



Ref: 188-002-004L

9 July 2021

Development Assessment
Douglas Shire Council
64 – 66 Front Street
Mossman Qld 4873

**Port Pacific Developments
111 – 119 Port Douglas Road, Port Douglas – Civil and Electrical Works
Operational Works Application**

We refer to the abovementioned project and enclose the attached Operational Works Application for civil and electrical works located at 111 – 119 Port Douglas Road, Port Douglas.

We enclose the following:

- DA Form 1 – Development Application Details.
- Statement of Compliance Operational Works Design.
- PDF drawing set.
- Priced Schedule of Quantities.

We have calculated the application assessment fee in the amount of \$24,109.00 (\$3,969.00 for up to two lots plus \$20,140 for 38 additional lots) based on Council's current schedule of fees and charges.

We trust that the above satisfies Council's requirements for our operational works application, however, if you have any queries, please contact me on 0427 515 177.

Yours faithfully

CivilWalker Consulting Engineers

Daryl Walker

Director | Principal Engineer

BE(Hons) ME DipPM RPEQ RPEng

Enc. DA Form 1 – Development Application Details
 Statement of Compliance Operational Works Design
 PDF drawing set
 Priced Schedule of Quantities

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Port Pacific Developments
Contact name (only applicable for companies)	C/- CivilWalker Consulting Engineers, Daryl Walker
Postal address (P.O. Box or street address)	PO Box 542
Suburb	Clifton Beach
State	Qld
Postcode	4879
Country	Australia
Contact number	0427 515 177
Email address (non-mandatory)	daryl@civilwalker.com.au
Mobile number (non-mandatory)	0427 515 177
Fax number (non-mandatory)	N/A
Applicant's reference number(s) (if applicable)	188-002

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		111 – 119	Port Douglas Road	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	3	RP 729991	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Civil and electrical works associated with new residential developments

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input checked="" type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input checked="" type="checkbox"/> Road work <input checked="" type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input checked="" type="checkbox"/> Other – please specify:	<input checked="" type="checkbox"/> Stormwater <input checked="" type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Electrical
<input checked="" type="checkbox"/> Water infrastructure <input checked="" type="checkbox"/> Sewage infrastructure <input checked="" type="checkbox"/> Clearing vegetation	
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input checked="" type="checkbox"/> Yes – specify number of new lots:	37 (38 total lots)
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$1,308,629.42	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Douglas Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input checked="" type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Works near a state controlled road	SARA	20 May 2020
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<p>Note: By not agreeing to accept an information request I, the applicant, acknowledge:</p> <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. <p>Further advice about information requests is contained in the DA Forms Guide.</p>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☒ Yes – provide details below or include details in a schedule to this development application
☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input checked="" type="checkbox"/> Development application	MCUC 2020_3524/1	15 December 2020	Douglas Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☒ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☒ Yes

☐ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

FNQROC DEVELOPMENT MANUAL

Council

Douglas Shire Council

STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

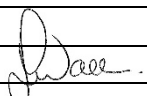
This form duly completed and signed by an authorized agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development	Over 50s Residential Development
Location of Development	111 – 119 Port Douglas Road, Port Douglas
Applicant	Port Pacific Developments
Designer	CivilWalker Consulting Engineers

It is hereby certified that the Calculations, Drawings, Specifications, and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refers to non-compliance report / drawing number
Plan presentation	Yes
Geotechnical requirements	N/A
Geometric road design	Yes – Internal Works Private (not std FNQROC)
Pavements	Yes
Structures / bridges	N/A
Sub-surface drainage	Yes
Stormwater drainage	Yes
Site re-grading	Yes
Erosion control and stormwater management	Yes
Pest plant management	Yes
Cycleway / pathways	Yes
Landscaping	N/A
Water source and disinfection / treatment infrastructure (if applicable)	N/A
Water reticulation, pump stations and water storages	Yes
Sewer reticulation and pump stations	Yes
Electrical reticulation and street lighting	Refer Sequel Drawings
Public transport	N/A
Associated documentation / specification	Yes
Priced schedule of quantities	Yes
Referral agency conditions	N/A
Supporting documentation (AP1.08)	Yes
Other	N/A

Conscientiously believing the above statements to be true and correct, signed on behalf of:

Designer	CivilWalker Consulting Engineers	RPEQ No	19806
Name in Full	Daryl Walker		
Signature		Date	09.07.2021

Port Pacific Pty Ltd
111-119 Port Douglas Road
Priced Schedule of Quantities

Item	Description	Unit	Quantity	Rate	Amount
	Summary				
1	Preliminaries & Earthworks				\$ 275,589.18
2	Road Work				\$ 350,973.75
3	Stormwater Drainage				\$ 138,363.59
4	Water Reticulation				\$ 58,599.53
5	Sewerage				\$ 351,584.46
6	Miscellaneous Items				\$ 14,552.60
	Sub-Total				\$ 1,189,663.11
	GST (10%)				\$ 118,966.31
	Total (including GST)				\$ 1,308,629.42
1	Preliminaries & Earthworks				
1.1	Site Mobilisation, Management Plans, Insurances etc...	Item	1	\$ 26,524.00	\$ 26,524.00
1.2	Provision for Traffic	Item	1	\$ 5,000.00	\$ 5,000.00
1.3	Demolition & Removal				
	a) existing tennis court	Item	1	\$ 9,999.00	\$ 9,999.00
	b) existing pathways	Item	1	\$ 7,425.00	\$ 7,425.00
	c) other miscellaneous items (including pool remains)	Item	1	\$ 17,014.80	\$ 17,014.80
1.4	Clearing and Grubbing	m ²	15450	\$ 2.40	\$ 37,125.00
1.5	Strip and stockpile topsoil (100mm thickness assumed)	m ³	1545	\$ 16.36	\$ 25,280.06
1.6	Earthworks (solid compacted volumes)				
	a) cut to fill	m ³	3088	\$ 20.24	\$ 62,501.12
1.7	Testing to Level 2 AS3798	Item	1	\$ 3,120.00	\$ 3,120.00
1.8	Respread topsoil from stockpile	m ³	1545	\$ 18.92	\$ 29,231.40
1.9	Erosion and Sediment Control	Item	1	\$ 8,030.00	\$ 8,030.00
1.10	Grassing (Provisional Quantity)				
	a) drill seeding to allotments	m ³	11670	\$ 0.44	\$ 5,134.80
	b) turf to verges	m ³	1980	\$ 19.80	\$ 39,204.00
	Sub-Total Preliminaries & Earthworks				\$ 275,589.18
2	Road Work				
2.1	Trimming and compaction of pavement subgrade	m ²	2446	\$ 3.49	\$ 8,538.92
2.2	Kerb & Channel				
	a) Layback Kerb & Channel	m	693.4	\$ 72.00	\$ 49,924.80
	b) Barrier Kerb & Channel	m	25.8	\$ 81.60	\$ 2,105.28
2.3	Concrete Pavement				
	a) 150mm N32 Concrete Base, SL82 mesh, 300mm wide thickning (total depth 200mm) both sides	m ²	1592	\$ 113.50	\$ 180,691.50
	b) 75mm Type 2.5 base gravel	m ³	154	\$ 91.54	\$ 14,097.60
2.4	External Pavement				
	a) 100mm Type 2.3 subbase gravel	m ³	34.7	\$ 132.00	\$ 4,580.40
	b) 100mm Type 2.2 base gravel	m ³	25.6	\$ 132.00	\$ 3,379.20
	c) 30mm Asphalt, including tack coat	m ²	256	\$ 66.00	\$ 16,896.00
2.5	Concrete Footpath				
	a) 1.5m wide	m ²	81	\$ 97.82	\$ 7,923.47
	B) 2.0m wide	m ²	42	\$ 97.82	\$ 4,108.57
2.6	Pram Ramps	No.	4	\$ 688.80	\$ 2,755.20
2.7	Concrete Driveways				
	a) 100mm thick	m ²	133	\$ 97.82	\$ 13,010.46
	b) 150mm thick	m ²	129	\$ 124.50	\$ 16,060.24

2.8	Concrete Driveway Access Crossovers (3.5m wide)				
	a) 100mm thick	No.	2	\$ 960.00	\$ 1,920.00
	b) 150mm thick	No.	1	\$ 1,200.00	\$ 1,200.00
2.9	Concrete Parking				
	a) Parallel to Road	m²	64	\$ 113.50	\$ 7,263.87
	b) Perpendicular to Road	m²	131	\$ 113.50	\$ 14,868.24
2.10	Signage	Item	1	\$ 1,650.00	\$ 1,650.00
	Sub-Total Road Work				\$ 350,973.75
3	Stormwater Drainage				
3.1	Structures				
	a) FNQROC Standard On Grade Inlet Pit with Lintel Aligned Back of Kerb	No.	4	\$ 3,850.00	\$ 15,400.00
	b) FNQROC Standard Sag Inlet Pit with Lintel Aligned Back of Kerb	No.	4	\$ 3,850.00	\$ 15,400.00
	c) FNQROC Standard Field Inlet Pit	No.	1	\$ 2,200.00	\$ 2,200.00
	d) 1050 dia. Manhole	No.	1	\$ 3,850.00	\$ 3,850.00
	e) Ecosol ETR67 Trash Rack	No.	1	\$ 9,600.00	\$ 9,600.00
	f) 250mm dia. headwall	No.	2	\$ 1,980.00	\$ 3,960.00
	g) 675mm dia. headwall	No.	1	\$ 2,200.00	\$ 2,200.00
3.2	Subsoil drainage				
	a) subsoil drains including outlets to open drains	m	702	\$ 33.84	\$ 23,755.68
	b) Clean out points	No.	18	\$ 286.67	\$ 5,160.00
3.3	Supply and install stormwater drainage pipes including excavation, bedding, lay, joint and backfill				
	a) 375dia. Black Max	m	20.9	\$ 217.13	\$ 4,537.96
	b) 450dia. Black Max	m	40.6	\$ 211.97	\$ 8,606.00
	c) 600dia. Black Max	m	97.7	\$ 267.14	\$ 26,099.17
	d) 675dia. RCP	m	32.7	\$ 327.82	\$ 10,719.78
	e) 250 dia. uPVC	m	1.5	\$ 550.00	\$ 825.00
3.4	Weir Spill Way in Detention Basin	Item	1	\$ 1,100.00	\$ 1,100.00
3.5	Grouted Stone Pitching at Outlets	m²	10	\$ 165.00	\$ 1,650.00
3.6	CCTV of new drainage lines	Item	1	\$ 3,300.00	\$ 3,300.00
	Sub-Total Stormwater Drainage				\$ 138,363.59
4	Water Reticulation				
4.1	Supply and install water reticulation pipes including excavation, bedding, lay, joint, thrust blocks and backfill				
	a) 100mm diameter	m	408.1	\$ 91.30	\$ 37,259.53
4.2	Supply and install fittings				
	a) 200mm sluice valve	No.	1	\$ 385.00	\$ 385.00
	b) 100mm sluice valve	No.	4	\$ 165.00	\$ 660.00
	c) 100mm hydrant	No.	4	\$ 660.00	\$ 2,640.00
	d) 100mm blank ends	No.	3	\$ 330.00	\$ 990.00
4.3	Supply and install property connections				
	a) Same side of road	No.	26	\$ 330.00	\$ 8,580.00
	b) Opposite side of road - single	No.	7	\$ 385.00	\$ 2,695.00
	c) Opposite side of road - double	No.	2	\$ 495.00	\$ 990.00
4.4	Disinfection, chlorination and pressure testing	Item	1	\$ 1,650.00	\$ 1,650.00
4.5	Connection to existing Council 200mm diameter main	Item	1	\$ 2,750.00	\$ 2,750.00
	Sub-Total Water Reticulation				\$ 58,599.53
5	Sewerage				
5.1	Supply, lay, joint and test sewer pipes including jointing rings as specified of diameters				
	a) 150mm dia uPVC gravity main (SN8)	m	331.2	\$ 127.80	\$ 42,327.36
	b) 90mm dia rising main (Class 12)	m	230	\$ 118.32	\$ 27,213.60
	c) Port Douglas Road crossing (including traffic control)	Item	1	\$ 11,160.00	\$ 11,160.00

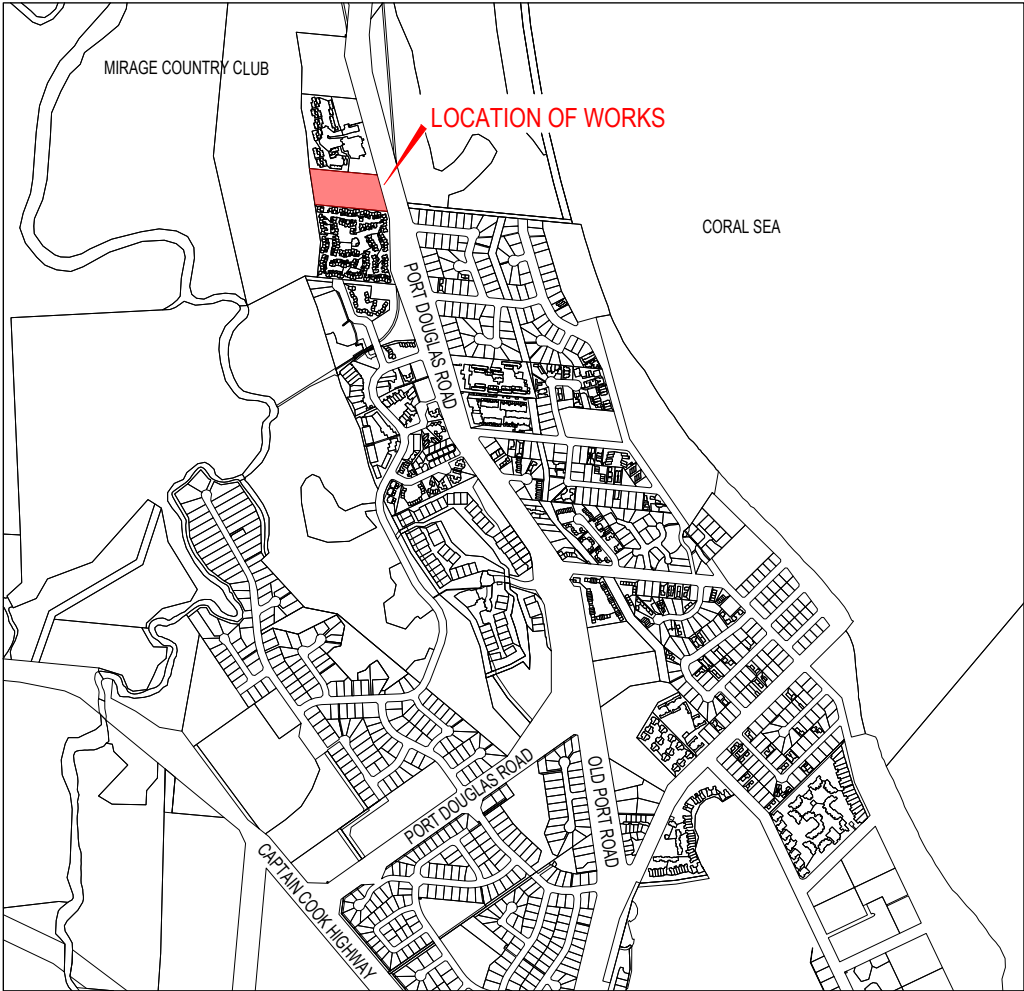
5.2	Supply and install manholes	No.	5	\$ 5,400.00	\$ 27,000.00
5.3	Supply and install house connection branches	No.	38		
	a) Same side of road	No.	26	\$ 780.00	\$ 20,280.00
	b) Opposite side of road - single	No.	7	\$ 1,020.00	\$ 7,140.00
	c) Opposite side of road - double	No.	2	\$ 1,260.00	\$ 2,520.00
5.4	Supply and install package pump station, complete including water connection and overflow	Item	1	\$ 203,994.00	\$ 203,994.00
5.5	Connection to existing 300mm diameter sewer	Item	1	\$ 3,184.50	\$ 3,184.50
5.6	Pressure testing of mains / manholes	Item	1	\$ 3,300.00	\$ 3,300.00
5.7	CCTV of new mains	Item	1	\$ 3,465.00	\$ 3,465.00
	Sub-Total Sewerage				\$ 351,584.46
	6 Miscellaneous Items				
6.1	Sleeper Retaining Wall				
	a) Adjacent Railway Platform	m ²	18	\$ 512.11	\$ 9,218.00
6.2	Ingal Traffic Barrier in Detention Basin				
	a) Guard Rail	m ²	8.7	\$ 258.00	\$ 2,244.60
	b) End Treatments	No.	2	\$ 720.00	\$ 1,440.00
6.3	Bollards - 150mm dia concrete filled, painted yellow	No.	3	\$ 550.00	\$ 1,650.00
	Sub-Total Sewerage				\$ 14,552.60

PORT PACIFIC DEVELOPMENTS

OVER 50s RESIDENTIAL DEVELOPMENT CIVIL OPERATIONAL WORK

PROJECT No: 188-002

DRAWING INDEX



LOCALITY PLAN
N.T.S

DRAWING No.	DRAWING TITLE
188-002-C01	COVER SHEET, DRAWING INDEX & LOCALITY
188-002-C02	IMPORTANT NOTES
188-002-C03	GENERAL ARRANGEMENT - SHEET 1 OF 2
188-002-C04	GENERAL ARRANGEMENT - SHEET 2 OF 2
188-002-C05	EARTHWORKS - SHEET 1 OF 2
188-002-C06	EARTHWORKS - SHEET 2 OF 2
188-002-C07	TYPICAL SECTIONS & DETAILS - SHEET 1 OF 2
188-002-C08	TYPICAL SECTIONS & DETAILS - SHEET 2 OF 2
188-002-C09	INTERSECTION DETAILS
188-002-C10	ROAD A LONGITUDINAL SECTION - SHEET 1 OF 2
188-002-C11	ROAD A LONGITUDINAL SECTION - SHEET 2 OF 2
188-002-C12	ROAD A CROSS SECTIONS - SHEET 1 OF 2
188-002-C13	ROAD A CROSS SECTIONS - SHEET 2 OF 2
188-002-C14	STORMWATER DRAINAGE LAYOUT - SHEET 1 OF 2
188-002-C15	STORMWATER DRAINAGE LAYOUT - SHEET 2 OF 2
188-002-C16	STORMWATER DRAINAGE LONGITUDINAL SECTIONS
188-002-C17	SEWER RETICULATION - SHEET 1 OF 2
188-002-C18	SEWER RETICULATION - SHEET 2 OF 2
188-002-C19	SEWER LONGITUDNAL SECTIONS - SHEET 1 OF 2
188-002-C20	SEWER LONGITUDNAL SECTIONS - SHEET 2 OF 2
188-002-C21	SEWER PUMP STATION DETAILS
188-002-C22	WATER RETICULATION - SHEET 1 OF 2
188-002-C23	WATER RETICULATION - SHEET 2 OF 2
188-002-C24	TYPICAL SEWER & WATER SERVICE CONNECTIONS - SHEET 1 OF 2
188-002-C25	TYPICAL SEWER & WATER SERVICE CONNECTIONS - SHEET 2 OF 2
188-002-C26	MASTER SERVICES LAYOUT - SHEET 1 OF 2
188-002-C27	MASTER SERVICES LAYOUT - SHEET 2 OF 2
188-002-C28	EROSION & SEDIMENT CONTROL STRATEGY - SHEET 1 OF 2
188-002-C29	EROSION & SEDIMENT CONTROL STRATEGY - SHEET 2 OF 2

FNQROC STANDARD DRAWINGS

DRAWING No.	DRAWING TITLE
S1000 - S1110	ROADWORKS AND DRAINAGE
S2000 - S2025	WATER
S3000 - S3015	SEWER

INSTITUTE OF PUBLIC WORKS ENGINEERING
AUSTRALIA STANDARD DRAWINGS

DRAWING No.	DRAWING TITLE
D-0040	SEDIMENT CONTROL DEVICES - SEDIMENT FENCE, ENTRY/EXIT SEDIMENT TRAP
D-0041	SEDIMENT CONTROL DEVICES - KERB AND FIELD INLETS, CHECK DAMS & STRAW BALE BANKS

INGAL CIVIL PRODUCTS DRAWINGS

DRAWING No.	DRAWING TITLE
CAB-STD-49	COMPONENT DETAILS
CAB-STD-71	AASHTO G4 W-BEAM ASSEMBLY

REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

CLIENT
PORT PACIFIC DEVELOPMENTS

SCALE
ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE



DRAWN CW	CHECKED CW	OVER 50s RESIDENTIAL DEVELOPMENT	
DESIGNED DJW	CHECKED DJW	COVER SHEET, DRAWING INDEX & LOCALITY	
APPROVED ORIGINAL CERTIFIED BY D.J.WALKER		DRAWING NO. 188-002-C01	REVISION B
DATE: 08.07.21 RPEQ: 19806			

- CONSTRUCTION AND INSTALLATION OF ALL WORKS AS DETAILED ON THESE DRAWINGS SHALL BE IN ACCORDANCE WITH THE PROCEDURES, SPECIFICATIONS AND REFERENCED STANDARD DRAWINGS CONTAINED IN THE CURRENT ISSUE OF THE FNQROC DEVELOPMENT MANUAL UNLESS NOTED OTHERWISE.

COMPLIANCE WITH ASSESSMENT MANAGER CONDITIONS

- CONSTRUCTION OF THE WORKS DETAILED ON THESE DRAWINGS SHALL NOT COMMENCE UNTIL AN OPERATIONAL WORKS PERMIT HAS BEEN ISSUED BY COUNCIL AND THE REQUIRED PRE-START MEETING HAS BEEN HELD.
- THE CONTRACTOR SHALL COMPLY WITH ALL RELEVANT CONDITIONS SET OUT IN THE COUNCIL DECISION NOTICE FOR OPERATIONAL WORKS.

SURVEY & EXISTING SERVICES

- LEVEL DATUM & ORIGIN OF LEVELS IS AS NOMINATED ON BRAZIER MOTTI SURVEY DRAWING "34807/001/A.
- THE EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE DERIVED FROM SURFACE SURVEY AS DETAILED ON BRAZIER MOTTI SURVEY DRAWING 34807/001/A. THEY MAY NOT REPRESENT ALL OF THE SERVICES SHOWN ON THOSE DRAWINGS, OR ALL OF THE EXISTING SERVICES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE SURVEY AND SUBSEQUENTLY LOCATING ALL EXISTING SERVICES PRIOR TO ANY WORKS COMMENCING. ONCE THE LINE AND LEVEL OF EXISTING UNDERGROUND SERVICES HAS BEEN CONFIRMED BY THE CONTRACTOR, THE ENGINEER SHALL BE NOTIFIED OF ANY POTENTIAL CLASHES WITH THE DESIGN PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DAMAGE TO EXISTING SERVICES SHALL BE MADE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT AUTHORITY AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE RELEVANT AUTHORITY IMMEDIATELY IF ANY DAMAGE OCCURS.

VEGETATION REMOVAL

- THE EXTENT OF VEGETATION TO BE REMOVED SHALL ONLY BE THAT AS REQUIRED TO UNDERTAKE THE WORKS.
- THE CONTRACTOR SHALL ATTEND SITE AND MARK THE EXTENT OF BATTERS & VEGETATION REMOVAL PRIOR TO THE PRE-START MEETING SO THAT COUNCIL OFFICERS VIEW THE EXTENT OF VEGETATION TO BE REMOVED PRIOR TO WORKS COMMENCING.

EARTHWORKS NOTES

- IN ACCORDANCE WITH THE LAND PROTECTION (PEST AND STOCK ROUTE MANAGEMENT) ACT 2002, SOIL OR ANY MATTER CONTAINING REPRODUCTIVE PEST PLANT MATERIAL MUST NOT BE REMOVED FROM THE SITE. THE CONTRACTOR'S ENVIRONMENTAL MANAGEMENT PLAN MUST IDENTIFY APPROPRIATE MEASURES TO BE PUT IN PLACE TO ENSURE THAT SOIL AND OTHER ORGANIC MATERIALS ARE NOT INADVERTENTLY TRANSPORTED TO OTHER LOCATIONS. THE CONTRACTOR SHALL CONTACT COUNCIL'S PEST MANAGEMENT UNIT TO OBTAIN ADVICE WITH REGARD TO DEVELOPING THIS COMPONENT OF THE ENVIRONMENTAL MANAGEMENT PLAN. SOIL (OR OTHER MATTER) CONTAMINATED WITH WEED SEED OR ORGANIC MATERIAL SHOULD NOT BE USED IN LANDSCAPING. A VEHICLE WASH DOWN AND INSPECTION AREA MUST BE PROVIDED FOR ALL MACHINERY / PLANT ENTERING AND LEAVING THE SITE DURING CONSTRUCTION TO REDUCE THE SPREAD OF INVASIVE WEED SPECIES.
- STRIP AND REMOVE EXISTING TOPSOIL, SOIL CONTAINING SIGNIFICANT AMOUNTS OF ORGANIC MATERIALS AND ALSO ANY DELETERIOUS SOFT WET OR HIGHLY COMPRESSIVE MATERIALS, MATERIALS CONTAMINATED THROUGH PAST SITE USAGE WHICH MAY CONTAIN TOXIC SUBSTANCES OR SOLUBLE COMPOUNDS HARMFUL TO GROUND WATER, MATERIALS CONTAINING SUBSTANCES THAT CAN BE DISSOLVED OR LEACHED OUT IN THE PRESENCE OF MOISTURE (EG GYPSUM) OR WHICH UNDERGO VOLUME CHANGE OR LOSS OF STRENGTH WHEN DISTURBED AND EXPOSED TO MOISTURE (EG. SOME SHALES AND SANDSTONES), SILTS OR MATERIALS THAT HAVE THE DELETERIOUS PROPERTIES OF SILT, AND MATERIAL THAT CONTAINS WOOD, METAL, PLASTIC, BOULDERS OR OTHER DELETERIOUS MATERIAL.
- REMOVE ALL FISSURED MATERIALS.
- CLEAR THE SURFACE OF ANY LOOSE ROCK AND SOIL.
- THE EXISTING SURFACE SHALL THEN BE COMPACTED TO A MINIMUM STD DENSITY RATIO OF 95% SRDD AND MOISTURE TESTED TO A RANGE OF -2% (DRY) TO +2% (WET) OF OPTIMUM MOISTURE CONTENT USING A STEEL DRUM OR PAD FOOT ROLLER.
- ANY SOFT SPOTS SHALL BOUGHT TO THE ATTENTION OF THE ENGINEER FOR INSTRUCTION ON HOW TO PROCEED.
- NO FILLING OR PAVEMENT CONSTRUCTION OPERATION IS TO BE UNDERTAKEN UNTIL THE ENGINEER HAS PROVIDED AUTHORISATION TO DO SO.**
- ANY REQUIRED IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE BELOW REQUIREMENTS AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO FILLING OPERATIONS COMMENCING:

AS METRIC SIEVE

% PASSING BY WEIGHT

75mm

100

2.36mm

25 - 70

75um

0 - 30

MINIATURE ABRASION LOSS PASSING 2.36mm

0 - 15

LINEAR SHRINKAGE PASSING 4.25um

0 - 8

MATERIAL RETAINED ON 2.36mm SIEVE SHALL CONSIST OF SOUND STONE SOAKED CBR 15 AT 95% SRDD COMPACTION
- ANY REQUIRED FILLING SHALL BE UNDERTAKEN BY PLACING APPROVED MATERIAL IN UNIFORM HORIZONTAL LAYERS NOT EXCEEDING 200mm LOOSE THICKNESS AND COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF AT LEAST 95% SRDD. THE MOISTURE CONTENT OF FILL MATERIALS SHALL BE MAINTAINED AT -2% (DRY) TO +2% (WET) OF OPTIMUM MOISTURE CONTENT DURING AND AFTER COMPACTION.
- THE FOLLOWING TESTING / INSPECTION REQUIREMENTS SHALL BE COMPLIED WITH:

- INSPECTION PRIOR TO FILLING OPERATIONS COMMENCING TO CONFIRM UNSUITABLE MATERIAL HAS BEEN REMOVED

- COMPACTION TEST RESULTS FOR PREPARED EXISTING SURFACE (PRIOR TO FILLING) AT 1 TEST / 2,500m² AREA WITH A MINIMUM NUMBER OF 3 TESTS.

- FILL MATERIAL QUALITY CERTIFICATE FROM A NATA APPROVED LABORATORY TO CONFIRM ANY IMPORTED FILL MATERIAL IS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS.

- COMPACTION TEST RESULTS FOR FILL OPERATIONS AT 1 TEST / 2,500m2 AREA FOR EACH 200mm LAYER WITH A MINIMUM OF 3 TESTS PER LAYER.
- TRANSPORTATION OF FILL OR SPOIL TO AND FROM THE SITE MUST NOT OCCUR WITHIN:

- PEAK TRAFFIC TIMES; OR

- BEFORE 7am OR AFTER 6pm MONDAY TO FRIDAY; OR

- BEFORE 7am OR AFTER 1pm SATURDAYS; OR

- ON SUNDAYS OR PUBLIC HOLIDAYS.

ROAD WORK

- KERB PROFILES SHALL BE IN ACCORDANCE WITH FNQROC STD DRG S1000.
- ALL KERB SET-OUT DETAILS AT INTERSECTIONS ARE TO THE LIP OF KERB AND CHANNEL OR FACE OF KERB AS APPLICABLE TO THE KERB TYPE.
- CONCRETE HARD STAND PARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH FNQROC STANDARD DRAWING S1015.
- ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF TRANSPORT & MAIN ROADS "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD)
- ALL REGULATORY, WARNING AND HAZARD SIGNS SHALL BE SIZE "A" UNLESS NOTED OTHERWISE.

CONCRETE DRIVEWAY

- DRIVEWAY CONSTRUCTION METHODOLOGY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FNQROC REGIONAL DEVELOPMENT MANUAL STANDARD SPECIFICATIONS.
- THE CONTRACTOR IS REMINDED OF THE REQUIREMENT FOR HOLD POINT AND WITNESS POINT INSPECTIONS AS REQUIRED BY THE RELEVANT SPECIFICATION. THE ENGINEER SHALL BE CONTACTED FOR PROOF ROLL AND PRE-POUR INSPECTIONS WITH 48 HOURS NOTICE.
- THE CONTRACTOR IS REMINDED OF THE REQUIREMENT FOR MATERIAL AND COMPACTION TESTING REQUIREMENTS AS REQUIRED BY THE STANDARD SPECIFICATION.

STORMWATER DRAINAGE

- PRIOR TO COMMENCEMENT OF PIPE WORK, THE CONTRACTOR SHALL CONFIRM THE INVERT LEVEL OF DOWNSTREAM DRAINAGE TO ENSURE THAT THE STORMWATER SYSTEM CAN ADEQUATELY OUTLET / DRAIN. CONTACT THE ENGINEER IF THERE ARE ANY DISCREPANCIES.
- FOR STANDARD STORMWATER DRAINAGE DETAILS, REFER FNQROC STANDARD DRAWINGS S1045 - S1100, INCLUSIVE.
- SUBSURFACE DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FNQROC STANDARD SPECIFICATION S2.21 AND THE PROJECT DRAWING DETAIL. WHERE INFORMATION IS NOTE PROVIDED ON THE PROJECT DRAWING DETAIL, REFERENCE SHALL BE MADE TO FNQROC STANDARD DRAWING S1095.
- SUBSURFACE DRAIN FLUSHING POINTS AND OUTLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FNQROC STANDARD DRAWING S1095.
- ALL STORMWATER DRAINAGE PIPES ARE SHALL BE CLASS 2 FLUSH JOINTED REINFORCED CONCRETE PIPES OR BLACK MAX AS DETAILED ON THE DRAWINGS. CCTV INSPECTIONS SHALL BE UNDERTAKEN ON ALL NEW STORMWATER PIPES WITH REPORTING PROVIDED IN ACCORDANCE WITH FNQROC REQUIREMENTS.

SEWER

- ALL SEWER PIPES SHALL BE 150mm DIAMETER uPVC CLASS SN8 UNLESS NOTED OTHERWISE.
- ALL WORKS SHALL BE IN ACCORDANCE WITH FNQROC STANDARD SPECIFICATION S6, UNLESS NOTED OTHERWISE.
- FOR DETAILS OF SEWER MANHOLES REFER FNQROC STANDARD DRAWING S3000.
- FOR DETAILS OF PROPERTY CONNECTION BRANCHES REFER FNQROC STANDARD DRAWING S3005.
- FOR DETAILS OF SEWER MAIN TRENCH BEDDING REFER FNQROC STANDARD DRAWING S3015.
- FOR INTERNAL SEWER SERVICE DETAILS, REFER DRAWINGS C17 - C20 AND C24 - C25 .
- CONNECTION OF NEW SEWER MAIN TO EXISTING MANHOLE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF FNQROC / COUNCIL. CONNECTION TO MANHOLE TO BE MADE WITH SAND-SOCKETED PIPES (TO BE CONFIRMED WITH DOUGLAS SHIRE COUNCIL PRIOR TO CONNECTION).
- ALL PROPERTY CONNECTION BRANCHES SHALL BE BROUGHT TO WITHIN A MAXIMUM OF 300mm OF THE FINISHED SURFACE LEVEL AND A GLUED CAP INSTALLED. THE RISER MUST BE CONNECTED TO A MARKER PEG WITH PLASTIC COATED WIRE. THE MARKER PEG SHALL BE OF HARDWOOD MATERIAL, PROTRUDING 20mm ABOVE THE FINISHED GROUND LEVEL AND INSTALLED IMMEDIATELY ADJACENT TO THE RISER.
- ANY VERTICAL DROPS SHALL BE CONSTRUCTED USING FIBREGLOSS HEAVY DUTY DEEP SEWER DROPS.
- PROVIDE "OMNI" MARKER BALLS TO SEWER RISING MAIN ON NON-STANDARD ALIGNMENT AND INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION. MARKERS ARE TO BE INSTALLED AT ALL HORIZONTAL CHANGES OF DIRECTION AND INTERVALS NOT GREATER THAN 50m ALONG THE PIPE LINE. MARKER LOCATIONS SHALL BE SHOWN ON THE AS-CONSTRUCTED DRAWINGS.
- CCTV INSPECTION AND REPORT IS TO BE PREPARED FOR ALL NEW SEWER MAINS IN ACCORDANCE WITH FNQROC / COUNCIL REQUIREMENTS.

WATER

- ALL WATER WORKS TO BE IN ACCORDANCE WITH FNQROC STANDARD SPECIFICATION S5, UNLESS NOTED OTHERWISE.
- FOR DETAILS OF WATER MAIN TRENCH BEDDING REFER FNQROC STANDARD DRAWING S2016. BEDDING TO BE TYPE 1 UNLESS NOTED OTHERWISE.
- PROVIDE THRUST BLOCKS IN ACCORDANCE WITH FNQROC REQUIREMENTS.
- FOR INTERNAL WATER SERVICE DETAILS, REFER DRAWINGS C22 - C25.
- PROVIDE A COMPRESSIBLE LAYER BETWEEN ALL EXISTING / PROPOSED HYDRANT OR VALVE SURROUNDS WITHIN AREAS OF CONCRETE.
- CONNECTION OF NEW WATER MAIN SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF DOUGLAS SHIRE COUNCIL. CONTRACTOR TO LIAISE WITH COUNCIL & ORGANISE FOR CONNECTION.

EROSION SEDIMENT CONTROL STRATEGY

- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND PRESERVE THE NATURAL ENVIRONMENT AND SHALL AVOID ENVIRONMENTAL POLLUTION IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION ACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL AND MANAGEMENT MEASURES CONFORMING TO THE REQUIREMENTS OF THE ACT AND THE RELEVANT AUTHORITIES.
- THE CONTRACTOR SHALL INSTALL ALL DEVICES/MEASURES NECESSARY TO COMPLY WITH THE PROVISIONS OF THE FNQROC DEVELOPMENT MANUAL, THE ENVIRONMENTAL PROTECTION ACT AND COUNCIL REQUIREMENTS.
- ANY SOIL STOCKPILES SHALL BE PROTECTED AGAINST WIND EROSION BY COVERING AND AGAINST STORMWATER RUNOFF BY SILT FENCES AT THE DOWNHILL SLOPES. STOCKPILE LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND EROSION/CONTROL MEASURES IMPLEMENTED & MAINTAINED FOR THE LIFE OF THE STOCKPILE.
- SEQUENCING OF CONTROL MEASURES:

5.1. INSTALL STABLE POINT OF ENTRY

5.2. INSTALL SILT FENCES / BUNDS

5.3. PROTECT SOIL STOCKPILES

5.4. CONSTRUCT TEMPORARY SEDIMENT BASINS

5.5. INSTALL STORMWATER PIPES

5.6. IMPLEMENT PROTECTION MEASURES TO STORMWATER PITS

5.7. REVEGETATE BARE AREAS UPON COMPLETION OF EARTHWORK
- CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAIN EVENT AND CLEANED / MAINTAINED AS REQUIRED.
- RETURNS IN SILT FENCE SHALL BE AT 20m INTERVALS WHEN INSTALLED ALONG THE CONTOUR. SPACING TO DECREASE TO 5 - 10m INTERVAL DEPENDENT ON SLOPE IF INSTALLED AT AN ANGLE TO THE CONTOUR. THE CONTRACTOR SHALL SELECT A COMPLIANT SPACING AND MONITOR / CHANGE AS NECESSARY.
- SILT FENCE RETURNS SHALL CONSIST OF EITHER A V-SHAPED SECTION EXTENDING A MINIMUM OF 1.5m UP THE SLOPE OR A SANDBAG / ROCK/AGGREGATE CHECK DAM HALF THE HEIGHT OF SILT FANCE A MINIMUM OF 1.5m UP THE SLOPE.
- STORMWATER PITS SHALL HAVE PIT PROTECTION MEASURES AS DETAILED IN FNQROC.
- THE FOLLOWING REVEGETATION MEASURES SHALL BE UNDERTAKEN IMMEDIATELY UPON COMPLETION OF EARTHWORK:

10.1. CUT / FILL BATTERS STEEPER THAN 1 in 4 TO BE HYDROMULCHED

10.2. A STRIP OF TURF TO BE LAID BEHIND ALL KERB LINES
- ALL REVEGETATION / GRASS TO BE WATER AS REQUIRED TO MAINTAIN UNTIL GROWTH IS ESTABLISHED.
- A SUITABLE DUST MANAGEMENT STRATEGY SHALL BE MAINTAINED TO MINIMISE DUST NUISANCE ON ADJACENT PROPERTIES. DETAILS OF THE DUST MANAGEMENT STRATEGY SHALL BE INCORPORATED INTO THE CONTRACTOR'S EROSION AND SEDIMENT CONTROL STRATEGY.
- SEDIMENT BASIN

13.1. INLET PROTECTION SHALL BE PROVIDED TO MINIMISE SCOUR AND EVENLY DISTRIBUTE FLOW THROUGHOUT THE BASIN.

13.2. A MARKER PEG SHALL BE INSTALLED TO SHOW THE STORAGE DEPTH RESULTING FROM RAIN EVENTS.

13.3. SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN 30% OF THE STORAGE DEPTH IS REACHED. SEDIMENT SHALL BE APPROPRIATELY DISPOSED OF.

REVISIONS					
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		
	NO.	DATE	DESCRIPTION	DESIGN	APPROVED

CLIENT

PORT PACIFIC DEVELOPMENTS

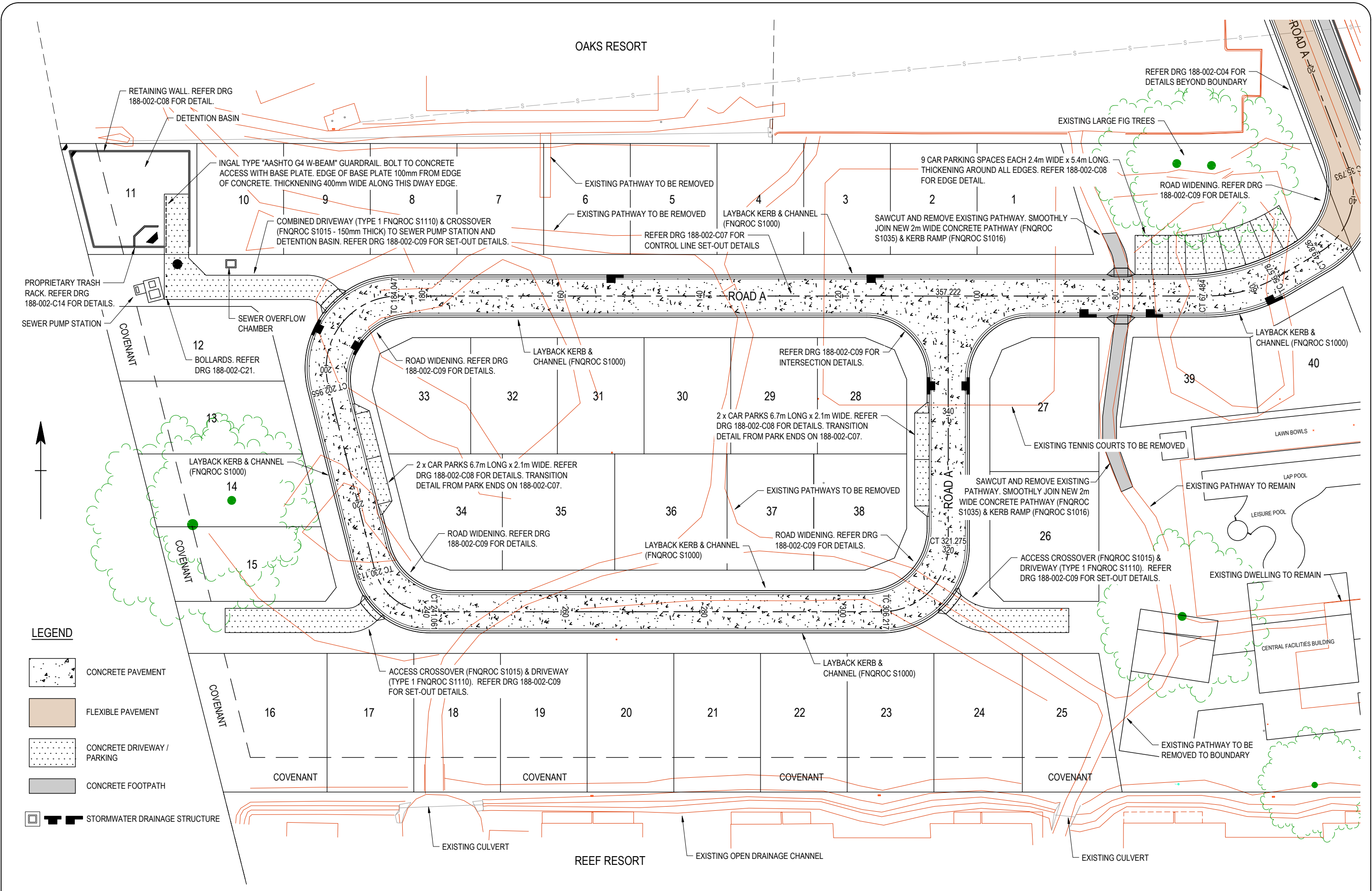
SCALE

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

CivilWalker CONSULTING ENGINEERS

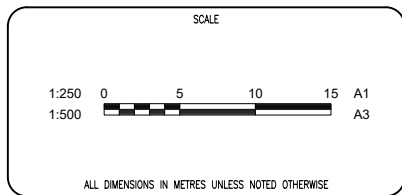
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DESIGNED	DJW	CHECKED	DJW
APPROVED	ORIGINAL CERTIFIED BY D.J.WALKER		
DATE:08.07.21 RPEC: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT	
IMPORTANT NOTES	
DRAWING NO.	188-002-C02
REVISION	B



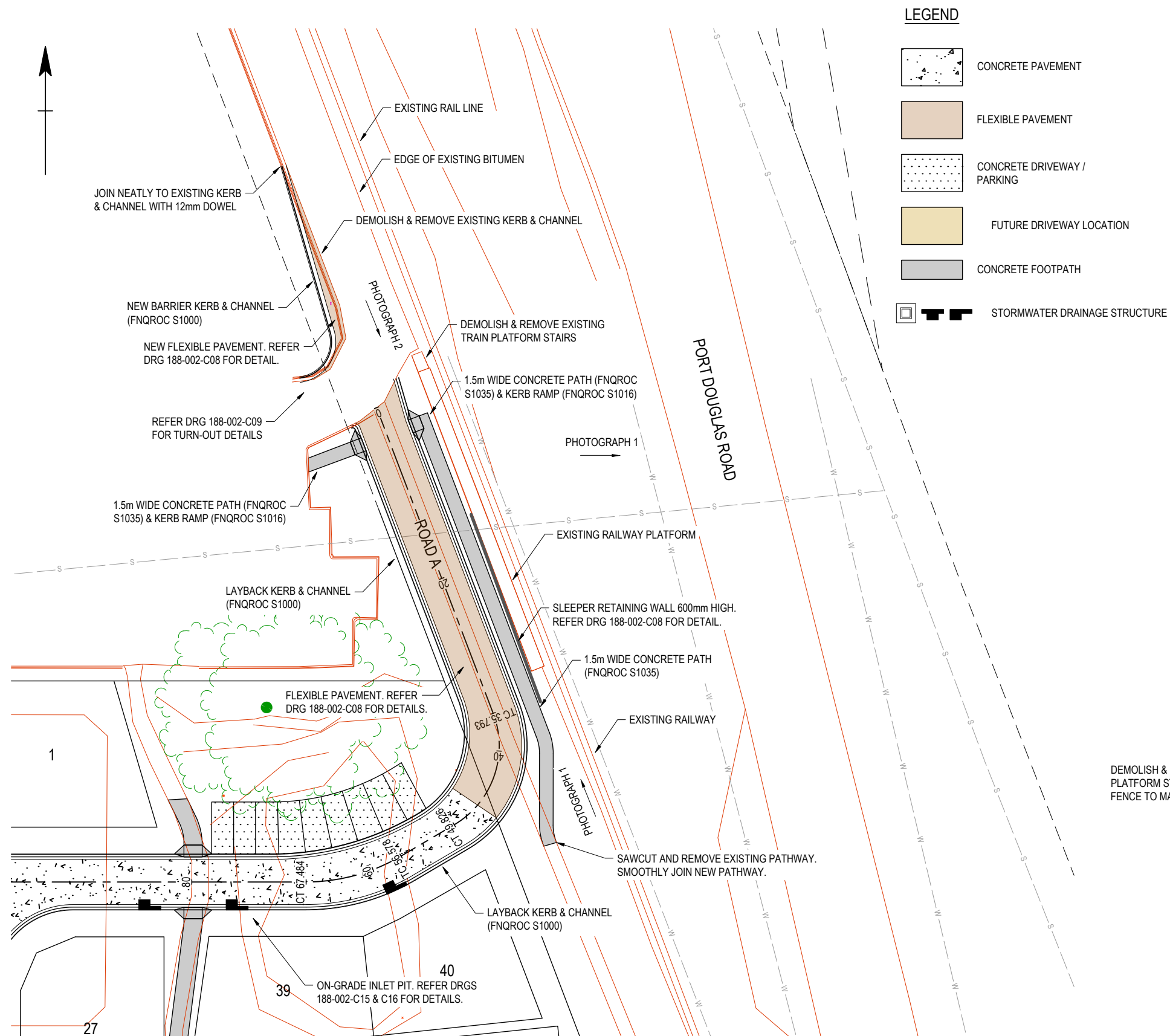
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A	05.03.21	INITIAL ISSUE				
NO.	DATE	DESCRIPTION			DESIGN	APPROVED

CLIENT
PORT PACIFIC DEVELOPMENTS

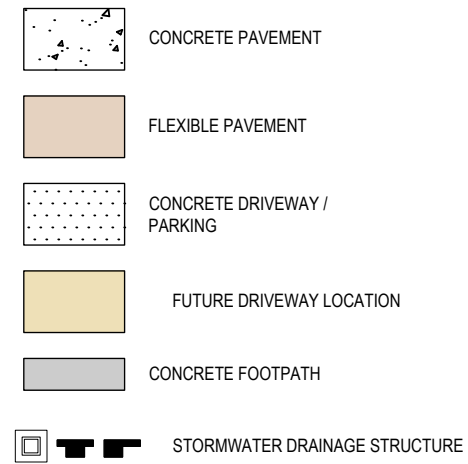


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DESIGNED	DJW	CHECKED	DJW
APPROVED	ORIGINAL CERTIFIED BY D.J.WALKER		
DATE: 08.07.21		RPEQ: 19806	

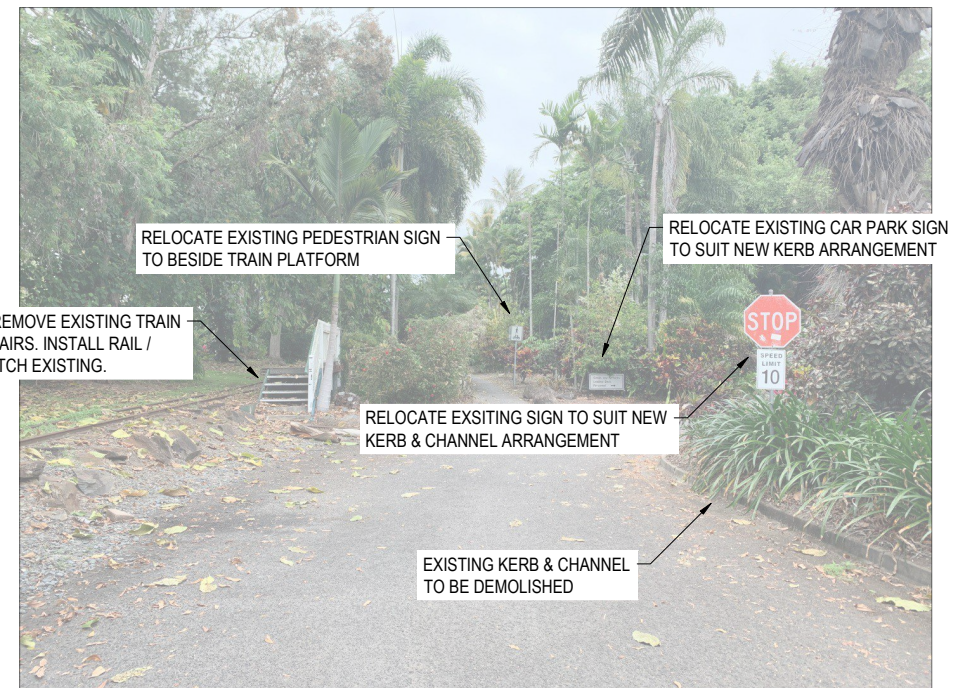
OVER 50s RESIDENTIAL DEVELOPMENT			
GENERAL ARRANGEMENT			
SHEET 1 OF 2			
DRAWING NO. 188-002-C03			REVISION B



LEGEND



PHOTOGRAPH 1
N.T.S



PHOTOGRAPH 2
N.T.S

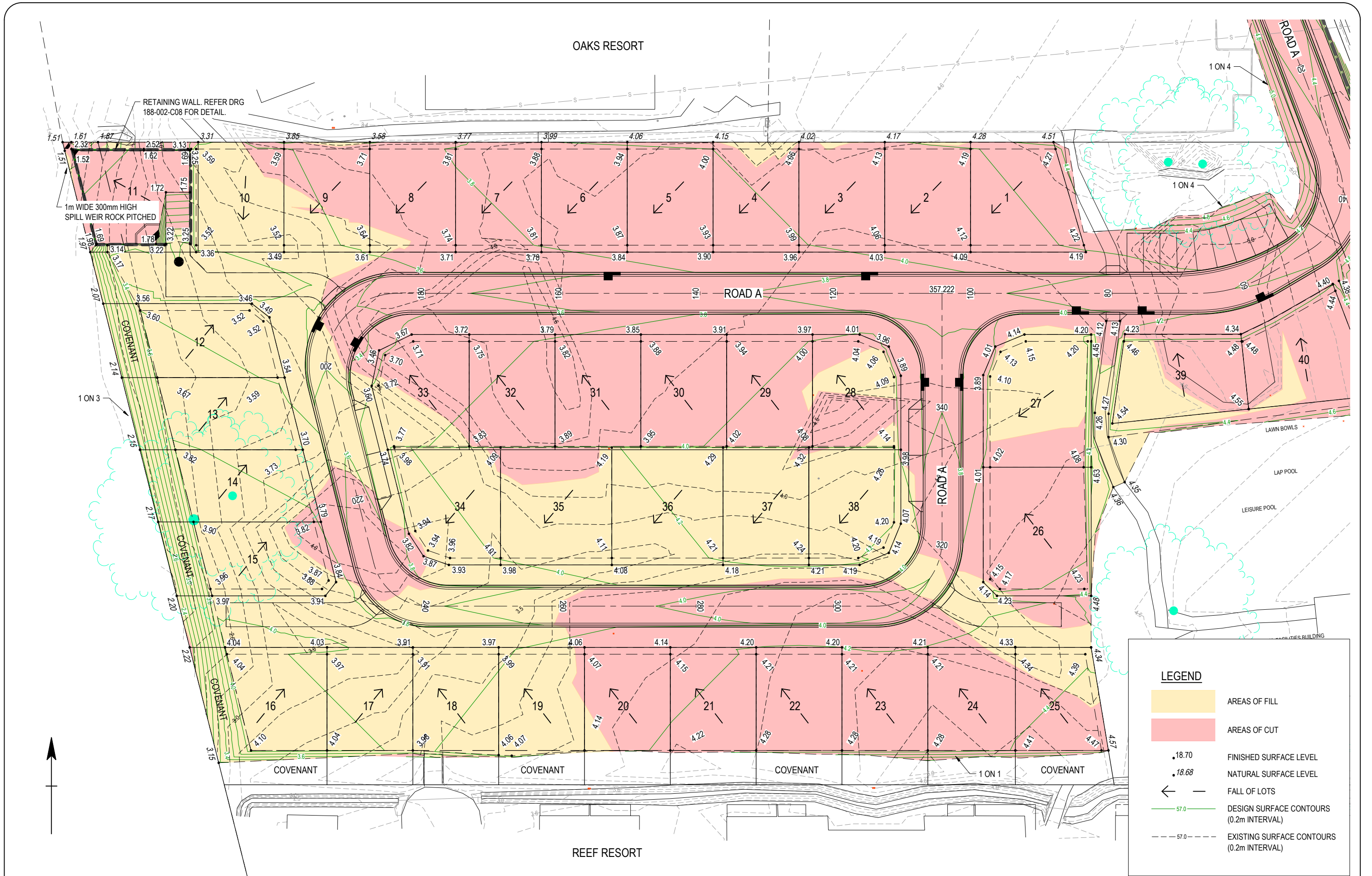
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B	08.07.21	OPW ISSUE	CW	DJW
A	05.03.21	INITIAL ISSUE		

CLIENT	PORT PACIFIC DEVELOPMENTS
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SCALE	1:250 0 5 10 15 A1 1:500 A3
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DRAWN	CW	CHECKED	CW	OVER 50s RESIDENTIAL DEVELOPMENT
DESIGNED	DJW	CHECKED	DJW	GENERAL ARRANGEMENT
APPROVED				SHEET 2 OF 2
				188-002-C04
				REVISION B



REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

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ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

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DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			

ORIGINAL CERTIFIED BY
D.J.WALKER

DATE: 08.07.21 RPEQ: 19806

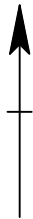
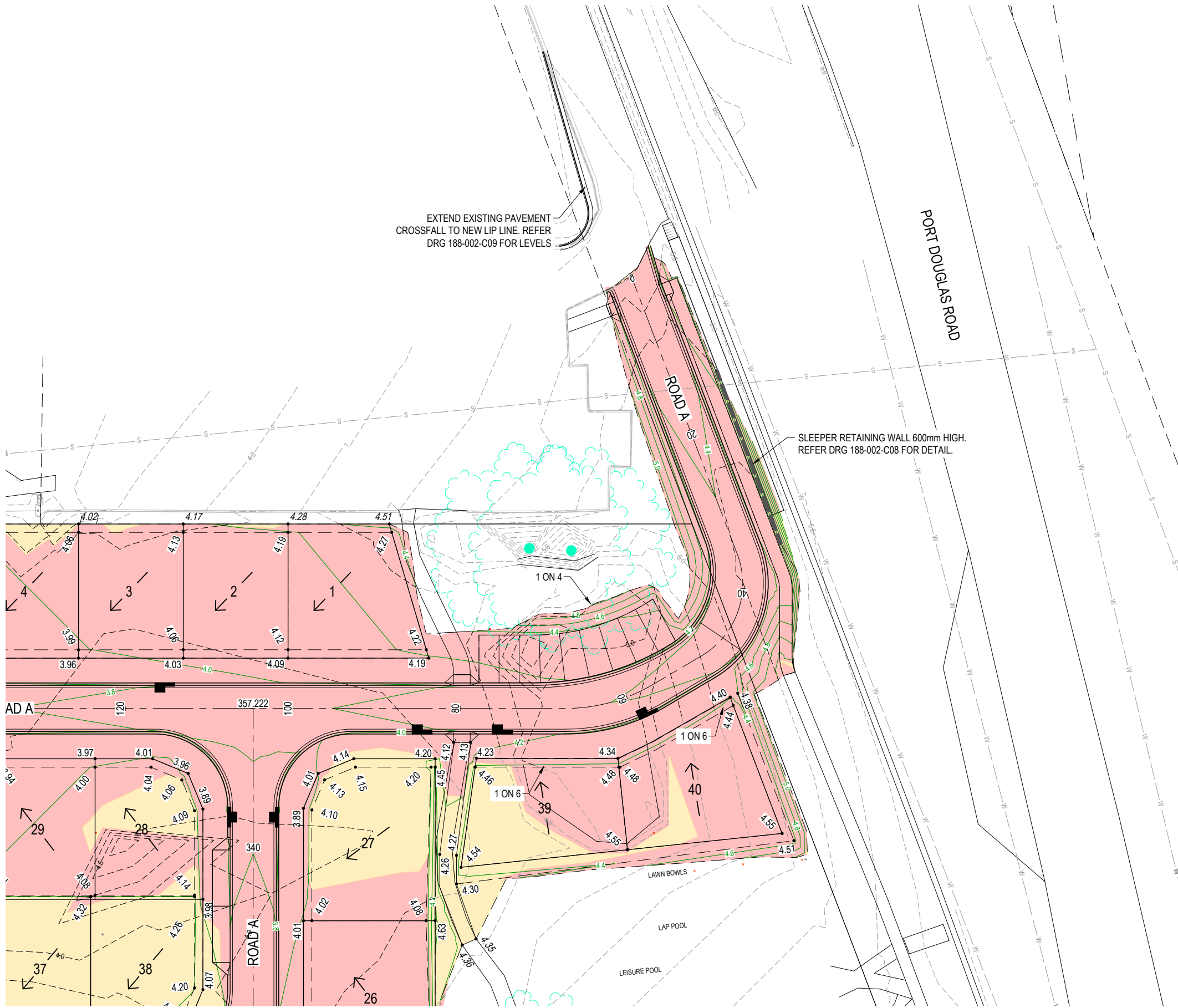
OVER 50s RESIDENTIAL DEVELOPMENT

EARTHWORKS

SHEET 1 OF 2

188-002-C05

REVISION
B



LEGEND

AREAS OF FILL

AREAS OF CUT

18.70

18.68

FINISHED SURFACE LEVEL

NATURAL SURFACE LEVEL

FALL OF LOTS

DESIGN SURFACE CONTOURS
(0.2m INTERVAL)

EXISTING SURFACE CONTOURS
(0.2m INTERVAL)

REVISIONS						
	NO.	DATE	DESCRIPTION	DESIGN	APPROVED	
	B	08.07.21	OPW ISSUE	CW	DJW	
	A	05.03.21	INITIAL ISSUE			

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

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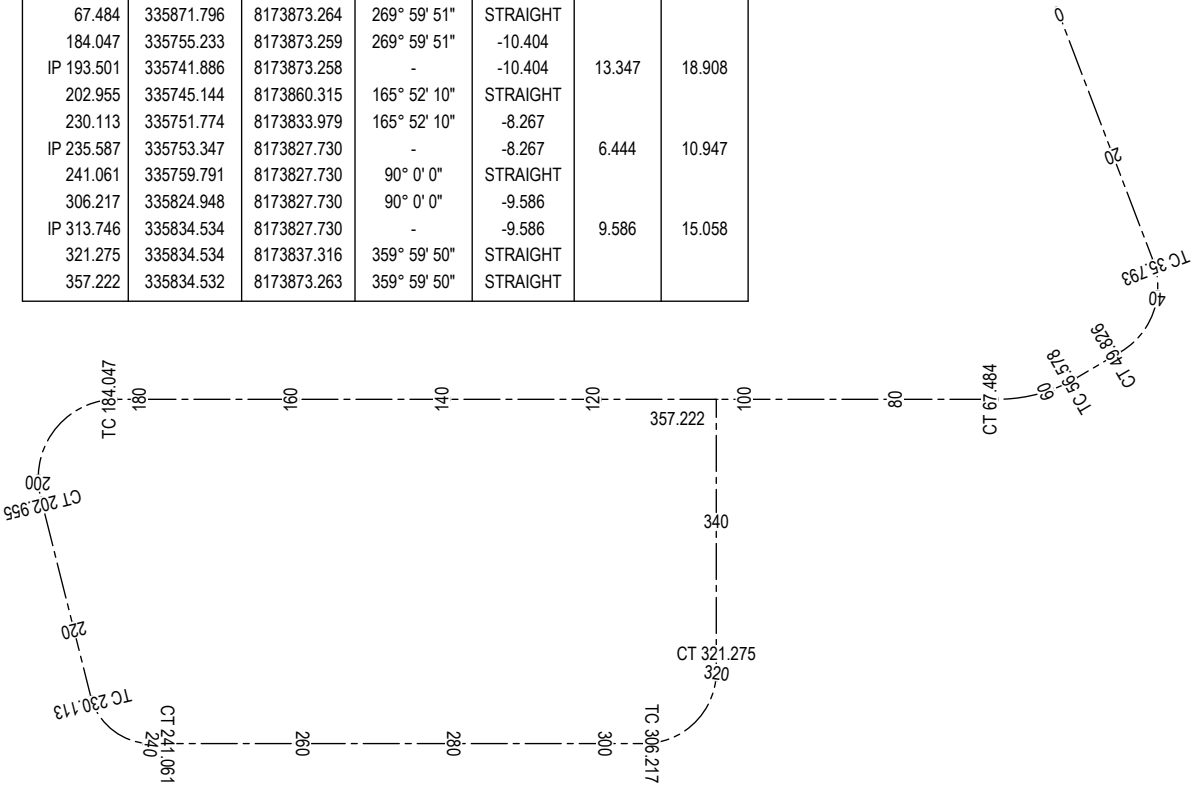
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CivilWalker
CONSULTING ENGINEERS

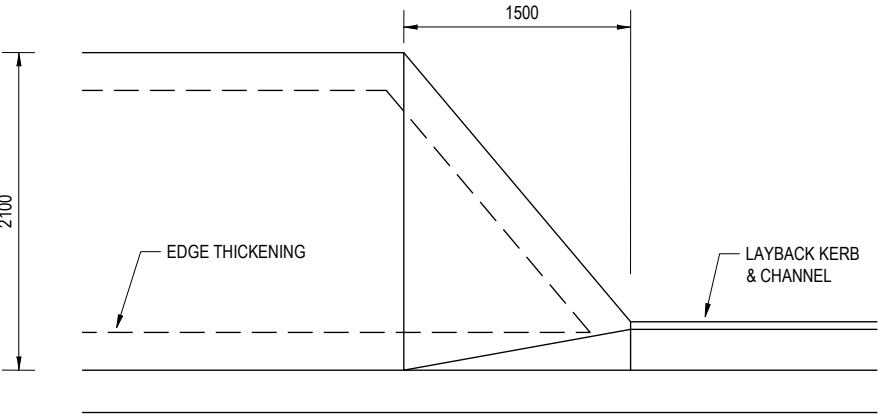
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DESIGNED	DJW	CHECKED	DJW
APPROVED	ORIGINAL CERTIFIED BY D.J.WALKER		
DATE: 08.07.21 RPEQ: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT	
EARTHWORKS	
SHEET 2 OF 2	
DRAWING NO.	188-002-C06
REVISION	B

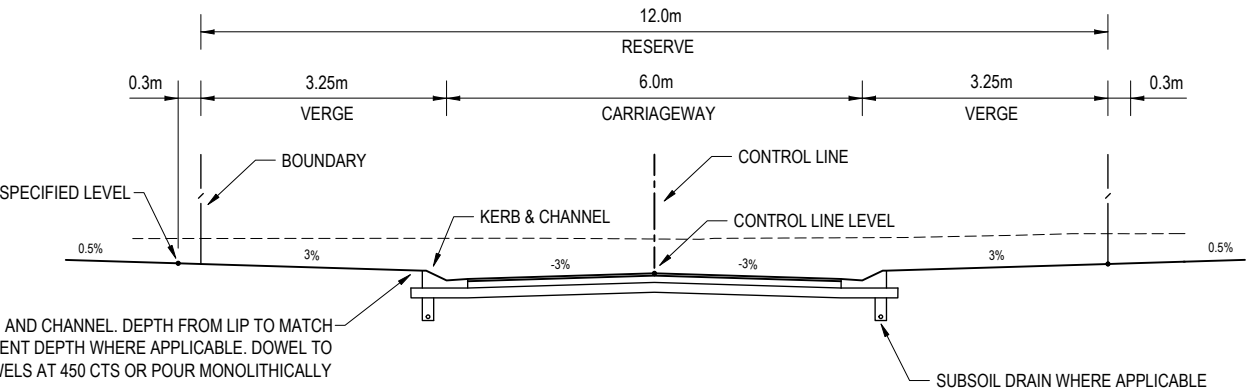
CHAINAGE	COORDINATES		BEARING DEG MIN SEC	RADIUS OF CURVATURE	TANGENT LENGTH	ARC LENGTH
	EASTING	NORTHING				
0.000	335879.521	8173925.147	159° 6' 40"	STRAIGHT		
35.793	335892.283	8173891.707	159° 6' 40"	10.000		
IP 42.810	335895.296	8173883.811	-	10.000	8.451	14.033
49.826	335888.013	8173879.523	239° 30' 56"	STRAIGHT		
56.578	335882.195	8173876.098	239° 30' 56"	20.500		
IP 62.031	335877.381	8173873.265	-	20.500	5.585	10.906
67.484	335871.796	8173873.264	269° 59' 51"	STRAIGHT		
184.047	335755.233	8173873.259	269° 59' 51"	-10.404		
IP 193.501	335741.886	8173873.258	-	-10.404	13.347	18.908
202.955	335745.144	8173860.315	165° 52' 10"	STRAIGHT		
230.113	335751.774	8173833.979	165° 52' 10"	-8.267		
IP 235.587	335753.347	8173827.730	-	-8.267	6.444	10.947
241.061	335759.791	8173827.730	90° 0' 0"	STRAIGHT		
306.217	335824.948	8173827.730	90° 0' 0"	-9.586		
IP 313.746	335834.534	8173827.730	-	-9.586	9.586	15.058
321.275	335834.534	8173837.316	359° 59' 50"	STRAIGHT		
357.222	335834.532	8173873.263	359° 59' 50"	STRAIGHT		



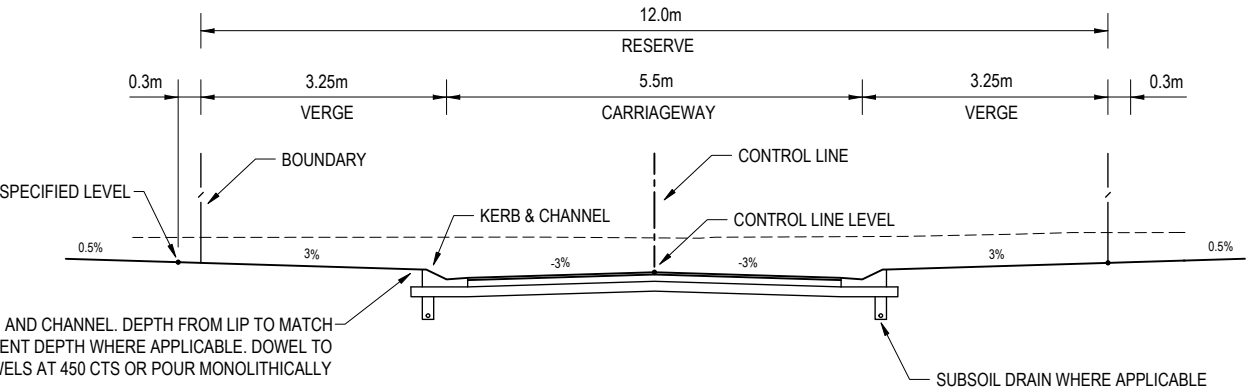
ROAD A CONTROL LINE SETOUT DETAILS



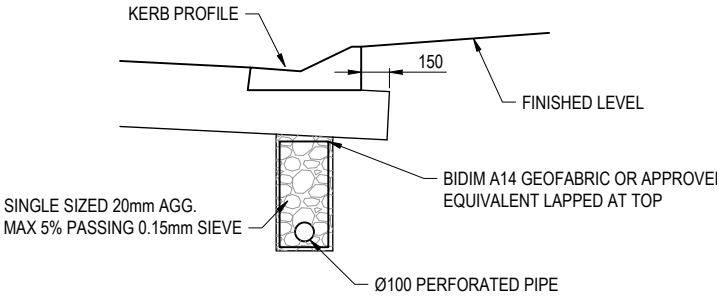
CAR PARK DETAIL - PARALLEL TO ROAD
N.T.S.



ROAD A - TYPICAL SECTION
CH 0 - 60.000
N.T.S



ROAD A - TYPICAL SECTION
CH 70.000 - END
N.T.S

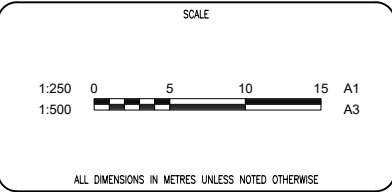


SUB SURFACE DRAINAGE DETAIL
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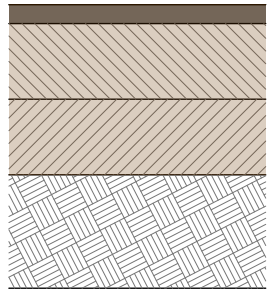
NOTE: NOT REQUIRED IF SAND SUBGRADE.
ENGINEER TO MAKE DECISION DURING CONSTRUCTION

REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

CLIENT
PORT PACIFIC DEVELOPMENTS



DRAWN CW	CHECKED CW	OVER 50s RESIDENTIAL DEVELOPMENT	
DESIGNED DJW	CHECKED DJW	TYPICAL SECTIONS & DETAILS	
APPROVED ORIGINAL CERTIFIED BY D.J.WALKER		SHEET 1 OF 2	
DATE: 08.07.21 RREQ: 19806		DRAWING NO. 188-002-C07	REVISION B



30mm DG10 DENSE GRADED ASPHALT

100mm TYPE 2.2 SUBBASE (CBR60) COMPACTED TO MIN DENSITY RATIO OF 100% SRDD

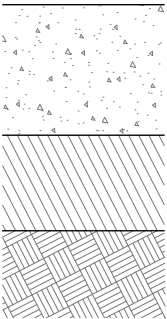
100mm TYPE 2.3 SUBBASE (CBR45) COMPACTED TO MIN DENSITY RATIO OF 100% SRDD

SUBGRADE (4-DAY SOAKED CBR 7%) COMPACTED TO 98% SRDD

FLEXIBLE PAVEMENT

PAVEMENT DETAILS

NOTE
PROVISIONAL PAVEMENT DESIGN IS BASED ON AN ASSUMED SUBGRADE SOAKED CBR OF 10. THE CONTRACTOR IS TO CONFIRM SUBGRADE CBR DURING CONSTRUCTION AND THE PAVEMENT DESIGN MAY BE AMENDED ACCORDINGLY. SUBBASE LAYER MAY NOT BE REQUIRED IF SAND SUBGRADE PRESENT. ENGINEER TO CONFIRM DURING CONSTRUCTION.



150mm N32 CONCRETE WITH SL82 MESH PLACED CENTRALLY. MAX AGG SIZE 20mm. SLUMP 80mm.

1 LAYER 0.2mm VISQUEEN PLASTIC

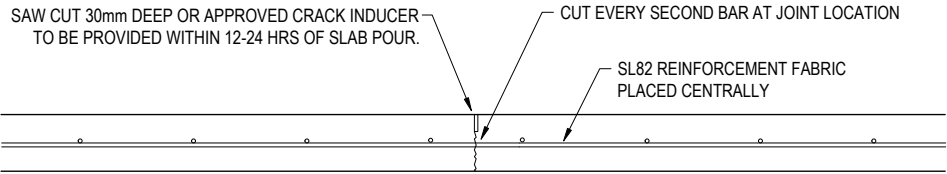
100mm TYPE 2.4 SUBBASE COMPACTED TO MIN DENSITY RATIO OF 100% SRDD

SUBGRADE (ASSUMED 4-DAY SOAKED CBR 7%) COMPACTED TO 98% SRDD

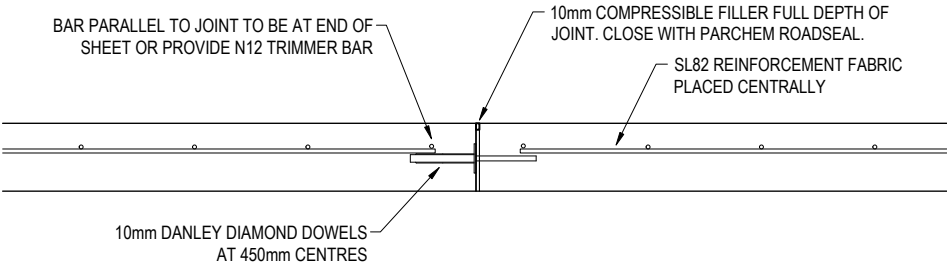
CONCRETE PAVEMENT

N.T.S.

CONCRETE TO HAVE BLACK COLOUR ADDITIVE ADDED

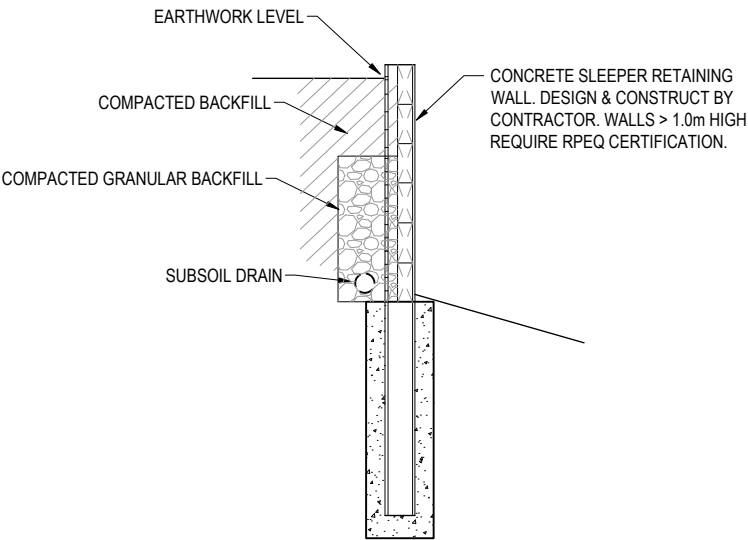


CONTRACTION JOINT DETAIL (CJ)

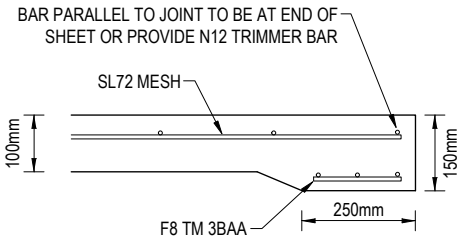


EXPANSION JOINT DETAIL (EJ)

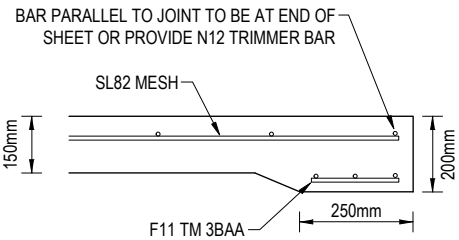
INSTALL DANLEY DOWELS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THESE ARE AVAILABLE FROM www.danley.com.au/upload/modules/document_loader/Danley_Diamond_Dowel_Datasheet_2016.pdf



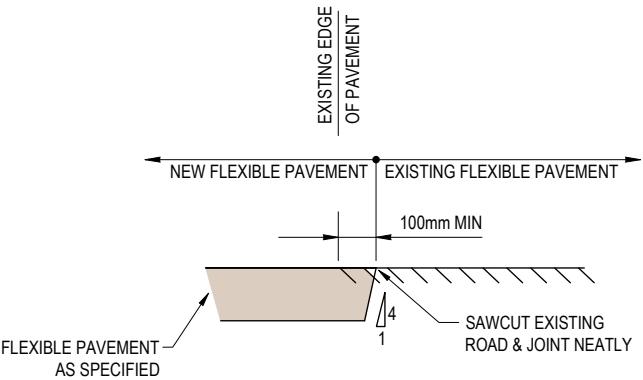
TYPICAL SLEEPER RETAINING WALL DETAIL



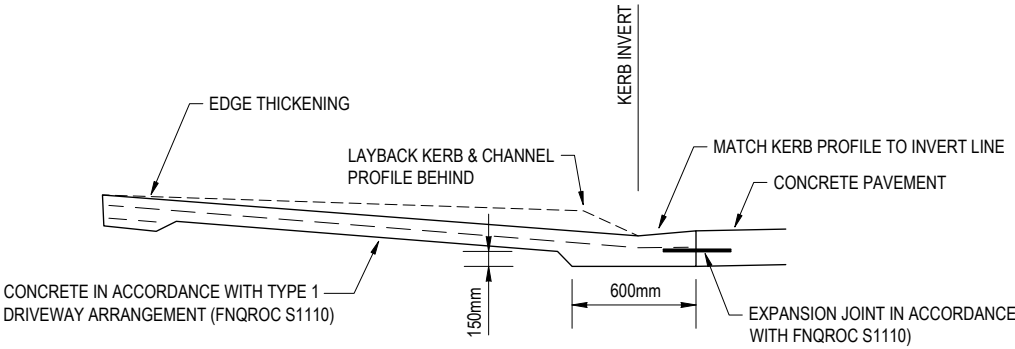
EDGE THICKENING - CAR PARK



EDGE THICKENING - ROAD



JOINT TO EXISTING PAVEMENT



CAR PARK DETAIL - CH 50 TO 70

REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
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CLIENT
PORT PACIFIC DEVELOPMENTS

SCALE
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ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE



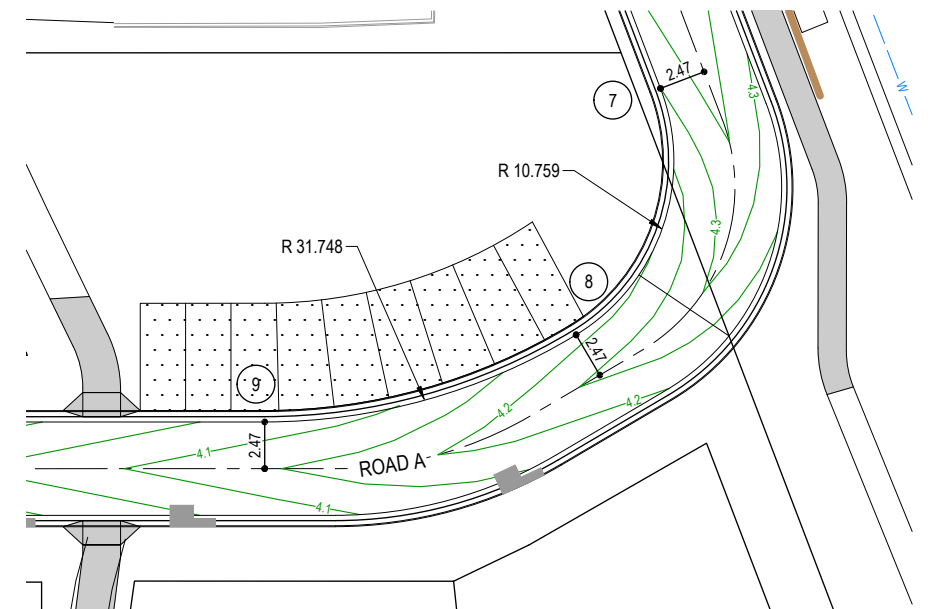
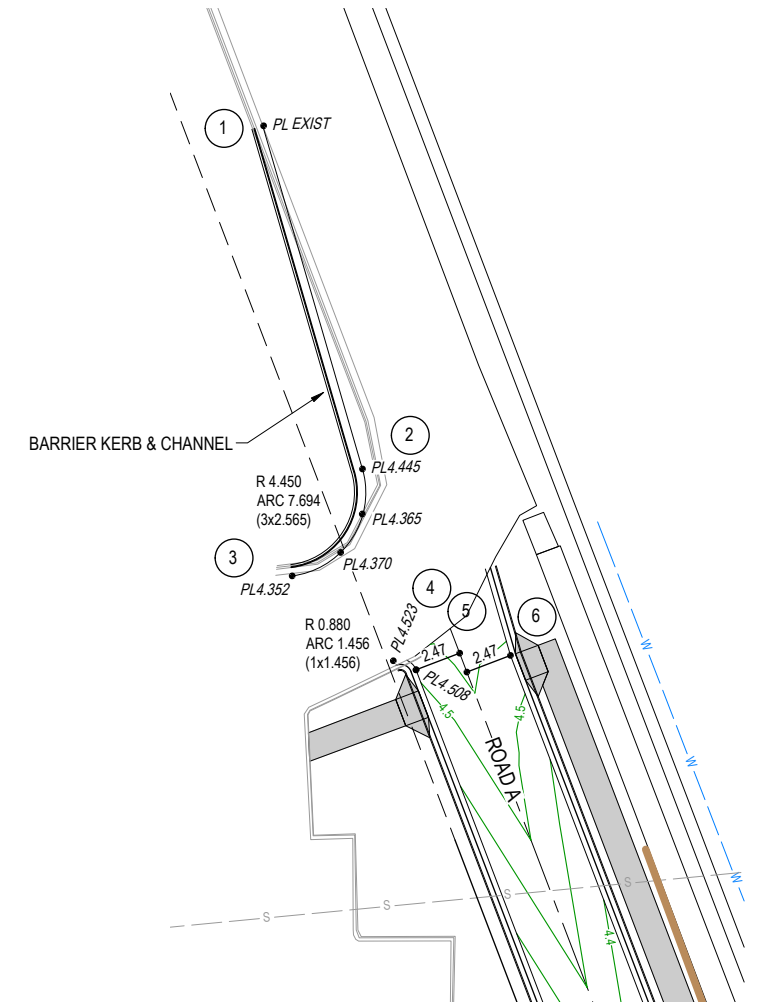
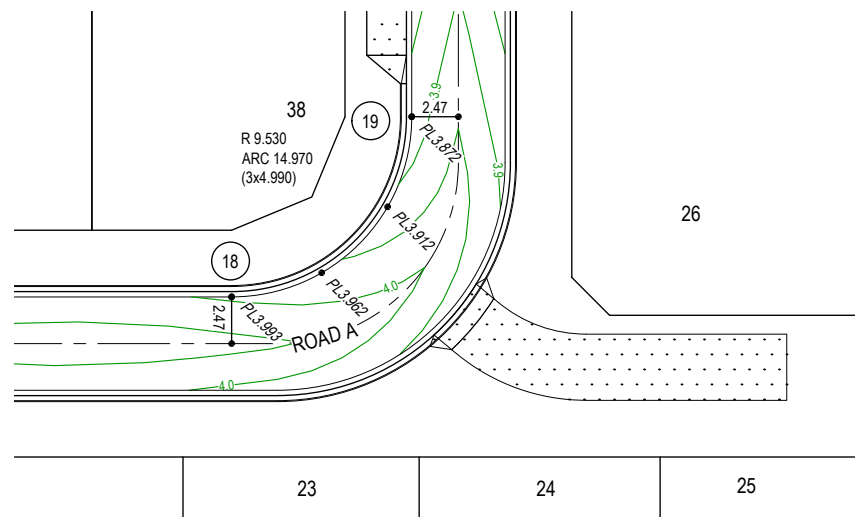
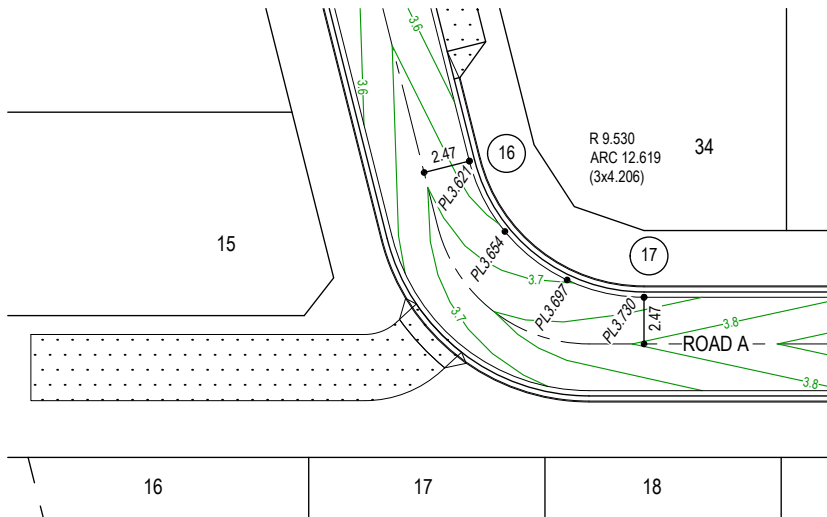
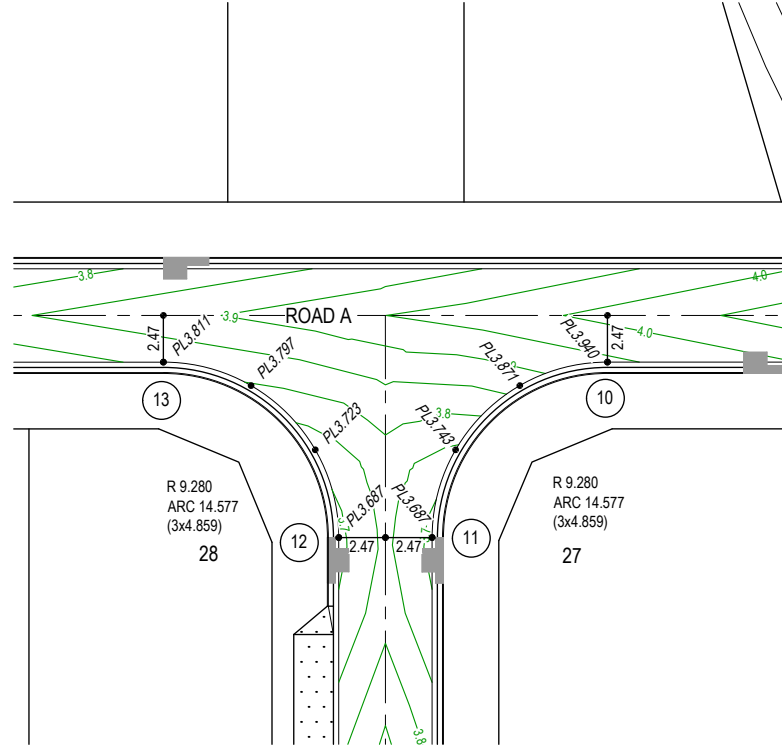
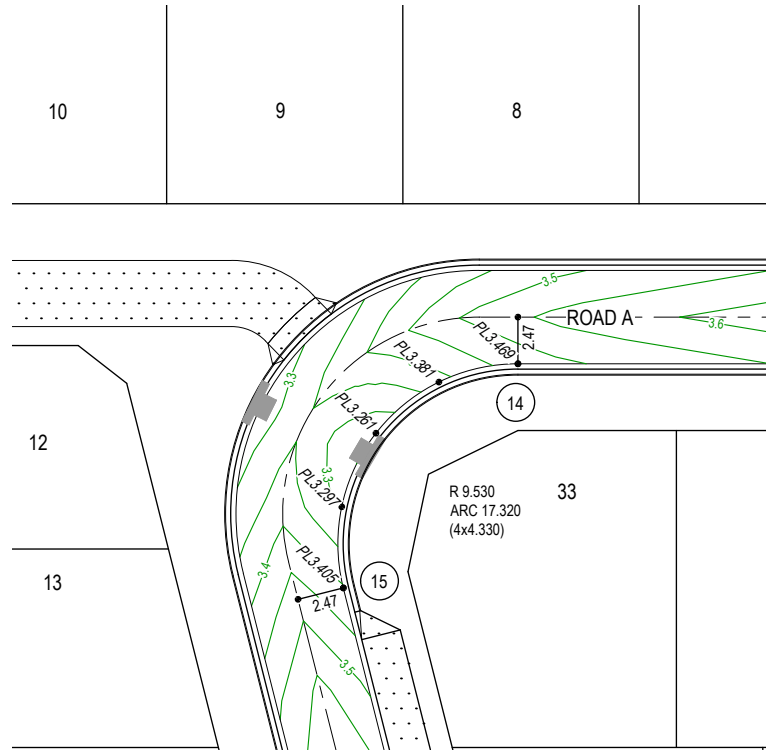
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DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RPEQ: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT	
TYPICAL SECTIONS & DETAILS	
SHEET 2 OF 2	
DRAWING NO. 188-002-C08	REVISION B

LEGEND

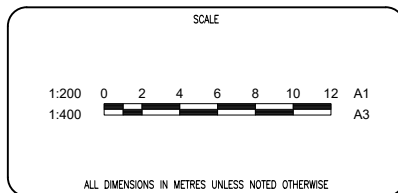
- PL44.956 PAVEMENT LEVEL AT KERB LIP
- # SETOUT POINT
- TANGENT POINT
- ==== LKC LAYBACK KERB & CHANNEL (UNLESS NOTED OTHERWISE)

NOTE: MODEL TO BE PROVIDED TO CONSTRUCTION CONTRACTOR, THEREFORE NO COORDINATES DOCUMENTED ON DRAWING



REV	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
B	08.07.21	OPW ISSUE		CW	DJW
A	05.03.21	INITIAL ISSUE			

CLIENT
PORT PACIFIC DEVELOPMENTS



DRAWN	CW	CHECKED	CW
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APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RPEQ: 19806			

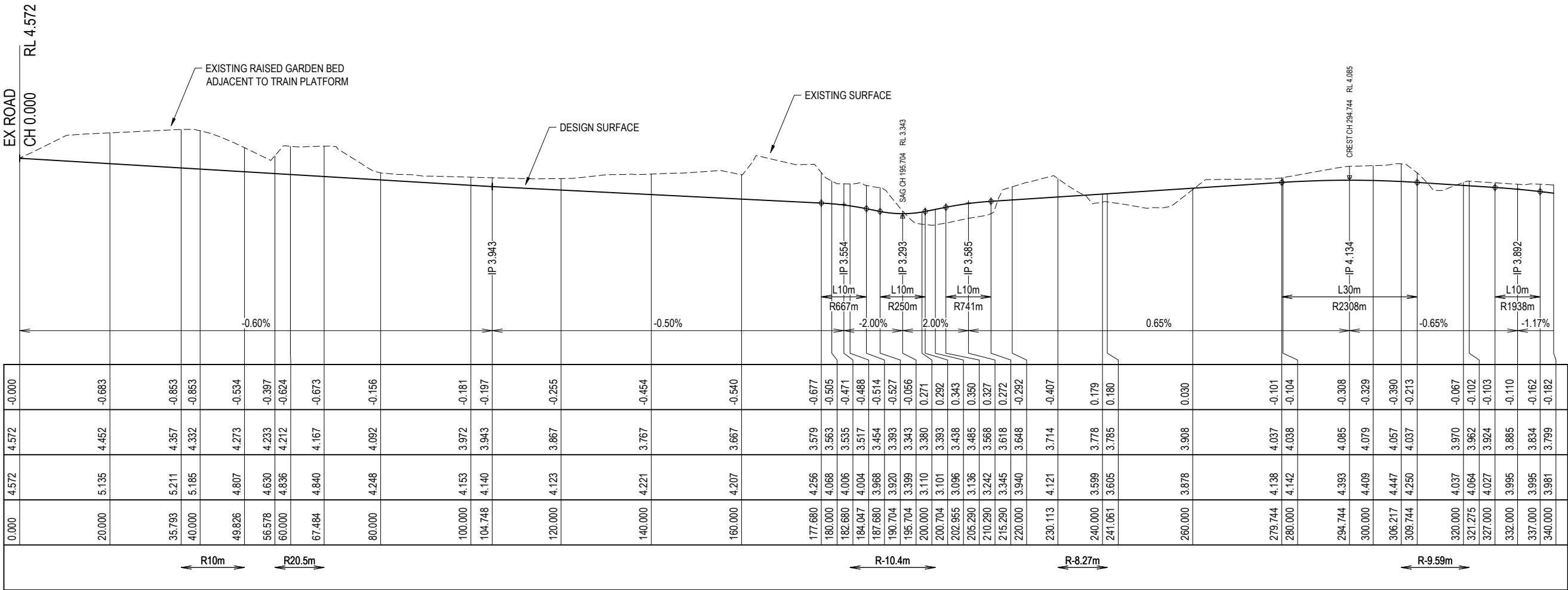
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INTERSECTION DETAILS	
DRAWING NO.	188-002-C09
REVISION	B

VERTICAL CURVE

VERTICAL GRADE

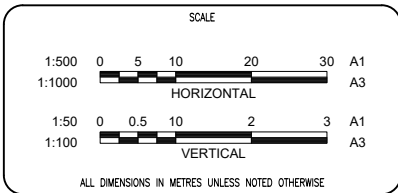
DATUM RL 0.0

CUT - FILL +
DESIGN SURFACE LEVEL
EXISTING SURFACE LEVEL
CHAINAGE
HORIZONTAL DATA



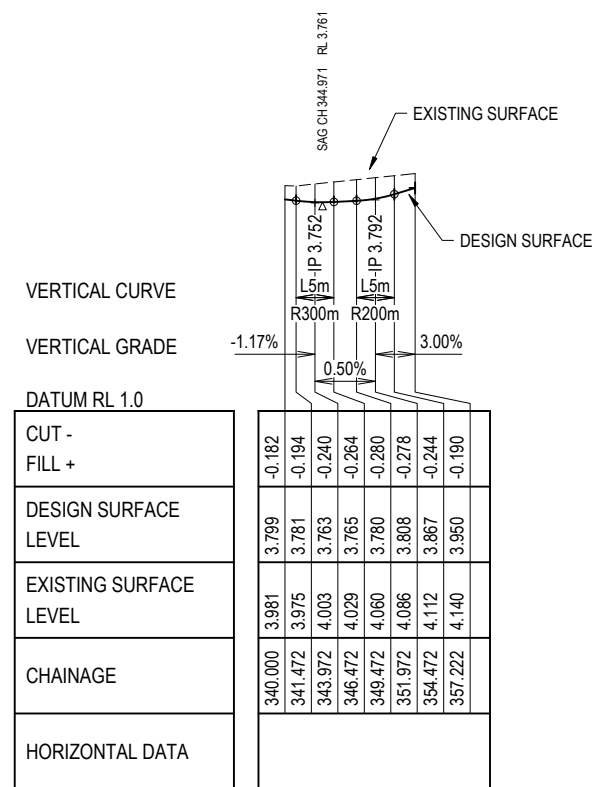
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	A	05.03.21	INITIAL ISSUE		

CLIENT
PORT PACIFIC DEVELOPMENTS



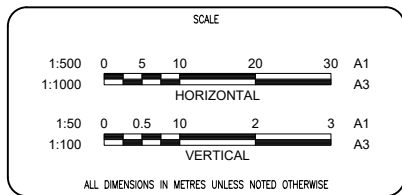
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APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RPEQ: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT	
ROAD A LONGITUDINAL SECTION	
SHEET 1 OF 2	
DRAWING NO.	REVISION
188-002-C10	B

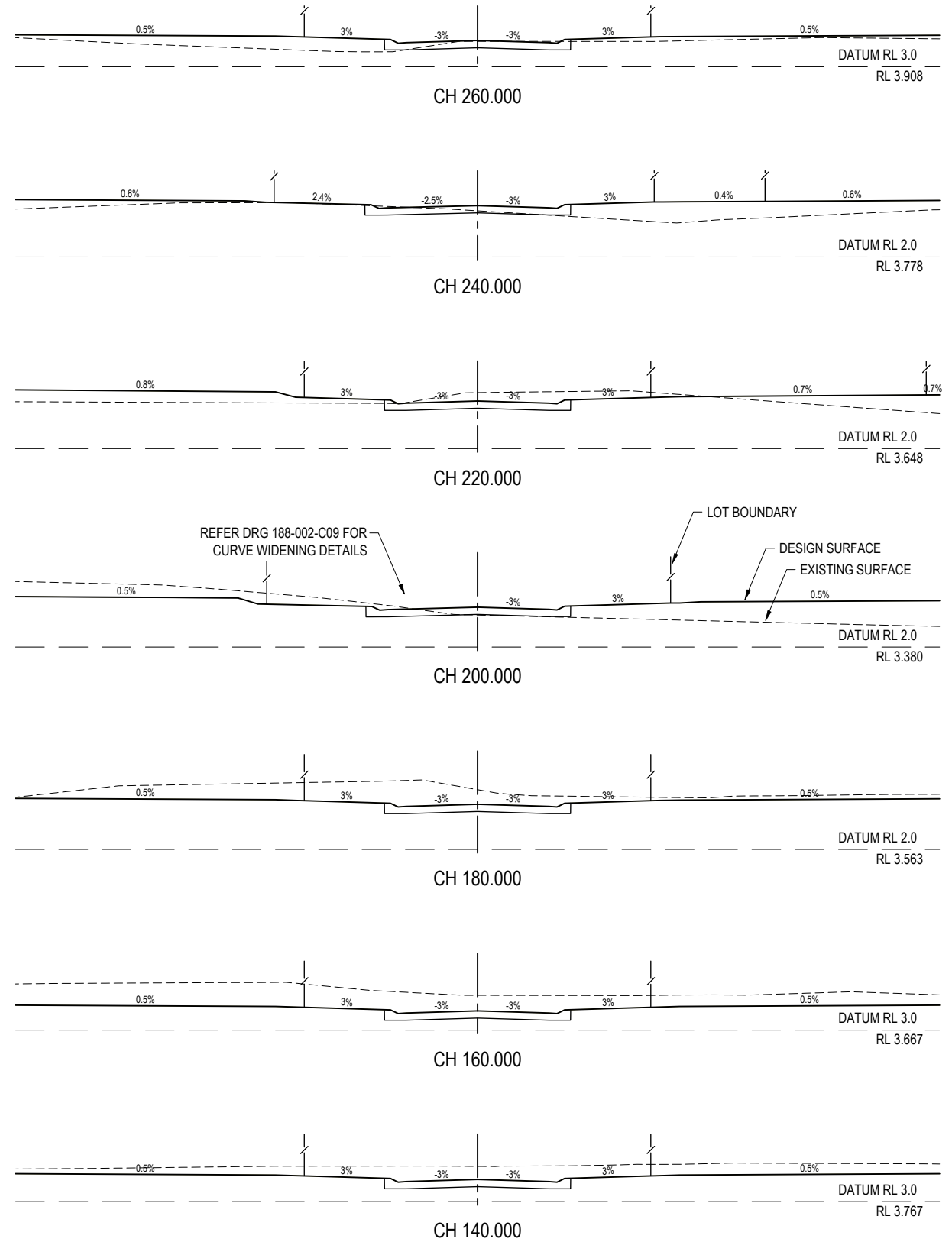
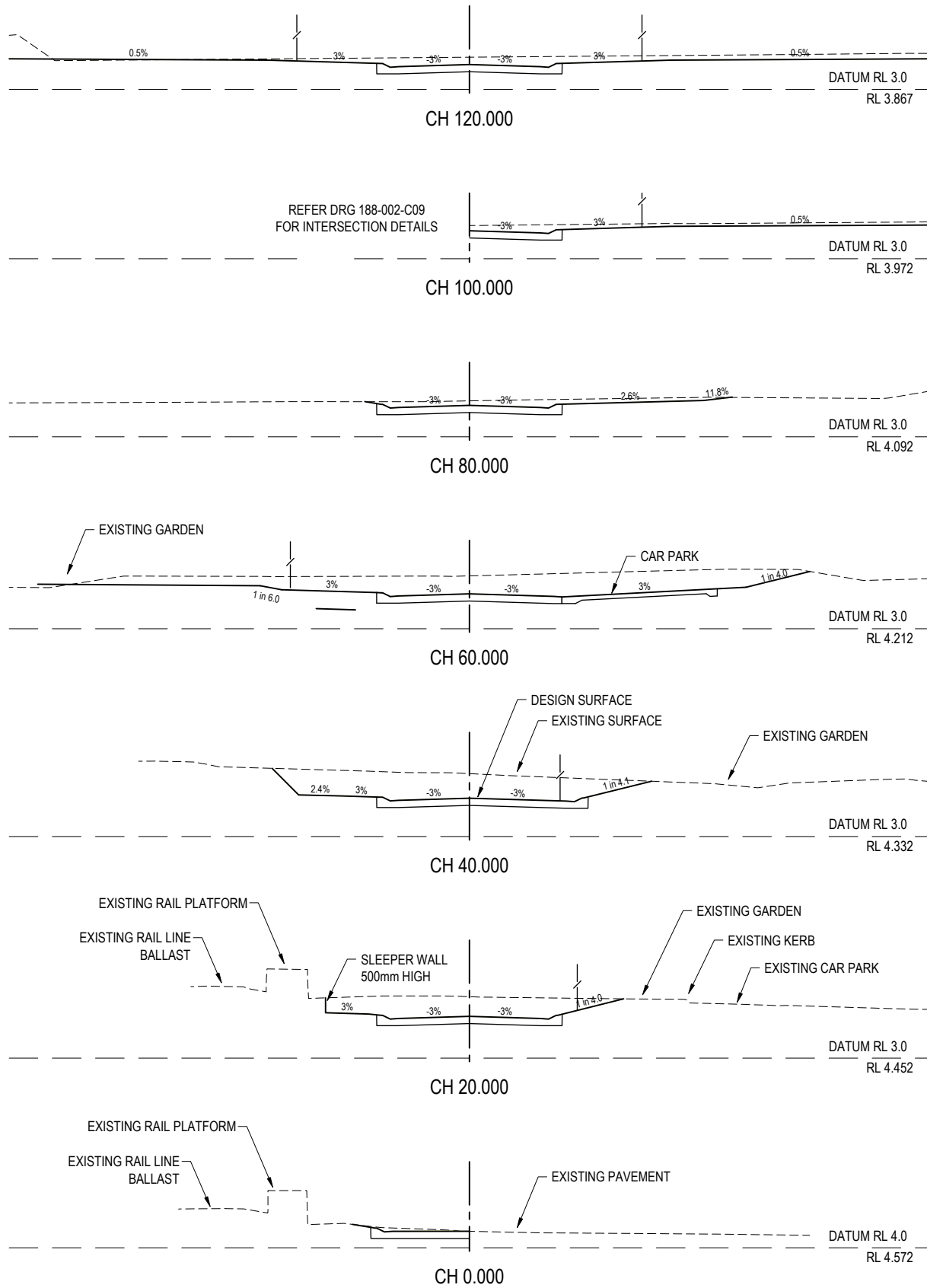


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	A	05.03.21	INITIAL ISSUE		
	NO.	DATE	DESCRIPTION	DESIGN	APPROVED

CLIENT
PORT PACIFIC DEVELOPMENTS

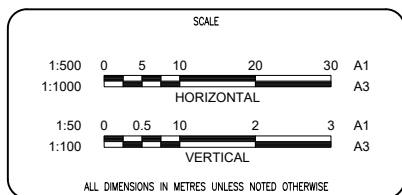


DRAWN CW	CHECKED CW	OVER 50s RESIDENTIAL DEVELOPMENT	
DESIGNED DJW	CHECKED DJW	ROAD A LONGITUDINAL SECTION	
APPROVED		SHEET 2 OF 2	
ORIGINAL CERTIFIED BY D.J.WALKER		DRAWING NO. 188-002-C11	REVISION B
DATE: 08.07.21 RPEQ: 19806			

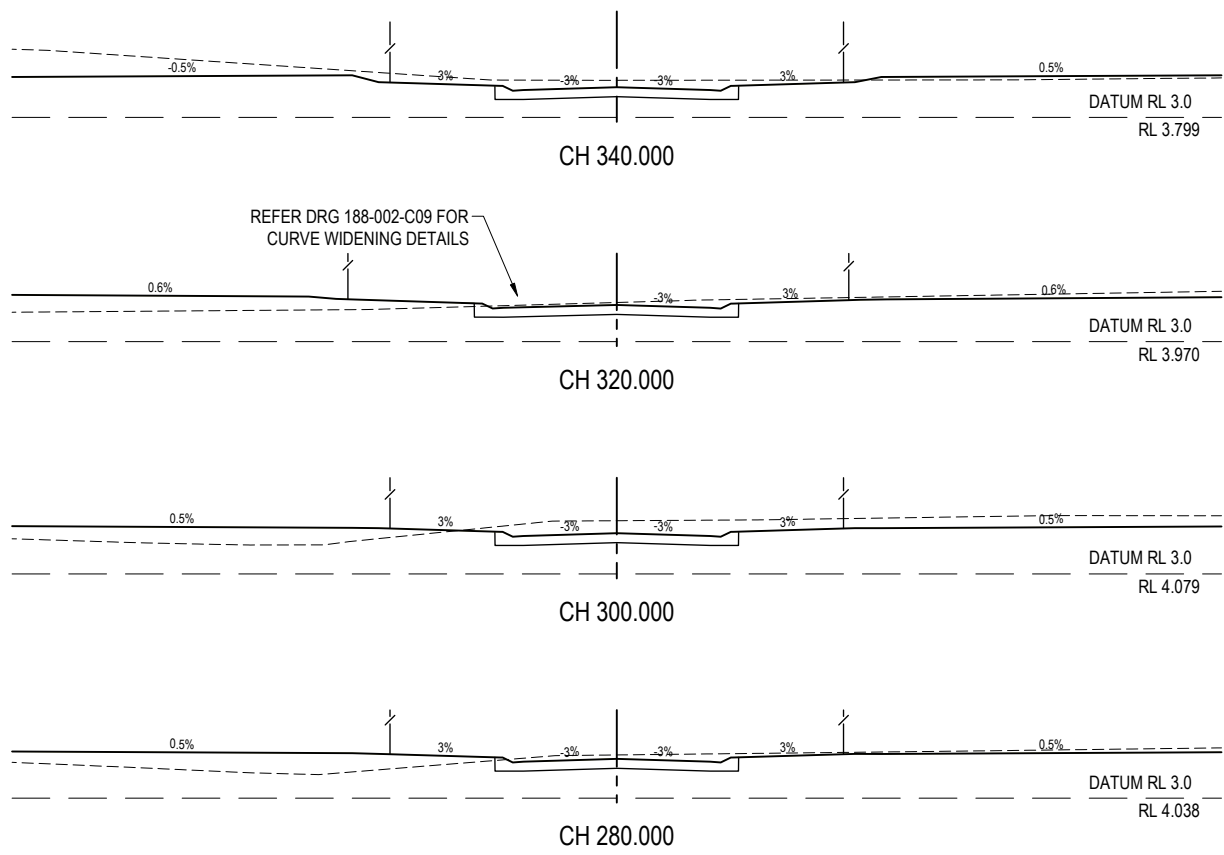


REVISIONS					
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	A	05.03.21	INITIAL ISSUE		

CLIENT
PORT PACIFIC DEVELOPMENTS

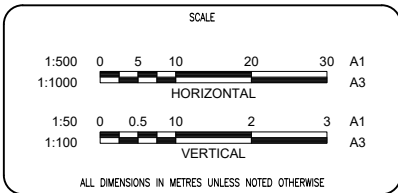


DRAWN CW	CHECKED CW	OVER 50s RESIDENTIAL DEVELOPMENT	
DESIGNED DJW	CHECKED DJW	ROAD A CROSS SECTIONS	
APPROVED		SHEET 1 OF 2	
ORIGINAL CERTIFIED BY D.J.WALKER		DRAWING NO. 188-002-C12	REVISION B
DATE: 08.07.21 RPEQ: 19806			

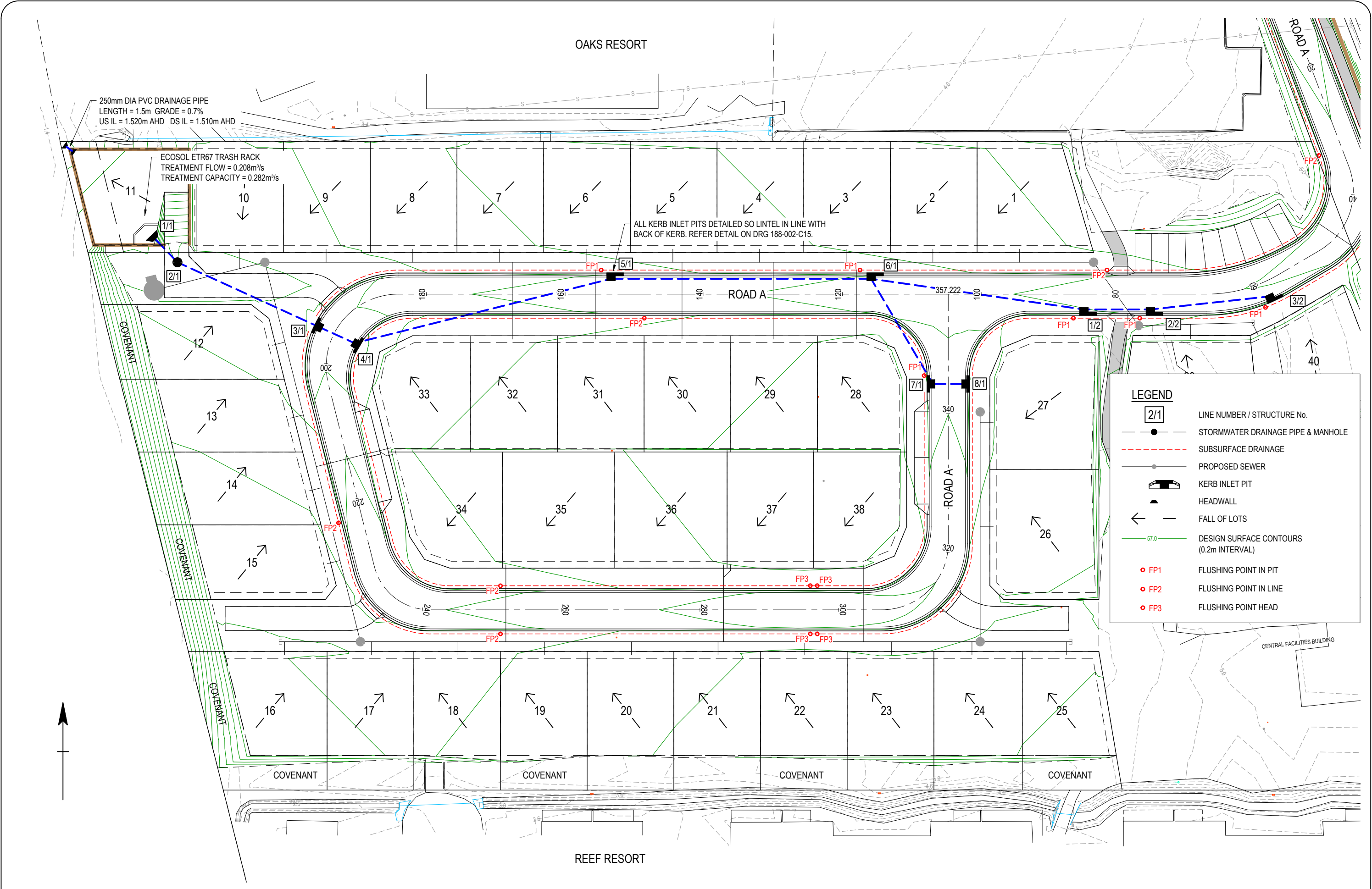


REVISIONS					
B	08.07.21	OPW ISSUE	CW	DJW	
A	05.03.21	INITIAL ISSUE			
NO.	DATE	DESCRIPTION	DESIGN	APPROVED	

CLIENT
PORT PACIFIC DEVELOPMENTS



DRAWN	CW	CHECKED	CW	OVER 50s RESIDENTIAL DEVELOPMENT				
DESIGNED	DJW	CHECKED	DJW	ROAD A CROSS SECTIONS				
APPROVED	ORIGINAL CERTIFIED BY D.J.WALKER			SHEET 2 OF 2				
DATE:08.07.21 RPEQ: 19806				DRAWING NO.	188-002-C13			
				REVISION	B			



LEGEND

- 2/1 LINE NUMBER / STRUCTURE No.
- STORMWATER DRAINAGE PIPE & MANHOLE
- - - SUBSURFACE DRAINAGE
- - - PROPOSED SEWER
- ▬ KERB INLET PIT
- ▴ HEADWALL
- ← FALL OF LOTS
- 57.0 DESIGN SURFACE CONTOURS (0.2m INTERVAL)
- FP1 FLUSHING POINT IN PIT
- FP2 FLUSHING POINT IN LINE
- FP3 FLUSHING POINT HEAD

REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

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ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

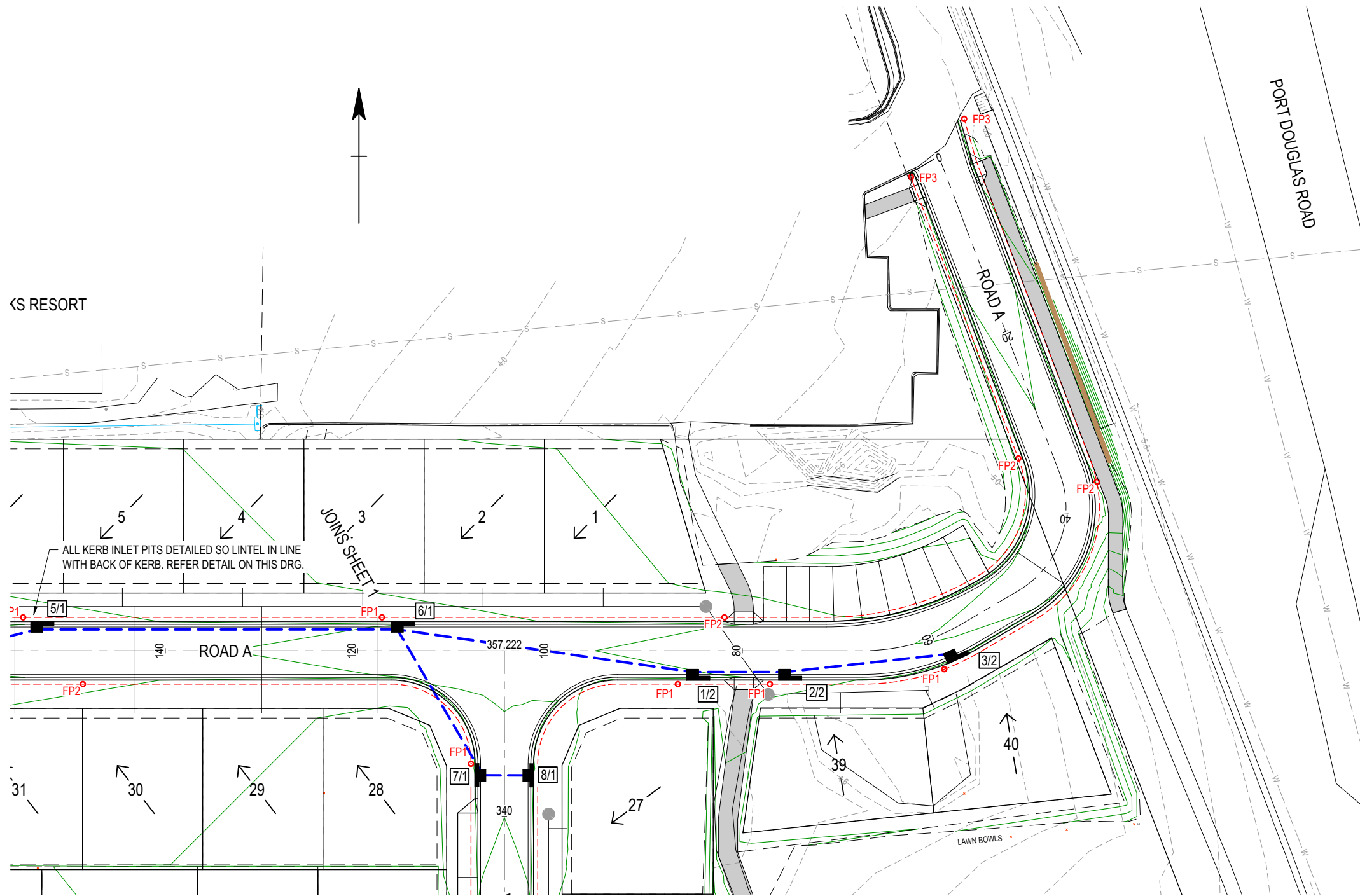
CivilWalker
CONSULTING ENGINEERS

DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			

ORIGINAL CERTIFIED BY
D.J.WALKER

DATE: 08.07.21 RPEQ: 19806

OVER 50s RESIDENTIAL DEVELOPMENT		DRAWING NO.	REVISION
STORMWATER DRAINAGE LAYOUT			
SHEET 1 OF 2		188-002-C14	B

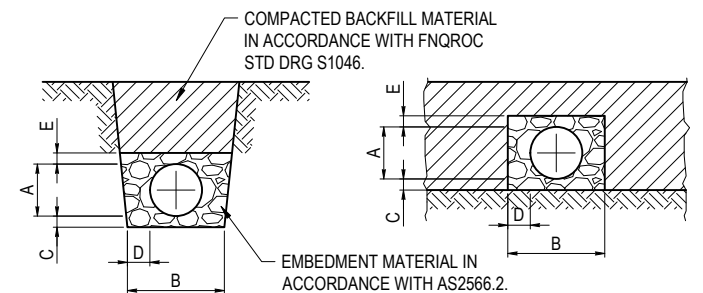


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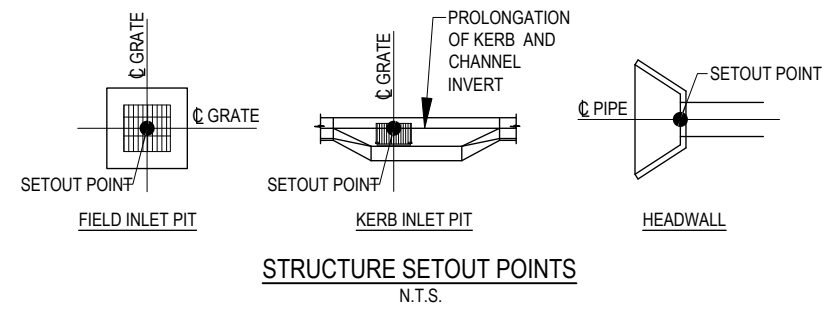
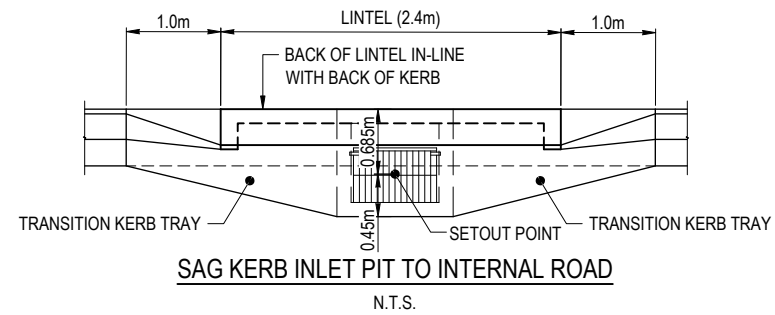
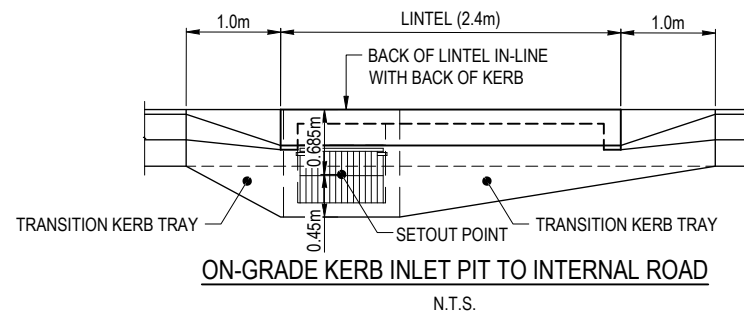
- 2/1 LINE NUMBER / STRUCTURE No.
- STORMWATER DRAINAGE PIPE & MANHOLE
- - - - SUBSURFACE DRAINAGE
- PROPOSED SEWER
- ▬ KERB INLET PIT
- ▬ HEADWALL
- ← FALL OF LOTS
- 57.0 DESIGN SURFACE CONTOURS (0.2m INTERVAL)
- FP1 FLUSHING POINT IN PIT
- FP2 FLUSHING POINT IN LINE
- FP3 FLUSHING POINT HEAD

BLACKMAX PIPE BEDDING DIMENSIONS

DN	DIMENSIONS (mm)				
	A	B	C	D	E
225	259	560	100	150	150
300	344	645	100	150	150
375	428	830	100	200	150
450	514	915	100	200	150
525	600	1200	150	300	150
600	682	1285	150	300	150



BLACKMAX PIPE BEDDING DETAILS
N.T.S.



REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

1:250 0 5 10 15 A1
1:500

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

CivilWalker
CONSULTING ENGINEERS

DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			

ORIGINAL CERTIFIED BY
D.J.WALKER

DATE: 08.07.21 RPEQ: 19806

OVER 50s RESIDENTIAL DEVELOPMENT		REVISION
STORMWATER DRAINAGE LAYOUT		
SHEET 2 OF 2		B
DRAWING NO.	188-002-C15	

STRUCTURE NAME	8/1	7/1	6/1	5/1	4/1	3/1	2/1	1/1
STRUCTURE DESCRIPTION	SAG KERB INLET PIT; LINTEL TYPE S	SAG KERB INLET PIT; LINTEL TYPE S	ON-GRADE KERB INLET PIT; LINTEL TYPE S	ON-GRADE KERB INLET PIT; LINTEL TYPE S	SAG KERB INLET PIT; LINTEL TYPE S	SAG KERB INLET PIT; LINTEL TYPE S	MANHOLE	HEADWALL
PIPE SIZE (mm)	600	600	600	600	675	675	675	
PIPE CLASS	BlackMAX	BlackMAX	BlackMAX	BlackMAX	RCP (2)	RCP (2)	RCP (2)	
PIPE GRADE (%)	0.20%	0.20%	0.20%	0.20%	0.18%	0.18%	0.18%	
PIPE SLOPE (1 in X)	500.00	500.00	500.00	500.00	555.59	555.56	555.55	
FULL PIPE VELOCITY (m/s)	0.43	0.53	1.34	1.50	1.50	1.90	1.90	
PART FULL VELOCITY (m/s)	1.14	1.21	1.42	1.50	1.50	1.90	1.90	
DATUM RL	-3.0	-3.0	-3.0	-3.0	-3.0	-3.0	-3.0	-3.0
H.G.L IN PIPE & W.S.E IN STRUCTURE	3.476	3.419	3.391	3.227	3.043	2.884	2.587	2.520
PIPE FLOW (Cumecs)	0.121	0.149	0.380	0.424	0.537	0.682	0.678	
PIPE CAPACITY AT GRADE (Cumecs)	0.357	0.357	0.357	0.357	0.464	0.464	0.464	
DEPTH TO INVERT	1.554	1.563	1.583	1.649	1.364	1.420	1.475	0.001
INVERT LEVEL OF DRAIN	2.144	2.135	2.115	1.985	1.869	1.859	1.798	1.770
DESIGN SURFACE LEVEL	3.699	3.699	3.821	3.634	3.253	3.279	3.273	1.771
SETOUT COORDINATES	E 335836.763 N 8173860.303	E 335832.318 N 8173860.312	E 335823.406 N 8173875.477	E 335785.906 N 8173875.475	E 335748.925 N 8173866.192	E 335743.979 N 8173868.444	E 335723.378 N 8173877.857	E 335720.193 N 8173881.195
CHAINAGE	0.000	4.435	17.589	37.500	59.524	38.129	22.650	4.614

LINE

1

STRUCTURE NAME	3/2	2/2	1/2	6/1
STRUCTURE DESCRIPTION	ON-GRADE KERB INLET PIT; LINTEL TYPE S	ON-GRADE KERB INLET PIT; LINTEL TYPE S	ON-GRADE KERB INLET PIT; LINTEL TYPE S	ON-GRADE KERB INLET PIT; LINTEL TYPE S
PIPE SIZE (mm)	375	450	450	
PIPE CLASS	BlackMAX	BlackMAX	BlackMAX	
PIPE GRADE (%)	0.60%	0.61%	0.61%	
PIPE SLOPE (1 in X)	165.83	165.00	165.00	
FULL PIPE VELOCITY (m/s)	0.54	0.48	0.97	
PART FULL VELOCITY (m/s)	1.45	1.53	1.84	
DATUM RL	-3.0	-3.0	-3.0	-3.0
H.G.L IN PIPE & W.S.E IN STRUCTURE	3.621	3.538	3.529	3.398
PIPE FLOW (Cumecs)	0.060	0.076	0.154	
PIPE CAPACITY AT GRADE (Cumecs)	0.177	0.289	0.289	
DEPTH TO INVERT	1.496	1.501	1.576	1.611
INVERT LEVEL OF DRAIN	2.655	2.551	2.476	2.210
DESIGN SURFACE LEVEL	4.151	4.052	3.997	3.821
SETOUT COORDINATES	E 335880.867 N 8173872.940	E 335863.673 N 8173871.049	E 335854.466 N 8173871.049	E 335823.406 N 8173875.477
CHAINAGE	17.298	3.898	9.207	31.374

2

NO.	DATE	DESCRIPTION	DESIGN	APPROVED
B	08.07.21	OPW ISSUE	CW	DJW
A	05.03.21	INITIAL ISSUE		

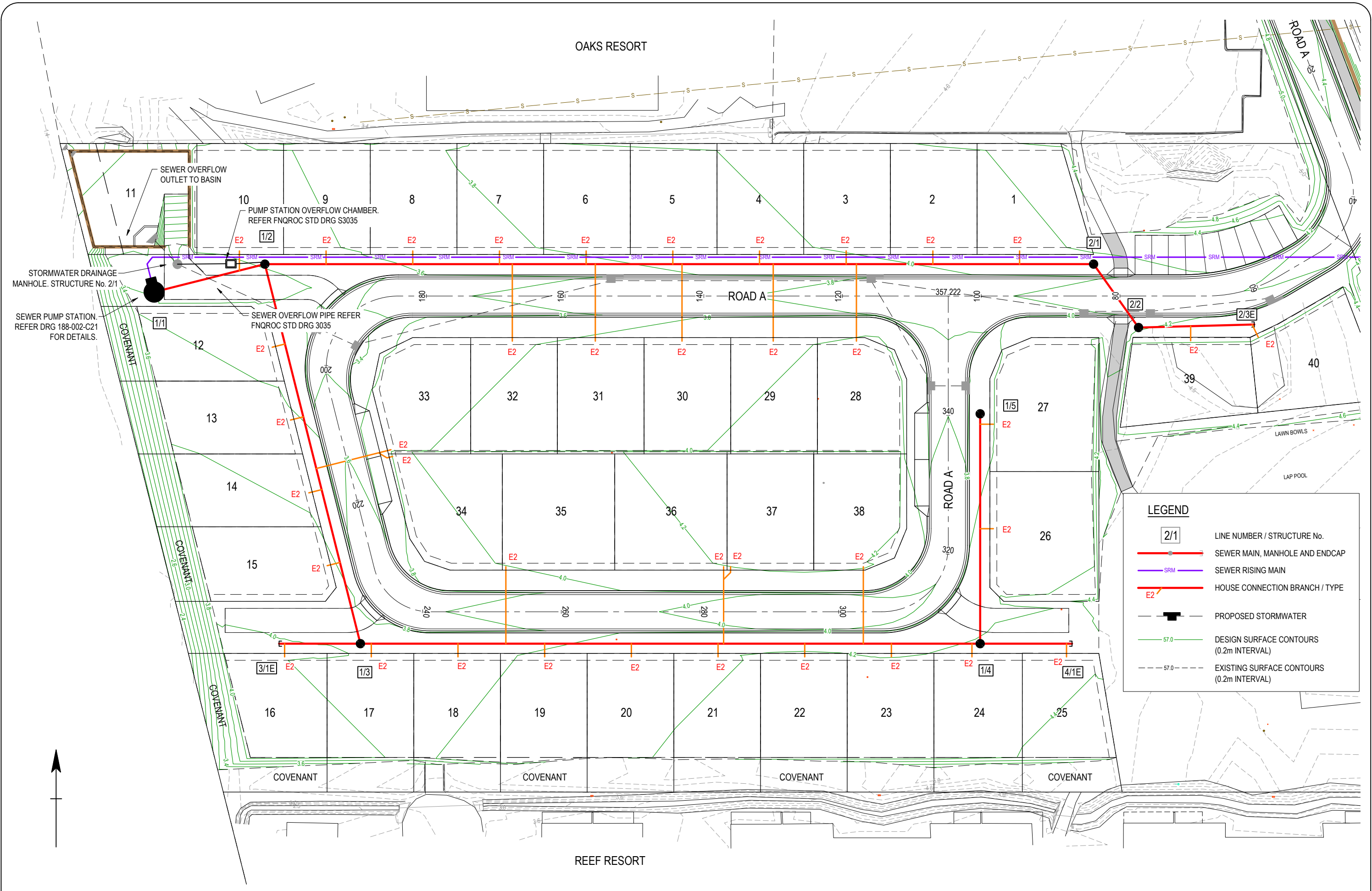
CLIENT	PORT PACIFIC DEVELOPMENTS
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HORIZONTAL	
1:50 0 0.5 1 2 3 A1	
1:100 0 0.5 1 2 3 A3	
VERTICAL	
ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE	

CivilWalker	CONSULTING ENGINEERS
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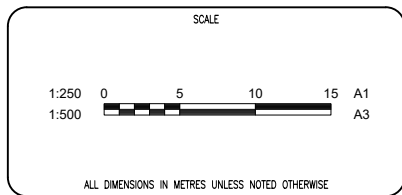
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DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY	D.J.WALKER		
DATE:08.07.21	RPEQ:19806		

OVER 50s RESIDENTIAL DEVELOPMENT	
STORMWATER DRAINAGE	
LONGITUDINAL SECTIONS	
DRAWING NO.	188-002-C16
REVISION	B



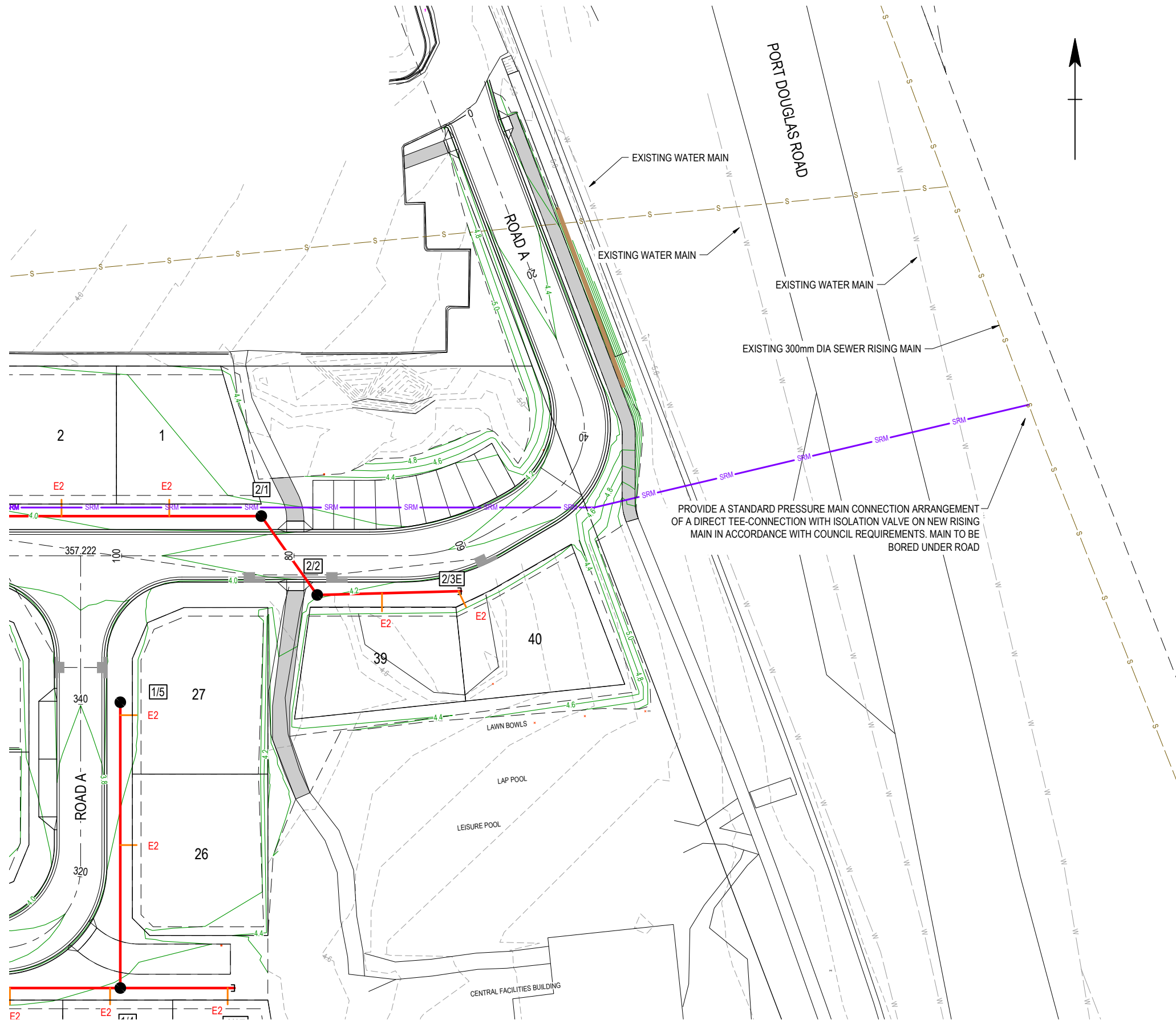
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B	08.07.21	OPW ISSUE		CW	DJW	
A	05.03.21	INITIAL ISSUE				

CLIENT
PORT PACIFIC DEVELOPMENTS



DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RPEQ: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT	
SEWER RETICULATION	
SHEET 1 OF 2	
DRAWING NO.	REVISION
188-002-C17	B



LEGEND

2/1

LINE NUMBER / STRUCTURE No.

SEWER MAIN, MANHOLE AND ENDCAP

SRM

SEWER RISING MAIN

E2

HOUSE CONNECTION BRANCH / TYPE

PROPOSED STORMWATER

57.0

DESIGN SURFACE CONTOURS
(0.2m INTERVAL)

57.0

EXISTING SURFACE CONTOURS
(0.2m INTERVAL)

REVISIONS				
NO.	DATE	DESCRIPTION	DESIGN	APPROVED
B	08.07.21	OPW ISSUE	CW	DJW
A	05.03.21	INITIAL ISSUE		

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

1:250

0

5

10

15

A1

A3

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

CivilWalker

CONSULTING ENGINEERS

DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED	ORIGINAL CERTIFIED BY D.J.WALKER		
DATE: 08.07.21		RPEQ: 19806	

OVER 50s RESIDENTIAL DEVELOPMENT

SEWER RETICULATION

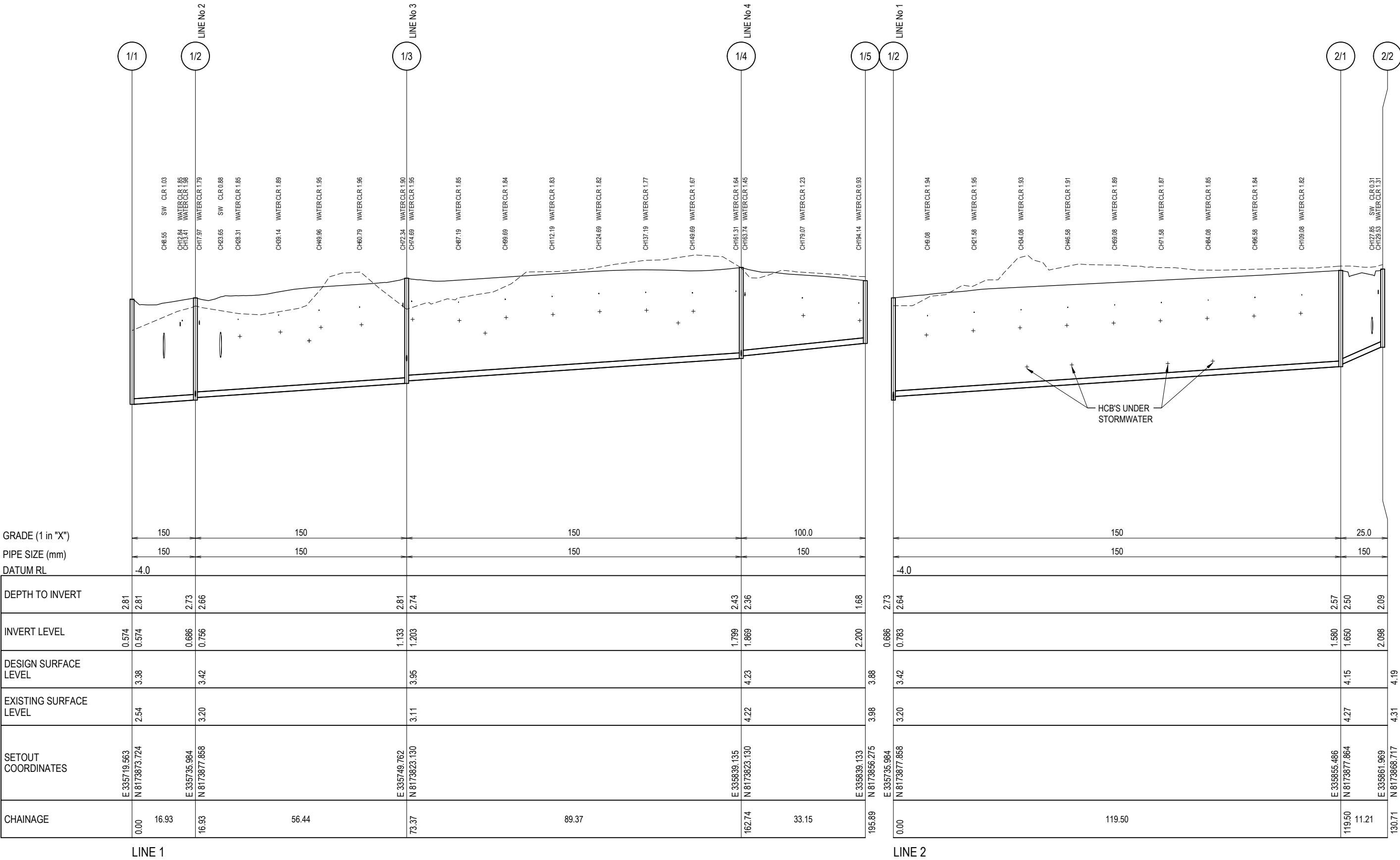
SHEET 2 OF 2

DRAWING NO. 188-002-C18

REVISION B

LEGEND

+ PROPERTY CONNECTION BRANCH



REVISIONS				
NO.	DATE	DESCRIPTION	DESIGN	APPROVED
B	08.07.21	OPW ISSUE	CW	DJW
A	05.03.21	INITIAL ISSUE		

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

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1:1000 0 5 10 20 30 A3

HORIZONTAL

1:50 0 0.5 1 2 3 A1

1:100 0 0.5 1 2 3 A3

VERTICAL

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

 **CivilWalker**
CONSULTING ENGINEERS

DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RPEQ: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT

SEWER LONGITUDINAL SECTIONS

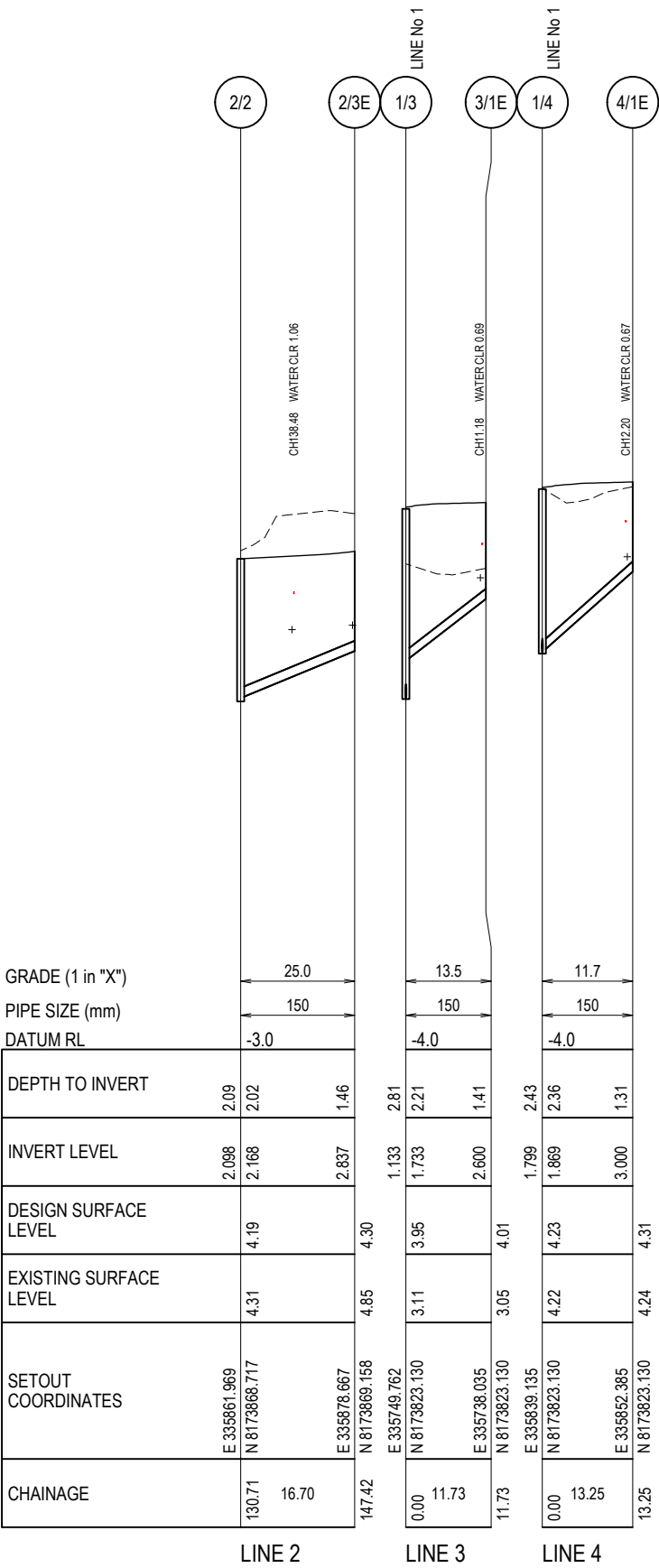
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DRAWING NO. 188-002-C19

REVISION B

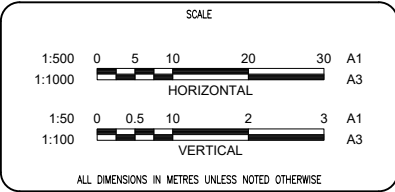
LEGEND

+ PROPERTY CONNECTION BRANCH

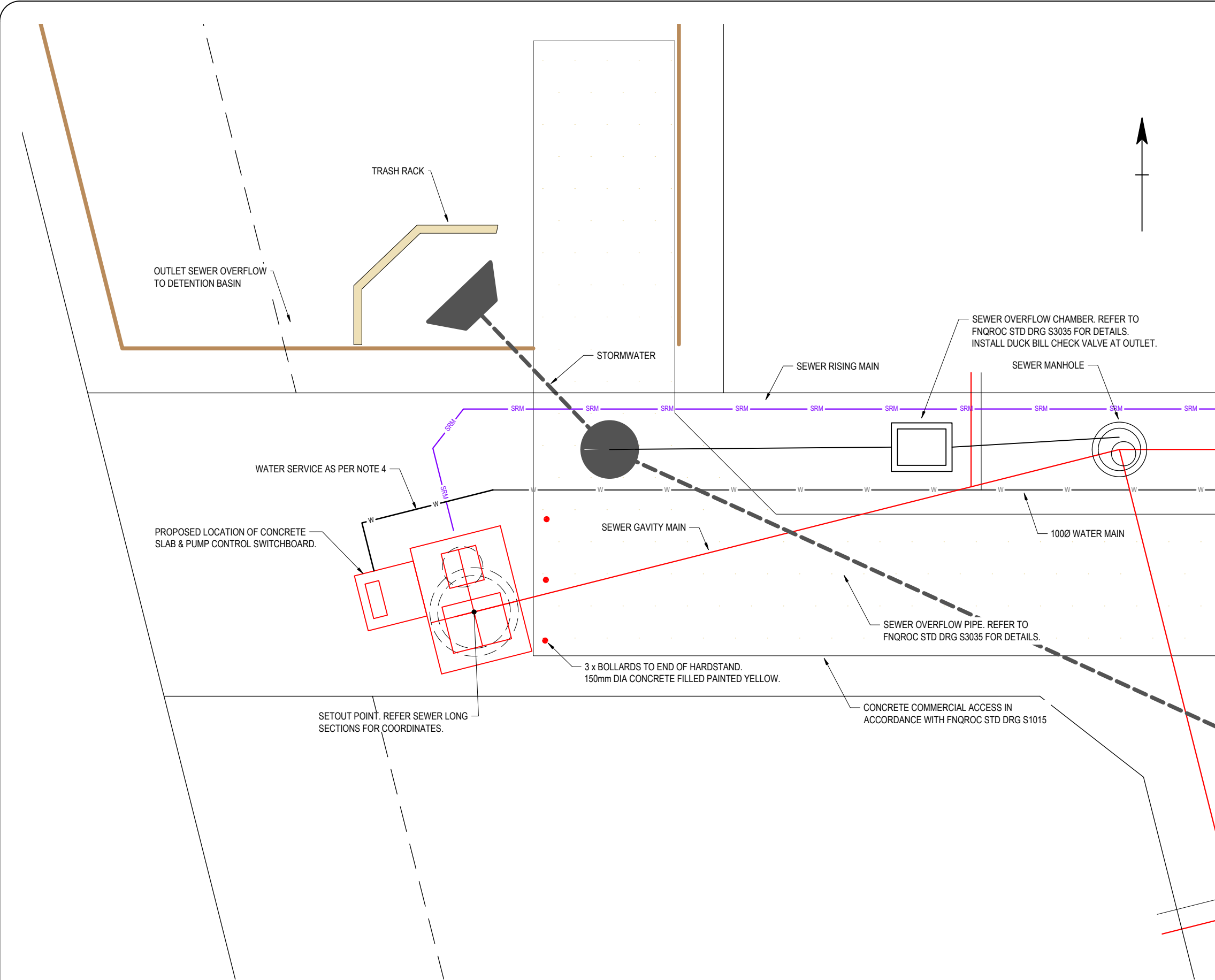


REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

CLIENT
PORT PACIFIC DEVELOPMENTS



DRAWN CW		CHECKED CW		OVER 50s RESIDENTIAL DEVELOPMENT			
DESIGNED DJW		CHECKED DJW		SEWER LONGITUDINAL SECTIONS			
APPROVED		ORIGINAL CERTIFIED BY D.J.WALKER		SHEET 2 OF 2			
DATE: 08.07.21 RPEQ: 19806				DRAWING NO. 188-002-C20		REVISION B	



NOTES

1. CONTRACTOR TO PROVIDE MULLALY ENGINEERING (OR APPROVED EQUIVALENT) FRP PACKAGED PUMP STATION, COMPLETE WITH REINFORCED CONCRETE ROOF SLAB IN ACCORDANCE WITH FNQROC STD. DRG. S3025 AND THE SPECIFICATION. THE CONTRACTOR IS TO SUBMIT "MULLALY ENGINEERING" SHOP DRAWINGS AND BUOYANCY CALCULATIONS TO SUPERINTENDENT FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR TO CONFIRM WITH PACKAGED PUMP STATION SUPPLIER THE MAXIMUM SLAB THICKNESS/WEIGHT THAT CAN BEAR ONTO PUMP STATION.
2. NO LADDER AND PLATFORM REQUIRED WITHIN NEW PUMP STATION - ACCESS TO BE UNDERTAKEN BY PERSONNEL TRAINED IN CONFINED SPACE TRAINING.
3. CONTRACTOR TO PROVIDE CONCRETE PLINTH FOR SWITCHBOARD IN ACCORDANCE WITH FNQROC STD DRG S3020. SUPERINTENDENT TO CONFIRM LOCATION.
4. CONTRACTOR TO PROVIDE 25mm WATER SERVICE COMPLETE (NO RPZD) AND 40mm LOCKABLE HOSECOCK ADJACENT THE PUMP STATION. REFER FNQROC STD DRG S2038 FOR STANDARD ARRANGEMENT. SUPERINTENDENT TO CONFIRM LOCATION.
5. PUMPS SHALL BE SIZED BY PROPRIETARY PUMP SYSTEM SUPPLIER.

PUMP STATION CONSTRUCTION LEVELS

NOMINAL INTERNAL DIAMETER	BY MANUFACTURER
FINISHED SURFACE LEVEL	3.380m
FINISHED PUMP STATION LEVEL (A)	3.550m
SEWER INLET LEVEL (D)	0.574m
PUMP STATION IL (B)	BY MANUFACTURER
OUTLET IL (E)	BY MANUFACTURER

PUMP STATION CONTROL LEVELS

PUMP STOP LEVEL	BY MANUFACTURER
DUTY PUMP START LEVEL	BY MANUFACTURER
STANDBY PUMP START LEVEL	BY MANUFACTURER
ALARM LEVEL	BY MANUFACTURER

REVISIONS					
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		
	NO.	DATE	DESCRIPTION	DESIGN	APPROVED

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

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1:100

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

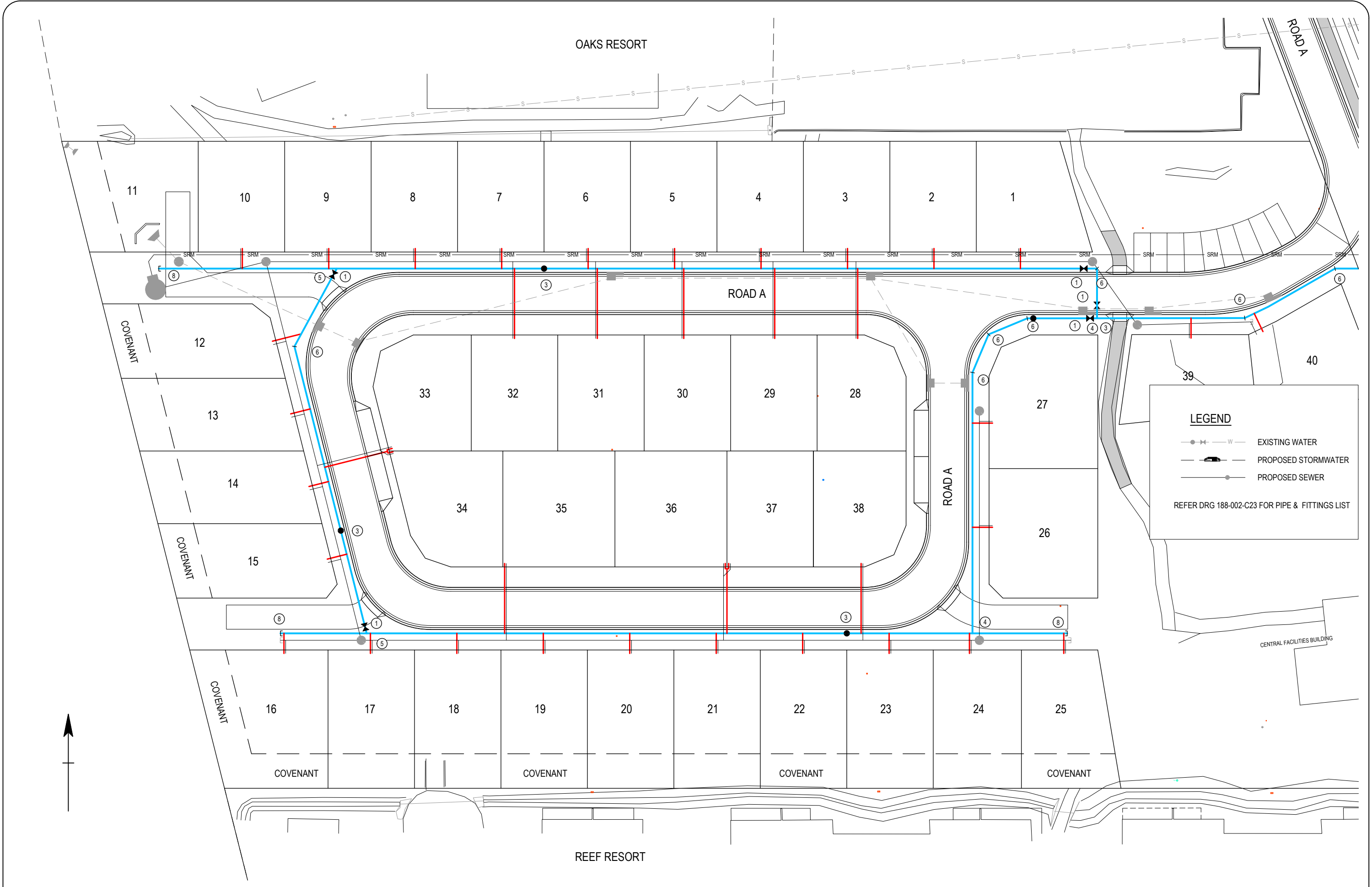
CivilWalker CONSULTING ENGINEERS

DRAWN CW CHECKED CW
DESIGNED DJW CHECKED DJW
APPROVED
ORIGINAL CERTIFIED BY D.J.WALKER
DATE:08.07.21 RPEQ: 19806

OVER 50s RESIDENTIAL DEVELOPMENT

SEWER PUMP STATION DETAILS

DRAWING NO. 188-002-C21 REVISION B



REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

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ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

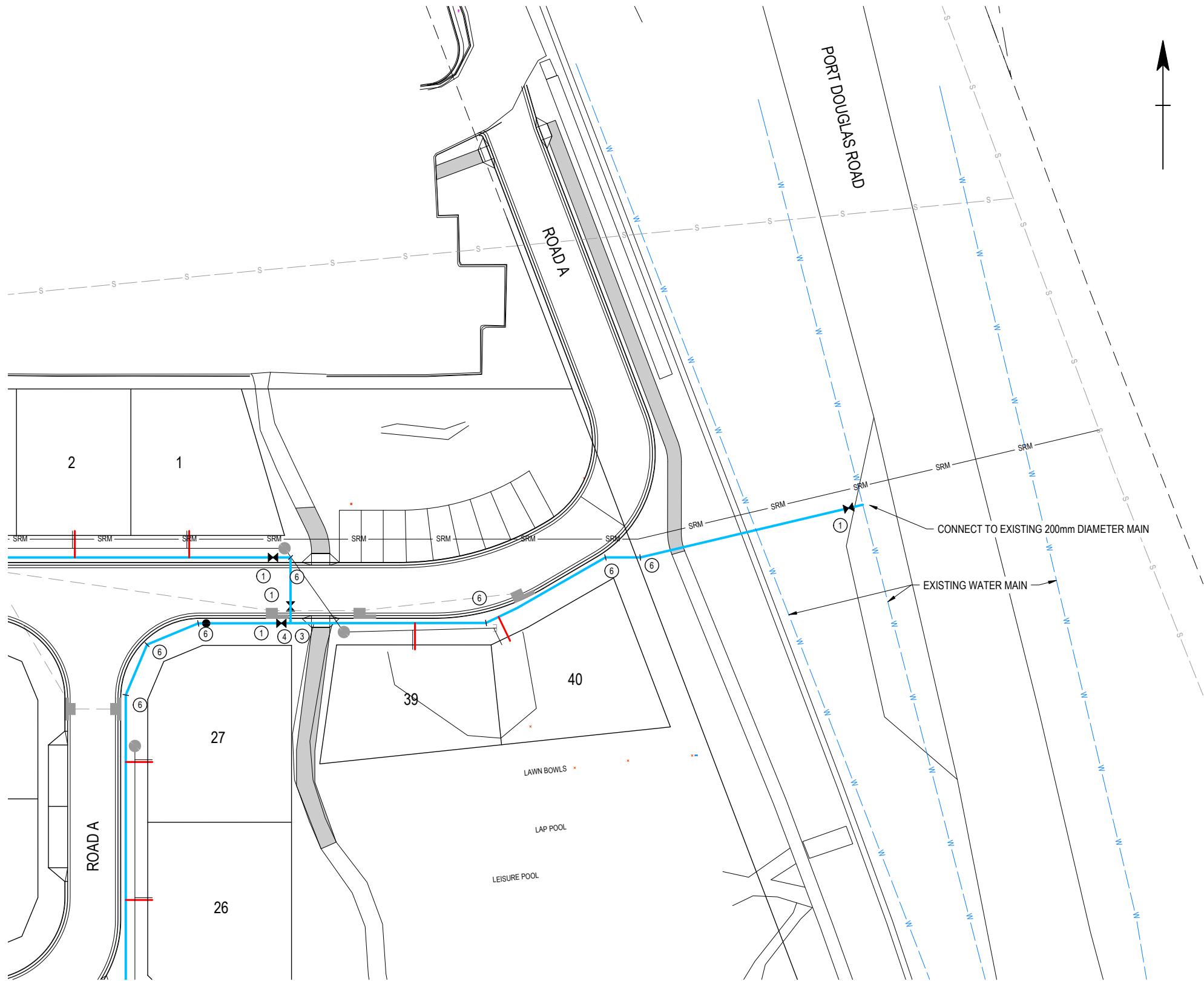
CivilWalker
CONSULTING ENGINEERS

DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			

ORIGINAL CERTIFIED BY
D.J.WALKER

DATE: 08.07.21 RPEQ: 19806

OVER 50s RESIDENTIAL DEVELOPMENT	
WATER RETICULATION	
SHEET 1 OF 2	
DRAWING NO. 188-002-C22	REVISION B



WATER SUPPLY PIPE AND FITTINGS LIST

REF.	CODE	DESCRIPTION
①		SLUICE VALVE CLASS '14' COMPLETE WITH C.I. COVER BOX, CONCRETE MARGIN AND MARKER
③		80 SPRING HYDRANT COMPLETE WITH RISER, TEE, C.I. COVER BOX, CONCRETE MARGIN AND MARKER
④		TEE WITH CONCRETE THRUST BLOCK
⑤		WYE WITH CONCRETE THRUST BLOCK
⑥		BEND TO SUIT WITH CONCRETE THRUST BLOCK
⑧		DEAD END CAP WITH CONCRETE THRUST BLOCK
		SINGLE ALLOTMENT SERVICE (REFER DRGS C24/C25)
		DOUBLE ALLOTMENT SERVICE (REFER DRGS C24/C25)
		100Ø uPVC WATER MAIN CLASS '16' RUBBER RING JOINTED

LEGEND

	W	EXISTING WATER
		PROPOSED STORMWATER
		PROPOSED SEWER

REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

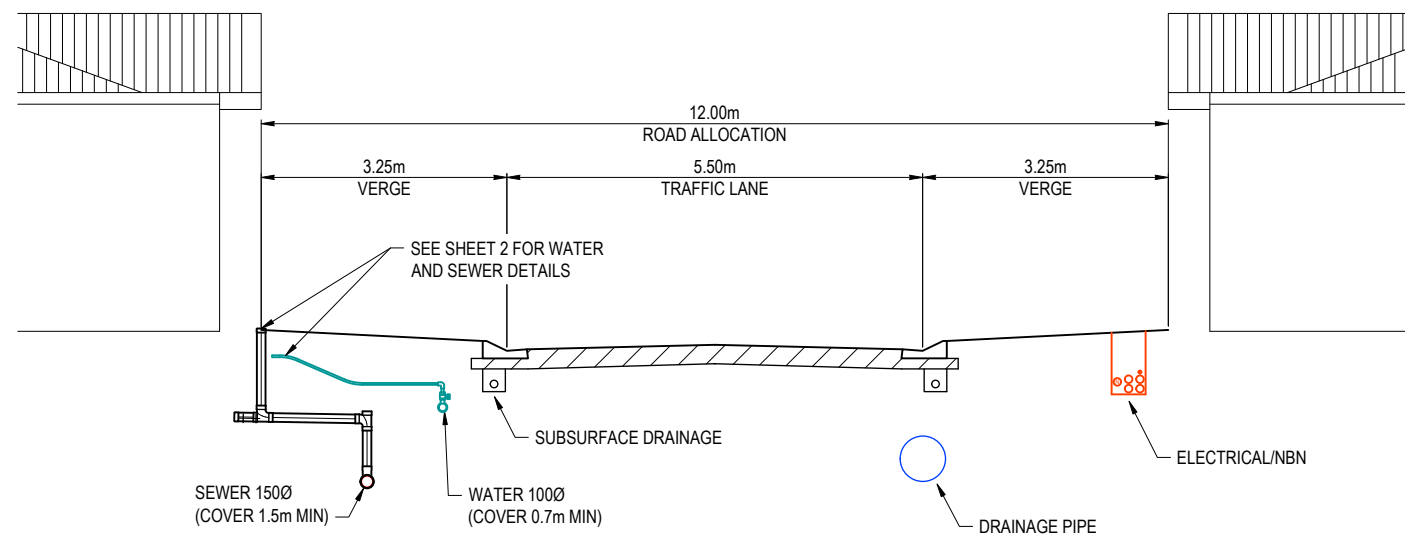
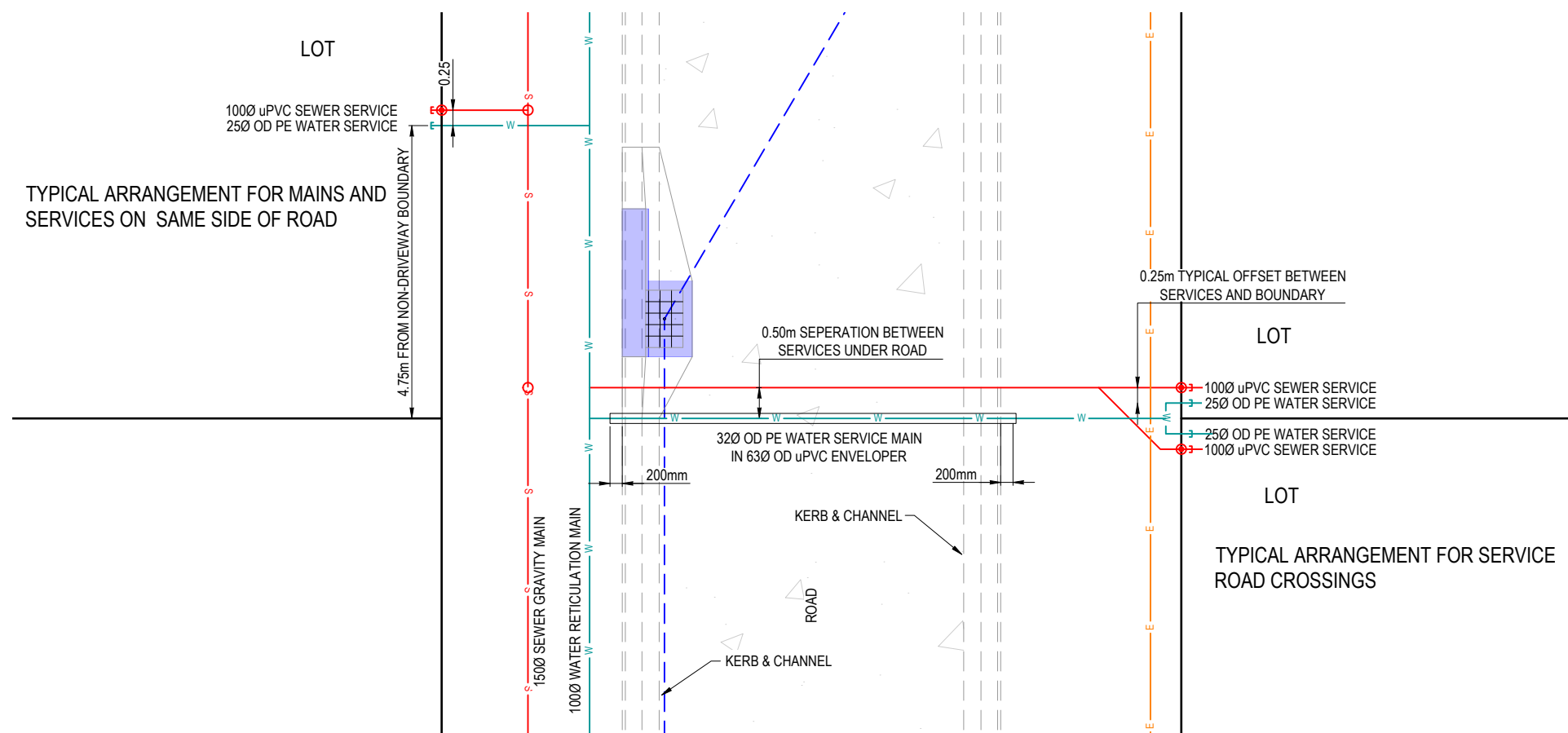
CLIENT
PORT PACIFIC DEVELOPMENTS

SCALE
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ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE



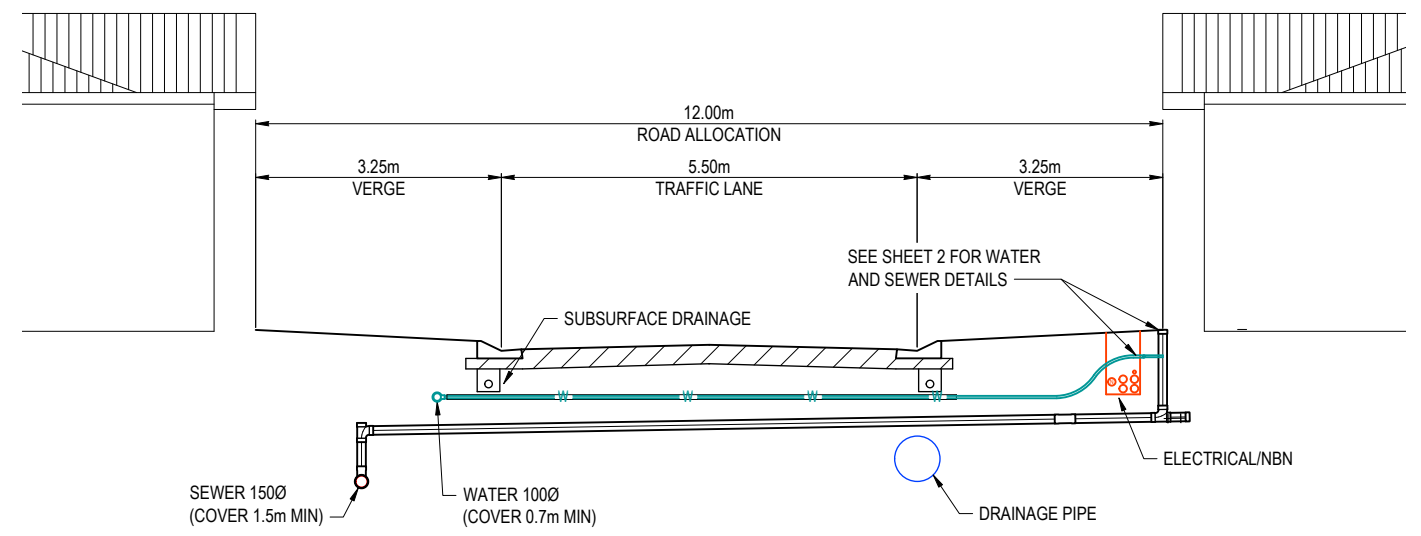
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DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE:08.07.21 RPEQ: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT	
WATER RETICULATION	
SHEET 2 OF 2	
DRAWING NO.	188-002-C23
REVISION	B



TYPICAL ROAD CROSS SECTION - NO SERVICES CROSSING

1:100



TYPICAL ROAD CROSS SECTION - SERVICES CROSSING

1:100

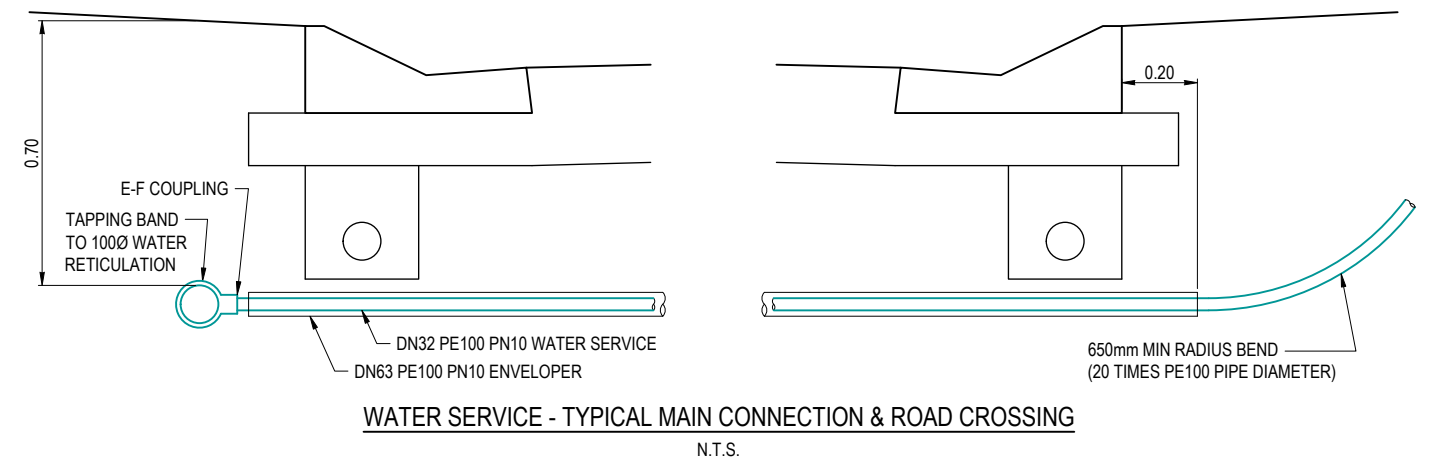
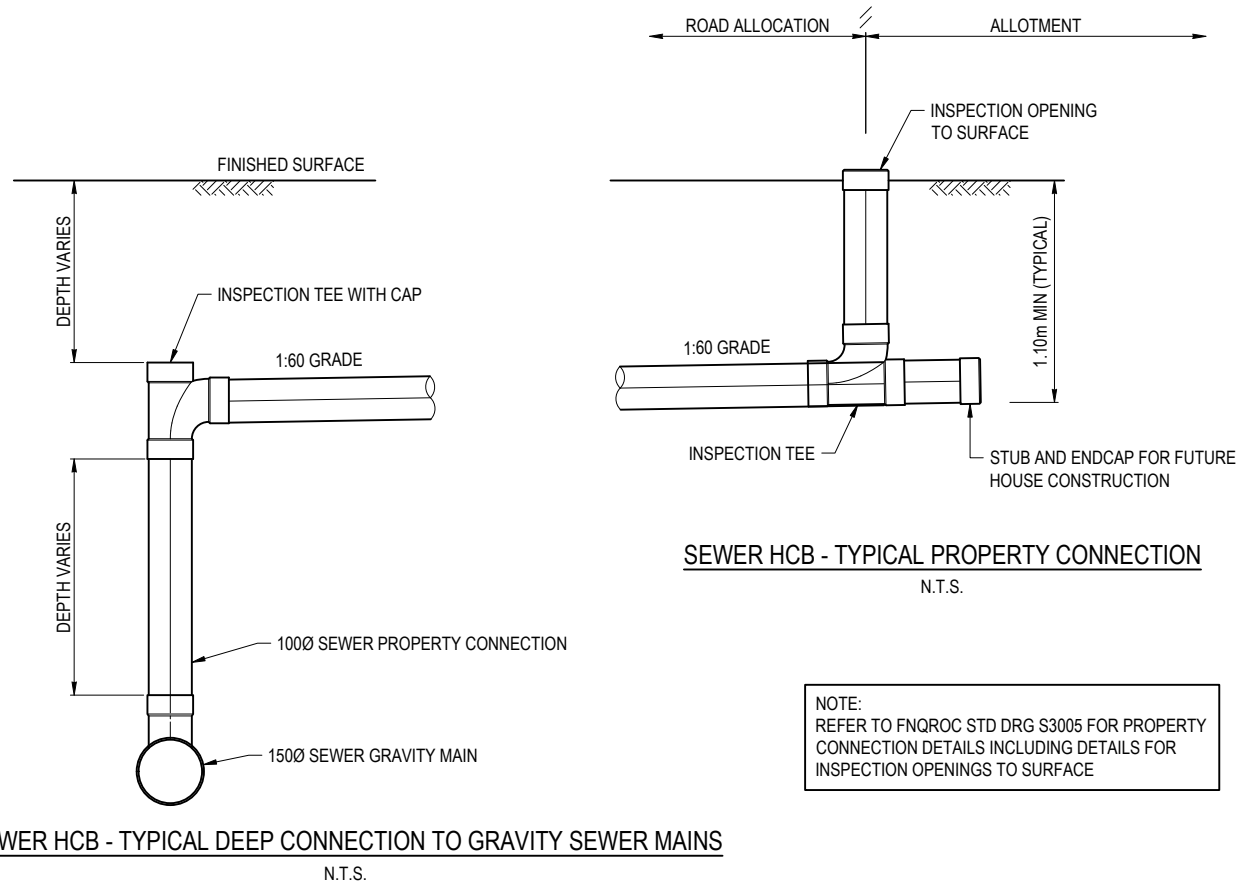
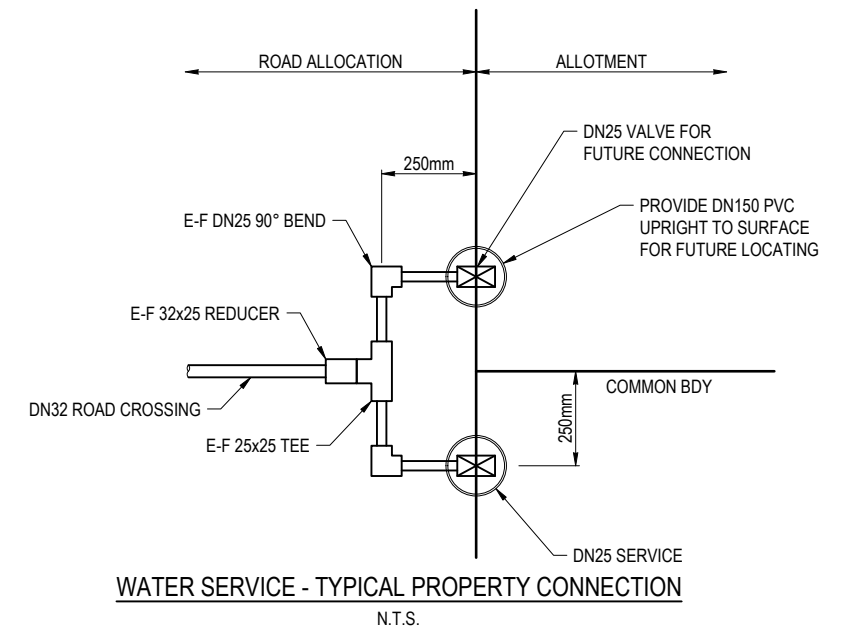
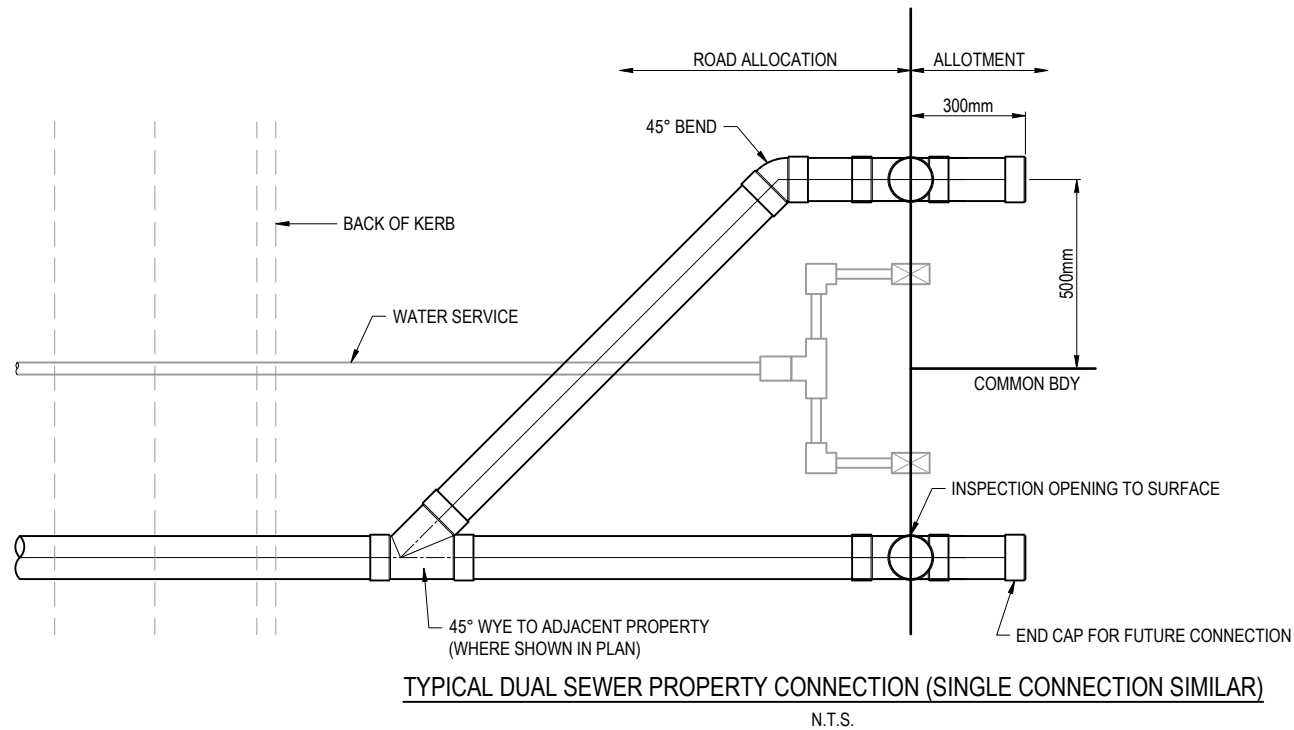
NO.	DATE	DESCRIPTION	DESIGN	APPROVED
B	08.07.21	OPW ISSUE	CW	DJW
A	05.03.21	INITIAL ISSUE		

CLIENT
PORT PACIFIC DEVELOPMENTS

SCALE
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1:500 A3
ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE



DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RPEQ: 19806			
OVER 50s RESIDENTIAL DEVELOPMENT			
TYPICAL SEWER & WATER SERVICE CONNECTIONS			
SHEET 1 OF 2			
DRAWING NO. 188-002-C24			REVISION B



NOTE:
REFER TO FNQROC STD DRG S3005 FOR PROPERTY
CONNECTION DETAILS INCLUDING DETAILS FOR
INSPECTION OPENINGS TO SURFACE

REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
B	08.07.21	OPW ISSUE		CW	DJW
A	05.03.21	INITIAL ISSUE			

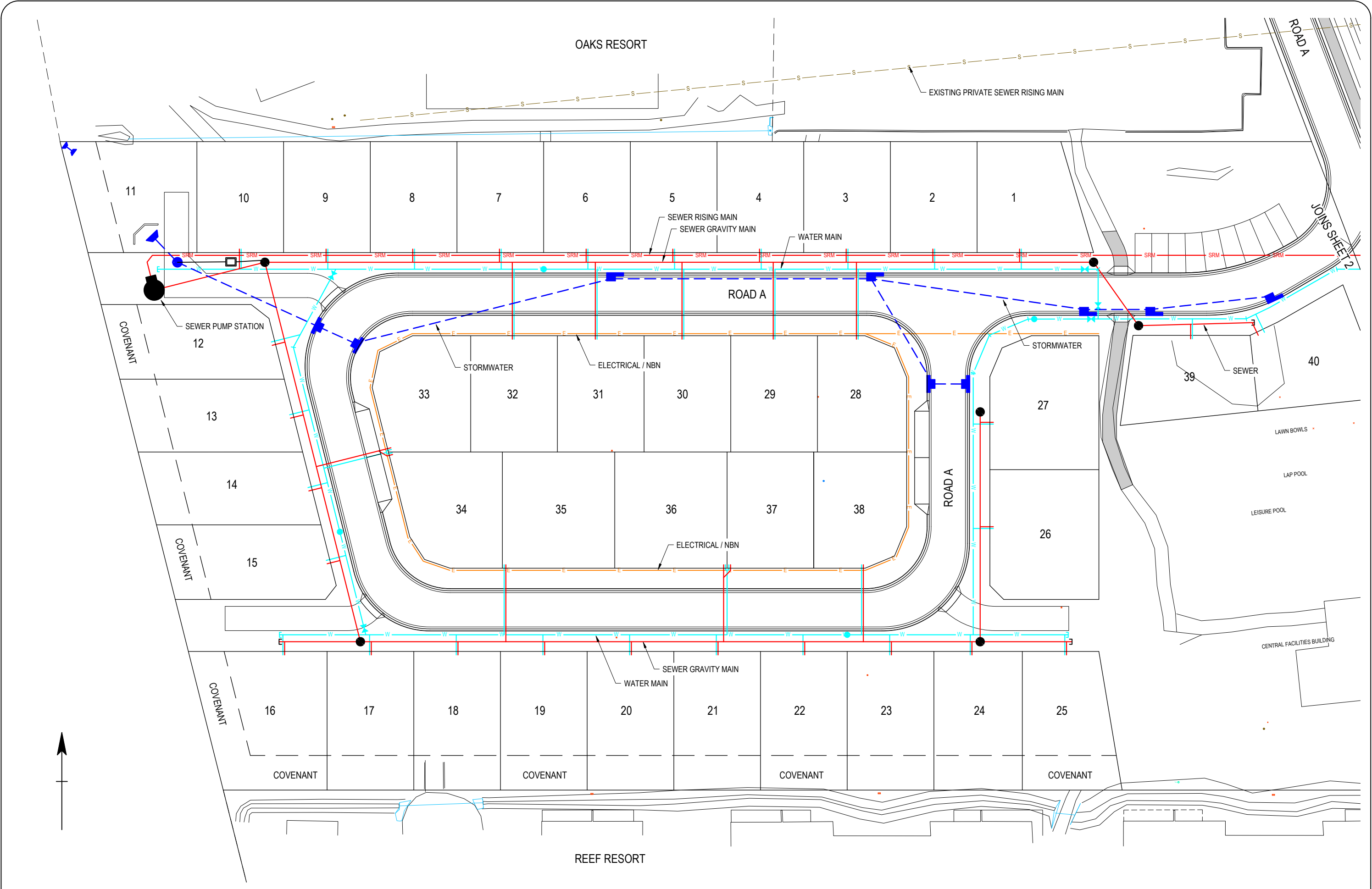
CLIENT
PORT PACIFIC DEVELOPMENTS

SCALE
ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE



DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RREQ: 08.07.21			

OVER 50s RESIDENTIAL DEVELOPMENT	
TYPICAL SEWER & WATER SERVICE CONNECTIONS	
SHEET 2 OF 2	
DRAWING NO.	REVISION
188-002-C25	B



REVISIONS	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
	B	08.07.21	OPW ISSUE	CW	DJW
	A	05.03.21	INITIAL ISSUE		

CLIENT

PORT PACIFIC DEVELOPMENTS

SCALE

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1:500

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

 **CivilWalker**
CONSULTING ENGINEERS

DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			

ORIGINAL CERTIFIED BY
D.J.WALKER

DATE: 08.07.21 RPEQ: 19806

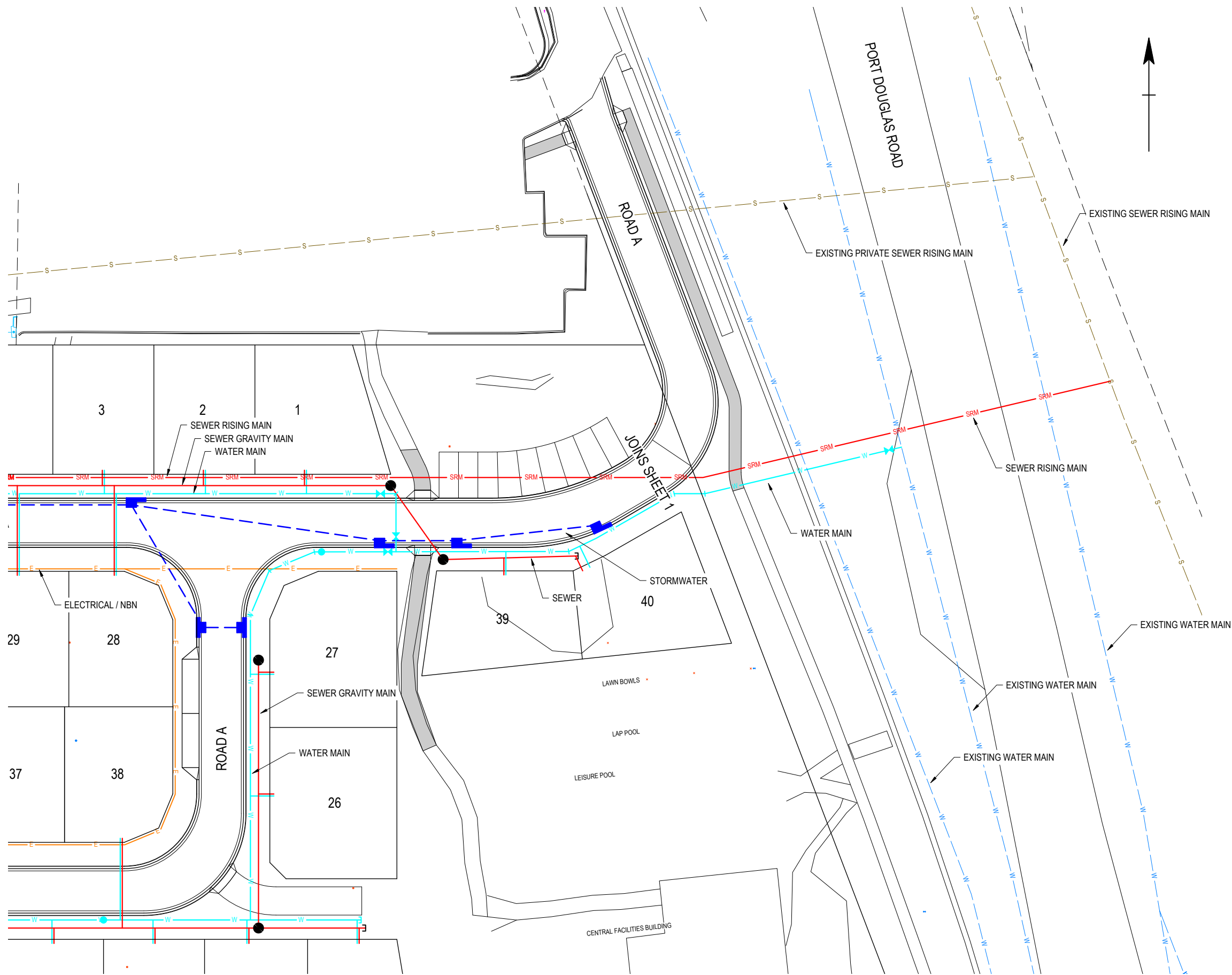
OVER 50s RESIDENTIAL DEVELOPMENT

MASTER SERVICES LAYOUT

SHEET 1 OF 2

DRAWING NO. 188-002-C26

REVISION B



REVISED	NO.	DATE	DESCRIPTION	DESIGN	APPROVED
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A	05.03.21	INITIAL ISSUE			

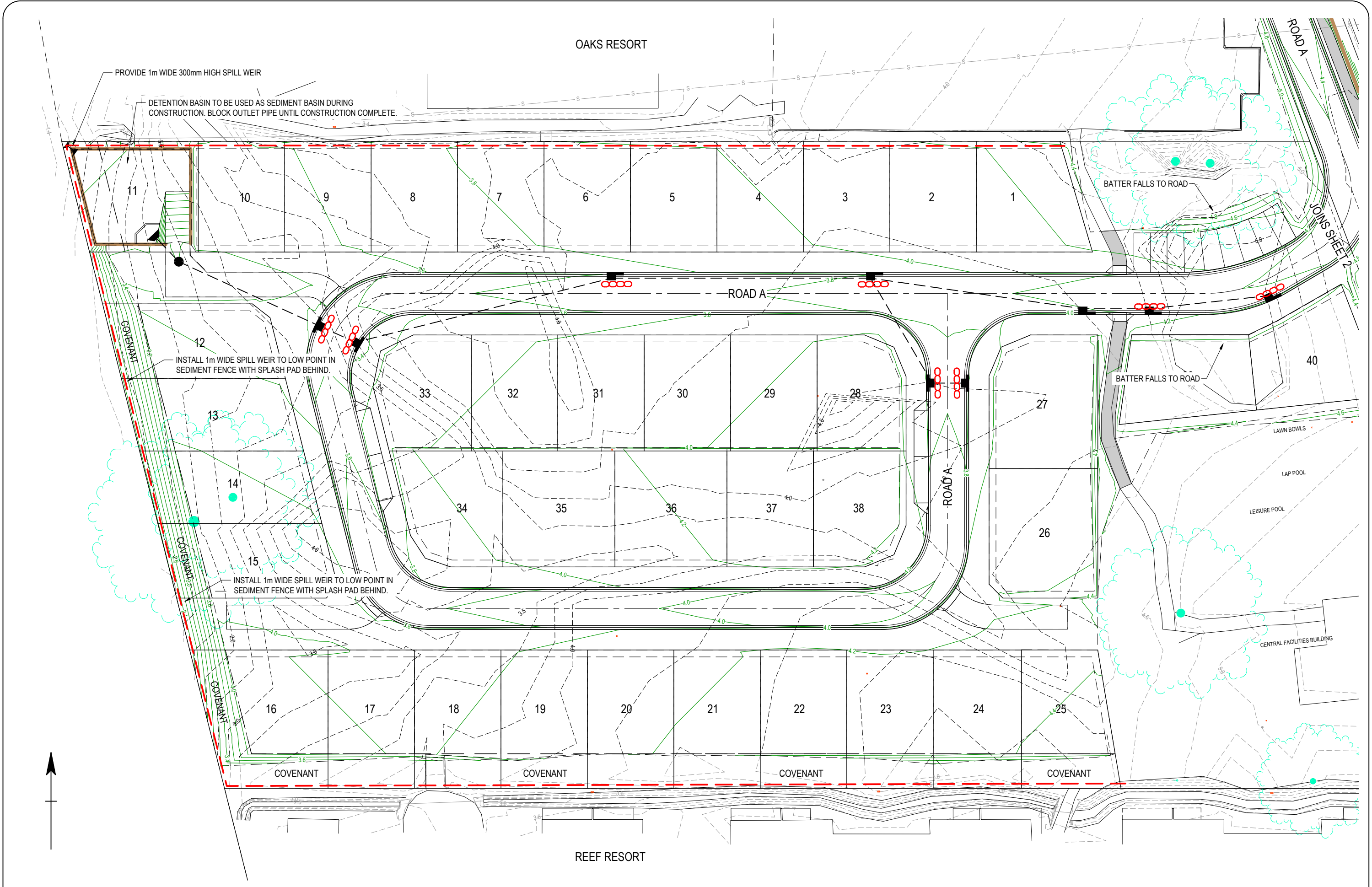
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PORT PACIFIC DEVELOPMENTS

SCALE
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1:500 A3
ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE



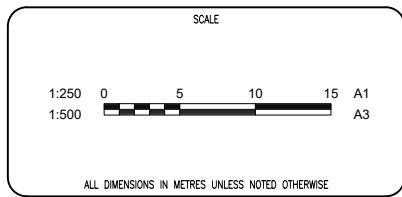
DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RPEQ: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT	
MASTER SERVICES LAYOUT	
SHEET 2 OF 2	
DRAWING NO.	188-002-C27
REVISION	B



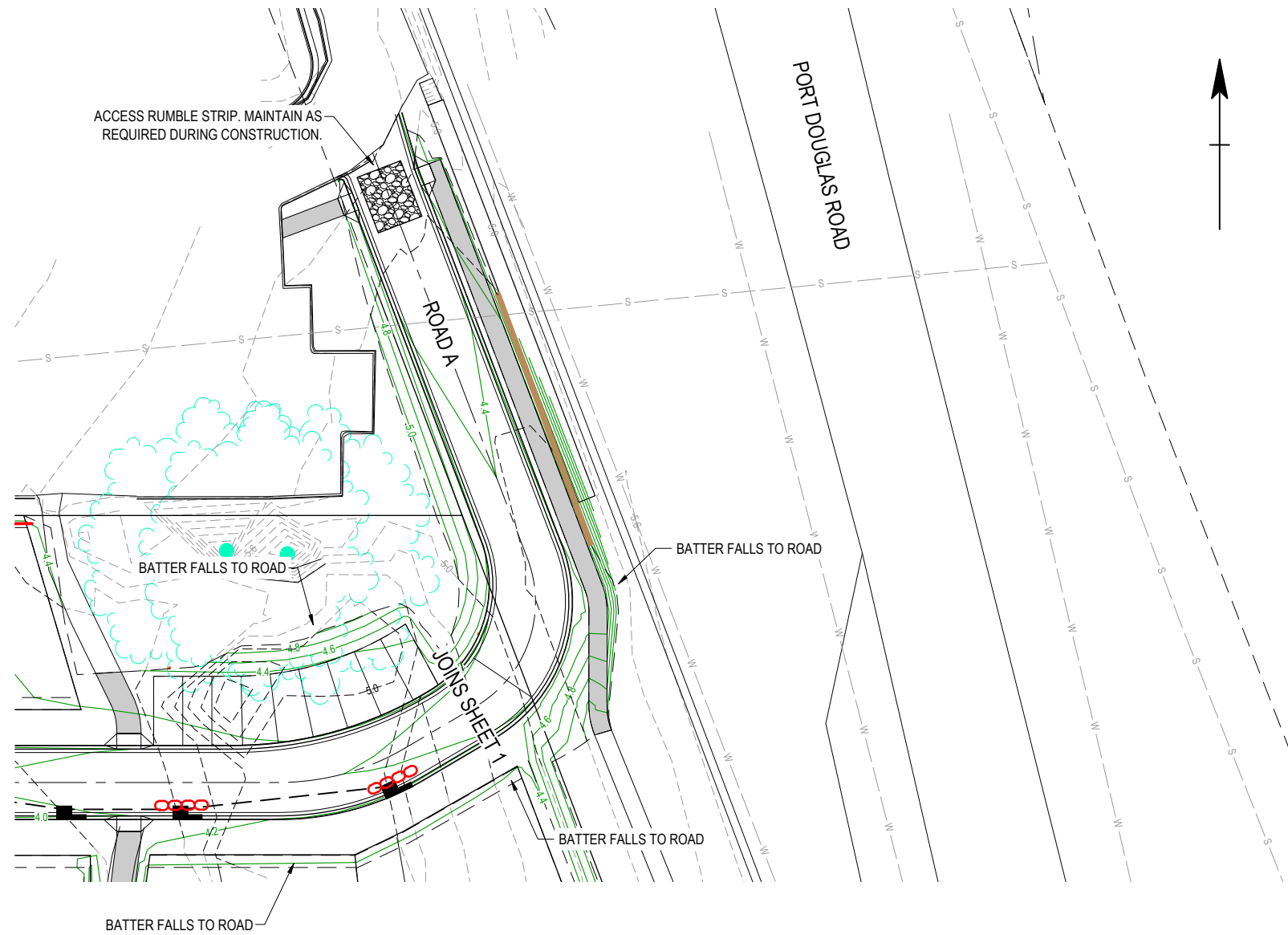
REVISIONS						
	NO.	DATE	DESCRIPTION	DESIGN	APPROVED	
	B	08.07.21	OPW ISSUE	CW	DJW	
	A	05.03.21	INITIAL ISSUE			

CLIENT
PORT PACIFIC DEVELOPMENTS



DRAWN	CW	CHECKED	CW
DESIGNED	DJW	CHECKED	DJW
APPROVED			
ORIGINAL CERTIFIED BY D.J.WALKER			
DATE: 08.07.21 RPEQ: 19806			

OVER 50s RESIDENTIAL DEVELOPMENT	
EROSION & SEDIMENT CONTROL STRATEGY	
SHEET 1 OF 2	
DRAWING NO.	188-002-C28
REVISION	B



LEGEND

- PROPERTY BOUNDARY
- SEDIMENT SOCK / SAND BAG CHECK DAM

REVISIONS						
	NO.	DATE	DESCRIPTION	DESIGN	APPROVED	
	B	08.07.21	OPW ISSUE	CW	DJW	
	A	05.03.21	INITIAL ISSUE			







CLIENT
PORT PACIFIC DEVELOPMENTS

SCALE
1:250 0 5 10 15 A1 1:500
ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE




DRAWN CW	CHECKED CW	OVER 50s RESIDENTIAL DEVELOPMENT	
DESIGNED DJW	CHECKED DJW	EROSION & SEDIMENT CONTROL STRATEGY	
APPROVED ORIGINAL CERTIFIED BY D.J.WALKER		SHEET 2 OF 2	
DATE: 08.07.21 RPEQ: 19806		DRAWING NO. 188-002-C29	REVISION B


CABLE ACCESS

	UNDERGROUND HDuPVC ELECTRICAL CONDUIT (ORANGE) INSTALLED WITH MIN 500mm COVER TO CATEGORY A SYSTEM TO AS/NZS3000. PROVIDE DRAW-WIRES AND CAP ALL UNUSED CONDUITS. SEAL ALL CONDUITS AFTER CABLE INSTALLATION. REFER SITE PLAN FOR No. AND SIZE.
	UNDERGROUND ELECTRICAL ORANGE HDuPVC CONDUIT STUB WITH LONG RADIUS SWEEP BEND AND END-CAP. PROVIDE NYLON DRAW STRING FOR FUTURE USE. Ø50 INDICATES 50mm DIA.
	UNDERGROUND PVC COMMUNICATIONS CONDUIT (WHITE) INSTALLED WITH MIN 300mm COVER TO AS/ACIF S009. PROVIDE DRAW-WIRES AND CAP ALL UNUSED CONDUITS. SEAL ALL CONDUITS AFTER CABLE INSTALLATION. REFER SITE PLAN FOR No. AND SIZE.
	UNDERGROUND COMMUNICATIONS WHITE PVC CONDUIT STUB WITH LONG RADIUS SWEEP BEND AND END-CAP. PROVIDE NYLON DRAW STRING FOR FUTURE USE. P20 INDICATES 25mm DIA.
	PRE-CAST CABLE PIT WITH 80kN CONCRETE INFILLED GALVANISED STEEL LID BROOM FINISH CONCRETE INFILL. REFER SITE PLAN FOR No. AND SIZE.
	PRE-CAST CABLE PIT WITH 80kN CONCRETE INFILLED GALVANISED STEEL LID BROOM FINISH CONCRETE INFILL. REFER SITE PLAN FOR No. AND SIZE.

POWER

	NEW ELECTRICAL SWITCHBOARD.
	ELECTRICAL DISTRIBUTION PILLAR. REFER DETAIL.

LIGHTING

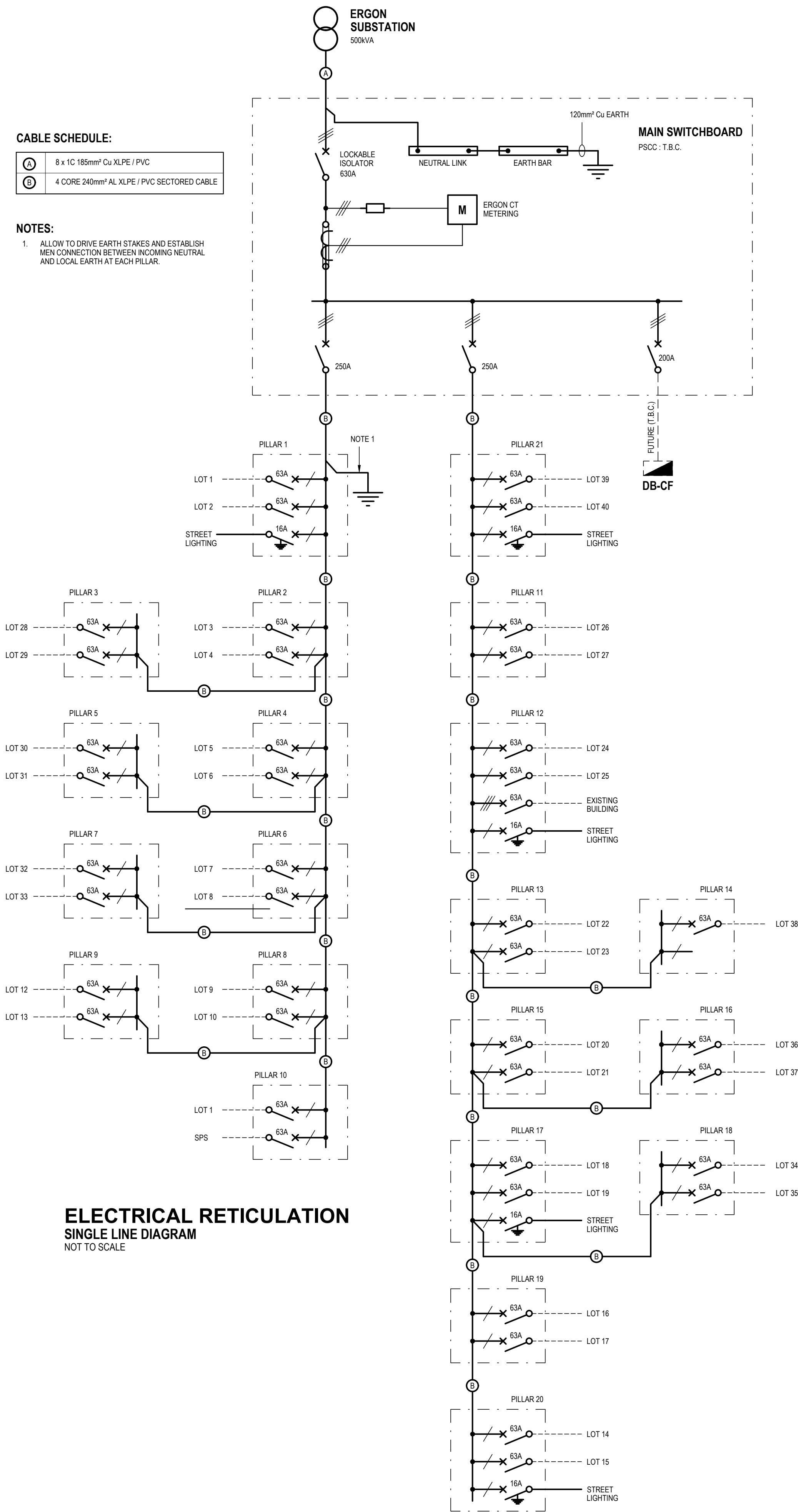
	17W LED IP66 AEROSCREEN STREETLIGHT WITH 1.5m OUTREACH ON 5.5m GALVANISED STEEL POLE. SYLVANIA STREETLED MK III WITH INTEGRAL PHOTO-ELECTRIC SENSOR
---	---

CABLE SCHEDULE:

①	8 x 1C 185mm² Cu XLPE / PVC
②	4 CORE 240mm² AL XLPE / PVC SECTORED CABLE

NOTES:

1. ALLOW TO DRIVE EARTH STAKES AND ESTABLISH MEN CONNECTION BETWEEN INCOMING NEUTRAL AND LOCAL EARTH AT EACH PILLAR.



ELECTRICAL RETICULATION
SINGLE LINE DIAGRAM
NOT TO SCALE

REV.	DATE:	DESCRIPTION:	BY:	REV.	DATE:	DESCRIPTION:	BY:
P2	02.07.2021	PRELIMINARY ISSUE	R.B.				



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CLIENT:
PORT PACIFIC DEVELOPMENTS

IN ASSOCIATION WITH:

PROJECT:
OVER 50s RESIDENTIAL DEVELOPMENT

DRAWING:
ELECTRICAL SERVICES
LEGEND & SINGLE LINE DIAGRAM

SCALE:
NOT TO SCALE

AT:
A1

PROJECT No:
3220

DRAWING No:
E01

REVISION:
P2

