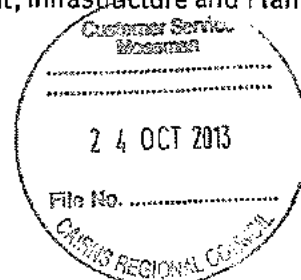


IDAS form 1—Application details

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)



This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

This form can also be completed online using MyDAS at www.dsdip.qld.gov.au/MyDAS

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

SAMANTHA CAREY-SAGE

For companies, contact name

Postal address

PO Box 1156

Suburb MOSSMAN

State QLD

Postcode

4873

Country AUSTRALIA

Contact phone number

07 4090 7301

Mobile number (non-mandatory requirement)

Fax number (non-mandatory requirement)

Email address (non-mandatory requirement)

SCAREYSAGE
@ GMAIL.COM

Applicant's reference number (non-mandatory requirement)

1. What is the nature of the development proposed and what type of approval is being sought?

Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

a) What is the nature of the development? (Please only tick one box.)

☒ Material change of use ☐ Reconfiguring a lot ☐ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☒ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

THREE BEDROOM HOUSE + SWIMMING POOL

d) What is the level of assessment? (Please only tick one box.)

☐ Impact assessment ☒ Code assessment

Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

a) What is the nature of development? (Please only tick one box.)

☒ Material change of use ☐ Reconfiguring a lot ☐ Building work ☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA ☐ Preliminary approval under s241 and s242 of SPA ☒ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

RESIDENTIAL DWELLING + SWIMMING POOL

d) What is the level of assessment?

☐ Impact assessment ☐ Code assessment

Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

☐ Refer attached schedule ☐ Not required

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water). (Attach a separate schedule if there is insufficient space in this table.)

- ☒ Street address **and** lot on plan (All lots must be listed.)
☐ Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)		RN: 62	OLD FOREST CRK RD FOREST CRK	4873	1	SP161489	CAIRNS
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

3. Total area of the premises on which the development is proposed (indicate square metres)

LAND AREA: 48.76 ha HOUSE AREA: 243.19 m²

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

WALKING TRAILS AND FRUIT FARM

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)

☐ No ☒ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
DA - MCU 38 014/06 BA - GHA REF: 20106572	07/09/2006 16/08/2010	07.09.2010 16.08.2012

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

☒ No
☐ Yes—complete either Table F, Table G or Table H as applicable


Table F	
Name of owner/s of the land	SAHANNA CAREY-SAGE
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	
Date	

Table G	
Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

Table H	
Name of owner/s of the land	
<input type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

- ☐ Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- ☐ On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- ☐ In a tidal water area—complete Table K
- ☐ On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)

Table I
Name of water body, watercourse or aquifer

Table J	
Lot on plan description for strategic port land	Port authority for the lot

Table K	
Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

☒ No ☐ Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (Including any services)

☐ No ☒ Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

☒ No—go to question 12 ☐ Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

☐ No
☐ Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L		
Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the *Sustainable Planning Act 2009*?

☒ No
☐ Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

13. List below all of the forms and supporting information that accompany this application (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application. Note: this question does not apply for applications made online using MyDAS)

Description of attachment or title of attachment	Method of lodgement to assessment manager
GMA BUILDING WORKS APPROVAL REF: 20106572 WHICH INCLUDES:	BY HAND
SITE CLASSIFICATION, SITE PLAN, HOUSE PLANS, ENERGY REPORT	" "
COMPLIANCE PERMITS 2010/1025 + 2010/1024	" "
DEVELOPMENT APPROVAL - MCU 3B 014/06	" "
IDAS FORM 5 + 2	" "

14. Applicant's declaration

- ☒ By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

Notes for completing this form

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

Applicant details

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

- Schedule 3 of the *Sustainable Planning Regulation 2009* identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 11

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the *Building and Construction Industry (Portable Long Service Leave) Regulation 2002*.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of State Development, Infrastructure and Planning (DSDIP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

OFFICE USE ONLY

Date received

Reference numbers

NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To

Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

IDAS form 5—Material change of use assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for development applications for a material change of use assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the Sustainable Planning Act 2009 (SPA) or the Sustainable Planning Regulation 2009.

This form must also be used for material change of use on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

This form can also be completed online using MyDAS at www.dsdip.qld.gov.au/MyDAS

Mandatory requirements

1. Describe the proposed use. (Note: this is to provide additional detail to the information provided in question 1 of *IDAS form 1—Application details*. Attach a separate schedule if there is insufficient space in this table.)

General explanation of the proposed use	Planning scheme definition (include each definition in a new row) (non-mandatory)	No. of dwelling units (if applicable) or gross floor area (if applicable)	Days and hours of operation (if applicable)	No. of employees (if applicable)
RESIDENTIAL DWELLING				

2. Are there any current approvals associated with the proposed material change of use? (e.g. a preliminary approval.)

☐ No ☒ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
DA- MCU 38 014 /06	07.09.06	07.09.10

BA - GMA REF: 2010657 2 16.08.10 16.08.12

3. Does the proposed use involve the following? (Tick all applicable boxes.)

The reuse of existing buildings on the premises	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
New building work on the premises	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
The reuse of existing operational work on the premises	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
New operational work on the premises	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes

Mandatory supporting information

4. Confirm that the following mandatory supporting information accompanies this application

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
All applications		
<p>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</p> <ul style="list-style-type: none"> the location and site area of the land to which the application relates (<i>relevant land</i>) the north point the boundaries of the relevant land any road frontages of the relevant land, including the name of the road the location and use of any existing or proposed buildings or structures on the relevant land (note: where extensive demolition or new buildings are proposed, two separate plans [an existing site plan and proposed site plan] may be appropriate) any existing or proposed easements on the relevant land and their function the location and use of buildings on land adjoining the relevant land all vehicle access points and any existing or proposed car parking areas on the relevant land. Car parking spaces for persons with disabilities and any service vehicle access and parking should be clearly marked for any new building on the relevant land, the location of refuse storage the location of any proposed retaining walls on the relevant land and their height the location of any proposed landscaping on the relevant land the location of any stormwater detention on the relevant land. 	<input checked="" type="checkbox"/> Confirmed	By hand
A statement about how the proposed development addresses the local government's planning scheme and any other planning instruments or documents relevant to the application.	<input checked="" type="checkbox"/> Confirmed	
A statement about the intensity and scale of the proposed use (e.g. number of visitors, number of seats, capacity of storage area etc.).	<input type="checkbox"/> Confirmed	
<p>Information that states:</p> <ul style="list-style-type: none"> the existing or proposed floor area, site cover, maximum number of storeys and maximum height above natural ground level for existing or new buildings (e.g. information regarding existing buildings but not being reused) the existing or proposed number of on-site car parking bays, type of vehicle cross-over (for non-residential uses) and vehicular servicing arrangement (for non-residential uses). 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
When the application involves the reuse of existing buildings		
Plans showing the size, location, existing floor area, existing site cover, existing maximum number of storeys and existing maximum height above natural ground level of the buildings to be reused.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
When the application involves new building work (including extensions)		
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following: <ul style="list-style-type: none"> the north point the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only) the room layout (for residential development only) with all rooms clearly labelled the existing and the proposed built form (for extensions only) the gross floor area of each proposed floor area. 	<input checked="" type="checkbox"/> Confirmed	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation)	<input checked="" type="checkbox"/> Confirmed	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
When the application involves reuse of other existing work		
Plans showing the nature, location, number of on-site car parking bays, existing area of landscaping, existing type of vehicular cross-over (non-residential uses), and existing type of vehicular servicing arrangement (non-residential uses) of the work to be reused.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
When the application involves new operational work		
Plans showing the nature, location, number of new on-site car parking bays, proposed area of new landscaping, proposed type of new vehicle cross-over (non-residential uses), proposed maximum new vehicular servicing arrangement (non-residential uses) of the proposed new operational work.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

Privacy—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

OFFICE USE ONLY

Date received

Reference numbers

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Cairns Regional Council
PO Box 359
Cairns
QLD 4870

23rd October 2013

Town Planner

Dear Sir or Madam

DEVELOPMENT APPROVAL

I submit this information with my plans for Lot 1 Forest Creek Road RP861014 (L1 SP161489) Zoned Large Residential Property. The residential development is proposed in the existing rural settlement south of the Alexandra Range, this proposed development is not affected by a Biodiversity Overlay. This development is code assessable. This development will not impact on the Alexandra Range's vehicular capacity or impact on the Daintree Ferry.

My intention is to build a dwelling residence with a swimming pool. The proposed development will be located on the existing cleared area which was constructed and maintained by the previous owner. This decision was made to prevent further unnecessary clearing of the rain forest.

The proposed development will be approximately 175 metres inland from the old Forest Creek Road and approximately 700 metres inland from Forest Creek Road. The proposed site is a minimum of 10 metres from all other boundaries.

House Creek is the only watercourse on the land and is approximately 70 metres away from the proposed development.

The height of the building will be 7.5 metres or below.

The roof colour from DSC colours will be Paper Bark and Pale Eucalypt. The exterior finishes will be natural finishes, such as stained timber and natural painted colours that blend in with the local environment.

Water supply will be supplied by 30,000 litre water tank with a 50mm ball valve with camlock fitting. I understand this is for fire fighting purposes.

Waste Disposal will be done in accordance with the recommendations of the waste water consultants. The waste water consultant has recommended using a septic tank with a capacity of 3000 litres.

Energy supply is a Solar Works Stand Alone System which consists of 30 solar panels facing 16 degrees north, 24 batteries, Selectronic inverter, Out Back charge controller and a back up generator housed in a sound proof structure, the system is be fully automated.

Samantha Carey-Sage
PO Box 1156 Mossman QLD 4873
Tel: 07 40907301 Mobile: 0428 775010

Access will be via the existing maintained driveway.

Native vegetation will be used where landscape works are carried out. I intend to keep all remaining riparian vegetation on the property. We will continue to maintain all of the existing walking tracks on the property.

I do not intend to fence any areas (except the swimming pool area).

I do not intend on keeping any cats or dogs.

I do not intend to keep any fowl or any other feral animals. I will eradicate feral pigs if found on the property.

I would prefer not to enter a covenant as a building recommendation because I know that I cannot and would not disturb the remaining vegetation on the property and destroy the natural habitat.

I hope this submission will aid you in assessing my development application.

Please note that there is a recently expired Development Approval MCU 3B 014/06 and a recently expired Building Approval GMA Certification Group Ref: 20106572 already attached to the property.

Yours sincerely



SAMANTHA CAREY-SAGE

Enclosed Documentation

- GMA Certification Group Pty Ltd Building Works Approval Ref: 20106572
- Certified and approved plans
- Energy Efficiency Report
- Soil Test Report and Foundation Design
- Site Plan
- New Residence Compliance Permit
- Septic Tank Compliance Permit
- Development Application Decision Notice
- IDAS form 1
- IDAS form 5
- BSA Home Warranty Insurance invoice
- QLeave Notification & Payment Form

Samantha Carey-Sage
PO Box 1156 Mossman QLD 4873
Tel: 07 40907301 Mobile: 0428 775010

Bill To:

Tim and Sam Sage

Tax Invoice

Invoice No: 00000011

Date: 13/08/2010

Description	Amount Ex GST	GST	Amount Inc GST
Invoice for BSA Home Warranty Insurance	\$2,254.55	\$225.45	\$2,480.00
PAID FROM NAB ACCOUNT 17.08.10			

Terms: 7 days

Bank details for electronic payments

Account name: Lanmac Constructions Pty Ltd
Bank Name: ANZ
BSB: 014-663
Account No: 1801-71009

GST: \$225.45

Total Inc GST: \$2,480.00

Amount Applied: \$0.00

Balance Due: \$2,480.00

THANK YOU



A.B.N. 89 586 619 186

**BUILDING AND CONSTRUCTION INDUSTRY
NOTIFICATION AND PAYMENT FORM**
FOR ASSISTANCE IN COMPLETING THIS FORM CONTACT
PO Box 512 Lutwyche QLD 4030 FREECALL PH 1800 803 481
Fax (07) 3212 6844
Email levies@qleave.qld.gov.au
Web www.qleave.qld.gov.au

Levy and Fee 0.525%

0.3% Portable Long Service Leave Levy
0.125% Workplace Health & Safety Fee
0.1% Building & Construction Industry Training Levy

THIS FORM CAN ALSO BE COMPLETED AND PAID ONLINE

Project Description

THREE BEDROOM HOUSE

Project Address

LOT 1 OLD FOREST CREEK ROAD, FOREST CREEK QLD 4873

Amount Paid

\$

--	--	--

 ,

		1
--	--	---

 ,

3	6	5
---	---	---

 .

0	0
---	---

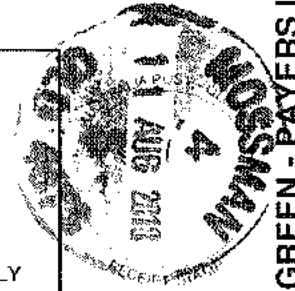
Make cheques payable to QLeave, rounded to nearest dollar (50 cents or below round down, 51 cents or above round up to the nearest dollar.)



*427 13 B395616

POST billpay

AUSTRALIA POST USE ONLY



Privacy Statement - QLeave is collecting the information on this form for the purposes of administering the Building and Construction Industry (Portable Long Service Leave) Act 1991, as required by that Act. QLeave may give some or all of this information to various other Government departments or agencies, as required or permitted by law.

GREEN - PAYERS INFORMATION



GMA Certification Group Pty Ltd
BUILDING SURVEYORS
Queensland's leaders in Building Certification Services

Unit 5, Owen Street
"Craiglie Business Park"
Craiglie QLD 4877

Phone: 07 4098 5150
Fax: 07 4098 5180
E-Mail: adminpd@gmacert.com.au
www.gmacert.com.au

A.B.N. 68 724 117 521

Monday, 16 August 2010

Samantha Carey-Sage
Po Box 1156
Mossman QLD 4873

Dear Sir/Madam

Re: GMA Certification Group Ref. No. 20106572
Lot 1 on SP 161489 - Old Forest Creek Road, Forest Creek QLD 4873

BUILDING WORKS APPROVAL

Please find enclosed Approved Plans and documentation for building works located at the above address.

If you have any questions regarding the above mentioned, please contact Melanie Kendall on 07 40985150.

Enclosed Documentation

- Plans
- Energy Efficiency
- Development Application Decision Notice.
- Soil Test Report & Foundation Design

Kind Regards

Melanie Kendall
GMA Certification Group



GMA Certification Group

Unit 5, Owen Street
"Craiglie Business Park"
Craiglie QLD 4877

PO Box 831
Port Douglas QLD 4877

Phone: 07 4098 5150

Fax: 07 4098 5180

Email: adminpd@gmacert.com.au

Jeff Evans Building Surveyor

BSA Lic No: A706169

A.B.N: 68 724 117 521

Development Application Decision Notice.

Sustainable Planning Act 2009

Building Certifier Reference Number: **20106572**
Approval Type: **Development Permit For Building Works**
The Development Application was Assessed and: **Approved with Conditions**
Building Certifier Decision Date: **Friday, 13 August 2010**
Local Government Area: **Cairns Regional Council**
Applicant: **Samantha Carey-Sage**
Builder: **Lanmac Constructions**
Po Box 943
Mossman QLD 4873
Address of Site: **Old Forest Creek Road**
Forest Creek QLD 4873

Building Class & Description of Works:

1a New Construction of Dwelling - 2 Storey

Real Property Description of Site or GPS Coordinates:

Lot Type	Lot No:	Plan Type	Plan Numbers(s)
Current	1	SP	161489

THIS DEVELOPMENT PERMIT APPROVAL SHOULD BE READ IN CONJUNCTION WITH:

Referral and Concurrence Agencies and (If Applicable)	See Attachment A
Reason for Refusal (If Applicable):	See Attachment A
Required Inspections & Building Certifiers Conditions :	See Attachment A
Drawing and Documents Described as:	See Attachment A
Other Applicable Codes (if known) for Self Assessable Development:	See Attachment A

Date of This Notice: Friday, 13 August 2010

Certifier

Certification Number

Signature

Jeff Evans

A706169

ATTACHMENT A

Required Inspections

<u>StageName</u>	<u>Description</u>	<u>Recommended Agent</u>	<u>Contact</u>	<u>Comments</u>
Footing Stage	Footing Inspection	GMA Certification Group	07 4098 5150	
Slab Stage	Slab Inspection	GMA Certification Group	07 4098 5150	
Frame Stage	Frame Inspection	GMA Certification Group	07 4098 5150	
Final Stage	Final Inspection	GMA Certification Group	07 4098 5150	

Building Conditions

STANDARD CONDITIONS

- 1 SD3 Compliance with the Building Act 1975 and the relevant Planning Scheme is the responsibility of the applicant.
- 2 SD2 In issuing this permit GMA Certification Group Pty Ltd does not certify that the design is correct and does not assume any responsibility for the correctness of the design.
- 3 S4 Building work approved on this building application has to be
 - (a) commenced within [12] months of approval
 - (b) finalised within [2] years of approval.
- 4 S6 To satisfy the Building Certifier that the Building work has been constructed to an acceptable standard, the following documentation will be required: (when relevant)
 - i) Certificate/s for footing and/or slab inspection/s of Class 1a building work where a competent person carries out such inspections as nominated in the building application submitted to and approved by the Building Certifier. (Form 16)
 - ii) Truss Manufacturer's Certificate, quoting the relevant wind classification.
 - iii) Engineer's certification for structural work not in accordance with Building Code of Australia, Volume 2 or manufacturer's specification. (Form 16)
 - iv) Licensed Applicator's Certificate for Termite Management in accordance with A.S.3660.1 - 2000 (Clause 3.1.3. BCA) (Form 16)
 - v) Glass suppliers certification of window glass to AS 1288 for wind velocity and AS 2208 (Part 3.6 BCA). (Form 15)
 - vi) Glass suppliers certification of shower screens to AS 2208. (Form 15)
 - vii) A certificate from a licensed applicator wet areas is required, must comply with;
 - * AS 3740 - 1994
 - * Part 3.8.1- BCA. (Form 16)
 - viii) Manufacturers certificate for Balustrades. (Form 16)
 - ix) Surveyors Setout Certificate
 - x) Evidence of the R-Value of the Insulation installed
- 5 S8 Smoke alarms to be provided in accordance with BCA 3.7.2 and AS 3786.
- 6 S9 Waterproofing to wet areas (bathrooms, laundries and WC's) to comply with the requirements of the BCA 3.8.1 and AS 3740.
- 7 S10 Stairs and Balustrades must comply with BCA 3.9.1, 3.9.2 and AS 1170.1. Refer to the Building Code of Australia and the Australian Standard for the construction requirements.
- 8 S12 Retaining Walls - (If Applicable) Retaining walls over 1 metre high need building approval and an Engineer's Certificate for the design.
- 9 S13 Surface Water, resulting from a storm having an average recurrence interval of 100 years must not enter the building
- 10 S7 EXTERNAL TIMBERS ARE TO COMPLY WITH THE DURABILITY & SPECIES REQUIREMENTS OF AS1684 (Timber Framing Code) & AS3660 (Termite Management)

APPLICATION SPECIFIC CONDITIONS

- 1 This building is to comply with the current Sustainable Buildings QDC provisions MP4.1 namely;
 - i) 4 star WELS rated toilets will be required including in existing dwellings where renovations are being carried out.
 - ii) 80% energy efficient lighting to all fixed internal lighting.
 - iii) Minimum 5 star energy rating using the performance standards/verification methods under the BCA Vol 2.
 - iv) 3 star WELS rated tap ware for kitchen sinks, basins and laundry tubs.
 - v) Water efficient irrigation systems where installed (max flow rate of 9L/s).
 - vi) Minimum 4 star MEPS rated air conditioners from July 1 2009
- 2 S10 Stainless Steel balustrades to comply with the specific requirements of BCA 3.9.2. Certificate to be provided by installer to confirm compliance with necessary requirements. Please be aware that changes in temperature may render the balustrades to be unlawful and reduce the safety element. Owner to ensure compliance of the stainless steel balustrades at all times.

ATTACHMENT A

Building Conditions

- 3 G1 Glass Balustrades to Comply with AS 1288 Glass in Buildings (Section 7)
- 4 Roof waste water system to be:
1. Directed via a sealed pipeline to the legal point of discharge; or
 2. Connected via a sealed pipeline to the existing stormwater system; or
 3. Disposed of in accordance with AS3500.3, clear of all buildings and boundaries so as not to cause a nuisance or damage to neighbouring properties
- 5 Smoke alarms complying with AS 3786 or listed in the Scientific Services Laboratories Register of Accredited products must be installed in suitable locations on or near the ceiling in:
- a) any storey containing bedrooms-
 - (i) in a Class I building, between each area containing bedrooms and the remainder of the dwelling, including any hallway associated with the bedrooms; or,
 - b) any other storey not containing bedrooms.
- The alarms are to be connected to the mains electrical power circuit and have a standby power supply.
- A certificate from an appropriately qualified person (eg. electrical contractor) being submitted to GMA prior to the final inspection stage certifying correct installation and connection.
- 6 The applicant shall comply with all amendments indicated in red on the approved plans and specifications.
- 7 212 The development is to comply with the provisions of the planning scheme (being the applicable code) relevant to the development. In particular the development is to comply with MCU approval xxxx/xxxx issued by xxxxxx xxxxxx xxxxx on xx /xx/xx.
- 8 The exterior finishes and colours of buildings are to be non-reflective and complement the colours of the surrounding vegetation and views. The following list of colourbond colours are identified in the Douglas Shire Planning Scheme as acceptable for exterior cladding of buildings:
- Jasper
 - Sandbank
 - Paperbark
 - Dune
 - Windspray
 - Woodland Grey
 - Bushland
 - Pale Eucalypt
 - Wilderness
 - Cottage Green
 - Plantation
 - Blue Ridge
 - Ironstone
- 9 The provision of termite control methods in accordance with the requirements of AS 3660.1-2000 "Termite Management - New Building Work" and the manufacturer's specification. Certification for any non-chemical and/or chemical methods employed shall be supplied to GMA prior to or at the final inspection.
- Termite control methods approved by Australian Standard 3660.1-2000 include:
- i) termite caps and shieldings;
 - ii) termite resistant building materials;
 - iii) stainless steel mesh barriers;
 - iv) graded stone barriers;
 - v) hand sprayed termiticides;
 - vi) under slab chemical injection systems;
 - vii) OR any combination of the above
- Subterranean termite infestation can be minimised in new buildings by installing barriers during construction. Termites can build around barriers but they can then be detected more readily during routine inspections. Bridging or breaching of these termite barriers by subsequent construction or other activities will defeat the protection measures taken.
- A minimum clearance of 400mm between finished ground level and any structural components or other obstructions eg. bearers, joists or plumbing fixtures.
- NOTE: On a sloping side, the minimum distance may be reduced to 150mm provided that the area is no more than two metres from a point with conforming subfloor clearance.
- Ventilation shall be provided to all suspended subfloor areas. The minimum requirement is 7,300 millimetres square, net ventilation area per lineal metre on both external and internal walls, placed below the dampcourse, but above the level of possible entry of surface water.
- NOTE: Ventilated openings to be placed at not greater than 600mm from any corner.
- Ant capping of an approved material, capable of being soldered, shall be provided and installed in accordance with the

ATTACHMENT A

Building Conditions

provisions of AS 3660.1-2000 All joints shall be lapped and soldered.

NOTE: The use of rivets and silicon or similar to join ant capping is not an approved method and will not be accepted.

Two durable notices complying with AS3660.1-2000 "Termite Management - New Building Work" and Part 3.1.3 of The Building Code of Australia, being permanently fixed to the building in prominent locations, such as a meter box or the like and the kitchen cupboard, indicating:

- a) the method of protection; and
- b) the date of installation of the system; and
- c) where a chemical barrier is used, its life expectancy as listed on the National Registration Label; and
- d) the need to maintain and inspect the system on a regular basis.

10 C70

WC Doors to comply with BCA Part 3.8 The door to open outward, or slide, or removal hinges unless a space of 1.2m between the pan and door is available.

Approved Drawing Numbers

Architectural

Plans Endorsed with BA 20106572

*Left Intentionally Blank
Please refer to next page.*

**Information Regarding Appeals to the Building and Development Tribunal
Relating to Development Applications**

Appeal Rights-

You may appeal against any matter stated in this Decision Notice. The appeal must be started within 20 business days (10 days for building advice agencies), after the date this notice is given. Appeal forms are available on the Department's website www.dip.nld.gov.au from the Registrar at the Building and Development Tribunal on phone (07) 3237 0403.

**Sustainable Planning Act 2009
Chapter 7 Appeals, offences and enforcement
Part 2 Building and development dispute resolution committees
Reprint 1 effective 18 December 2009 Page 355**

527 Appeals by applicants

(1) An applicant for a development application may appeal to a building and development committee against any of the following-

- (a) the refusal, or the refusal in part, of the application,
- (b) any condition of the development approval and another matter, other than the identification or inclusion of a code under section 242, stated in the development approval;
- (c) the decision to give a preliminary approval when a development permit was applied for;
- (d) the length of a period mentioned in section 341;
- (e) a deemed refusal of the application.

(2) An appeal under subsection (1)(a), (b), (c) or (d) must be started within 20 business days (the *applicant's appeal period*) after-

- (a) if a decision notice or negotiated decision notice is given-the day the decision notice or negotiated decision notice is given to the applicant; or
- (b) otherwise-the day a decision notice was required to be given to the applicant.

(3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.

528 Appeal by advice agency

(1) An advice agency may, within the limits of its jurisdiction, appeal to a building and development committee about the giving of a development approval if the development application involves code assessment for the aspect of building work to be assessed against the Building Act.

(2) The appeal must be started-

- (a) within 10 business days after the day the decision notice or negotiated decision notice is given to the advice agency; or
- (b) for a deemed approval for which a decision notice or negotiated decision notice has not been given-within [s 529] 20 business days after receiving a copy of the deemed approval notice for the application from the applicant.

Notes:

This building has been assessed in accordance with the relevant building legislation but it remains the responsibility of the owner, designer and builder to ensure compliance with other laws including the anti-discrimination legislation. Failure to provide EQUAL access and facilities may be unlawful by:

- i) Disability Discrimination Act- Australia
- ii) Anti-Discrimination Act - Queensland.

Further information may be obtained from:
Human Rights and Equal Opportunity Commission

GPO Box 5218
SYDNEY, NSW, 1042
PH: 02 9284 9761
FX: 02 9284 9789
TTY 1800 620 241

<http://www.hreoc.gov.au/disabli/access.htm>



ENQUIRIES Miss Natalie Coss – Planning Officer
DEPARTMENT Planning Services Section - ☎ (07) 4099 9456
EMAIL planning@dsc.qld.gov.au

OUR REF MCU 3B 014/06
YOUR REF

Mrs Samantha Carey-Sage
PO Box 1156
MOSSMAN QLD 4873

7 September 2006

INTEGRATED PLANNING ACT DECISION NOTICE

DEVELOPMENT APPLICATION

Applicant's Name : Mrs Samantha Carey-Sage
Owner's Name : Mr T Sage and Mrs S J Carey-Sage
Proposal : Material Change of Use of premises for a Dwelling House,
Pool and Shed
Application Number : MCU 3B 014/06
Site Address : Forest Creek Road, Forest Creek
Property Description : Lot 1 on 161489, Parish of Alexandra, County of Solander

1. Decision: **Decision Date:** 15 August 2006

Approved subject to Conditions

2. Type of Development Approval:

Material Change of Use

Development Permit

.../2.

3. Referral Agency:

Nil

4. Conditions

1. The approved development and the conduct of the approved use, the carrying out of any works on the premises and the construction of any buildings on the premises associated with the development must generally be in accordance with:
 - (a) The plans and specifications submitted with the application to Council attached to this approval
2. This development approval lapses four (4) years after the day that the development approval takes effect, unless the use has substantially commenced or this period is extended under Section 3.5.22 of the *Integrated Planning Act 1997*.
3. The approved use must not be conducted so as to cause a nuisance or annoyance to persons not associated with the business and so as not to adversely affect any other property. In particular but not limited to the emission of dust, noise, smoke, fumes, ash, odour and light.
4. Any erection and use and occupation of the premises shall at all times comply with the conditions laid down and provided for in the Douglas Shire Planning Scheme from time to time.
5. Approval of satisfactory building plans and specifications in accordance with the Building Act, Council's Local Laws and the Douglas Shire Planning Scheme where applicable and generally in accordance with the approved plans submitted with the MCU Application MCU 3B 014/06.
6. The provisions of the *Integrated Planning Act 1997*, the Building Act, the Fire Safety Act, the Health Act, the *Food Act 1981* and all other relevant Acts and Regulations and the Local Laws of the Council from time to time shall at all times be observed and performed in relation to the land, the building and the use and occupation thereof.

7. The issue of this Development Permit approval in no way implies building approval, either in principle or in detail, of any plans of the proposed development which may have been submitted with the application. Approval of any building works associated with the use shall be the subject of a separate Building Application in accordance with the Council's Local Laws.
8. The provisions of the Development Permit are to be effected prior to the commencement of the specific use as granted by Council.
9. The applicant will ensure that the proposed development is constructed within the confines of their property.
10. The Dwelling House will be designed to be energy efficient and functional in a humid tropical rainforest environment to the satisfaction of the Manager Building Services.
11. The dwelling will not exceed 7.5m in height above the natural ground level.
12. All power generation devices are to be positioned and housed (including noise attenuation material) so as to mitigate noise nuisance to adjoining and nearby residents. Such power generation devices are to be an environmentally acceptable and energy efficient. Details of the power generation devices will be supplied at the time of lodgement of Building Plans.
13. The minimum floor level for all habitable rooms in any building erected on the premises must be:
 - (a) a minimum of 3.2m AHD; or
 - (b) a minimum of the Q100 flood level.Which ever is the greater.
14. The proposed colour schedule of a Paperbark or Pale Eucalypt roof and Natural Timber Stain walls are approved. No variation from the approved colours is permitted without the written authorisation of Council.
15. The applicant is required to demonstrate to the Council that an adequate supply of potable water in both quantity and quality is available to the site prior to the issuing of a Development Permit for Building & Plumbing work.

The separation distance for any bore used for the supply of potable water must be in accordance with the *On-site Sewerage Code: July 2002* and *AS/NZS1547:2000; On-site domestic wastewater management*.

16. Water storage tank(s), with a minimum capacity not less than 30,000 litres, shall be installed prior to occupation of the premises. Details of the water tank(s) shall be shown on plans submitted with the building application. Such water tanks shall be fitted with:-
 - (a) screening at the inlet to prevent the intrusion of leaves and insects;
 - (b) The water tank(s) shall be fitted with a 50mm full flow lever action ball valve with a male end camlock fitting; and
 - (c) The water tank(s) shall be accessible by fire fighting vehicles at all times.
17. Plans of the proposed waste water treatment and disposal methods designed in accordance with the *On-site Sewerage Code; July 2002* and *AS/NZS1547:2000; On-site domestic waste water management* must be submitted to Council's Plumbing Inspector at the time of lodgement of application for building works are to be approved prior to the construction of any buildings.

Council urges the use of composting toilets, or other technologies that reduce the amount of wastewater generated. Composting toilets must be in accordance with the *Environmental Protection (waste Management) Regulation 2000* and *AS/NZS1546.2:2000*. Where waster water treatment is to be by way of a septic system, tree root barriers are to be used in conjunction with absorption trenches. All wastewater treatment and disposal methods must be inspected and approved prior to the commencement of the use or occupation of the site.
18. All native vegetation on the site is identified as protected vegetation under Council's Local Law N^o 56 vegetation Management. No vegetation is permitted to be removed from the site without the approval of Council under this Local Law.
19. In accordance with section 8.5.2 of the Douglas Shire Planning Scheme, no change to the natural surface level of the lot shall occur without the written consent of Council's Director Engineering Services.

20. Driveway Grades

The applicant will ensure that the vehicular access is constructed at a slope of less than twenty-five (25%)(1:4) without detriment of the suitability of the slope of the lot or surrounding land. Where the slope of the proposed driveway exceeds twenty five percent (25%)(1:4) the driveway will be constructed and sealed with concrete or bitumen to the satisfaction of the Director Engineering Services.

The driveway access is not to exceed 4m in width and shall include sediment traps or other similar methods of sediment control to prevent runoff entering drainage lines.

21. Should excavation or filling be required on-site, then the applicant will be required to prepare and submit civil engineering plans for all excavation including a sediment control plan in accordance with the FNQROC Development Manual for the separate Council approval.
22. All topsoil removed from the site of the building pad and surrounds prior to construction is to be replaced over the cleared area after construction has been completed.

Advice

You are advised that the Commonwealth *Environmental Protection and Biodiversity Conservation Act 1999* applies to proposed activities likely to have a significant impact on the matters of 'national environmental significance', including world heritage properties. Such activities may require approval under this Act prior to any works being undertaken. Further information on the Act can be obtained from Environment Australia's Community Information unit (1800 803 772) or from the following website www.environment.gov.au/epbc. EPBC Act *Administrative Guidelines on Significance (July 2000)* are available to assist people in deciding whether activities are likely to need consideration under the Act.

You are advised that the taking of water, or interfering with water from streams or groundwater sources will require a permit administered under the *Water Act 2000* and issued by the regional office of the Department of the Natural Resources and Mines. The related infrastructure will/may require an approval for operational works pursuant to the *Integrated Planning Act 1997*. Further information can be obtained from the Department of Natural Resources and Mines at Cairns, Telephone 4039 8275.

5. Further Development Approvals Required:

Building Work
Plumbing & Drainage Permit

Development Permit
Development Permit

A handwritten signature in black ink, appearing to read "Paul Trotman". The signature is stylized with a large, looped initial "P" and a cursive "Trotman".

Paul Trotman
General Manager – Development & Environment



ENQUIRIES: Plumbing Department
PHONE: 4044 8235 Fax: 4044 8290
PLEASE QUOTE OUR REF: # 2010 / 1025

10 August 2010

Applicant:
S J Carey-Sage
PO Box 1156
MOSSMAN QLD 4873

Plumber:
G W Jack
PO Box 1316
MOSSMAN QLD 4873

COMPLIANCE PERMIT

Dear Sir/Madam

SITE DETAILS: 62R Forest Creek Road FOREST CREEK 4873
TITLE DETAILS: LOT: 1 SP: 161489
DESCRIPTION OF WORKS: Dwelling with On-Site
PROJECT DESCRIPTION: New Residence

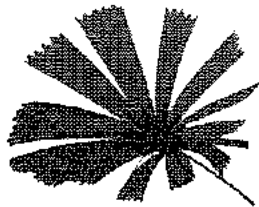
I wish to advise that approval has been granted for the person nominated on your application to commence work subject to the following conditions, and shall within seven days after the completion thereof, notify Council on the prescribed form of such completion. A Compliance Certificate will be issued on request only after the receipt of the notice of completion.

1. All work to be in accordance with the requirements of the Plumbing & Drainage Act 2002.
2. Inspection & Testing shall be in accordance with S20 Standard Plumbing & Drainage Regulation 2003.
3. Dual Flush Cisterns are to be installed in all new installations
4. The issue of this permit does not:-
 - (i) Indicate the effluent disposal will be satisfactory OR
 - (ii) Prejudice Council's right to require additional or remedial works.
5. Council is to be notified of completion of plumbing and drainage work by completing and returning the Notification of Completion form. This should be done within 7 days of completion of the work.

Should you have any queries please contact Cairns Regional Council Water & Waste unit on telephone number (07) 4044 8235 or 1800 070 444 "(Cairns region only, no STD rates apply)".

Yours faithfully

B GARDINER
GENERAL MANAGER
CAIRNS REGIONAL COUNCIL
WATER & WASTE



**Cairns
Regional
COUNCIL**

ENQUIRIES: Plumbing Department

PHONE: 4044 8235 Fax: 4044 8290

PLEASE QUOTE OUR REF: # 2010 / 1024

10 August 2010

Applicant:
S J Carey-Sage
PO Box 1156
MOSSMAN QLD 4873

Plumber:
G W Jack
PO Box 1316
MOSSMAN QLD 4873

COMPLIANCE PERMIT

Dear Sir/Madam

SITE DETAILS: **62R Forest Creek Road FOREST CREEK 4873**

TITLE DETAILS: **LOT: 1 SP: 161489**

DESCRIPTION OF WORKS: **Septic Tank**

I wish to advise that approval has been granted for the person nominated on your application to commence work subject to the following conditions, and shall within seven days after the completion thereof, notify Council on the prescribed form of such completion. A Compliance Certificate will be issued on request only after the receipt of the notice of completion.

1. All work to be in accordance with the requirements of the Plumbing & Drainage Act 2002.
2. Inspection & Testing shall be in accordance with S20 Standard Plumbing & Drainage Regulation 2003.
3. The issue of this permit does not:-
 - (i) Indicate the effluent disposal will be satisfactory or
 - (ii) Prejudice Council's right to require additional or remedial works.
4. The On-site Treatment System shall be operated and maintained in accordance with the Chief Executive Approval (DIP) and Manufacturer's specifications. The owner shall enter into an annual service agreement with a suitably qualified service person. The Service Agreement shall be renewed annually and a signed copy forwarded to Council prior to the expiry date of the previous agreement.
5. Council is to be notified of completion of plumbing and drainage work by completing and returning the Notification of Completion form. This should be done within 7 days of completion of the work.
6. Effluent and Grey water disposal to be installed strictly to earth tests report 10th July 2009

Should you have any queries please contact Cairns Regional Council Water & Waste unit on telephone number (07) 4044 8235 or 1800 070 444 "(Cairns region only, no STD rates apply)".

Yours faithfully

B. Gardiner

**B GARDINER
GENERAL MANAGER
CAIRNS REGIONAL COUNCIL
WATER & WASTE**

Need a fishing licence?
Ask your XPOS retailer.
Subscribe to your
favourite magazines through
XPOS.

Commonwealth Bank

Securely
million

Common

Pay
at a BPOIN.
BPOIN

ABN #:24310025910
Cairns Regional Council
PO Box 359
CAIRNS QLD 4870
Ph 4044 3044 Fax 4044 3022
Email: rightfax3824@cairns.qld.gov.au

Date 21/07/2010 13:18
Receipt 04622038:0001 Terminal 33:2238
SAMANTHA CAREY-SAGE
PO BOX 1156
MOSSMAN Q 4873 PLUMBING 9 FIXTURES

Details	Amount
CW Plumbing GST Free	413.25
LOT 1 SP161489	
Total Value:	413.25
Tendered	
EFT	413.25
Change	0.00

TAX INVOICE

CAIRNS REGIONAL COUNCIL
ABN 24 310 025 910

TAX INVOICE
RECEIPT

Date: 21 / 7 / 10

Received from: S. Carey-Sage

Address: P.O Box 1156
Mossman west

Paid by: Cash / Cheque / Eftpos

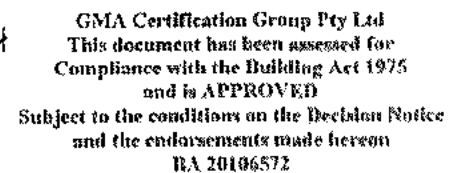
FOR:	ITEM / DESCRIPTION	SUPPLY VALUE	GST	TOTAL INCLUDING GST
	On Site Sewerage			421.70
	Lot 1 SP161489			

PAYMENT BY CHEQUE: Acceptance of a Cheque and the issue of Receipt therefore is conditional on collection of the proceeds and until collection no credit is to be given or implied

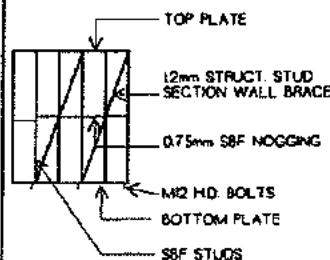
[Signature]
for Chief Executive Officer

ALL FRAMES BLACK POWDER COATED FINISH
ALL GLASS EVERGREEN TINT

GROUND FLOOR PLAN



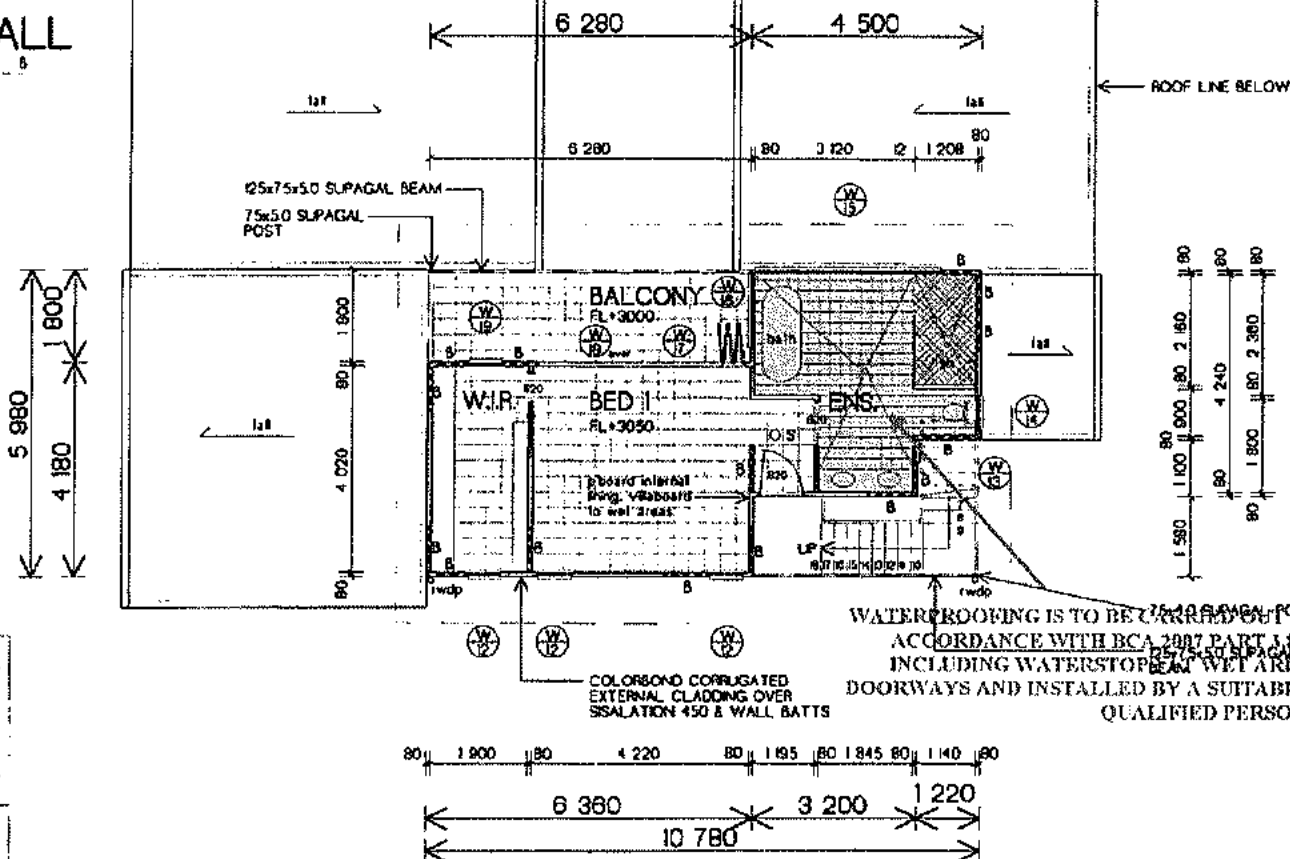
1: 100.	
AUGUST 2010	W2
1767	OF 14
WIND CLASSIFICATION	C2



BRACE WALL

SHOWN ON PLAN AS B B

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED
Subject to the conditions on the Decision Notice
and the endorsements made thereon
BA 20106572



FF PLAN

WINDOW SCHEDULE

W1	1400x800 SLIDING GLASS WINDOW
W2	1915x800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME
W3	1495x3000 WINDOW, 800 WIDE BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME EACH SIDE OF 1495x800 SLIDING GLASS WINDOW
W4	2100x1800 SLIDING GLASS DOOR
W5	825x3000 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, SLIMLINE FRAME
W6	2000x3400 ALUM. FRAMED BFOLD WINDOW CENTRE OPENING, NO BOTTOM TRACK
W7	935x700 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME
W8	2100x3000 OPENING, 2055x800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME EACH SIDE OF 2100x800 SLIDING GLASS DOOR
W9	1900x2800 SLIDING GLASS WINDOW FIXED GLASS BELOW MIDRAIL
W10	1800x3000 SLIDING GLASS WINDOW, FIXED GLASS BELOW MIDRAIL, CRMSAFE SCREEN
W11	1800x1800 SLIDING GLASS WINDOW, FIXED GLASS BELOW MIDRAIL, CRMSAFE SCREEN
W12	1215x800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME
W13	1215x400 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME
W14	795x600 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME
W15	1600x3600 SLIDING GLASS WINDOW
W16	1600x1400 SLIDING GLASS WINDOW
W17	2100x4000 ALUM. FRAMED BFOLD DOORS
W18	795x1000 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME RING HANDLES & MAP ROD (lower bifold doors)
W19	1915x800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSCREEN FRAME

Note:

ALL LOUVRES TO HAVE FULL OPENABLE CLIPS FRAME TYPES AS NOTED, COLOUR MATCH FRAMES, CLIPS AND HANDLES TYP

LOUVRE SIZES INDICATED ARE ACTUAL FRAME SIZES. OPENINGS TO BE SIZED ACCORDINGLY TO ALLOW FOR FRAMES.

ALL DOORS AND WINDOWS TO HAVE FLYSCREENS UNLESS NOTED TO HAVE CRMSAFE SCREENS

ALL FRAMES BLACK POWDER COATED FINISH ALL GLASS EVERGREEN TINT

FLOOR AREA:	
GF LIVING	- 90.24 m ²
GF BREEZWAY	- 58.95 m ²
GARAGE	- 38.98 m ²
GF TOTAL	- 187.77 m ²
FF LIVING	- 44.83 m ²
FF BALCONY	- 1.30 m ²
FF TOTAL	- 56.13 m ²
TOTAL	- 243.9 m ²

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

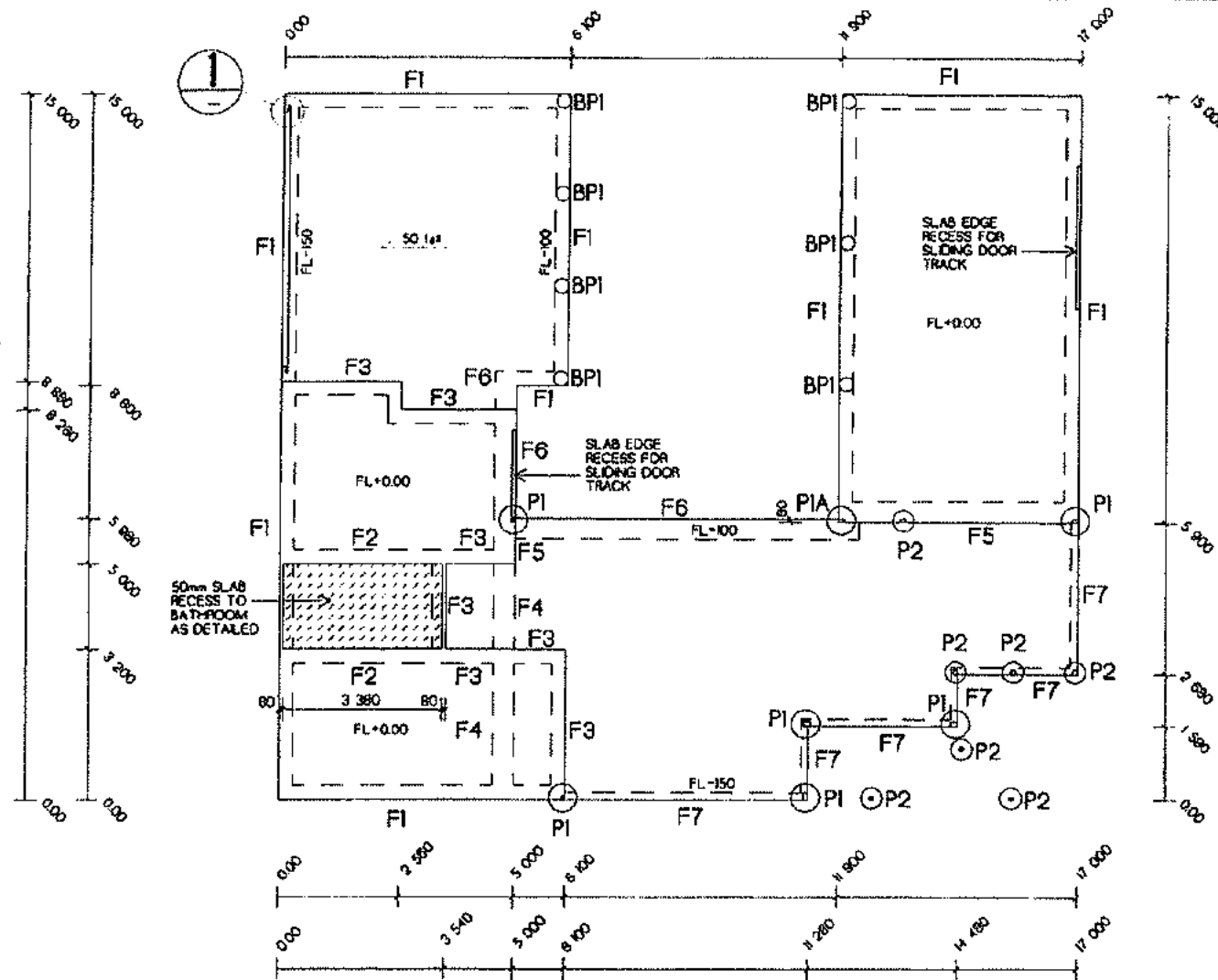
Signature 11870
C.M.G. ENGINEERS
208 BUCHAN ST
CARNS OLD 4870
PH: 07 4031 2775
FAX: 07 4034 0003

© Copyright
These drawings and designs are Copyright & shall not be used, copied or retained without written permission.
Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work commences.

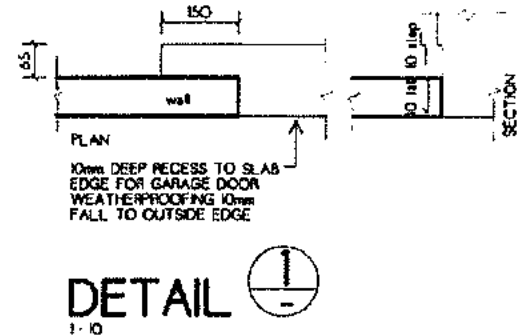
building designer
pd designs pty. ltd.
BOX 143 362 RDW NSW 73 437 947 575
VIC UNDER DECK RD 1991 - MO 51536
95A garden street, gardeners, 4865
PH: 27 4056 1863, fax: 07 4024 5553

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD.
DAINTREE.

1:100	W3 OF 14
AUGUST 200	
1767	C2
WIND CLASSIFICATION	



BPI = 300Φ x 900 DEEP MASS CONC. PIER



CONCRETE NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600
2. MINIMUM COVER TO REINFORCEMENT TO BE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE DRAWING:

UNDERSIDE & SIDE OF FOOTINGS	85 mm
TOP OF FOOTINGS	30 mm
COLUMNS	50 mm
FLOOR SLAB	30 mm
3. CONTROL JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN
4. REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND NOT NECESSARILY SHOWN IN THE TRUE PROJECTION
5. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE SUPERINTENDENT
6. ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION SO AS NOT TO BE DISPLACED DURING CONCRETING, ON APPROVED BAR CHAIRS AT 1000 mm MAXIMUM CENTRES BOTH WAYS WHERE REQUIRED PROVIDE SUPPORT BARS N18 AT 1000 mm MAXIMUM CENTRES
7. CONCRETE COMPONENTS AND QUALITY SHALL BE AS FOLLOWS

ELEMENT	SLUMP MAX	AGGREGATE SIZE	F _c	AGGREGATE
FOUNDATIONS	80 ± 15	20 mm	N20	NORMAL
GROUND SLABS				

CONCRETE SLABS - REINFORCED WITH 1 LAYER SL72 MESH TYP

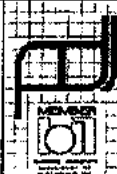
FOOTING PLAN

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED
Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20106572

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

Signature 11-8-10
C.M.G. CONSULTING ENGINEERS
208 BUCHAN ST
DARWIN DLD 4870
PH: 07 4051 2715
FAX: 07 4051 6031

© Copyright
These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.
Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences



**building
designer**

pd designs pty. ltd.
100, 113, 112, 111, 110, 109, 108, 107, 106, 105, 104, 103, 102, 101, 100, 99, 98, 97, 96, 95, 94, 93, 92, 91, 90, 89, 88, 87, 86, 85, 84, 83, 82, 81, 80, 79, 78, 77, 76, 75, 74, 73, 72, 71, 70, 69, 68, 67, 66, 65, 64, 63, 62, 61, 60, 59, 58, 57, 56, 55, 54, 53, 52, 51, 50, 49, 48, 47, 46, 45, 44, 43, 42, 41, 40, 39, 38, 37, 36, 35, 34, 33, 32, 31, 30, 29, 28, 27, 26, 25, 24, 23, 22, 21, 20, 19, 18, 17, 16, 15, 14, 13, 12, 11, 10, 9, 8, 7, 6, 5, 4, 3, 2, 1, 0

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD.
DAINTREE.

1:100, 1:10

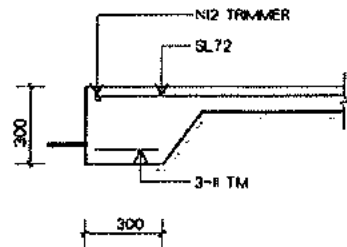
AUGUST 2001

1767

WIND
CLASSIFICATION

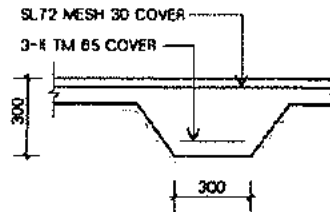
W4
OF 14

C2



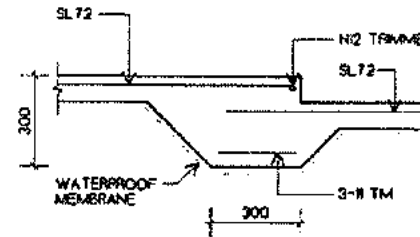
FOOTING F1

1:20



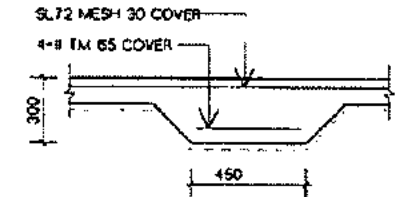
FOOTING F2

1:20



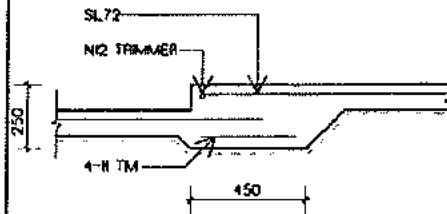
FOOTING F3

1:20



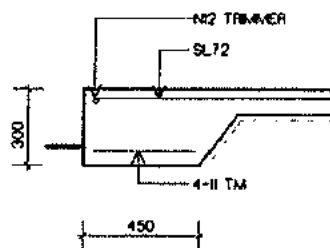
FOOTING F4

1:20



FOOTING F5

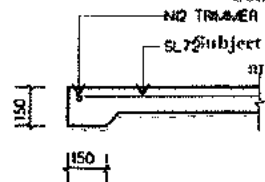
1:20



FOOTING F6

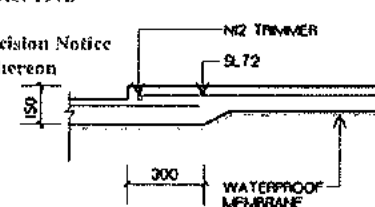
1:20

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED



FOOTING F7

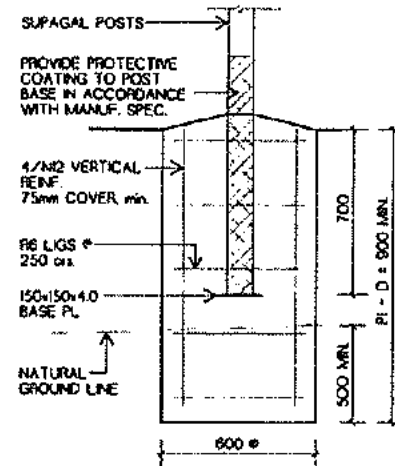
1:20



**SLAB RECESS
DETAIL**

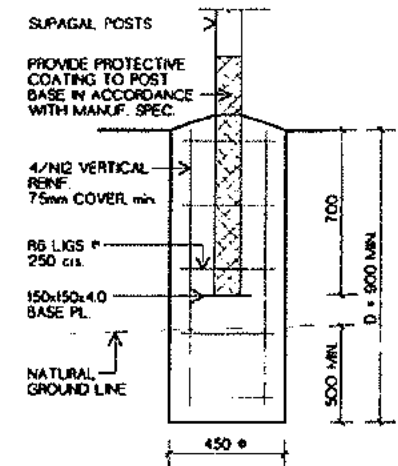
1:20

NOTE 1
RHS & SHS POSTS CAN BE CAST INTO FOOTING
OR SITE WELDED TO SAME SIZE RHS/SHS
SECTION CAST INTO FOOTINGS AT TIME OF
POUR WITH 12 THK. CAP PLATE TO TOP



**FOOTING P1
FOOTING P1A SIMILAR
REINFORCING CAGE REQUIRED
WHEN D = 1000mm OR GREATER**

1:20



**FOOTING P2
REINFORCING CAGE REQUIRED
WHEN D = 1000mm OR GREATER**

1:20

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

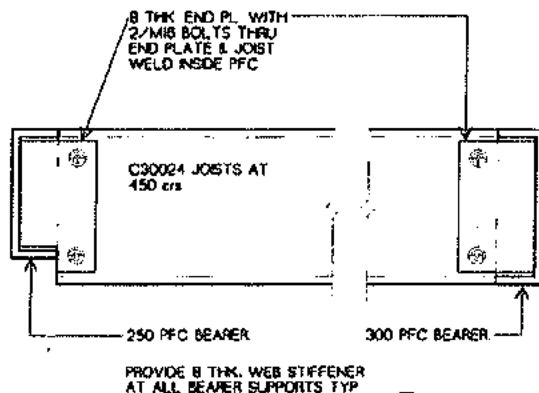
Signature 11870
C.M.G. CONSULTING ENGINEERS
208 BUCHAN ST
CARNS QLD 4870
PH: 07 4031 2175
FAX: 07 4054 9003

© Copyright
These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.
Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences.

**building
designer**
pd designs pty. ltd.
MO: 143 302 889 FAX: 73 637 317 372
14 under CDESA Act 1981 - No. 52534
14A garden street, gordonvale, 4863
ph: 07 4654 1863, fax: 07 4556 2595

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD,
DAINTREE.

1:20
AUGUST 2010
1767
WIND CLASSIFICATION **C2**
W5
OF 14



DETAIL 2

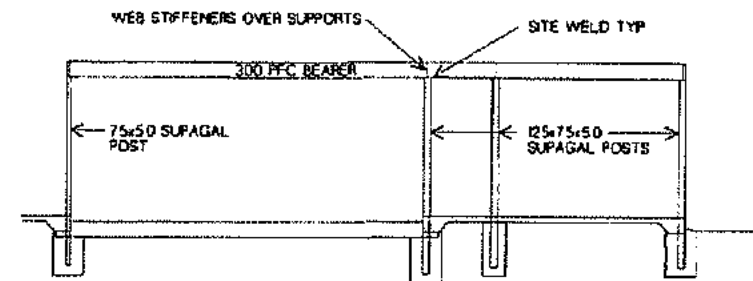
1:10

TERMITE TREATMENT

SELECTED TREATMENT METHOD TO BE WITH PHYSICAL BARRIERS. A MONOLITHIC SLAB LAYED IN ACCORDANCE WITH AS 2870 AND S.S. MESH PARTIAL TREATMENT TO PENETRATIONS AND PERIMETER OF SLAB EDGE OUT PAST RENDER IN ACCORDANCE WITH AS 3660.1 AND USE OF NON-SUSCEPTIBLE BUILDING MATERIALS E.G. STEEL & C.C.A. OR L.O.S.P. TREATED TIMBER.

REGULAR INSPECTIONS ARE REQUIRED AT 3 - 6 MONTH INTERVALS TO ENSURE THE BARRIERS HAVE NOT BEEN BROKEN BY TERMITES.

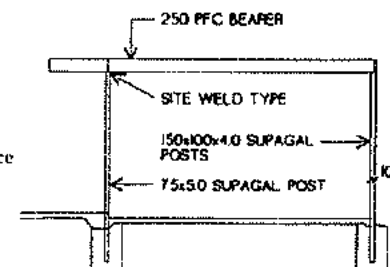
NO GARDENS ARE TO BE BUILT UP TO THE HOUSE SO A CLEAR VIEW OF THE PERIMETER OF THE BUILDING IS READILY VISIBLE FOR PERIODIC INSPECTIONS & NO BRIDGING PATHS ARE PROVIDED FOR THE TERMITES TO BYPASS THE PHYSICAL BARRIERS WITHOUT DETECTION.



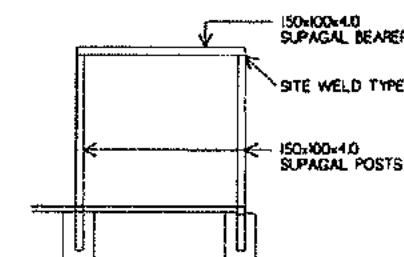
FRAME 1 ELEVATION

GMA Certification Group Pty Ltd
This document has been assessed for Compliance with the Building Act 1975 and is APPROVED

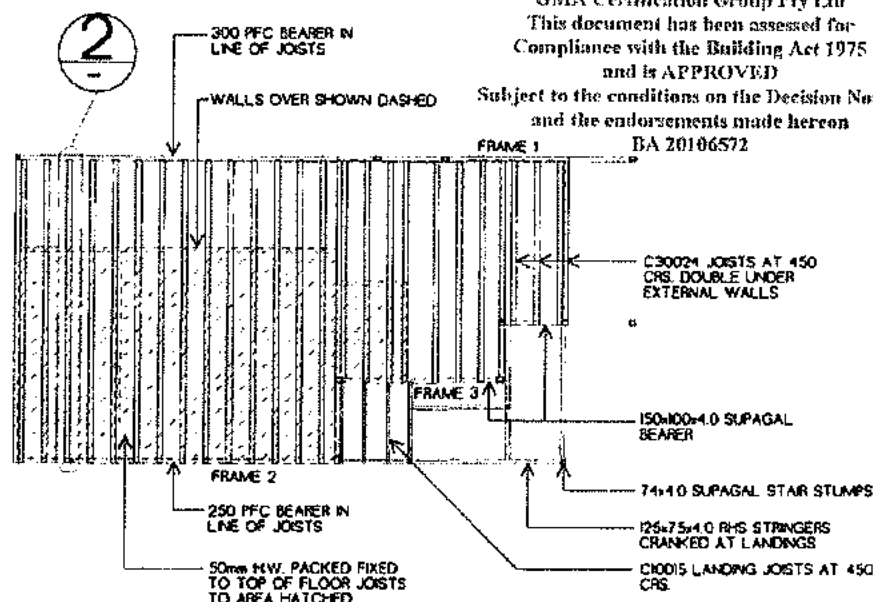
Subject to the conditions on the Decision Notice and the endorsements made hereon
BA 20106572



FRAME 2 ELEVATION



FRAME 3 ELEVATION



PROVIDE 8 THK. WEB STIFFENER AT ALL BEAMER SUPPORTS TYP.

STANDARD WALLS

EXTERNAL WALLS

TOP & BOTTOM PLATE - 12mm STRUCT. PLATE

STUDS - 10mm S.B.F. STUDS AT 450 CRS.

NOGGING - 1 ROW OF NOGGING

TOP & BOTTOM PLATE TO STUD CONNECTION - 4 RIVETS EACH CONNECTION (2 RIVETS EACH SIDE)

INTERNAL WALLS

TOP & BOTTOM PLATE - 0.75mm STRUCT. PLATE

STUDS - 10mm S.B.F. STUDS AT 600 CRS. UNO

NOGGING - 1 ROW OF NOGGING TO BRACE WALLS & BESIDE OPENINGS

TOP & BOTTOM PLATE TO STUD CONNECTION - 2 RIVETS EACH CONNECTION (2 RIVET EACH SIDE)

BRACE WALLS

TOP & BOTTOM PLATE - 12mm STRUCT. PLATE

STUDS - 10mm STRUCTURAL STUD

NOGGING - 0.75mm S.B.F. WITH 1 RIVET PER CONNECTION

BRACING MEMBER - 12mm STRUCTURAL STUD

PROVIDE 6 RIVETS PER CONNECTION (3 RIVETS EACH SIDE) FOR BRACING MEMBERS TO STUDS.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

C.M.G. CONSULTING ENGINEERS
11870
208 BUCHAN ST
CARYS DLD 4870
PH 07 4031 2775
FAX 07 4031 9001

© Copyright
These drawings and designs are Copyright & shall not be used, copied or retained without written permission.
Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work commences.



building designer

pd designs pty. ltd.
143 262 880
143 262 880
143 262 880
143 262 880

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD,
DAINTREE.

1:100, 1:10

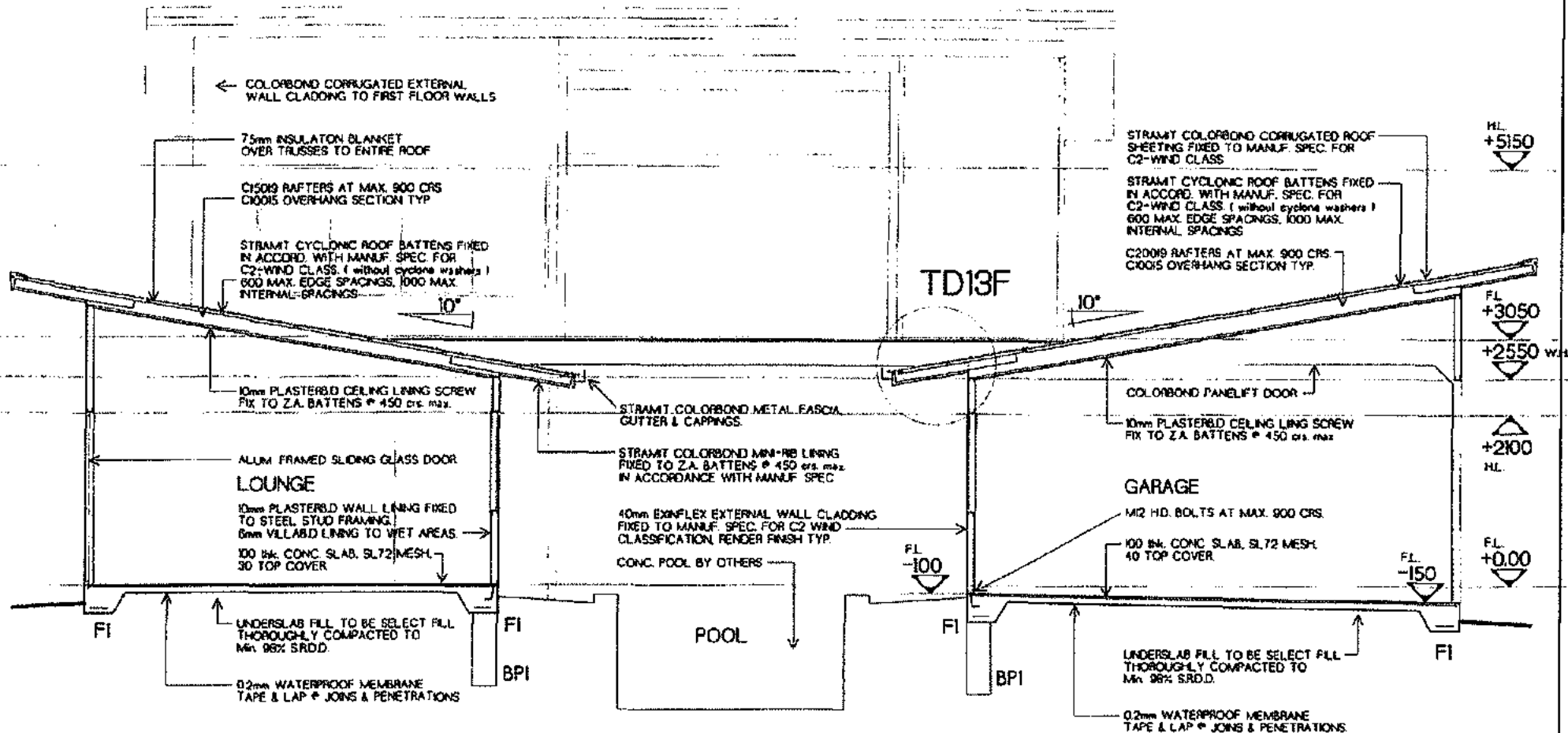
AUGUST 2000

1767

WIND CLASSIFICATION

W6
OF 14

C2



GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED
Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20186572

SECTION



1: 50

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

Signature 11870
C.M.G. CONSULTING ENGINEERS
308 BUCHAN ST
CARIS QLD 4870
PH 07 4031 2275
FAX 07 4051 9031

© Copyright
These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.
Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences



**building
designer**

pd designs pty. ltd.
PO BOX 142 502 804
St. Under CROSA ACT 1991 - Box 55532
15A garden street, PORTSMOUTH, 4005
PH 07 4056 1883, FAX 07 4056 3585

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD.
DAINTREE.

1: 50

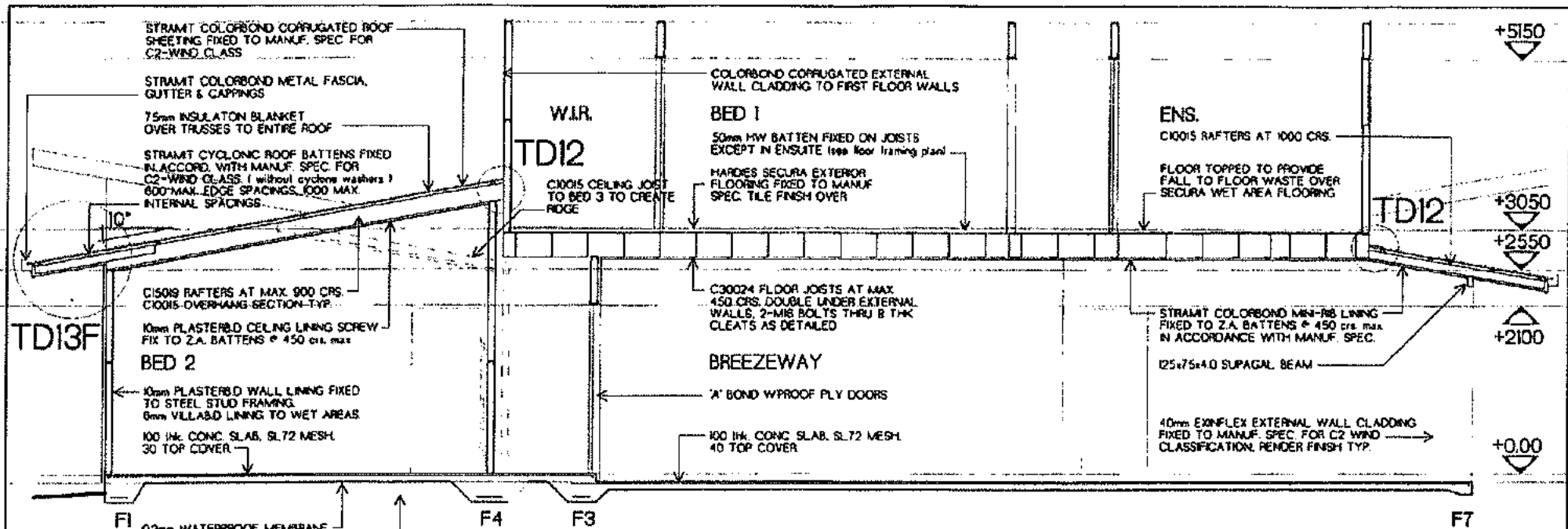
AUGUST 2010

1767

WIND
CLASSIFICATION

W7
OF 14

C2



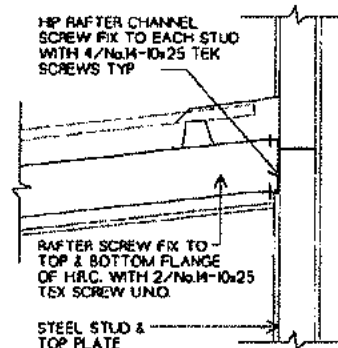
SECTION

1:50



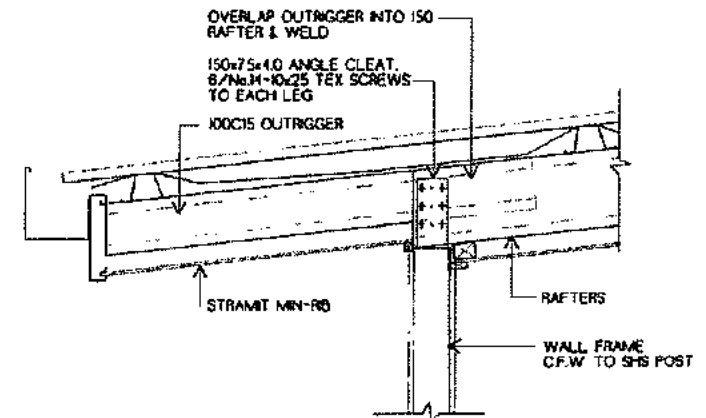
GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED

Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20106572



DETAIL TD12

1:10



DETAIL TD13F

1:10

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

Signature 11870
C.M.G. CONSULTING ENGINEERS
208 BUCHAN ST
CARING DLD 4870
PH: 07 4031 2775
FAX: 07 4031 2003

© Copyright

These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.

Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences



**building
designer**

pd designs pty. ltd.
PO BOX 202 080
100 WINDYBUSH RD
PO BOX 202 080
PO BOX 202 080

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD,
DAINTREE.

1:50, 1:10

AUGUST 2010

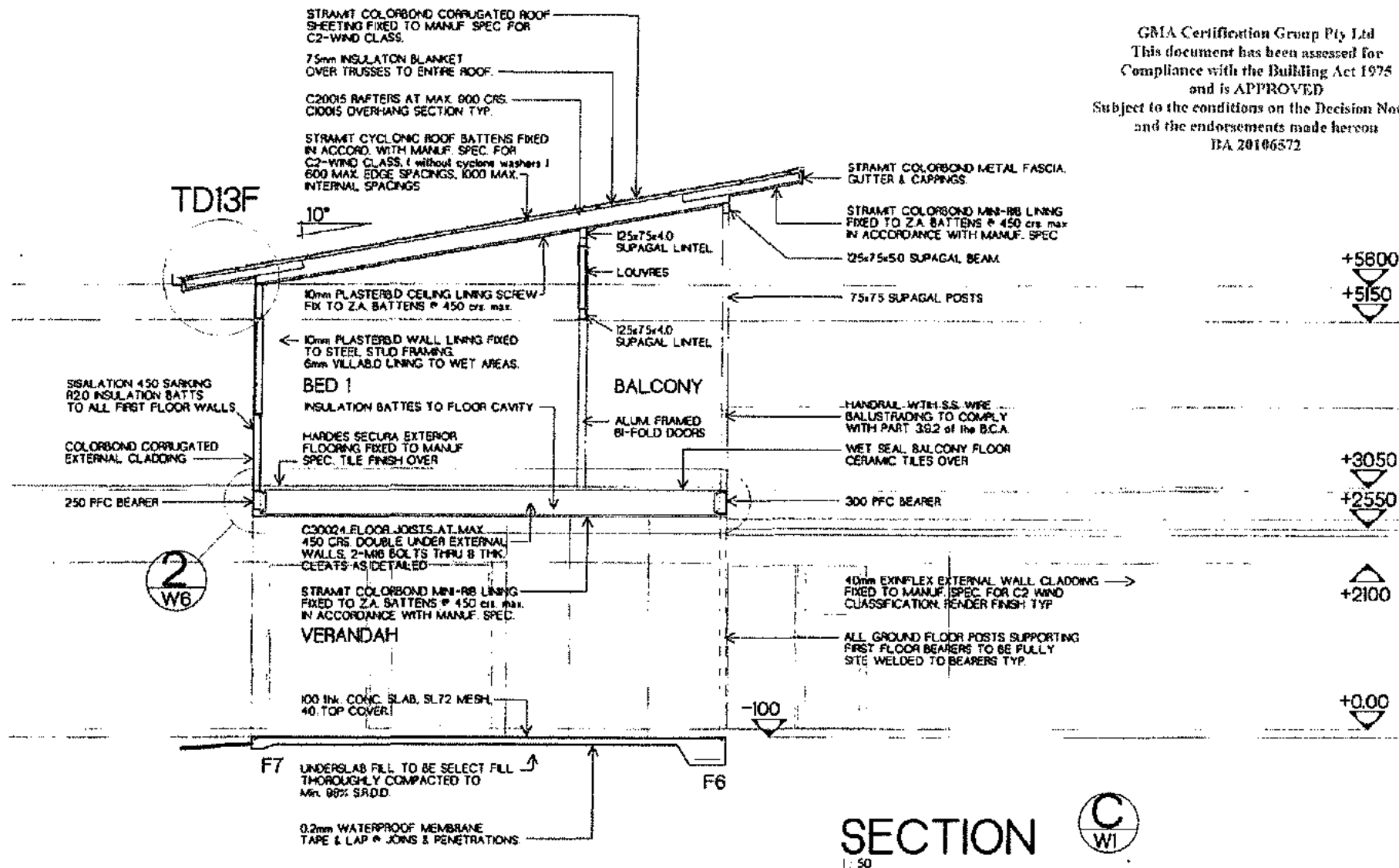
1767

WIND
CLASSIFICATION

W8
OF 14

C2

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED
Subject to the conditions on the Decision Notice
and the endorsements made hereon
DA 20106572



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

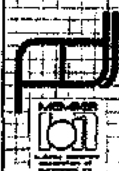
Signature 11-8-10

C.M.G. CONSULTING
208 BUCHANAN ST
CARMS OLD 4870
PH 07 4031 2775
FAX 07 4051 8003

© Copyright

These drawings and designs are Copyright & shall not be used, copied or retained without written permission.

Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work commences.



building designer

pd designs pty. ltd.
PO BOX 143 300 BUN
VIC 3084
TEL 03 9454 1000 FAX 03 9454 1001
WWW.PDDESIGNS.COM.AU

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD.
DAINTREE.

1:50

AUGUST 2010

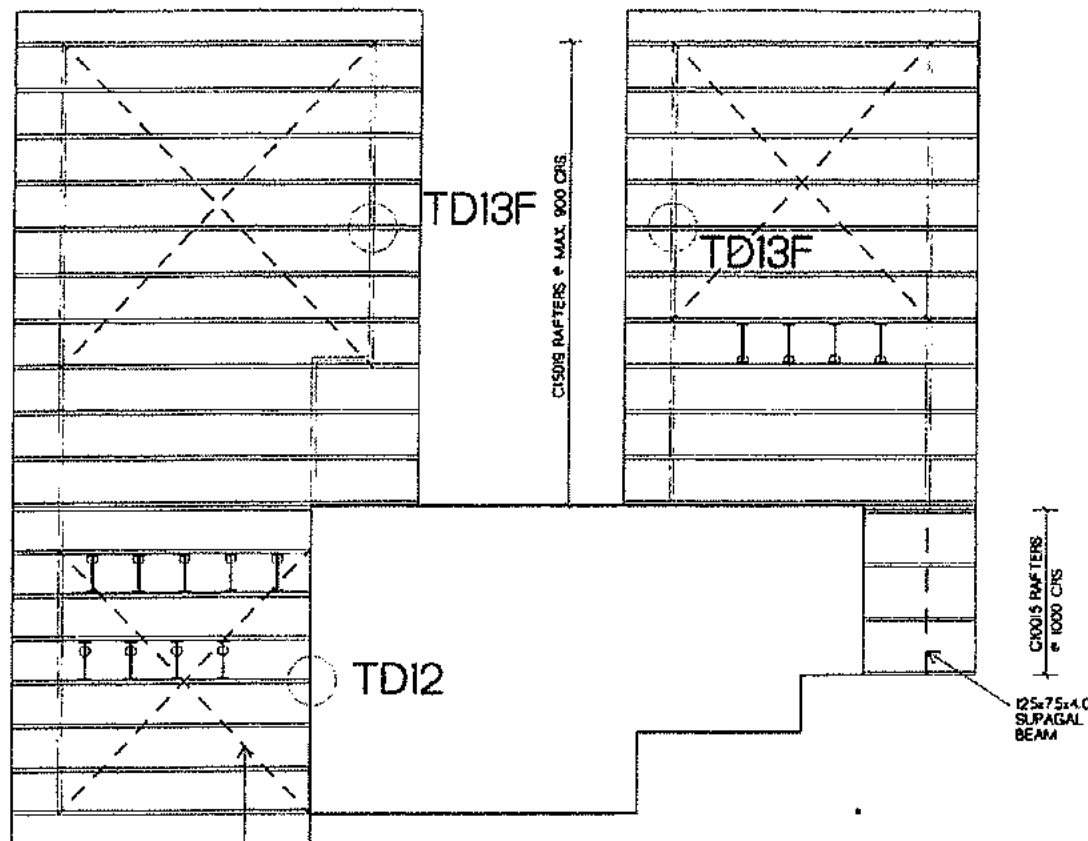
1767

WIND CLASSIFICATION

W9
OF 14

C2

C20015 RAFTERS @ MAX 900 CRS
C20024 RAFTERS @ MAX 900 CRS
C15018 RAFTERS @ MAX 900 CRS

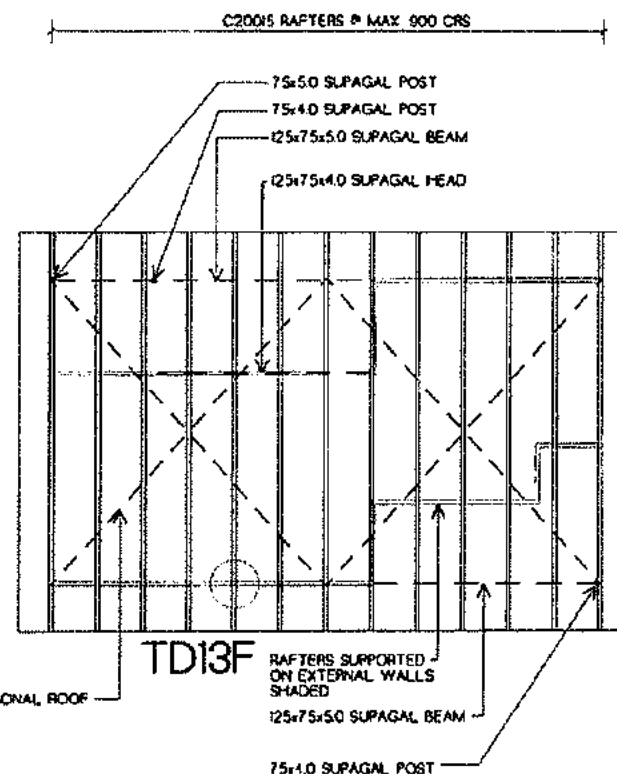


GROUND FLOOR ROOF FRAMING PLAN

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED

Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20106572

ANTI - RAKING CLEAT



FIRST FLOOR ROOF FRAMING PLAN

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

[Signature] 11870
C.M.G. CONSULTING ENGINEERS
208 BUCHANAN ST
CARPIS QLD 4870
PH: 07 4008 2175
FAX: 07 4008 9001

© Copyright
These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.
Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences.



**building
designer**

pd designs pty. ltd.
ABN: 141 362 899 | ACN: 72 432 117 523
In: under QSA Act 1991 - No. 37534
36A Gordon Street, Gordonvale, 4863.
ph: 07 4058 1863, fax: 07 4058 3595

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD.
DAINTREE.

1:100.

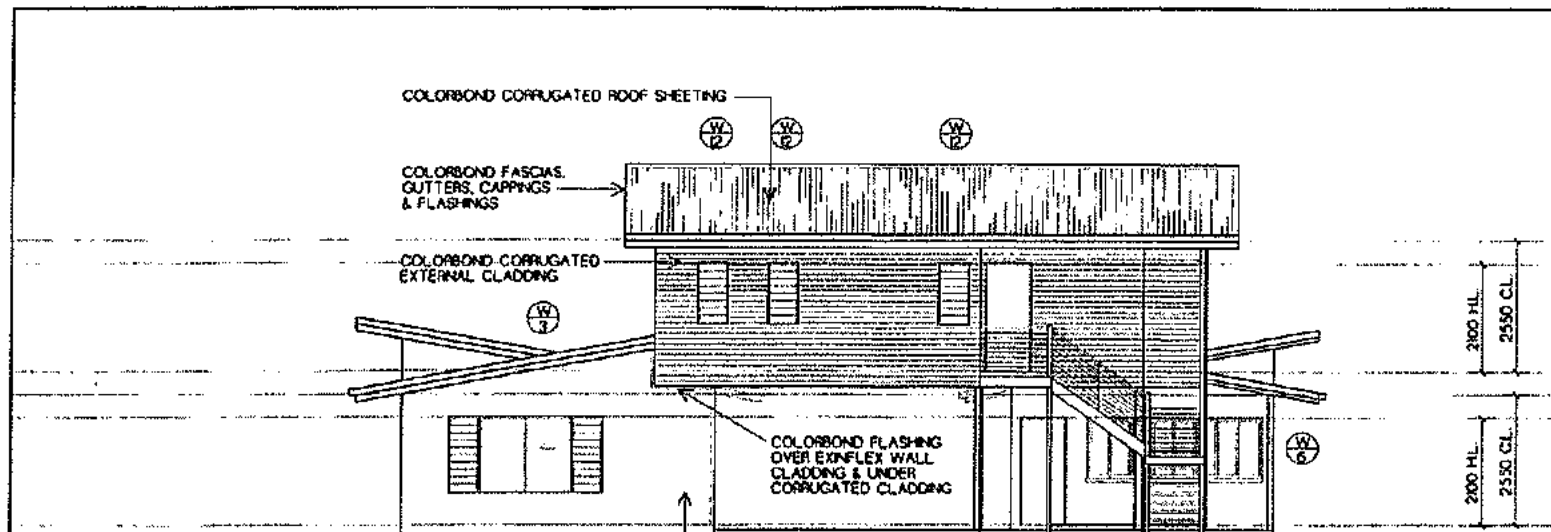
AUGUST 2010

1767

WIND
CLASSIFICATION

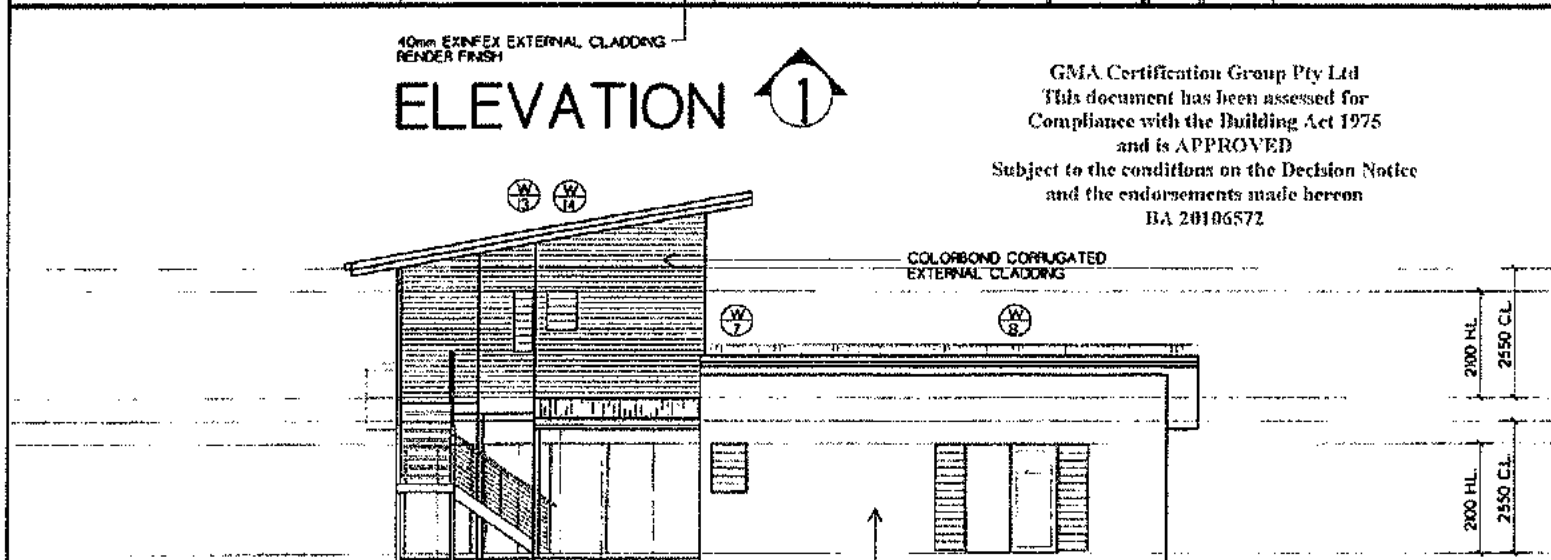
W10
OF 14

C2



ELEVATION ①

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED
Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20106572



ELEVATION ②

WINDOW SCHEDULE

W1	1400x1800 SLIDING GLASS WINDOW
W2	1818x800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME
W3	1498x3000 WINDOW, 800 WIDE BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME EACH SIDE OF 1498x800 SLIDING GLASS WINDOW
W4	2100x1800 SLIDING GLASS DOOR
W5	825x3000 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, SLIMLINE FRAME
W6	1200x3400 ALUM. FRAMED BIFOLD WINDOW CENTRE OPENING, NO BOTTOM TRACK
W7	831x700 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME
W8	2100x3000 OPENING, 2051x800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME EACH SIDE OF 2100x1800 SLIDING GLASS DOOR
W9	1800x2800 SLIDING GLASS WINDOW FIXED GLASS BELOW MIDDLE
W10	1800x3000 SLIDING GLASS WINDOW, FIXED GLASS BELOW MIDDLE, CRMSAFE SCREEN
W11	1200x1800 SLIDING GLASS WINDOW, FIXED GLASS BELOW MIDDLE, CRMSAFE SCREEN
W12	1218x800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME
W13	1218x400 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME
W14	798x600 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME
W15	1600x3600 SLIDING GLASS WINDOW
W16	1600x1400 SLIDING GLASS WINDOW
W17	2100x1000 ALUM. FRAMED BIFOLD DOORS
W18	798x4000 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME RING HANDLES & MAP ROD lever bifold doors
W19	1818x800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSOON FRAME

Note:

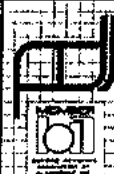
ALL LOUVRES TO HAVE FULL OPENABLE CLIPS FRAME TYPES AS NOTED. COLOUR MATCH FRAMES, CLIPS AND HANDLES TYP.

LOUVRE SIZES INDICATED ARE ACTUAL FRAME SIZES. OPENINGS TO BE SIZED ACCORDINGLY TO ALLOW FOR FRAMES

ALL DOORS AND WINDOWS TO HAVE FLYSCREENS UNLESS NOTED TO HAVE CRMSAFE SCREENS

ALL FRAMES BLACK POWDER COATED FINISH
ALL GLASS EVERGREEN TINT

© Copyright
These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.
Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences



**building
designer**
pd designs pty. ltd.
BAC 143 382 809 FAX 73 333 147 373
LIC. UNDER DECA ACT 1989 - No. 57524
96A garden rd. #101, gardeners, 4913,
VIC 37 4006 1863, VIC 37 4006 3053

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD,
DAINTREE.

1:100

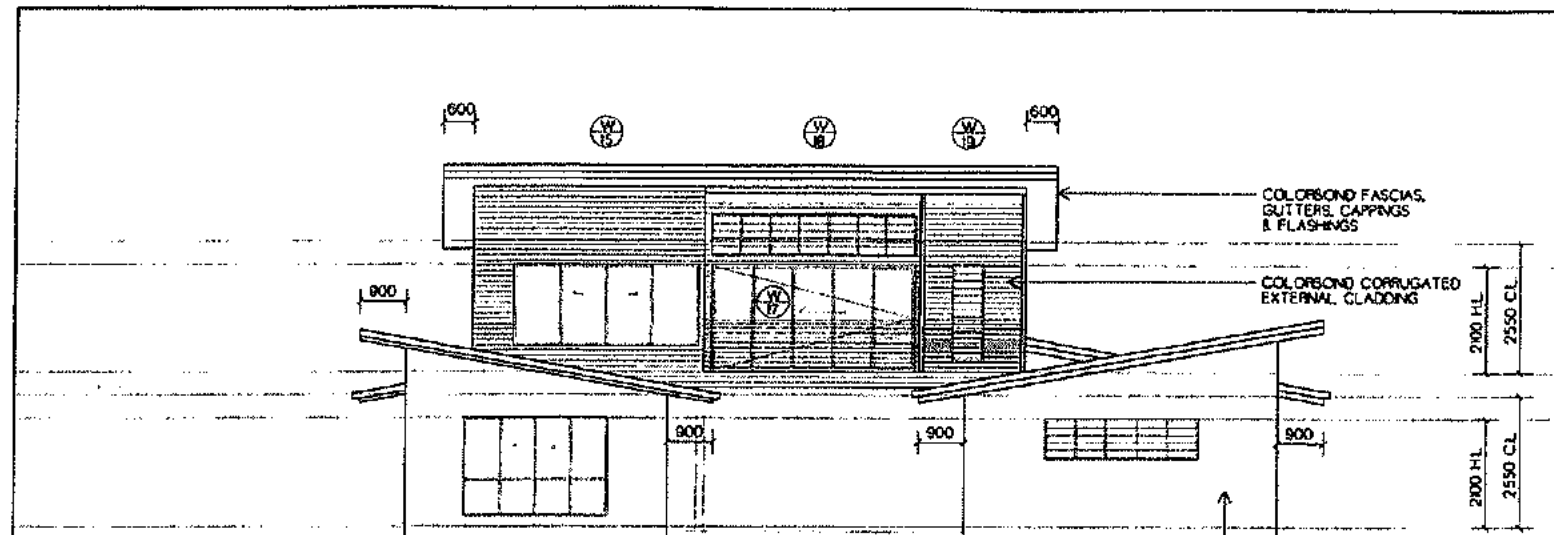
AUGUST 2010

1767

WIND
CLASSIFICATION

W11
OF 14

C2

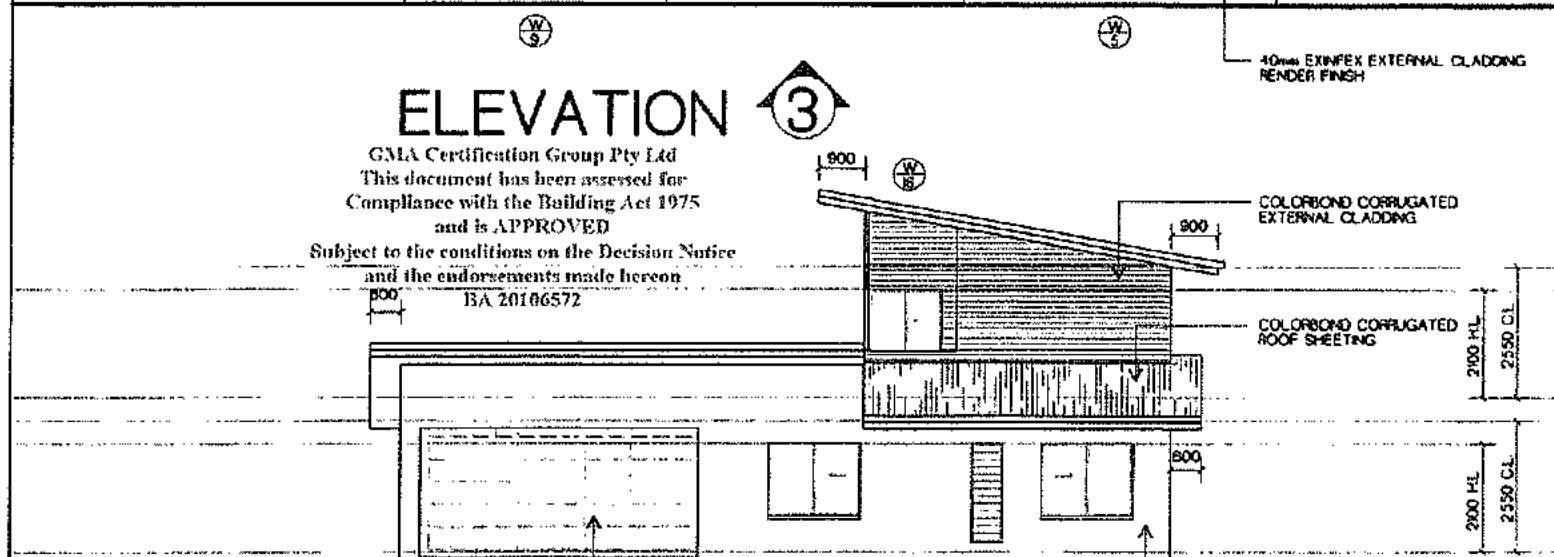


ELEVATION 3

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED

Subject to the conditions on the Decision Notice
and the endorsements made hereon

BA 20106572



ELEVATION 4

© Copyright
These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.
Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences.



building
designer

pd designs pty. ltd.
143 302 009 fax 73 437 147 513
56, under OSHA Act 1991 - No. 31524
96A garden street, gardenvale, 4063
ph 07 4256 1263 fax 07 4256 3665

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD.
DAINTREE.

WINDOW SCHEDULE

- W1 1400x1800 SLIDING GLASS WINDOW
- W2 181x600 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME
- W3 149x3000 WINDOW, 800 WIDE BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME, EACH SIDE OF 149x1800 SLIDING GLASS WINDOW
- W4 2100x1800 SLIDING GLASS DOOR
- W5 625x3000 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, SLIMLINE FRAME
- W6 1200x3400 ALUM. FRAMED BIFOLD WINDOW CENTRE OPENING, NO BOTTOM TRACK
- W7 83x700 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME
- W8 2100x3000 OPENING, 205x1800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME, EACH SIDE OF 2100x1800 SLIDING GLASS DOOR
- W9 1800x2800 SLIDING GLASS WINDOW FIXED GLASS BELOW MORAIL
- W10 1800x3000 SLIDING GLASS WINDOW, FIXED GLASS BELOW MORAIL, CRMSAFE SCREEN
- W11 1900x1800 SLIDING GLASS WINDOW, FIXED GLASS BELOW MORAIL, CRMSAFE SCREEN
- W12 121x600 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME
- W13 121x400 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME
- W14 78x1800 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME
- W15 1800x3800 SLIDING GLASS WINDOW
- W16 1800x1400 SLIDING GLASS WINDOW
- W17 2100x1000 ALUM. FRAMED BIFOLD DOORS
- W18 781x4000 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME RING HANDLES & MAP ROD (lower bifold door)
- W19 181x600 BREEZWAY 'ALTAR' 152mm LOUVRE SYSTEM, GLASS BLADES, EASYSREEN FRAME

Note:

ALL LOUVRES TO HAVE FULL OPENABLE CLIPS
FRAME TYPES AS NOTED, COLOUR MATCH FRAMES,
CLIPS AND HANDLES TYP.

LOUVRE SIZES INDICATED ARE ACTUAL FRAME SIZES.
OPENINGS TO BE SIZED ACCORDINGLY TO ALLOW
FOR FRAMES.

ALL DOORS AND WINDOWS TO HAVE FLYSCREENS
UNLESS NOTED TO HAVE CRMSAFE SCREENS

ALL FRAMES BLACK POWDER COATED FINISH
ALL GLASS EVERGREEN TINT

1:100

AUGUST 2010

1767

WIND
CLASSIFICATION

W12
OF 14

C2

Requirements for Sustainable Buildings

Acceptable Solutions:

Volume of Water

Licensed plumbers must install 4-star WELS rated toilets and 3-star WELS rated tapware for kitchen sinks, basins and laundry troughs in new class 1 and class 2 buildings. For any major renovation work that involves both a building development approval and a plumbing application, the retrofit of existing toilets with 4-star rated toilets is required. The retrofit of existing taps is not part of the new requirement.

Toilets must have dual flush capability that does not exceed 6 litres on full flush & 3 litres on half flush.

Water Supply

In a service area for retail water service under the Water Act 2000, the water supplied to a new Class 1 building does not exceed pressure levels set out in AS/NZS 3550:2003 and if the main water pressure exceeds 500 Kpa, a water pressure limiting device is installed to ensure that the maximum operating pressure of the outlet within the boundaries of the property does not exceed 500 Kpa.

Airconditioning

Minimum 2.0 Energy Efficiency Ratio (EER) equivalent to a current 4-star energy rating for air-conditioners permanently attached to fixed wiring in class 1 and class 2 buildings where new and replacement systems are installed from 1 July 2009.

Acceptable Hot Water Systems

In a new Class 1 building, Hot water systems must have a low greenhouse gas emission impact.

5 star Gas hot water system, either a heat pump OR solar hot water system. Systems must be eligible to receive Min. 22 Renewable Energy Certificates (4 bedrooms).

Shower Roses to be AAA rating when assessed against AS/NZS 8400: 2004 or Labelling Scheme (WELS) A 4 star rating under the Water Efficiency Labelling Scheme (WELS).

STRUCTURAL STEELWORK NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO FABRICATION OF ANY MISCELLANEOUS STEELWORK.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 1250 AND A.S. 1554.
- UNLESS OTHERWISE SHOWN STEEL QUALITY SHALL CONFORM WITH ALL RELEVANT AUSTRALIAN STANDARDS.
- UNLESS OTHERWISE SHOWN ALL INTERFACES BETWEEN CONNECTING STEELWORK SHALL BE EITHER BOLTED OR CONTINUOUSLY WELDED. ALL WELDS SHALL BE 8mm FILLET WELDS ON BOTH SIDES UNO.
- ALL BUTT WELDS SHALL BE FULL PENETRATION BUTT WELDS UNLESS SHOWN OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND HOLES REQUIRED FOR FIXING NON-STRUCTURAL ELEMENTS TO STEELWORK WHETHER SHOWN OR NOT ON THE DRAWINGS.
- SITE WELDING SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH SAFETY REGULATIONS.
- ALL STEEL MEMBERS TO BE PAINTED WITH ZINC OXIDE PRIMER WHERE CONCEALED, & PAINTED TO MATCH SURROUNDING WALLS WHERE EXPOSED.

Manufacturer's Certificate

Hemalab Steel Truss and Frame of 8 Side Street in Moree hereby certifies that the Steel Roof Trusses manufactured by this company have been designed and built in accordance with the Australian Standards Code 8702: 1989.

Owner's Name T & S SAGE

Job Location: LOT 1 FOREST CREEK ROAD, DAINTREE

Plan Number: 1767 W1 - W14

Date: 11/8/10

Wind Classification: C2

External Pressure Coefficient: +0.9

Internal Pressure Coefficient: +0.5 Other

Roof Pitch: 17°

Maximum Rafter Spacing: 900 Centres

Roof Type: Metal Roof

Roof Batten Spacing: 600 Intermediate 1000

Ceiling Batten Spacing: 450 600

Ceiling Sheeting: Verslue Plasterboard Hardtlex Colour bond

Signed: _____

Date: 11/8/10

Silvano Scappa
General Manager
Hemalab Steel Truss and Frame

Signed: _____

Date: 11/8/10

Chris Genarolo 1850 1370
Managing Director
CMG Consulting Engineers Pty Ltd

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED

Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20106572

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

CMG CONSULTING ENGINEERS
11870
208 BUCHAN ST
CARINGOLD 4870
PH: 07 4031 2775
FAX: 07 4031 9303

© Copyright

These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.

Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences.



building
designer

pd designs pty. ltd.
145 202 800 145 202 800
145 202 800 145 202 800
145 202 800 145 202 800
145 202 800 145 202 800

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD,
DAINTREE.

N.T.S.

AUGUST 2010

1767

WIND
CLASSIFICATION

W13
OF 14

C2

PROPERTY DESCRIPTION

Lot 1 on SP 16489

PARISH of ALEXANDRA
COUNTY of SOLANDER

C2 - WIND CLASSIFICATION
SOIL CLASSIFICATION - 'S'

Local Authority - Cairns Regional Council

NOTE

PROVIDE CONCRETE SPLASH PADS UNDER HOUSE DOWNPIPES
UNLESS BEING DIVERTED INTO APPROVED STORMWATER TANK/S

DIRECT STORMWATER AWAY FROM BUILDING
TOWARD APPROVED STORMWATER DRAIN/S

REFER TO WASTE WATER CONSULTANTS SITE CLASSIFICATION &
WASTEWATER MANAGEMENT SYSTEM REPORT FOR DESIGN &
LOCATION OF 'ON SITE' WASTE WATER TREATMENT SYSTEM

ROOF STORMWATER COLLECTION TO BE DIRECTED VIA
90 Ds. U.P.V.C. UNDERGROUND PIPE/S DIRECTED TO
LAWFULL DISCHARGE POINTS

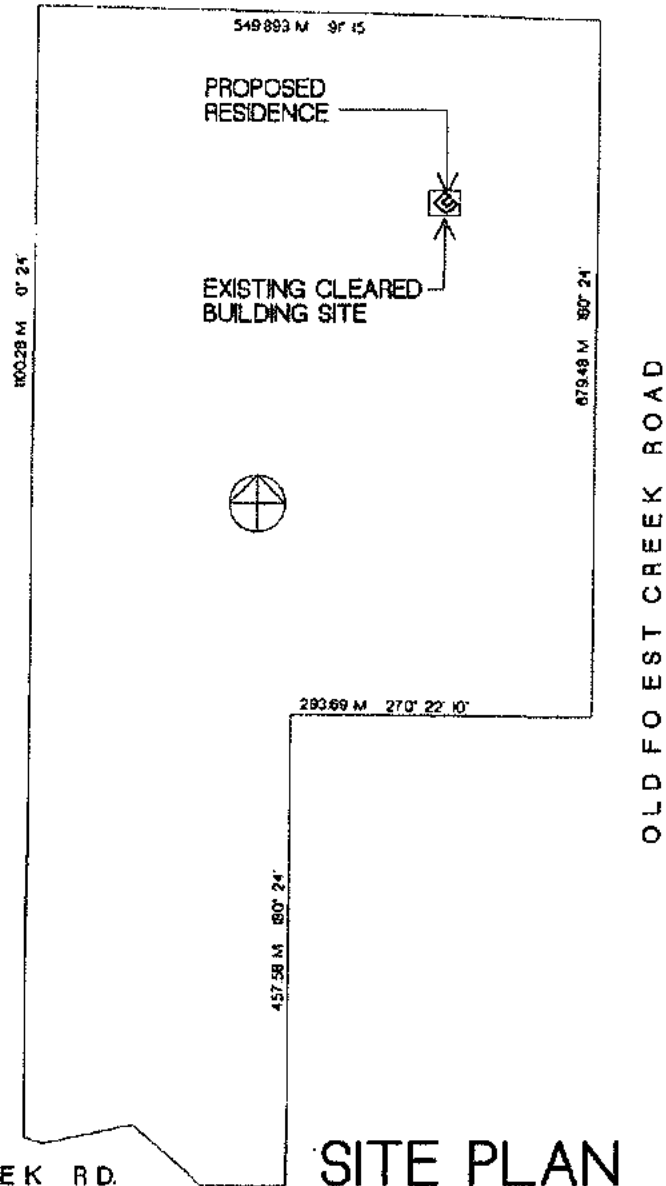
EXISTING 30000 LITRE WATER TANKS TO BE CONNECTED TO
NEW RESIDENCE WITH NEW 12000 LITRE TANK INSTALLED
AT A HIGHER ELEVATION TO PROVIDE GRAVITY FEED TO HOUSE

BUILDING PLATFORM PREPARATION

1. AN AREA APPROXIMATELY 2000 PAST THE BUILDING LINES IS
TO BE STRIPPED OF ALL TOPSOIL AND ALL ORGANIC MATTER
ETC. IS TO BE GRUBBED OUT LEAVING FIRM STABLE
MATERIAL ONLY. ALL TOP SOIL CAN BE STOCKPILED ON SITE
FOR LATER USE IN LANDSCAPING.
2. ANY TREE STUMPS UNDER THE PLATFORM ARE TO BE
REMOVED AND THE RESULTANT HOLES ARE TO BE
BACKFILLED WITH APPROVED NON-PLASTIC FILL MATERIAL
IN COMPACTED LAYERS NOT EXCEEDING 150 mm TO 98 % SADD
IN COMPACTED LAYERS NOT EXCEEDING 150 mm TO 98 % SADD
3. ANY FILL IS TO BE SPREAD IN LAYERS NOT EXCEEDING 150mm
& COMPACTED WITH THE ROLLER TO 98% SRDD AT
OPTIMUM MOISTURE CONTENT.
4. THE BUILDING PLATFORM IS TO BE SHAPED TO ALLOW FOR
50mm MINIMUM SAND BEDDING UNDER BUILDING SLABS & TO
ENSURE THAT IT DRAINS TO ITS PERIMETER AND SUCH
DRAINAGE IS TAKEN AWAY FROM THE BUILDING PLATFORM
AREA.
5. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH
THE RELEVANT AUTHORITIES & GENERALLY IN ACCORDANCE
WITH A.S. 28701 & A.S. 3798-1990.
6. THE CERTIFICATION OF THE FOOTINGS IS BASED ON A CLASS
'S' SITE CLASSIFICATION, MINIMUM SAFE BEARING
CAPACITY 100 KPa.
7. FLOOR SLAB TO BE MINIMUM OF 225mm ABOVE FINISHED
GROUND LEVEL.
8. BUILDER TO VERIFY SITE CLASSIFICATION ON SITE PRIOR TO
CONSTRUCTION OF FOOTINGS. REFER TO ENGINEER SHOULD
CLASSIFICATION DIFFER.
9. IF THERE IS ANY UNCONTROLLED FILL ON THE SITE THE FOOTINGS
ARE TO BE FOUNDED MIN. 150mm INTO NATURAL GROUND, REFER TO
ENGINEER TO CLARIFY FOOTING DETAILS.

GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED

Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20106572



FOREST CREEK RD.

SITE PLAN

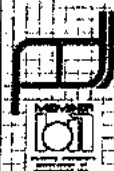
1:2000

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

[Signature] 11870
C.M.G. CONSULTING
208 BUCHAN ST
CAIRNS QLD 4850
PH 07 4033 2775
FAX 07 4034 9003

© Copyright

These drawings and designs are
Copyright & shall not be used,
copied or retained without written
permission.
Use figured dimensions in preference
to scale. Check all dimensions on site
before fabrication or building work
commences.



building
designer

pd designs pty. ltd.
doc: 113 302 899 doc: 73 437 117 535
16 under 605A Act 1991 - No. 57531
86A garden street, gardenvale, 4065
ph: 07 4056 1863 fax: 07 4056 3595

PROPOSED RESIDENCE FOR:
T. & S. SAGE
LOT 1, FOREST CREEK ROAD,
DAINTREE.

1:2000

AUGUST 2010

1767

WIND
CLASSIFICATION

W14

OF 14

C2

Compliance Certificate for building Design or Specification

15

<p>NOTE</p>	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1973</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (landscaping) post design/plan in landscape and/or public and airport systems this section may not be applicable. The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on the documents or plans. If the plan is not registered by LGA, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Forest Creek Road (27416L1)</p> <p>Daintree</p> <p>Lot & plan details (attach list if necessary)</p> <p>Lot 1 on SP 161489</p> <p>In which local government area is the land situated?</p> <p>Caimes Regional Council</p>
<p>2. Description of components certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Footings</p> <p>Bracing</p> <p>Tie-Down</p> <p>Structural Steel</p> <p>Wall, Floor and Roof Framing</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the rules to which rules, specifications, rules, standards, codes of practice and other publications were referred upon.</p>	<p>Wind Classification - C2</p> <p>Australian Standard Codes- AS 2870, AS 4055, AS 3600, AS4100, AS 1684.3, AS/NZS 1170 Parts 1 & 2</p> <p>Local Authority Regulations</p> <p>Soil Classification Class 'S'</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. referenced structural engineering plans.</p>	<p>Peter Dall'Alba Design Drawings 1767 W1 - W14</p>
<p>5. Building certifier reference number</p>	<p>Building certifier reference number</p>
<p>6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must test the guidelines when assessing the person.</p>	<p>Name (in full)</p> <p>Charles Gianarakis RPEQ 1370</p> <p>Company name (if applicable)</p> <p>CMG Consulting Engineers Pty Ltd</p> <p>Contact person</p> <p>Charles Gianarakis</p> <p>Phone no. business hours</p> <p>07 40 312775</p> <p>Mobile no.</p> <p>07 40 519013</p> <p>Fax no.</p> <p>07 40 519013</p> <p>Email address</p> <p>char@cmgeng.com.au</p> <p>Postal address</p> <p>P.O. Box 5901, Cairns Qld 4870</p> <p>Licence or registration number (if applicable)</p>
<p>7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.</p>	<p>Signature</p> <p>Date</p> <p>11 August 2010</p>

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number

Approved form 15
Version 1.0128

Compliance Certificate for building Design or Specification

15

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>								
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <table border="1"> <tr> <td colspan="2">Forest Creek Road</td> </tr> <tr> <td>Daintree</td> <td>Postcode 4873</td> </tr> </table> <p>Lot & plan details (attach list if necessary)</p> <table border="1"> <tr> <td>Lot 1 on S.P. 161489, Parish of Alexandria, County of Solander</td> </tr> </table> <p>In which local government area is the land situated?</p> <table border="1"> <tr> <td>Calms Regional Council</td> </tr> </table>	Forest Creek Road		Daintree	Postcode 4873	Lot 1 on S.P. 161489, Parish of Alexandria, County of Solander	Calms Regional Council		
Forest Creek Road									
Daintree	Postcode 4873								
Lot 1 on S.P. 161489, Parish of Alexandria, County of Solander									
Calms Regional Council									
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<table border="1"> <tr> <td>Energy Efficiency assessment by Computer Modelling "Thermal Calculation Method"</td> </tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>	Energy Efficiency assessment by Computer Modelling "Thermal Calculation Method"							
Energy Efficiency assessment by Computer Modelling "Thermal Calculation Method"									
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<table border="1"> <tr> <td>BCA 2010 – Volume 2 Building Code of Australia Class 1 and 10 Buildings</td> </tr> <tr> <td>BersPRO 4.1 Thermal Modelling Software programme</td> </tr> <tr> <td>Queensland Development Code - Part 29 & MP.1 Sustainable Buildings</td> </tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>	BCA 2010 – Volume 2 Building Code of Australia Class 1 and 10 Buildings	BersPRO 4.1 Thermal Modelling Software programme	Queensland Development Code - Part 29 & MP.1 Sustainable Buildings					
BCA 2010 – Volume 2 Building Code of Australia Class 1 and 10 Buildings									
BersPRO 4.1 Thermal Modelling Software programme									
Queensland Development Code - Part 29 & MP.1 Sustainable Buildings									

LOCAL GOVERNMENT USE ONLY

<p>Local Government Name</p>	<p>Local Government Address</p>	<p>Signature of Local Government Officer Date</p>
------------------------------	---------------------------------	----------------------------------------------------------------

StarEnergy Star Rating

Project: 150104
Location: BATHURST
Client: BATHURST CITY

Rev: 1
PC: 4873
M000000

Area: 1000 sqm



BERS V4.1

Condition Area	Area (sqm)	Energy Use (MJ/m²)	Energy Use (MJ)	Star Rating
Space Heating	1000	12.0	12000	
Adjusted Cooling	1000	12.0	12000	
Adjusted Heating	1000	12.0	12000	
Adjusted Total	1000	12.0	12000	
Cooling	1000	12.0	12000	
Heating	1000	12.0	12000	
Total	1000	12.0	12000	

Building Details

Unit Number: 1001 House Number: 1001
Unit Name: 1001
Street Name: 1001
Development Name: 1001
Gordon Street
State: NSW Post Code: 1500

Client Details

Name: 1001 Design Pty Ltd Pty Ltd
Phone: 07 40561083 Fax: 07 40563556 Email: pdesign@tipponc.net.au
Postal Address: 1001 Gordon Street, Gordonvale, QLD 4865
Street Address: 1001 Gordon Street, Gordonvale, QLD 4865

Assessor Details

Name: Rob Edwards Assessor Name: Rob Edwards
Phone: 07 4099 2520 Fax: 07 4099 2520 Email: rob@robdesign.com.au
Postal Address: 1001 Gordon Street, Gordonvale, QLD 4865
Street Address: 1001 Gordon Street, Gordonvale, QLD 4865

I am a fully trained and registered NATA Energy assessor.
I certify that this is an accurate assessment of the building.
I certify that this assessment is my own work and does not include the work of others.

Signed by the assessor:

www.starhigh.com.au
Date: 10/10/2008 H. Wilfash Copyright 2008

Not a legal document prepared by the Copyright Royalty
Board in 1957

[illegible]
$$f_1 = f_2 = \dots = f_n = 0 \quad \text{for } n = 1, 2, \dots, \infty$$

2025年3月16日 星期一

1. The first step is to identify the problem. This involves understanding the situation, gathering information, and defining the problem clearly.

[illegible]

1. 凡在本行开立存款账户的客户，均可向本行申请开立支票。
 2. 支票的有效期为自签发之日起 10 个工作日内。
 3. 支票的金额不得超过账户余额。
 4. 支票的签发人必须为账户持有人或其授权代理人。
 5. 支票的收款人必须为本行客户。

1. 1990年1月1日起，凡在境内从事生产经营活动的纳税人，其应纳税额在1000元以下者，按应纳税额减征10%；在1000元以上5000元以下者，按应纳税额减征5%；在5000元以上10000元以下者，按应纳税额减征3%；在10000元以上者，按应纳税额减征1%。

1122-1123

(Musical notation)

2025-2026
 2025-2026

7-11919 2-29-64 10:35
UNCLASS

11-27-2020

李 嘉 德
 李 嘉 德 李 嘉 德 李 嘉 德
 李 嘉 德 李 嘉 德 李 嘉 德

1997 1998 1999 2000 2001 2002 2003 2004 2005 2006 2007 2008 2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042 2043 2044 2045 2046 2047 2048 2049 2050 2051 2052 2053 2054 2055 2056 2057 2058 2059 2060 2061 2062 2063 2064 2065 2066 2067 2068 2069 2070 2071 2072 2073 2074 2075 2076 2077 2078 2079 2080 2081 2082 2083 2084 2085 2086 2087 2088 2089 2090 2091 2092 2093 2094 2095 2096 2097 2098 2099 2100 2101 2102 2103 2104 2105 2106 2107 2108 2109 2110 2111 2112 2113 2114 2115 2116 2117 2118 2119 2120 2121 2122 2123 2124 2125 2126 2127 2128 2129 2130 2131 2132 2133 2134 2135 2136 2137 2138 2139 2140 2141 2142 2143 2144 2145 2146 2147 2148 2149 2150 2151 2152 2153 2154 2155 2156 2157 2158 2159 2160 2161 2162 2163 2164 2165 2166 2167 2168 2169 2170 2171 2172 2173 2174 2175 2176 2177 2178 2179 2180 2181 2182 2183 2184 2185 2186 2187 2188 2189 2190 2191 2192 2193 2194 2195 2196 2197 2198 2199 2200 2201 2202 2203 2204 2205 2206 2207 2208 2209 2210 2211 2212 2213 2214 2215 2216 2217 2218 2219 2220 2221 2222 2223 2224 2225 2226 2227 2228 2229 2230 2231 2232 2233 2234 2235 2236 2237 2238 2239 2240 2241 2242 2243 2244 2245 2246 2247 2248 2249 2250 2251 2252 2253 2254 2255 2256 2257 2258 2259 2260 2261 2262 2263 2264 2265 2266 2267 2268 2269 2270 2271 2272 2273 2274 2275 2276 2277 2278 2279 2280 2281 2282 2283 2284 2285 2286 2287 2288 2289 2290 2291 2292 2293 2294 2295 2296 2297 2298 2299 2300 2301 2302 2303 2304 2305 2306 2307 2308 2309 2310 2311 2312 2313 2314 2315 2316 2317 2318 2319 2320 2321 2322 2323 2324 2325 2326 2327 2328 2329 2330 2331 2332 2333 2334 2335 2336 2337 2338 2339 2340 2341 2342 2343 2344 2345 2346 2347 2348 2349 2350 2351 2352 2353 2354 2355 2356 2357 2358 2359 2360 2361 2362 2363 2364 2365 2366 2367 2368 2369 2370 2371 2372 2373 2374 2375 2376 2377 2378 2379 2380 2381 2382 2383 2384 2385 2386 2387 2388 2389 2390 2391 2392 2393 2394 2395 2396 2397 2398 2399 2400 2401 2402 2403 2404 2405 2406 2407 2408 2409 2410 2411 2412 2413 2414 2415 2416 2417 2418 2419 2420 2421 2422 2423 2424 2425 2426 2427 2428 2429 2430 2431 2432 2433 2434 2435 2436 2437 2438 2439 2440 2441 2442 2443 2444 2445 2446 2447 2448 2449 2450 2451 2452 2453 2454 2455 2456 2457 2458 2459 2460 2461 2462 2463 2464 2465 2466 2467 2468 2469 2470 2471 2472 2473 2474 2475 2476 2477 2478 2479 2480 2481 2482 2483 2484 2485 2486 2487 2488 2489 2490 2491 2492 2493 2494 2495 2496 2497 2498 2499 2500 2501 2502 2503 2504 2505 2506 2507 2508 2509 2510 2511 2512 2513 2514 2515 2516 2517 2518 2519 2520 2521 2522 2523 2524 2525 2526 2527 2528 2529 2530 2531 2532 2533 2534 2535 2536 2537 2538 2539 2540 2541 2542 2543 2544 2545 2546 2547 2548 2549 2550 2551 2552 2553 2554 2555 2556 2557 2558 2559 2560 2561 2562 2563 2564 2565 2566 2567 2568 2569 2570 2571 2572 2573 2574 2575 2576 2577 2578 2579 2580 2581 2582 2583 2584 2585 2586 2587 2588 2589 2590 2591 2592 2593 2594 2595 2596 2597 2598 2599 2600 2601 2602 2603 2604 2605 2606 2607 2608 2609 2610 2611 2612 2613 2614 2615 2616 2617 2618 2619 2620 2621 2622 2623 2624 2625 2626 2627 2628 2629 2630 2631 2632 2633 2634 2635 2636 2637 2638 2639 2640 2641 2642 2643 2644 2645 2646 2647 2648 2649 2650 2651 2652 2653 2654 2655 2656 2657 2658 2659 2660 2661 2662 2663 2664 2665 2666 2667 2668 2669 2670 2671 2672 2673 2674 2675 2676 2677 2678 2679 2680 2681 2682 2683 2684 2685 2686 2687 2688 2689 2690 2691 2692 2693 2694 2695 2696 2697 2698 2699 2700 2701 2702 2703 2704 2705 2706 2707 2708 2709 2710 2711 2712 2713 2714 2715 2716 2717 2718 2719 2720 2721 2722 2723 2724 2725 2726 2727 2728 2729 2730 2731 2732 2733 2734 2735 2736 2737 2738 2739 2740 2741 2742 2743 2744 2745 2746 2747 2748 2749 2750 2751 2752 2753 2754 2755 2756 2757 2758 2759 2760 2761 2762 2763 2764 2765 2766 2767 2768 2769 2770 2771 2772 2773 2774 2775 2776 2777 2778 2779 2780 2781 2782 2783 2784 2785 2786 2787 2788 2789 2790 2791 2792 2793 2794 2795 2796 2797 2798 2799 2800 2801 2802 2803 2804 2805 2806 2807 2808 2809 2810 2811 2812 2813 2814 2

1987年10月

W. L. RAY
J. L. RAY

Filed 2-20-20

1055 454

Author: Michael J. Gorman

3.6.1. Cst-13D: Living System (Medium form) 3.6.2. Cst-13E: Bacteria (No. 3) (1)

$\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$

2018

The Journal of Law, Economics, & Organization, V16 N1
© Society for Law, Economics, & Organization, Inc.
All rights reserved. No part of this publication may be reproduced,
stored in a retrieval system, or transmitted, in any form or by any means,
electronic, mechanical, photocopying, recording, or otherwise, without
the prior written permission of the publisher.



Queensland Government Employees' Compensation Scheme



EARTH TEST

Site Classification

For

T & S Sage

At

Lot 1 Forest Creek Road

Daintree

Postal address: Earth Test, PO Box 1042, Tolga, Qld 4882. Phone: 4095 4734
e-mail: earthtest@bigpond.com



INTRODUCTION:

Earth Test has been engaged by T & S Sage to assess, design and report on Site Classification at Lot 1 Forest Creek Road, Daintree.

Real Property Description:-

Lot 1, on SP 161489

Parish: Alexandra

County: Solander

Local Authority: Douglas

It is understood the intention is to construct a four bedroom dwelling with a shed at the site.

A site and soil evaluation was carried out in May 2006.

SITE FACTORS:

The site was identified during a meeting with the owner on site.

The Lot has an area of 48.7591hectares and is covered with rainforest.

The house site is in a previously cleared area on the top of a ridge.

A building pad has been prepared using a cut and fill operation.

Site tests identified an area of uncontrolled fill.

Power supply is to be solar power with a back up generator.

Water is to be supplied by on-site roof water tanks. The ability to supplement the water supply by pumping from the creek exists.

Eight Dynamic Cone Penetration tests were performed at locations DCP1 through DCP8, and a borehole at BH1 as shown on the site plan.

Atterberg Limits Tests were carried out on samples from BH1.

**SITE INVESTIGATION REPORT****BOREHOLE LOG**

CLIENT: T & S Sage.		DATE SAMPLED: 11/05/2006
PROJECT: Lot 1 Forest Creek Road, Daintree.		Sampled by: L. Quinn
REPORT DATE: 19/07/2010		
BOREHOLE No: BH1		
DEPTH (m)	DESCRIPTION	COMMENTS
0.0-0.9	Yellow-Orange, Gravelly Clay-Loam Unable to dig deeper due to rocks.	50% coarse fragments. Disturbed sample from 0.4 to 0.6 m.
BOREHOLE No: BH2		
DEPTH (m)	DESCRIPTION	COMMENTS



EARTH TEST

QBSA Lic No. 1017941.

ATTERBERG LIMITS TEST REPORT

CLIENT: T & S Sage.

SAMPLE No: SI 95-06

PROJECT: Lot 1 Forest Creek Road, Daintree.

DATE SAMPLED: 11/05/2006

SAMPLE DETAILS: BH1 0.4 to 0.6m.

Sampled by: L. Quinn.

REPORT DATE: 19/07/2010

Tested By: L. Quinn.

TEST METHOD	RESULT
Liquid Limit: AS 1289.3.1.2-1995	22%
Plastic Limit: AS 1289.3.2.1-1995	20%
Plasticity Index: AS 1289.3.3.1-1995	2%
Linear Shrinkage: AS 1289.3.4.1-1995	2.0%
Sample History:	Air Dried
Preparation Method:	Dry Sieved
Insitu Moisture Content:	8.7%

**DYNAMIC CONE PENETROMETER REPORT**

CLIENT: T & S Sage.

SAMPLE No: SI 95-06

PROJECT: Lot 1 Forest Creek Road, Daintree.

DATE SAMPLED: 11/05/2006

SAMPLE DETAILS: Sites "DCP1 through DCP8."
as per site plan.

Sampled by: L. Quinn.

Tested By: L. Quinn.

REPORT DATE: 19/07/2010

DEPTH (Metres)	Site:1 No. of Blows	Site:2 No. of Blows	Site:3 No. of Blows	Site:4 No. of Blows	Site:5 No. of Blows	Site:6 No. of Blows	Site:7 No. of Blows	Site:8 No. of 2 Blows 3 s
0.0 - 0.1	3	5	1	1	1	1	3	3
0.1 - 0.2	8	18	-	2	4	1	5	3
0.2 - 0.3	8	ROCK	-	3	4	2	2	4
0.3 - 0.4	10		-	4	2	ROCK	1	5
0.4 - 0.5	14		2	5	3		1	
0.5 - 0.6	12		2	5	4		1	ROCK
0.6 - 0.7	13		2	5	4		4	
0.7 - 0.8	14		2	5	9		2	
0.8 - 0.9	18		2	10	ROCK		3	
0.9 - 1.0	ROCK		2	14			2	
1.0 - 1.1			4	ROCK			11+	
1.1 - 1.2			6				ROCK	
1.2 - 1.3			1					
1.3 - 1.4			4					
1.4 - 1.5								
1.5 - 1.6								
1.6 - 1.7								
1.7 - 1.8								
1.8 - 1.9								
1.9 - 2.0								



SITE CLASSIFICATION

Lot 1 Forest Creek Road, Daintree.

The Dynamic Cone Penetrometer test results indicate adequate allowable bearing pressure to 1.5m.

The Atterberg Limits test results indicate a slightly reactive soil.

Due to the slightly reactive soil the site is classified **CLASS-"S"**.
To comply with the "Building Services Board Subsidence Policy" advice should be sought from a Registered Professional Engineer for footing design.

All site works must be carried out in accordance with AS 3798-2007 "Guidelines on earthworks for commercial and residential developments"

The footprint of the building must fall in the area defined in the revised site plan to avoid the area of un-controlled fill shown in the original site plan.

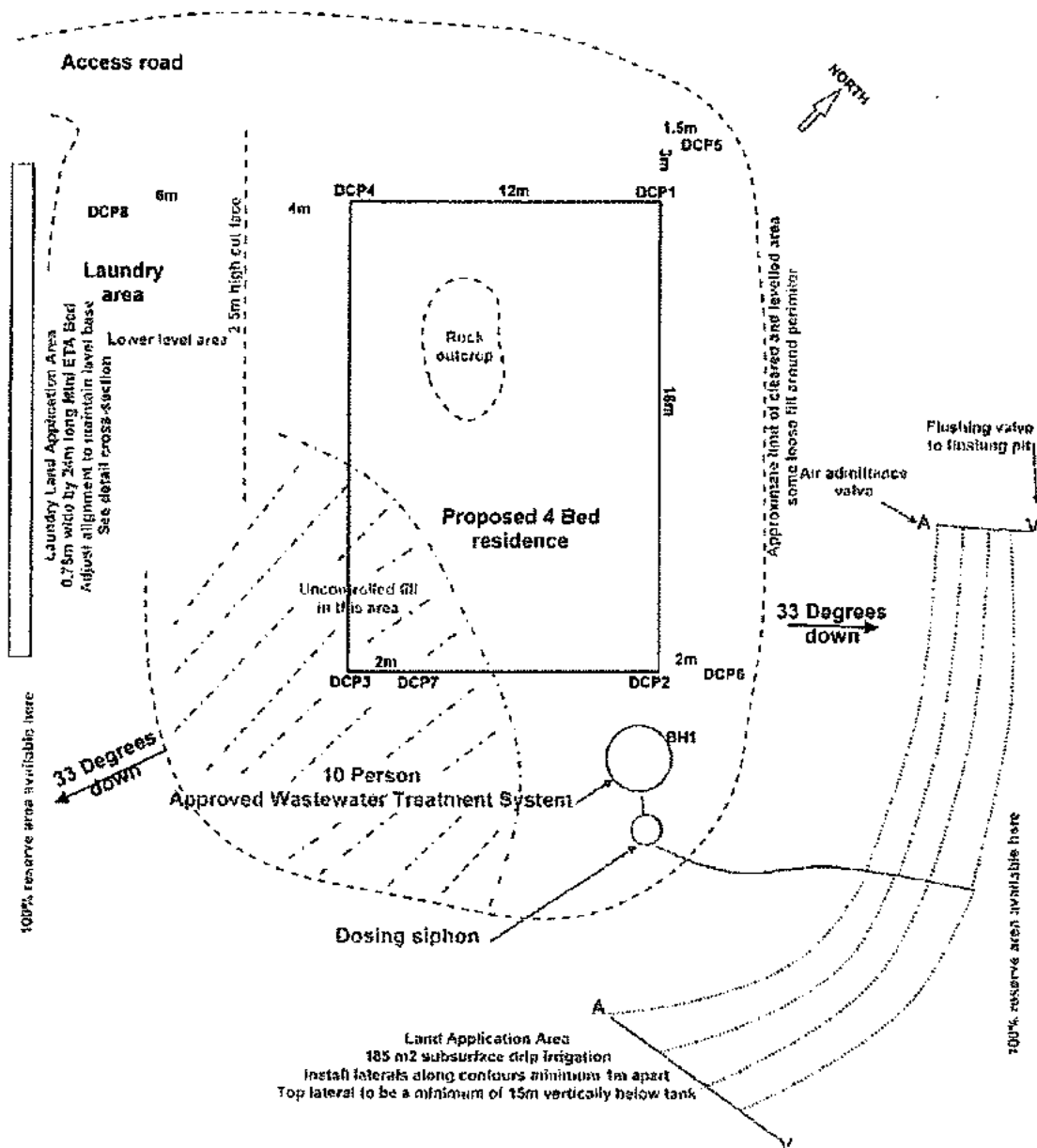
Because this investigation is limited in scope and extent, it is possible that areas may exist which differ from those shown on the test hole records and used in the site classification. Should any variation from the reported conditions be encountered during excavation work, this office must be notified immediately so that reappraisal of the classification can be made.

A copy of the CSIRO publication BTF 18 "Foundation Maintenance and Footing Performance: A Homeowner's Guide" is attached for your information.

Leonard Quinn.
Earth Test.

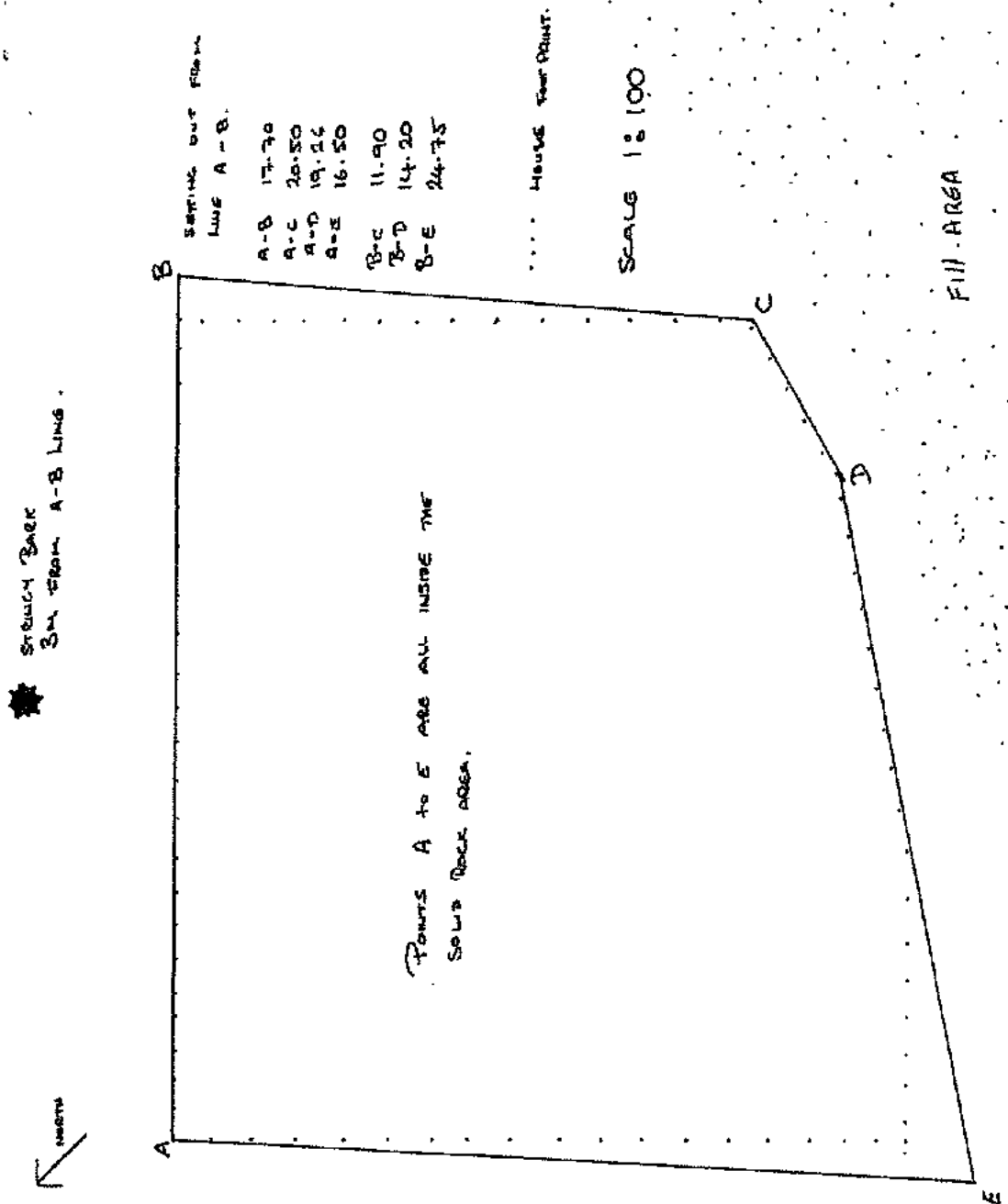


SITE PLAN
Lot 1 Forest Creek Road, Daintree.
Not to scale





Revised Site Plan
Lot 1 Forest Creek Road, Daintree.
Not to scale



Lot 1 on SP 161489
PARISH of ALEXANDRIA
COUNTY of SOLANDER
C2 - WIND CLASSIFICATION
SOIL CLASSIFICATION - 'S'
Local Authority - Cairns Regional Council

PROVIDE CONCRETE SPLASH PADS UNDER HOUSE DOWNPIPES
UNLESS BEING DIVERTED INTO APPROVED STORMWATER TANK/S

**DIRECT STORMWATER AWAY FROM BUILDING
TOWARD APPROVED STORMWATER DRAIN/S**

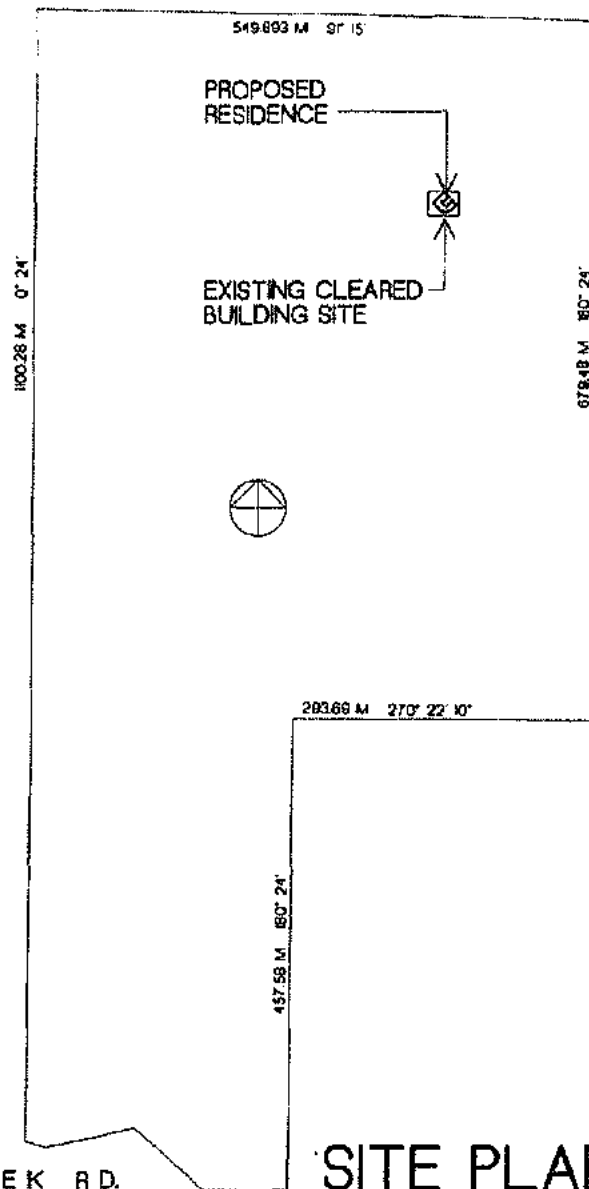
REFER TO WASTE WATER CONSULTANTS SITE CLASSIFICATION & WASTEWATER MANAGEMENT SYSTEM REPORT FOR DESIGN & LOCATION OF 'ON SITE' WASTE WATER TREATMENT SYSTEM.

ROOF STORMWATER COLLECTION TO BE DIRECTED VIA
80 Dia. uPVC UNDERGROUND PIPE/S DIRECTED TO
LAWELL DISCHARGE POINTS

EXISTING 30000 LITRE WATER TANKS TO BE CONNECTED TO
NEW RESIDENCE WITH NEW 12000 LITRE TANK INSTALLED
AT A HIGHER ELEVATION TO PROVIDE GRAVITY FEED TO HOUSE

1. AN AREA APPROXIMATELY 2000 PAST THE BUILDING LINES IS TO BE STRIPPED OF ALL TOPSOIL AND ALL ORGANIC MATTER ETC. IS TO BE GRUBBED OUT LEAVING FIRM STABLE MATERIAL ONLY. ALL TOP SOIL CAN BE STOCKPILED ON SITE FOR LATER USE IN LANDSCAPING.
2. ANY TREE STUMPS UNDER THE PLATFORM ARE TO BE REMOVED AND THE RESULTANT HOLES ARE TO BE BACKFILLED WITH APPROVED NON-PLASTIC FILL MATERIAL IN COMPACTED LAYERS NOT EXCEEDING 150 mm TO 98 % SRDD.
3. ANY FILL IS TO BE SPREAD IN LAYERS NOT EXCEEDING 150mm & COMPACTED WITH THE ROLLER TO 98% SRDD AT OPTIMUM MOISTURE CONTENT.
4. THE BUILDING PLATFORM IS TO BE SHAPED TO ALLOW FOR 50mm MINIMUM SAND BEDDING UNDER BUILDING SLABS & TO ENSURE THAT IT DRAINS TO ITS PERIMETER AND SUCH DRAINAGE IS TAKEN AWAY FROM THE BUILDING PLATFORM AREA.
5. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT AUTHORITIES & GENERALLY IN ACCORDANCE WITH AS 2870:1 & AS 3798-1990.
6. THE CERTIFICATION OF THE FOOTINGS IS BASED ON A CLASS 'S' SITE CLASSIFICATION, MINIMUM SAFE BEARING CAPACITY 100 KPa.
7. FLOOR SLAB TO BE MINIMUM OF 225mm ABOVE FINISHED GROUND LEVEL.
8. BUILDER TO VERIFY SITE CLASSIFICATION ON SITE PRIOR TO CONSTRUCTION OF FOOTINGS. REFER TO ENGINEER SHOULD CLASSIFICATION DIFFER.
9. IF THERE IS ANY UNCONTROLLED FILL ON THE SITE THE FOOTING ARE TO BE FOUNDED MIN 150mm INTO NATURAL GROUND. REFER ENGINEER TO CLARIFY FOOTING DETAILS.

Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20106572



FOREST CREEK RD.

SITE PLAN

1 : 2000

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION C2

A. J. Penach 11870
C.M.G. CONSULTING ENGINEERS
208 BUCHAN ST.
CARMS OLD 4670
PH. 07 403 2775
FAX 07 4054 8000

© Copyright

These drawings and designs are Copyright & shall not be used, copied or retained without written permission.
Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work commences.



**building
designer**

pd designs ply. ltd.
 apt. 113 202 898 fax: 13 437 747 573
 inc. under CWSA Act 7981 - Reg 57534
 864 garden street, gardenvale, 4025
 apt. 87 4056 1983 fax: 07 4056 3000

PROPOSED RESIDENCE FOR :
T. & S. SAGE
LOT 1, FOREST CREEK ROAD.
DAINTREE.

© 2000

AUGUST 2010

1767

WIND
CLASSIFICATION

W14
OF 14

C2

DEVELOPMENT ASSESSMENT – RECEIPT SHEET

APPLICATION NO: _____ DATE: 24-10-2013 RECEIPT NO: 6974158
 APPLICANT: Samantha Carey-Sage CONTACT NAME: Samantha Carey-Sage
 ADDRESS OF APPLICANT: Po Box 1156 Mossman QLD 4873
 PHONE: 40907301 EMAIL: Scareysage@gmail.com
 SITE LOCATION: 62R Forest Creek Rd Forest Creek
 LOT & PLAN: Lot 1 on SP161489

RECEIPT CODE	TYPE OF APPLICATION	AMOUNT PAID
1894	• Planning and Development Certificates	
1811	• Consideration of Alternative Acceptable Measure / Report to Council • Prelodgement Enquiry / Report to Council / Compliance Check for Self Assessable Development	
1852	• Application for Material Change of Use and Preliminary Approvals for Building Work – Code and Impact. • Extension of Currency Period / Reconsider Lapsed Approval for Material Change of Use • Request for Superseded Scheme application • Signage under DSC Scheme (Op Works)	\$277.00
1806	• Application for Reconfiguring a Lot • Extension of Currency Period / Reconsider Lapsed Approval for Reconfiguring a Lot	
1852/1806	Combined application (Split fee: Code: 1840 for MCU and Code: 1814 for ROL)	1840 MCU
		1814 ROL
1896	Modification or Cancellation of Application or Consent Order	
1898	Landscape Plan Assessments	
1801	• Vegetation Protection • Permit to Damage Protected Vegetation	
1816	Applications for Operational Works/Re-assessment (Excludes Signage – DSC Scheme)	
NA	Applications for Engineering Work on the Road Reserve – CAIRNS ONLY	
1816	Works/Final Works Inspections, Re-Inspections	
1803	Bonds for Outstanding Works, Construction Security, Defects Liability, EPS	
1814	Endorsement of Survey Plans	
SALES		
1805	Public Notification Signs	BY: <u>[Signature]</u>
1807	Sale of Planning Documents (Including Hard Copies of CairnsPlan / Douglas Shire Planning Scheme)	
1809	• CDs of Cairns Plan / Douglas Shire Planning Scheme and superseded schemes • CDs – copy of application • C-Data Manipulation • CD supplied to customer <input type="checkbox"/>	
1852	Copies of Development Application,	
1811	Letter of Enquiry to determine land use history	

RECEIVED
24 OCT 2013