

# DA Form 1 – Development application details

**Approved form (version 1.2 effective 7 February 2020) made under section 282 of the Planning Act 2016.**

This form must be used to make a development application involving code **assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use DA Form 2 – Building work details.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (DA Form 1) and parts 4 to 6 of DA Form 2 – Building work details.

Unless stated otherwise, all parts of this form must be completed in full and all required supporting information must accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the Transport Infrastructure Act 1994, and airport land under the Airport Assets (Restructuring and Disposal) Act 2008. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Jill Chism & Barbara Malarski
Contact name <i>(only applicable for companies)</i>	Jill Chism
Postal address <i>(P.O. Box or street address)</i>	Lot 44 Finlay Crescent
Suburb	OAK BEACH
State	QLD
Postcode	4877
Country	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	

2) Owner's consents	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/>	Yes – the written consent of the owner(s) is attached to this development application
<input checked="" type="checkbox"/>	No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1 or 3.2, and 3.3) as applicable

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans

#### 3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
- Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		20	Finlay Cres	OAK BEACH
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	44	RP 850452	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

- Coordinates of premises by longitude and latitude

Longitude(s)	Longitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Longitude(s)	Longitude(s)	Zone Ref	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

#### 3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

- Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*

EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

**5) Are there any existing easements over the premises?**  
*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.*

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

<input checked="" type="checkbox"/> Material change of use	<input type="checkbox"/> Reconfiguring a lot	<input type="checkbox"/> Operational work	<input type="checkbox"/> Building work
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b) What is the approval type? *(tick only one box)*

<input checked="" type="checkbox"/> Development permit	<input type="checkbox"/> Preliminary approval	<input type="checkbox"/> Preliminary approval that includes a variation approval
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c) What is the level of assessment?

<input checked="" type="checkbox"/> Code assessment	<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
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d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Alterations to existing Shed - 1 Storey

e) Relevant plans  
*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.*

Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

<input type="checkbox"/> Material change of use	<input type="checkbox"/> Reconfiguring a lot	<input type="checkbox"/> Operational work	<input type="checkbox"/> Building work
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b) What is the approval type? *(tick only one box)*

<input type="checkbox"/> Development permit	<input type="checkbox"/> Preliminary approval	<input type="checkbox"/> Preliminary approval that includes a variation approval
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c) What is the level of assessment?

<input type="checkbox"/> Code assessment	<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
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d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans  
*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.*

Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

Not required

### Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete DA Form 2 – <i>Building work details</i>

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition ( <i>include each definition in a new row</i> )	Number of dwelling units ( <i>if applicable</i> )	Gross floor area (m <sup>2</sup> ) ( <i>if applicable</i> )
Shed Alterations	Dwelling House	1	-

8.2) Does the proposed use involve the use of existing buildings on the premises?

Yes

No

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

9.2) What is the nature of the lot reconfiguration? (*tick all applicable boxes*)

<input type="checkbox"/> Subdivision ( <i>complete 10</i> )	<input type="checkbox"/> Dividing land into parts by agreement ( <i>complete 11</i> )
<input type="checkbox"/> Boundary realignment ( <i>complete 12</i> )	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road ( <i>complete 13</i> )

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

Yes

No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?  
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify:	<input style="width: 100%;" type="text"/>	

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	<input style="width: 100%;" type="text"/>
<input type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$	<input style="width: 100%;" type="text"/>
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## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council - for part assessment under the Planning Scheme
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16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

17) Do any aspects of the proposed development require referral for any referral requirements?

*Note: A development application will require referral if prescribed by the Planning Regulation 2017.*

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016***:

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places - Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridors and future State transport corridors
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports - Brisbane core port land - near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government**:

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual

Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)

Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

Ports – Land within Port of Brisbane's port limits (*below high-water mark*)

Matters requiring referral to the **Chief Executive of the relevant port authority**:

Ports – Land within limits of another port (*below high-water mark*)

Matters requiring referral to the **Gold Coast Waterways Authority**:

Tidal works or work in a coastal management district (*in Gold Coast waters*)

Matters requiring referral to the **Queensland Fire and Emergency Service**:

Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

**18) Has any referral agency provided a referral response for this development application?**

Yes – referral response(s) received and listed below are attached to this development application

No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

## PART 6 – INFORMATION REQUEST

**19) Information request under Part 3 of the DA Rules**

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

**Note:** *By not agreeing to accept an information request I, the applicant, acknowledge:*

- *that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties*
- *Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.*

*Further advice about information requests is contained in the DA Forms Guide.*

## PART 7 – FURTHER DETAILS

<b>20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)</b>			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

<b>21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)</b>		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

<b>22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?</b>	
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No	

<b>23) Further legislative requirements</b>			
<b><u>Environmentally relevant activities</u></b>			
<b>23.1) Is this development application also taken to be an application for an environmental authority for an <u>Environmentally Relevant Activity (ERA)</u> under section 115 of the <i>Environmental Protection Act 1994</i>?</b>			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No			
<i>Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at <a href="http://www.qld.gov.au">www.qld.gov.au</a>. An ERA requires an environmental authority to operate. See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information.</i>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
<b><u>Hazardous chemical facilities</u></b>			
<b>23.2) Is this development application for a <u>hazardous chemical facility</u>?</b>			
<input type="checkbox"/> Yes – <i>Form 69: Notification of a facility exceeding 10% of schedule 15 threshold</i> is attached to this development application <input checked="" type="checkbox"/> No			
<i>Note: See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information about hazardous chemical notifications.</i>			



### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the *Planning Regulation 2017*?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information

### Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### Waterway barrier works

23.7) Does this application involve waterway barrier works?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

**Note:** See guidance materials at <http://www.daf.qld.gov.au/> for further information.

### Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

### Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - A certificate of title
- No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
- No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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### Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – *this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the Prostitution Regulation 2014*
- No

### Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- No

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <a href="#">DA Form 2 – Building work details</a> have been completed and attached to this development application	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see <a href="#">DA Forms Guide: Planning Report Template</a></i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued ( <i>see 21</i> )	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct	
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the Electronic Transactions Act 2001	
<i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p><b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where:</p> <ul style="list-style-type: none"> <li>• such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>• required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>• otherwise required by law.</li> </ul> <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

# PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER - FOR OFFICE USE ONLY

Date received:

Reference number(s):

<b>Notification of engagement of alternative assessment manager</b>	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

<b>QLeave notification and payment</b>		
<i>Note: For completion by assessment manager if applicable</i>		
Description of the work		
QLeave project number		
Amount paid (\$)		Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager		
Name of officer who sighted the form		

# GMA Certification Group Pty Ltd

## BUILDING SURVEYORS

*Queensland's leaders in Building Certification Services*



### PORT DOUGLAS OFFICE

PHONE: (07) 4098 5150  
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Craiglie Business Park  
Owen Street  
CRAIGLIE QLD 4877

POSTAL:  
P.O. Box 831,  
PORT DOUGLAS QLD 4877

E-Mail: [adminpd@gmacert.com.au](mailto:adminpd@gmacert.com.au)  
Web: [www.gmacert.com.au](http://www.gmacert.com.au)

7 July 2021

The Chief Executive Officer  
Douglas Shire Council  
PO Box 723  
MOSSMAN Q 4873

Attention: Development Assessment

Dear Sir,

**Re: Application for Building Work Made Assessable Development under the Planning Scheme  
Lot 44 RP850452 [no. R20] Finlay Crescent, Oak Beach**

GMA Certification Group has been engaged to assess an application for the construction of additions to an existing shed on the abovementioned allotment. One of the owners is a local artist and we are advised the shed/workshop/studio is utilised as a non-habitable building.

The subject site is located within a Rural Residential Zone and the proposed shed does not comply with the prescribed building footprint in the Code.

Accordingly, please find the application for Building Work Made Assessable Development under the Planning Scheme, which includes:

1. DA Form 1;
2. Assessment; &
3. Plans

### Assessment - Rural Residential Zone Code

The following table provides an assessment of the proposed development with regards to applicable section of the Performance Outcomes of the Rural Residential Zone Code.

#### BUILDING APPROVALS & INSPECTIONS

Gold Coast  
(07) 5578 1622

Sunshine Coast  
(07) 5449 0383

#### BUILDING CERTIFICATION

Cloncurry  
(07) 4742 2022

Chinchilla  
(07) 4669 1166

#### FIRE SAFETY AUDITS

Atherton  
(07) 4091 4196

Childers  
(07) 4126 3069

Rural Zone Code		
Performance Outcomes	Acceptable Outcomes	Comment
<b>For assessable and self assessable development</b>		
PO3 Building scale is compatible with the rural residential character of the area and must not detrimentally impact on visual landscape amenity	AO3.1 The maximum building footprint of all buildings and structures (including outbuildings) contained on a lot does not exceed 500m2.  AO3.2 An outbuilding used for purposes ancillary to a dwelling house has maximum site coverage not greater than 20% of the total building footprint specified in AO3.1 above.	The shed is to have a floor area of approximately 205sqm.  The existing shed is located approximately 7m from the side boundary. Additionally, the boundaries are heavily vegetated which results in the shed being obscured from view by adjoining residences. Accordingly, the proposed location will not detrimentally impact on visual landscape amenity.

Should you require any further information or wish to discuss the application, please contact me on 4098 5150 or by email [adminpd@gmacert.com.au](mailto:adminpd@gmacert.com.au)

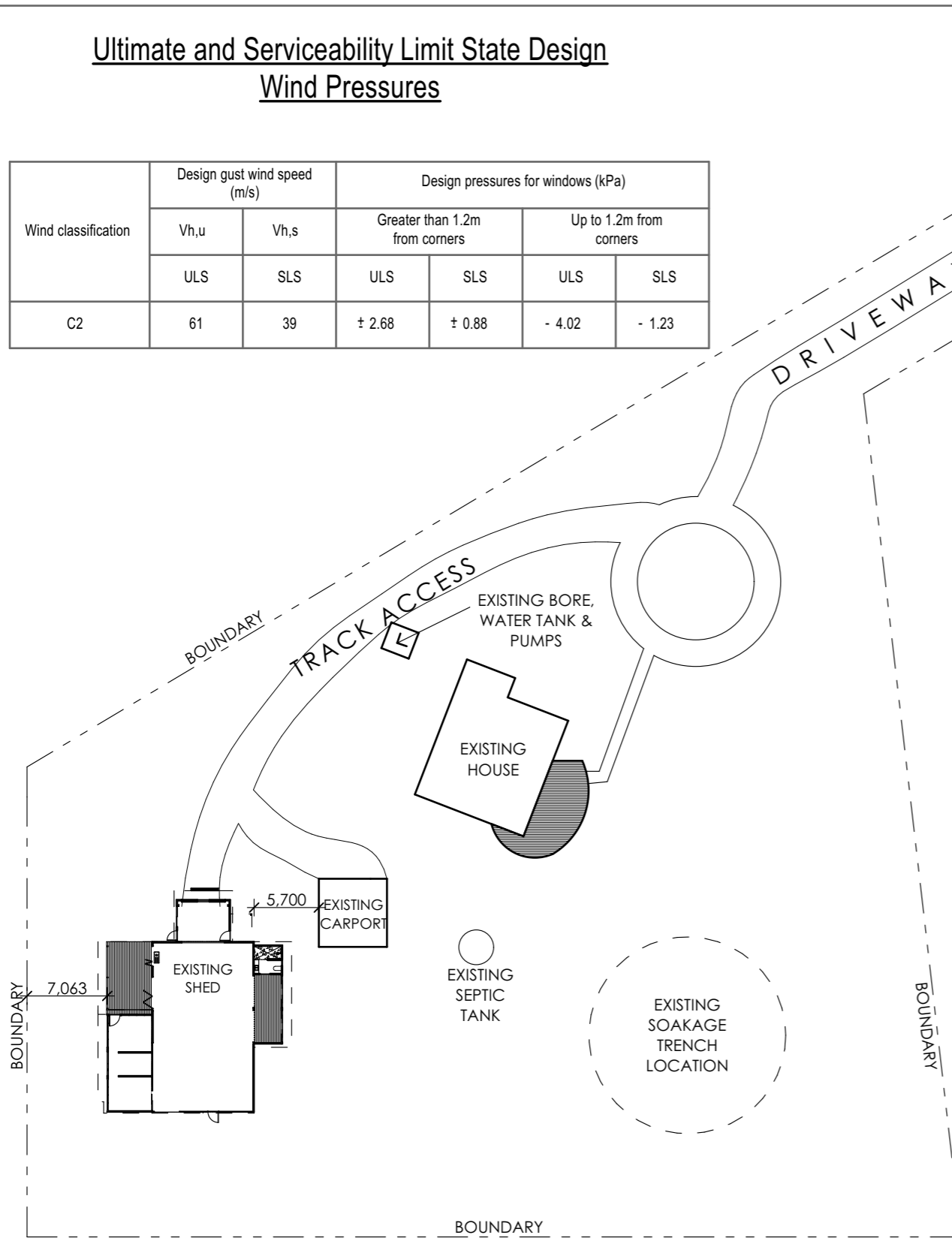
Kind Regards,



Jeff Evans  
GMA Certification Group

# Ultimate and Serviceability Limit State Design Wind Pressures

Wind classification	Design gust wind speed (m/s)		Design pressures for windows (kPa)			
	V <sub>h,u</sub>	V <sub>h,s</sub>	Greater than 1.2m from corners		Up to 1.2m from corners	
	ULS	SLS	ULS	SLS	ULS	SLS
C2	61	39	± 2.68	± 0.88	- 4.02	- 1.23



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

**C.M.G. CONSULTING ENGINEERS** PTY. LTD.  
208 BUCHAN ST. CAIRNS QLD. 4870  
PH. (07) 4031 2775 FAX. (07) 4051 9013

01 SITE PLAN 1:500

## General Notes

### General

- G.1 Do not scale drawings. All dimensions to be confirmed on site.
- G.2 All construction to be in accordance with relevant Australian standards, the Building Code of Australia and local authority regulations.
- G.3 All workmanship and materials to be in accordance with relevant Australian standards.
- G.4 The structure is to be maintained in a stable condition at all times.

### TP. Termite Protection

- TP.1 Termite treatment to be as required by AS 3660.1, the Building Code of Australia and the Qld Master Builders Association's "Home Owners Guide for Termite Management".
- TP.2 Termite protection generally shall be by:
  - a) ground floor slab as barrier and exposed edge of slab as visual barrier;
  - b) Termi-mesh or similar approved collars to slab penetrations; &
  - c) termite resistant (hazard level H2) timber framing generally
- TP.3 Builder to provide access for clear visual inspections to the entire perimeter of the building and the exposed edge of concrete slabs.
- TP.4 A durable notice showing full details of termite treatment used and the date provided to be posted inside the meter box or similar approved location.
- TP.5 Owner to maintain access for clear visual inspections and make periodic inspections.

### W. Waterproofing

- W.1 Any exposed structural timber which has any area in contact with another material and which will be inaccessible after fixing is to be given a coat of primer before fixing.

### SN. Site Notes

- SN.1 Earthworks to be in accordance with AS 2870.
- SN.2 All water to be drained away from buildings during and after construction.
- SN.3 Finished slab levels to be min 250mm above finished ground level u.n.o.
- SN.4 All levels to be confirmed on site.

### F. Footings and Slab Notes

- F.1 Footings have been designed for Class 'S' site classification. Builder to verify site conditions prior to construction.
- F.2 Natural foundations to be grubbed out and free of organic matter and debris and compacted to min 98% SRDD at -5% to +2% of optimum moisture content or not less than 70% density index for cohesionless soils.
- F.3 Fill to slab and foundations shall be an approved non-plastic material compacted in max 200mm layers to min 98% SRDD at -5% to +2% of optimum moisture content or not less than 70% density index for cohesionless soils.
- F.4 Footing trenches to be clean and dry at the time of casting with any softened material removed. Base of all footings to be founded on firm natural ground with min safe bearing capacity of 100 kPa.
- F.5 Pour slab on 200um damp proof membrane laid on 50mm compacted sand.
- F.6 Concrete slab and footings N20. Vibrate concrete and cure slab for min 7 days. Concrete cover to be maintained by the use of approved chairs spaced at approx 750mm centres. Conduits and pipes shall not be placed within cover concrete.

### C. Concrete

- C.1 Concrete generally in accordance with AS3600.
- C.2 Concrete specification unless noted otherwise:
 

Element	Class & Grade	Max Agg	Max Slump
Groundslab & footings	N20	20mm	80mm
Suspended slabs	N32	20mm	80mm
Core fill	S20	10mm	230mm
- C.3 Reinforcement notation:
  - 'N' denotes Grade D500N hot rolled rebar to AS4671
  - 'S' denotes Grade D250N hot rolled rebar to AS4671
  - 'R' denotes Grade R250N hot rolled plain round to AS4671
  - 'L' denotes Grade R500L cold drawn round wire to AS4671
  - 'DW' denotes Grade D500L cold drawn ribbed wire to AS4671
  - 'RL', 'SL', 'L\_TM' denotes Grade D500 deformed wire meshes to AS4671
- C.4 Additives shall not be used without the Superintendent's approval.
- C.5 Mechanically vibrate concrete in the form to give maximum compaction without segregation of the concrete.
- C.6 Cure concrete as required by Section 19 of AS3600.
- C.7 Concrete sizes shown are minimum and do not include applied finishes. Do not reduce or hole concrete without Superintendent's approval.
- C.8 Do not place conduits, pipes and the like within the cover concrete.
- C.9 Formwork shall generally comply with AS3610.
- C.10 Stripping of formwork shall comply with Section 19 of AS3600.
  - Stripping times:
  - Removal of forms 3 days
  - Removal of props 14 days

### T. Structural Timber

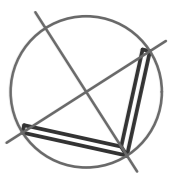
- T.1 Timber generally to AS 1684 and AS 1720.
- T.2 Min stress grade F14 unless noted otherwise.
- T.3 Min bolt size M12 unless noted otherwise.
- T.4 Timber framing as specified elsewhere.
- T.5 Timber bracing as specified elsewhere.

### S. Steelwork

- S.1 Generally in accordance with AS 4100, AS 1554.1 and AS 1538.
- S.2 Unless noted otherwise, the following materials shall be used:
  - a) hot rolled sections Grade C300 plus to AS 3679.1
  - b) steel hollow sections Grade C350 to AS 1163
  - c) cold formed steel sections Grade 450 to AS 1397
  - d) bolts Grade 4.6/S to AS 1111 generally and Grade 8.8/S to AS 1252
  - e) galvanised bolts to AS 1214
  - f) welding to comply with AS 1554.1
- S.3 Unless noted otherwise use:
  - a) 10mm thick cleats, gussets, fins and end plates
  - b) all bolts to be galvanised to AS 1214
  - c) 6mm continuous fillet welds to AS 1554.1
  - d) all structural steelwork galvanised or system painted to equivalent protection

### R. Roofing

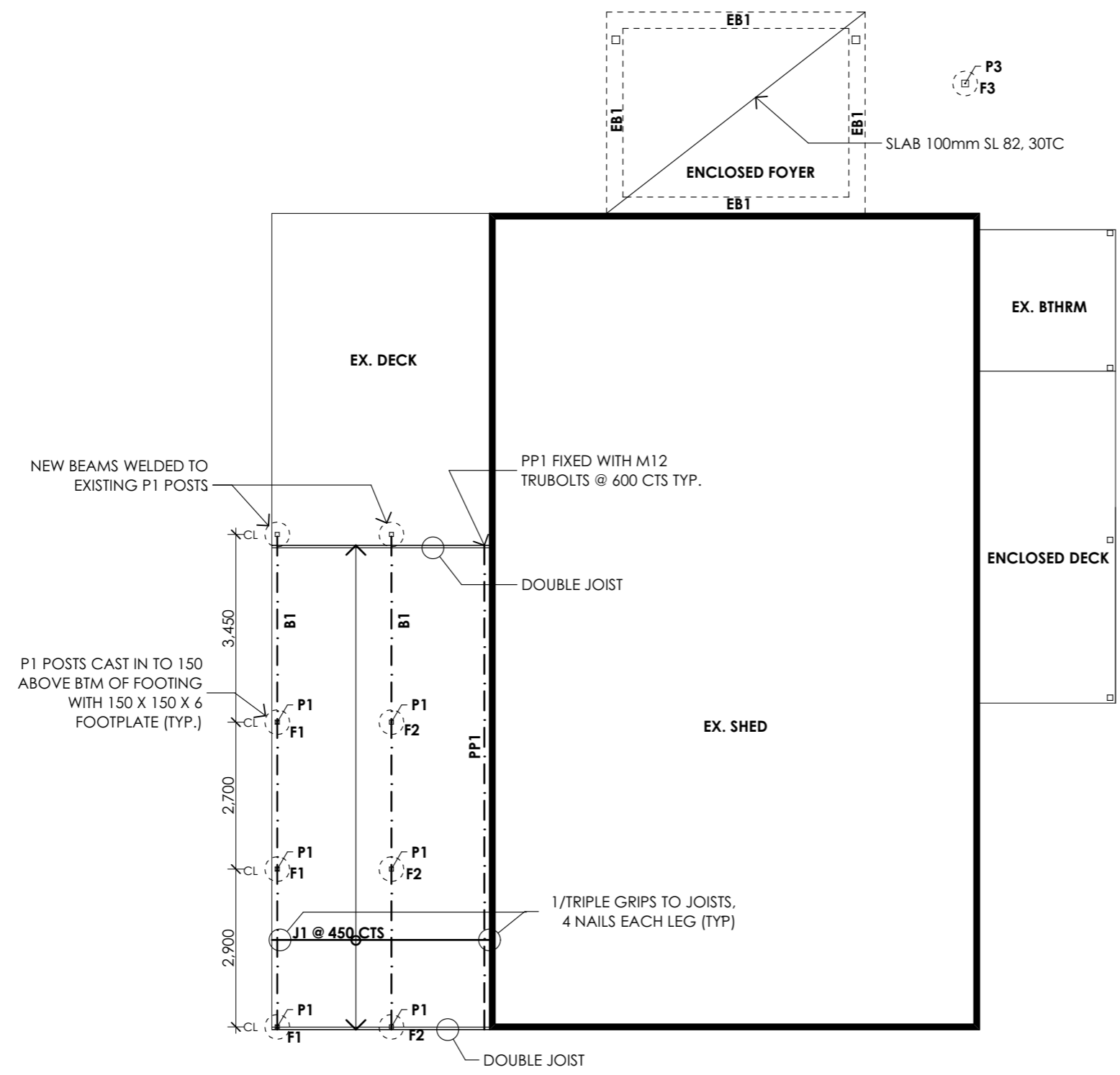
- R.1 Roofing generally in accordance with C2 wind classification.
- R.2 Roof battens - 2 @ 600 crs at ridges and eaves, otherwise 900 crs:
  - a) 75x38 F11 hwd battens fix with 1-No. 14 Type 17 75mm batten screw.
  - b) Topspan 40 battens fix with 2-No. 12-11x40 Hex Head Type 17 self drilling screws.











**LEGEND**

<b>P1</b>	75 X 4 SHS
<b>P2</b>	150 X 150 HWD POSTS
<b>P3</b>	125 X 125 HWD POSTS
<b>B1</b>	250 X 75 F14 HWD
<b>B2</b>	75 X 4 RHS
<b>J1</b>	125 x 50 F14 HWD
<b>PP1</b>	100 x 50 F14 HWD
<b>PP2</b>	125 x 50 F14 HWD
<b>R1</b>	C10019 PURLIN
<b>R2</b>	125 x 50 F14 HWD
<b>F1</b>	450 DIA X 900 DEEP FOOTING, 750 POST EMBED
<b>F2</b>	450 DIA X 600 DEEP FOOTING, 450 POST EMBED
<b>F3</b>	600 DIA X 600 DEEP FOOTING, 450 POST EMBED
<b>EB1</b>	300 X 300 EDGE THICKENING, 3-L11 TM, 50B.C. 1-N12 TRIMMER TO TOP MESH.
<b>PB</b>	4mm F27 PLY BRACING, NAILS @ 150 CTS

GRD FOOTING & FLOOR FRAMING PLAN  
1:100

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

**CMG CONSULTING ENGINEERS** PTY. LTD. 208 BUCHAN ST. CAIRNS QLD. 4870  
A.S.N. 011 088 378 PH. (07) 4031 2775 FAX. (07) 4051 9013

**LEGEND**

P1	75 X 4 SHS
P2	150 X 150 HWD POSTS
P3	125 X 125 HWD POSTS
B1	250 X 75 F14 HWD
B2	75 X 4 RHS
J1	125 x 50 F14 HWD
PP1	100 x 50 F14 HWD
PP2	125 x 50 F14 HWD
R1	C10019 PURLIN
R2	125 x 50 F14 HWD
F1	450 DIA X 900 DEEP FOOTING, 750 POST EMBED
F2	450 DIA X 600 DEEP FOOTING, 450 POST EMBED
F3	600 DIA X 600 DEEP FOOTING, 450 POST EMBED
EB1	300 X 300 EDGE THICKENING, 3-L11 TM, 50B.C. 1-N12 TRIMMER TO TOP MESH.
PB	4mm F27 PLY BRACING, NAILS @ 150 CTS

**EXTERNAL TIMBER WALL AND INTERNAL LOAD BEARING WALL FRAMING NOTES**

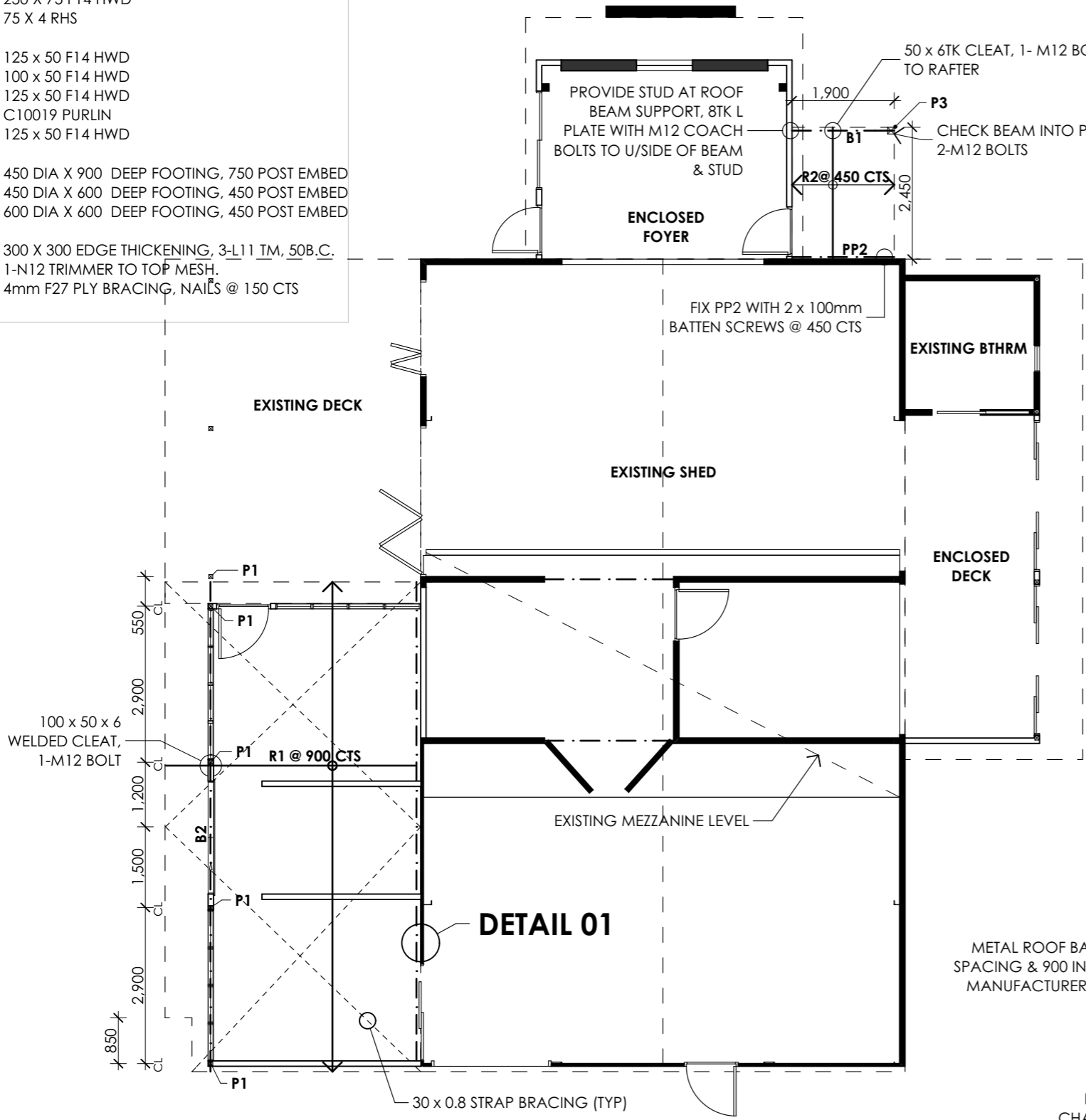
1. **STUDS** - 90x35 MGP12 AT 450 CTS. FOR HT ≤ 3000  
90x35 MGP12 AT 300 CTS. FOR 3000 < HT ≤ 3600  
90 x 45 MGP12 AT 300 CTS. FOR 3600 < HT ≤ 4000  
NOGGING AT 1350 CTS MAX.
2. TOP PL. - 2/35x90 MGP12
3. BTM PL. - 35x90 MGP12 ON CONCRETE FLOOR  
BTM PL. - 45x90 MGP12 ON TIMBER FLOOR
4. PROVIDE M12 GALV. CYCLONE RODS AT ENDS, CORNERS, EACH SIDE OF OPENINGS AND 1200 CTS MAX BETWEEN. PROVIDE 2-M12 CYCLONE RODS AT GIRDER TRUSS
5. STUDS EACH SIDE OF OPENINGS -

OPENING WIDTH	No. STUDS EACH SIDE OF OPENING
900	1
1200 - 2100	2
2400 - 3000	3
3300 - 4000	4
4300 - 4800	5

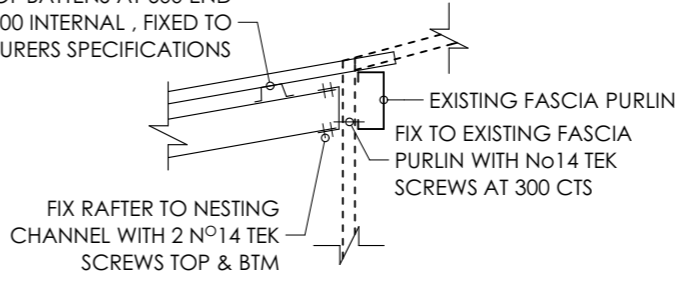
6. **LINTELS**  
UNLESS NOTED OTHERWISE LINTEL SIZES TO BE -

SPAN	(LVL 15)	SPAN	SIZE (F14)
900 -	95x58	900 -	75x75
1200 -	2/95x42	1200 -	100x75
1500 -	2/130x42	1500 -	125x75
1800 -	2/150x42	1800 -	150x75
2100 -	170x42	2100 -	175x75
2400 -	200x42	2400 -	200x75
2700 -	240x42	2700 -	225x75
3000 -	240x58	3000 -	250x75
3300 -	240x58	3300 -	250x75
3600 -	240x58	3600 -	275x75
4000 -	300x58	4000 -	300x75

7. **BRACING**
  - **PLY** - DENOTES STRUCTURAL PLYWOOD BRACING WALLS. THICKNESS AND FIXINGS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND AS 1684.3 FOR 6.4KN/m RACKING RESISTANCE.
  - U.N.O. PROVIDE M12 CYCLONE RODS AT EACH END OF BRACING WALL AND AT 1800 CTS MAX. BETWEEN.
  - PROVIDE ANTI-RACKING CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH AS1684.3 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - CYCLONIC



METAL ROOF BATTENS AT 600 END SPACING & 900 INTERNAL, FIXED TO MANUFACTURERS SPECIFICATIONS

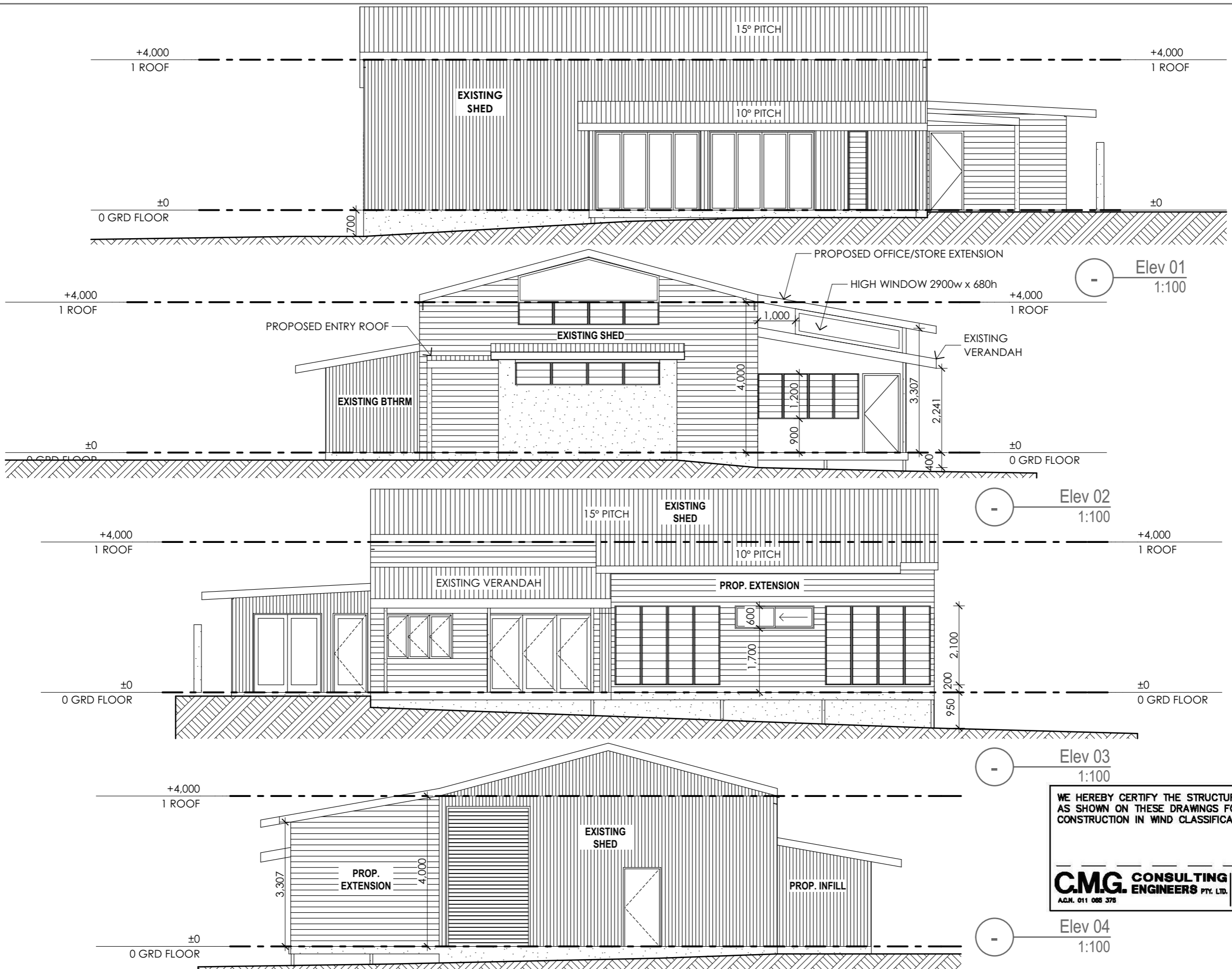


ROOF FRAMING PLAN  
1:100

DETAIL D01  
SCALE N.T.S.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

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208 BUCHAN ST. CAIRNS QLD. 4870  
PH. (07) 4031 2775 FAX. (07) 4051 9013  
A.C.N. 011 088 378



S H E D A L T E R A T I O N S

LOT 44 FINLAY CRES, OAK BEACH QLD

JILL CHISM & BARBARA MALARSKI