty Ltd;
 - judgement of this plan with any local authority against the recommendation of RPS Australia East Pty Ltd;
 - the accuracy, reliability, suitability or completeness of any measurements or estimates made or referred to by RPS Australia East Pty Ltd in this plan.
- Without limiting paragraph 1 or 2 above, this plan may not be copied, distributed, or reproduced by any person without the prior written consent of RPS Australia East Pty Ltd.
- Scale shown is correct for the original plan and any copies of this plan should be verified by checking against the set aside.
- The site boundaries as shown herein were not marked at the time of survey and have been determined by plan dimensions only and not by field survey. If not able to be located, services have been plotted from the records of relevant authorities where available and have been noted accordingly on this plan. Where such records either do not exist or are incomplete a notation has been made herein.
- Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

NOTES

Level Datum: AHD
 Origin of Levels: PSM 74738
 Meridian: MGA Zone 55
 Origin of Coordinates: PSM 74738
 Contour Interval: 0.5m
 Index: 1.0m

SCALE 1:4000 IS APPLICABLE ONLY TO THE ORIGINAL SHEET SIZE (A1). (1:8000 @ A3)

AMENDMENTS

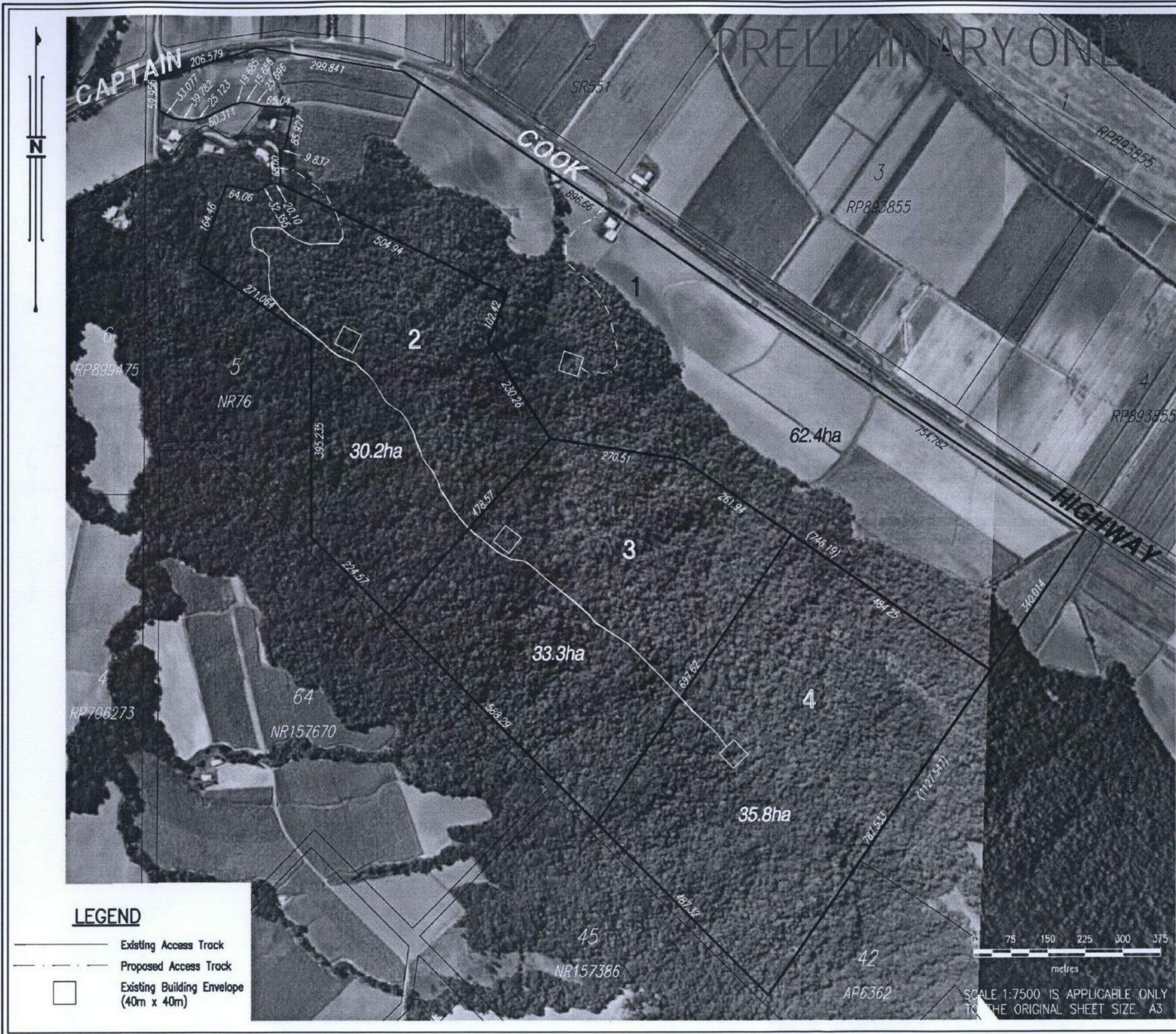
PROJECT MANAGER	Ben Shepherd	CHECKED	
SURVEYED	MJW 27/2013	DRAFTING CHECKED	
DRAWN	BCS	CAD REF	100373-2.DWG 100373-102.cad
SHEET SIZE	A1	SHEET OF SHEETS	1 1

RPS RPS Australia East Pty Ltd
 ACN 140 292 792
 135 Abbot St
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 W rpsgroup.com.au

TIGERCHINA PTY LTD

Cassowary Ridge
 Contour and Longsection Survey
 of access track
 through proposed lots 2-4
 overl site plan

SCALE	DATE	DRAWING NO.	ISSUE
1:4000		100373-3	



LEGEND

- Existing Access Track
- - - Proposed Access Track
- Existing Building Envelope (40m x 40m)

IMPORTANT NOTE

- (i) This plan was prepared for the purpose and exclusive use of BARRY CROCKFORD to accompany an application to the DOUGLAS SHIRE COUNCIL for approval for a material change of use of land/reconfiguration of a lot described in this plan and is not to be used for any other purpose or by any other person or corporation. C&B Consultants Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses 2 of 6 hereof.
- (ii) The dimensions, area, size and location of improvements, flood information (if shown) and number of lots shown on this plan are approximate only and may vary.
- (iii) Scale shown is correct for the original plan and any copies of this plan should be verified by checking against the bar scale.
- (iv) This plan may not be photocopied unless this note is included.
- (v) Boundary Information - DCDB
Based on or contains data provided by the Department of Natural Resources, Mines and Energy, Queensland 2004 which gives no warranty in relation to the data (including accuracy, reliability, completeness or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data.
- (vi) Aerial Photography
Aerial Photography has not been rectified. This image has been overlaid as a best fit on the boundaries shown and position is approximate only. Date of Photography: 27/08/2000

PROJECT MANAGEMENT
PLANNING
ENVIRONMENTAL SERVICES
SURVEYING



C&B GROUP

C&B CONSULTANTS PTY LTD
 ACN 055 931 096

CAIRNS OFFICE PO Box 1948 CAIRNS QLD 4870
 Tel: (07) 4031 1336 Fax: (07) 4031 2942
 cairns@cgroup.com.au www.cgroup.com.au

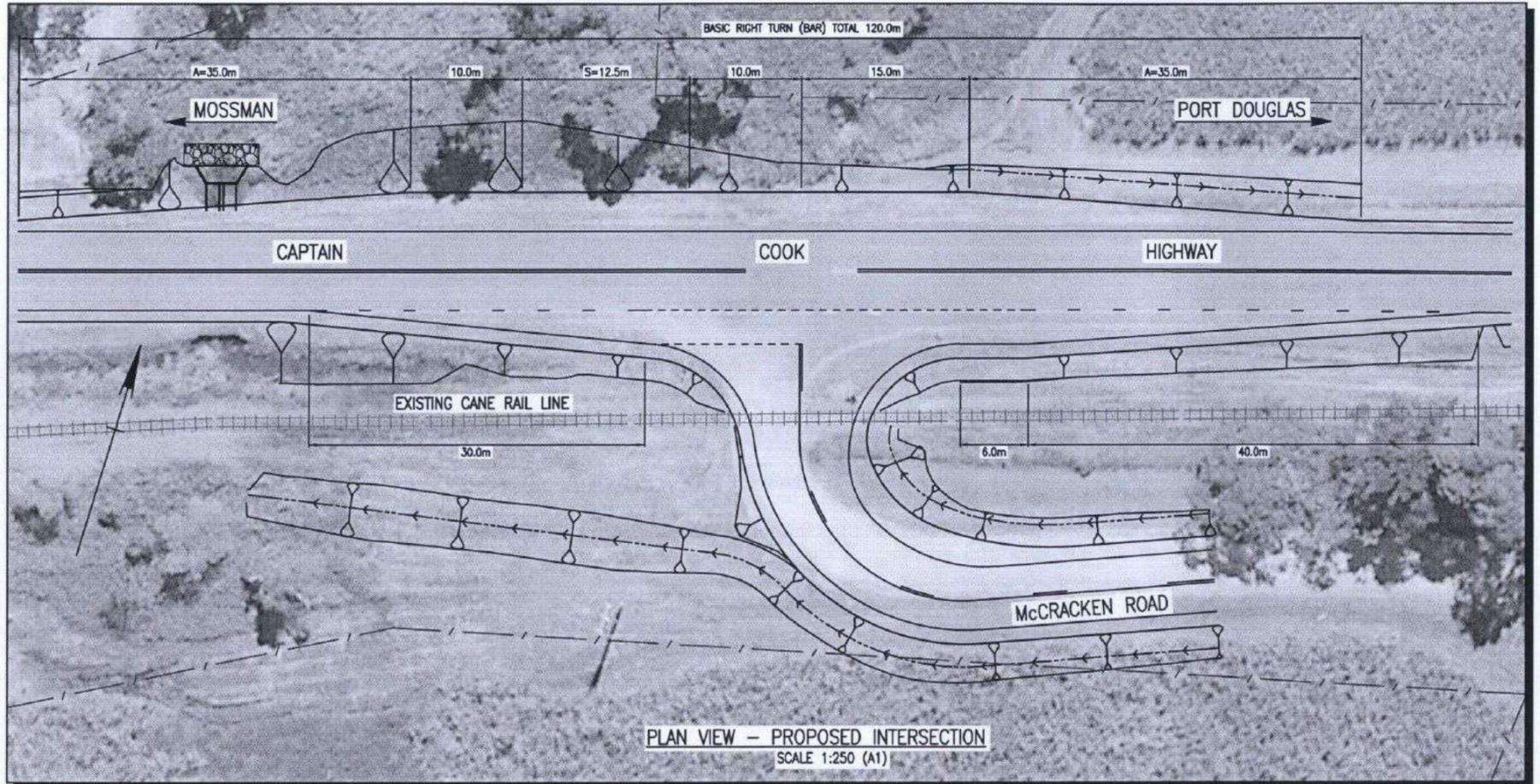
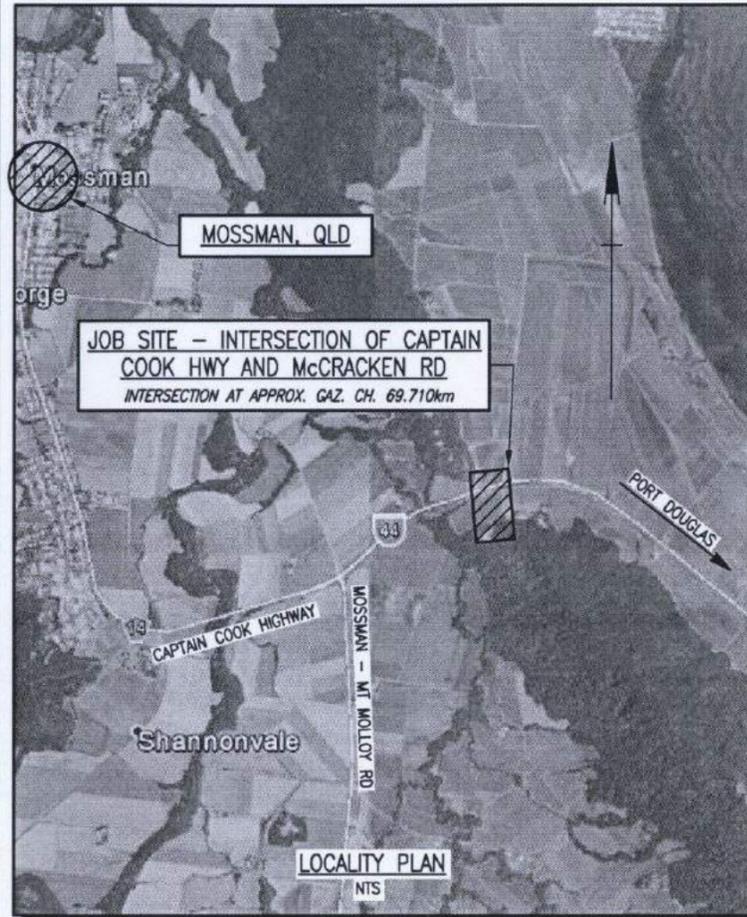
BARRY CROCKFORD

**RECONFIGURATION CONCEPT
 PLAN OF LOTS 1-4
 Cancelling Lot 4 on RP907338
 Parish of Victory County of Solander**

PROJECT MANAGER/SURVEYOR O.Caddick-King	DESIGNED
CHECKED	SURVEYED
DRAWN K.JP 01/12/04	FIELD BK.
DRAFTING CHECKED	SHEET SIZE A3 SHEET OF SHEETS 1
CAD 62384-6.DWG	SCALE 1:7500
AMENDED	ISSUE
	DRAWING NO. 62384-6

SCALE 1:7500 IS APPLICABLE ONLY TO THE ORIGINAL SHEET SIZE, A3

CASSOWARY RIDGE SUBDEVELOPMENT ACCESS INTERSECTION UPGRADE



SURVEY NOTE:
ALL SURVEY, DESIGN AND SETOUT INFORMATION IS BASED ON SURVEY INFORMATION SUPPLIED TO LAMBERT & REHBEIN SEQ PTY LTD BY RPS AUSTRALIA ASIA PACIFIC, UNIT 10, 9 PIONEER CLOSE, CRAGLIE, QLD, AUSTRALIA, 4877. PH: +617 4098 1148:

SURVEY FILES:- 100373-104 Francis road detail.dwg (27/9/13).
SURVEY GRID:- MERIDIAN MGA ZONE 55, ORIGIN OF COORDINATES IS PSM 74738.
SURVEY DATUM:- LEVEL DATUM AHD, ORIGIN OF LEVELS IS PSM 74738. FOR ADDITIONAL DETAILS REGARDING SURVEY CONTACT RPS.

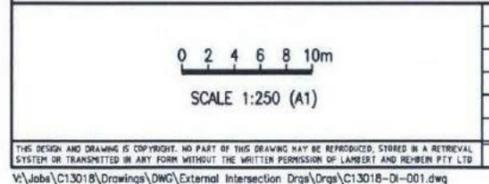
DRAWING INDEX - INTERSECTION DESIGN		
DRAWING NUMBER	REVISION	DRAWING TITLE
C13018-DI-001	A	LOCALITY PLAN AND DRAWING INDEX
C13018-TX-001	A	TYPICAL CROSS SECTIONS AND DETAILS
C13018-GA-001	A	GENERAL ARRANGEMENT
C13018-PM-001	A	PAVEMENT MARKING AND SIGNAGE
C13018-LS-001	A	LONGITUDINAL SECTIONS
C13018-DD-001	A	DRAINAGE DETAILS
C13018-CL-001	A	CONTROL LINE SETOUT TABLES
C13018-SP-001	A	VEHICLE SWEEP PATH ASSESMENT

DRAWING INDEX - INTERSECTION DESIGN cont.		
DRAWING NUMBER	REVISION	DRAWING TITLE
C13018-XS-001	A	ANNOTATED CROSS SECTIONS (MCA1) SHEET 1 OF 3
C13018-XS-002	A	ANNOTATED CROSS SECTIONS (MCA1) SHEET 2 OF 3
C13018-XS-003	A	ANNOTATED CROSS SECTIONS (MCA1) SHEET 3 OF 3
C13018-XS-004	A	ANNOTATED CROSS SECTIONS (MCB1) SHEET 1 OF 2
C13018-XS-005	A	ANNOTATED CROSS SECTIONS (MCB1) SHEET 2 OF 2

EXISTING SERVICES:
NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS, NO RESPONSIBILITY IS TAKEN BY THE ENGINEER OR THE PRINCIPAL FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION AND SHALL BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGES CAUSED AS A RESULT OF THE WORKS.



ISSUED FOR APPROVAL
21 Oct, 2013 - 4:26pm



No.	Date	By	Amendment	Checked
B	21/10/13	CD	ISSUED FOR APPROVAL	
A	9/10/13	CD	90% PRELIMINARY ISSUE	

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CAIRNS QLD 4870
P.O. BOX 1930 CAIRNS 4870
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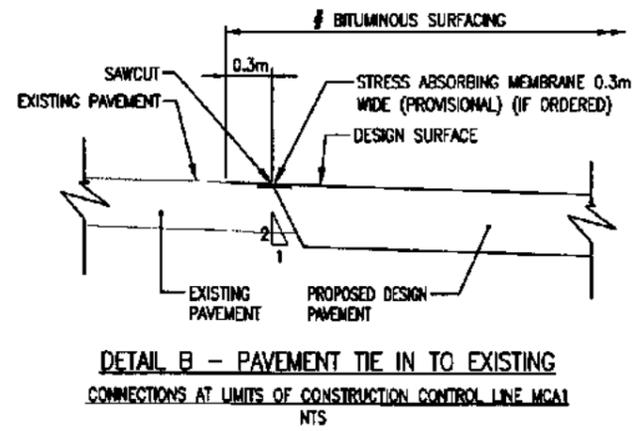
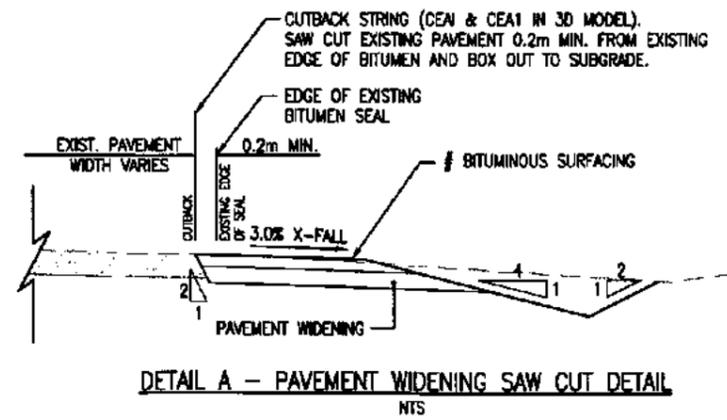
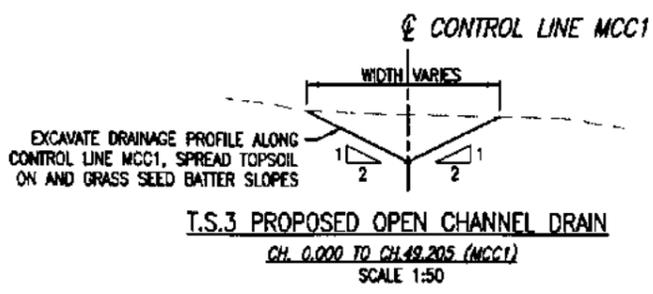
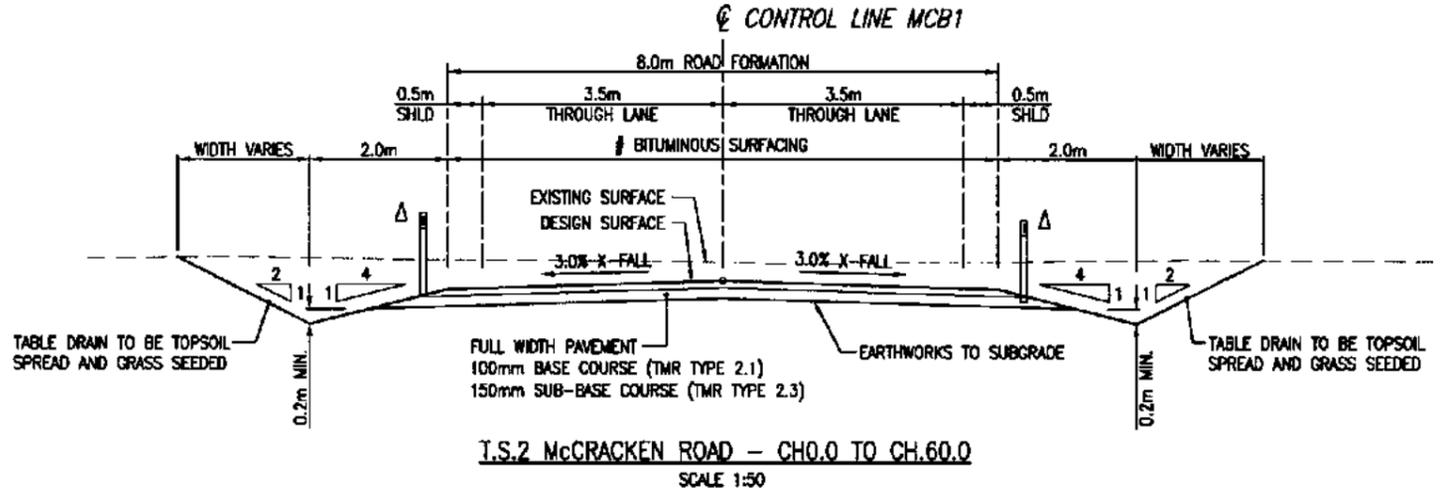
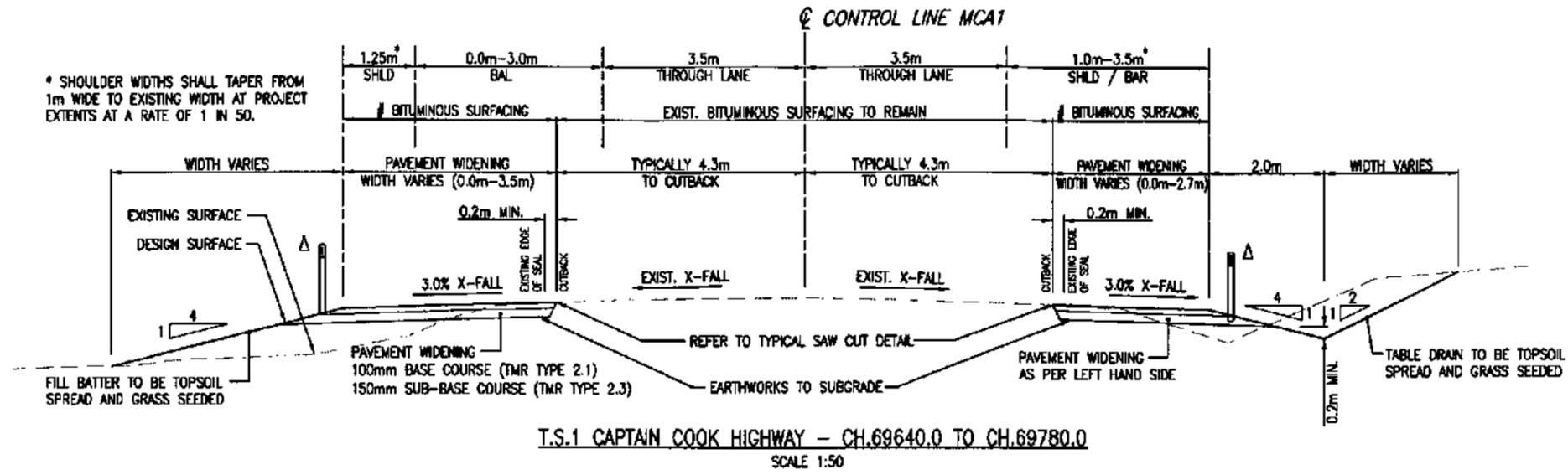
TELEPHONE (07) 4031 6788
FACSIMILE (07) 4031 6799
EMAIL mail@lar.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD

Title: LOCALITY PLAN AND DRAWING INDEX

Client: LEO INTERNATIONAL GROUP			
Draftsperson: C.D.	Checked: A.P.	Sheet Size: A1	Drawing No. C13018-DI-001
Designer: C.D.	Approved: S. WILLIAMS RPEQ No. 06417	Scale: AS SHOWN	Date: 9/10/13

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V:\Jobs\C13018\Drawings\DWG\External Intersection Drgs\Orgs\C13018-DI-001.dwg



- # BITUMINOUS SURFACING
- CAPTAIN COOK HIGHWAY - WIDENED PAVEMENT ONLY
- PRIMERSEAL - AMCS SPRAY RATE 1.2L/m²
10mm AGGREGATE SPREAD RATE 1m²/130m²
 - FIRST COAT SEAL - SO.3B PMB SPRAY RATE 2.3L/m²
16mm AGGREGATE SPREAD RATE 1m²/80m²
 - SECOND COAT SEAL - SO.3B PMB SPRAY RATE 1.5L/m²
10mm AGGREGATE SPREAD RATE 1m²/130m²
- McCracken Road
- SURFACING TO BE AS PER BOWEN DEVELOPMENTAL ROAD ABOVE, HOWEVER FULL ROAD WIDTH SHALL RECEIVE PRIMERSEAL, FIRST COAT SEAL AND SECOND COAT SEAL

- GENERAL NOTES:
- Δ - ROAD EDGE GUIDE POSTS LOCATED IN ACCORDANCE WITH THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS SHOWN ON DRG. NO. C13018-PM-001.
 - GUIDE POSTS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH TMR STD. DRG. 1356.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DRG. NO. C13018-GA-001 FOR PAVEMENT DETAILS.
 - FOR REFERENCE POINT DATA INFORMATION, REFER TO THE STRIP MAP ATTACHED TO THE CONTRACT DOCUMENTS.

- CULTURAL HERITAGE MANAGEMENT:
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE JOB SPECIFIC CHMP IF APPLICABLE.
 - ONLY AREAS WHICH HAVE CULTURAL HERITAGE CLEARANCE ARE TO BE USED FOR EXTRACTION OF PAVEMENT MATERIAL OR GENERAL EARTHWORKS.
 - IF CULTURAL HERITAGE MATERIAL IS FOUND AND WILL BE DISTURBED BY THE WORKS, THE CONTRACTOR SHALL CEASE WORK IN THE IMMEDIATE AREA TO PREVENT THE DISTURBANCE, NOTIFY THE SUPERINTENDENT AND WAIT FOR DIRECTIONS ON HOW THE FIND IS TO BE TREATED.

- CONSTRUCTION NOTES:
- THE PAVEMENT SHALL BE COMPACTED AND TRIMMED TO THE PROFILE SHOWN ON THE TYPE CROSS SECTIONS.
 - SPREAD RATES FOR BITUMINOUS SURFACING ARE TO BE CONFIRMED BY THE TMR SUPERINTENDENT PRIOR TO CONSTRUCTION.

- ENVIRONMENTAL MANAGEMENT:
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STANDARD EMP (C&M).
 - DISTURBED AREA (e.g. STOCKPILE SITES) ARE TO BE REHABILITATED BY TYING AND RE-TOPSOILING AS DIRECTED BY THE SUPERINTENDENT.
 - BORROW PITS ARE TO BE FINISHED TO A TIDY CONDITION WITH A SIDE SLOPE NO STEEPER THAN 1 ON 4.

ISSUED FOR APPROVAL
21 Oct. 2013 - 5:18pm

0 1.0 2.0m
SCALE 1:50 (A1)

No.	Date	By	Amendment	Checked
B	21/10/13	LD	ISSUED FOR APPROVAL	
A	9/10/13	LD	ISSUED FOR REVIEW	

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V:\Jobs\C13018\Drawings\DWG\External Intersection Drgs\Drawn\C13018-TX-001.dwg

No.	Date	By	Amendment	Checked
B	21/10/13	LD	ISSUED FOR APPROVAL	
A	9/10/13	LD	ISSUED FOR REVIEW	

LAMBERT & REHBEIN
ENGINEERS MANAGERS SCIENTISTS

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A.C.N. 106 749 320

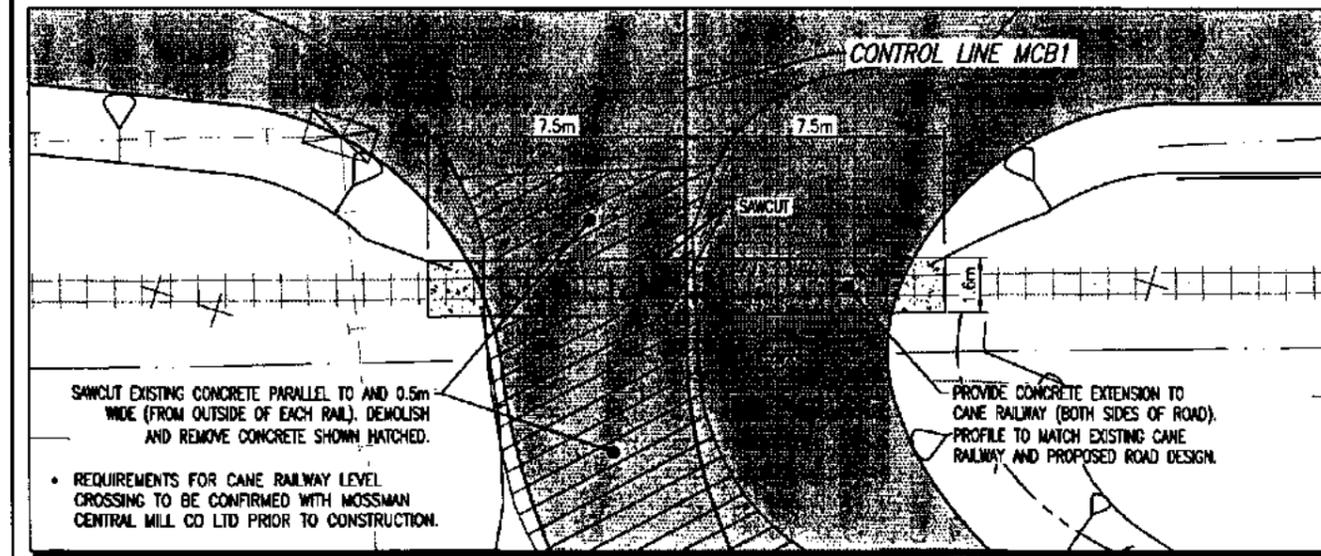
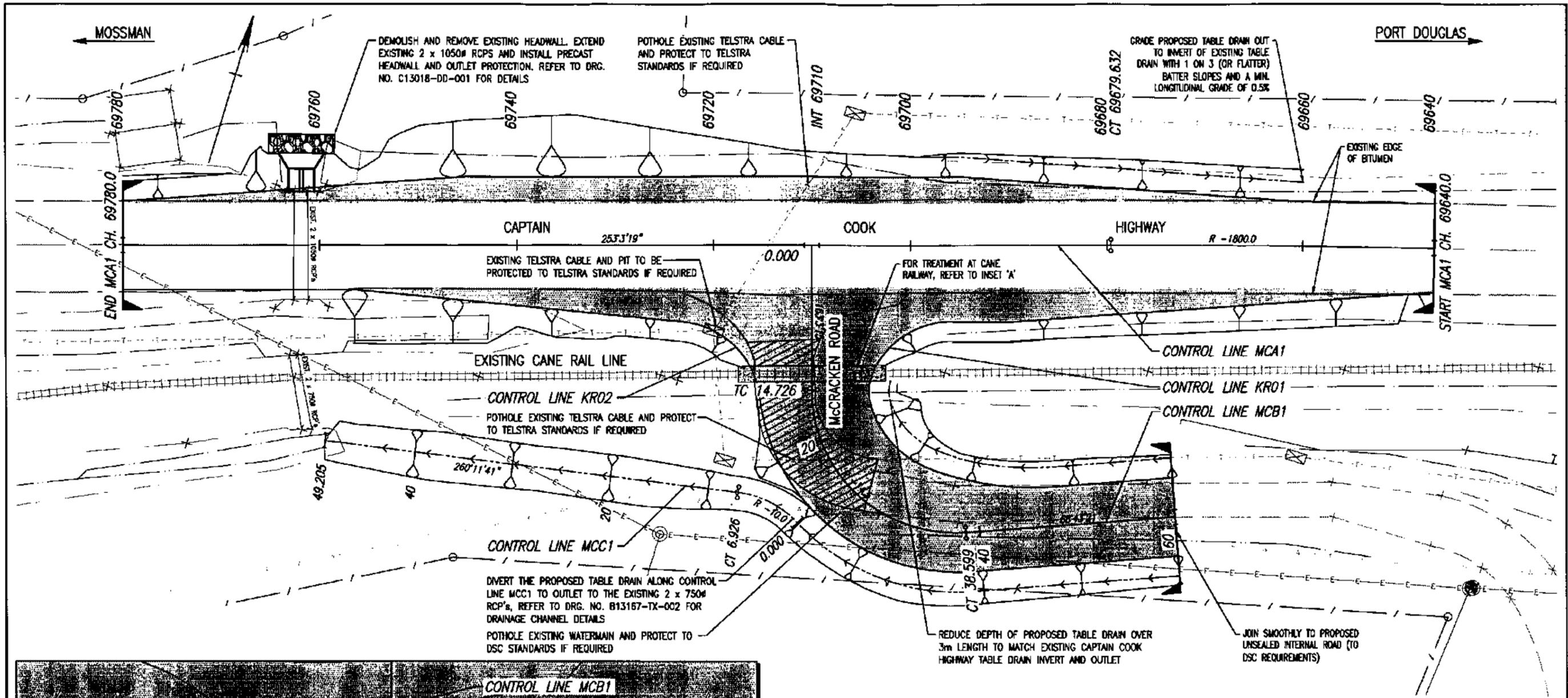
TELEPHONE (07) 4931 6768
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EMAIL mail@lar.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCracken RD

Title: TYPICAL CROSS SECTIONS AND DETAILS
SHEET 1 OF 2

Client: LEO INTERNATIONAL GROUP

Draftsman: C.D.	Checked: A.P.	Sheet Size A1	Drawing No. C13018-TX-001
Designer: C.D.	Approved: S. WILLIAMS RPEP No. 86417	Scale: AS SHOWN	Date: 9/10/13



INSET 'A' - CANE RAILWAY TREATMENT SCALE 1:100 (A1)

PAVEMENT AND SURFACING LEGEND

- BITUMEN SURFACING (SEE NOTE BELOW)
- 100mm BASE COURSE (TMR TYPE 2.1)
- 150mm SUB-BASE COURSE (TMR TYPE 2.3)
- ASSUMED SUBGRADE CBR OF 7 OR GREATER

FOR DEFINITIONS OF 'PRIMERSEAL', 'FIRST COAT SEAL' AND 'SECOND COAT SEAL' INCLUDING BINDER TYPE, SPRAY RATES AND SPREAD RATES REFER TO DRG. NO. C13018-TX-001 FOR DETAILS.

GENERAL NOTES:

1. FOR INTERNAL ROAD DESIGN BEYOND CH.80.0 (CONTROL LINE MCB1) REFER TO INTERNAL DESIGN PACKAGE.
2. DESIGN CONTOURS OMITTED FROM BATTER SLOPES FOR CLARITY.
3. EXISTING ROAD VERTICAL GEOMETRY ACHIEVES SISD FOR 110km/h.
4. INTERSECTION BASED ON TMR TYPE 'BAR' UPGRADE.
5. SIDE ROAD TAPERS BASED ON TMR NORTHERN REGION 'FEV ROUTE'.
6. FOR TYPICAL CROSS SECTIONS REFER TO DRG. NO. C13018-TX-001.
7. FOR CONTROL LINE SETOUT TABLES REFER TO DRG. NO. C13018-CL-001.
8. FOR CONTROL LINE LONGITUDINAL SECTIONS REFER TO DRG. NO. C13018-LS-001.
9. FOR PAVEMENT MARKING AND SIGNAGE REFER TO DRG. NO. C13018-PM-001.

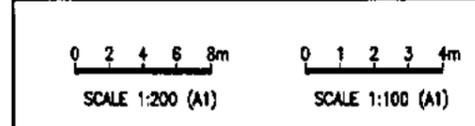
PROPOSED CONSTRUCTION

- EDGE OF SHOULDER
- BATTER SLOPE
- DRAIN WITH DIRECTION
- DESIGN CONTOUR MAJOR
- DESIGN CONTOUR MINOR
- CULVERT & HEADWALL
- INLET / OUTLET PROTECTION

SURVEY FEATURES & SYMBOLS

- FENCE LINE
- BATTER TOP/BOTTOM
- ROAD CROWN
- EDGE OF BITUMEN
- WATER MAIN UG
- TELSTRA CABLE UG
- ELECTRICITY AG

ISSUED FOR APPROVAL
21 Oct. 2013 - 5:07pm



No.	Date	By	Amendment	Checked
B	21/10/13	ED	ISSUED FOR APPROVAL	
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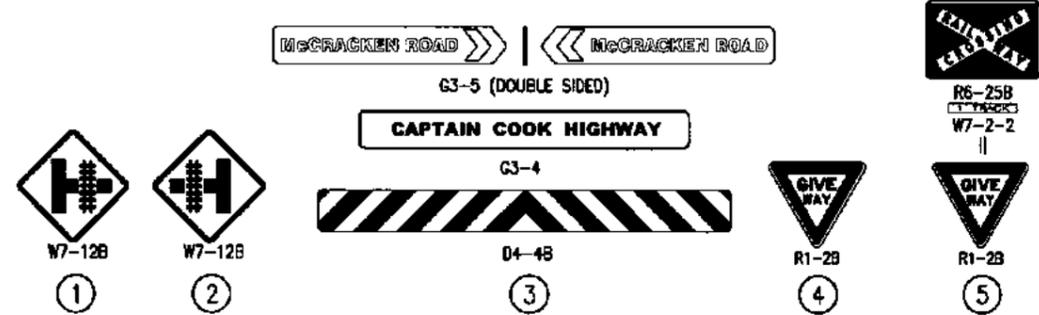
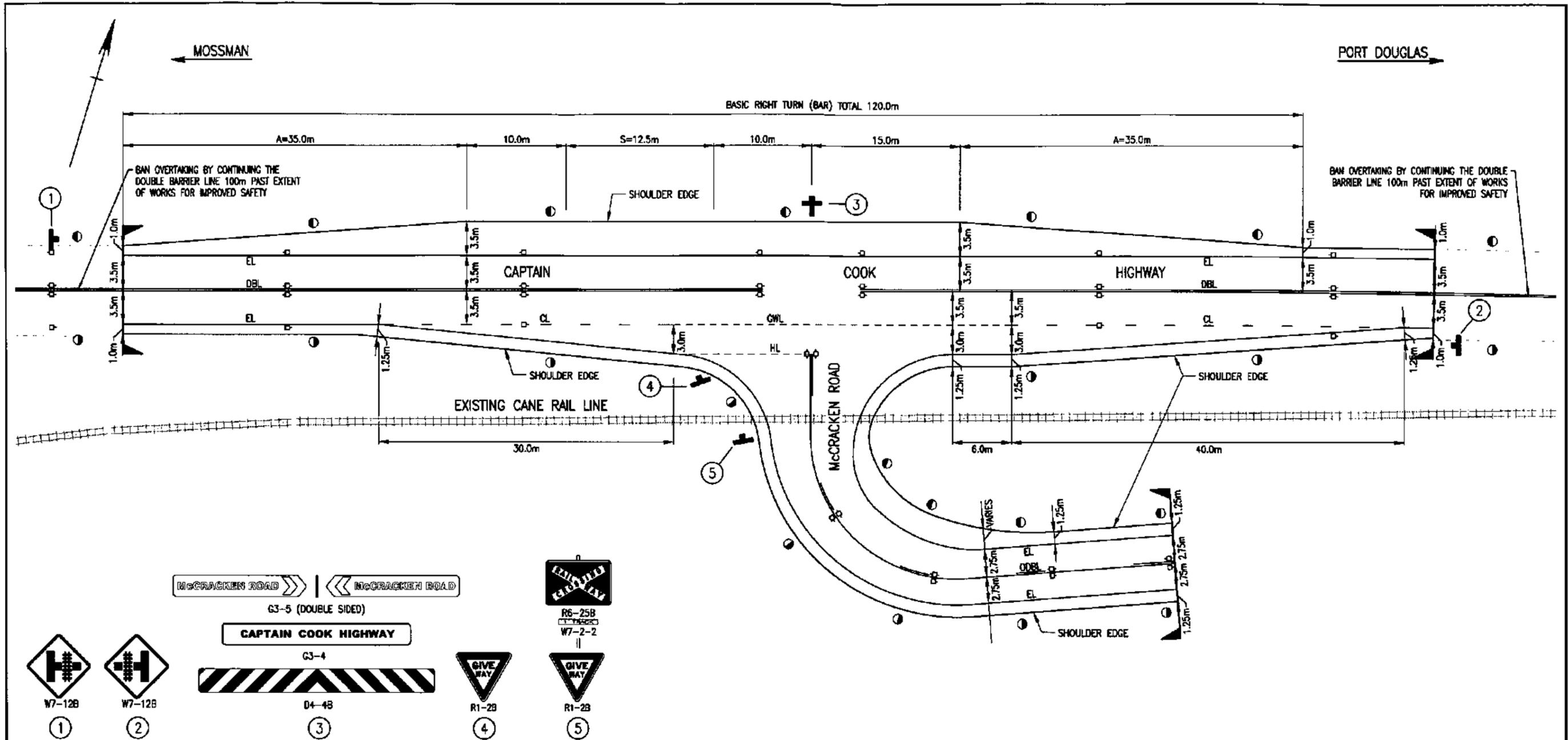
Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND MCCRACKEN RD

Title: GENERAL ARRANGEMENT

Client: LEO INTERNATIONAL GROUP

Draftsperson: C.D.	Checked: A.P.	Sheet Size: A1	Drawing No.:
Designer: C.D.	Approved: S. WILLIAMS RPEd No: 16617	Scale: AS SHOWN	C13018-GA-001
Date: 9/10/13			

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SIGNAGE LEGEND

② NEW SIGN (REFER SIGN DETAIL ABOVE)

PAVEMENT MARKING LEGEND:

- DBL - BARRIER LINE DOUBLE (80mm)
- LL - LANE LINE BROKEN (80mm)
- ULL - LANE LINE UN-BROKEN (80mm)
- ODBL - ONE DIRECTION BARRIER LINE (80mm)
- EL - EDGE LINE (100mm)
- CL - CONTINUITY LINE (100mm)
- GWL - GIVEWAY LINE (200mm)
- RRPM - BIDIRECTIONAL RRP
- RRPM - UNIDIRECTIONAL RRP
- REP - ROAD EDGE GUIDE POST (REFER TMR STD DRG 1356)

PAVEMENT MARKING & SIGNAGE NOTES:

1. PAVEMENT MARKING, GUIDE POSTS AND RRP'S SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE TMR MUTCD AND STANDARD SPECIFICATION MRS45.
2. ALL EXISTING PAVEMENT MARKINGS WHICH CONFLICT WITH THOSE SHOWN ON THESE PLANS ARE TO BE REMOVED OR AMENDED TO REFLECT THE PAVEMENT MARKING SHOWN ON THIS PLAN AND THE MUTCD.
3. CONTROL LINES REMOVED FOR CLARITY.

GENERAL NOTES:

1. FOR TYPICAL CROSS SECTIONS REFER TO DRG. NO. C13018-TX-001.
2. FOR CONTROL LINE SETOUT TABLES REFER TO DRG. NO. C13018-CL-001.
3. FOR CONTROL LINE LONGITUDINAL SECTIONS REFER TO DRG. NO. C13018-LS-001.
4. FOR PAVEMENT WORKS, BATTERS AND EXISTING FEATURES REFER TO DRG. NO. C13018-GA-001.

ISSUED FOR APPROVAL
21 Oct. 2013 - 4:41pm

0 2 4 6 8m
SCALE 1:200 (A1)

No.	Date	By	Amendment	Checked
S	21/10/13	LD	ISSUED FOR APPROVAL	
A	9/10/13	LD	90% PRELIMINARY ISSUE	

No.	Date	By	Amendment	Checked
S	21/10/13	LD	ISSUED FOR APPROVAL	
A	9/10/13	LD	90% PRELIMINARY ISSUE	

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TELEPHONE (07) 4931 4788
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EMAIL info@l-r.net.au

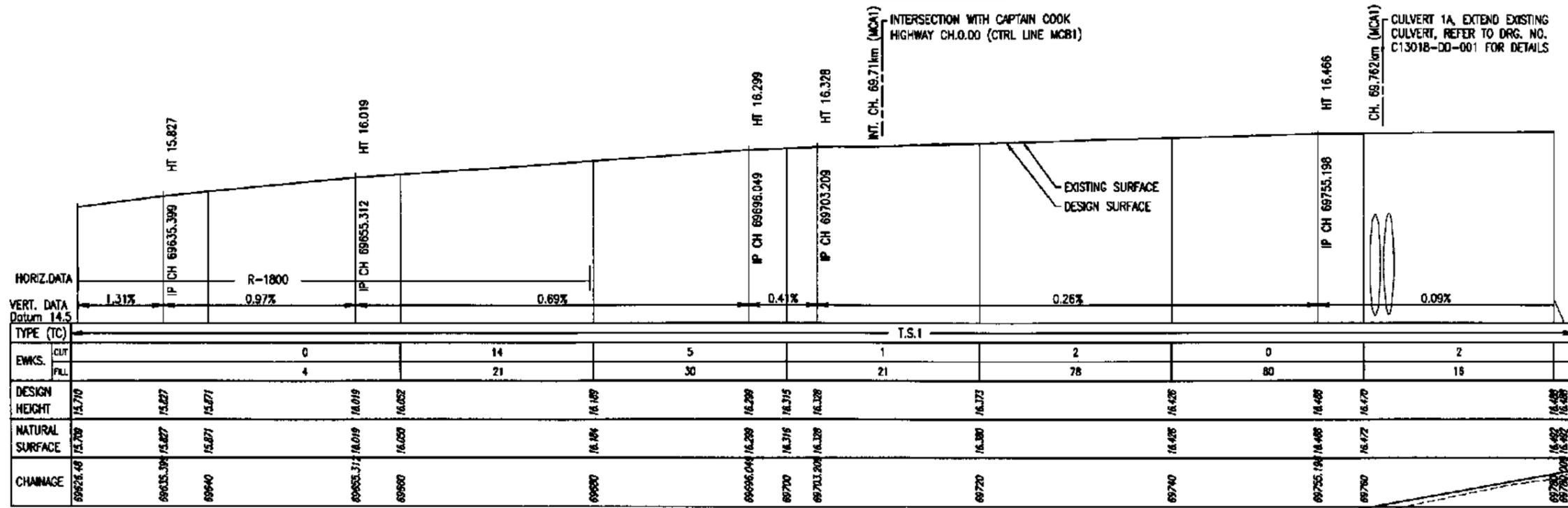
Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD

Title: PAVEMENT MARKING AND SIGNAGE

Client: LEO INTERNATIONAL GROUP

Draftsperson: C.D.	Checked: A.P.	Sheet Size: A1	Drawing No.:
Designer: C.D.	Approved: S. WILLIAMS RPE# No. 8447		C13018-PM-001
AS SHOWN	Date: 9/10/13	A	

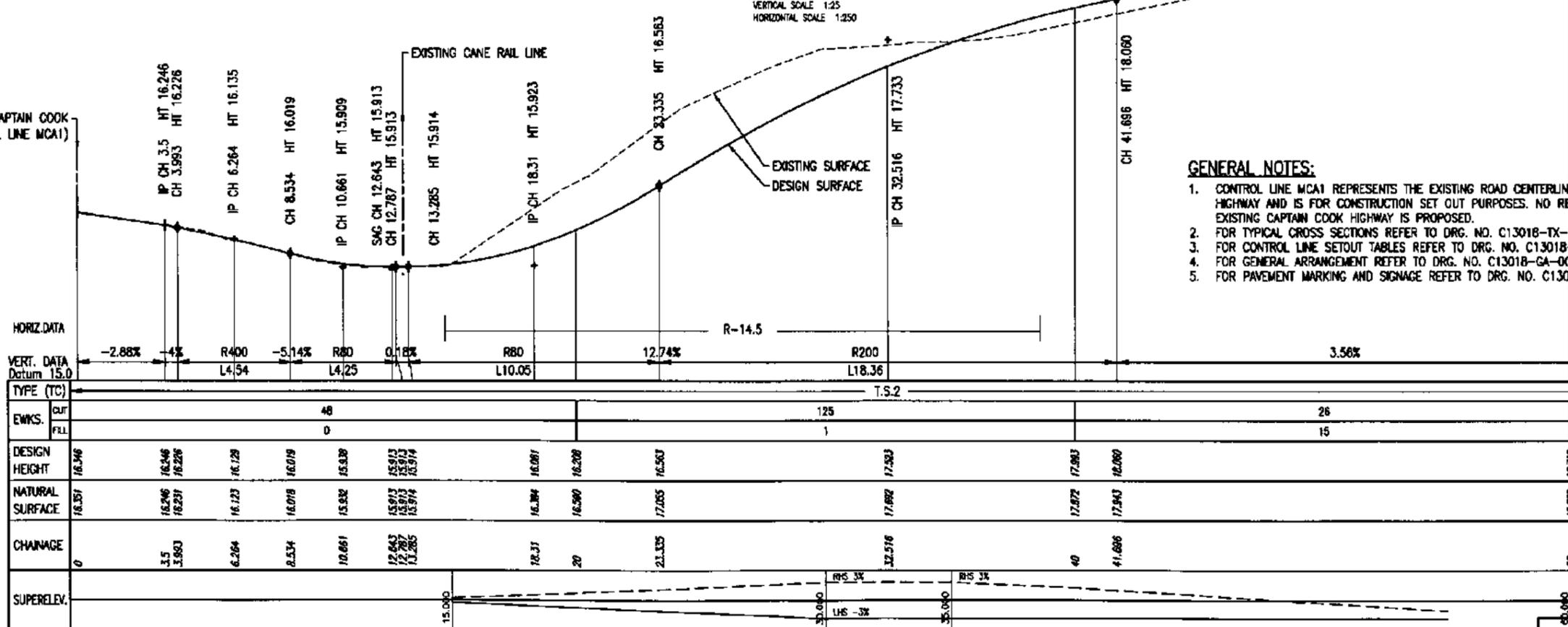
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LONGITUDINAL SECTION - CONTROL LINE MCA1 - CAPTAIN COOK HIGHWAY

VERTICAL SCALE 1:25
HORIZONTAL SCALE 1:250

INTERSECTION WITH CAPTAIN COOK
HIGHWAY CH.69.71 (CTRL LINE MCA1)



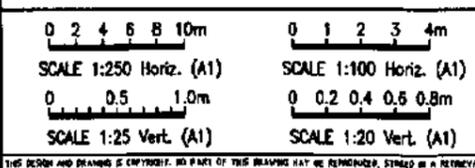
LONGITUDINAL SECTION - CONTROL LINE MCB1 - McCRACKEN ROAD

VERTICAL SCALE 1:20
HORIZONTAL SCALE 1:100

GENERAL NOTES:

- CONTROL LINE MCA1 REPRESENTS THE EXISTING ROAD CENTERLINE OF THE CAPTAIN COOK HIGHWAY AND IS FOR CONSTRUCTION SET OUT PURPOSES. NO RE-GRADING OF THE EXISTING CAPTAIN COOK HIGHWAY IS PROPOSED.
- FOR TYPICAL CROSS SECTIONS REFER TO DRG. NO. C13018-TX-001.
- FOR CONTROL LINE SETOUT TABLES REFER TO DRG. NO. C13018-CL-001.
- FOR GENERAL ARRANGEMENT REFER TO DRG. NO. C13018-GA-001.
- FOR PAVEMENT MARKING AND SIGNAGE REFER TO DRG. NO. C13018-PM-001.

ISSUED FOR APPROVAL
21 Oct, 2013 - 5:13pm



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0	21/10/13	CD	ISSUED FOR APPROVAL	
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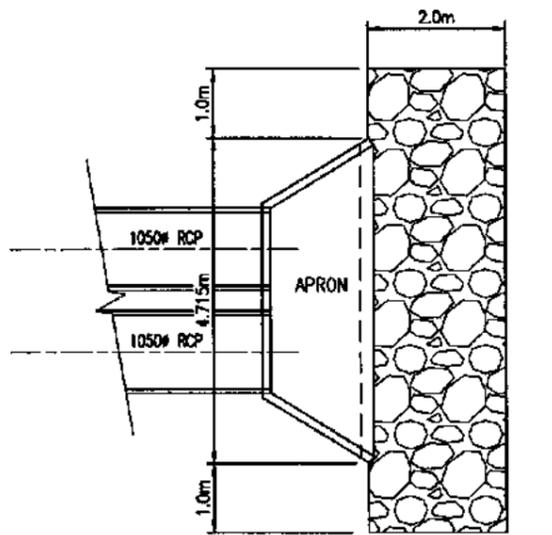
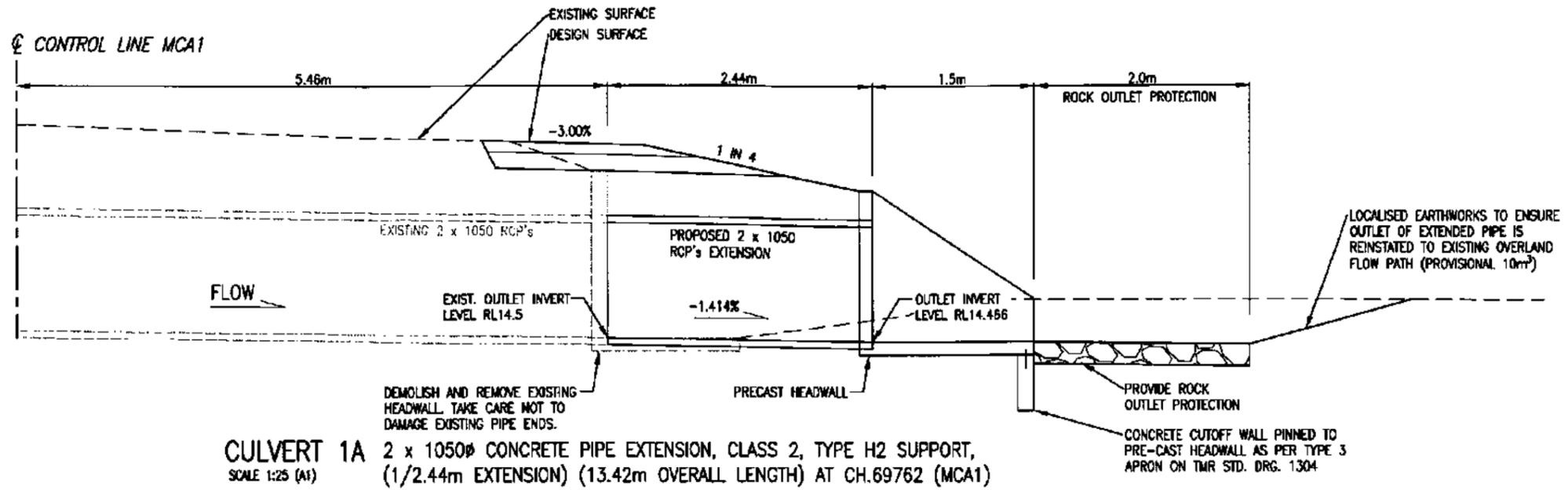
Project: **CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD**

Title: **LONGITUDINAL SECTIONS**

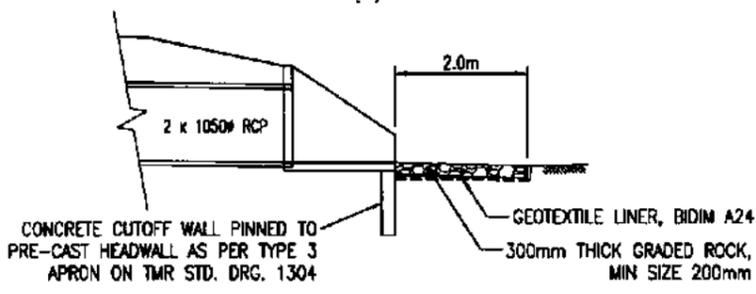
Client: **LEO INTERNATIONAL GROUP**

Draftsperson C.D.	Checked A.P.	Sheet A1	Drawing No. C13018-LS-001
Design C.D.	Approved S. WILLIAMS RPED No: 06417	Scale AS SHOWN	Date 9/10/13

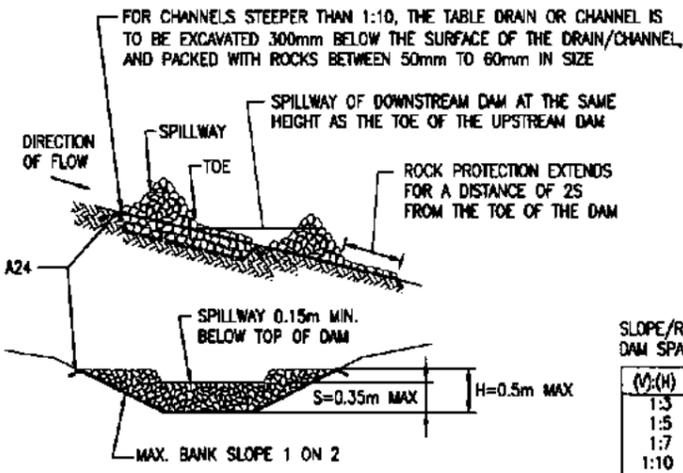
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OUTLET ROCK PROTECTION TREATMENT - PLAN
SCALE 1:50 (A1)



OUTLET ROCK PROTECTION - SECTION
SCALE 1:50 (A1)



TEMPORARY ROCK CHECK DAMS
(CATCHMENT AREA 1.0 ha)

CONSTRUCTION SEQUENCE

1. IF CHANNEL/TABLEDRAIN IS STEEPER THAN A 1:10 SLOPE EXCAVATE OUT TO A DEPTH OF 300mm WHERE THE ROCK CHECK DAMS ARE GOING TO BE PLACED.
2. LAY DOWN GEOTEXTILE OVER AREA THE ROCK CHECK DAM IS TO BE CONSTRUCTED.
3. PLACE ROCKS TO DIMENSIONS SHOWN ON DRAWING.

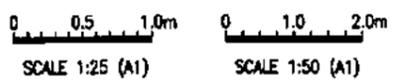
GENERAL NOTES:

1. DRAINAGE SECTIONS ARE SHOWN LOOKING IN THE DIRECTION OF THE ROAD CONTROL LINE, REFER TO INLET LEVELS TO DETERMINE DIRECTION OF FLOW.
2. ALL PIPES 600Ø OR LESS TO HAVE RUBBER RING JOINTS.
3. QUANTITIES SHOWN IN THE DRAINAGE SCHEDULE ARE APPROXIMATE AND FOR USE AS A GUIDE ONLY. THE CONTRACTOR SHALL PERFORM A CHECK OF ALL QUANTITIES PRIOR TO TENDERING BID. ALL PIPE AND BOX CULVERT WORKS ARE TO BE COSTED AS SUPPLY AND INSTALL AS PER TMR STD SPECIFICATIONS ROADS.

SLOPE/ROCK CHECK DAM SPACINGS

(V:H)	SPACING (m)
1:3	11
1:5	17
1:7	25
1:10	35
1:20	70
1:30	105
1:40	140
1:50	175
1:75	260

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21 Oct, 2013 - 5:20pm



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B	21/10/13	CD	ISSUED FOR APPROVAL	
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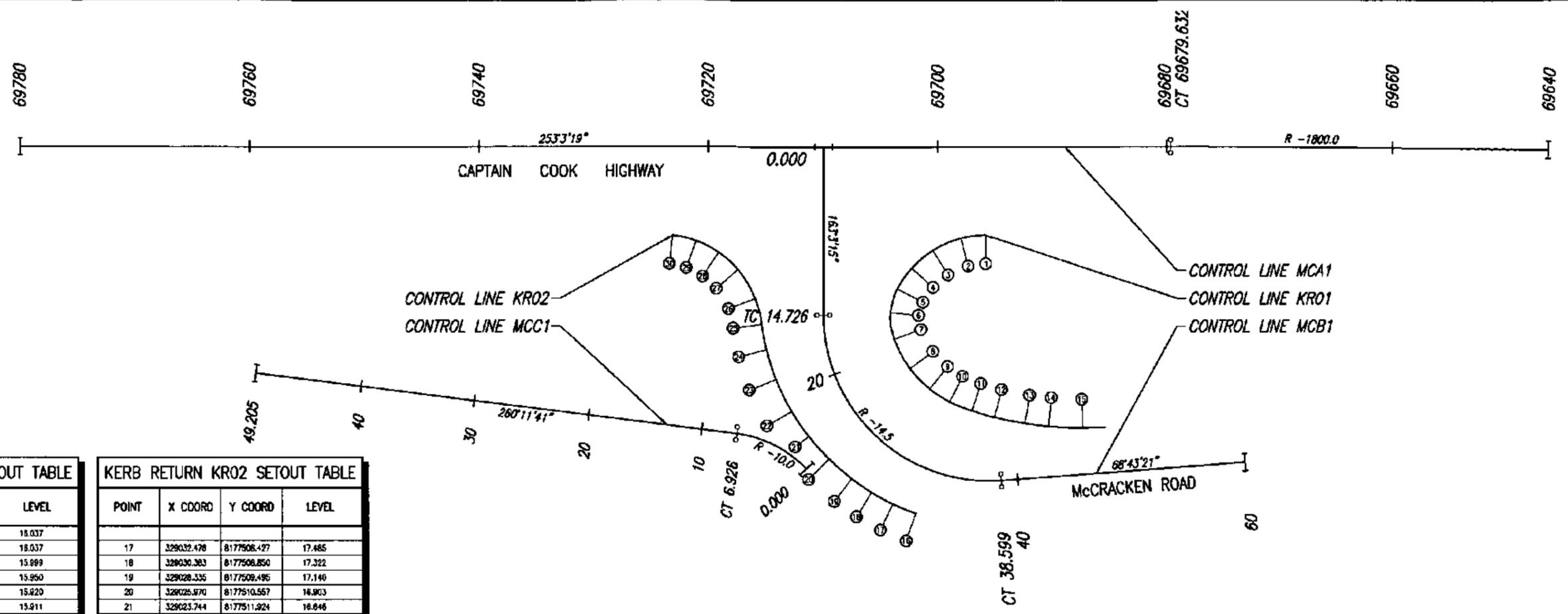
Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD

Title: DRAINAGE DETAILS

Client: LEO INTERNATIONAL GROUP

Drafter: C.D.	Checked: A.P.	Sheet Size	Drawing No.
Designer: C.D.	Approved: S. WILLIAMS RPEO No: 8417	A1	C13018-DD-001
Scale: AS SHOWN	Date: 9/10/13	A	

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KERB RETURN KR01 SETOUT TABLE

POINT	X COORD	Y COORD	LEVEL
1	329033.448	8177533.295	18.037
2	329031.446	8177532.398	18.037
3	329029.391	8177530.862	15.889
4	329028.004	8177528.658	15.950
5	329027.404	8177526.572	15.820
6	329027.394	8177524.394	15.911
7	329028.406	8177522.286	16.027
8	329030.478	8177520.228	16.451
9	329032.634	8177519.024	16.907
10	329034.644	8177518.444	17.237
11	329036.753	8177518.272	17.528
12	329038.814	8177518.309	17.746
13	329041.471	8177518.546	17.890
14	329043.482	8177518.893	17.974
15	329045.404	8177519.658	18.092

KERB RETURN KR02 SETOUT TABLE

POINT	X COORD	Y COORD	LEVEL
17	329032.478	8177508.477	17.485
18	329030.383	8177506.850	17.322
19	329028.335	8177509.495	17.140
20	329026.870	8177510.557	16.903
21	329023.744	8177511.924	16.646
22	329021.890	8177513.587	16.402
23	329018.572	8177515.870	16.180
24	329016.036	8177518.086	16.043
25	329016.981	8177520.116	15.868
26	329015.781	8177522.126	15.916
27	329013.605	8177524.078	15.939
28	329011.569	8177525.022	16.040
29	329009.361	8177525.419	16.134
30	329007.215	8177525.269	16.170

GENERAL NOTES:

- CONTROL LINE MCA1 REPRESENTS THE EXISTING ROAD CENTERLINE OF THE CAPTAIN COOK HIGHWAY AND IS FOR CONSTRUCTION SET OUT PURPOSES. NO RE-GRADING OF THE EXISTING CAPTAIN COOK HIGHWAY IS PROPOSED.
- FOR LOCATION OF CONTROL LINES IN PLAN VIEW, REFER TO DRG. NO. C13018-GA-001.
- FOR LONGITUDINAL SECTIONS, REFER TO DRG. NO. C13018-LS-001.
- FOR ANNOTATED CROSS SECTIONS REFER TO DRG. NO. C13018-XS-001 TO DRG. NO. C13018-XS-005.
- SETTING OUT INFORMATION FOR STRINGS NOT SHOWN HERE (FOR EXAMPLE EDGE OF SHOULDER STRING FOR BAR WIDTH DEVELOPMENT) SHOULD BE ACCESSED VIA COMPUTER GENERATED STRING OUTPUT FROM THE DESIGN MODEL HELD BY THE SUPERVISING ENGINEERING SURVEYOR.

CONTROL LINE MCA1 SETOUT TABLE - CAPTAIN COOK HIGHWAY

IN SEG	OUT SEG	TAN	CHAINAGE	X COORD	Y COORD	LEVEL	IN BEARING	OUT BEARING	IN RAD	OUT RAD
	ARC		69640.000	329084.652	8177556.541	15.871	254°18'01"	254°18'01"		-1800.000
			69650.000	329075.632	8177553.811	15.966	253°59'55"	253°58'55"		
			69660.000	329065.427	8177551.028	16.052	253°40'48"	253°40'48"		
			69670.000	329055.838	8177548.191	16.120	253°21'43"	253°21'43"		
ARC	LINE	YES	69678.632	329046.810	8177545.409	16.186	253°03'19"	253°03'19"	-1800.000	
			69680.000	329046.264	8177545.302	16.189	253°03'19"	253°03'19"		
			69690.000	329036.698	8177542.387	16.257	253°03'19"	253°03'19"		
			69700.000	329027.132	8177539.473	16.315	253°03'19"	253°03'19"		
			69710.000	329017.567	8177536.558	16.348	253°03'19"	253°03'19"		
			69720.000	329008.001	8177533.644	16.373	253°03'19"	253°03'19"		
			69730.000	328998.435	8177530.729	16.389	253°03'19"	253°03'19"		
			69740.000	328988.869	8177527.815	16.428	253°03'19"	253°03'19"		
			69750.000	328979.303	8177524.900	16.452	253°03'19"	253°03'19"		
			69760.000	328969.737	8177521.986	16.470	253°03'19"	253°03'19"		
			69770.000	328960.171	8177519.071	16.479	253°03'19"	253°03'19"		
LINE			69780.000	328950.606	8177516.157	16.488	253°03'19"			

CONTROL LINE MCB1 SETOUT TABLE - McCRACKEN ROAD

IN SEG	OUT SEG	TAN	CHAINAGE	X COORD	Y COORD	LEVEL	IN BEARING	OUT BEARING	IN RAD	OUT RAD
	LINE		0.000	329017.558	8177536.556	16.346	163°03'15"	163°03'15"		
			5.000	329019.015	8177531.772	16.184	163°03'15"	163°03'15"		
			10.000	329020.473	8177526.988	15.967	163°03'15"	163°03'15"		
LINE	ARC	YES	14.726	329021.850	8177522.468	15.830	163°03'15"	163°03'15"		-14.500
			15.000	329021.833	8177522.207	15.836	161°58'19"	161°58'19"		
			20.000	329024.281	8177517.810	16.208	142°12'53"	142°12'53"		
			25.000	329027.939	8177514.460	16.709	122°27'28"	122°27'28"		
			30.000	329032.533	8177512.549	17.302	102°42'02"	102°42'02"		
			35.000	329037.502	8177512.304	17.710	82°56'36"	82°56'36"		
ARC	LINE	YES	38.598	329040.982	8177513.183	17.926	68°43'28"	68°43'28"	-14.500	
			40.000	329042.286	8177513.691	17.993	68°43'28"	68°43'28"		
			45.000	329044.947	8177515.506	18.178	68°43'28"	68°43'28"		
			50.000	329051.607	8177517.320	18.358	68°43'28"	68°43'28"		
			55.000	329058.268	8177519.134	18.534	68°43'28"	68°43'28"		
LINE			60.000	329060.928	8177520.948	18.712	68°43'28"			

CONTROL LINE MCC1 SETOUT TABLE - DRAIN INVERT

IN SEG	OUT SEG	TAN	CHAINAGE	X COORD	Y COORD	LEVEL	IN BEARING	OUT BEARING	IN RAD	OUT RAD
	ARC		0.000	329024.361	8177509.166	16.346	299°52'40"	299°52'40"		-10.000
			5.000	329018.584	8177510.493	16.189	271°13'48"	271°13'48"		
ARC	LINE	YES	6.926	329017.678	8177510.349	16.126	260°11'41"	260°11'41"		-10.000
			10.000	329014.847	8177509.825	16.032	260°11'41"	260°11'41"		
			15.000	329009.720	8177508.974	15.875	260°11'41"	260°11'41"		
			20.000	329004.793	8177508.122	15.718	260°11'41"	260°11'41"		
			25.000	328999.866	8177507.271	15.561	260°11'41"	260°11'41"		
			30.000	328994.939	8177506.419	15.403	260°11'41"	260°11'41"		
			35.000	328990.012	8177505.568	15.246	260°11'41"	260°11'41"		
			40.000	328985.085	8177504.716	15.089	260°11'41"	260°11'41"		
			45.000	328980.158	8177503.865	14.932	260°11'41"	260°11'41"		
LINE			49.205	328976.014	8177503.149	14.800	260°11'41"			

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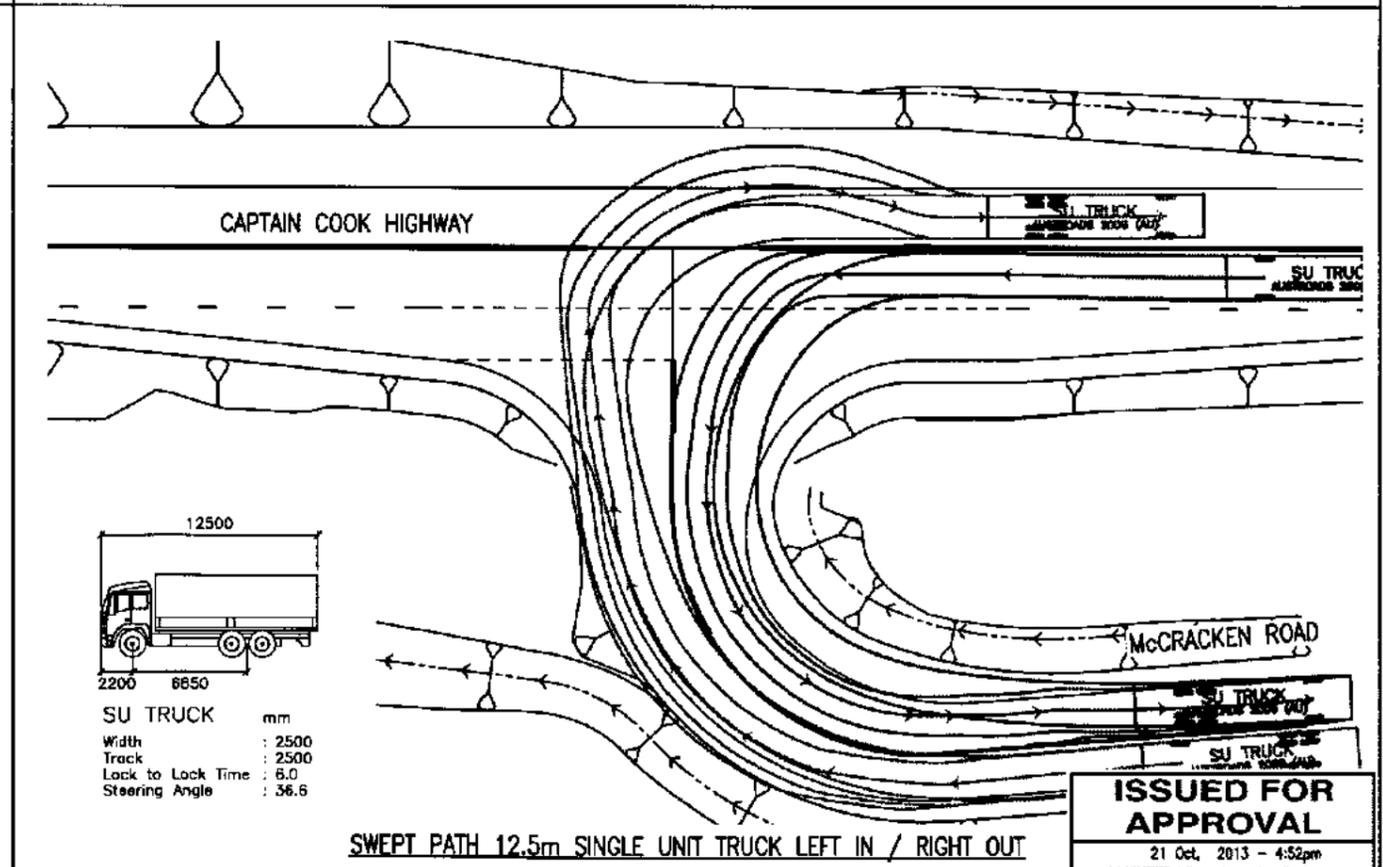
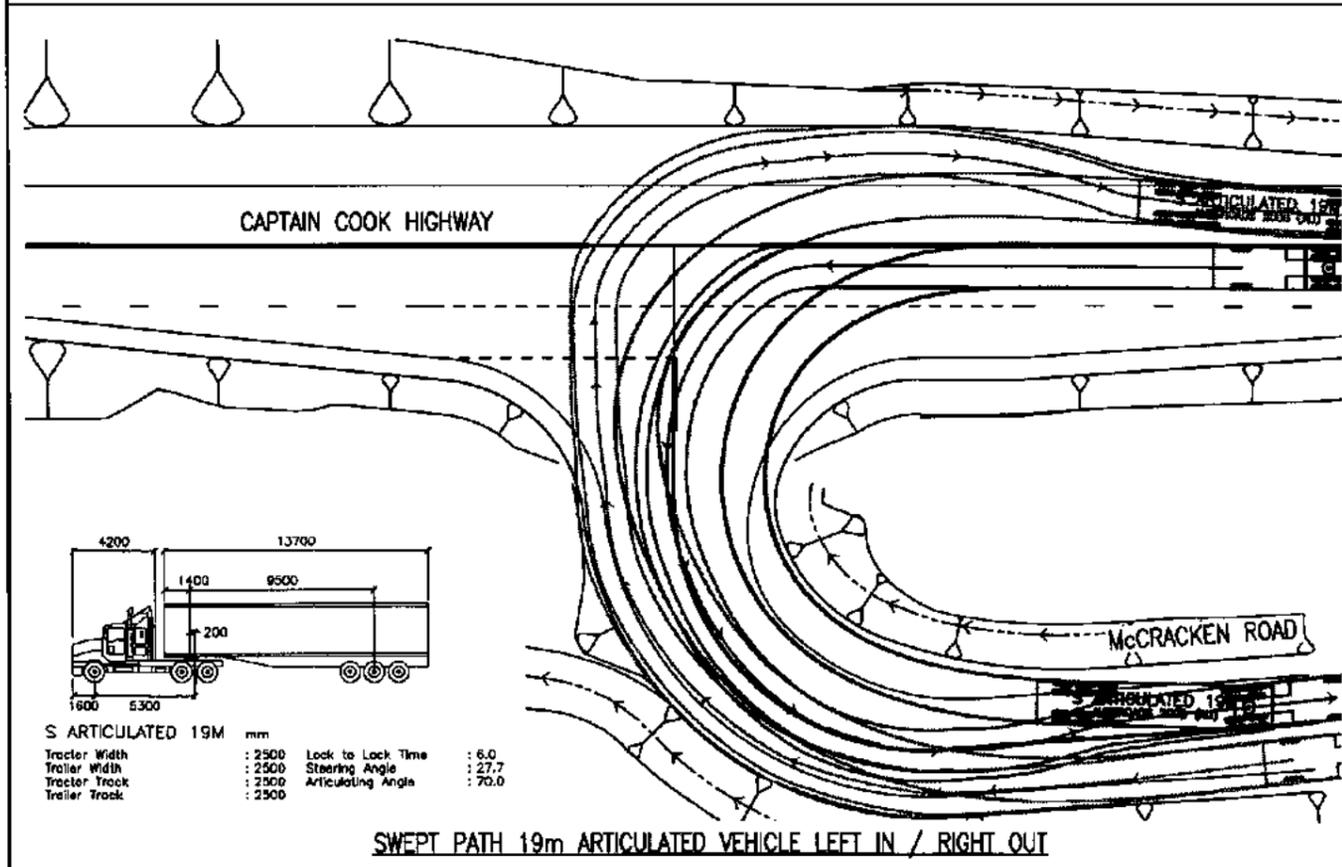
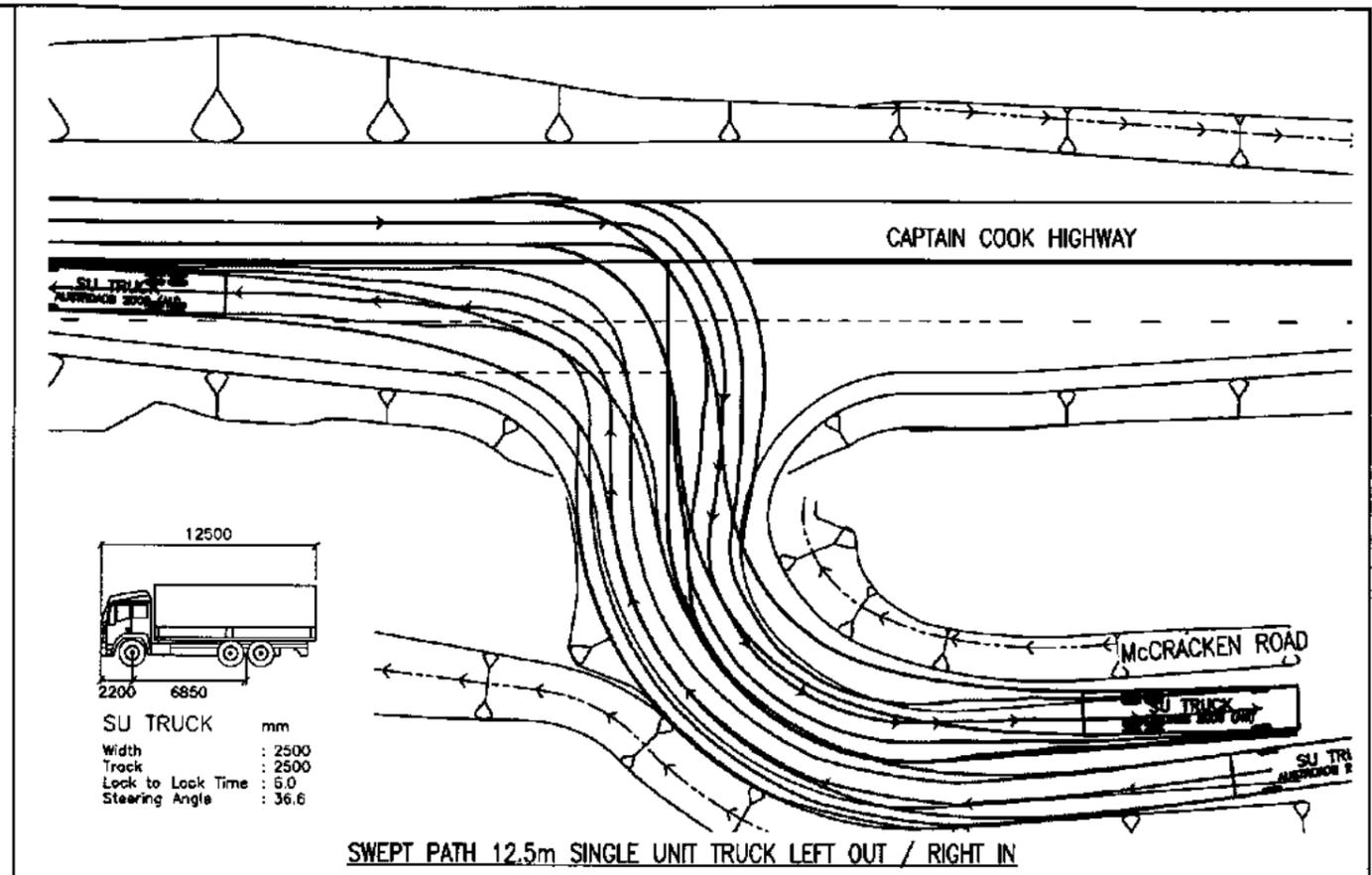
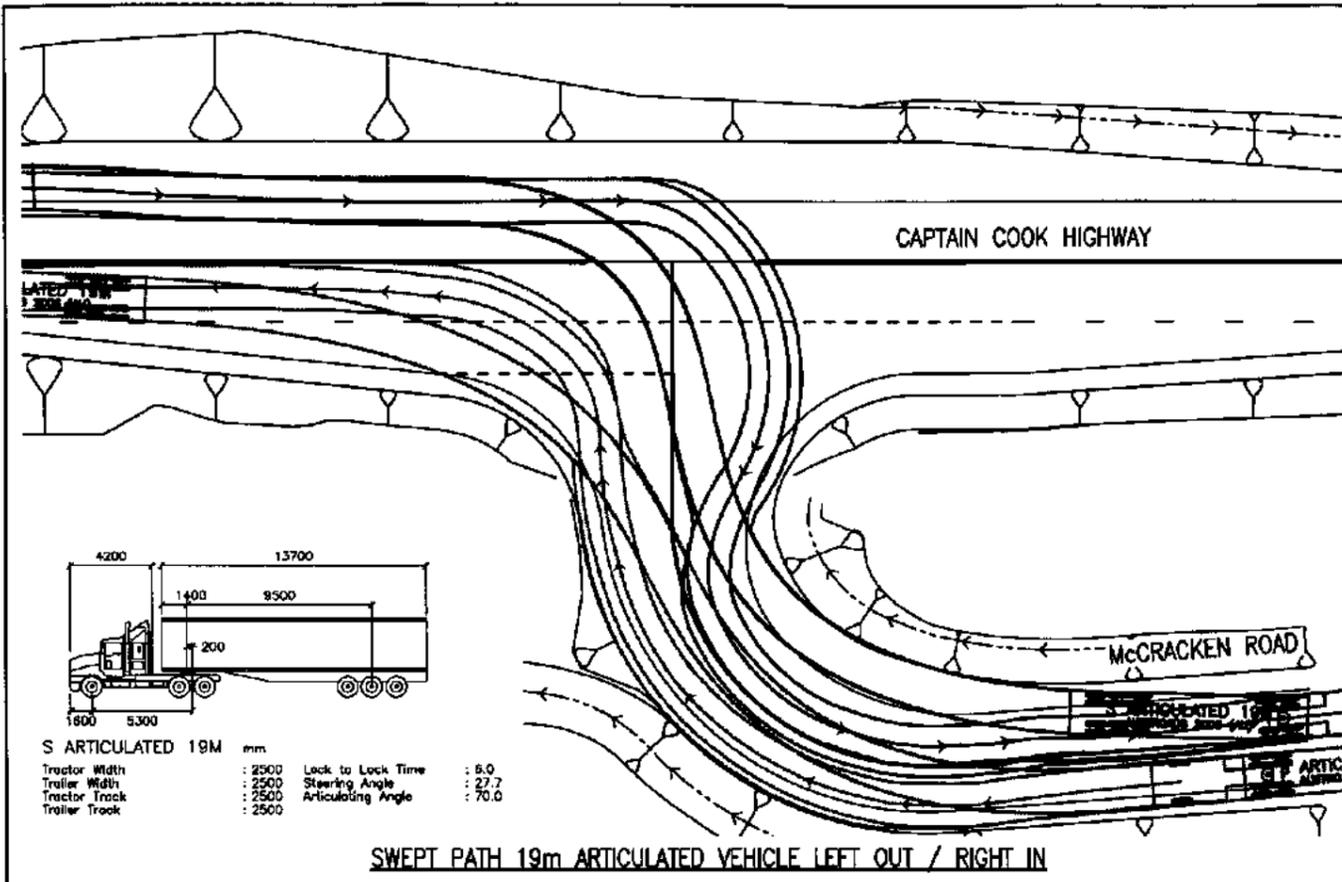
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Project: **CASSOWARY RIDGE SUBDEVELOPMENT ACCESS INTERSECTION UPGRADE CAPTAIN COOK HWY AND McCRACKEN RD**

Title: **CONTROL LINE SETOUT TABLES**

Client: **LEO INTERNATIONAL GROUP**

Draftsperson: C.D.	Checked: A.P.	Sheet Size: A1	Drawing No.: C13018-CL-001
Designer: C.D.	Approved: S. WILLIAMS RFED No. 26417	Scale: AS SHOWN	Date: 9/10/13



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Project: **CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD**

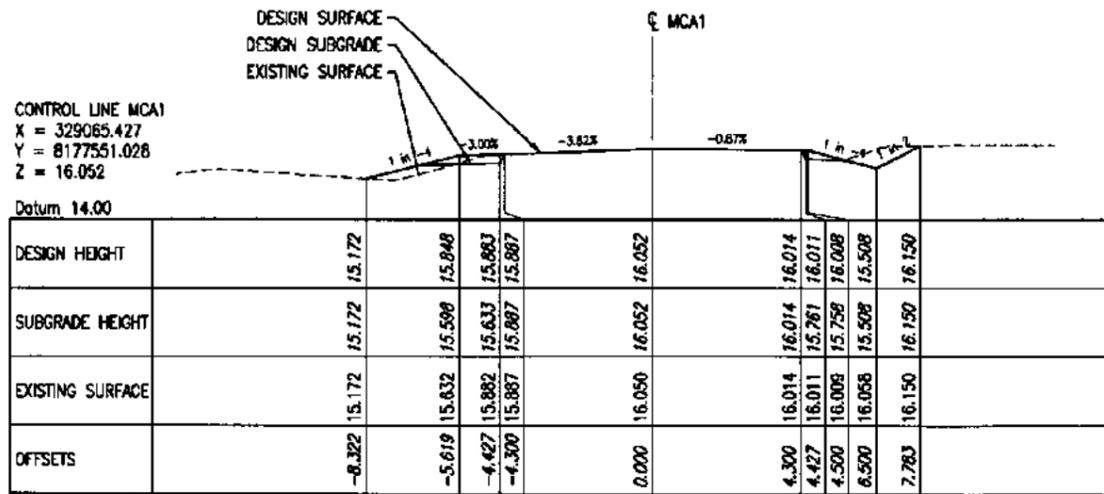
Title: **VEHICLE SWEEP PATH ASSESSMENT**

Client: **LEO INTERNATIONAL GROUP**

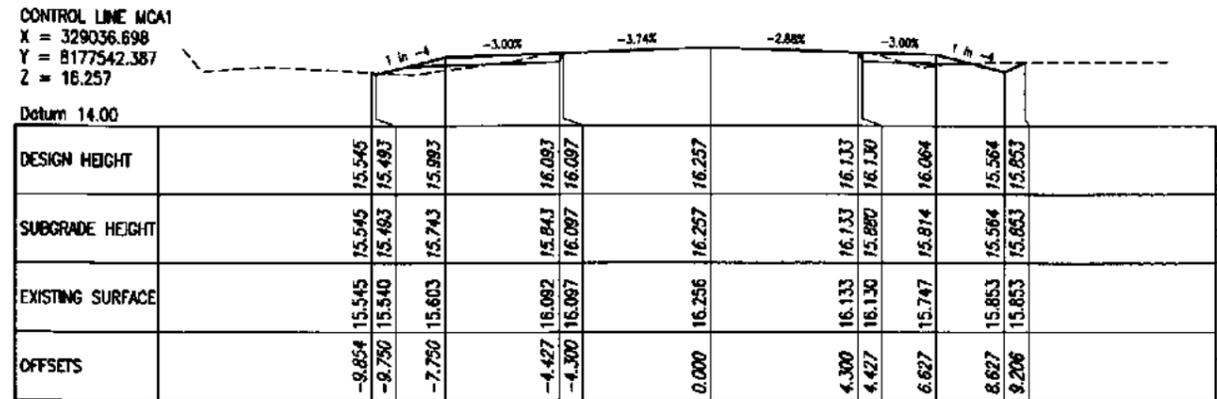
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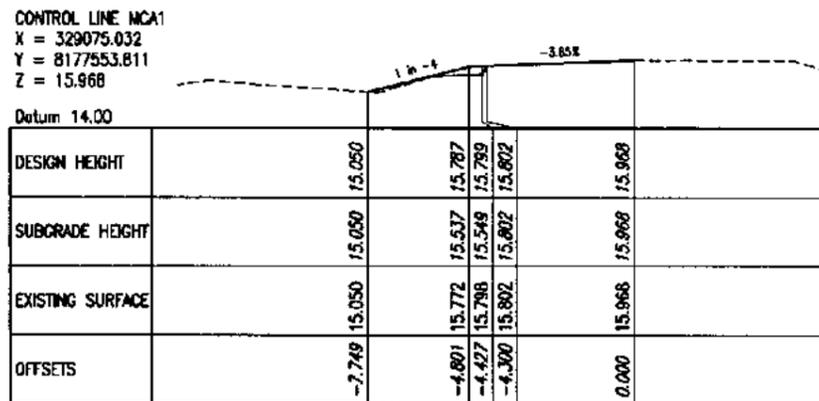
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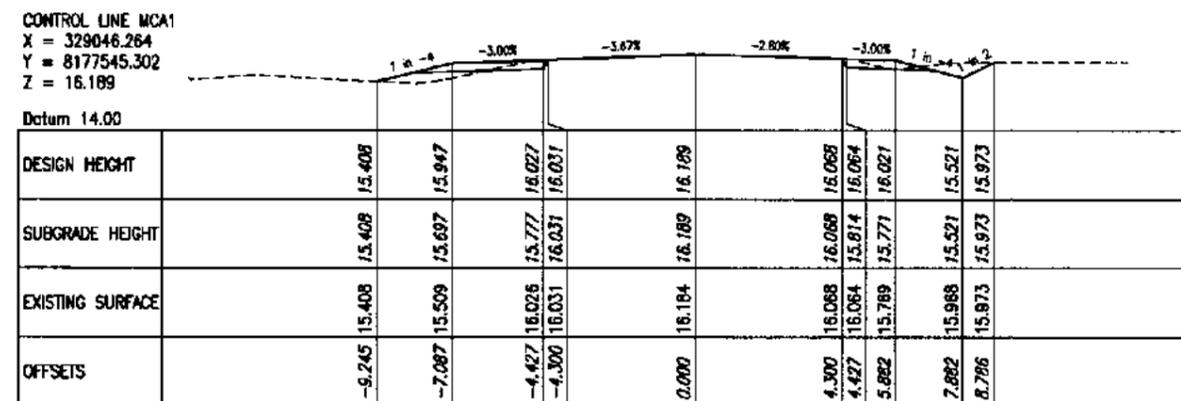
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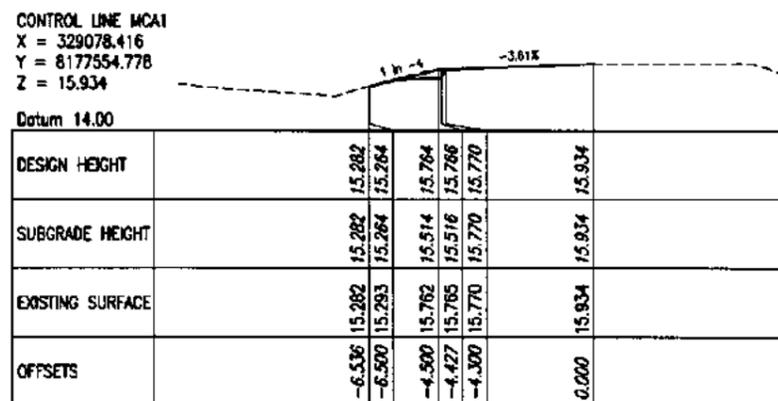
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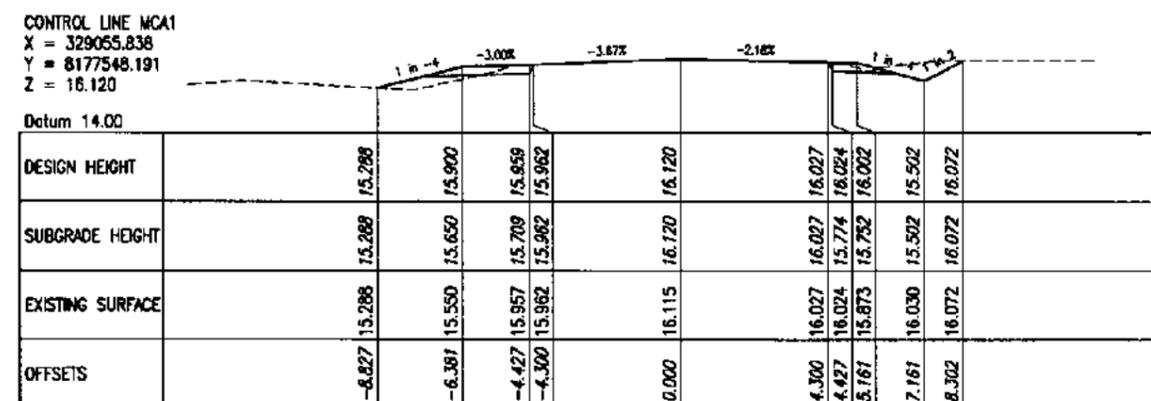
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CHAINAGE 69680.000



CHAINAGE 69646.480

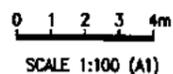


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GENERAL NOTES:

- FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
- FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
- FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

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21 Oct, 2013 - 5:48pm



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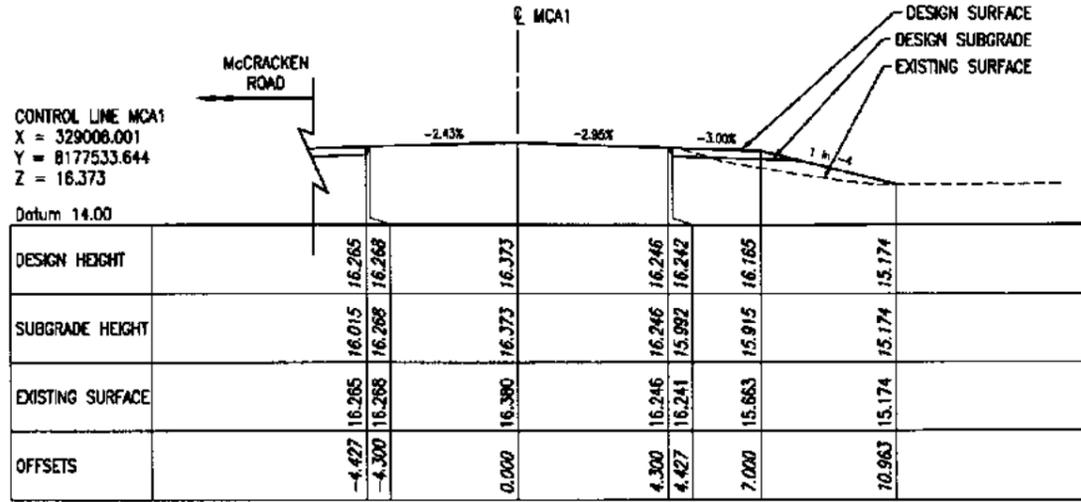
Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCracken RD

Title: ANNOTATED CROSS SECTIONS (MCA1)
SHEET 1 OF 3

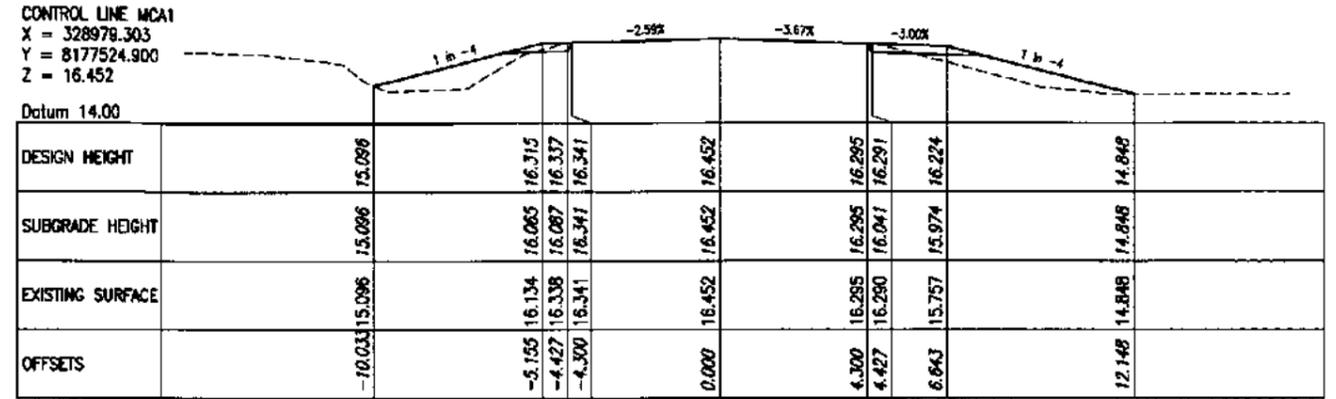
Client: LEO INTERNATIONAL GROUP

Draftsperson: C.D.	Checked: A.P.	Sheet Size: A1	Drawing No: C13018-XS-001
Designer: C.D.	Approved: S. WILLIAMS RPEO No: 96417	Scale: AS SHOWN	Date: 9/10/13

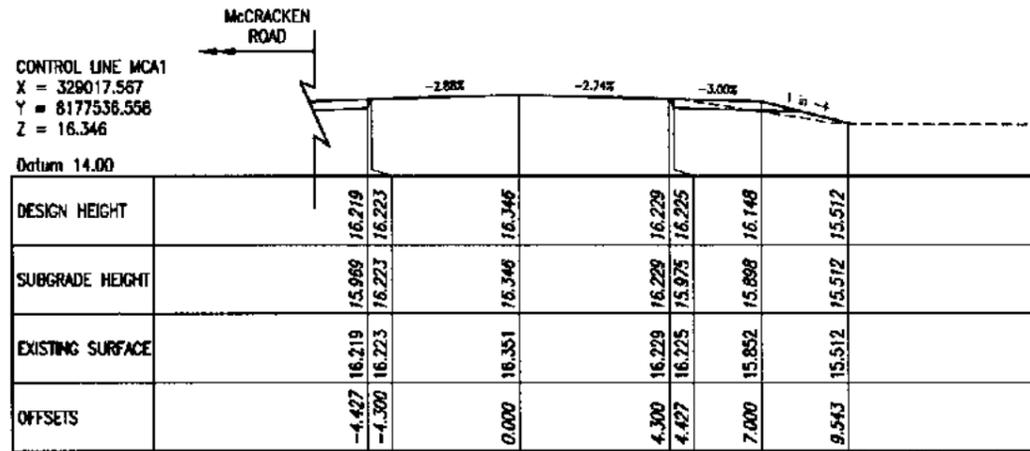
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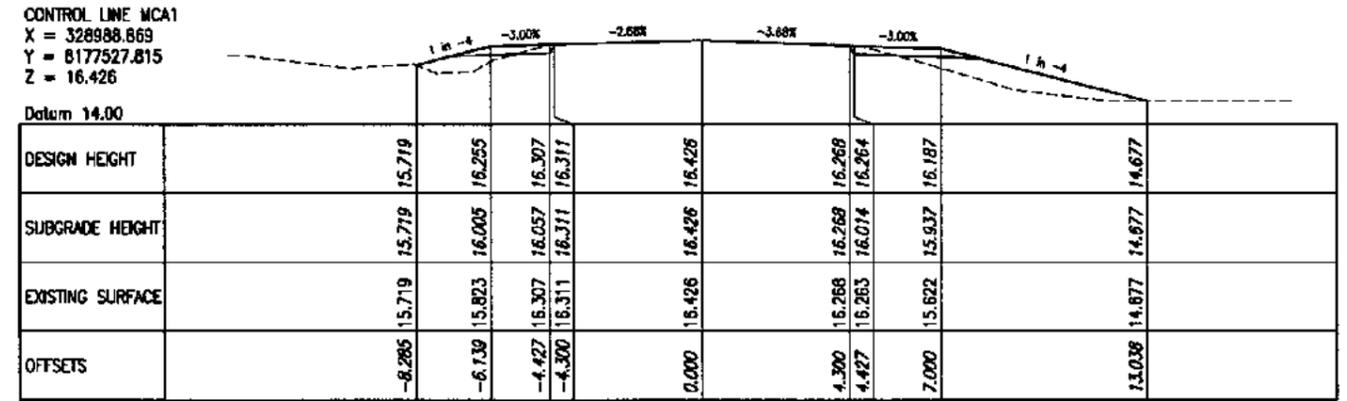
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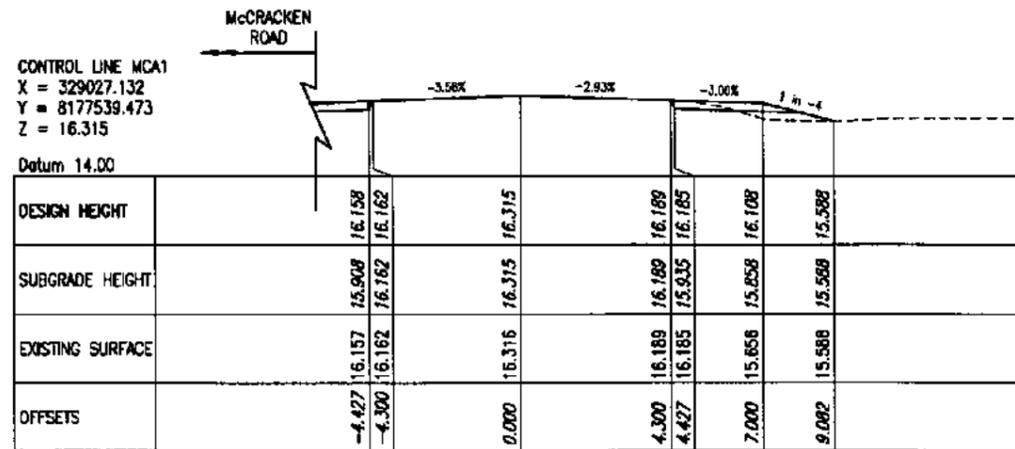
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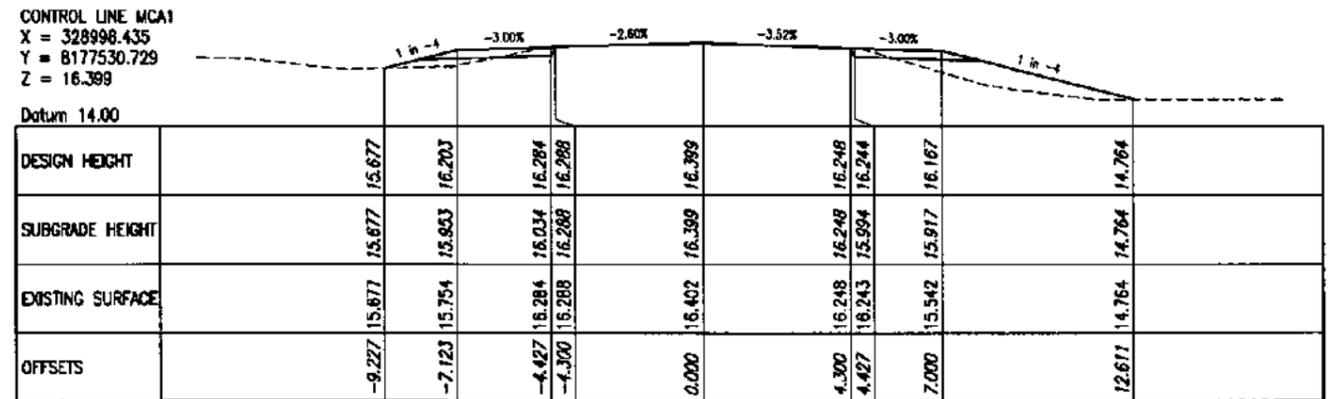
CHAINAGE 69710.000



CHAINAGE 69740.000



CHAINAGE 69700.000



CHAINAGE 69730.000

GENERAL NOTES:

- FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
- FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
- FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

ISSUED FOR APPROVAL

21 Oct, 2013 - 5:31pm

0 1 2 3 4m
SCALE 1:100 (A1)

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A.C.N. 106 749 920

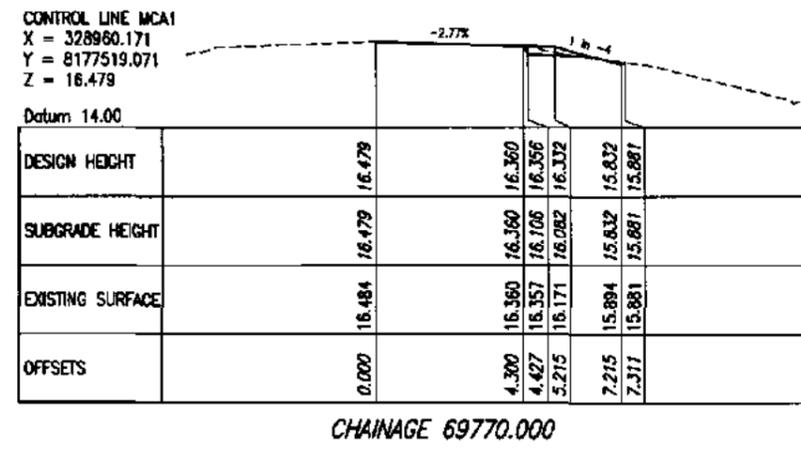
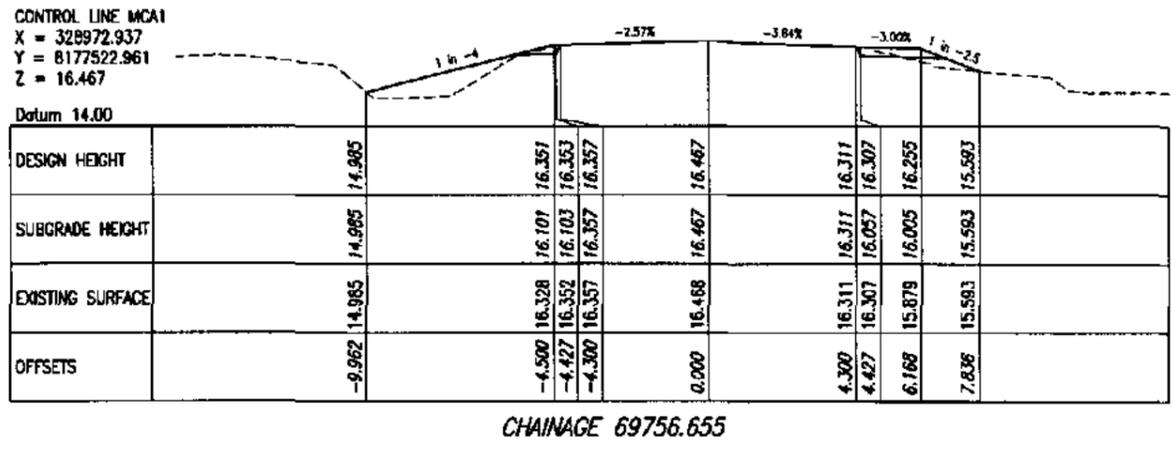
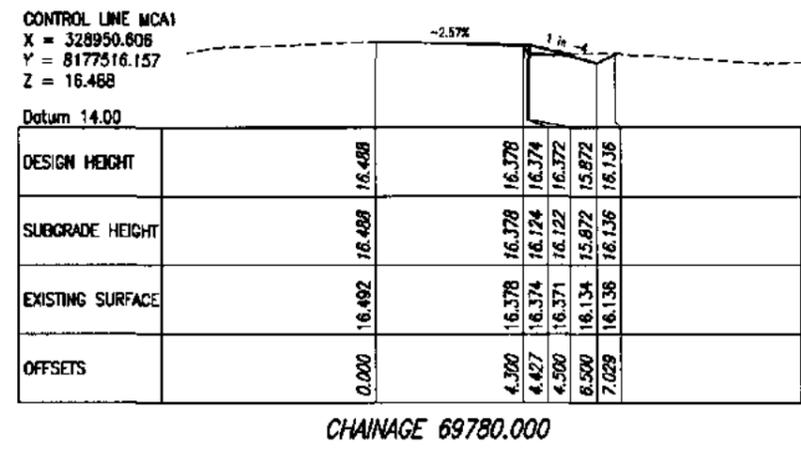
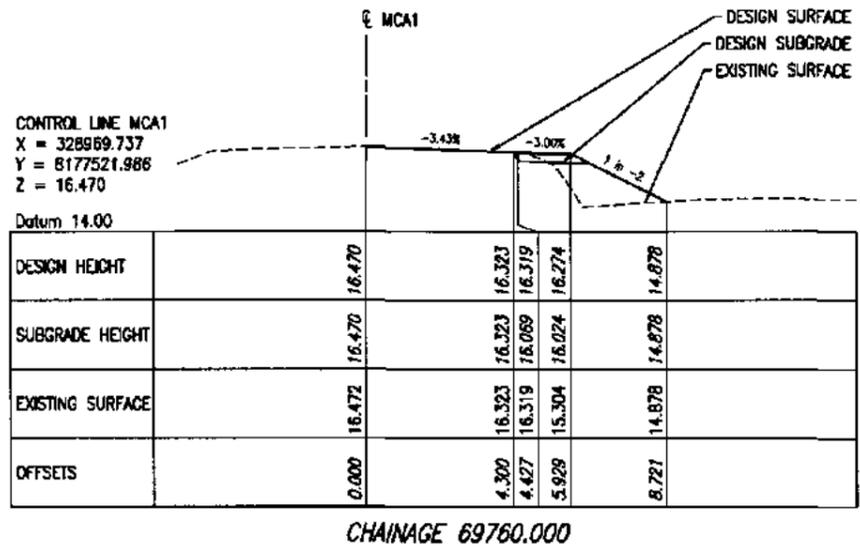
TELEPHONE (07) 4031 4788
FACSIMILE (07) 4031 6799
EMAIL mail@lra.net.au

Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD

Title: ANNOTATED CROSS SECTIONS (MCA1)
SHEET 2 OF 3

Draftsperson: C.D.
Checked: A.P.
Scale: AS SHOWN

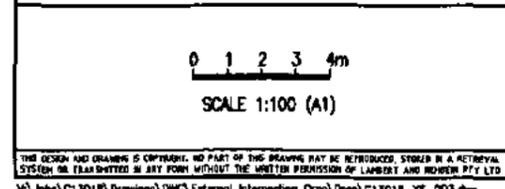
Sheet Size: A1	Drawing No. C13018-XS-002
Designer: C.D.	Approved: S. WILLIAMS APEA No. 65417
Date: 9/10/13	Scale: A



GENERAL NOTES:

1. FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
2. FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
3. FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

ISSUED FOR APPROVAL
21 Oct, 2013 - 5:29pm



No.	Date	By	Amendment	Checked
B	21/10/13	CD	ISSUED FOR APPROVAL	
A	9/10/13	CD	90% PRELIMINARY ISSUE	

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Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND MCCRACKEN RD

Client: LEO INTERNATIONAL GROUP

Designer: C.D.
Scale: AS SHOWN

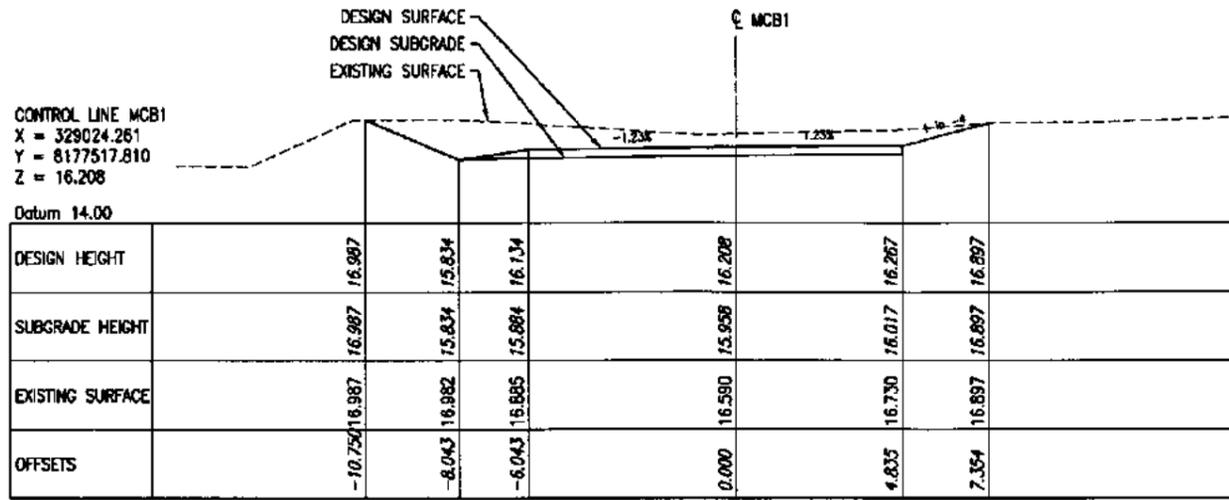
Checked: A.P.
Approved: S. WILLIAMS
RPEE No: 6417

Date: 9/18/13

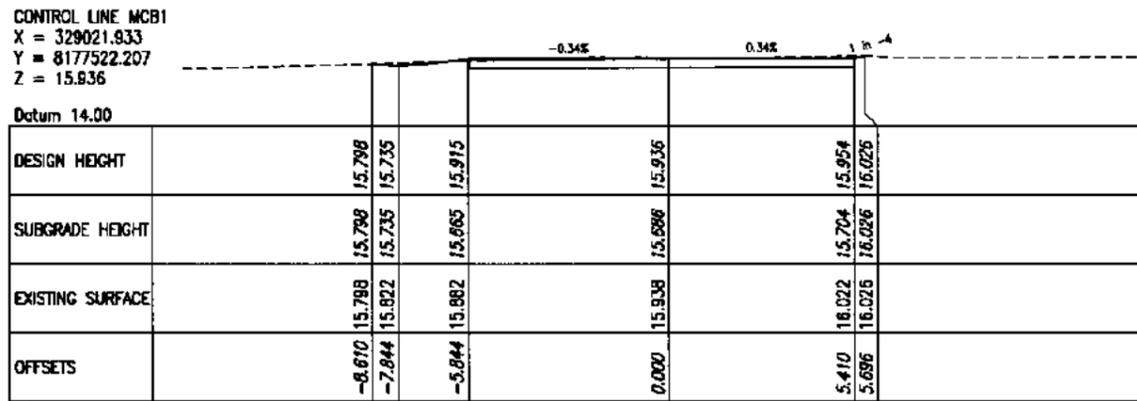
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ANNOTATED CROSS SECTIONS (MCA1)
SHEET 3 OF 3

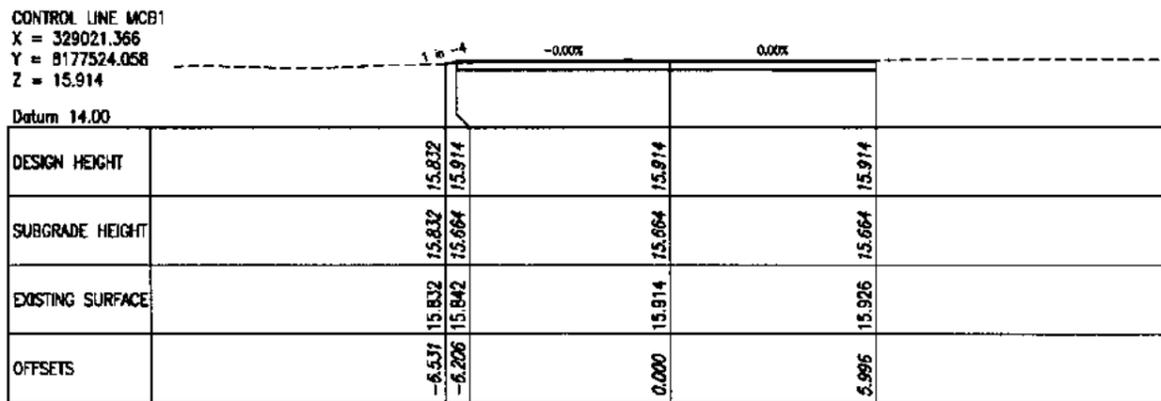
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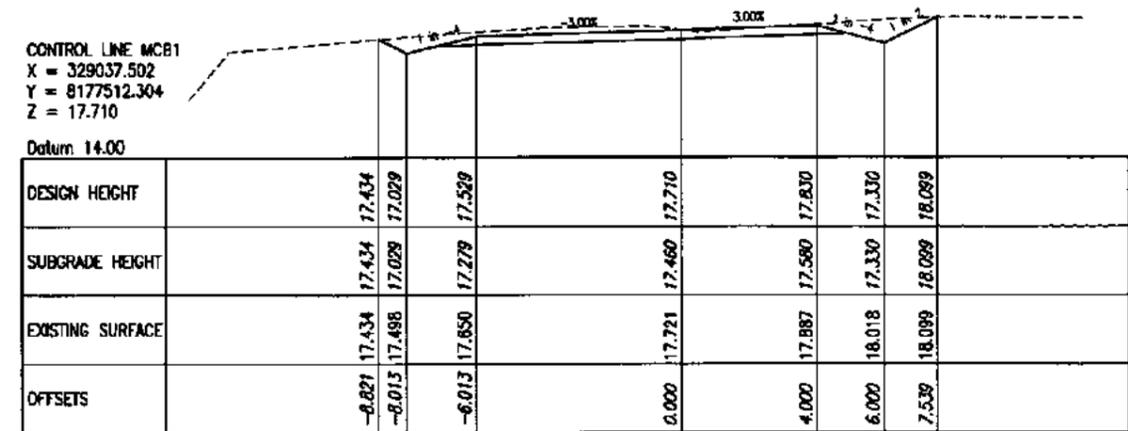
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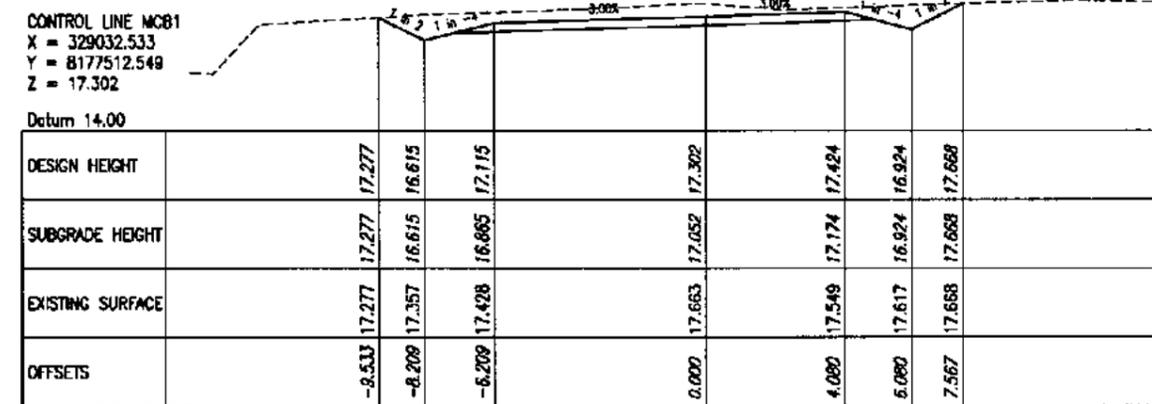
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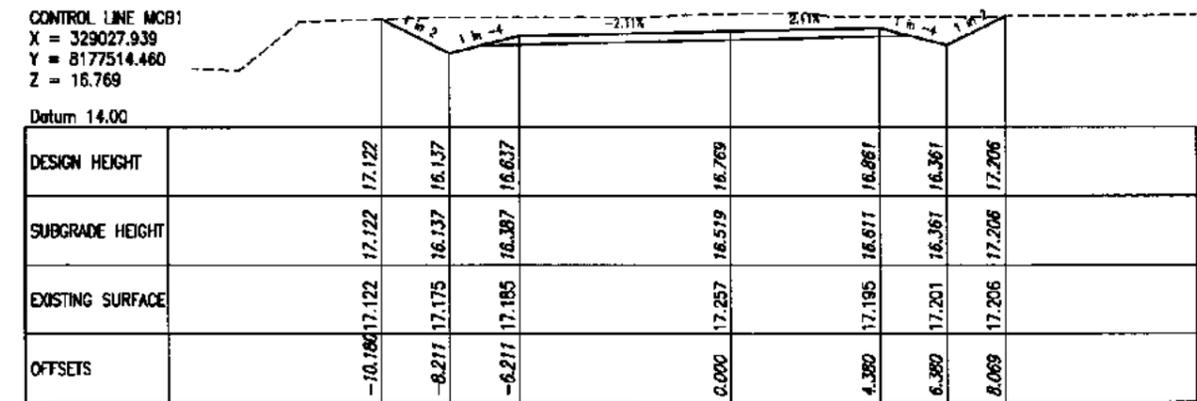
CHAINAGE 13.064



CHAINAGE 35.000



CHAINAGE 30.000



CHAINAGE 25.000

GENERAL NOTES:

- FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
- FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
- FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

ISSUED FOR APPROVAL
21 Oct, 2013 - 5:27pm

0 1 2 3 4m
SCALE 1:100 (A1)

No.	Date	By	Amendment	Checked
B	21/10/13	CD	ISSUED FOR APPROVAL	
A	9/10/13	CD	90% PRELIMINARY ISSUE	

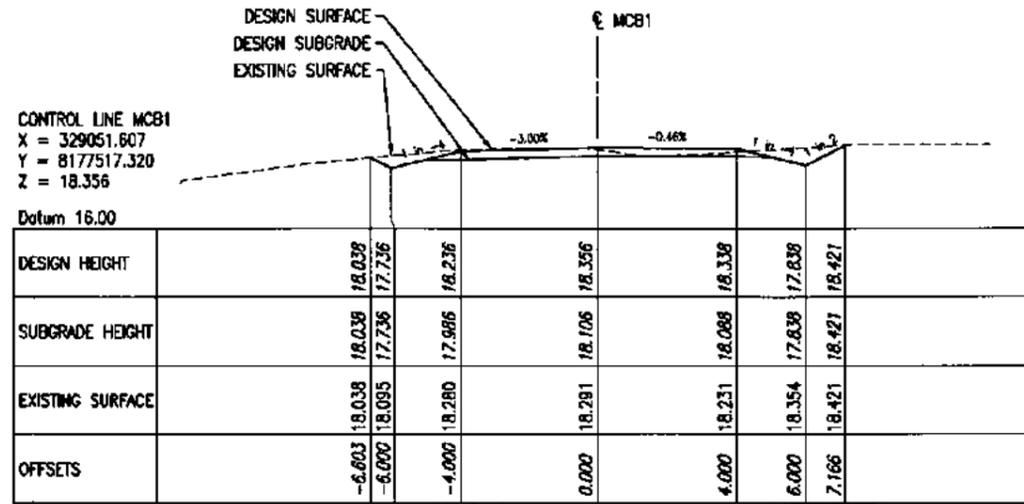
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Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND McCRACKEN RD

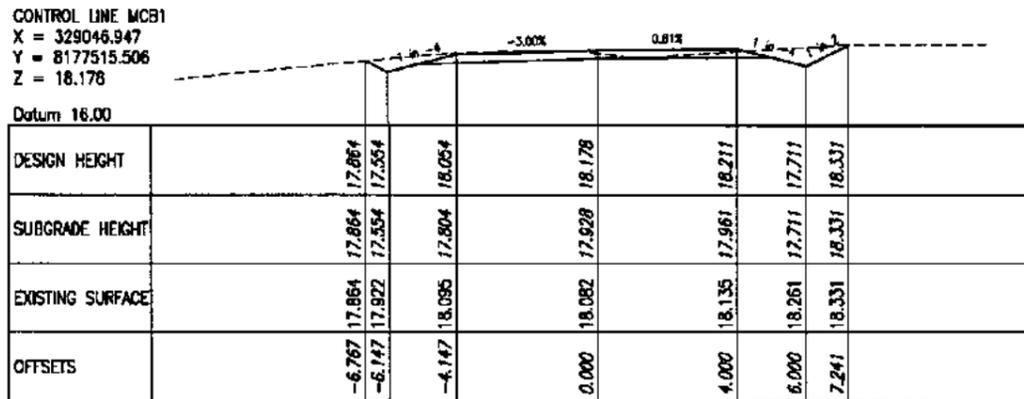
Client: LEO INTERNATIONAL GROUP

Draftsperson: C.D.	Checked: A.P.	Sheet Size A1	Drawing No. C13018-XS-004
Designer: C.D.	Approved: S. WILLIAMS REF ID: 84417	Date: 9/10/13	
Scale: AS SHOWN			

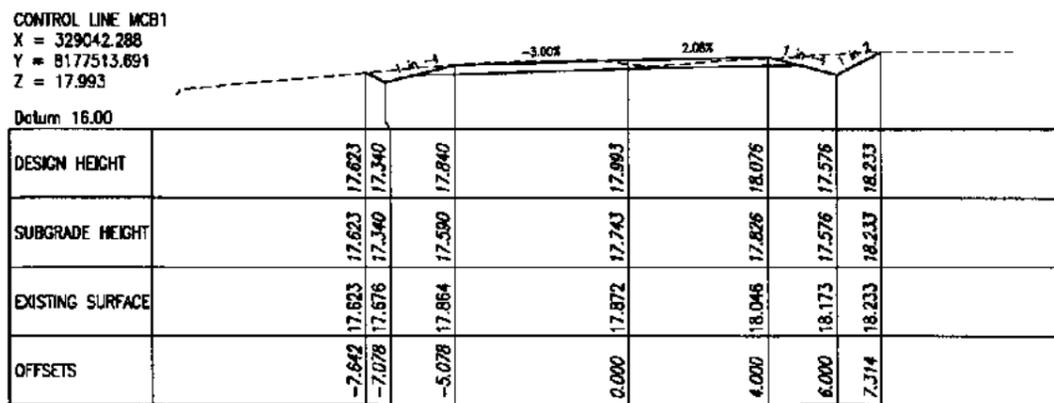
ANNOTATED CROSS SECTIONS (MCB1)
SHEET 1 OF 2



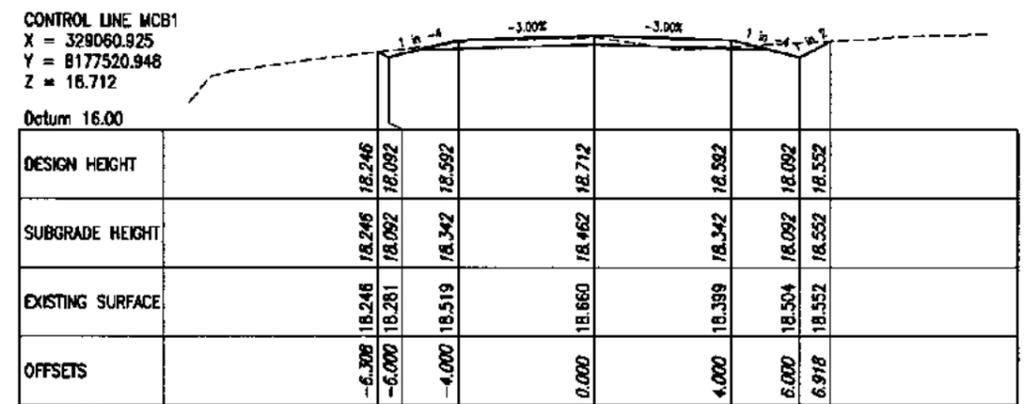
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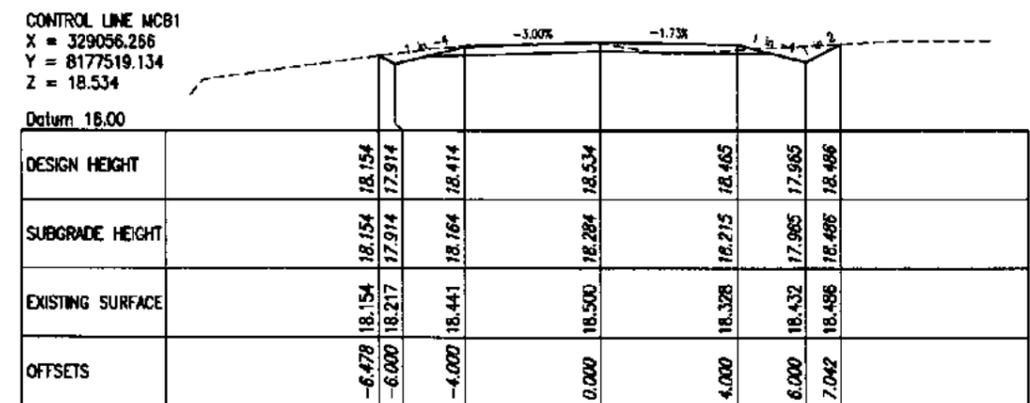
CHAINAGE 45.000



CHAINAGE 40.000



CHAINAGE 60.000

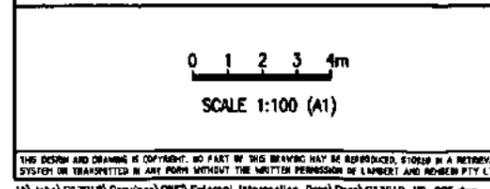


CHAINAGE 55.000

GENERAL NOTES:

- FOR LOCATION OF CONTROL LINES IN PLAN, REFER TO DRG. NO. C13018-GA-001 & C13018-CL-001.
- FOR PAVEMENT DETAILS, REFER TO DRG. NO. C13018-GA-001.
- FOR CONTROL LINES SETOUT TABLES, REFER TO DRG. NO. C13018-CL-001.

ISSUED FOR APPROVAL
21 Oct. 2013 - 5:50pm



No.	Date	By	Amendment	Checked
B	21/10/13	CD	ISSUED FOR APPROVAL	
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Project: CASSOWARY RIDGE SUBDEVELOPMENT
ACCESS INTERSECTION UPGRADE
CAPTAIN COOK HWY AND MCCrackEN RD

Client: LEO INTERNATIONAL GROUP

Drawn by: C.D.
Checked: A.P.
Scale: AS SHOWN

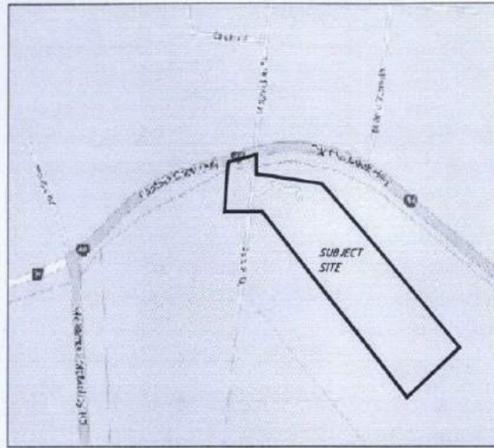
Date: 9/10/13

Sheet Size: A1
Drawing No.: C13018-XS-005

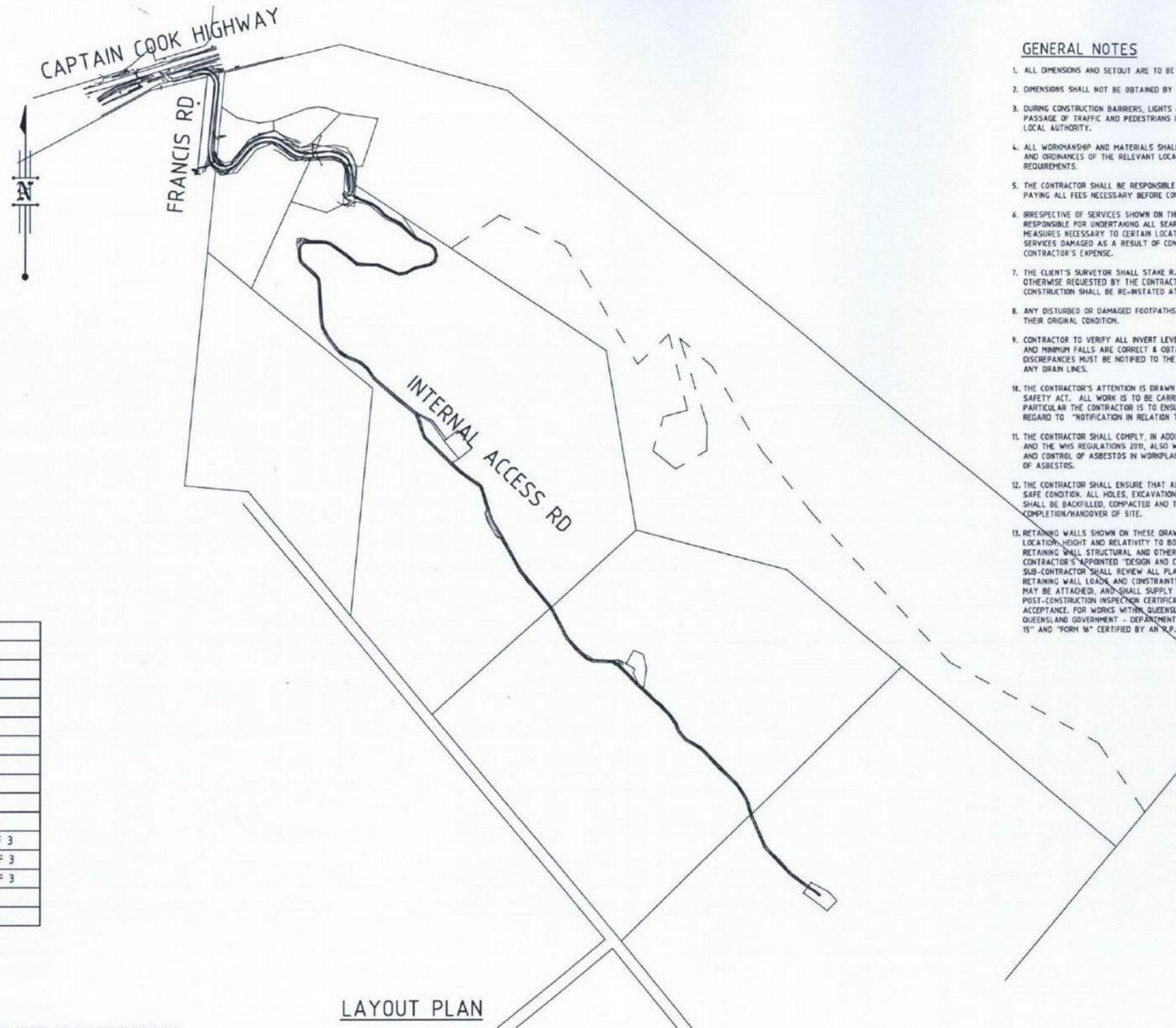
ANNOTATED CROSS SECTIONS (MCB1)
SHEET 2 OF 2

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CASSOWARY RIDGE SUBDIVISION



LOCALITY PLAN



LAYOUT PLAN

GENERAL NOTES

1. ALL DIMENSIONS AND SETOUT ARE TO BE CHECKED ON-SITE BEFORE WORK COMMENCES.
2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING.
3. DURING CONSTRUCTION BARRIERS, LIGHTS & SIGNS SHALL BE MAINTAINED TO ENSURE SAFE PASSAGE OF TRAFFIC AND PEDESTRIANS IN ACCORDANCE WITH THE REQUIREMENTS OF ALL LOCAL AUTHORITY.
4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH S.A.A. CODES & BY-LAWS AND ORDINANCES OF THE RELEVANT LOCAL AUTHORITY AND WORKPLACE HEALTH AND SAFETY REQUIREMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL RELEVANT AUTHORITIES AND PAYING ALL FEES NECESSARY BEFORE COMMENCING WORK.
6. IRRESPECTIVE OF SERVICES SHOWN ON THESE DRAWINGS THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERTAKING ALL SEARCHES, ORGANISING PIT-HOLDING AND ALL OTHER MEASURES NECESSARY TO CERTAIN LOCATION AND DEPTH OF EXISTING SERVICES. ANY SERVICES DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE RE-INSTATED AT THE CONTRACTOR'S EXPENSE.
7. THE CLIENT'S SURVEYOR SHALL STAKE R.P. BOUNDARIES PRIOR TO CONSTRUCTION UNLESS OTHERWISE REQUESTED BY THE CONTRACTOR. ANY PEGS DAMAGED OR LOST DURING CONSTRUCTION SHALL BE RE-INSTATED AT THE CONTRACTOR'S EXPENSE.
8. ANY DISTURBED OR DAMAGED FOOTPATHS AND PRIVATE PROPERTY SHALL BE REINSTATED TO THEIR ORIGINAL CONDITION.
9. CONTRACTOR TO VERIFY ALL INVERT LEVELS, SURFACE LEVELS, COVER OVER DRAINAGE LINES, AND MINIMUM FALLS ARE CORRECT & OBTAINABLE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES MUST BE NOTIFIED TO THE SUPERVISING ENGINEER PRIOR TO INSTALLATION OF ANY DRAIN LINES.
10. THE CONTRACTOR'S ATTENTION IS DRAWN TO THE REQUIREMENTS OF THE WORK HEALTH AND SAFETY ACT. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THIS ACT AND IN PARTICULAR THE CONTRACTOR IS TO ENSURE THE REQUIREMENTS OF THIS SPECIFICATION WITH REGARD TO "NOTIFICATION IN RELATION TO A NOTIFIABLE PROJECT" ARE FULFILLED.
11. THE CONTRACTOR SHALL COMPLY, IN ADDITION TO THE REQUIREMENTS OF THE WHS ACT 2011 AND THE WHS REGULATIONS 2011, ALSO WITH THE CODE OF PRACTICE FOR THE MANAGEMENT AND CONTROL OF ASBESTOS IN WORKPLACES AND CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS.
12. THE CONTRACTOR SHALL ENSURE THAT ALL WORKS ARE LEFT CLEAN, Tidy AND IN SAFE CONDITION. ALL HOLES, EXCAVATIONS AND OTHER CONSTRUCTION TRAFFIC DEPRESSIONS SHALL BE BACKFILLED, COMPACTED AND TRIMMED TO AN EVENLY GRASSED PROFILE PRIOR TO COMPLETION/HANDOVER OF SITE.
13. RETAINING WALLS SHOWN ON THESE DRAWINGS INDICATE ONLY THE RETAINING WALL TYPE, LOCATION, HEIGHT AND RELATIVITY TO BOUNDARIES OR OTHER KNOWN ELEMENTS. ALL RETAINING WALL STRUCTURAL AND OTHER SPECIFICATION SHALL BE DETAILED BY THE CONTRACTOR'S APPOINTED "DESIGN AND CONSTRUCT" SUB-CONTRACTOR. THIS APPOINTED SUB-CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS TO ENSURE THAT ALL RETAINING WALL LOADS AND CONSTRAINTS ARE ACCOMMODATED INCLUDING ANY FENCES WHICH MAY BE ATTACHED, AND SHALL SUPPLY THE SUPERVISING ENGINEER ALL DESIGN AND POST-CONSTRUCTION INSPECTION CERTIFICATIONS NECESSARY FOR RELEVANT LOCAL AUTHORITY ACCEPTANCE. FOR WORKS WITHIN QUEENSLAND THIS SHALL INCLUDE (BUT NOT LIMITED TO) QUEENSLAND GOVERNMENT - DEPARTMENT OF LOCAL GOVERNMENT AND PLANNING IDAS "FORM 15" AND "FORM 16" CERTIFIED BY AN "R.P.E.O. ENGINEER".

DRAWING INDEX

DRAWING NO.	DRAWING DESCRIPTION
C13018-C000	COVER SHEET AND DRAWING LIST
C13018-C001	LAYOUT PLAN - SHEET 1 OF 5
C13018-C002	LAYOUT PLAN - SHEET 2 OF 5
C13018-C003	LAYOUT PLAN - SHEET 3 OF 5
C13018-C004	LAYOUT PLAN - SHEET 4 OF 5
C13018-C005	LAYOUT PLAN - SHEET 5 OF 5
C13018-C006	FRANCIS ROAD LONGITUDINAL SECTION
C13018-C007	FRANCIS ROAD CROSS SECTIONS - SHEET 1 OF 3
C13018-C008	FRANCIS ROAD CROSS SECTIONS - SHEET 2 OF 3
C13018-C009	FRANCIS ROAD CROSS SECTIONS - SHEET 3 OF 3
C13018-C010	INTERNAL ACCESS ROAD LONGITUDINAL SECTION - SHEET 1 OF 3
C13018-C011	INTERNAL ACCESS ROAD LONGITUDINAL SECTION - SHEET 2 OF 3
C13018-C012	INTERNAL ACCESS ROAD LONGITUDINAL SECTION - SHEET 3 OF 3
C13018-C013	INTERNAL ACCESS ROAD CROSS SECTIONS - SHEET 1 OF 2
C13018-C014	INTERNAL ACCESS ROAD CROSS SECTIONS - SHEET 2 OF 2

EXISTING SERVICES

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DRAWING IN PROGRESS

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A	11/10/13	MJ	90% PRELIMINARY ISSUE	

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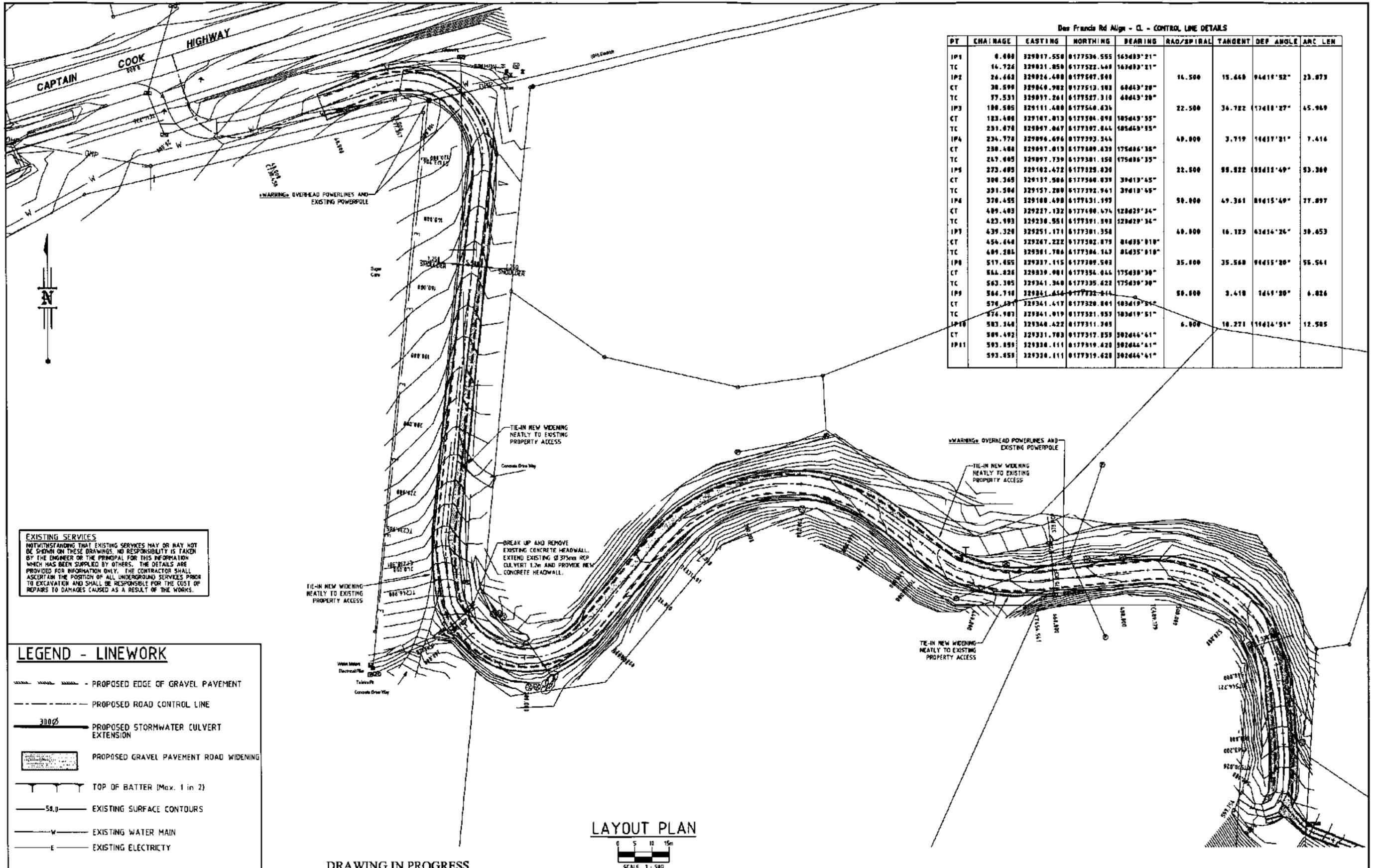


Project: CASSOWARY RIDGE SUBDIVISION

Title: COVER SHEET AND DRAWING LIST

Client: **LEO INTERNATIONAL GROUP**

Draftsperson: MJ	Checked: AP	Sheet Size: A1	Drawing No. C13018-C000
Designer: MJ	Approved: R.P.E.O. No.	Scale: NTS	Date: October 2013



Des Francis Rd Align - CL - CONTROL LINE DETAILS

PT	CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL	TANGENT	DEF ANGLE	ARC LEN
IP1	0.000	329017.550	0177536.555	163403°21"				
TC	16.726	329021.050	0177522.669	163403°21"				
IP2	26.662	329026.400	0177507.900		16.500	15.660	94419°52"	23.073
CT	30.599	329040.902	0177513.103	60443°20"				
TC	77.531	329019.261	0177527.310	60443°20"				
IP3	100.505	329111.400	0177540.436		22.500	36.782	17410°27"	45.969
CT	103.400	329107.013	0177504.090	105643°35"				
TC	231.078	329007.067	0177307.844	105643°35"				
IP4	234.770	329006.696	0177303.344		40.000	3.719	10437°21"	7.416
CT	230.400	329007.013	0177309.439	175406°38"				
TC	267.405	329007.739	0177301.150	175406°35"				
IP5	273.405	329102.472	0177325.030		22.000	88.822	95412°49"	93.360
CT	300.345	329137.506	0177560.039	39413°45"				
TC	301.504	329157.200	0177392.961	39413°45"				
IP6	370.405	329100.490	0177431.197		50.000	49.361	00415°40"	77.097
CT	409.403	329227.132	0177400.674	120423°34"				
TC	423.993	329230.951	0177391.993	120423°34"				
IP7	439.320	329251.171	0177301.350		40.000	16.183	61414°26"	30.453
CT	454.444	329267.222	0177302.079	01435°10"				
TC	409.204	329301.706	0177304.167	01435°10"				
IP8	517.405	329337.115	0177309.503		35.000	35.560	00415°20"	55.561
CT	566.026	329339.001	0177354.044	175430°30"				
TC	563.305	329341.360	0177335.622	175430°30"				
IP9	564.710	329341.414	0177332.414		50.000	3.410	1641°20"	6.026
CT	576.407	329341.417	0177320.001	103419°21"				
TC	574.907	329341.019	0177321.957	103419°21"				
IP10	583.144	329340.422	0177311.703		6.000	10.271	10414°51"	12.505
CT	589.492	329331.703	0177317.059	302444°41"				
IP11	593.059	329330.111	0177319.420	302444°41"				
	593.059	329330.111	0177319.420	302444°41"				

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LEGEND - LINEWORK

- PROPOSED EDGE OF GRAVEL PAVEMENT
- PROPOSED ROAD CONTROL LINE
- PROPOSED STORMWATER CULVERT EXTENSION
- PROPOSED GRAVEL PAVEMENT ROAD WIDENING
- TOP OF BATTER (Max. 1 in 2)
- EXISTING SURFACE CONTOURS
- EXISTING WATER MAIN
- EXISTING ELECTRICITY

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Project: CASSOWARY RIDGE SUBDIVISION

Client: **LEO INTERNATIONAL GROUP**

Draftsperson: MJ

Checked: AP

Designer: MJ

Approved: RPEG No.

Scale: 1:500

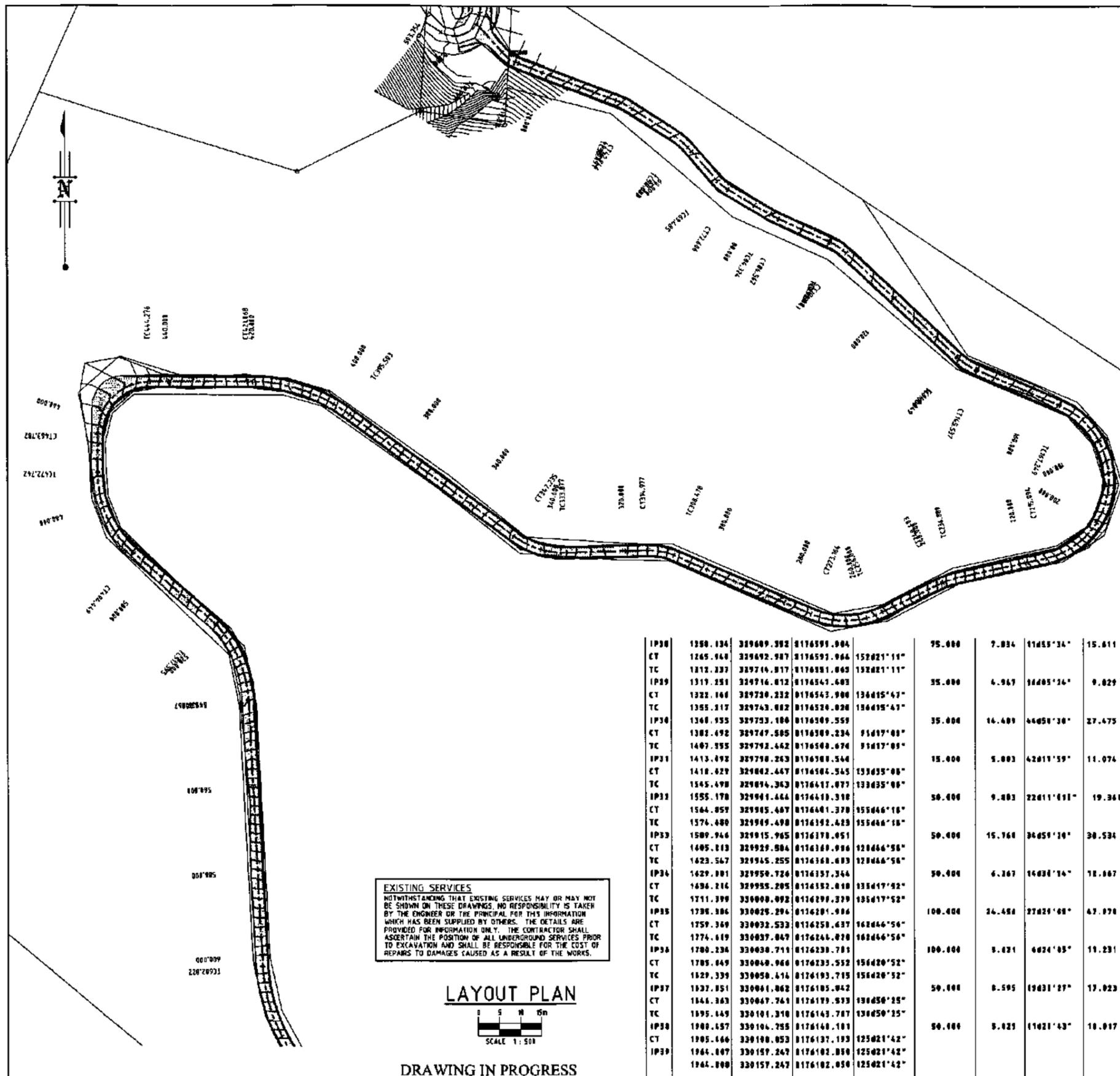
Date: October 2013

Sheet Size: A1

Drawing No.: C13018-C001

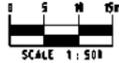
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LAYOUT PLAN



DRAWING IN PROGRESS

Der Access Track - CL - CONTROL LINE DETAILS

PT	CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL	TANGENT	DEF ANGLE	ARC LEN
EP1	0.000	329348.195	0173319.253	130019°05'				
TC	0.997	329348.197	0173312.534	130019°05'	10.000	2.456	27435°59'	4.013
IP1	11.495	329347.011	0173301.699					
CT	13.014	329350.100	0173309.031	110043°06'				
TC	30.497	329373.195	0173301.090	110043°06'				
IP2	40.722	329375.204	0173300.900					
CT	42.944	329377.140	0173299.076	123427°52'	20.000	2.234	12444°47'	4.449
TC	56.040	329387.077	0173292.513	123427°52'				
IP4	56.034	329388.744	0173291.412					
CT	58.021	329390.064	0173289.912	130430°27'	15.000	1.990	15410°35'	3.973
TC	69.480	329397.111	0173281.907	130430°27'				
IP1	71.045	329390.150	0173280.727					
CT	72.600	329399.502	0173279.922	130441°43'	10.000	1.573	17453°44'	3.120
TC	81.324	329409.572	0173273.920	130445°43'				
IP1	85.443	329410.534	0173273.354					
CT	86.562	329411.554	0173272.094	114421°04'	20.000	2.120	4424°37'	2.330
TC	99.020	329423.307	0173267.547	114421°04'				
IP1	101.984	329425.625	0173266.525					
CT	104.441	329427.434	0173264.031	133407°05'	15.000	2.470	10445°59'	4.013
TC	140.369	329453.645	0173260.200	133407°05'				
IP1	142.943	329455.550	0173259.497					
CT	145.537	329457.964	0173257.440	115418°07'	15.000	2.620	19440°50'	5.100
TC	167.249	329477.994	0173250.071	115418°07'				
IP1	191.171	329532.000	0173205.540					
CT	215.004	329474.674	0173182.066	217434°48'	19.000	50.941	144416°30'	17.044
TC	236.009	329453.191	0173180.170	257434°45'				
IP10	238.604	329451.627	0173181.709					
CT	240.403	329449.007	0173180.994	243451°04'	15.000	1.006	13043°41'	3.594
TC	250.000	329435.070	0173180.135	243451°04'				
IP11	264.582	329427.684	0173176.122					
CT	275.144	329419.242	0173173.701	240401°21'	20.000	9.151	49410°17'	17.164
TC	300.430	329384.741	0173169.512	240401°21'				
IP12	311.725	329383.703	0173169.003					
CT	314.977	329380.403	0173169.699	240411°50'	15.000	3.301	24449°24'	6.499
TC	339.037	329374.513	0173169.104	240411°50'				
IP13	340.050	329384.571	0173169.000					
CT	347.235	329368.997	0173168.011	346427°53'	20.000	6.930	30415°36'	13.357
TC	395.503	329310.170	0173164.690	346427°53'				
IP14	400.203	329299.534	0173164.505					
CT	421.000	329286.297	0173164.529	249450°44'	40.000	13.230	34437°00'	25.565
TC	444.236	329263.009	0173164.467	249450°44'				
IP15	454.019	329250.710	0173164.434					
CT	449.702	329250.623	0173162.042	100420°17'	12.500	12.371	09426°27'	19.504
TC	472.742	329250.555	0173163.103	100420°17'				
IP16	480.396	329250.460	0173161.512					
CT	494.449	329259.295	0173163.955	130461°10'	25.000	11.591	49444°59'	21.707
TC	517.595	329276.006	0173163.045	130461°10'				
IP17	528.731	329285.744	0173161.101					
CT	539.047	329246.342	0173159.409	177405°24'	27.500	11.707	44424°07'	22.271
TC	602.022	329229.530	0173160.535	177405°24'				
IP18	616.161	329200.109	0173160.004					
CT	625.591	329204.079	0173163.397	144436°19'	40.000	11.453	32429°07'	22.479
TC	656.931	329215.003	0173160.776	144436°19'				
IP19	660.000	329321.603	0173164.515					
CT	679.069	329332.121	0173164.095	112453°44'	40.000	11.361	31462°39'	22.130
TC	701.505	329352.071	0173162.339	112453°44'				
IP20	712.205	329362.900	0173162.046					
CT	723.005	329369.696	0173164.237	143434°36'	40.000	10.073	30440°34'	21.420
TC	739.056	329379.561	0173160.597	143434°36'				
IP21	744.990	329382.505	0173160.525					
CT	750.004	329386.409	0173163.329	129409°20'	40.000	5.460	14425°14'	10.047
TC	820.300	329451.021	0174960.741	129409°20'				
IP22	840.540	329456.041	0174936.043					
CT	847.772	329459.103	0174920.939	142410°13'	25.000	7.440	33400°53'	14.444
TC	874.903	329467.936	0174901.145	142410°13'				
IP23	880.615	329469.109	0174907.595					
CT	884.260	329471.731	0174894.987	134423°54'	15.000	3.727	27456°20'	7.306
TC	943.210	329520.175	0174839.767	134423°54'				
IP24	947.297	329531.101	0174836.001					
CT	971.304	329534.436	0174834.039	125401°31'	50.000	4.094	9422°02'	0.175
TC	1007.307	329563.936	0174813.073	125401°31'				
IP25	1012.420	329560.200	0174810.070					
CT	1017.484	329569.707	0174805.055	143429°09'	15.000	5.231	30423°13'	10.047
TC	1045.209	329583.203	0174740.049	143429°09'				
IP26	1070.999	329504.936	0174754.494					
CT	1074.788	329507.034	0174749.447	150413°00'	50.000	5.015	13410°44'	11.570
TC	1170.401	329434.334	0174660.199	150413°00'				
IP27	1194.009	329437.514	0174662.424					
CT	1193.216	329441.406	0174657.673	140405°30'	75.000	6.423	9443°14'	12.016
TC	1250.320	329400.943	0174600.943	140405°30'				
IP28	1256.134	329409.352	0174599.904					

IP30	1280.134	329409.352	0174599.904		75.000	7.034	114453°34'	15.011
CT	1245.649	329402.507	0174591.904	152421°11'				
TC	1212.237	329714.017	0174001.005	152421°11'				
IP31	1319.251	329716.012	0174544.403		35.000	4.947	104405°16'	0.029
CT	1322.140	329720.232	0174543.900	134415°43'				
TC	1305.217	329743.002	0174526.020	134415°43'				
IP32	1340.935	329753.100	0174509.559		35.000	14.409	444050°30'	27.475
CT	1302.492	329747.505	0174509.234	91417°03'				
TC	1407.395	329702.442	0174500.674	91417°03'				
IP33	1413.492	329700.243	0174500.544		15.000	5.003	42417°59'	11.074
CT	1410.629	329682.447	0174504.545	133435°00'				
TC	1545.498	329694.303	0174417.077	133435°00'				
IP34	1555.170	329694.444	0174419.310		50.000	9.403	22411°01'	19.341
CT	1564.059	329695.407	0174401.370	155446°10'				
TC	1574.400	329695.490	0174392.420	155446°10'				
IP35	1589.946	329695.965	0174370.451		50.000	15.768	344051°10'	30.534
CT	1405.013	329699.504	0174369.996	120446°50'				
TC	1423.547	329695.255	0174360.403	120446°50'				
IP36	1429.001	329690.724	0174357.344		50.000	4.367	144031°14'	10.047
CT	1434.214	329695.205	0174352.040	133447°52'				
TC	1711.399	330000.092	0174299.379	135417°52'				
IP37	1730.306	330025.204	0174201.004		100.000	24.454	274021°08'	47.070
CT	1759.349	330032.533	0174250.437	162446°56'				
TC	1774.619	330037.049	0174244.070	162446°56'				
IP38	1780.236	330030.711	0174230.701		100.000	9.021	40421°03'	11.231
CT	1785.049	330040.960	0174233.552	154420°52'				
TC	1829.339	330050.414	0174193.715	154420°52'				
IP39	1837.051	330061.062	0174185.942		50.000	0.595	19431°27'	17.023
CT	1844.363	330067.741	0174179.573	130450°25'				
TC	1895.145	330101.310	0174143.787	130450°25'				
IP40	1900.657	330104.755	0174140.101		50.000	9.423	114021°43'	10.017
CT	1905.466	330100.053	0174137.193	1254021°42'				
TC	1944.007	330157.247	0174102.050	1254021°42'				
IP41	1944.000	330157.247	0174102.050	1254021°42'				

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Project: CASSOWARY RIDGE SUBDIVISION

Title: LAYOUT PLAN - SHEET 2 OF 5

Client: LEO INTERNATIONAL GROUP

Draftsperson: MJ
 Checked: AP
 Designer: MJ
 Approved: RPEL
 Scale: AS SHOWN
 Date: October 2013

Sheet: A1
 Drawing No.: C13018-C002

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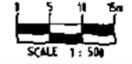
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DRAWING IN PROGRESS

LAYOUT PLAN



				LAMBERT & REHBEIN ENGINEERS • MANAGERS • SCIENTISTS		Project: CASSOWARY RIDGE SUBDIVISION		LEO INTERNATIONAL GROUP																	
				LEVEL 2, 26 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1833 CAIRNS 4878 A.C.N. 104 749 320		Telephone (07) 4031 6788 Facsimile (07) 4031 6999 Email: mail@lrr.net.au		Draftsperson: MJ		Checked: AP		Sheet Size: A1		Drawing No. C13018-C005											
				Title: LAYOUT PLAN - SHEET 50F 5		Designer: MJ		Approver: RPER No.		Scale: AS SHOWN		Date: October 2013		A											
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No.	Date	By	Amendment	Checked																					
A	11/10/13	MJ	100% PRELIMINARY ISSUE																						

NOMINAL PAVEMENT DESIGN - FRANCIS ROAD WIDENING
 - NOMINAL "RURAL<100vpd" FLEXIBLE PAVEMENT DESIGN - FNQROC STANDARDS

- 150mm CBR 4 BASE COURSE
TOTAL BOX DEPTH = 150mm
- IT SHOULD BE NOTED THAT THIS IS A NOMINAL PAVEMENT DESIGN ONLY. ACTUAL PAVEMENT COMPOSITION SHALL BE DETERMINED BY THE SUPERINTENDENT FOLLOWING SOAKED CBR TESTING OF SUBGRADE BY AN N.S.T.A. APPROVED GEOTECHNICAL CONSULTANT.
- THE CONTRACTOR SHALL BOX ROAD PAVEMENT TO MINIMUM BOX DEPTH OF 210mm PRIOR TO UNDERTAKING SOAKED CBR TESTING OF SUB-GRADE. FOLLOWING CONFIRMATION OF SOAKED CBR TESTING OF THE SUB-GRADE THE BOX SHALL BE FURTHER EXCAVATED TO FINAL DEPTH.

LENGTH
GRADE
HORIZONTAL DATA

DATUM 10.000

EOB (LHS)				18.579	17.854	19.287	20.377	21.618	22.673	23.664	24.742	26.144	26.745	27.951	29.211	30.702	31.652	31.667	32.368	32.661	33.297	33.857	34.689	35.658	36.288	36.741	37.215	37.864	38.882	40.548	42.084	44.223
EOB (RHS)		21.983	19.588	18.303	19.651	20.572	21.589	22.627	23.664	24.742	26.144	26.745	27.951	29.211	30.702	31.652	31.667	32.368	32.661	33.297	33.857	34.689	35.658	36.288	36.741	37.215	37.864	38.882	40.548	42.084	44.223	
EXISTING SURFACE LEVEL	16.351	16.59	17.822	18.66	18.660	19.777	20.747	21.72	22.754	23.638	24.779	26.286	26.813	27.857	28.773	29.75	31.175	31.762	32.65	33.113	33.81	34.729	35.691	36.317	36.634	37.104	37.899	38.864	40.642	42.12	42.953	
CONTROL LINE FINISHED LEVEL	16.351	16.59	17.822	18.66	18.660	19.777	20.747	21.72	22.754	23.638	24.779	26.286	26.813	27.857	28.773	29.75	31.175	31.762	32.65	33.113	33.81	34.729	35.691	36.317	36.634	37.104	37.899	38.864	40.642	42.12	42.953	
CONTROL LINE CHAINAGE	8.898	21.800	48.010	61.808	81.000	101.800	124.000	147.800	172.800	198.000	224.000	251.000	278.000	306.000	334.000	362.000	390.000	418.000	446.000	474.000	502.000	530.000	558.000	586.000	614.000	642.000	670.000	698.000	726.000	754.000	782.000	

REFER EXTERNAL ROADWORKS DRAWINGS FOR GRADING DETAILS

NEW EDGE OF GRAVEL PAVEMENT (LHS)
NEW EDGE OF GRAVEL PAVEMENT (RHS)

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LONGITUDINAL SECTION

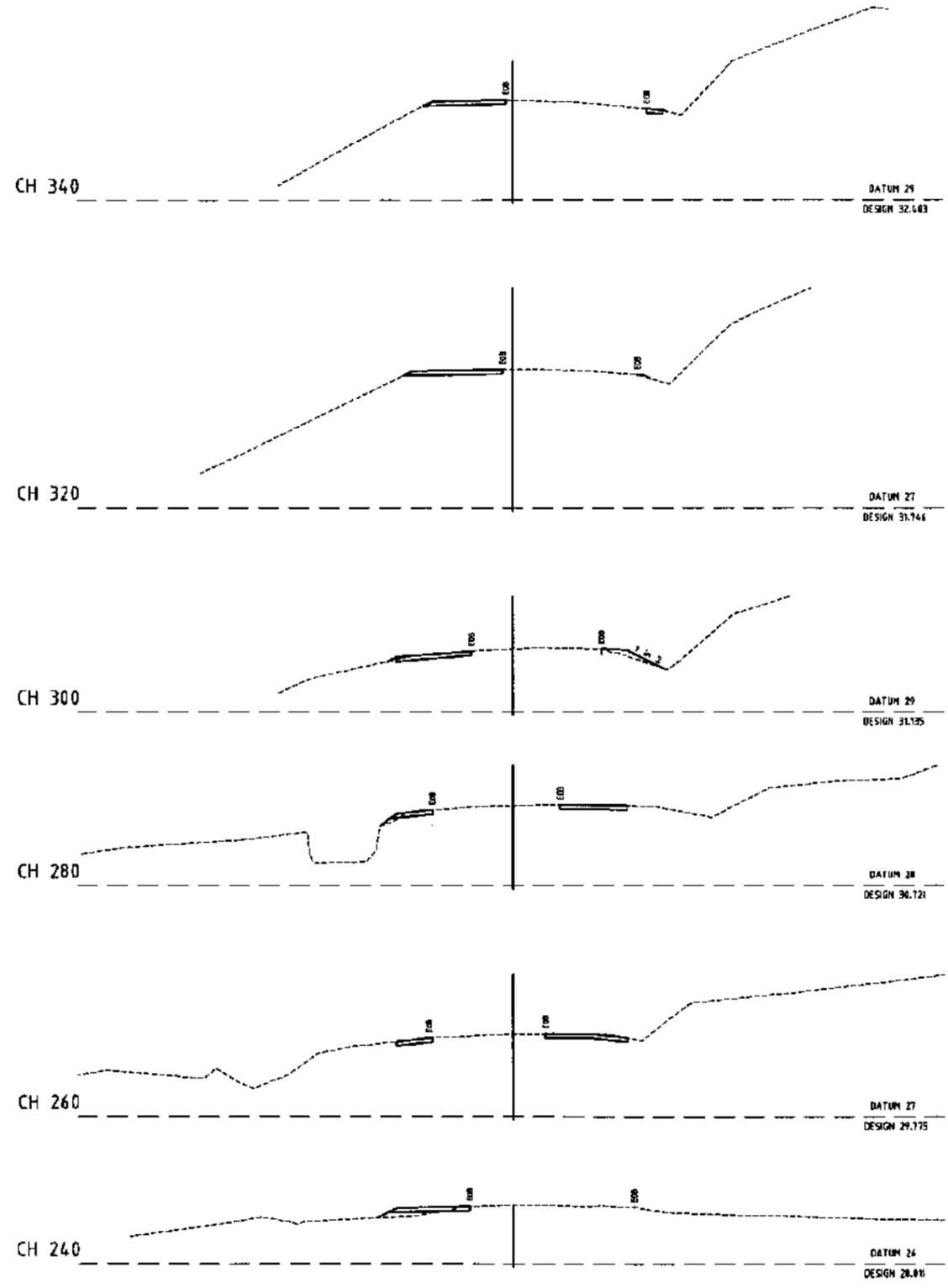
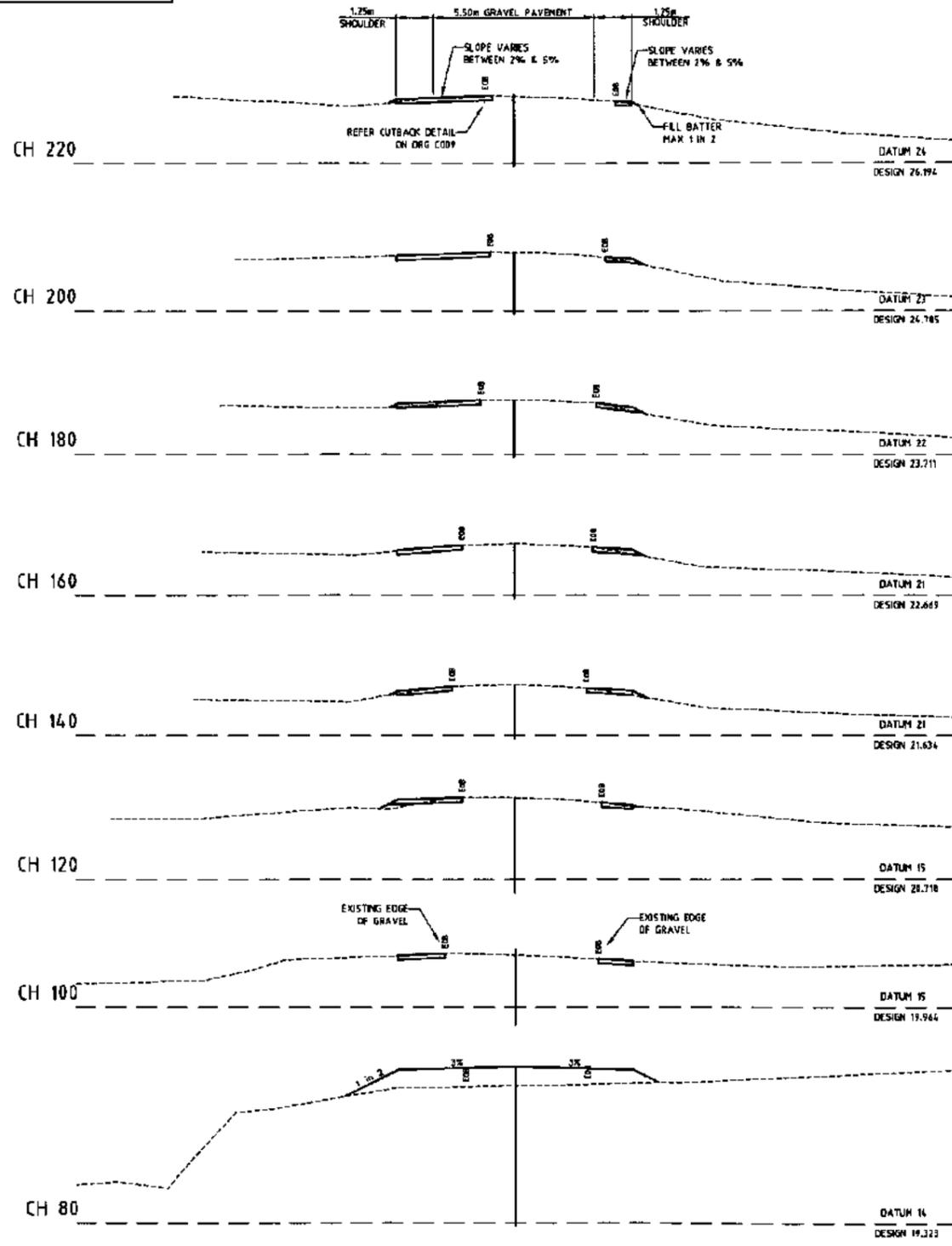


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				LEVEL 2, 26 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1638 CAIRNS 4870 A.C.N. 104 749 320		Telephone (07) 4331 6388 Facsimile (07) 4331 6399 Email mail@lar.net.au		Title: FRANCIS ROAD LONGITUDINAL SECTION	
						Draftsperson: MJ		Checked: AP	
						Designer: MJ		Approved RPEQ No:	
						Scale: AS SHOWN		Date: October 2013	
						Sheet Size: A1		Drawing No: C13018-C006	

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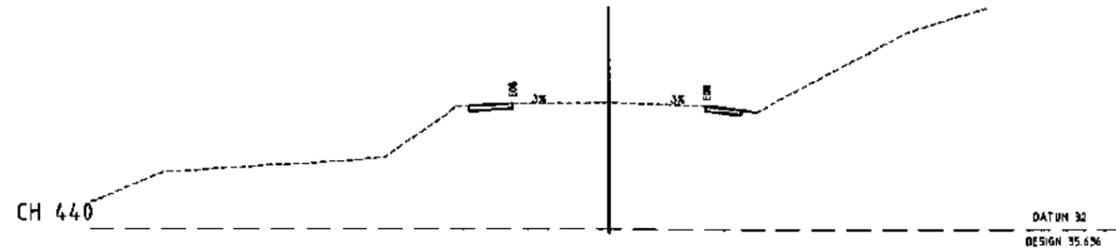
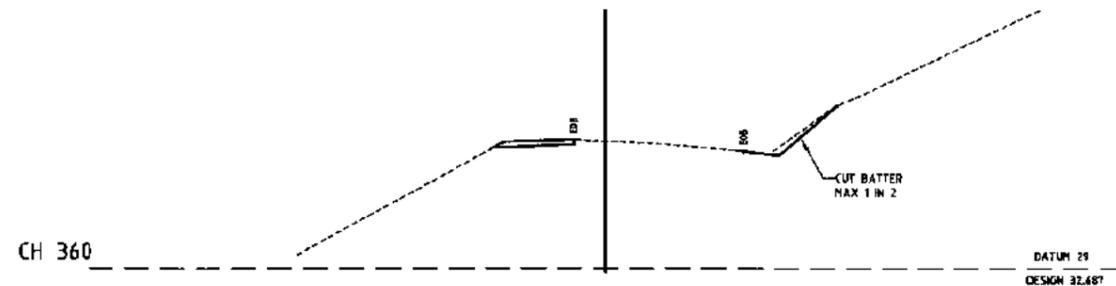
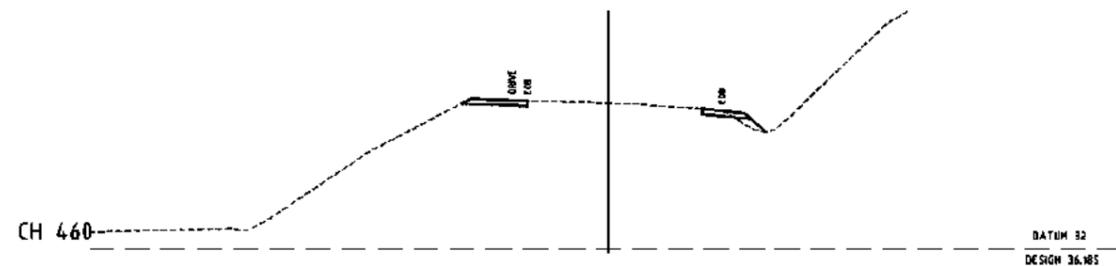
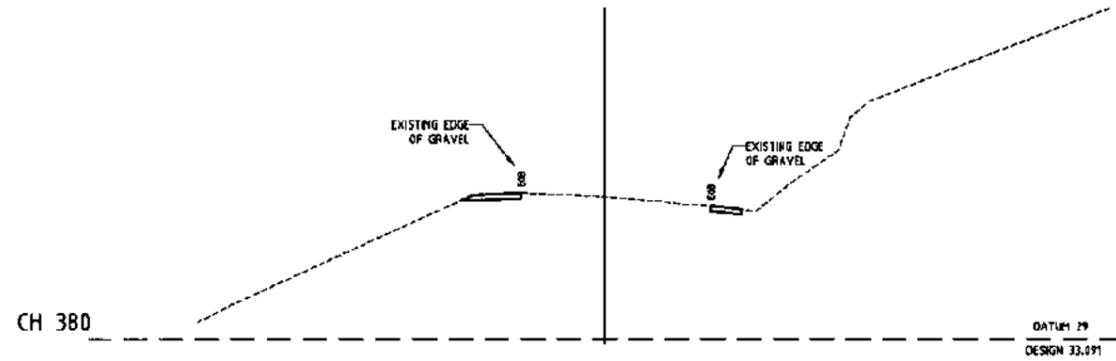
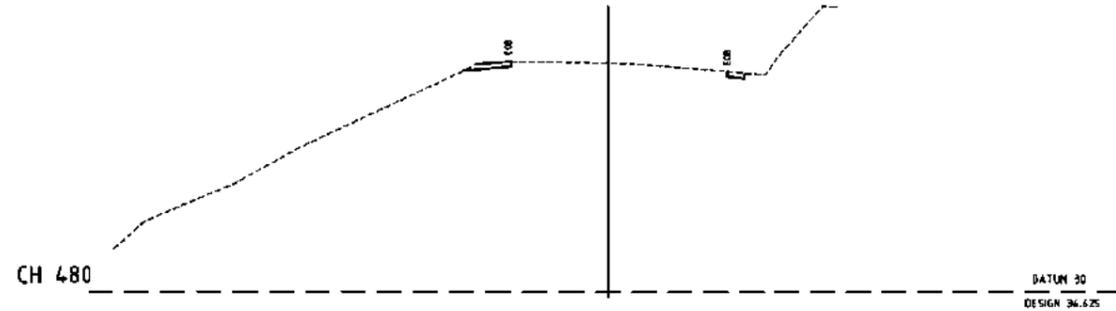
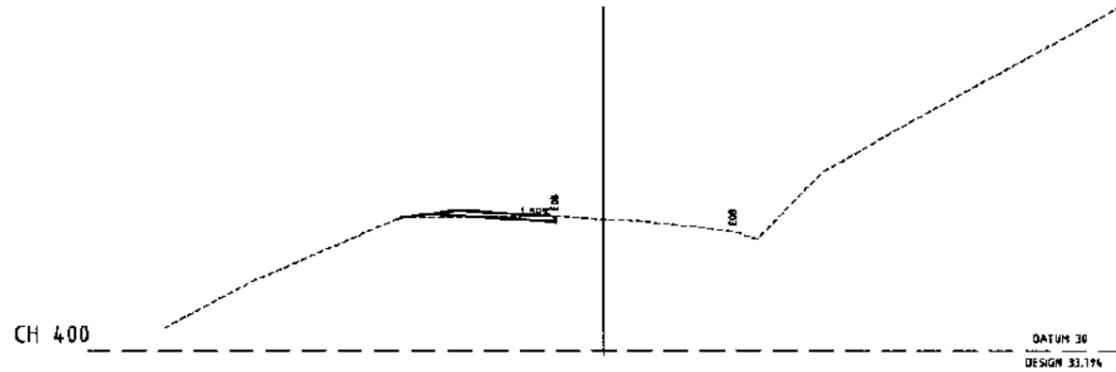
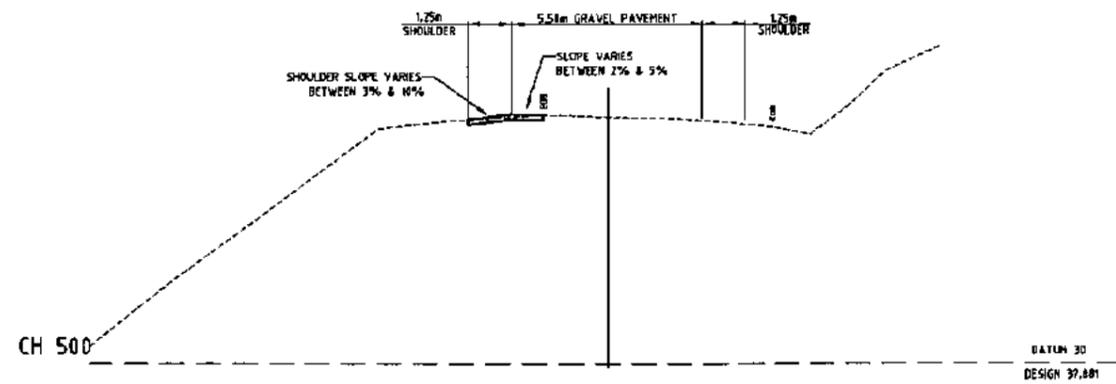
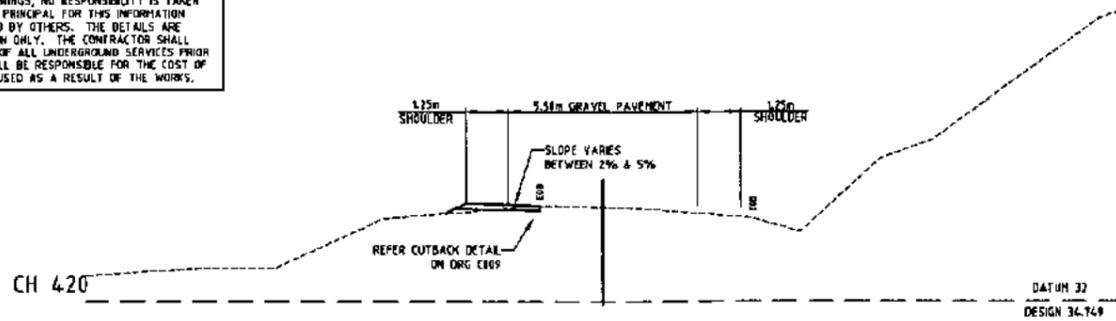
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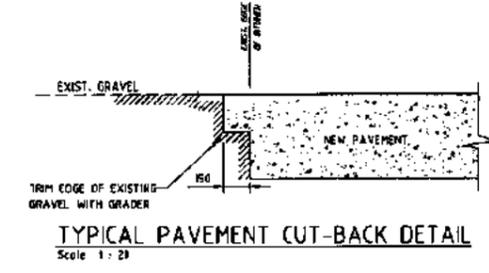
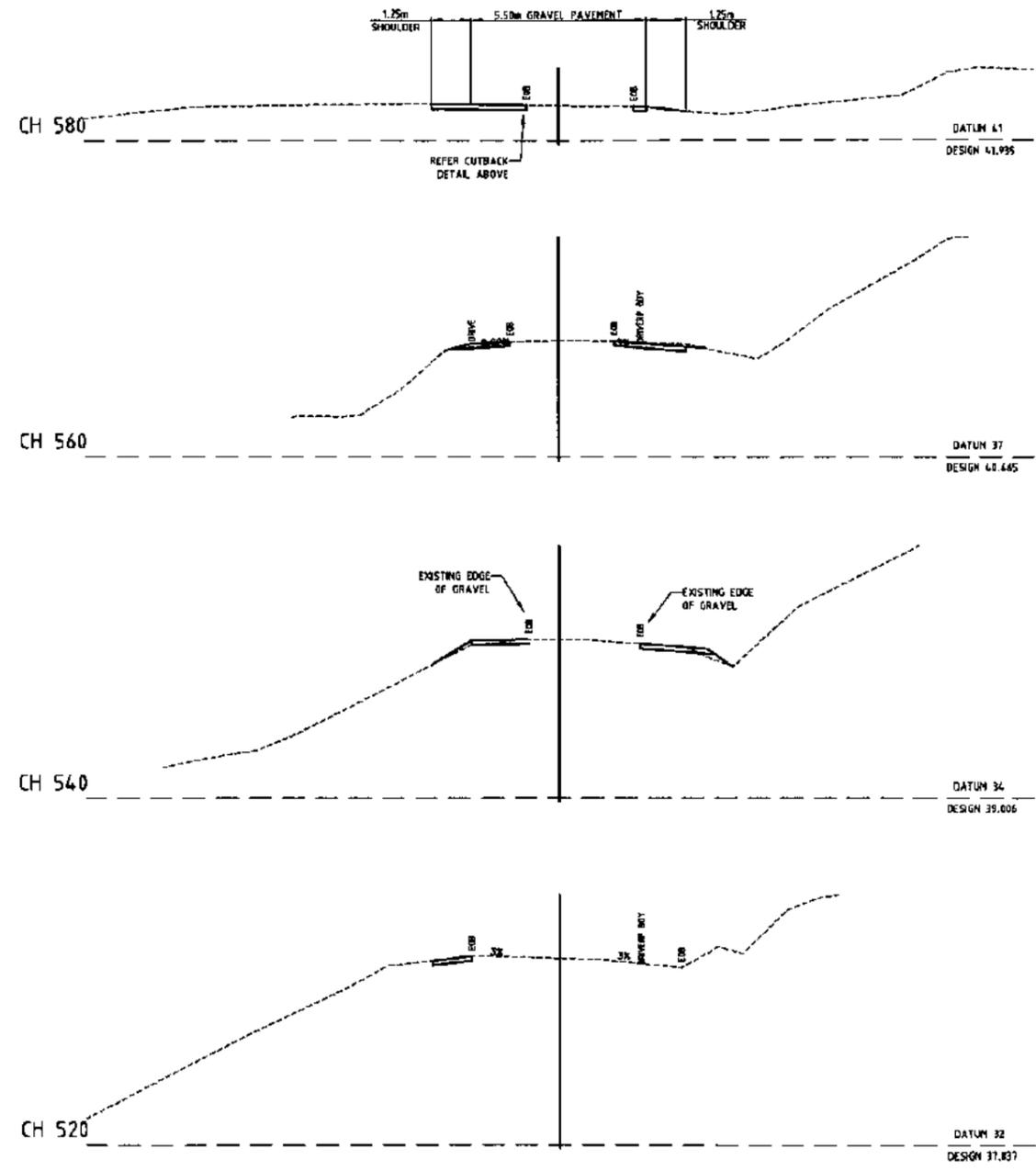


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No.	Date	By	Amendment	Checked																	
A	11/10/13	MJ	90% PRELIMINARY ISSUE																		

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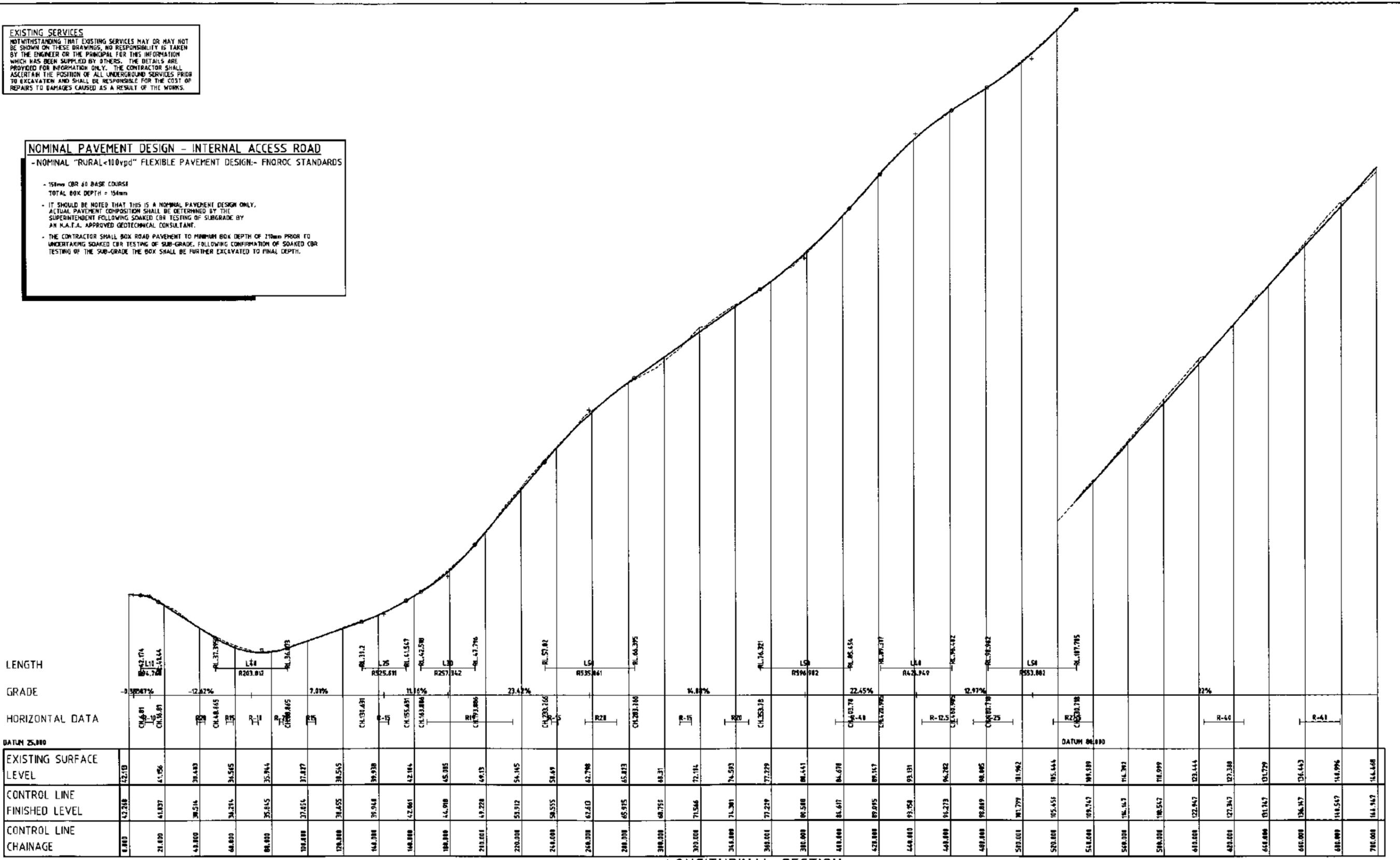
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No.	Date	By	Amendment	Checked				
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NOMINAL PAVEMENT DESIGN - INTERNAL ACCESS ROAD
 - NOMINAL "RURAL<100vpd" FLEXIBLE PAVEMENT DESIGN:- FNQROC STANDARDS

- 150mm CBR #1 BASE COURSE
 TOTAL BOX DEPTH = 150mm
- IT SHOULD BE NOTED THAT THIS IS A NOMINAL PAVEMENT DESIGN ONLY. ACTUAL PAVEMENT COMPOSITION SHALL BE DETERMINED BY THE SUPERINTENDENT FOLLOWING SOAKED CBR TESTING OF SUBGRADE BY AN N.S.A. APPROVED GEOTECHNICAL CONSULTANT.
- THE CONTRACTOR SHALL BOX ROAD PAVEMENT TO MINIMUM BOX DEPTH OF 210mm PRIOR TO UNDERTAKING SOAKED CBR TESTING OF SUB-GRADE. FOLLOWING CONFIRMATION OF SOAKED CBR TESTING OF THE SUB-GRADE THE BOX SHALL BE FURTHER EXCAVATED TO FINAL DEPTH.



LENGTH
 GRADE
 HORIZONTAL DATA
 DATUM 25.000

EXISTING SURFACE LEVEL	CONTROL LINE FINISHED LEVEL	CONTROL LINE CHAINAGE
22.13	42.248	0.000
41.056	41.837	21.000
38.483	38.514	43.000
36.545	34.216	64.000
35.944	35.845	84.000
37.877	37.856	104.000
38.545	38.555	124.000
36.938	36.948	144.000
42.864	42.861	164.000
45.085	44.908	184.000
49.13	49.228	210.000
54.145	53.912	220.000
58.49	58.555	240.000
62.798	62.613	264.000
65.823	65.915	280.000
68.31	68.750	300.000
72.184	71.546	320.000
74.593	74.381	348.000
77.229	77.229	380.000
86.441	86.588	380.000
84.678	84.617	408.000
89.167	89.095	428.000
93.131	93.058	448.000
96.282	96.273	468.000
98.885	98.889	488.000
101.962	101.799	510.000
105.444	105.451	520.000
109.089	109.147	548.000
114.387	114.387	568.000
118.999	118.547	588.000
123.444	122.947	610.000
127.388	127.247	620.000
131.729	131.247	648.000
136.443	136.347	660.000
141.996	141.547	680.000
146.468	144.347	700.000

LONGITUDINAL SECTION
 SCALES:-
 VERT. 1 : 20
 HORIZ. 1 : 1000

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Project: CASSOWARY RIDGE SUBDIVISION
 Client: LEO INTERNATIONAL GROUP

Design: INTERNAL ACCESS ROAD
 LONGITUDINAL SECTION Sheet 1 of 3

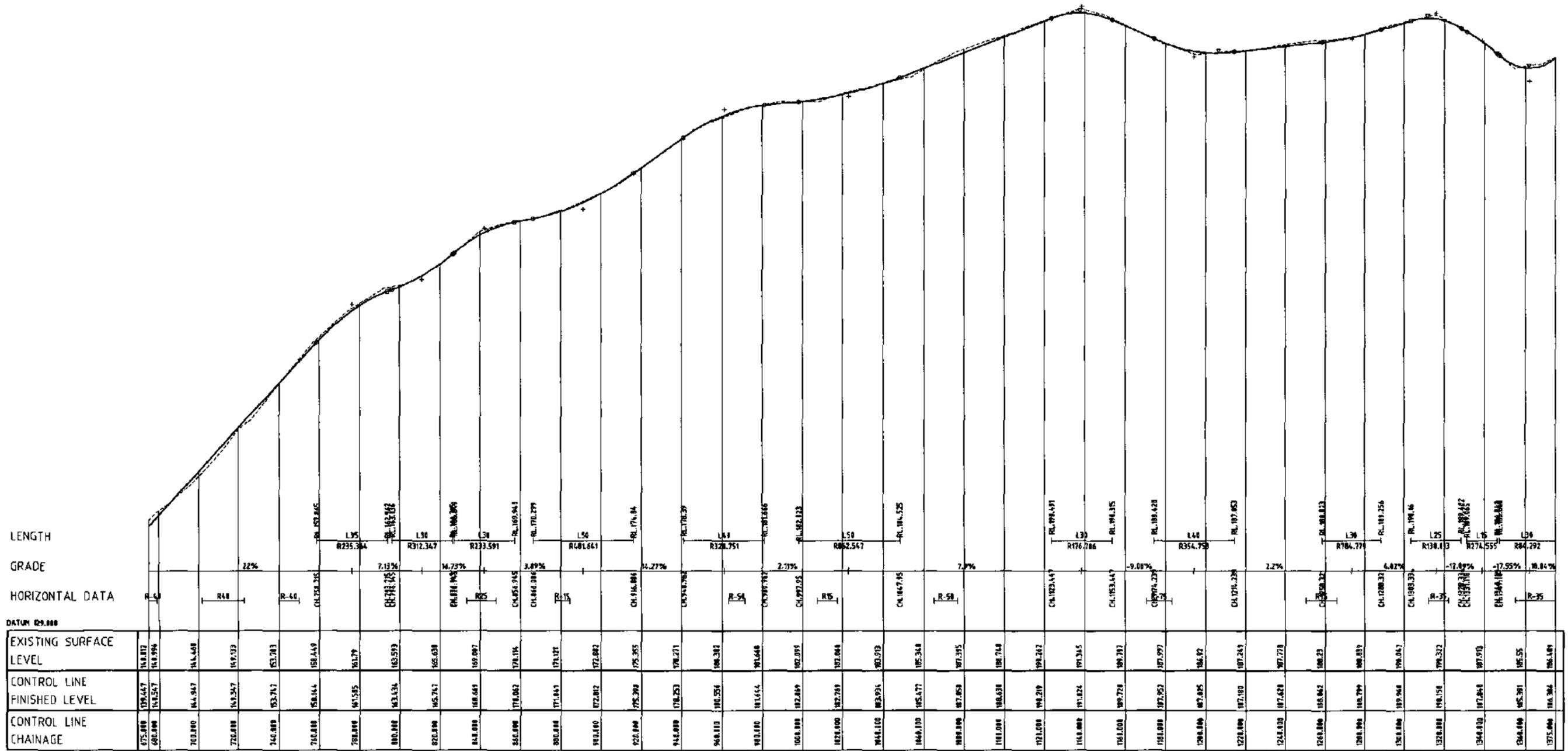
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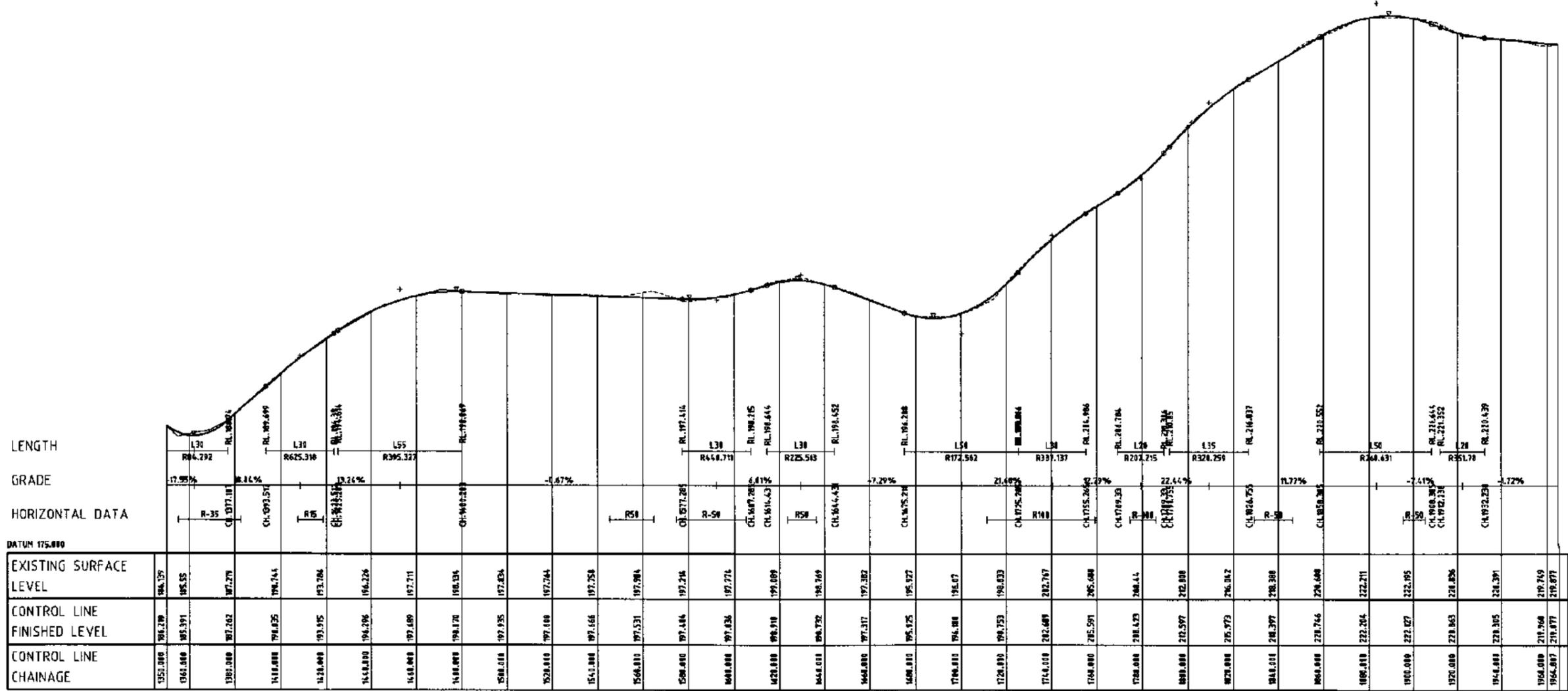


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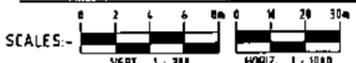
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LONGITUDINAL SECTION



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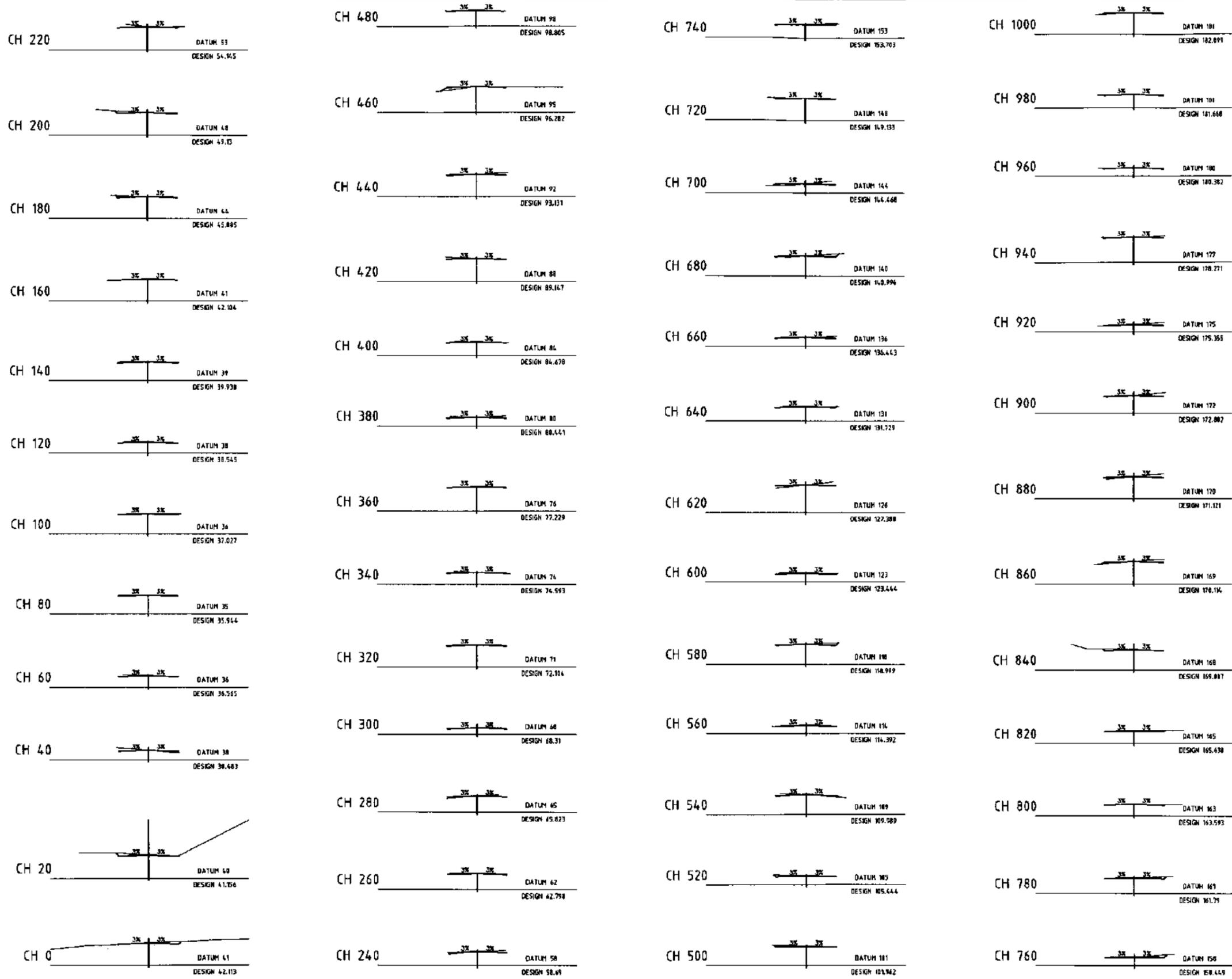
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Project: CASSOWARY RIDGE SUBDIVISION
 Title: INTERNAL ACCESS ROAD
 LONGITUDINAL SECTION Sheet 3 of 3

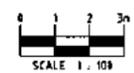
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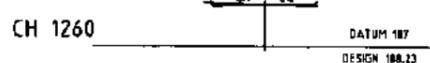
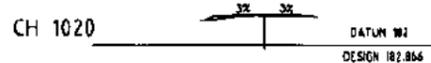
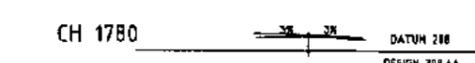
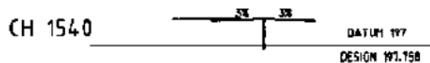
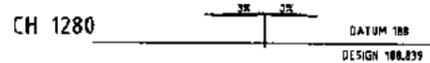
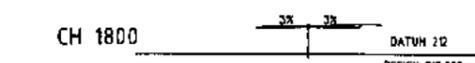
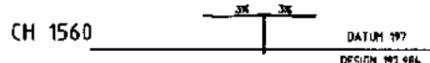
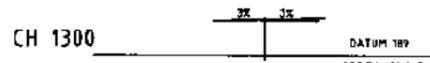
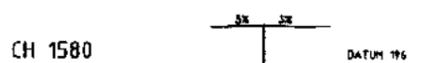
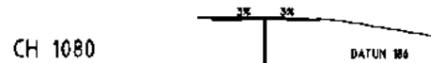
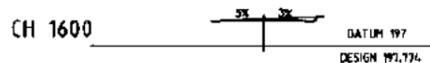
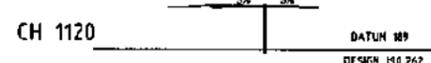
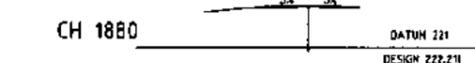
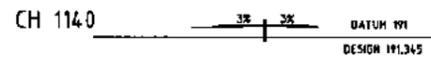
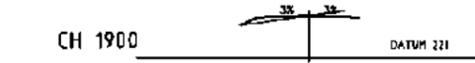
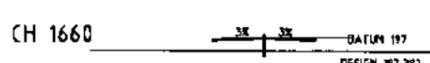
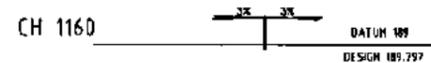
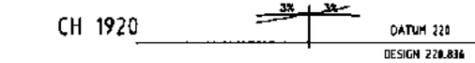
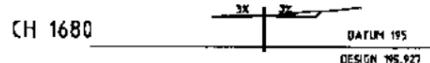
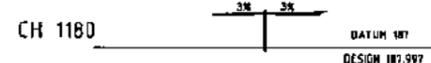
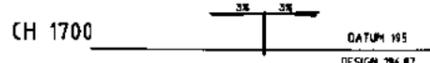
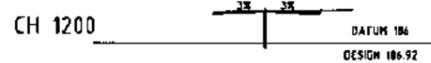
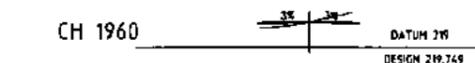
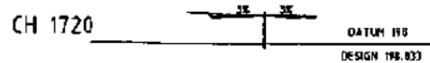
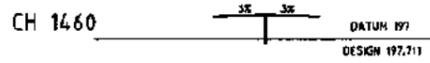
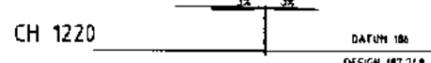
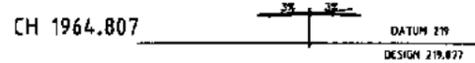
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				<p>Level: 2, 26 FLORENCE STREET CAIRNS QLD 4870 P.O. BOX 1838 CAIRNS 4878 A.C.N. 106 749 320</p>		<p>Designer: MJ Scale: 1:100 Date: October 2013</p>		<p>Draftsperson: MJ Checked: AP Approved: RPEO Drawing No. A1 C13018-C013</p>	
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				Title: INTERNAL ACCESS ROAD CROSS SECTIONS Sheet 2 of 2		Draftsperson: MJ Checked: AP Designer: MJ Approved: RFD Scale: 1:100 Date: October 2013		Sheet Size: A1 Drawing No.: C13018-C014									
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