McPeake
TOWN PLANNING

Value Planning.

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Our Ref: Mahogany
Your Ref: 0894/21

09 August 2021

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman QLD 4873

Sent via – enquiries@douglas.qld.gov.au

Attention: Jenny Elphinstone

Dear Sir/Madam

RE: Material Change of Use Dwelling House (Shed and Domestic Outbuildings) –Lot 45 Mahogany Road, Diwan, being Lot 5 on RP738674.

We on behalf of our clients (Phillaman & Eugenia Davis) lodge a Material Change of Use Dwelling House (Domestic Outlbuilding) on the abovementioned property.

The relevant application fee has already been paid (AP6000679.32 – 20 May 2021, $333.00) for a now lapsed application (0894/21) and should be transferred to this application.

Should you require any further information or assistance in relation to this manner please don't hesitate to contact James McPeake on 0481 869 671 or via email at approvals@jamesmcpeake.com.au.

Regards,

James McPeake (Bplan, UDIA)

Attached: - DA Form 1
- Development Application and Plans.

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) **and** parts 4 to 6 of *DA Form 2 – Building work details.*

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008.* For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: *All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).*

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (*individual or company full name*)	Phillaman & Eugenia Davis – C/O McPeake Town Planning QLD Pty Ltd
Contact name *(only applicable for companies)*	James McPeake
Postal address *(P.O. Box or street address)*	PO BOX 5829
Suburb	Cairns
State	QLD
Postcode	4870
Country	Australia
Contact number	0481869671
Email address *(non-mandatory)*	approvals@jamesmcpeake.com.au
Mobile number *(non-mandatory)*	
Fax number *(non-mandatory)*	
Applicant's reference number(s) *(if applicable)*	

2) Owner's consent
2.1) Is written consent of the owner required for this development application?
☐ Yes – the written consent of the owner(s) is attached to this development application ☒ No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises *(complete 3.1) or 3.2), and 3.3) as applicable)*

***Note**: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.*

3.1) Street address and lot on plan

☒ Street address **AND** lot on plan (a*ll lots must be listed*), ***or***

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises *(appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).*

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Mahogany Road	Diwan
	Postcode	Lot No.	Plan Type and Number *(e.g. RP, SP)*	Local Government Area(s)
	4873	5	RP738674	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number *(e.g. RP, SP)*	Local Government Area(s)

3.2) Coordinates of premises *(appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)*

***Note**: Place each set of coordinates in a separate row.*

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) *(if applicable)*
		☐ WGS84 ☐ GDA94 ☐ Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) *(if applicable)*
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

☐ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area *(if applicable)*:

Name of port authority for tidal area *(if applicable)*:

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

☐ Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*	
EMR site identification:	
☐ Listed on the Contaminated Land Register (CLR) under the *Environmental Protection Act 1994*	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

Material Change of Use, Dwelling House (Shed and Domestic Outbuildings).

e) Relevant plans

***Note**: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.*

☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

e) Relevant plans

***Note**: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.*

☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	☒ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☐ Yes – complete division 3
Building work	☐ Yes – complete *DA Form 2 – Building work details*

Division 1 – Material change of use

***Note**: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.*

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition *(include each definition in a new row)*	Number of dwelling units *(if applicable)*	Gross floor area (m^2) *(if applicable)*
Dwelling House (Shed)	A residential use of premises for one household that contains a single dwelling. The use includes domestic outbuildings and works normally associated with a dwelling and may include a secondary dwelling.		16290 m^2

8.2) Does the proposed use involve the use of existing buildings on the premises?
☐ Yes
☒ No

Division 2 – Reconfiguring a lot

***Note**: This division is only required to be completed if any part of the development application involves reconfiguring a lot.*

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)*	
☐ Subdivision *(complete 10))*	☐ Dividing land into parts by agreement *(complete 11))*
☐ Boundary realignment *(complete 12))*	☐ Creating or changing an easement giving access to a lot from a constructed road *(complete 13))*

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
☐ Yes – provide additional details below ☐ No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m^2)	Lot on plan description	Area (m^2)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? *(attach schedule if there are more than two easements)*				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? *(e.g. pedestrian access)*	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

***Note**: This division is only required to be completed if any part of the development application involves operational work.*

14.1) What is the nature of the operational work?		
☐ Road work	☐ Stormwater	☐ Water infrastructure
☐ Drainage work	☐ Earthworks	☐ Sewage infrastructure
☐ Landscaping	☐ Signage	☐ Clearing vegetation
☐ Other – please specify:		
14.2) Is the operational work necessary to facilitate the creation of new lots? *(e.g. subdivision)*		
☐ Yes – specify number of new lots:		
☐ No		
14.3) What is the monetary value of the proposed operational work? *(include GST, materials and labour)*		
$		

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Douglas Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
☐ Yes – a copy of the decision notice is attached to this development application
☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?
***Note**: A development application will require referral if prescribed by the* Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016*:**

☐ Clearing native vegetation
☐ Contaminated land *(unexploded ordnance)*
☐ Environmentally relevant activities (ERA) *(only if the ERA has not been devolved to a local government)*
☐ Fisheries – aquaculture
☐ Fisheries – declared fish habitat area
☐ Fisheries – marine plants
☐ Fisheries – waterway barrier works
☐ Hazardous chemical facilities
☐ Heritage places – Queensland heritage place *(on or near a Queensland heritage place)*
☐ Infrastructure-related referrals – designated premises
☐ Infrastructure-related referrals – state transport infrastructure
☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
☐ Infrastructure-related referrals – near a state-controlled road intersection
☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
☐ Koala habitat in SEQ region – key resource areas
☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
☐ Ports – Brisbane core port land – hazardous chemical facility
☐ Ports – Brisbane core port land – taking or interfering with water
☐ Ports – Brisbane core port land – referable dams
☐ Ports – Brisbane core port land – fisheries
☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*
☐ SEQ development area
☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
☐ Tidal works or works in a coastal management district
☐ Reconfiguring a lot in a coastal management district or for a canal
☐ Erosion prone area in a coastal management district
☐ Urban design
☐ Water-related development – taking or interfering with water
☐ Water-related development – removing quarry material *(from a watercourse or lake)*
☐ Water-related development – referable dams
☐ Water-related development –levees *(category 3 levees only)*
☐ Wetland protection area

Matters requiring referral to the **local government:**

☐ Airport land
☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government)*

☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity:**
☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:
- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual

☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council:**
☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the *Transport Infrastructure Act 1994*:**
☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator**:**
☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority:**
☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority:**
☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service:**
☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

☐ Yes – referral response(s) received and listed below are attached to this development application
☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable).*

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules

☒ I agree to receive an information request if determined necessary for this development application
☐ I do not agree to accept an information request for this development application

***Note**: By not agreeing to accept an information request I, the applicant, acknowledge:*

- *that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties*
- *Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.*

Further advice about information requests is contained in the DA Forms Guide.

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? *(e.g. a preliminary approval)*

☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
☐ Approval ☐ Development application			
☐ Approval ☐ Development application			

21) Has the portable long service leave levy been paid? *(only applicable to development applications involving building work or operational work)*

☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable *(e.g. building and construction work is less than $150,000 excluding GST)*

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

***Note**: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.*

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

☐ Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
☒ No

***Note**: See www.business.qld.gov.au for further information about hazardous chemical notifications.*

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

***Note**: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.*

2. See https://www.qld.gov.au/environment/land/vegetation/applying for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

***Note**: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.*

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

***Note**: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.*

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

***Note**: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.*

DA templates are available from https://planning.dsdmip.qld.gov.au/. If the development application involves:

- *Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1*
- *Taking or interfering with water in a watercourse, lake or spring: complete DA Form1 Template 2*
- *Taking overland flow water: complete DA Form 1 Template 3.*

Waterway barrier works

23.7) Does this application involve **waterway barrier works?**

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from https://planning.dsdmip.qld.gov.au/. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

☐ Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

***Note**: See guidance materials at www.daf.qld.gov.au for further information.*

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000?*

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

***Note**: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.*

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995?*

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

***Note**: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.*

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

***Note**: See guidance materials at www.dnrme.qld.gov.au for further information.*

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work *(only required if application involves prescribed tidal work)*
- ☐ A certificate of title

☒ No

***Note**: See guidance materials at www.des.qld.gov.au for further information.*

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below
☒ No

***Note**: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.*

Name of the heritage place:		Place ID:	

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the *Transport Infrastructure Act 1994*

23.15) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation
23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?
☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered ☒ No ***Note**: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.*

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 ***Note**: See the Planning Regulation 2017 for referral requirements*	☒ Yes
If building work is associated with the proposed development, Parts 4 to 6 of *DA Form 2 – Building work details* have been completed and attached to this development application	☐ Yes ☒ Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application ***Note**: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.*	☒ Yes
Relevant plans of the development are attached to this development application ***Note**: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.*	☒ Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (*see 21*)	☐ Yes ☒ Not applicable

25) Applicant declaration
☒ By making this development application, I declare that all information in this development application is true and correct ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001* ***Note**: It is unlawful to intentionally provide false or misleading information.*
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where: • such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or • required by other legislation (including the *Right to Information Act 2009*); or • otherwise required by law. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002.*

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: | Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment *Note: For completion by assessment manager if applicable*			
Description of the work			
QLeave project number			
Amount paid ($)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

McPeake
TOWN PLANNING

DEVELOPMENT APPLICATION REPORT

Material Change of Use – Dwelling House (Shed and Domestic Outbuildings)

Located at Lot 5 Mahogany Road, Diwan QLD.

CONTENTS

1. EXECUTIVE SUMMARY

McPeake Town Planning Pty Ltd as applicant on behalf of Phillaman & Eugenia Davis owners of Lot 5 on RP738674, located at Mahogany Road, Diwan, seek a Development Permit for Material Change of Use – Dwelling House (Shed and Domestic Outbuildings).

The proposal seeks to establish a new storage shed that will be used to support future dwelling house storage purposes. Also, storage of materials and equipment used in the ongoing maintenance of the property. The site currently contains a number of structures utilised for domestic purposes with an existing shed and shipping container for domestic storage purposes. The structures enable the ongoing maintenance of the site and will assist with storage for the construction of a future dwelling house. While no vegetation will be cleared in this proposal, the future shed will be positioned on already cleared area that can be easily accessed from the unsealed road and existing buildings on the lot.

Sheds are common in the surrounding area and will not have any adverse impacts on the protection, restoration and management of the local areas. In particular, the use of a domestic shed is of low intensity, maintaining the environmental and scenic amenity values of the site. With the proposal leaving ample room for the establishment of a future dwelling house and onsite waste water system.

The proposed land use and activities are code assessable under the Douglas Shire Planning Scheme 2018 v1.0.

The proposed development is compliant with the relevant Codes; Polices and Conditions under the Douglas Shire Planning Scheme 2018 v1.0, and where reasonable and relevant can be appropriately conditioned.

DA forms completed supporting this Development Application include:

- DA Form 1

The following plans and drawings supporting this Development Application are attached in Appendix B:

- Proposal plans.
- Site Pics.

2. Site Characteristics

2.1 Summary of Proposal

McPeake Town Planning Pty Ltd as applicant on behalf of Phillaman & Eugenia Davis owners of Lot 5 on RP738674, located at Mahogany, Diwan, seek a Development Permit for a Material Change of Use – Dwelling House (Shed and Domestic Outbuildings).

Address and Property Description

- Mahogany, Diwan, Lot 5 on RP738674
- Total land area –
    - Lot 5 – 16290m^2

Figure 1: Aerial of site

Source: Queensland Globe, accessed 7/07/2021.

Local Planning Authority

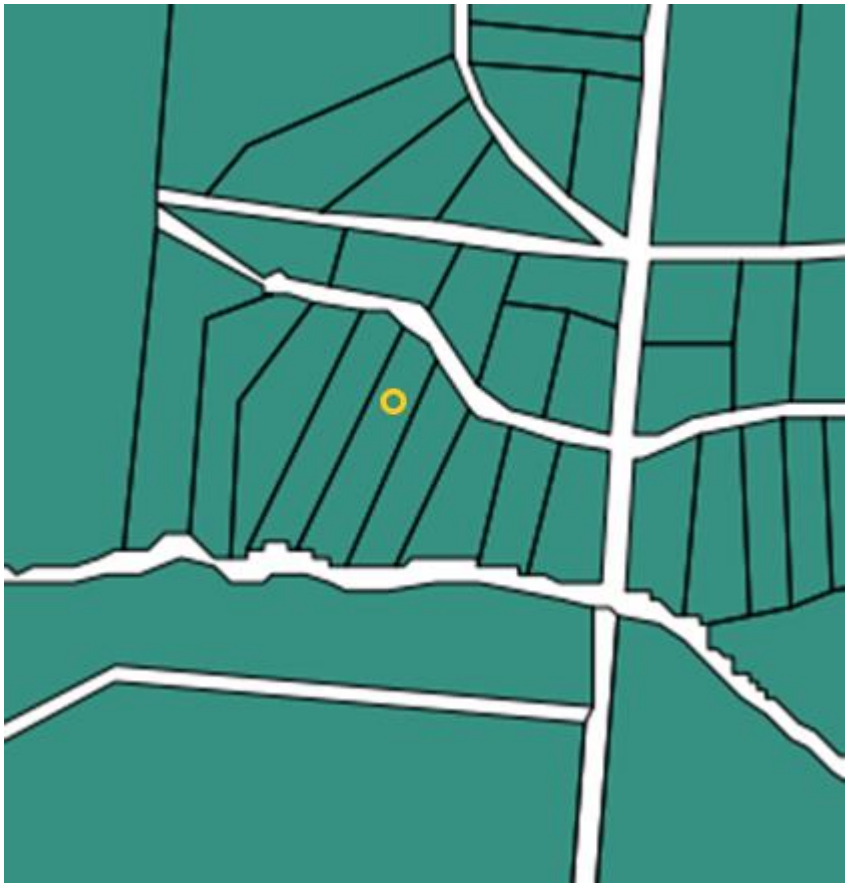
- Douglas Shire Council
- Douglas Shire Planning Scheme 2018 v1.0

2.2 Site Tenure

The subject properties are held in freehold tenure by our client.

Zoning of the Subject Site

Figure 2: Zoning – Conservation Zone



https://douglas.qld.gov.au/download/planning-scheme/1.-Zoning-Maps-70K-1-to-11.pdf

2.3 Physical Characteristics and Surrounding Land Uses

The subject site is located on Mahogany Street, Diwan. The immediate area is wholly conservation zoned, with heavy vegetation and minimal development. The area is characterised by large lots with dwelling houses and sheds. Examples can be found in 46, 47, 57, and 74 Mahogany Road, Diwan. To maintain the heavy vegetation present and valued landscapes, no vegetation will be cleared on this site for this proposal.

3. PLANNING ASSESSMENT

3.1 Introduction

This proposed Material Change of Use – Dwelling House (Shed) is lodged assessed in accordance with the relevant policies of the Douglas Shire Planning Scheme 2018 v1.0, with the proposed uses being code assessable and requires assessment against the relevant codes.

3.2 Level of Assessment and Applicable Codes

In accordance with the Douglas Shire Planning Scheme 2018 v1.0 the development assessment needs to address the following local codes/policies:

- **Level of Assessment:** Code Assessable
- **Local Plan –** Cape Tribulation & Daintree Coast Local Plan – Precinct 2 Low Impact Residential.
- **Zone Code**: Conservation Zone
- **Overlays**: Acid Sulfate Soils (Land > 5m & < 20m AHD), Transport Network – Road Hierarchy (Access Road).
- **Development Codes**: Environmental Performance Code, Excavation and Filling Code, Infrastructure Works Code, Landscaping Code, Reconfiguring a Lot Code.
- **Referrals**: Nil.

Conservation zone code

Table 6.2.3.3.a – Conservation zone code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
PO1 The establishment of uses is consistent with the outcomes sought for the Conservation zone and protects the zone from the intrusion of inconsistent uses.	**AO1** Uses identified in Table 6.2.3.3.b are not established in the Conservation zone.	**Complies with PO1.** The proposal is for a domestic outbuilding (shed) which is consistent with the zoning outcomes. While buildings are sparse in the area, sheds are common in surrounding lots.
PO2 The height of buildings is compatible with the character of the area and does not adversely affect the amenity of the area.	**AO2** Buildings and structures are not more than 8.5 metres in height and two storeys. Note - Height is inclusive of roof height.	**Complies all structures on the site are below the maximum height.**
PO3 Development is setback from site boundaries so they are screened from view from the boundaries of adjoining properties and adjoining roads to maintain the scenic values of the area.	**AO3** Buildings and structures are setback not less than: (a) 40 metres from the frontage of a State-controlled road, existing or proposed arterial road, existing or proposed sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2; (b) 25 metres from Cape Tribulation Road frontage; (c) 20 metres from any other road frontage (d) 10 metres from side and rear boundaries.	**Complies.** All setbacks are compliant.
PO4 The site coverage of all buildings and structures does not have an adverse effect on the conservation or scenic amenity values of the site and surrounding area and buildings are subservient to the natural environment.	**AO4** Development is sited in an existing cleared area or an area approved for clearing, but which is not yet cleared until a development permit to carry out Building Works is issued. Any clearing is limited to a maximum area of 700m^2 and is sited clear of the high bank of any watercourse. Note – The 700m^2 area of clearing does not include an access driveway.	**Complies.** No further clearing is required.

Performance outcomes	Acceptable outcomes	Applicant response
PO5 Development is consistent with the overall outcomes sought for the Conservation zone.	**AO5** No acceptable outcomes are prescribed.	**Complies.** Domestic outbuildings are consistent with the overall outcomes of the Conservation Zone.
PO6 Development complements, and is subservient to the surrounding environment and is in keeping with the ecological, landscape and scenic values of the area.	**AO6** The exterior finishes and colours of all development are non-reflective and consist of colours that blend easily with surrounding native vegetation and view-shed.	**Complies.** The development is for a material change of use – no building works will be done to require blending into the environment. The use of a dwelling house (shed) can also be made to easily blend into the environment with consistent colours and materials.
PO7 Development is screened from view from adjoining roads and properties with a dense screen of endemic/native landscape which: (a) is informal in character and complementary to the existing natural environment; (b) provides screening; (c) enhances the visual appearance of the development. Note – Planning scheme policy – Landscaping provides further guidance on meeting the performance outcome.	**AO7.1** For any development, the balance area of the site not built upon, including all setback areas must be landscaped/revegetated with dense three tier, endemic planting which is maintained to ensure successful screening is achieved.	**Complies.** Significant and dense vegetation is currently present and will not be removed. A cleared area already exists on the site adjacent to the current structures.
	AO7.2 Endemic palm species, where used, are planted as informal accent features and not as avenues and not in a regular pattern.	**Complies.** No vegetation will be added, nor removed to/from the site. The site is currently heavily screened by vegetation.
P08 Development is complementary to the surrounding environment.	**AO8.1** Development harmonises with the surrounding environment, for example, through suspended, light-weight construction on sloping sites, which requires minimal excavation or fill.	**Complies.** The development is a material change of use for a dwelling house (shed), which requires minimal excavation or filling.
	AO8.2 A driveway or parking areas are constructed and maintained to: (a) minimise erosion, particularly in the wet season; (b) minimise cut and fill; (c) follow the natural contours of the site; (d) minimise vegetation clearing.	**Complies.** The driveway is already present and no further works are required.
	AO8.3 Buildings and structures are erected on land not exceeding a maximum gradient of 1 in 6 (16.6%) or On land steeper than 1 in 6 (16.6%) gradient: (a) A split level building form is utilised; (b) A single plane concrete slab is not utilised;	**Not Applicable.**

Performance outcomes	Acceptable outcomes	Applicant response
	(c) Any voids between building and ground level, or between outdoor decks and ground level are screened from view using lattice/battens and/or landscaping. and (d) is accompanied by a Geotechnical Report prepared by a qualified engineer at development application stage which includes certification that the site can be stabilised, followed by a certificate upon completion of works.	
	AO8.4 Buildings and structures are sited below any ridgelines and are sited to avoid protrusion above the surrounding tree-level canopy.	**Not applicable**
PO9 Development is located to: (a) protect the ecological values of the site and surrounding land; (b) maintain the scenic values of the area; (c) maintain appropriate setbacks to waterways, watercourses, wetlands, tidal areas and overland flow paths; (d) avoid areas that are vulnerable to natural hazards; (e) minimise to the greatest extent possible on site excavation and filling; (f) provide buffers to cultural, historical or ecological features; (g) minimise visibility from external sites or public viewing points; (h) minimises to the greatest extent possible the loss of native vegetation and fauna habitat.	**AO9** No acceptable outcomes are prescribed.	**Complies.** The proposed development will not involve any clearing of vegetation, maintaining the ecological value and scenic values of the site.
PO10 Development does not result in adverse impacts on: (a) ecological function or features; (b) on-site or surrounding waterways and wetlands.	**AO10** No acceptable outcomes are prescribed.	**Complies.** The use of a dwelling house (shed) will have no adverse impacts on the ecological function or features, or surrounding waterways and wetlands.
PO11 Rehabilitation of natural processes on disturbed sites is undertaken to improve the environmental integrity of the area.	**AO11** No acceptable outcomes are prescribed.	**Not Applicable.** Vegetation is heavy and comparable to the current vegetation on surrounding lots. No vegetation is to be cleared in this proposal.
PO12	**AO12** No acceptable outcomes are prescribed.	**Not Applicable.** No fencing is to be proposed for this proposal.

Performance outcomes	Acceptable outcomes	Applicant response
Fencing is designed to not impede the free movement of native fauna through the site.		
PO13 New lots contain a minimum lot size of 200 hectares, unless: (a) the lot reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments); (b) the reconfiguration is limited to one additional lot to accommodate an existing or approved: (i) Telecommunications facility; (ii) Utility installation; (c) the lot reconfiguration facilitates and outcome consistent with the Return to Country local plan. Note – Boundary realignments must result in an improved environmental outcome or resolve encroachments	**AO13** No acceptable outcomes are prescribed.	**Not Applicable**. A new lot is not being established in this proposal.

Applicable Overlay Codes

Overlay Code	Response
Natural Areas Overlay Code	**Complies.** The proposed shed is outside of the mapped area. The location of the proposed shed is already cleared.
Hillslopes Overlay Code	**Complies**. The proposed shed is outside of the mapped hillslopes area and does not impact upon hillslope amenity.
Potential Landslide Hazard Overlay Code (High & Medium Hazard Risk)	**Complies with the code.** The proposed shed is outside of the mapped landslide hazard area and the proposed site for the shed is cleared and does not require further earthworks.

Applicable Local Plan Codes

Overlay Code	Response
Cape Tribulation & Daintree Coast Local Plan Code - Precinct 2 Low Impact Residential	**Complies with the code.** The proposal is for a domestic outbuilding (shed) and is consistent with the outcomes of the precinct 2 area. There is no clearing required and the proposal and it does not result in any adverse impacts on the local Daintree area. Domestics outbuildings and sheds are common structures within the area.

Applicable Development Codes

Development Code	Response
Dwelling House Code	**Complies**. The proposal complies with the purpose and overall outcomes of the dwelling house code. Also, the proposal will not involve any building works.
Access, Parking and Service Code	**Not Applicable.** The proposal will not involve any new vehicle parking or access.
Filling and Excavation Code	**Complies.** No filling or excavation is required.
Infrastructure Works Code – Not required to be addressed. However, response provided.	**Complies.** The proposal it will maintain its current standard of infrastructure.
Landscaping Code	**Complies.** The site is heavily vegetated and no landscaping is required.
Vegetation Management Code	**Complies.** The proposal will not remove any vegetation, maintaining the ecological value and scenic values of the site.

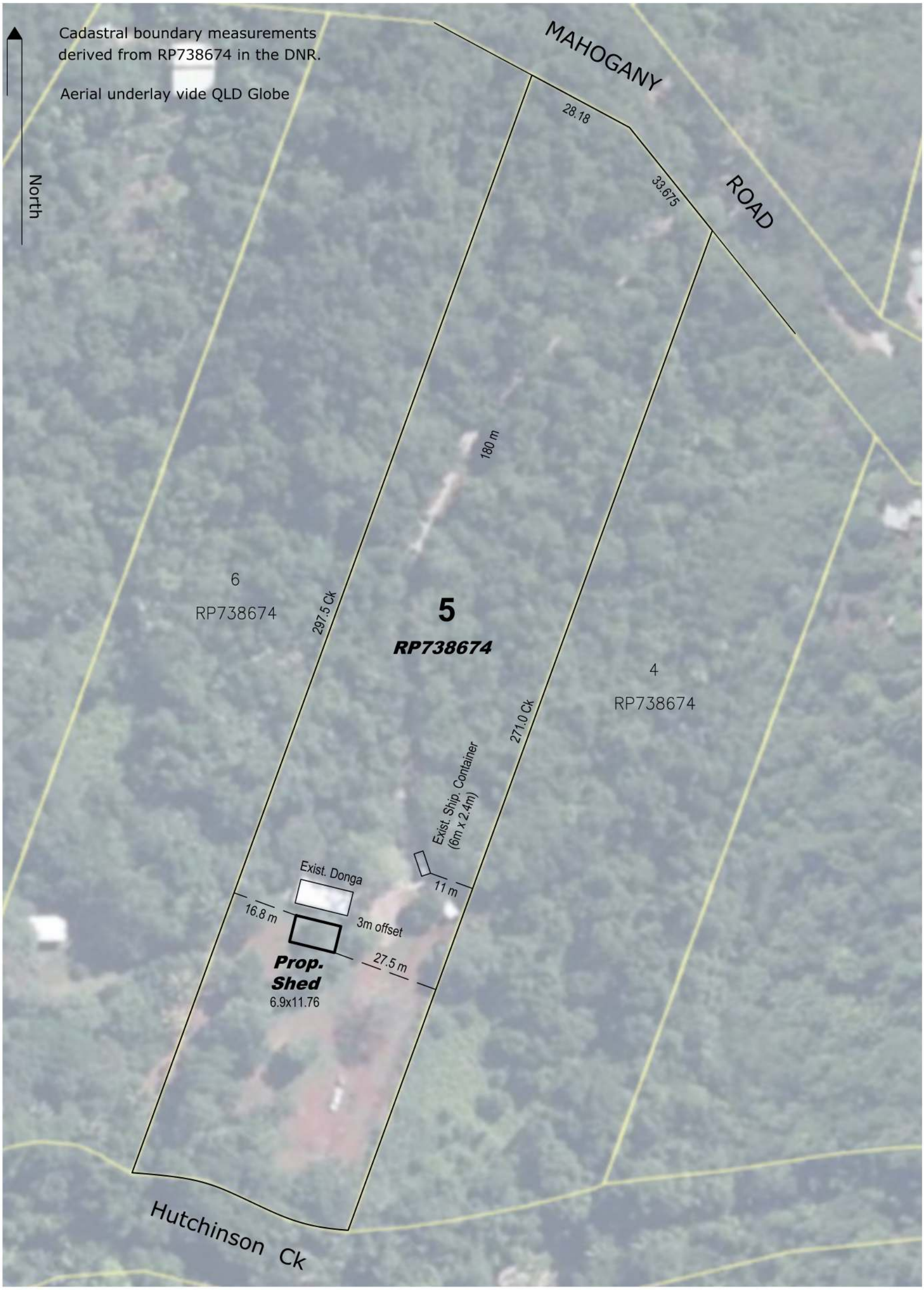
4.0 CONCLUSION

It is considered that the proposed development is consistent with the codes applicable to this development application. The proposal is consistent with the amenity of the area, with large lots containing low impact domestic uses, including dwelling houses and sheds/outbuildings. It is considered that this planning report has demonstrated that no major non-compliances have been observed.

Attached: Photos of the Site

Image 1: Existing driveway

Image 2: Cleared site area



Proposed Shed Site Plan

5 Mahogany Rd Diwan
Lot 5 on RP738674
Douglas Shire Council

Client: Philliaman & Eugenia Davis

Scale 1:200 @ a3
Revision a - original issue - 8/07/2021
Dwg no: Davis P01 c

McPeake
TOWN PLANNING

Ph: 0481 869 671
email: james@jamesmcpeake.com.au
Cairns - North Queensland

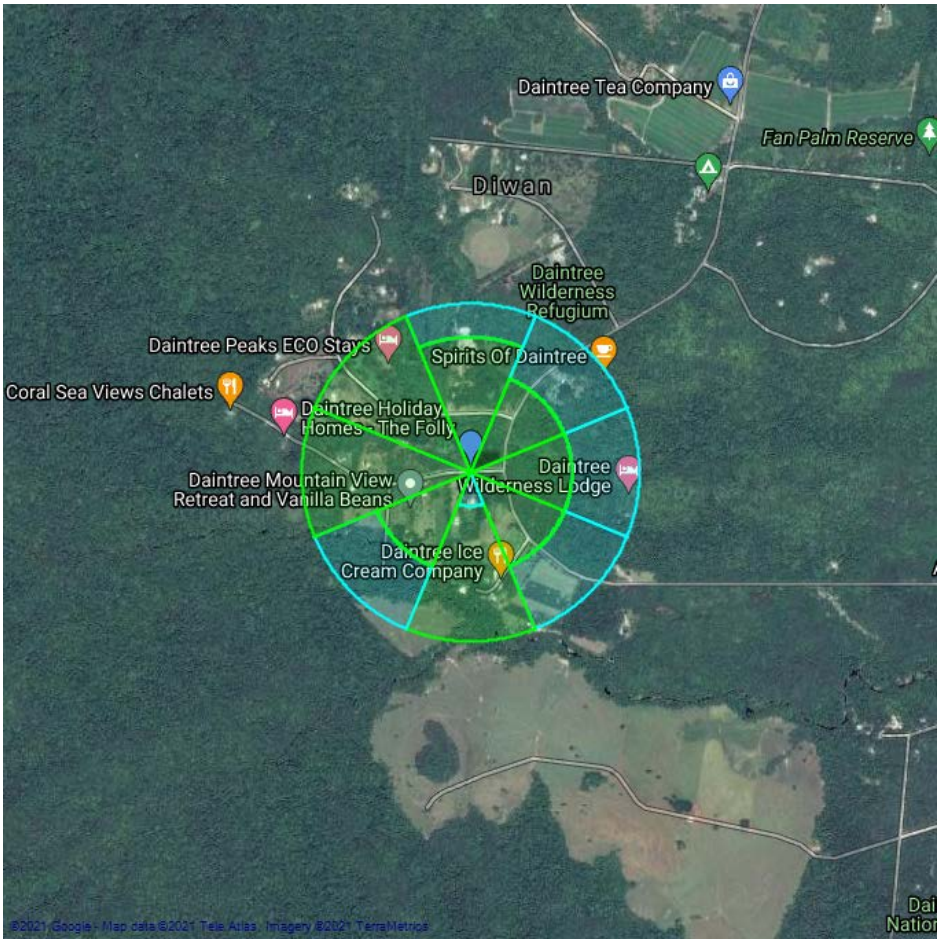
www.jamesmcpeake.com.au/

ENGINEERING

CONTENTS

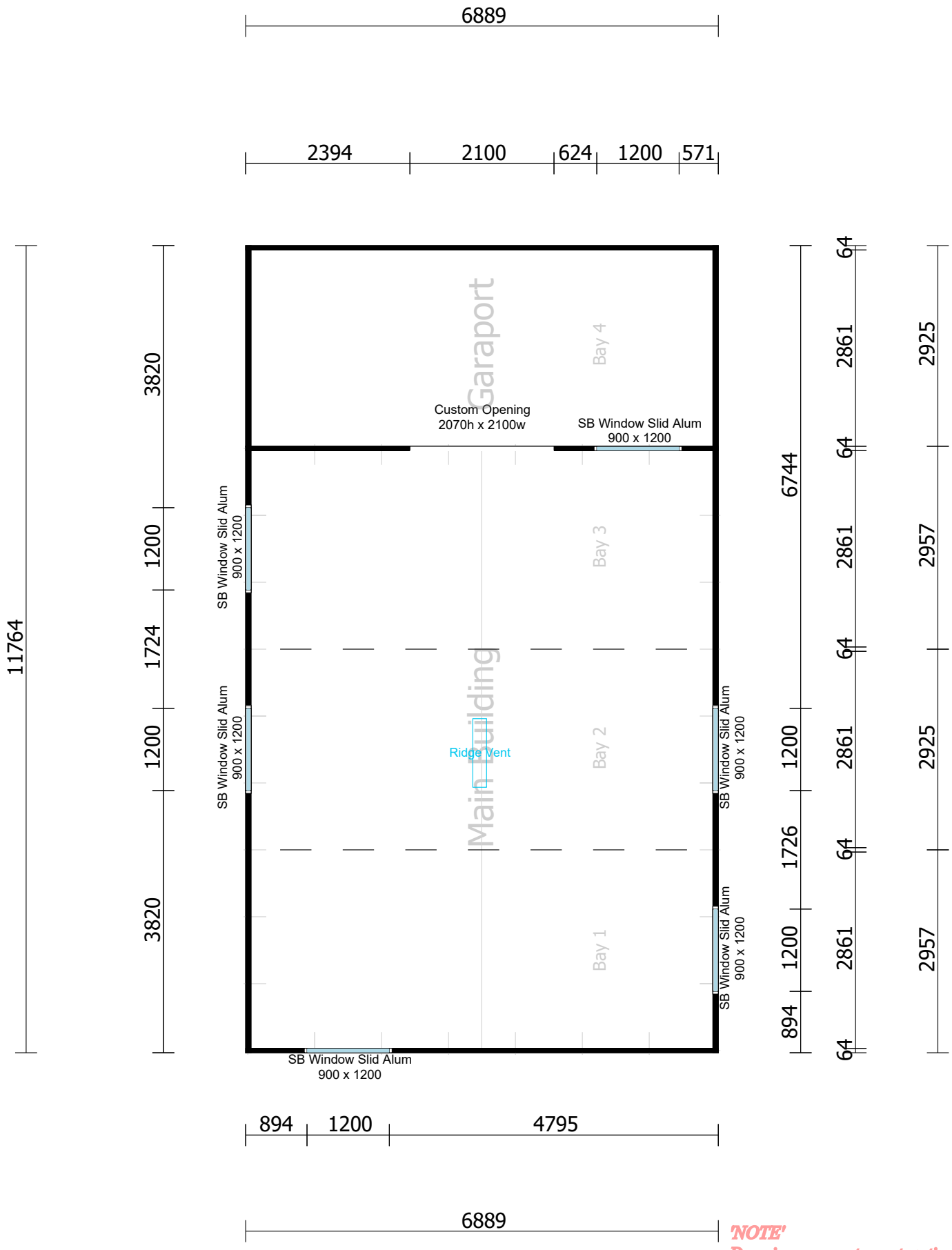
Site Specific Windspeed Report

			Major Structural Elements	Cladding and Immediate Supporting Elements
Wind Region:	C	**Terrain Category (TC):**	2.0	2.0
Latitude:	-16.2103552	Critical Direction:	WEST Wind	WEST Wind
Longitude:	145.4036251	Md:	0.95	1.00
Elevation:	29.50	Mz, cat:	0.91	0.91
Importance Level:	2	Ms:	1.00	1.00
Average Height:	3.16	Mt:	1.00	1.00
ULTIMATE VR:	69 m/s	**WIND SPEED (Vsit, β):**	59.65 m/s	62.79 m/s
ULTIMATE ARI:	vr_500	**WIND PRESSURE (qsit, β):**	2.1349 kPa	2.3656 kPa



Legend	
	T.C.1
	T.C.1.5
	T.C.2
	T.C.2.5
	T.C.3
	T.C.4

Customer Name: Phill Davies
Site Address: Lot 5 Maghogany Road DIWAN 4873 QLD Australia
Project Reference: 247960



'NOTE'
Drawings are not construction issue. Shop drawings (For Construction) will be detailed prior to fabrication.

Scale 1:76

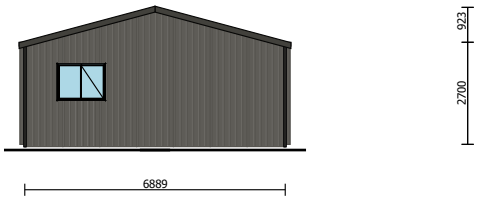
* All Dimensions in mm. Colours shown are examples only.For exact colour samples see your local Totalspan AUS representative.

SC & GS Family Trust
610 Bruce High Way, Woree, CAIRNS, QLD, 4868, Australia
Phone: 07 4054 6122
Fax: 07 4054 6133
Email: cairns@totalspan.com.au

For: Phill & Gina Davis
Lot 5 Maghogany Road
Cowbay
DIWAN, QLD
Australia, 4873

Portal Building Platinum
Project Number: 2479-247960J1.5
DP Number:

29/04/2021



Scale 1:200

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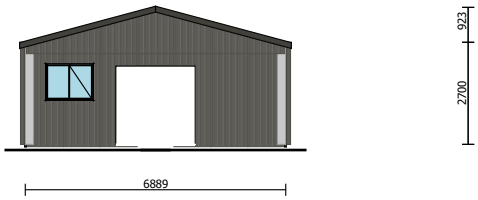

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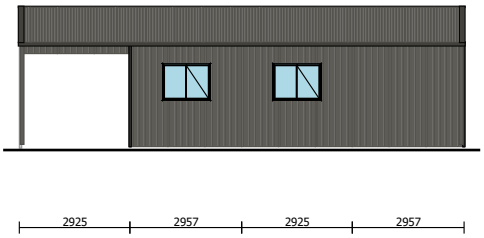

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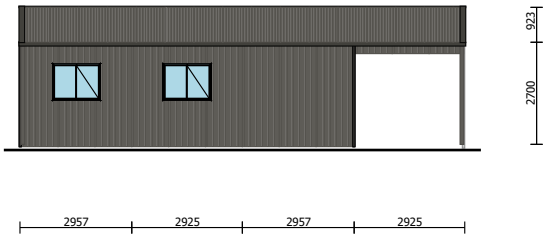

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For: Phill & Gina Davis
Lot 5 Maghogany Road
Cowbay
DIWAN, QLD
Australia, 4873

Portal Building Platinum
Project Number: 2479-247960J1.5
DP Number:

29/04/2021

Queensland Government

Department of Housing and Public Works

Form 15—Compliance certificate for building design or specification

Version 4 – July 2017

NOTE: This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.
RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

Street address (include no., street, suburb/locality and postcode)

Lot 5 Maghogany Road, Cowbay, DIWAN

Lot and plan details (attach list if necessary)

Lot SP/RP

In which local government area is the land situated?

Cairns Regional Council

2. Description of component/s certified

Summermore Pty Ltd confirm that we have designed the Cold Formed Steel Portal Framed Shed as detailed on the attached drawing sheets.

3. Basis of certification

AS/NZS1170.0, AS/NZS1170.1, AS/NZS1170.2, AS3600, AS2870, AS4100, AS/NZS4600, AS4505.

4. Reference documentation

SBP-S1 Rev.A Engineering Table
SBP-S2 Rev.A General Notes and Specs
SBP-S3 Rev.A Typical Connection Details
SBP-S4 Rev.A Intermediate Portal Connection Details
SBP-S5-S6 Rev.A Gable and Side Wall Openings
SBP-S7 Rev.A Hold Down and Misc
SBP-S8 Rev.A Uprights/Bracing
SBP-S10 Rev.A Garaports
SBP-S11-S12-S13 Rev.A Slabs
LHL Compliance Report TS1100

5. Building certifier reference number

Building certifier reference number

6. Competent person details

Name (in full)

Ronald Albert BELL

Company name (if applicable)

Summermore Pty Ltd

Contact person

Ronald Bell

Phone no. (business hours)

07 3800 0973

Mobile no.

0438 288 116

Fax no.

07 3800 1860

Email address

ron@summermore.com.au

Postal address

PO Box 1671, Browns Plains BC, Queensland, 4118.

Licence or registration number (if applicable)

RPEQ 6715

7. Signature of competent person

Signature

Ronald A. Bell
Registered Professional Engineer
Grad Cert (Tech Mgt), BEng Civil (Hons), PEng, MIEAust (891940), CMEngNZ (1027605)

05-05-2021

Signed .....
RPEQ (6715), RBP(NT) (60596ES), RBP(Vic) (EC27967), RBP(Tas)(CC5556),MAIB (9225), JP(Qual).

STRUCTURAL DETAILS CONCURRED

Date

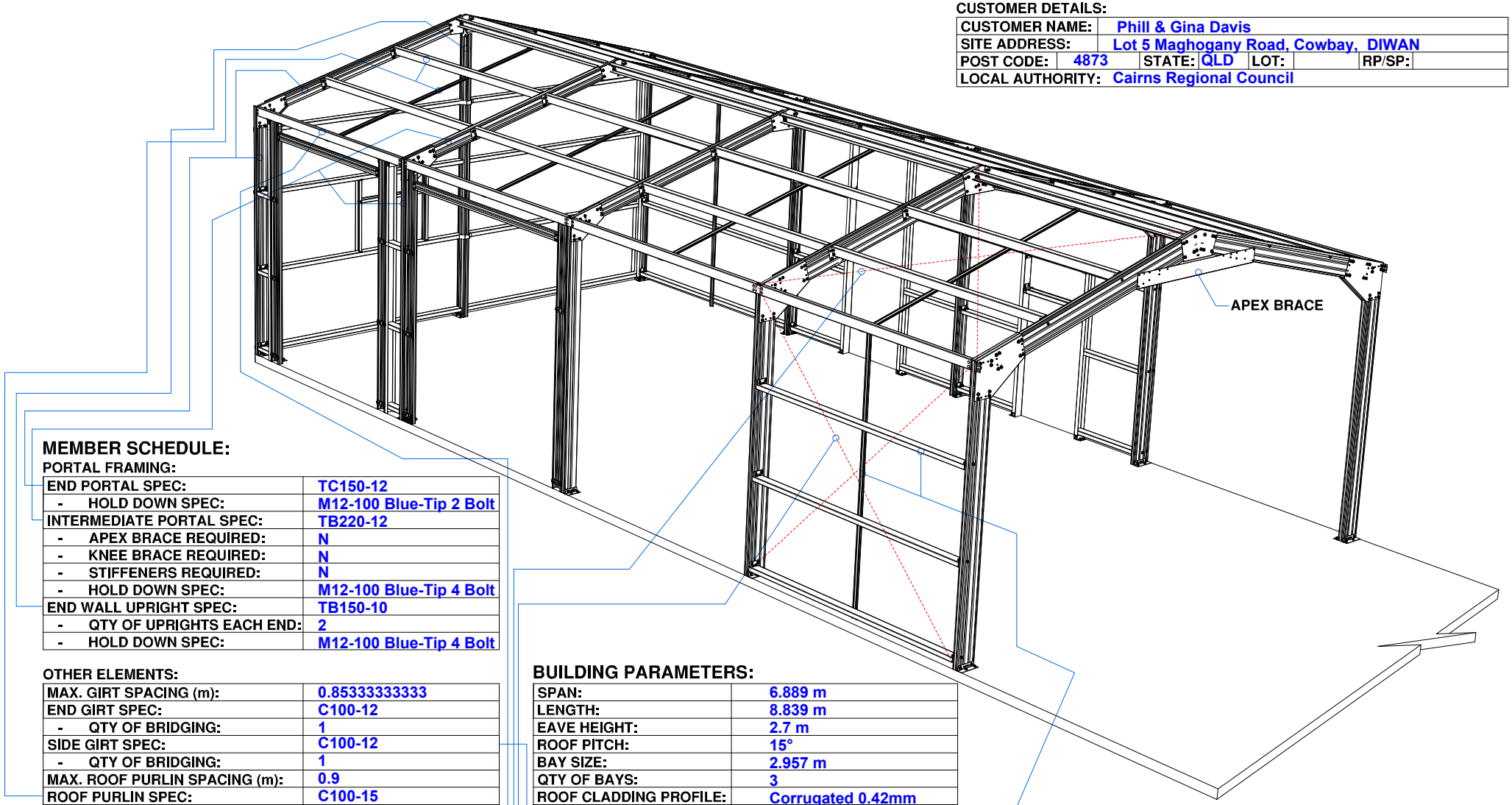
05-05-2021

LOCAL GOVERNMENT USE ONLY

Date received		Reference Number/s	

CUSTOMER DETAILS:

CUSTOMER NAME:	Phill & Gina Davis						
SITE ADDRESS:	Lot 5 Maghogany Road, Cowbay, DIWAN						
POST CODE:	4873	STATE:	QLD	LOT:		RP/SP:	
LOCAL AUTHORITY:	Cairns Regional Council						



MEMBER SCHEDULE:

PORTAL FRAMING:

END PORTAL SPEC:	TC150-12
- HOLD DOWN SPEC:	M12-100 Blue-Tip 2 Bolt
INTERMEDIATE PORTAL SPEC:	TB220-12
- APEX BRACE REQUIRED:	N
- KNEE BRACE REQUIRED:	N
- STIFFENERS REQUIRED:	N
- HOLD DOWN SPEC:	M12-100 Blue-Tip 4 Bolt
END WALL UPRIGHT SPEC:	TB150-10
- QTY OF UPRIGHTS EACH END:	2
- HOLD DOWN SPEC:	M12-100 Blue-Tip 4 Bolt

OTHER ELEMENTS:

MAX. GIRT SPACING (m):	0.85333333333
END GIRT SPEC:	C100-12
- QTY OF BRIDGING:	1
SIDE GIRT SPEC:	C100-12
- QTY OF BRIDGING:	1
MAX. ROOF PURLIN SPACING (m):	0.9
ROOF PURLIN SPEC:	C100-15
- QTY OF BRIDGING:	1
GUTTER PURLIN SPEC:	G100-15
ROOF BRACING SPEC:	50x1.0 Strap
SIDE WALL BRACING SPEC:	50x1.0 Strap
- QTY OF BRACES:	4
END WALL BRACING SPEC:	50x1.0 Strap
- QTY OF BRACES:	4

BUILDING PARAMETERS:

SPAN:	6.889 m
LENGTH:	8.839 m
EAVE HEIGHT:	2.7 m
ROOF PITCH:	15°
BAY SIZE:	2.957 m
QTY OF BAYS:	3
ROOF CLADDING PROFILE:	Corrugated 0.42mm
WALL CLADDING PROFILE:	7rib 0.42mm

DESIGN PARAMETERS:

OPENED/CLOSED DESIGN:	Open

Please refer to attached windspeed calculations

Summermore Pty Ltd
Consulting Engineers
ACN: 108 898 433
ABN: 42 108 898 433
ron@summermore.com.au
www.summermore.com.au
PO Box 1671
Browns Plains BC, QLD, 4118
Phone: 07 3800 0973
Fax: 07 3800 1880

I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.

Ronald A Bell

Ronald A. Bell
Registered Professional Engineer
Grad Cert (Tech Mgt), BEng Civil (Hons),
FIEAust (891940), CMEngNZ (1027605), CPEng, NER,
APEC Engineer, IntPEAust
06JUL2020
Signed .....
RPEQ (6715), RBPNT1 (6059685), RBP(Vic) (EC27967),
RBP(Tas/ICC35556),MAIB (9223), JP(Qual)
STRUCTURAL DETAILS CONCURRED

STEEL SHEDS
AUSTRALIA
ACN 635 514 304
74 Platinum St Crestmead
Brisbane QLD 4132
PH: (07) 3827 8000 FAX: (07) 3803 2315

GENERIC
PORTAL BUILDINGS

MEMBER SCHEDULE

SPANBILD NO:
SBP-S1
REV A
REVISION SUFFIX

GENERAL NOTES:

CERTIFICATION

1. THESE DRAWINGS ARE VALID ONLY WHEN ENDORSED BY A SEPARATE DESIGN CERTIFICATE THAT IS VALID FOR THE DATE OF ISSUE AND CONSTRUCTION.

GENERAL

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, ANY DISCREPANCIES SHALL BE REFERED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS TO BE CHECKED BY THE CONTRACTOR BEFORE COMMENCING WORK.
3. WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH RELEVANT CURRENT AUSTRALIAN STANDARDS, BCA AND LOCAL AUTHORITY BYLAW
4. DRAWINGS SHALL NOT BE SCALED FOR ANY FABRICATION OR ERECTION DETAILS.
5. AT SETOUT, DIAGONALS MUST BE CAREFULLY CHECKED TO ENSURE BUILDING IS SQUARE.
6. OBTAIN NECESSARY PERMITS AND APPROVALS FROM RELEVANT AUTHORITIES BEFORE COMMENCING WORK ON SITE.
7. THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION DURING ERECTION AND NO COMPONENT SHALL BE OVERSTRESSED. TEMPORARY ROOF &/OR WALL BRACING MAY BE REQUIRED DURING CONSTRUCTION.

LOADINGS

1. THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LOADS:
   1.1 LIVE LOAD-0.25kpa IN ACCORDANCE WITH AS/NZS 1170.1
   1.2 WIND LOAD CALCULATED IN ACCORDANCE WITH AS/NZS 1170.2:2011
2. A WIND SPEED CALCULATOR HAS BEEN USED TO DETERMINE THE SITE WIND SPEED FOR THE FOLLOWING VARIABLES.
   - IMPORTANCE LEVEL
   -REGIONAL WIND SPEED - (Vr)
   -CYCLONIC FACTOR - (Fc Fd)
   -DIRECTIONAL MULTIPLIER - (Md)
   -TERRAIN HEIGHT MULTIPLIER - (Mz CAT)
   - TOPOGRAPHIC MULTIPLIER - (Mt)
   - SITE SHIELDING - (Ms)

PLEASE REFER TO WIND SPEED SITE REPORT PROVIDED WITH THIS DOCUMENT.

STEELWORK

1. ALL STRUCTURAL FRAMING MEMBERS SHALL BE G550 - G450 GRADE STEEL U.N.O. AND ALL CLEATS SHALL BE G450 GRADE STEEL GALVANISED TO MIN Z275. POSTS SHALL BE G450, REFER DRAWING.
2. ROOF AND WALL SHEETING SHALL BE G550 GRADE STEEL PROTECTED WITH ZINCALUME AZ150.
3. ROOF SHEETING CAN BE REPLACED WITH CLEAR ROOF 2400GSM PANEL FIXED TO MANUFACTURERS SPECIFICATIONS. A HIGHER GSM RATE MAY BE REQUIRED FOR SNOW AREA'S.
4. PURLINS & BRIDGING TO BE EX. C100 LIPPED CRIMPED CHANNELS 0.95mm B.M.T, 1.2mm, 1.5mm OR 1.9mm B.M.T.
5. ROOF CLADDING SHEET IS TO BE FIXED AS FOLLOWS:
   NOTE: MAXIMUM SPAN OF CLADDING, AND TEK SCREW LOCATIONS FOR EACH CLADDING TYPE SHOWN ON THIS SHEET.

REGION A & B ROOFING:

CORRUGATED 0.42 B.M.T:
FIXED WITH #12-14x35 TEKS AT EVERY SECOND CREST TO EAVE AND RIDGE PURLINS AND 2-3-3-2 PATTERN FOR INTERMEDIATE FASTENERS.

7 RIB 0.35/0.42 B.M.T:
(0.35mm B.M.T APPROVED FOR REGION A ONLY)
FIXED WITH #12-14x35 TEKS AT EAVE AND RIDGE PURLINS WITH 1 SCREW EVERY RIB AND ALTERNATE RIBS FOR ALL INTERMEDIATE PURLINS.

SPANCLAD 0.42mm B.M.T:
FIXED WITH #12-14x48 TEKS AT ALL PURLINS WITH 1 SCREW EVERY RIB.

REGION C ROOFING:

CORRUGATED 0.42 B.M.T:
FIXED WITH #14-12x55 CYCLONIC ROOF ZIPS W. BONDED CYCLONE WASHERS AT EVERY SECOND CREST TO ALL PURLINS.

SPANCLAD 0.42 B.M.T:
FIXED WITH #14-12x55 CYCLONIC ROOF ZIPS W. BONDED CYCLONE WASHERS AT EVERY CREST TO ALL PURLINS.

6. WALL CLADDING SHEET IS TO BE FIXED AS FOLLOWS:
   NOTE: MAXIMUM SPAN OF CLADDING, AND TEK SCREW LOCATIONS FOR EACH CLADDING TYPE SHOWN THIS SHEET.

REGION A & B WALL CLADDING:

CORRUGATED 0.42 B.M.T:
FIXED WITH #10-16x16 NEO TEKS AT EVERY SECOND VALLEY TO ALL GIRTS

7 RIB 0.35/0.42 B.M.T:
FIXED WITH #10-16x16 TEKS AT EVERY VALLEY TO TOP AND BOTTOM GIRT AND EVERY SECOND VALLEY FOR ALL INTERMEDIATE GIRTS

WALL CLADDING CONT.

SPANCLAD 0.35 / 0.42 B.M.T:
FIXED WITH #10-16x16 TEKS AT EVERY VALLEY TO TOP AND BOTTOM GIRT AND EVERY SECOND VALLEY FOR ALL INTERMEDIATE GIRTS

TOTALCLAD 0.35/0.42 B.M.T:
FIXED WITH #10-16x16 TEKS AT EVERY VALLEY TO TOP AND BOTTOM GIRT AND EVERY SECOND VALLEY FOR ALL INTERMEDIATE GIRTS

REGION C WALL CLADDING:

CORRUGATED 0.42 B.M.T:
FIXED WITH #14-10x20 NEO TEKS AT EVERY SECOND VALLEY TO ALL GIRTS

7 RIB 0.42 B.M.T (0.35 B.M.T NOT AVAILABLE):
FIXED WITH #14-10x20 NEO TEKS AT EVERY VALLEY TO ALL GIRTS.

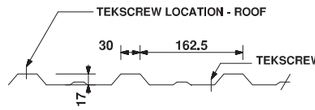
SPANCLAD 0.35/0.42 B.M.T:
FIXED WITH #14-10x20 NEO TEKS AT EVERY VALLEY TO ALL GIRTS.

NOTE: OTHER ROOF AND WALL CLADDING PROFILES MAY BE USED. REFER MANUFACTURERS SPECIFICATIONS FOR FIXING DETAILS.

7. PURLINS / GIRTS FIXED TO RAFTERS/ COLUMNS/ UPRIGHTS WITH 2 M12 BOLTS W. WASHERS EACH END U.N.O. REFER RELEVANT JOINT DETAILS.
8. SCREWS CONNECTING STRUCTURAL MEMBERS TO BE WAFERTEKS No. 10/12 U.N.O MANUFACTURED BY BUILDEX (OR EQUIVALENT) WITH MIN. EDGE DISTANCE OF 9mm AND MIN. PITCH OF 18mm.
1. ALL STRUCTURAL BOLTS TO BE M12 G.R.4.6 U.N.O. WASHERS MUST BE USED (TYP.). WHERE BOLTS ARE USED FOR BOXED MEMBERS, BOXING SPACERS MUST BE USED. BOXING SPACERS ARE OPTIONAL AT PURLIN AND GIRT CONNECTIONS TO RAFTERS/COLUMNS/UPRIGHTS
2. RIDGES, BARGES AND ALL PENETRATIONS TO BE FLASHED WITH 0.4mm ZINCALUME FINISHED STEEL.
3. GUTTER AND DOWNPIPES TO BE FITTED AND DISCHARGED TO A LEGAL POINT OF DISCHARGE. SPLICE GUTTER AT CENTRE OF BUILDING. PROVIDE TWO SCREWS/RIVETS INTO EACH WEB AND SEAL WITH SILICONE.
4. SERVICE HOLES
   SERVICE HOLES ARE PERMITTED IN WEBS OF ALL STRUCTURAL MEMBERS. MAXIMUM SIZE AND LOCATION OUTLINED THIS SHEET. SPACING BETWEEN SERVICE HOLES FOR BE AT LEAST 100mm.
9. STEELWORK SHALL ALL COMPLY WITH THE REQUIREMENTS OF:-
   AS/NZS 1170.0, 1 & 2 : 2002/2011 LOADING CODES
   AS 4100 STEEL STRUCTURE CODES
   AS 3600 : CONCRETE STRUCTURES
   AS/NZS 4600 : 2005 COLD FORMED STEEL STRUCTURE CODE
   AS 1562 DESIGN AND INSTALLATION OF METAL ROOFING
   AS 1111/1112 METRIC HEXAGON COMMERCIAL BOLTS AND SCREWS
   AS 2313 GUIDE TO THE PROTECTION OF IRON AND STEEL
   AS 3566 SELF DRILLING SCREWS FOR BUILDING & CONSTRUCTION INDS
   AS/NZS 4505:2012 GARAGE DOORS AND OTHER LARGE ACCESS DOORS

CONCRETE

1. REFER SLAB DRAWINGS FOR CONCRETE DETAILS, NOTES, SITE CONDITIONS ETC.



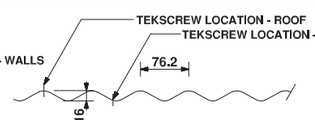
SHEETING PROFILE 7 RIB

0.35/0.42 B.M.T - ROOF
0.35/0.42 B.M.T - WALLS

MAXIMUM SPAN OF CLADDING:

	ROOF	WALLS
REGION A:	1200mm (900)	1200mm
REGION B:	1200mm (900)	1200mm
REGION C:	N/A	1200mm (0.42)

1200mm (900) REPRESENTS 1200 INTERNAL SPANS, 900 END SPANS AT EAVE AND RIDGE.



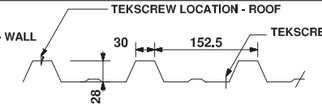
SHEETING PROFILE CORRUGATED

0.42B.M.T

MAXIMUM SPAN OF CLADDING:

	ROOF	WALLS
REGION A:	1200mm (900)	1200mm
REGION B:	1200mm (900)	1200mm
REGION C:	1100mm (880)	1200mm

1200mm (900) REPRESENTS 1200 INTERNAL SPANS, 900 END SPANS AT EAVE AND RIDGE.



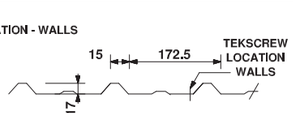
SHEETING PROFILE SPANCLAD

0.42 B.M.T - ROOF
0.35/0.42 B.M.T - WALLS

MAXIMUM SPAN OF CLADDING:

	ROOF	WALLS
REGION A:	1200mm (900)	1200mm
REGION B:	1200mm (900)	1200mm
REGION C:	1100mm (880)	1200mm

1200mm (900) REPRESENTS 1200 INTERNAL SPANS, 900 END SPANS AT EAVE AND RIDGE.

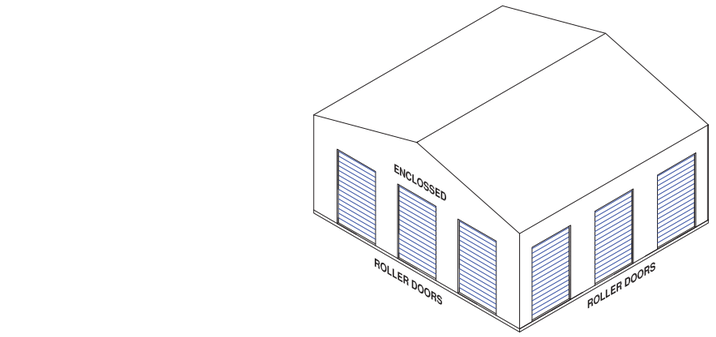


SHEETING PROFILE TOTALCLAD

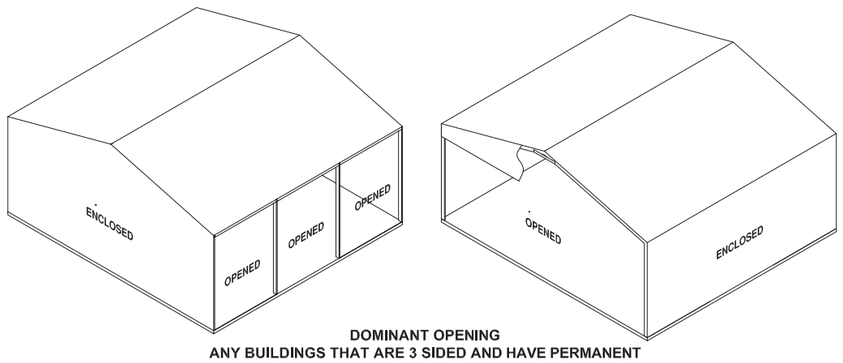
0.35/0.42 B.M.T WALLS

MAXIMUM SPAN OF CLADDING:

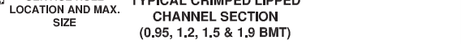
	ROOF	WALLS
REGION A:	N/A	1200mm
REGION B:	N/A	1200mm
REGION C:	N/A	N/A



ENCLOSED
BUILDINGS WITH ROLLER DOORS
OR BUILDINGS OPENED ON 2 OPPOSING SIDES
REGION A & B - Cpi = +0.2, -0.3
(UNLESS DOMINANT OPENING EXISTS)
REGION C - Cpi = +0.7, -0.65



DOMINANT OPENING
ANY BUILDINGS THAT ARE 3 SIDED AND HAVE PERMANENT OPENINGS ARE CONSIDERED TO HAVE A DOMINANT OPENING
BUILDINGS WITH 2 ADJACENT SIDE/END WALLS ENCLOSED ALSO FALL INTO THIS CATEGORY
REGION A, B & C - Cpe/Cpi = +0.7, -0.65



25 DIA DENOTES PERMITTED SERVICE HOLE LOCATION AND MAX. SIZE

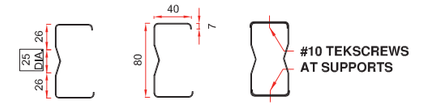
SINGLE

TYPICAL CRIMPED LIPPED CHANNEL SECTION (0.95, 1.2, 1.5 & 1.9 BMT)

NESTING CHANNEL

C100 SECTION

NC100 SECTION



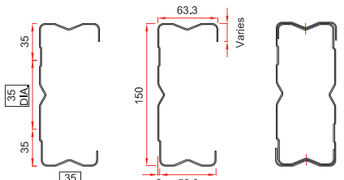
25 DIA DENOTES PERMITTED SERVICE HOLE LOCATION AND MAX. SIZE

SINGLE

BOXED

TYPICAL CRIMPED LIPPED CHANNEL SECTION (0.75 & 0.95 BMT)

C80x40 SECTION



35 DIA DENOTES PERMITTED SERVICE HOLE LOCATION AND MAX. SIZE

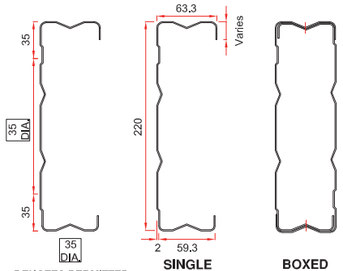
SINGLE C150 SECTION

BOXED C150 SECTION

TYPICAL TC150 CRIMPED LIPPED CHANNEL SECTION

TC150 - 10	SINGLE TC150x1.0	B.M.T
TC150 - 12	SINGLE TC150x1.2	B.M.T
TC150 - 15	SINGLE TC150x1.5	B.M.T
TB150 - 10	BOXED TC150x1.0	B.M.T
TB150 - 12	BOXED TC150x1.2	B.M.T
TB150 - 15	BOXED TC150x1.5	B.M.T

TC150/TB150 SECTION



35 DIA DENOTES PERMITTED SERVICE HOLE LOCATION AND MAX. SIZE

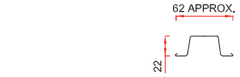
SINGLE TC220 SECTION

BOXED TB220 SECTION

TYPICAL TC220 CRIMPED LIPPED CHANNEL SECTION

TC220 - 12	SINGLE TC220x1.2	B.M.T
TC220 - 15	SINGLE TC220x1.5	B.M.T
TC220 - 19	SINGLE TC220x1.9	B.M.T
TB220 - 12	BOXED TC220x1.2	B.M.T
TB220 - 15	BOXED TC220x1.5	B.M.T
TB220 - 19	BOXED TC220x1.9	B.M.T

TC220/TB220 SECTION



TYPICAL 22mm BATTEN

TH22-042 22mm BATTEN 0.42mm B.M.T (REGION A & B)
TH22-055 22mm BATTEN 0.55mm B.M.T (REGION C)

22mm BRIDGING BATTEN

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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.

Ronald A Bell

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Registered Professional Engineer
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06JUL2020
Signed .....
RPEQ (6715), RBP(NT) (605961ES), RBP(Vic) (EC27967), RBP(Tas)(CC5556),MAIB (9225), JP(Qual).
STRUCTURAL DETAILS CONCURRED

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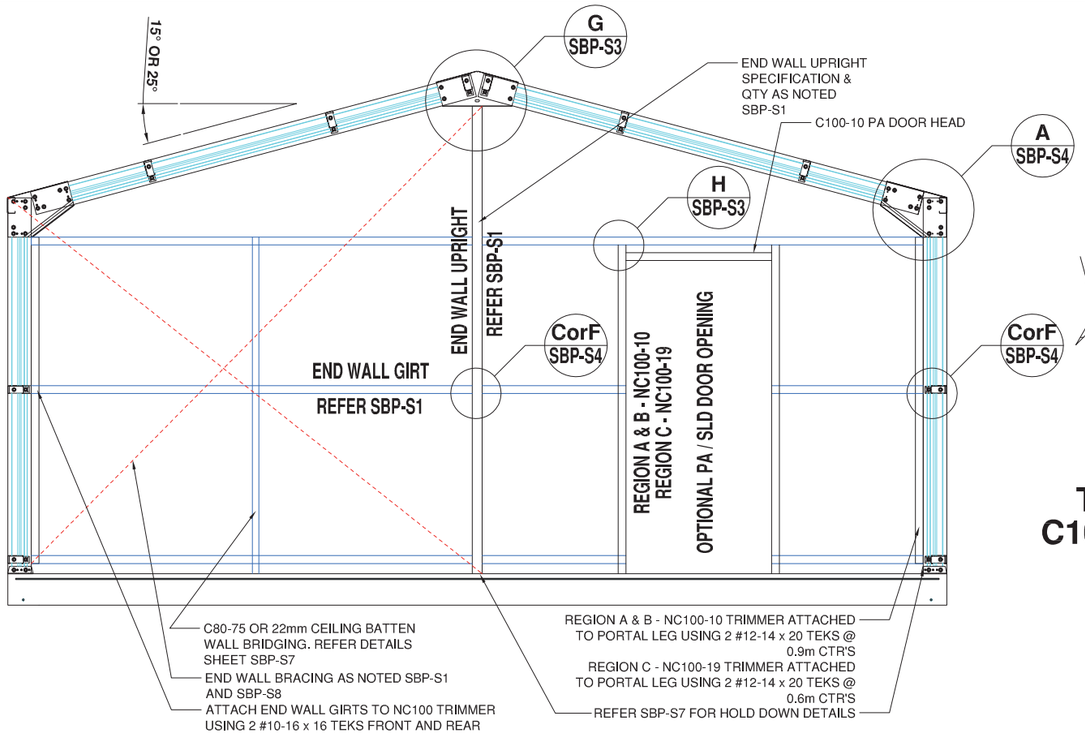
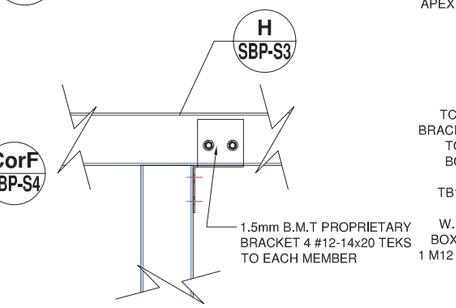
GENERIC PORTAL BUILDINGS

GENERAL NOTES AND SPECIFICATIONS

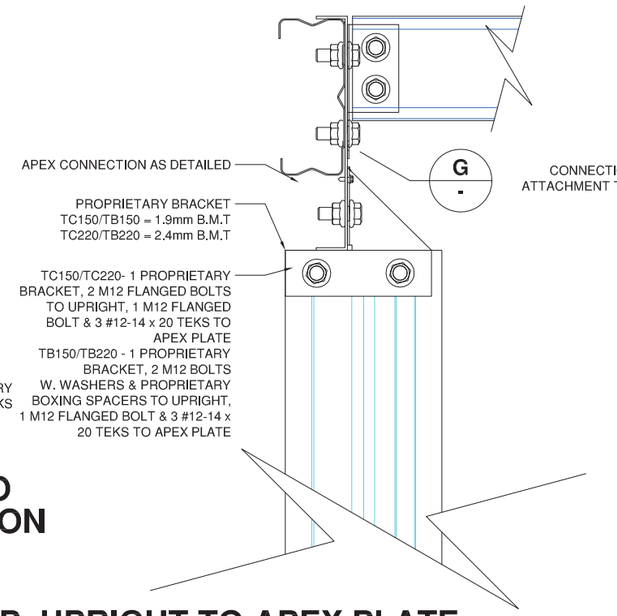
SPANBILD NO:
SBP-S2
REV A
REVISION SUFFIX



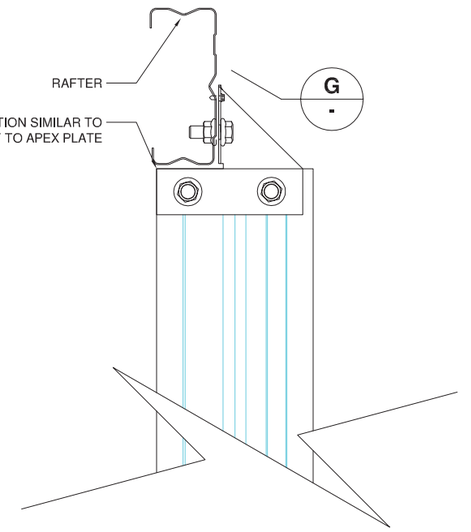
TYPICAL END PORTAL



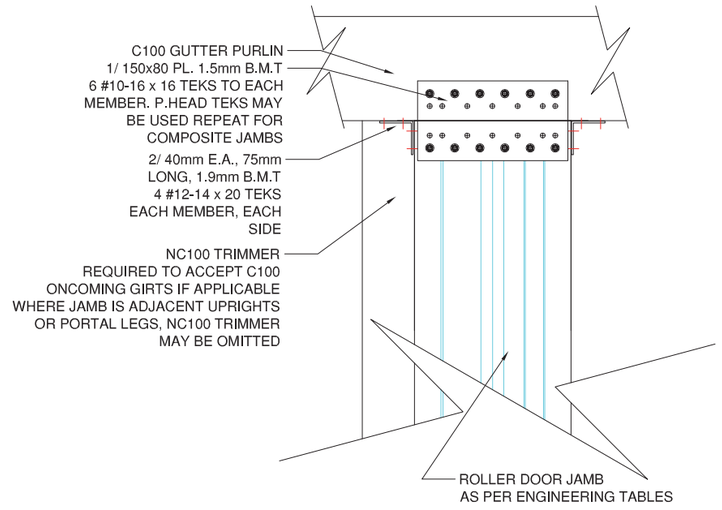
TYP. NC100/NC100 TO C100/NC100 CONNECTION



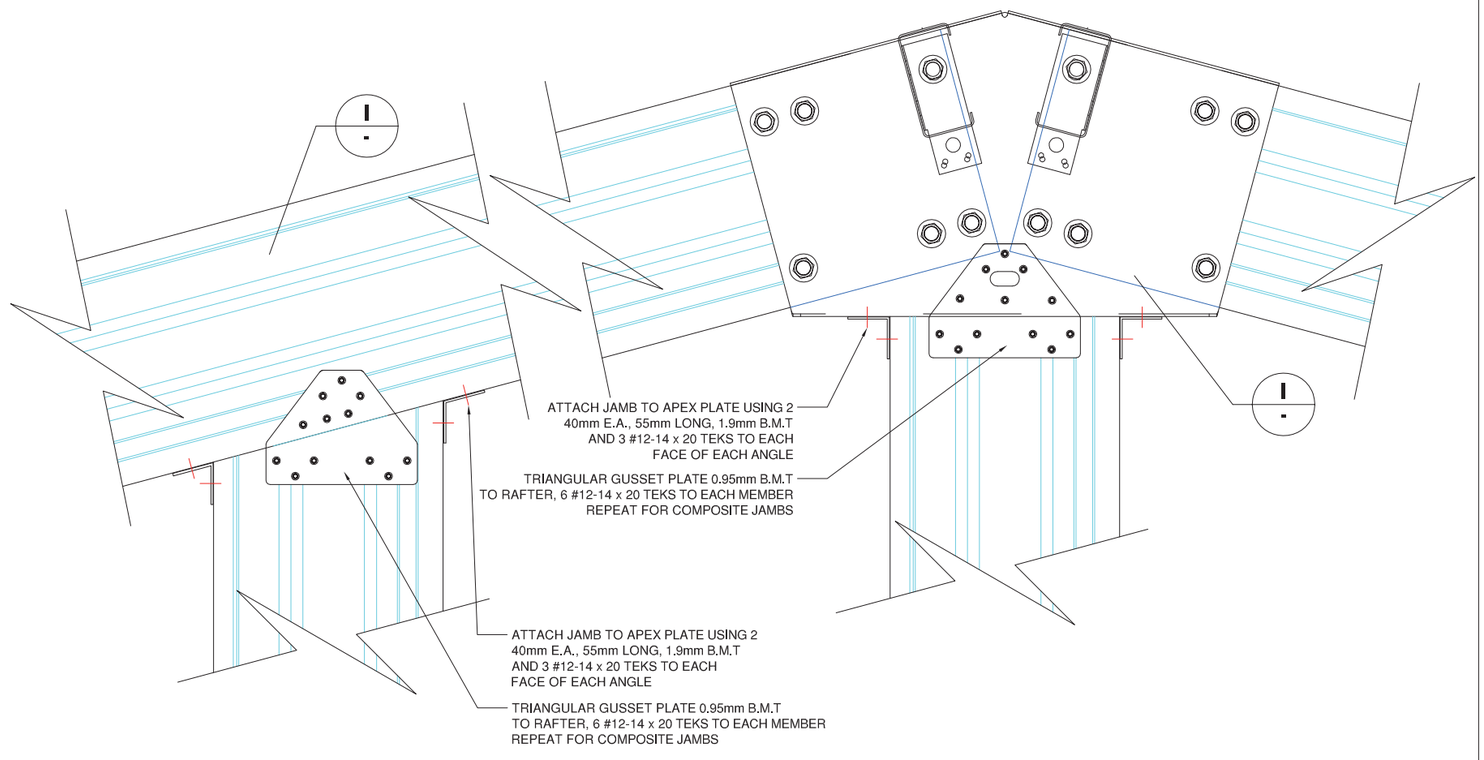
TYP. UPRIGHT TO APEX PLATE CONNECTION



TYP. UPRIGHT TO RAFTER CONNECTION



TYP. ROLLER DOOR JAMB TO GUTTER PURLIN CONNECTION



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06JUL2020
Signed .....
RPEQ (6715), RBPNT) (60596ES), RBP(Vic) (EC27967),
RBPTas(CC5556),MAIB (9225), JP(Qual).
STRUCTURAL DETAILS CONCURRED

STEEL SHEDS
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74 Platinum St Crestmead
Brisbane QLD 4132
PH: (07) 3827 8000 FAX: (07) 3803 2315

GENERIC PORTAL BUILDINGS

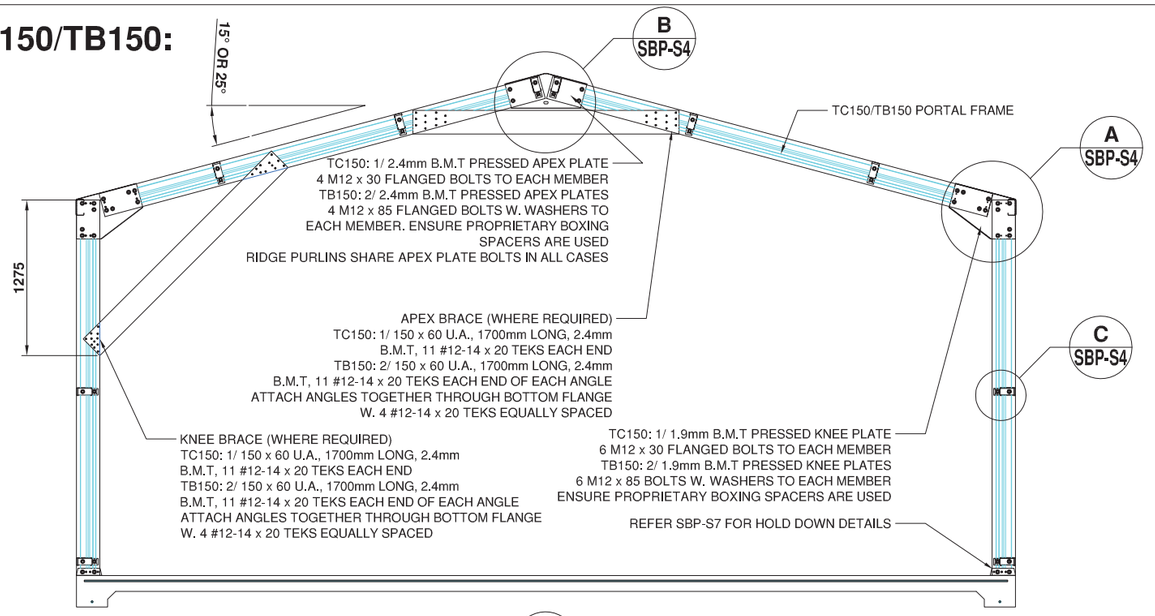
TYPICAL CONNECTION DETAILS

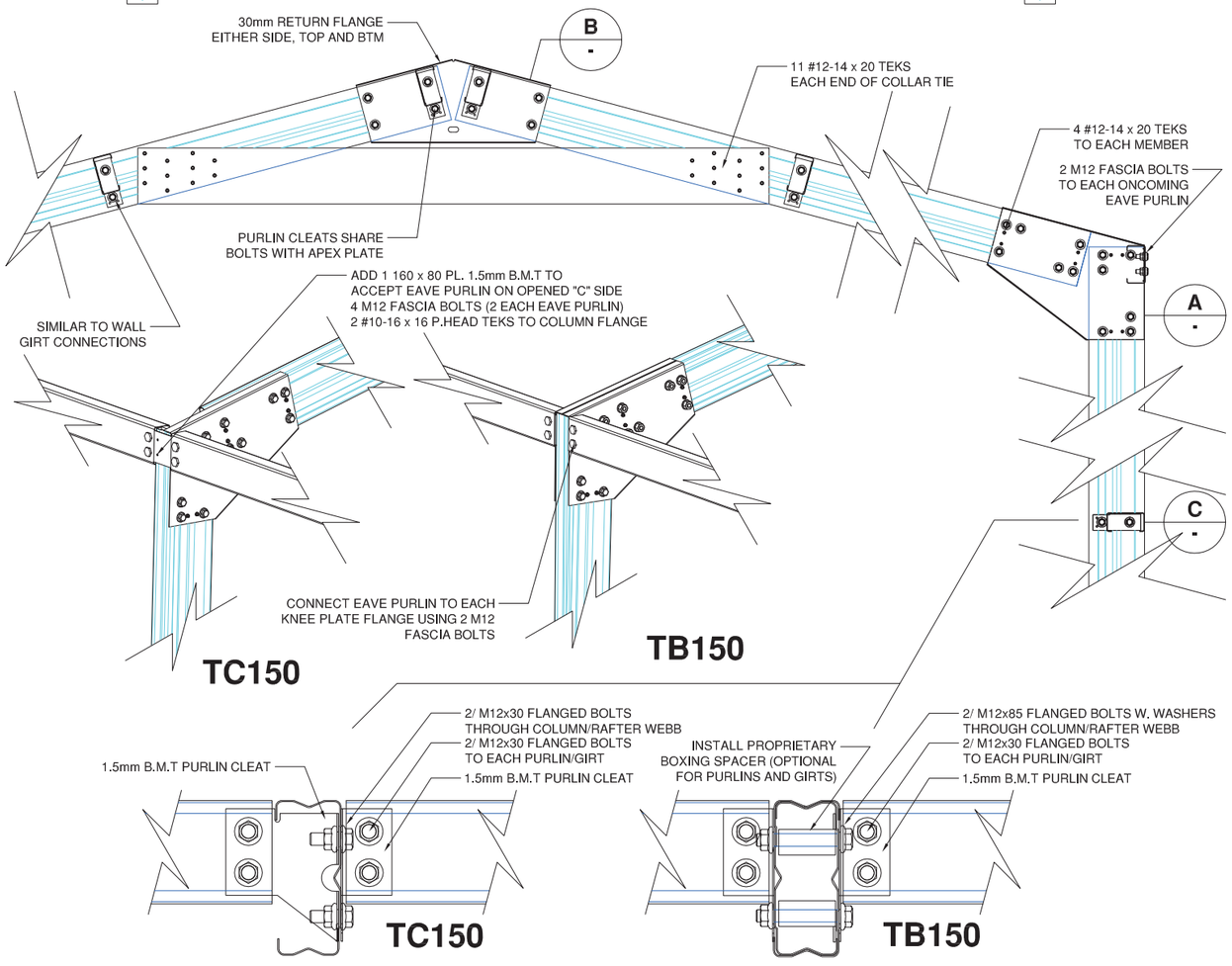
SBP-S3

REV A

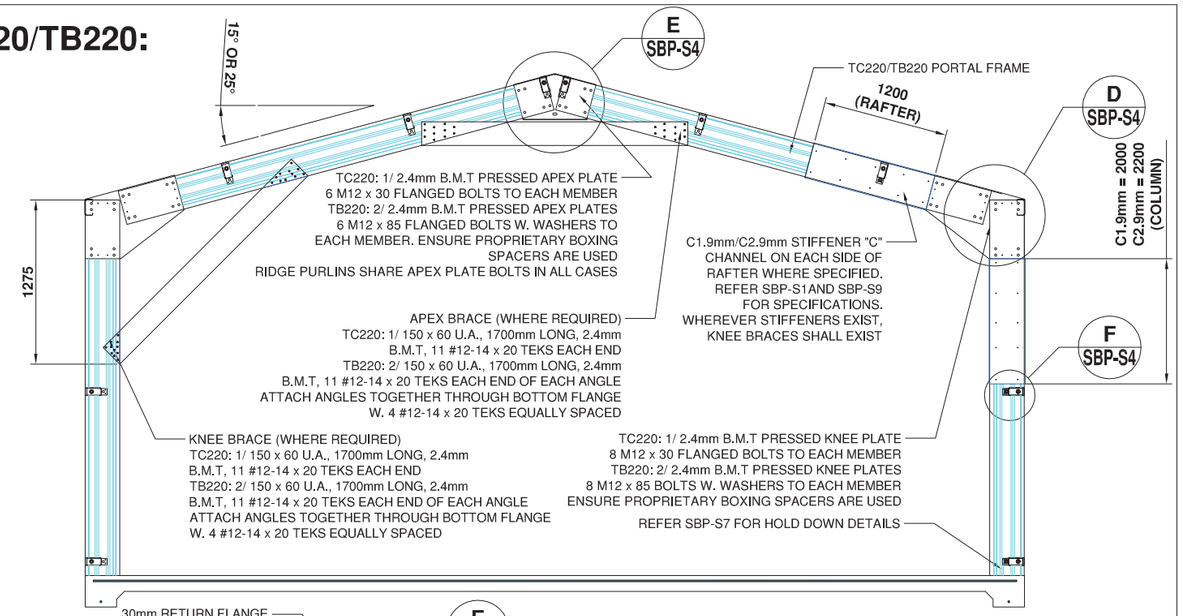
REVISION SUFFIX

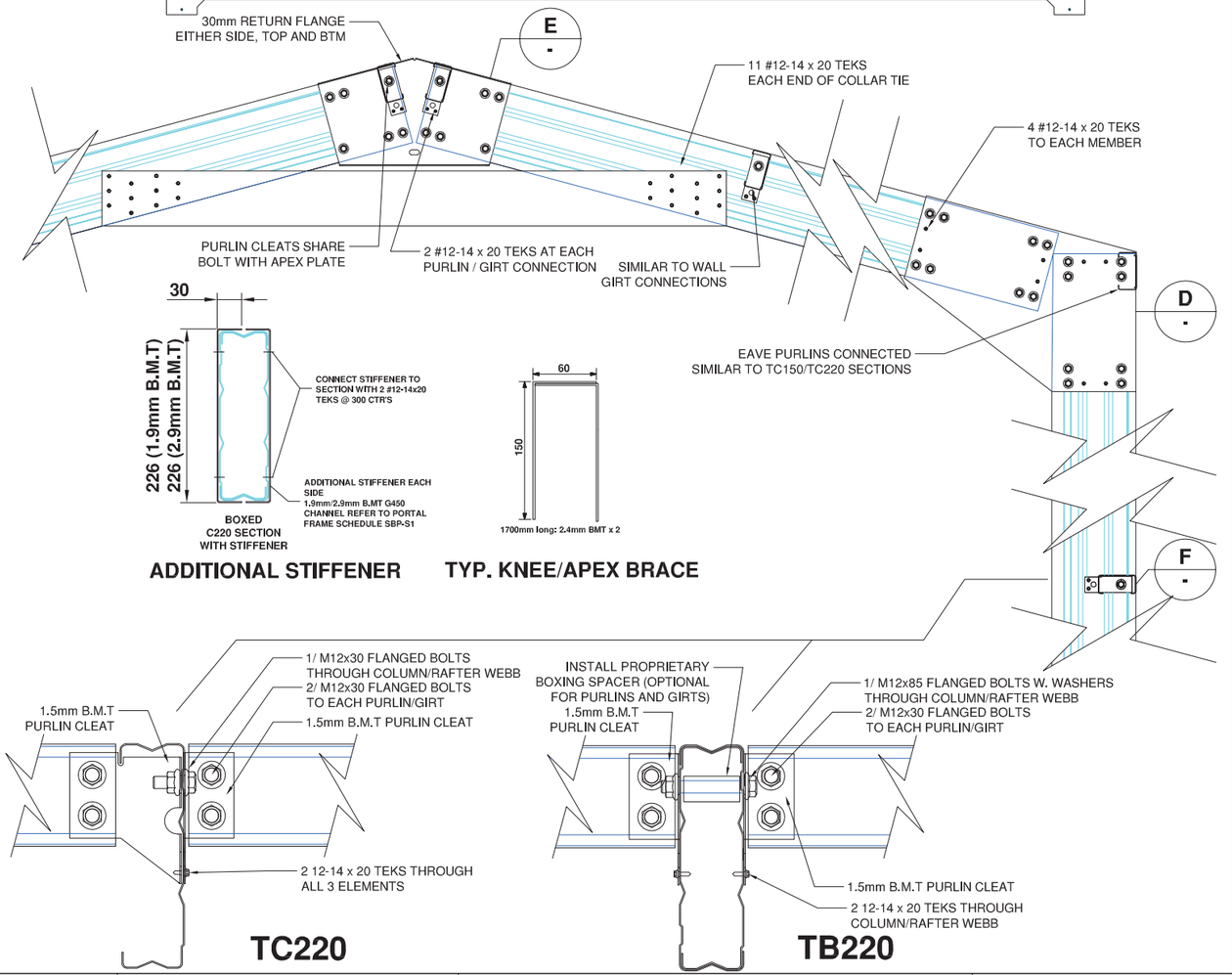
TC150/TB150:





TC220/TB220:





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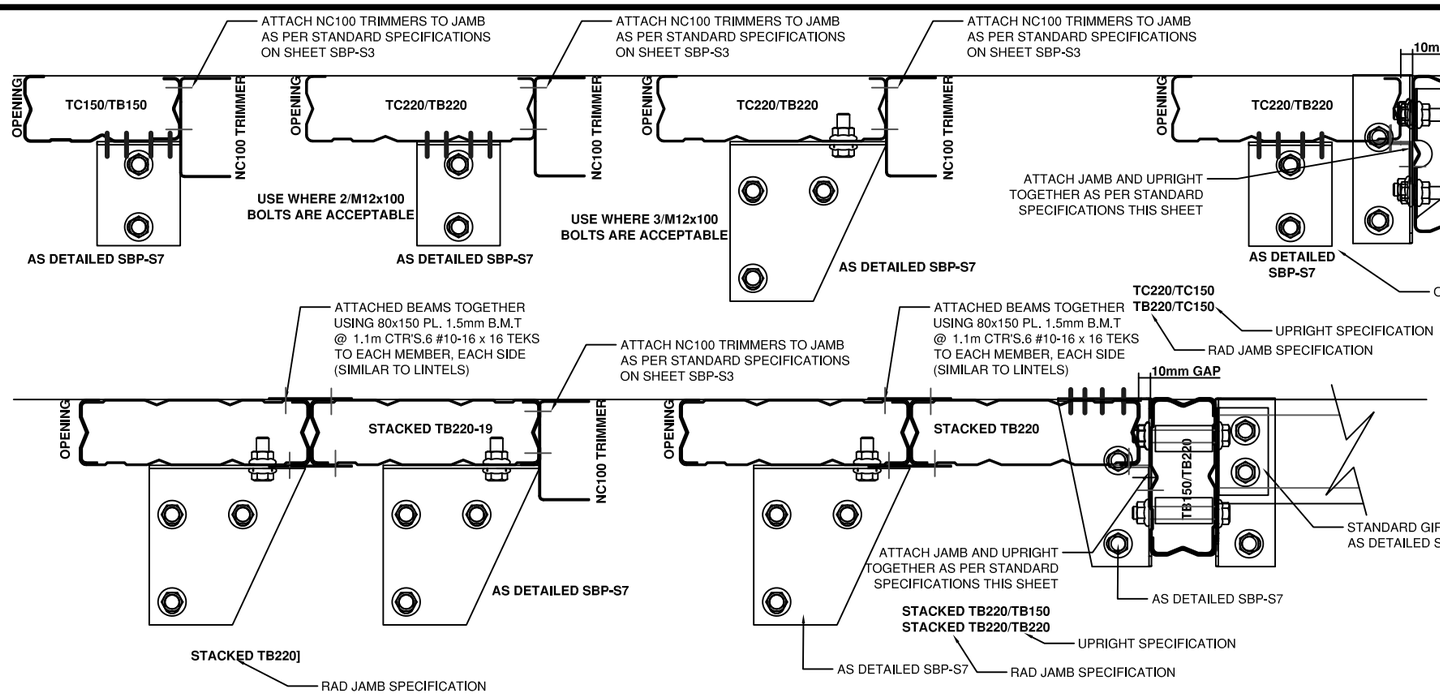
GENERIC PORTAL BUILDINGS

INTERMEDIATE PORTAL CONNECTION DETAILS

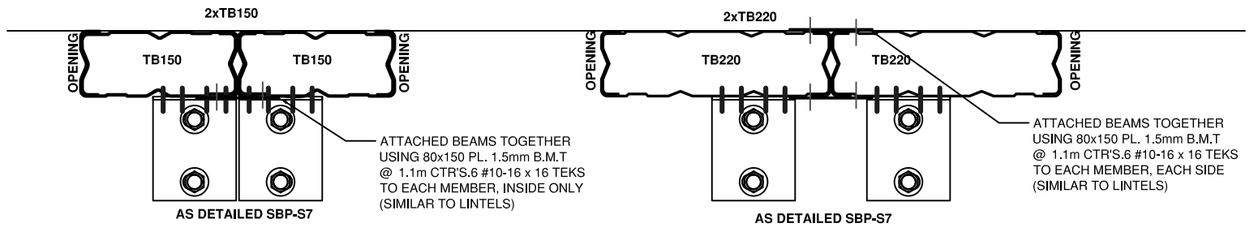
SBP-S4

REV A

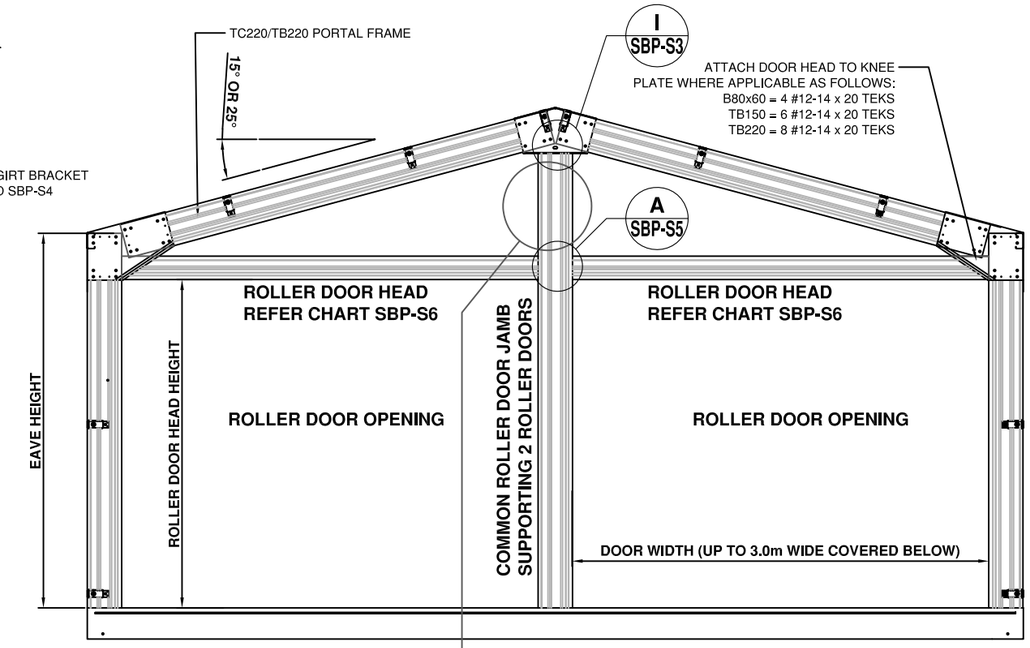
REVISION SUFFIX



COMPOSITE DOOR JAMB HOLD DOWN DETAILS:



COMMON DOOR JAMB HOLD DOWN DETAILS:



NOTE: 2 ADJACENT DOORS SHOWN.
REPEAT FOR 3 OR 4 ADJACENT DOORS
COMMON JAMB - 2 RADS SUPPORTED FROM 1 JAMB:

Region A T.C.2/B T.C.3

Door	Eave Height / Roller door Head heights:									
width (x2)	2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	TB220-12	TB220-12	TB220-12	TB220-12	TB220-12	TB220-12	TB220-15	TB220-15	TB220-15	TB220-15
3000	TB220-12	TB220-12	TB220-12	TB220-15	TB220-15	TB220-15	TB220-19	TB220-19	TB220-19	TB220-19

Region A T.C.2/B T.C.3

Door	Eave Height / Roller door Head heights:									
width (x2)	2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	TB220-12	TB220-12	TB220-12	TB220-12	TB220-12	TB220-12	TB220-19	TB220-19	TB220-19	TB220-19
3000	TB220-15	TB220-15	TB220-15	TB220-15	TB220-15	TB220-15	2xTB150-15	2xTB150-15	2xTB150-15	2xTB150-15

Region B T.C.2

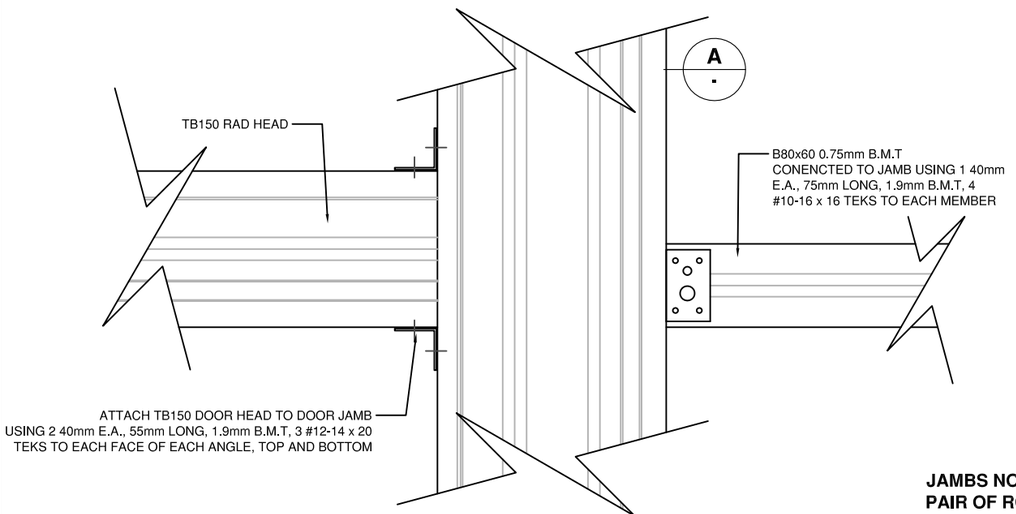
Door	Eave Height / Roller door Head heights:									
width (x2)	2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	TB220-12	TB220-12	TB220-12	TB220-15	TB220-15	TB220-15	2xTB150-15	2xTB150-15	2xTB150-15	2xTB150-15
3000	TB220-15	TB220-15	TB220-15	TB220-19	TB220-19	TB220-19	2xTB220-12	2xTB220-12	2xTB220-12	2xTB220-12

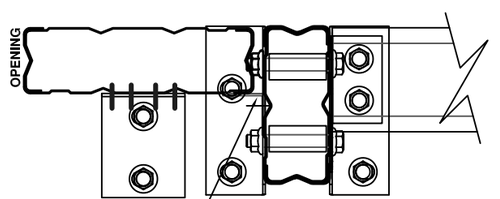
Region C T.C.3

Door	Eave Height / Roller door Head heights:									
width (x2)	2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	2xTB150-15	2xTB150-15	2xTB150-15	2xTB150-15	2xTB150-15	2xTB220-15	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19
3000	2xTB220-12	2xTB220-12	2xTB220-12	2xTB220-12	2xTB220-12	2xTB220-19	N/A	N/A	N/A	N/A

Region C T.C.2.5/T.C.2

Door	Eave Height / Roller door Head heights:									
width (x2)	2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	2xTB220-12	2xTB220-12	2xTB220-15	2xTB220-15	2xTB220-19	2xTB220-19	N/A	N/A	N/A	N/A
3000	2xTB220-15	2xTB220-15	2xTB220-19	2xTB220-19	N/A	N/A	N/A	N/A	N/A	N/A





TYPICAL JAMB/UPRIGHT CONNECTION:

JAMBS NOT SUPPORTED WITHIN THESE SPECIAL CASES SHALL USE ROLLER DOOR A PAIR OF ROLLER DOOR JAMBS WITH END WALL UPRIGHTS BETWEEN JAMBS AS SPECIFIED SHEET SBP-S6 & SBP-S8.

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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.

Ronald A Bell
Grad Cert (Tech Mgt), BEng Civil (Hons), PEng, MIEAust (891940), CMEngNZ (1027605), RPEQ (6715), RBP(Vic)(EC27967), RBP(NT)(60596ES), RBP(Tas)(CC5556C), MAIB (9225), JP(Qual).

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GENERIC PORTAL BUILDINGS

GABLE & SIDE WALL OPENINGS

SBP-S5

REV B

REVISION SUFFIX

GABLE WALL

Region A T.C.3

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TC150-10	TC150-10	TC150-10	TC150-12	TB220-12	TB220-12	TB220-12	TB220-15	TB220-19
2400	TC150-10	TC150-10	TC150-12	TB220-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
2700	TC150-10	TC150-10	TC150-12	TC150-15	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
3000	TC150-10	TC150-10	TC150-12	TB150-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
3300	TC150-10	TC150-12	TC150-12	TB150-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
3600	TC150-10	TC150-12	TC150-15	TB150-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
3900	TC150-10	TC150-12	TC150-15	TB150-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
4200	TC150-10	TC150-12	TC150-15	TB150-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
4500	TC150-12	TC150-12	TC150-15	TB150-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
4800	TC150-12	TC150-15	TC150-15	TB150-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19
5100	TC150-12	TC150-15	TC150-15	TB150-12	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19

Region A T.C.2 / Region B T.C.3 (ps)

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TC150-10	TC150-12	TC150-12	TC150-15	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19/TC150-12
2400	TC150-10	TC150-12	TC150-15	TC150-15	TB220-12	TB220-12	TB220-19	TB220-19/TC150-12	TB220-12/TC150-15
2700	TC150-10	TC150-15	TC150-15	TB150-15	TB220-12	TB220-15	TB220-19	TB220-19/TC150-15	TB220-12/TC150-15
3000	TC150-12	TC150-15	TB150-15	TB150-15	TB220-12	TB220-19	TB220-19/TC150-15	TB220-19/TC150-15	TB220-12/TC150-15
3300	TC150-12	TC150-15	TB150-15	TB150-15	TB220-12	TB220-19	TB220-19/TC150-15	TB220-19/TC150-15	TB220-12/TC150-15
3600	TC150-15	TB150-10	TB150-15	TB150-15	TB220-15	TC220-19/TC150-15	TC220-19/TB150-15	TC220-19/TC150-15	TC220-19/TC150-15
3900	TC150-15	TB150-10	TB150-15	TB150-15	TB220-15	TC220-19/TC150-15	TC220-19/TB150-15	TC220-19/TC150-15	TC220-19/TC150-15
4200	TC150-15	TB150-10	TB150-15	TB150-15	TB220-15	TC220-19/TC150-15	TC220-19/TB150-15	TC220-19/TC150-15	TC220-19/TC150-15
4500	TC150-15	TB150-10	TB150-15	TB150-15	TB220-15	TC220-19/TC150-15	TC220-19/TB150-15	TC220-19/TC150-15	TC220-19/TC150-15
4800	TC150-15	TB150-10	TB150-15	TB150-15	TB220-15	TC220-19/TB150-15	TC220-19/TC150-15	TC220-19/TC150-15	TC220-19/TC150-15
5100	TC150-15	TB150-10	TB150-15	TB150-15	TB220-15	TC220-19/TB150-15	TC220-19/TC150-15	TC220-19/TC150-15	TC220-19/TC150-15

Region B T.C.2

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TC150-15	TC150-15	TB150-10	TB150-15	TB220-12	TC220-19/TC150-12	TC220-19/TC150-15	TC220-19/TB150-10	TB220-12/TC150-12
2400	TC150-15	TC150-15	TB150-10	TB150-15	TB220-15	TC220-19/TC150-15	TC220-19/TB150-10	TC220-19/TB150-12	TB220-12/TC150-15
2700	TC150-15	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-10	TC220-19/TC150-15	TB220-12/TC150-15	TB220-12/TC150-15
3000	TC150-15	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-12	TB220-12/TC150-15	TB220-12/TB150-10	TB220-12/TB150-10
3300	TB150-10	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-12	TB220-12/TC150-15	TB220-12/TB150-10	TB220-12/TB150-10
3600	TB150-10	TB150-10	TB220-12	TC220-19/TB150-15	TC220-19/TC150-15	TB220-12/TC150-15	TB220-12/TB150-10	TB220-15/TB150-12	TB220-15/TB150-12
3900	TB150-10	TB150-12	TB220-15	TC220-19/TC150-15	TB220-12/TB150-12	TB220-12/TB150-10	TB220-12/TB150-12	TB220-15/TB150-12	TB220-15/TB150-12
4200	TB150-10	TB150-12	TB220-15	TC220-19/TB150-12	TB220-12/TC150-15	TB220-12/TB150-12	TB220-12/TB150-12	TB220-15/TB150-15	TB220-15/TB150-15
4500	TB150-10	TB150-15	TB220-15	TC220-19/TB150-12	TB220-12/TB150-15	TB220-12/TB150-12	TB220-15/TB150-12	TB220-15/TB150-15	TB220-15/TB150-15
4800	TB150-10	TB150-15	TB220-15	TC220-19/TB150-15	TB220-12/TB150-12	TB220-12/TB150-15	TB220-15/TB150-12	TB220-15/TB150-15	TB220-15/TB150-15
5100	TB150-10	TB150-15	TB220-15	TC220-19/TB150-15	TB220-12/TB150-15	TB220-12/TB150-15	TB220-15/TB150-15	TB220-15/TB150-15	TB220-15/TB150-15

Region C T.C.3

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TB220-12	TB220-12	TB220-15	TB220-15	TB220-19	TB220-19	TB220-19/TB150-15	Stacked TB220-12/TC150-10	Stacked TB220-12/TC150-12
2400	TB220-12	TB220-12	TB220-12	TB220-15	TB220-19/TC150-15	TB220-19/TB150-15	Stacked TB220-12/TC150-10	Stacked TB220-12/TC150-12	Stacked TB220-12/TB150-15
2700	TB220-12	TB220-12	TB220-15	TB220-15	TB220-19/TC150-15	Stacked TB220-12/TC150-10	Stacked TB220-12/TC150-12	Stacked TB220-12/TB150-12	Stacked TB220-12/TB150-15
3000	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19/TC150-15	Stacked TB220-12/TC150-10	Stacked TB220-12/TC150-12	Stacked TB220-12/TB150-12	Stacked TB220-12/TB150-15
3300	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19/TC150-15	Stacked TB220-12/TC150-10	Stacked TB220-12/TC150-12	Stacked TB220-12/TB150-12	Stacked TB220-12/TB150-15
3600	TB220-12	TB220-12	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-12/TC150-12	Stacked TB220-12/TC150-12	Stacked TB220-12/TB150-12	Stacked TB220-12/TB150-15
3900	TB220-12	TB220-12	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-12/TC150-15	Stacked TB220-12/TC150-15	Stacked TB220-12/TB150-12	Stacked TB220-12/TB150-15
4200	TB220-12	TB220-12	TB220-15	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12/TC150-15	Stacked TB220-12/TC150-15	Stacked TB220-12/TB150-12	Stacked TB220-12/TB150-15
4500	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12/TC150-15	Stacked TB220-12/TC150-15	Stacked TB220-12/TB150-12	Stacked TB220-12/TB150-15
4800	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12/TC150-15	Stacked TB220-12/TC150-15	Stacked TB220-12/TB150-12	Stacked TB220-12/TB150-15
5100	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12/TB150-15	Stacked TB220-12/TC150-15	Stacked TB220-12/TB150-15	Stacked TB220-12/TB150-15

Region C T.C.2.5 & T.C.2

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TB220-12	TB220-12	TB220-15	TB220-15	TB220-19/TB150-15	Stacked TB220-15	Stacked TB220-19/TC150-10	Stacked TB220-15/TC150-12	Stacked TB220-15/TB150-15
2400	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19/TB220-19	Stacked TB220-19	Stacked TB220-15/TC150-10	Stacked TB220-15/TC150-12	Stacked TB220-15/TB150-15
2700	TB220-12	TB220-15	TB220-15	TB220-19	Stacked TB220-15	Stacked TB220-15/TC150-10	Stacked TB220-19/TC150-10	Stacked TB220-19/TB150-10	Stacked TB220-19/TB150-15
3000	TB220-12	TB220-15	TB220-19	TB220-19/TB150-15	Stacked TB220-15	Stacked TB220-15/TC150-15	Stacked TB220-19/TC150-15	Stacked TB220-19/TB150-10	Stacked TB220-19/TB220-19
3300	TB220-12	TB220-19	TB220-19	TB220-19/TB150-15	Stacked TB220-19	Stacked TB220-15/TC150-15	Stacked TB220-19/TC150-15	Stacked TB220-19/TB150-15	N/A
3600	TB220-15	TB220-19	TB220-19/TC150-12	Stacked TB220-19	Stacked TB220-19/TB150-10	Stacked TB220-19/TB150-10	N/A	N/A	N/A
3900	TB220-15	TB220-19	TB220-19/TB150-15	Stacked TB220-19	Stacked TB220-19/TB150-12	Stacked TB220-19/TB150-12	N/A	N/A	N/A
4200	TB220-15	TB220-19	TB220-19/TB150-15	Stacked TB220-19/TC150-10	Stacked TB220-19/TB150-15	Stacked TB220-19/TB150-15	N/A	N/A	N/A
4500	TB220-15	TB220-19	TB220-19/TB220-19	Stacked TB220-19/TC150-10	Stacked TB220-19/TB150-15	Stacked TB220-19/TB220-19	N/A	N/A	N/A
4800	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-19	Stacked TB220-19/TC150-12	Stacked TB220-19/TB220-19	N/A	N/A	N/A
5100	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-19	Stacked TB220-19/TC150-12	Stacked TB220-19/TB220-19	N/A	N/A	N/A

SIDE WALL

Region A T.C.3

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TC150-10	TC150-10	TC150-10	TC150-12	TB220-12	TB220-12	TB220-12	TB220-12	TB220-15
2400	TC150-10	TC150-10	TC150-10	TC150-12	TC220-19	TB220-12	TB220-12	TB220-12	TB220-19
2700	TC150-10	TC150-10	TC150-10	TC150-15	TC220-19	TB220-12	TB220-12	TB220-15	TB220-19
3000	TC150-10	TC150-10	TC150-10	TC150-15	TB220-12	TB220-12	TB220-12	TB220-15	TC220-19/TC150-15
3300	TC150-10	TC150-10	TC150-12	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TC150-15
3600	TC150-10	TC150-10	TC150-12	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TC150-15
3900	TC150-10	TC150-12	TC150-15	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-10
4200	TC150-12	TC150-12	TC150-15	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-10
4500	TC150-12	TC150-15	TC150-15	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-12
4800	TC150-15	TB150-10	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-12
5100	TC150-15	TB150-10	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-15

Region A T.C.2 / Region B T.C.3 (ps)

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TC150-10	TC150-10	TC150-10	TC150-12	TC220-19	TB220-12	TB220-12	TB220-12	TB220-15
2400	TC150-10	TC150-10	TC150-10	TC150-12	TC220-19	TB220-12	TB220-12	TB220-12	TB220-19
2700	TC150-10	TC150-12	TC150-12	TC150-15	TC220-19	TB220-12	TB220-12	TB220-15	TB220-19
3000	TC150-10	TC150-12	TC150-15	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TC150-15
3300	TC150-12	TC150-15	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TC150-15
3600	TC150-12	TC150-15	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-10
3900	TC150-12	TC150-15	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-10
4200	TC150-12	TC150-15	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-12
4500	TC150-15	TC150-15	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-12
4800	TC150-15	TB150-10	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-15
5100	TC150-15	TB150-10	TB150-10	TB150-10	TB220-12	TB220-12	TB220-15	TB220-19	TC220-19/TB150-15

Region B T.C.2

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TC150-10	TC150-12	TC150-12	TC150-15	TB220-12	TB220-12	TB220-19	TB220-19/TC150-12	TB220-19/TC150-15
2400	TC150-12	TC150-15	TB150-10	TB150-15	TB220-12	TB220-12	TB220-19	TB220-19/TC150-15	TB220-12/TC150-15
2700	TC150-15	TB150-10	TB150-10	TB150-15	TB220-12	TB220-12	TB220-19	TB220-12/TC150-15	TB220-12/TC150-15
3000	TC150-15	TB150-10	TB150-10	TB150-15	TB220-12	TB220-15	TC220-19/TB150-10	TB220-12/TC150-15	TB220-12/TC150-15
3300	TC150-15	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-10	TB220-12/TC150-15	TB220-12/TB150-10	TB220-12/TB150-10
3600	TC150-15	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-10	TB220-12/TC150-15	TB220-12/TB150-12	TB220-12/TB150-12
3900	TB150-10	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-12	TB220-12/TC150-15	TB220-12/TB150-12	TB220-12/TB150-12
4200	TB150-10	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-12	TB220-12/TC150-15	TB220-12/TB150-15	TB220-12/TB150-15
4500	TB150-10	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-12	TB220-12/TC150-15	TB220-12/TB150-15	TB220-12/TB150-15
4800	TB150-10	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-15	TB220-12/TC150-15	TB220-12/TB150-15	TB220-12/TB150-15
5100	TB150-10	TB150-10	TB150-10	TB150-15	TB220-15	TC220-19/TB150-15	TB220-12/TC150-15	TB220-12/TB150-15	TB220-12/TB150-15

Region C T.C.3

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TB150-12	TB150-12	TB150-15	TB220-12	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-15
2400	TB150-12	TB150-15	TB150-15	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19
2700	TB150-12	TB150-15	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19
3000	TB150-15	TB150-15	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TC150-10
3300	TB220-12	TB220-12	TB220-12	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TC150-10
3600	TB220-12	TB220-12	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TC150-10
3900	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TC150-10
4200	TB220-12	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TC150-10
4500	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TC150-10
4800	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TC150-10
5100	TB220-12	TB220-15	TB220-19	TB220-19/TB150-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TC150-10

Region C T.C.2.5 & T.C.2

Door width	Roller door Head heights: 2100	2400	2700	3000	3600	4200	4500	4800	5100
2100	TB150-15	TB220-12	TB220-15	TB220-15	TB220-19/TB150-15	Stacked TB220-12	Stacked TB220-15	Stacked TB220-15	Stacked TB220-19
2400	TB150-15	TB220-15	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-15	Stacked TB220-15	Stacked TB220-19	Stacked TB220-19
2700	TB220-12	TB220-15	TB220-19	TB220-19/TB150-10	Stacked TB220-12	Stacked TB220-15	Stacked TB220-15	Stacked TB220-19	Stacked TB220-19/TB150-15
3000	TB220-12	TB220-19	TB220-19	TB220-19/TB150-15	Stacked TB220-15	Stacked TB220-15	Stacked TB220-19	Stacked TB220-19/TB150-12	N/A
3300	TB220-15	TB220-19	TB220-19/TB150-10	Stacked TB220-12	Stacked TB220-15	Stacked TB220-15	Stacked TB220-19	Stacked TB220-19/TB150-15	N/A
3600	TB220-15	TB220-19	TB220-19/TB150-15	Stacked TB220-15	Stacked TB220-15	Stacked TB220-19	Stacked TB220-19/TB220-19	N/A	N/A
3900	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19/TB150-10	N/A	N/A	N/A
4200	TB220-15	TB220-19	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19	Stacked TB220-19/TB150-15	N/A	N/A	N/A
4500	TB220-19	TB220-19/TC150-10	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19	N/A	N/A	N/A	N/A
4800	TB220-19	TB220-19/TB150-10	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19	N/A	N/A	N/A	N/A
5100	TB220-19	TB220-19/TB150-15	Stacked TB220-12	Stacked TB220-15	Stacked TB220-19	N/A	N/A	N/A	N/A

ROLLER DOOR HEAD BEAM SPECIFICATIONS:

Door width	Region A T.C.2/B T.C.3 RAD Head Height: 3000	3600	4200	5100	Region B T.C.2 RAD Head Height: 3000	3600	4200	5100	Region C T.C.3 RAD Head Height: 3000	3600	4200	5100	Region C T.C.2.5/T.C.2 RAD Head Height: 3000	3600	4200	5100
2100	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60
2700	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60
3000	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60	B80x60
3600	B80x60	B80x60	B80x60	B80x60	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10
4200	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	N/A
4800	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-10	TB150-12	TB150-10	TB150-10	TB150-10	TB150-12	TB150-10	TB150-10	N/A	N/A
5100	TB150-10	TB150-10	TB150-10	TB150-10	TB150-12	TB150-12	TB150-12	TB150-12	TB150-12	TB150-12	TB150-12	TB150-12	TB150-10	TB150-10	N/A	N/A

MIN. QTY OF ANCHORS TO SLAB (RAD JAMBS):

Door width	Region A T.C.2/B T.C.3 RAD Head Height: 3000	3600	4200	5100	Region B T.C.2 RAD Head Height: 3000	3600	4200	5100	Region C T.C.3 RAD Head Height: 3000	3600	4200	5100	Region C T.C.2.5/T.C.2 RAD Head Height: 3000	3600	4200	5100
2100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	3/M12x100	2/M12x100	3/M12x100	3/M12x100	3/M12x100	3/M12x100	3/M12x100	4/M12x100	4/M12x100
2700	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	3/M12x100	3/M12x100	3/M12x100	4/M12x100	4/M12x100	4/M12x100	4/M12x100	5/M12x100	5/M12x100
3000	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	3/M12x100	3/M12x100	3/M12x100	4/M12x100	4/M12x100	4/M12x100	4/M12x100	5/M12x100	5/M12x100
3600	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	3/M12x100	3/M12x100	3/M12x100	3/M12x100	3/M12x100	4/M12x100	4/M12x100	4/M12x100	5/M12x100	5/M12x100	6/M12x100
4200	2/M12x100	2/M12x100	2/M12x100	2/M12x100	2/M12x100	3/M12x100	4/M12x100	4/M12x100	3/M12x100	4/M12x100	4/M12x100	5/M12x100	4/M12x100	5/M12x100	6/M12x100	N/A
4800	2/M12x100	2/M12x100	2/M12x100	3/M12x100	3/M12x100	3/M12x100	4/M12x100	4/M12x100	3/M12x100	4/M12x100	4/M12x100	5/M12x100	5/M12x100	6/M12x100	N/A	N/A
5100	2/M12x100	2/M12x100	2/M12x100	3/M12x100	3/M12x100	3/M12x100	4/M12x100	4/M12x100	4/M12x100	4/M12x100	5/M12x100	6/M12x100	5/M12x100	6/M12x100	N/A	N/A

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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.

Ronald A Bell

Grad Cert (Tech Mgt), BEng Civil (Hons), PEng, MIEAust (891940), RPEQ (6715), RBP(Vic)(EC27967), RBP(NT)(60596ES), RBP(Tas)(CC5556C), MAIB (9225), JP(Qual).

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GENERIC PORTAL BUILDINGS

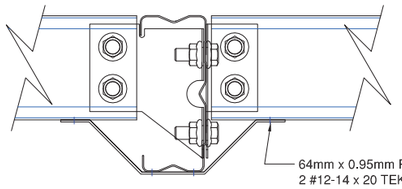
ROLLER DOOR JAMB TABLES

SBP-S6

REV B

REVISION SUFFIX

FLY BRACING DETAILS:



64mm x 0.95mm PRESSED FLY BRACE
2 #12-14 x 20 TEKS TO EACH PURLIN
2 #12-14 x 20 TEKS TO RAFTER/COLUMN FLANGE

FLY BRACING RULES:

1. FLY BRACING SHALL BE PROVIDED ON ALL GABLE END UPRIGHTS & INTERMEDIATE PORTAL FRAMES (COLUMNS & RAFTERS).
2. MAXIMUM SPACING BETWEEN FLYBRACING IS 2.4m OR EVERY SECOND PURLIN / GIRT. FLYBRACING IS NOT REQUIRED AT KNEE AND APEX PLATE LOCATIONS OR HOLD DOWN / BOTTOM GIRT LOCATIONS. ONE EXCEPTION TO THIS RULE IS 4.8m HIGH COLUMNS SHALL HAVE 2 FLY BRACES PER COLUMN.

TC150/TB150/TC220/TB220 SIMILAR

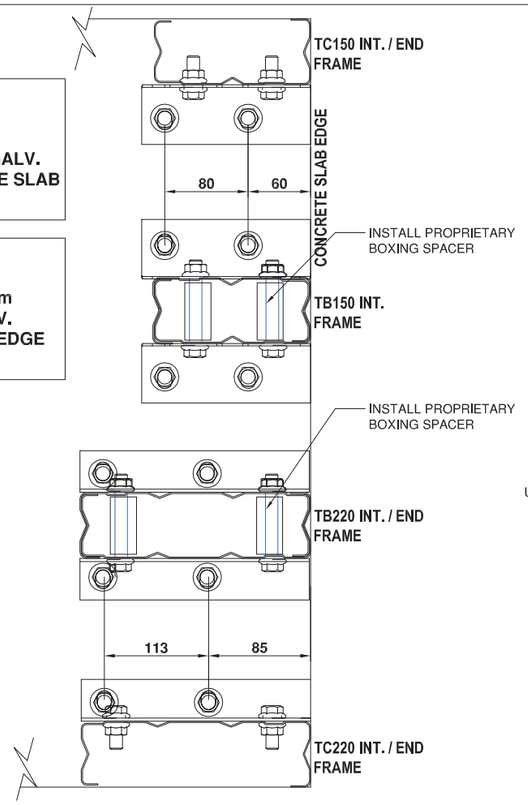
HOLD DOWN DETAILS:

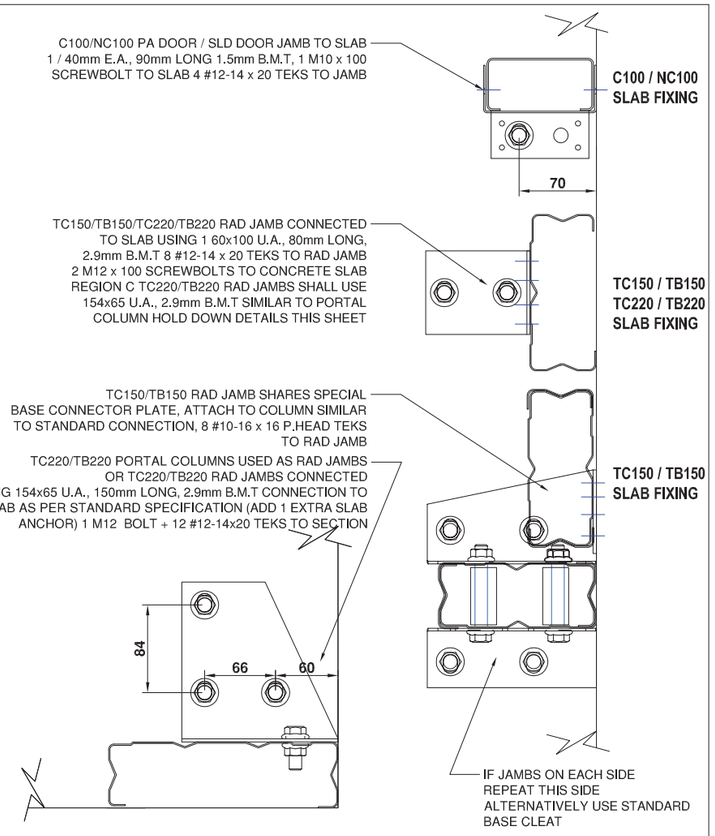
CHEMSET NOTE

1 EMBEDMENT DEPTH OF CHEMSETS = 120mm
2 THREADED ROD MUST BE M12 HOT DIPPED GALV. G.R. 8.8 14DIA. HOLES 130 DEEP IN CONCRETE SLAB EDGE THICKENING.

SCREWBOLT NOTE

1 EMBEDMENT DEPTH OF SCREWBOLTS = 90mm
2 SCREWBOLT MUST BE M12 HOT DIPPED GALV. 12DIA. HOLES 100 DEEP IN CONCRETE SLAB EDGE THICKENING.



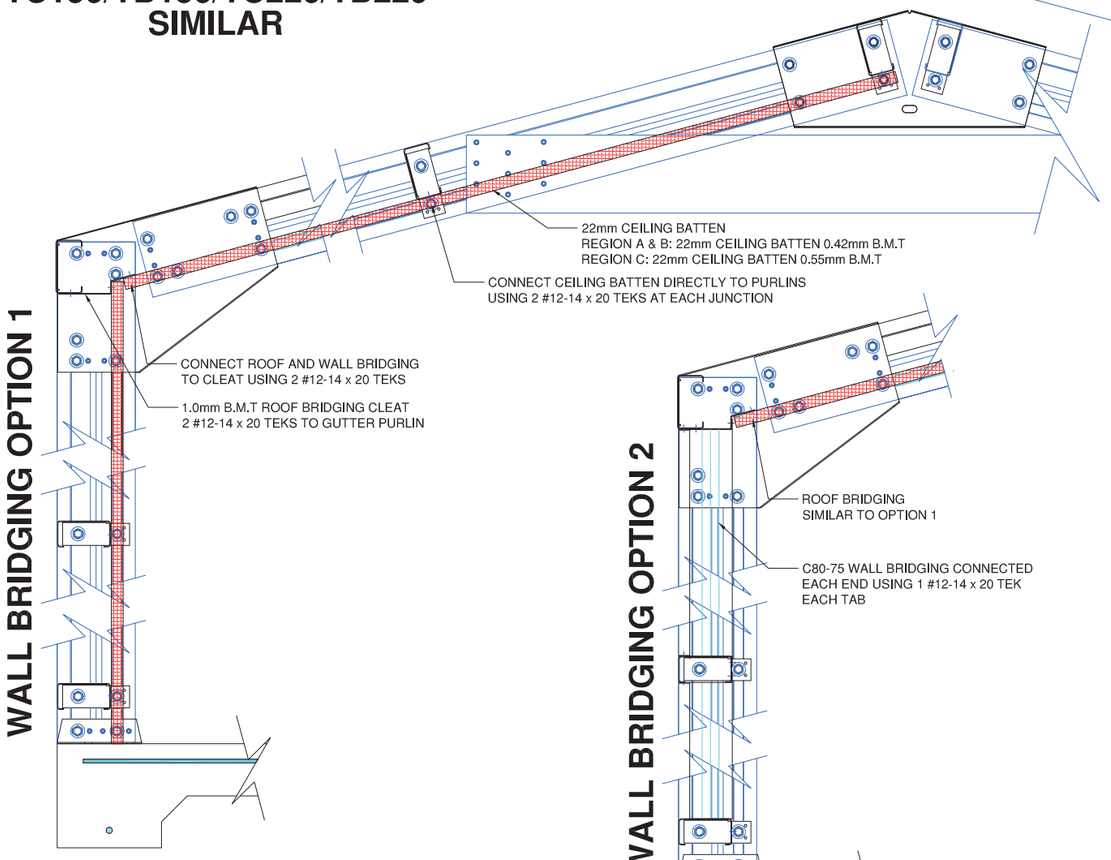


PORTAL FRAME HOLD DOWN:

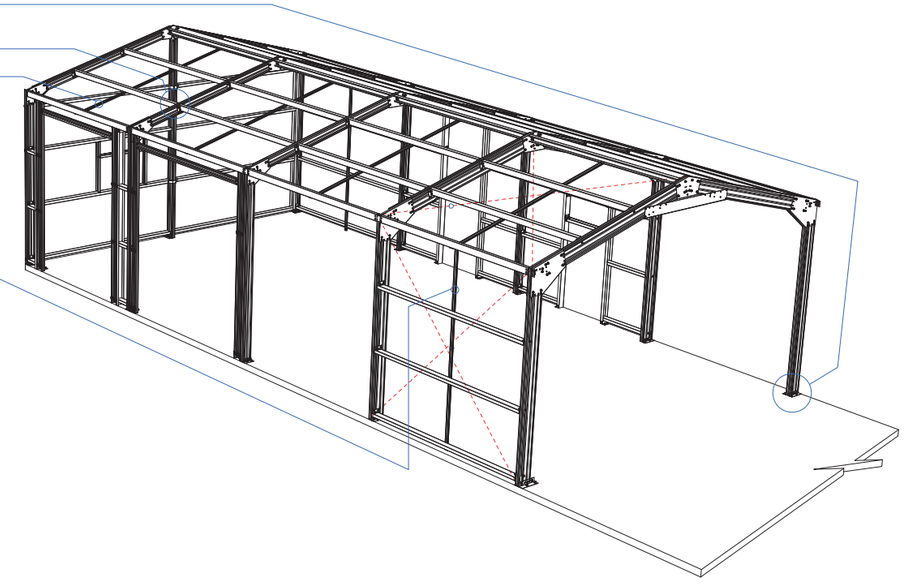
PORTAL SPEC:	BASE PLATE:	CONCRETE ANCHORS:	CONNECTION TO SECTION:
TC150	1/ 40mm E.A., 160mm LONG 1.9mm B.M.T	AS NOTED SBP-S1	2 M12 BOLTS + 3 #12-14 x 20 TEKS
TB150	2/ 40mm E.A., 160mm LONG 1.9mm B.M.T	AS NOTED SBP-S1	2 M12 BOLTS + 6 #12-14 x 20 TEKS
TC220	1/ 40mm E.A., 220mm LONG 2.4mm B.M.T	AS NOTED SBP-S1	2 M12 BOLTS + 4 #12-14 x 20 TEKS
TB220	2/ 40mm E.A., 220mm LONG 2.4mm B.M.T	AS NOTED SBP-S1	2 M12 BOLTS + 8 #12-14 x 20 TEKS

WALL/ROOF BRIDGING DETAILS:

WALL BRIDGING OPTION 1



WALL BRIDGING OPTION 2



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Ronald A Bell

Ronald A. Bell
Registered Professional Engineer
Grad Cert (Tech Mgt), BEng Civil (Hons), FIEAust (891940), CMEngNZ (1027605), CPEng, NER, APEC Engineer, IntPEAust
06JUL2020
Signed .....
RPEQ (6715), RBP(NT) (60596ES), RBP(Vic) (EC27967), RBP(Tas)(CC5556),MAIB (9225), JP(Qual).
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GENERIC PORTAL BUILDINGS

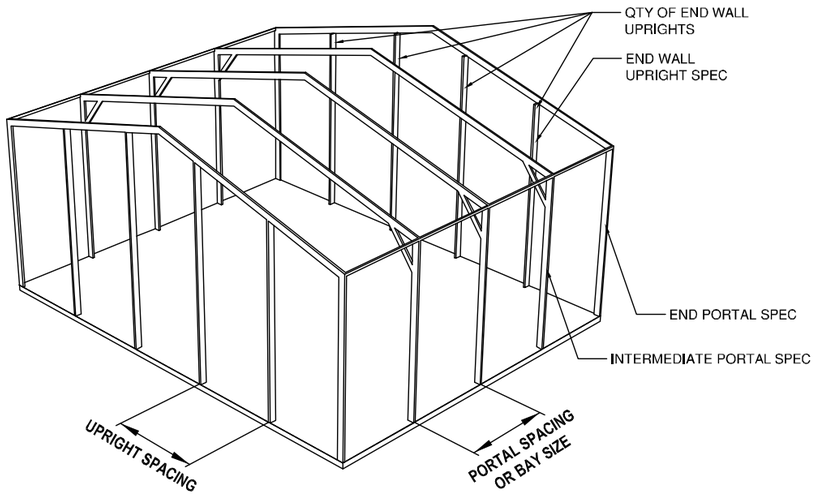
HOLD DOWN DETAILS & MISCELLANEOUS

SBP-S7

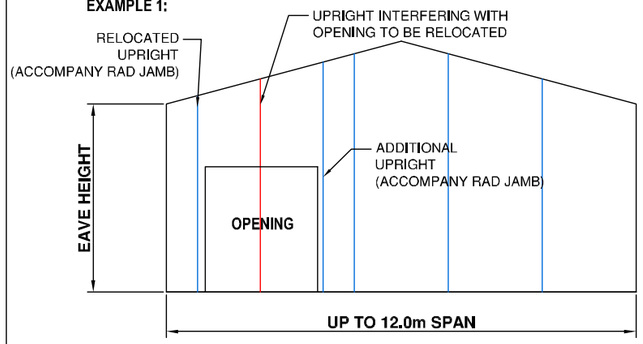
REV A

REVISION SUFFIX

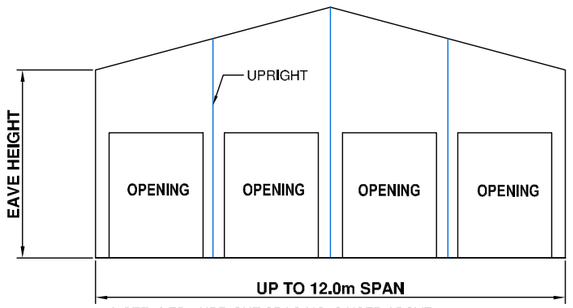
END WALL UPRIGHT RULES:



EXAMPLE 1:

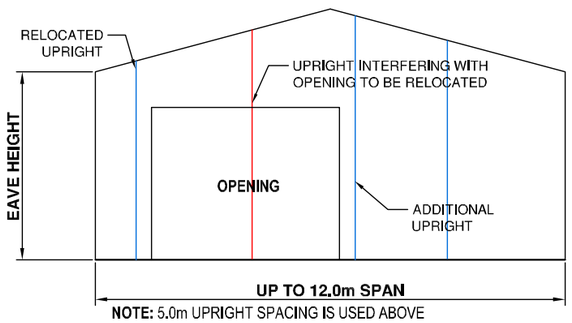


EXAMPLE 2:



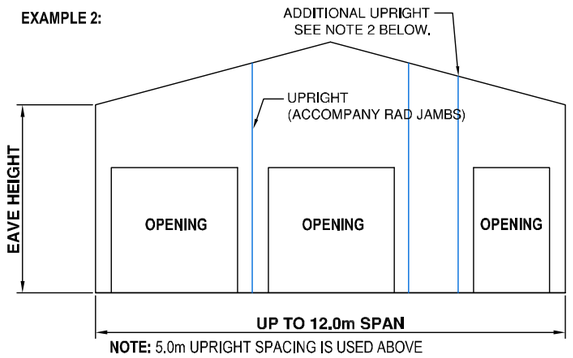
NOTE: 3.75m UPRIGHT SPACING IS USED ABOVE

EXAMPLE 3:



NOTE: 5.0m UPRIGHT SPACING IS USED ABOVE

EXAMPLE 2:



NOTE: 5.0m UPRIGHT SPACING IS USED ABOVE

OPENING INTERFERING WITH UPRIGHT:

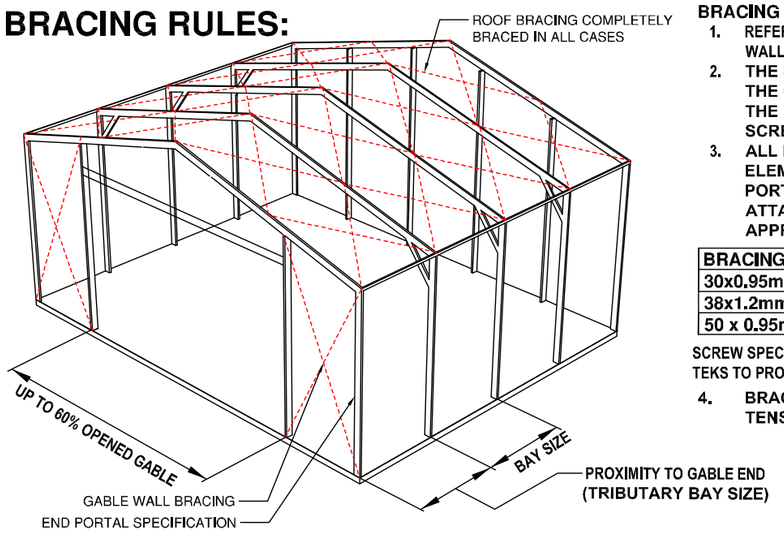
1. WHERE AN OPENING INTERFERES WITH AN UPRIGHT, THE UPRIGHT MUST BE RELOCATED, AND AN ADDITIONAL UPRIGHT IS TO BE ADDED. THE UPRIGHTS MUST NOT BE MORE THAN 1000mm AWAY FROM THE OPENING.

OPENING BETWEEN UPRIGHTS:

1. WHERE AN OPENING EXISTS BETWEEN UPRIGHTS, THE UPRIGHTS MUST NOT BE MORE THAN 1000mm AWAY FROM THE OPENING.

2. IF THE UPRIGHTS ARE MORE THAN 1000mm AWAY FROM THE OPENING, PLACE ADDITIONAL UPRIGHTS WITHIN 1000mm OF THE OPENING.

BRACING RULES:



BRACING CONNECTIONS:

1. REFER SBP-S1 FOR BRACING SPECIFICATIONS FOR ROOF, GABLE WALLS AND SIDE WALLS.
2. THE SPECIFICATION OF THE STRAP WILL DETERMINE THE QTY OF SCREWS TO ATTACH THE BRACING TO THE FRAME. THE TABLE BELOW SHALL BE USED FOR SCREW QTYS AT EACH END OF THE BRACING.
3. ALL BRACING SHALL TERMINATE ON PRIMARY ELEMENTS OF THE BUILDING (IE, PORTAL LEGS, PORTAL RAFTERS, END WALL UPRIGHTS. ATTACHMENT TO SECONDARY ELEMENTS IS NOT APPROVED (IE PURLINS, GIRTS) U.N.O

BRACING SPECIFICATION:	QTY OF SCREWS EACH END:
30x0.95mm G550	4 #10-16 x 16 P.HEAD TEKS
38x1.2mm G500	5 #10-16 x 16 P.HEAD TEKS
50 x 0.95mm G550	6 #10-16 x 16 P.HEAD TEKS

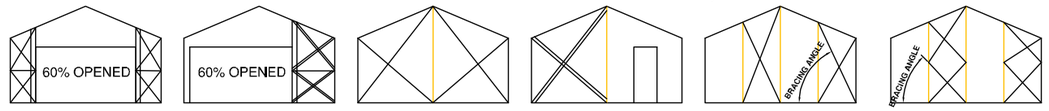
SCREW SPECIFICATION FOR STRAPPING SHALL BE #10-16 x 16 P.HEAD TEKS TO PROVIDE FLUSH FINISH

4. BRACING TO BE INSTALLED TAUT. BRACING TENSIONERS ARE OPTIONAL.

GABLE WALL BRACING:

1. GABLE WALL BRACING QTY AND GAUGE IS SPECIFIED ON SHEET SBP-S1. THE FOLLOWING RULES SHALL BE ADHERED TO.

- PROVIDE BRACING IN THE CONFIGUARTION/PATTERN PROVIDED BELOW. SELECT ONE OF THESE OPTIONS. THESE BRACING OPTIONS APPLY TO GABLE WALLS WITH UP TO 60% OF THE TOTAL WIDTH CONFIGURED WITH DOORS, WINDOWS ECT.



Vertical Bracing 4 Pair Crossed Bracing | Vertical Bracing 2 Pair Crossed Bracing (Double Up) | 2 Pair Crossed Braced End Wall | 2 Pair Crossed Bracing (Double Up) End Wall | 2 Pair Crossed Bracing End Wall (Between Uprights) | 2 Pair Crossed Bracing End Wall (Between Uprights)

NOTE: Bracing angle must be between 35° & 55°

2. WHERE OPENINGS / CONFIGURATIONS EXCEED 60% OF THE TOTAL WIDTH, THE END PORTAL FRAME SHALL BE UPGRADED USING ONE OF THE FOLLOWING 3 OPTIONS:
NOTE: RULES MAY BE APPLIED TO ONE OR BOTH ENDS. IF APPLIED TO ONE END, THE QTY OF BRACES STATED ON SBP-S1 MAY BE HALVED. IS APPLIED TO EITHER END, THE GABLE BRACING MAY BE OMITTED ENTIRELY.

- UPGRADE END PORTAL FRAMING TO INTERMEDIATE PORTAL FRAMING SPECIFICATIONS WHEN CONFIGUARTIONS EXCEED 60% OF TOTAL WIDTH
- USING THIS UPGRADE SELECTION TABLE FOR THE RELEVANT CHANNELS:

STD. END PORTAL SPEC:	UPGRADED END PORTAL SPEC:
TC150-10	TC220-12
TC150-12	TC220-12
TC150-15	TC220-15
TC220-12	TC220-19

NOTE: SELECTING ONE OF THESE 3 RULES WILL WILL REMOVE THE NEED FOR GABLE WALL BRACING ON THE RELEVANT END WALL

- REDUCING THE TRIBUTARY AREA ASSOCIATED WITH THE STANDARD END PORTAL FRAME BY PROVIDING AN INTERMEDIATE PORTAL FRAME IN CLOSE PROXIMITY TO THE END FRAME.

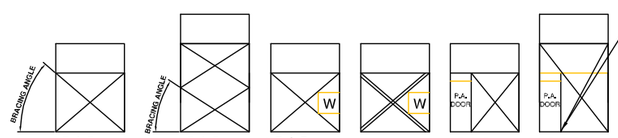
BAY SPACING:	MAXIMUM ALLOWABLE TRIBUTARY BAY SIZE WITHOUT UPGRADE:
3.0m BAYS	REDUCED TO 1.5m ON END BAYS
3.5m BAYS	REDUCED TO 1.75m ON END BAYS
4.0m BAYS	REDUCED TO 2.0m ON END BAYS

NOTE: MAXIMUM ALLOWABLE TRIBUTARY AREA REPRESENTS THE LARGEST POSSIBLE BAY SIZE FOR THE ADJACENT BAY CLOSEST TO THE END FRAMING WITH THE BRACING SHORTAGE.

SIDE WALL BRACING:

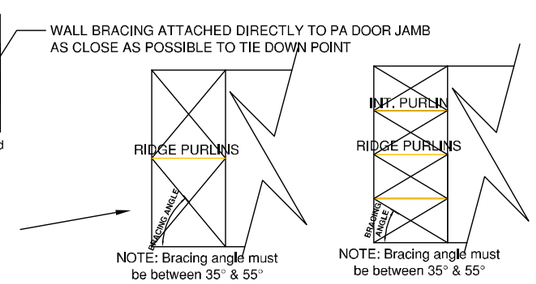
1. SIDE WALL BRACING QTY AND GAUGE IS SPECIFIED ON SHEET SBP-S1. WHERE EVER POSSIBLE, DISTRIBUTE THE WALL BRACING EVENLY ALONG THE LENGTH OF THE BUILDING. WHEREVER POSSIBLE, DISTRIBUTE EQUAL AMOUNTS OF BRACING IN EACH SIDE WALL. THE FOLLOWING RULES SHALL BE ADHERED TO.

- PROVIDE BRACING IN THE CONFIGUARTION/PATTERN PROVIDED BELOW. SELECT ONE OF THESE OPTIONS.



1 Pair Braced Bay | 1 Pair Braced Bay | 1 Pair Braced Bay (with window) | Double Bracing (with window) | 1 Pair Braced Bay (with P.A.) (<or= 3.0m H) | 1 Pair Braced Bay (with P.A.) (>3.0m H)

NOTE: Bracing angle must be between 35° & 55°



NOTE: Bracing angle must be between 35° & 55°

NOTE: Bracing angle must be between 35° & 55°

ROOF BRACING:

- ENTIRE ROOF SHALL BE BRACED IN ALL BAYS AS PER THE SPECIFICATIONS PROVIDED ON SHEET SBP-S1. BRACING PATTERN SHALL BE CONSIDERATE OF EFFECTIVE BRACING ANGLES. "STACKED BRACING" SHALL BE USED WHERE ANGLES DO NOT FALL INTO RANGE OF EFFECTIVE ANGLES.

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Signed .....
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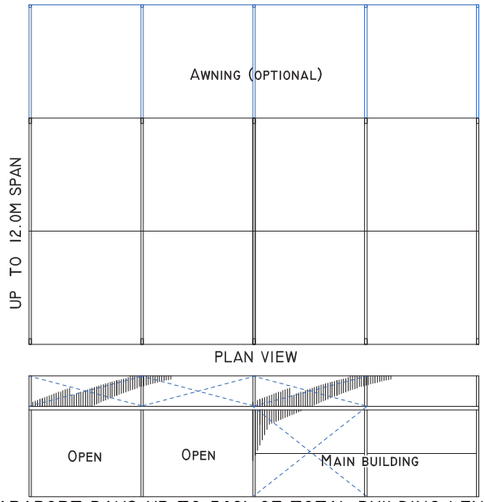
GENERIC PORTAL BUILDINGS

END WALL UPRIGHTS / BRACING RULES

SBP-S8

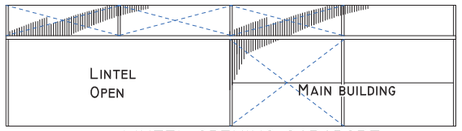
REV A

REVISION SUFFIX



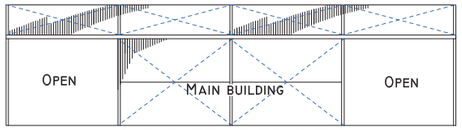
GARAPORT BAYS UP TO 50% OF TOTAL BUILDING LENGTH

NOTE: ABOVE ELEVATION INDICATES MAXIMUM GARAPORT TO RELEVANT GARAGE RATIOS ONLY AND LESS GARAPORT BAYS ARE ALLOWABLE.



LINTEL OPENING GARAPORT

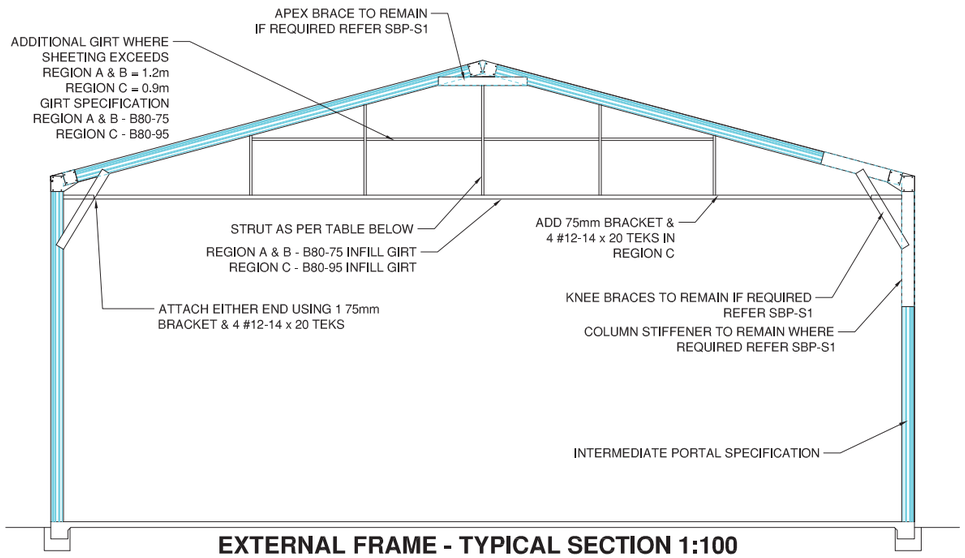
NOTE: GARAPORT BAYS MUST NOT EXCEED 50% OF TOTAL NUMBER OF BAYS



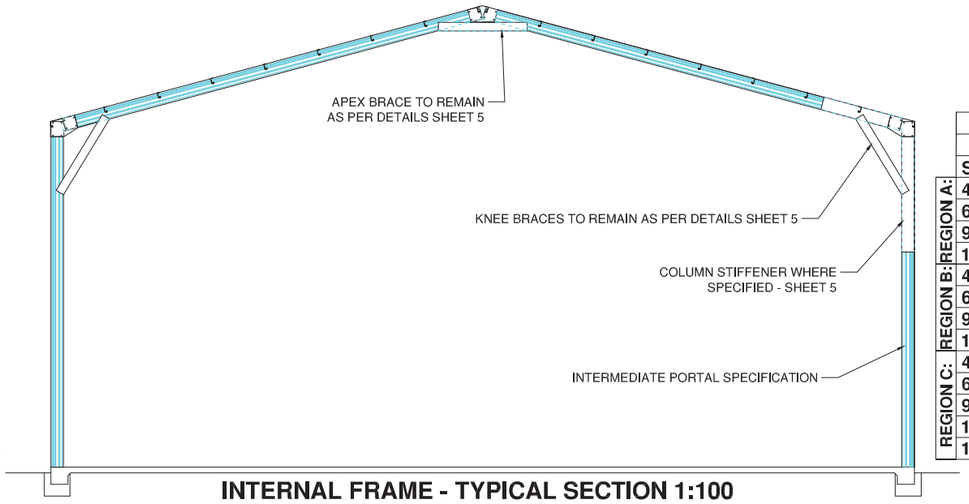
GARAPORT AT EACH END

NOTE: GARAPORT BAYS MUST NOT EXCEED 50% OF TOTAL NUMBER OF BAYS

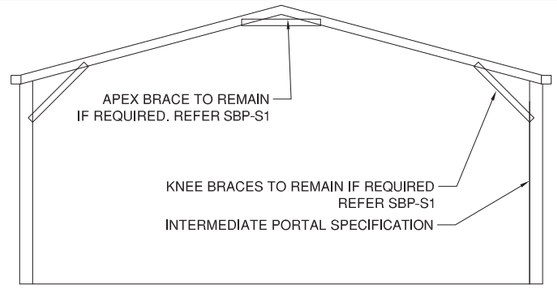
1. GARAPORTS MAY BE ERECTED AT FRAME SPANS UP TO 12.0M & BAY SPACINGS UP TO 4.0M.
2. WHERE THE GARAPORT IS TO BE ERECTED WITHOUT A CONCRETE SLAB CONSTRUCT PIERS AS DETAILED ON SBP-S13 WITH THE TOP SURFACE LEVEL TO THE SLAB OF THE MAIN BUILDING.
3. MASONARY ANCHORS SHALL BE THE SAME SPECIFICATION TO WHAT IS SPECIFIED FOR INTERMEDIATE PORTAL FRAMES. REFER SBP-S1 & SBPS6 FOR DETAILS.
4. FOR CONSTRUCTION DETAILS REFER TO THE RELEVANT STANDARD SPANBILD DRAWINGS CONTAINED WITHIN.
5. THE GARAPORT FRAME SIZE SHALL BE THE SAME AS THE INTERNAL ROOF PORTAL FRAME OF THE MAIN BUILDING
6. FORM A THICKENED EDGE CONCRETE SLAB AS PER THE ADJACENT BUILDING 30MM STEP DOWN BETWEEN THE FLOOR SLABS AND A 1:100 FALL ACROSS THE GARAPORT SLAB
7. GARAPORT BAYS MUST NOT EXCEED 50% OF TOTAL NUMBER OF BAYS. MAXIMUM GARAPORT LENGTH = 3 BAYS.
8. LINTEL OPENINGS IN GARAPORTS ARE ALLOWABLE OPPOSITE EACHOTHER



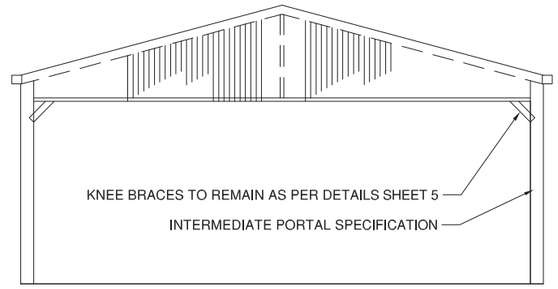
EXTERNAL FRAME - TYPICAL SECTION 1:100



INTERNAL FRAME - TYPICAL SECTION 1:100



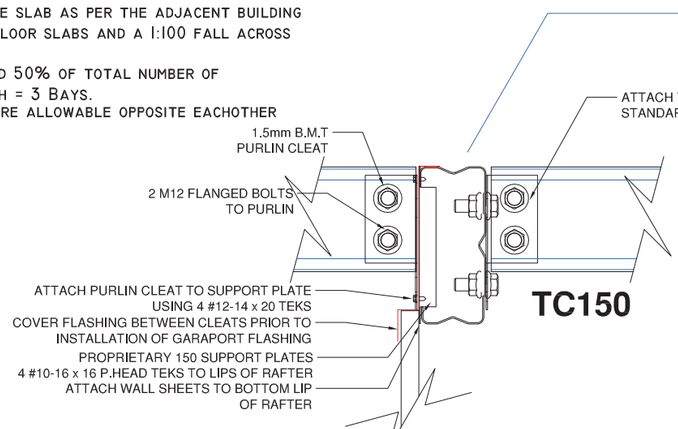
OPEN GABLE END



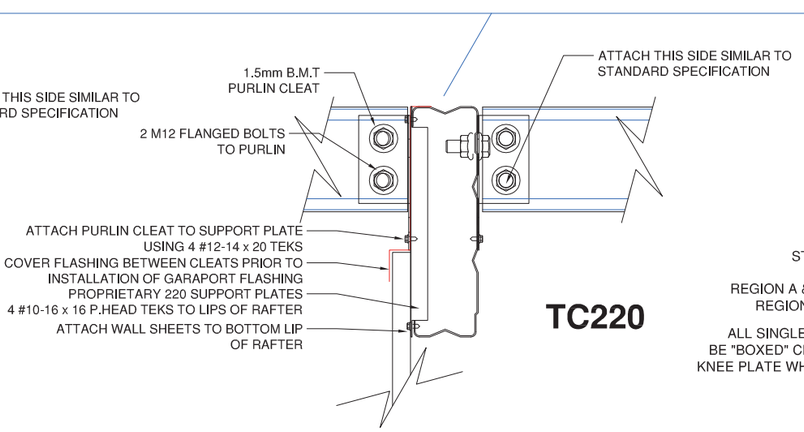
CLAD GABLE END

STRUTT SPECIFICATION & SPACING

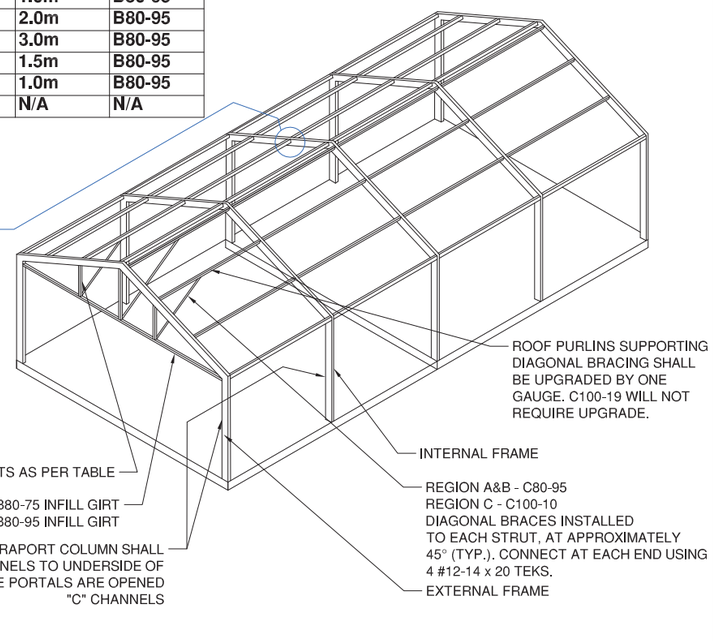
		15° ROOF PITCH		25° ROOF PITCH	
	SPAN:	SPACING:	GAUGE:	SPACING:	GAUGE:
REGION A:	4.0m	2.0m	B80-75	2.0m	B80-95
	6.0m	3.0m	B80-75	3.0m	B80-95
	9.0m	3.0m	B80-75	1.5m	B80-95
	12.0m	3.0m	B80-75	1.5m	B80-95
REGION B:	4.0m	2.0m	B80-95	2.0m	B80-95
	6.0m	3.0m	B80-95	3.0m	B80-95
	9.0m	3.0m	B80-95	1.5m	B80-95
	12.0m	3.0m	B80-95	1.0m	B80-95
REGION C:	4.0m	2.0m	B80-95	2.0m	B80-95
	6.0m	3.0m	B80-95	3.0m	B80-95
	9.0m	3.0m	B80-95	1.5m	B80-95
	11.0	2.0m	B80-95	1.0m	B80-95
	12.0m	2.0m	B80-95	N/A	N/A



TC150



TC220



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STRUCTURAL DETAILS CONCURRED

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GENERIC PORTAL BUILDINGS

GARAPORTS

SBP-S10

REV A

REVISION SUFFIX

GENERAL NOTES

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTUAL DRAWINGS AND SPECIFICATIONS, ANY DISCRIPANCIES SHALL BE REFERED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS TO BE CHECKED BY THE CONTRACTOR BEFORE COMMENCING WORK.
3. WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH RELEVANT CURRENT AUSTRALIAN STANDARDS, BCA AND LOCAL AUTHORITY BY LAW
4. DRAWINGS SHALL NOT BE SCALED FOR ANY FABRICATION OR ERECTION DETAILS.
5. AT SETOUT, DIAGONALS MUST BE CAREFULLY CHECKED TO ENSURE BUILDING IS SQUARE.
6. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT PLANS RELATING TO THE BUILDING.
7. DESIGNS SHOWN HEREIN ARE APPROPRIATE TO CLASS 6, 7, 8 & 10 BUILDINGS IN ACCORDANCE WITH THE BCA.
8. 200um POLYTHENE LAYER SHALL BE PROVIDED UNDER CONCRETE SLABS. (OPTIONAL BUT RECOMMENDED REFERS TO CLASS 10a STRUCTURES ONLY.

FOUNDATIONS:

1. SERVICES OF AN EXPERIENCED CONSULTING ENGINEER SHOULD BE ENGAGED TO ADVICE ON SUITABILITY OF SOIL CONDITIONS.
2. SLAB DESIGNS SHOWN HEREIN, ARE APPROPRIATE TO THE FOLLOWING SOIL CONDITIONS:
   "A" - SAND AND ROCK SITES WITH NO MOVEMENT EFFECTS FROM MOISTURE CHANGES
   "S" - SLIGHTLY REACTIVE CLAY SITES
   "M" - MODERATELY REACTIVE CLAY SITES
   "M-D"- MODERATELY REACTIVE CLAY SITES WITH DEEP MOVEMENTS IN SOIL DUE TO DEEP MOISTURE VARIANCE
3. THESE DESIGNS ARE ALSO SUITABLE FOR "CONTROLLED FILL" SITES. FOUNDING MATERIAL SHALL BE CLASS 1 COMPACTED SOIL (95% COMPACTION) - APPLICABLE TO CONTROLLED FILL SITES ONLY.
4. FOUNDING MATERIAL SHALL HAVE SAFE BEARING CAPACITY OF 100 kPa.
5. SERVICES OF AN EXPERIENCED CONSULTING ENGINEER SHOULD BE ENGAGED AT CLIENT'S EXPENSE TO CONFIRM THE ABOVE SAFE BEARING PRESSURE HAS BEEN ACHIVED AT THE BASE OF ALL FOOTINGS
6. ALL TOPSOIL AT BASE OF FOUNDATIONS TO BE CLEARED OF ALL DELETERIOUS MATERIAL.

LOADINGS

1. VEHICULAR LOADING:

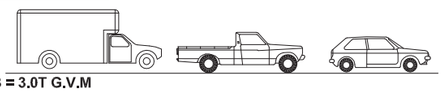
100mm THICK SLAB
DEAD AND POINT U.D.L - 3.0kPa (UNIFORMLY DISTRIBUTED LOAD)
POINT LIVE LOAD = 7.5kN
TYP. FOR LIGHT VEHICLE TRAFFIC AREAS (LESS THAN 3.0T G.V.M.)

125mm THICK SLAB
DEAD AND POINT U.D.L - 5.0kPa (UNIFORMLY DISTRIBUTED LOAD)
POINT LIVE LOAD = 12.5kN
TYP.FOR MEDIUM TRAFFIC AREAS (LESS THAN 5.0T G.V.M.)

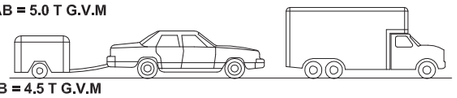
NOTES::
- POINT LIVE LOAD OF 7.5kN OR 12.5kN - REPRESENTS LOAD AT EACH WHEEL (DUAL WHEELS ARE TO BE ASSUMED AS ONE)
- THE MORE AXLES THERE IS, THE HIGHER THE MAX. G.V.M
- PNEUMATIC WHEELS ARE ASSUMED. CONSULT ENGINEERING ADVICE FOR APPLICATIONS USING SOLID WHEELS (E.G. FORKLIFTS, PALLET JACKS, ETC)

CONVERSION FROM kN TO KG ~ 1kN = 100KG
G.V.M ~ GROSS VEHICLE MASS

SOME EXAMPLES AS FOLLOWS:



ASSUME 2 AXLES:
100mm THICK SLAB = 3.0T G.V.M
125mm THICK SLAB = 5.0 T G.V.M



ASSUME 3 AXLES:
100mm THICK SLAB = 4.5 T G.V.M
125mm THICK SLAB = 7.5 T G.V.M

- POINT LOADING FROM PALLET RACKING HAS NOT BEEN COVERED BY THESE DESIGNS. CONSULT PROFESSIONAL ENGINEERING ADVICE FOR THESE APPLICATIONS.

1.2 WIND LOAD CALCULATED IN ACCORDANCE WITH AS/NZS 1170.2:2011

ABNORMAL SITE CONDITIONS

FOOTING AND SLAB DESIGNS SHOWN HEREIN, DO NOT COVER THE FOLLOWING SITE CONDITIONS:

1. RECENT REMOVAL OF AN EXISTING BUILDING LIKELY TO HAVE SIGNIFICANTLY MODIFIED THE SOIL MOISTURE CONDITIONS UNDER THE PROPOSED PLAN OF THE BUILDING.
2. UNUSUAL MOISTURE CONDITIONS CAUSED BY DRAINS, CHANNELS, PONDS DAMS OR TANKS.
3. RECENT REMOVAL OF LARGE TREES PRIOR TO CONSTRUCTION.
4. GROWTH OF TREES TO CLOSE TO A FOOTING.

CONCRETE

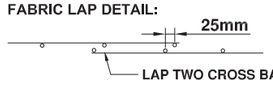
1. CONCRETE SHALL HAVE MAXIMUM AGGREGATE SIZE OF 20mm, SLUMP OF 80+/-20 AND ULTIMATE COMPRESSION STRENGTH AT 28 DAYS OF 20 MPa.
2. CONCRETE SHALL BE PLACED IN ONE CONTINUOUS OPERATION AND BE COMPACTED BY EXTERNAL VIBRATION OR HAND TAMPING.
3. POUR SLAB ON 50mm COMPACTED SAND OR 100mm LAYER OF CRUSHER DUST DEPENDING ON LOAD REQUIREMENT'S AND 200um POLYTHENE WATERPROOF MEMBRANE (LAPPED 200 AND SEALED WITH APPROPRIATE TAPE). - OPTIONAL BUT RECOMMENDED.
4. ALL REINFORCEMENT SHALL BE HELD IN POSITION WITH THE USE OF BAR CHAIRS.
5. REINFORCEMENT QUALITY AND NOTATION:

SYMBOL:	BAR SHAPE:	GRADE:	STANDARD:
S	STRUCTURAL GRADE DEFORMED RIB BAR	250 (Mpa)	AS 1302
N	HOT ROLLED DEFORMED RIB BAR	500 (Mpa)	AS 4671
R	PLAIN ROUND BAR	250 (Mpa)	AS 4671
SL	SQUARE MESH OF DEFORMED RIB BAR	500 (Mpa)	AS 4671
L-TM	TRENCH MESH	500 (Mpa)	AS 4671

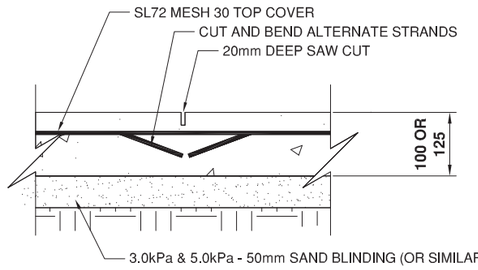
6. SPLICES IN REINFORCEMENT TO OVERLAP AS FOLLOWS:

BAR SIZE:	LAP LENGTH:
N10	375
N12	500
N16	600
3L8-TM	500
3L11-TM	500

7. WELDING OF THE REINFORCEMENT IS NOT PERMITTED U.N.O.
8. FABRIC LAP DETAIL:

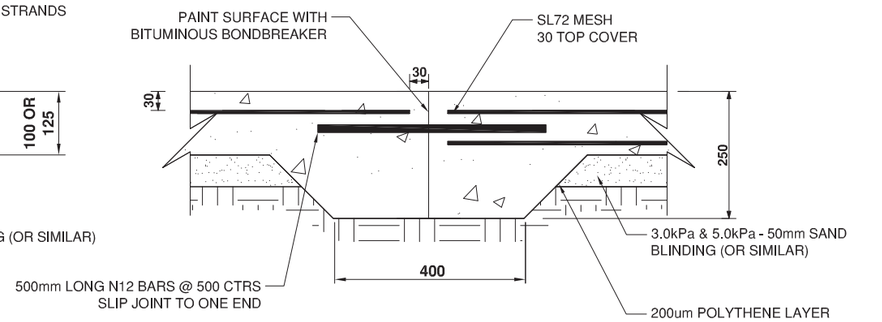


9. PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF AN ENGINEER. PIPES OR CONDUITS CAST WITHIN THE SLAB SHALL BE PLACED IN THE MIDDLE THIRD OF THE CONCRETE. PIPES/CONDUITS SHALL NOT BE BUNDLED.
10. CONTROL JOINTS ARE TO BE PLACED AT INTERVALS OF NO GREATER THAN 50m2.
11. ALL SLABS TO BE POURED AT THE SAME TIME AS THE BEAMS WHICH THEY FORM PART OF.
12. CONSTRUCTION JOINTS ARE TO BE USED WHERE REQUIRED, GENERALLY THIS IS GOVERNED BY THE AMOUNT OF CONCRETE THAT CAN BE POURED IN ONE DAY.
9. CONCRETE WORK SHALL ALL COMPLY WITH THE REQUIREMENTS OF:- AS 2870 RESIDENTIAL SLAB AND FOOTINGS



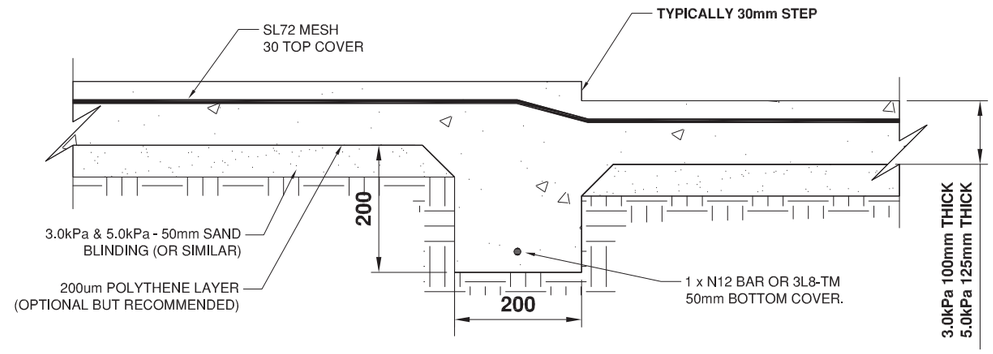
TYPICAL CONTROL JOINT

NOTE: PLACE AT NO GREATER THAN 50m² SEGMENTS



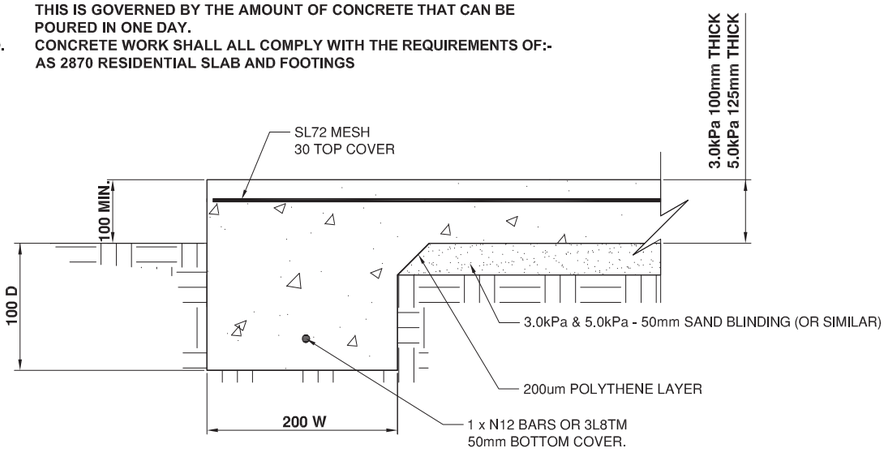
TYPICAL CONSTRUCTION JOINT

ALTERNATIVELY - USE PROPRIETARY JOINTING SYSTEM

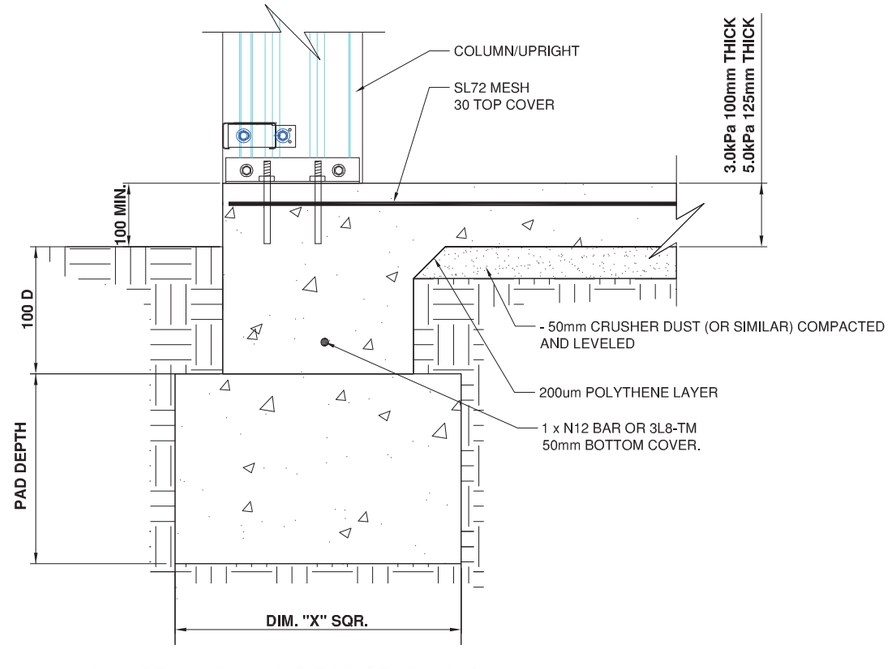


TYPICAL STEP DOWN DETAIL

TYPICALLY USED FOR GARAPORTS AND AWNINGS



TYPICAL EDGE BEAM



TYPICAL PAD FOOTING DETAIL

USED WHERE REQUIRED - REFER DRAWING SBP-S13

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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.

Ronald A Bell

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06JUL2020
Signed
RPEQ (6715), RBP(NT) (60596ES), RBP(Vic) (EC27967), RBP(Tas)(CC5556),MAIB (9225), JP(Qual).
STRUCTURAL DETAILS CONCURRED

STEEL SHEDS AUSTRALIA
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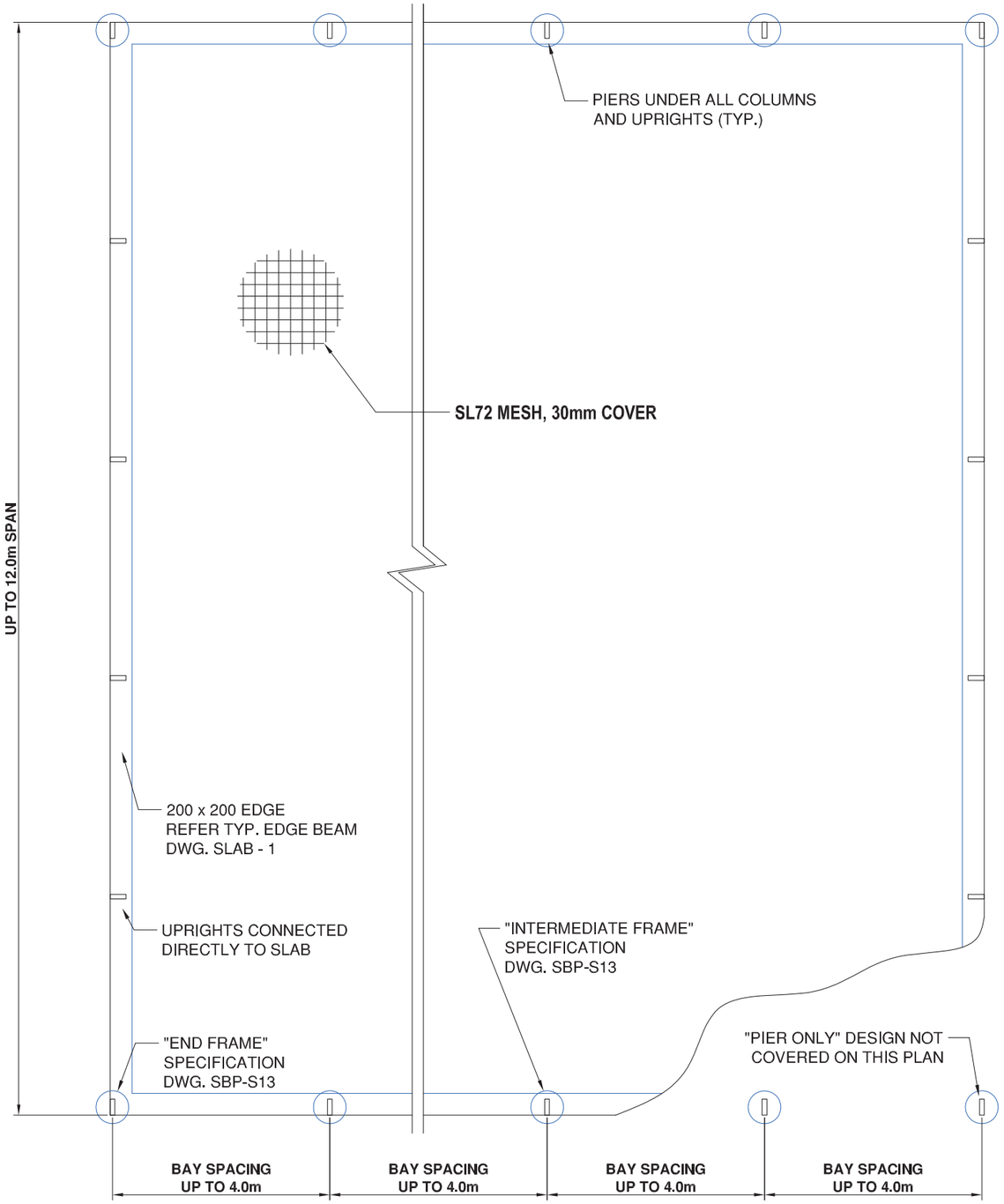
GENERIC PORTAL BUILDINGS

CONCRETE SLAB DETAILS 1

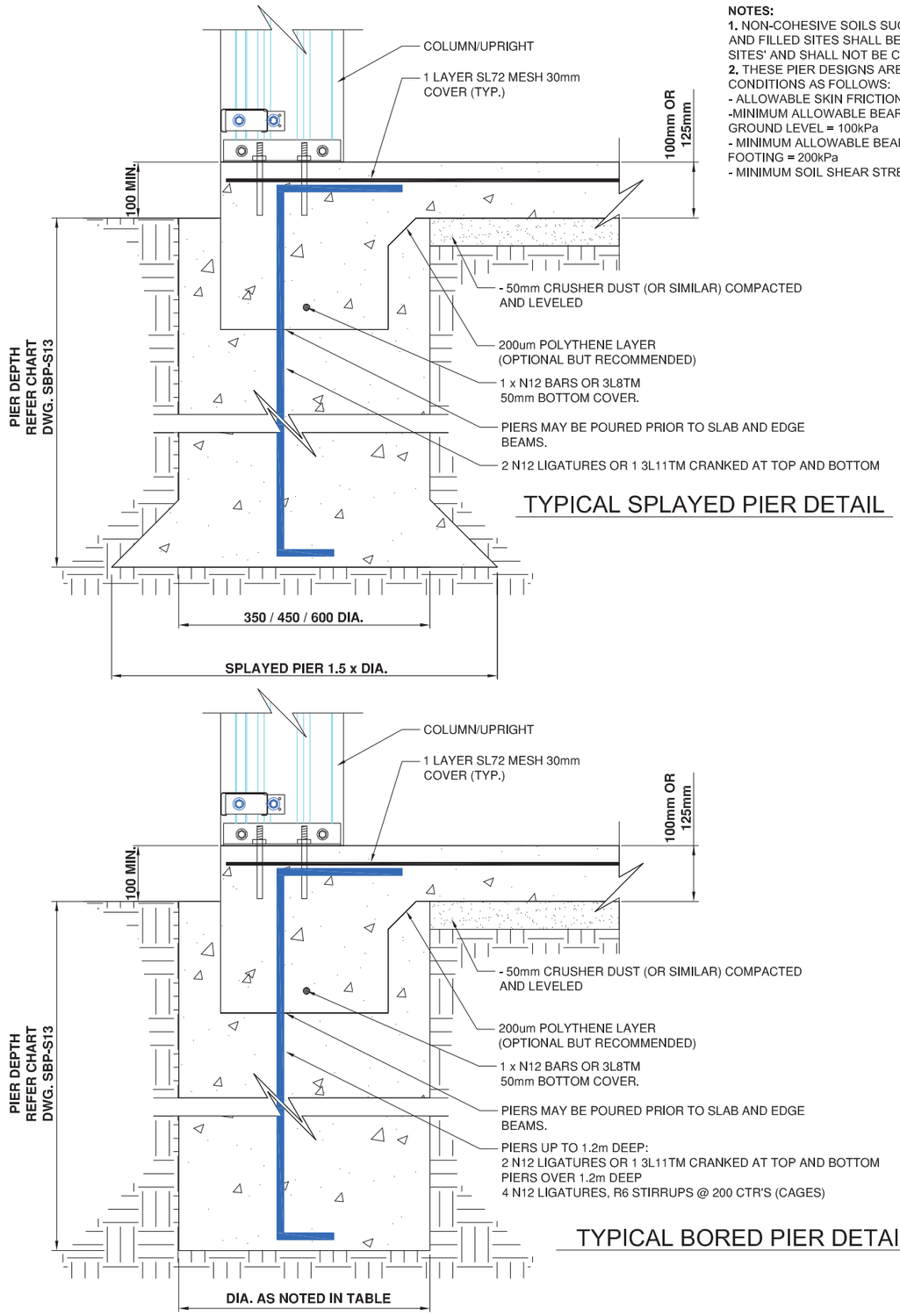
SBP-S11

REV A

REVISION SUFFIX



TYPICAL CONCRETE SLAB PLAN



TYPICAL SPLAYED PIER DETAIL

NOTES:
1. NON-COHESIVE SOILS SUCH AS SANDS, LOOSE SILTS AND FILLED SITES SHALL BE TREATED AS 'PROBLEM SITES' AND SHALL NOT BE COVERED BY THIS DESIGN
2. THESE PIER DESIGNS ARE APPROPRIATE TO SOIL CONDITIONS AS FOLLOWS:
- ALLOWABLE SKIN FRICTION = 15kPa
-MINIMUM ALLOWABLE BEARING CAPACITY AT NATURAL GROUND LEVEL = 100kPa
- MINIMUM ALLOWABLE BEARING CAPACITY AT BASE OF FOOTING = 200kPa
- MINIMUM SOIL SHEAR STRESS OF 25kPa.

TYPICAL BORED PIER DETAIL

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GENERIC PORTAL BUILDINGS

CONCRETE SLAB DETAILS 2

SBP-S12
REV A
REVISION SUFFIX

Footings End frames All heights

		Wind Zone and Terrain Category														
Pressure coefficient		Enclosed Pressure						Opened Pressure								
Bay Space	Span	A3	A2.5	A2	B3	B2.5	B2	A3	A2.5	A2	B3	B2.5	B2	C3	C2.5	C2
3.0	3.0															
3.0	4.0															Pad 3
3.0	5.0														Pad 3	Pier 1
3.0	6.0											Pad 3	Pad 3	Pad 3	Pier 1	Pier 1
3.0	7.0					Pad 1	Pad 3				Pad 2	Pad 3	Pier 1	Pad 3	Pier 1	Pier 1
3.0	8.0					Pad 3	Pad 3				Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.0	9.0				Pad 3	Pad 3	Pier 1		Pad 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.0	10.0				Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3.0	11.0			Pad 2	Pad 3	Pier 1	Pier 1		Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3.0	12.0		Pad 2	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
3.5	3.0															
3.5	4.0														Pad 3	Pad 3
3.5	5.0											Pad 2	Pad 3	Pad 2	Pier 1	Pier 1
3.5	6.0					Pad 1	Pad 3				Pad 2	Pad 3	Pier 1	Pad 3	Pier 1	Pier 1
3.5	7.0					Pad 3	Pad 3				Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.5	8.0				Pad 3	Pad 3	Pier 1		Pad 2	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.5	9.0			Pad 1	Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3.5	10.0		Pad 1	Pad 3	Pad 3	Pier 1	Pier 1	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2
3.5	11.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
3.5	12.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 3	Pier 3
4.0	3.0															Pad 3
4.0	4.0														Pad 3	Pier 1
4.0	5.0						Pad 2					Pad 3	Pad 3	Pad 3	Pier 1	Pier 1
4.0	6.0					Pad 3	Pad 3				Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
4.0	7.0				Pad 3	Pad 3	Pier 1		Pad 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
4.0	8.0			Pad 1	Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
4.0	9.0		Pad 1	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
4.0	10.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
4.0	11.0		Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 1	Pier 3	Pier 3
4.0	12.0	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2	Pier 3	Pier 3

Key	Footing Required		
	Cont. Footings 200x200 on all slabs - Below specifications are additional		
Pad 1	300 SQR. x 200 deep Pad Footing		
Pad 2	300 SQR. x 300 deep Pad Footing		
Pad 3	300 SQR. x 450 deep Pad Footing		
Pier 1	350 DIA. x 600 Deep Pier Splayed at Base	OR	350 DIA. x 1050 Deep Bored Pier
Pier 2	350 DIA. x 800 Deep Pier Splayed at Base	OR	350 DIA. x 1300 Deep Bored Pier
Pier 3	350 DIA. x 1200 Deep Pier Splayed at Base	OR	450 DIA. x 1900 Deep Bored Pier
Pier 4	450 DIA. x 1000 Deep Pier Splayed at Base	OR	600 DIA. x 1800 Deep Bored Pier
Pier 5	450 DIA. x 1200 Deep Pier Splayed at Base	OR	600 DIA. x 2200 Deep Bored Pier
Pier 6	600 DIA. x 1000 Deep Pier Splayed at Base	OR	600 DIA. x 2600 Deep Bored Pier

Footings Intermediate frames All heights

		Wind Zone and Terrain Category														
Pressure coefficient:		Enclosed Pressure						Opened Pressure								
Bay Space	Span	A3	A2.5	A2	B3	B2.5	B2	A3	A2.5	A2	B3	B2.5	B2	C3	C2.5	C2
3	3.0															Pad 3
3	4.0												Pad 3		Pier 1	Pier 1
3	5.0						Pad 3				Pad 2	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3	6.0					Pad 3	Pier 1			Pad 2	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3	7.0				Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
3	8.0			Pad 3	Pier 1	Pier 1	Pier 1	Pad 2	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 3	Pier 3
3	9.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2	Pier 2	Pier 3	Pier 3
3	10.0		Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 2	Pier 3	Pier 4
3	11.0	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 3	Pier 3	Pier 4
3	12.0	Pad 3	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 3	Pier 4	Pier 4
3.5	3.0														Pad 3	Pier 1
3.5	4.0												Pad 3	Pad 3	Pad 3	Pier 1
3.5	5.0					Pad 3	Pier 1				Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3.5	6.0				Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
3.5	7.0			Pad 3	Pier 1	Pier 1	Pier 1	Pad 2	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 1	Pier 3	Pier 3
3.5	8.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2	Pier 2	Pier 3	Pier 3
3.5	9.0	Pad 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 3	Pier 4
3.5	10.0	Pad 3	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 3	Pier 4	Pier 4
3.5	11.0	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 1	Pier 1	Pier 1	Pier 3	Pier 3	Pier 3	Pier 3	Pier 4	Pier 5
3.5	12.0	Pier 1	Pier 1	Pier 1	Pier 1	Pier 3	Pier 3	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 3	Pier 3	Pier 4	Pier 5
4	3.0												Pad 1		Pier 1	Pier 1
4	4.0						Pad 3				Pad 2	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
4	5.0				Pad 2	Pier 1	Pier 1			Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
4	6.0			Pad 1	Pier 1	Pier 1	Pier 1		Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 3	Pier 3
4	7.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2	Pier 2	Pier 3	Pier 3
4	8.0		Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 1	Pier 1	Pier 1	Pier 1	Pier 3	Pier 3	Pier 3	Pier 3	Pier 4
4	9.0	Pad 3	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 3	Pier 4	Pier 4
4	10.0	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 3	Pier 3	Pier 4	Pier 5
4	11.0	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 1	Pier 2	Pier 2	Pier 3	Pier 3	Pier 4	Pier 3	Pier 5	Pier 6
4	12.0	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3	Pier 3	Pier 1	Pier 2	Pier 3	Pier 3	Pier 3	Pier 4	Pier 4	Pier 5	Pier 6

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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.

Ronald A Bell

Ronald A. Bell
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06JUL2020

Signed .....

RPEQ (6715), RBPNT) (605966ES), RBP(Vic) (EC27967), RBP(Tas(CC5556),MAIB (9225), JP(Qual).

STRUCTURAL DETAILS CONCURRED

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GENERIC PORTAL BUILDINGS

CONCRETE SLAB DETAILS 3

SBP-S13

REV A

REVISION SUFFIX