

# DA Form 1 – Development application details

**Approved form (version 1.0 effective 3 July 2017) made under section 282 of the Planning Act 2016.**

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development**, use this form (*DA Form 1*) **and** parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Raoul G. Singh
Contact name <i>(only applicable for companies)</i>	
Postal address <i>(P.O. Box or street address)</i>	28 Winkworth Street
Suburb	Bungalow
State	QLD
Postcode	4870
Country	Australia
Contact number	0435870034
Email address <i>(non-mandatory)</i>	<a href="mailto:raoul_singh@web.de">raoul_singh@web.de</a>
Mobile number <i>(non-mandatory)</i>	raoul_singh@web.de
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	

2) Owner's consent
2.1) Is written consent of the owner required for this development application?
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application <input checked="" type="checkbox"/> No – proceed to 3)



## PART 2 – LOCATION DETAILS

## 3) Location of the premises (complete 3.1) or 3.2, and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

## 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		19	Mahogany Road	Diwan
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	36	RP738675	Port Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

## 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

## 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application  
☒ Not required

## 4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable):	
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	

EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

### 5) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application  
☐ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use     
 ☐ Reconfiguring a lot     
 ☐ Operational work     
 ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit     
 ☐ Preliminary approval     
 ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment     
 ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

MCU for use as a Covered Deck/ Class 10A Shed Structure

e) Relevant plans

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use     
 ☐ Reconfiguring a lot     
 ☐ Operational work     
 ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit     
 ☐ Preliminary approval     
 ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment     
 ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*

MCU for use as a Shed/ Class 10A Shed Structure

e) Relevant plans

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

## Section 2 – Further development details

### 7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete DA Form 2 – Building work details

## Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

### 8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Covered Deck	Class 10A Shed Structure	1	24m2
Shed	Class 10A Shed Structure	1	30m2

### 8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		

## Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

### 9.1) What is the total number of existing lots making up the premises?

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### 9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

## 10) Subdivision

### 10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

### 10.2) Will the subdivision be staged?

<input type="checkbox"/> Yes – provide additional details below	
<input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input checked="" type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure	
<input type="checkbox"/> Drainage work	<input checked="" type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure	
<input checked="" type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation	
<input type="checkbox"/> Other – please specify: <table border="1" style="width: 100%;"><tr><td></td></tr></table>			

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	
<input checked="" type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

2000\$
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## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

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16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input type="checkbox"/> No

## PART 5 – REFERRAL DETAILS

**17) Do any aspects of the proposed development require referral for any referral requirements?****Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

**Matters requiring referral to the chief executive of the Planning Regulation 2017:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure – designated premises
- ☐ Infrastructure – state transport infrastructure
- ☐ Infrastructure – state transport corridors and future state transport corridors
- ☐ Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure – state-controlled roads
- ☐ Land within Port of Brisbane's port limits
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ Rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ Rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ Rural living area – residential development
- ☐ SEQ regional landscape and rural production area or SEQ Rural living area – urban activity
- ☐ Tidal works or works in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – construction of new levees or modification of existing levees (*category 2 or 3 levees only*)
- ☐ Wetland protection area

**Matters requiring referral to the local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- ☐ Local heritage places

**Matters requiring referral to the chief executive of the distribution entity or transmission entity:**

- ☐ Electricity infrastructure

Matters requiring referral to: <ul style="list-style-type: none"> <li>The <b>chief executive of the holder of the licence</b>, if not an individual</li> <li>The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to <b>the Brisbane City Council</b> : <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the <b>Minister under the Transport Infrastructure Act 1994</b> : <input type="checkbox"/> Brisbane core port land <input type="checkbox"/> Strategic port land
Matters requiring referral to the <b>relevant port operator</b> : <input type="checkbox"/> Brisbane core port land (below high-water mark and within port limits)
Matters requiring referral to the <b>chief executive of the relevant port authority</b> : <input type="checkbox"/> Land within limits of another port
Matters requiring referral to the <b>Gold Coast Waterways Authority</b> : <input type="checkbox"/> Tidal works, or development in a coastal management district in Gold Coast waters
Matters requiring referral to the <b>Queensland Fire and Emergency Service</b> : <input type="checkbox"/> Tidal works, or development in a coastal management district

**18) Has any referral agency provided a referral response for this development application?**

- ☐ Yes – referral response(s) received and listed below are attached to this development application  
☐ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application *(if applicable)*.

## PART 6 – INFORMATION REQUEST

**19) Information request under Part 3 of the DA Rules**

- ☒ I agree to receive an information request if determined necessary for this development application  
☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid☐ Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached☒ No

23) Further legislative requirements

**Environmentally relevant activities**23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?☐ Yes – the required attachment (form EM941) for an application for an environmental authority accompanies this development application, and details are provided in the table below☒ No**Note:** Application for an environmental authority can be found by searching "EM941" at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.**Hazardous chemical facilities**23.2) Is this development application for a **hazardous chemical facility**?☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application☒ No**Note:** See [www.justice.qld.gov.au](http://www.justice.qld.gov.au) for further information.

**Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application is accompanied by written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** See [www.qld.gov.au](http://www.qld.gov.au) for further information.

**Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

**Koala conservation**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes

☒ No

**Note:** See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.

**Water resources**

23.6) Does this development application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, taking overland flow water or waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

**Note:** DA templates are available from [www.dilgp.qld.gov.au](http://www.dilgp.qld.gov.au).

23.7) Does this application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water** under the *Water Act 2000*?

☐ Yes – I acknowledge that a relevant water authorisation under the *Water Act 2000* may be required prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.

**Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

**Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.

**Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Environment and Heritage Protection at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.

#### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application  
☒ No

**Note:** See guidance materials at [www.dews.qld.gov.au](http://www.dews.qld.gov.au) for further information.

#### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title
- ☒ No

**Note:** See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.

#### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below  
☒ No

**Note:** See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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#### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*  
☒ No

#### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)  
☒ No

## **PART 8 – CHECKLIST AND APPLICANT DECLARATION**

### **24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17	<input type="checkbox"/> Yes
<b>Note:</b> See the Planning Regulation 2017 for referral requirements	
If building work is associated with the proposed development, Parts 4 to 6 of <i>Form 2 – Building work details</i> have been completed and attached to this development application	<input type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with	<input checked="" type="checkbox"/> Yes

## development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21))

☐ Yes

☒ Not applicable

## 25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy –** Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR OFFICE USE ONLY

Date received:

Reference number(s):

## Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

## QLeave notification and payment

**Note:** For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

The *Planning Act 2016*, the Planning Regulation 2017 and the DA Rules are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.

## DA Form 2 – Building work details

**Approved form (version 1.0 effective 3 July 2017) made under Section 282 of the Planning Act 2016.**

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated with any other type of assessable development**, use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

### PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Raoul G. Singh
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	28 Winkworth Street
Suburb	Bungalow
State	QLD
Postcode	4870
Country	Australia
Contact number	0435870034
Email address (non-mandatory)	<a href="mailto:raoul_singh@web.de">raoul_singh@web.de</a>
Mobile number (non-mandatory)	<a href="tel:0435870034">raoul_singh@web.de</a>
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

### PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
<b>Note:</b> Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a> .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	36	Mahogany Road	Diwan
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	19	RP 38675	Port Douglas Shire

**2.2) Additional premises**

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

**3) Are there any existing easements over the premises?**

**Note:** Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application  
☐ No

**PART 3 – FURTHER DETAILS****4) Is the application only for building work assessable against the building assessment provisions?**

☒ Yes – proceed to 8)  
☐ No

**5) Identify the assessment manager(s) who will be assessing this development application****6) Has the local government agreed to apply a superseded planning scheme for this development application?**

☐ Yes – a copy of the decision notice is attached to this development application  
☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached  
☐ No

**7) Information request under Part 3 of the DA Rules**

☐ I agree to receive an information request if determined necessary for this development application  
☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

**8) Are there any associated development applications or current approvals?**

☐ Yes – provide details below or include details in a schedule to this development application  
☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

**9) Has the portable long service leave levy been paid?**

- ☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

**10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?**

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

**11) Identify any of the following further legislative requirements that apply to any aspect of this development application**

- ☐ The proposed development is on a place entered in the **Queensland heritage register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

**PART 4 – REFERRAL DETAILS****12) Does this development application include any building work aspects that have any referral requirements?**

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

**13) Has any referral agency provided a referral response for this development application?**

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application *(if applicable)*

**PART 5 – BUILDING WORK DETAILS****14) Owner's details**

- ☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) <i>(individual or company full name)</i>	
Contact name <i>(applicable for companies)</i>	
Postal address <i>(P.O. Box or street address)</i>	

Suburb	
State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

**15) Builder's details**

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	
Suburb	
State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

**16) Provide details about the proposed building work**

a) What type of approval is being sought?

☒ Development permit

☐ Preliminary approval

b) What is the level of assessment?

☒ Code assessment

☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

☒ New building or structure

☐ Repairs, alterations or additions

☐ Change of building classification *(involving building work)*

☐ Swimming pool and/or pool fence

☐ Demolition

☐ Relocation or removal

d) Provide a description of the work below or in an attached schedule.

Building Of Covered Deck Class 10A Shed Structure

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Other

Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)			
g) New building use/classification? (if applicable)			
Deck with Roof Class 10A Shed Structure			
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>			
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application			

17) What is the monetary value of the proposed building work? **\$9000**

18) Has Queensland Home Warranty Scheme Insurance been paid?

☐ Yes – provide details below

☒ No

Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☐ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

*Note: It is unlawful to intentionally provide false or misleading information.*

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or

- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 7 – FOR OFFICE USE ONLY - FOR COMPLETION BY THE ASSESSMENT MANAGER

### Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m <sup>2</sup> )		Floor area (m <sup>2</sup> )	

### Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

Date received:  Reference numbers:

### For completion by the building certifier

Classification(s) of approved building work	QBCC Insurance receipt number	QBCC Certification Licence number

### Notification of engagement of alternate chosen assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

The *Planning Act 2016*, the *Planning Regulation 2017* and the *DA Rules* are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.

# **Lot 36 Mahogany Road, Diwan**

**Application for Development Permit-  
MCU**

**For two Class-10A Shed Structures  
(Code assessable).**

**Raoul Singh 0435870034**

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## 1.0 Proposed Use

### 1.1 Proposed Development

The application is made to permit two Class 10A Shed Structures to be built on Lot 36

Mahogany Road, Diwan. The lot is 11090m<sup>2</sup> and is mainly cleared with some trees along the eastern border and second regrowth Rainforest at the northern side screening the building site from Mahogany Road. It is located in the conservation zone and the Rainforest Residential Precinct of the Northern Management Area and the use of a Class 10A Shed Structure is code Assessable. The Sheds will become Outbuildings for a future house development. The current Planning scheme defines a house as;

The use of premises comprising one Dwelling Unit, located on one lot for the exclusive residential use of one Household. The use includes:

Outbuildings and Structures incidental to and necessarily associated with the residential use.

The Codes addressed in this MCU application are for a house, however only two class 10A Shed structures are proposed. A class 10A Shed Structure will trigger the same Codes as a house, even though the proposed Structures will not be used as a permanent residency. The proposed structures are for the purpose of storage, and cover from the elements while a future house is being designed and planed.

### Accompanying Documentation and Reports

- Soil test site classification and wastewater management system recommendations:

Appendix 5

- DA forms 1 checklist: Appendix 11

- Building and site plans: Appendix 1,2,3,4.

### 1.2 Site Description

Mahogany Road is the road access to the lot, which branches off Cape Tribulation

Road. Mahogany Road is a cul-de-sac (Figure 1). The 11090m<sup>2</sup> lot is oriented north south in a true rectangular shape and has an average slope of 5% towards the north . The lot is flat at the south side . The lot has an 50.5m frontage to Mahogany Road and a 219.65m side boundary to the west and 210m side boundary to the east (See Figure 2). The lot was surveyed in 1982 and was part of the a Subdivision which cancelled part of portion 188 on Bk. 15763 . The land was cleared prior to its sub-division in the 1970's. The lot is bordered to the east by a block of 10080 m<sup>2</sup> and to the west by a block of 14070m<sup>2</sup>. Mahogany Road is predominantly lined with cleared or rainforest residential properties with occupied Houses.

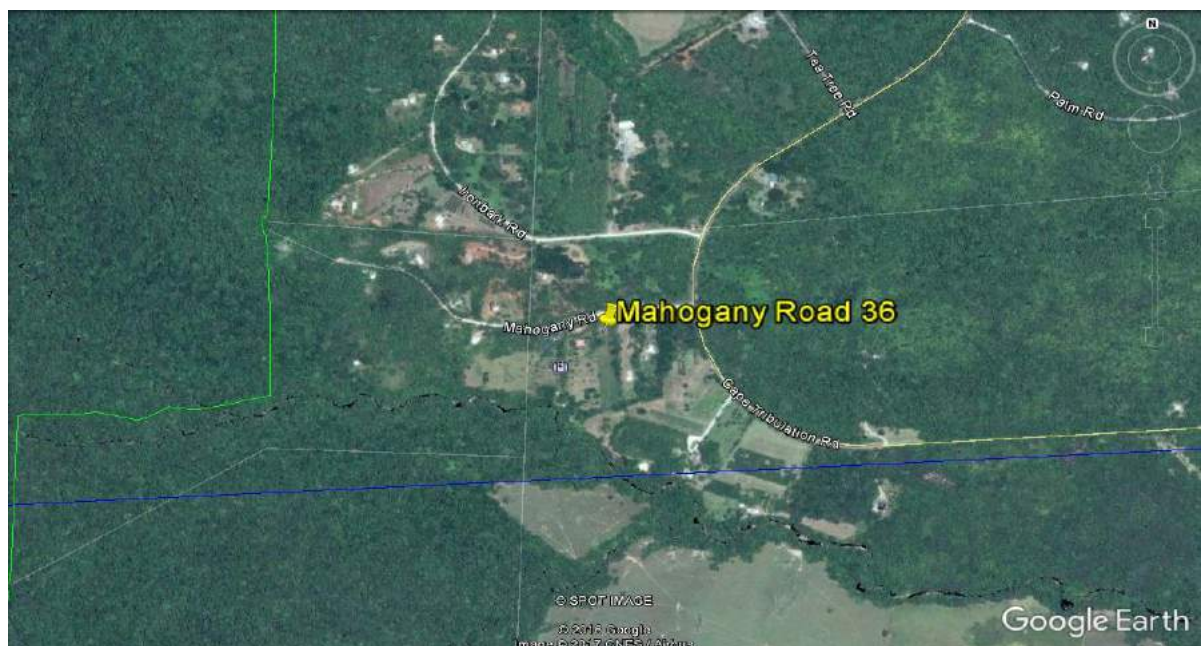


Figure 1: Site Location on Mahogany Road, Diwan



Figure 2: Current state of site

## 2.0 Proposal

The proposal is for a material change of use for the property to develop a Covered Deck on footings and a Shed on concrete slab as outbuildings to a house developed in the future.

Both buildings are Class 10A Shed Structures. The Shed will be built at a later date. The proposed Deck is open planned facing south east to capture cool breeze with a floor area of 24m<sup>2</sup>.

### Figure 3: Proposed Deck Floor Plan

The proposed Deck is modest and of suitable colors to compliment the surrounding rainforest setting. The Deck is proposed to be built upon Concrete footings. The roof type is a Skillion to maximize natural daylight and air circulation and minimize energy use. See Appendix 3 (3D elevation). See Proposed Floor Plan in Figure 3 below for more detail.

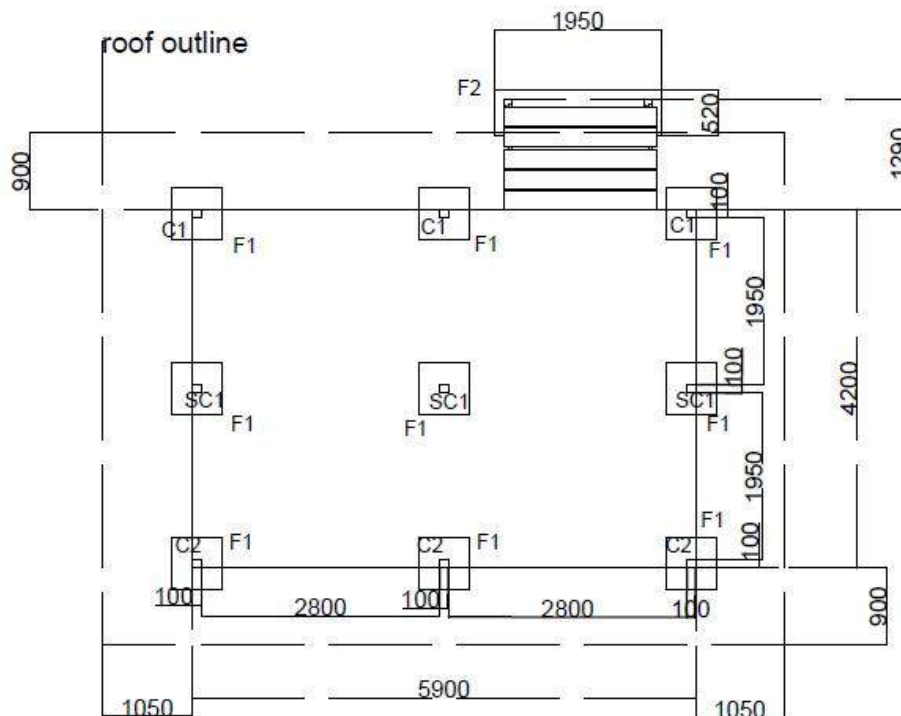


Figure 3 : Proposed Floor Plan of Deck Structure

The proposed Shed is also modest and of suitable colors to compliment the surrounding rainforest setting. The Shed is proposed to be built upon a Concrete slab. The shed will most likely be bought of the plan with a Gable-Roof. See Appendix 4 (3D elevation). See Proposed Structural Plan in Figure 4 below for more detail.

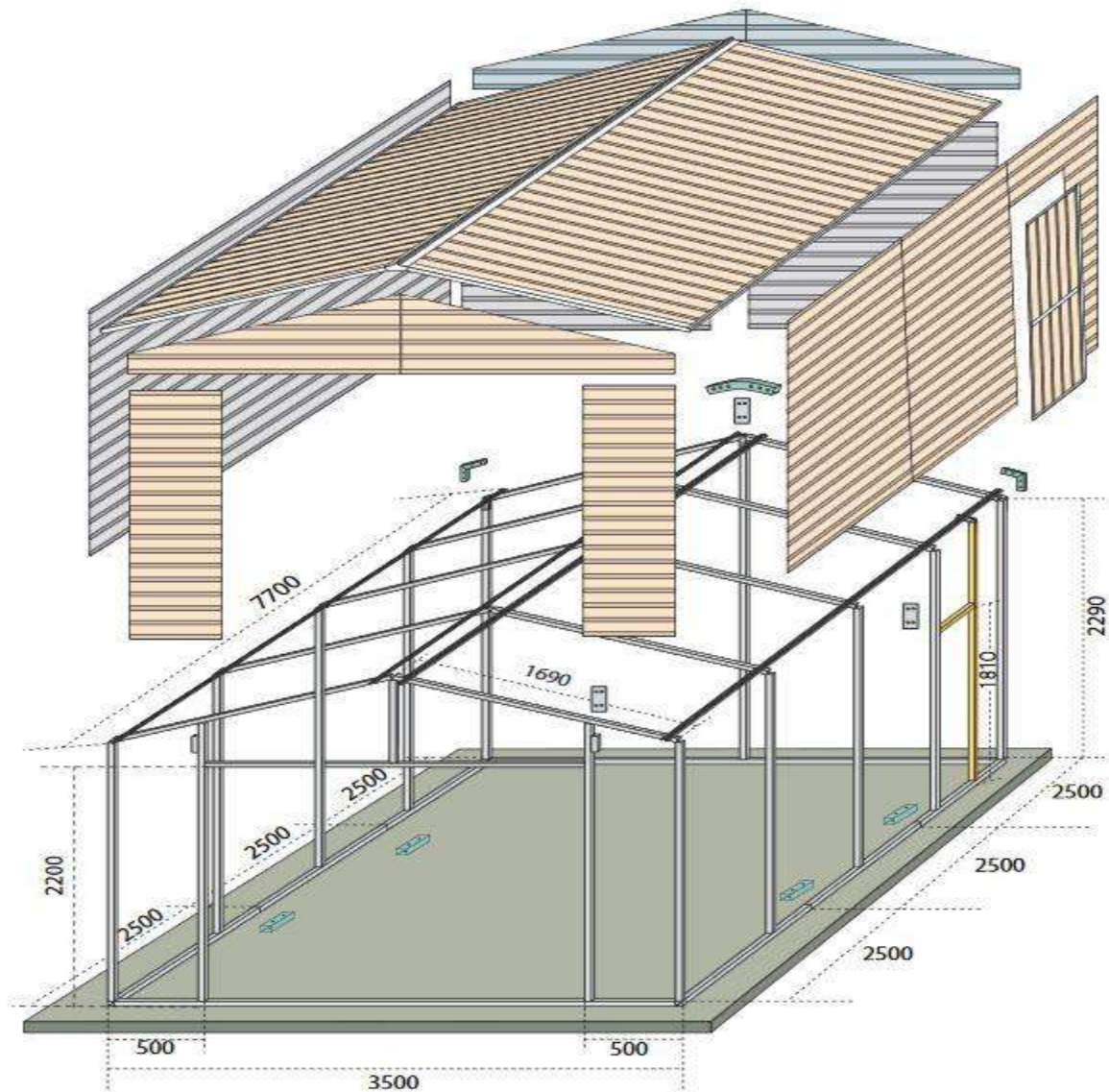


Figure 4: Proposed Floor Plan and Structural Details in 3D

## 2.1 Setbacks

Table 1: Boundary setbacks

### Deck

<b>North (Road Frontage)</b>	35m
<b>South</b>	170m
<b>East</b>	31m
<b>West</b>	12m

### Shed

<b>North (Road Frontage)</b>	20m
<b>South</b>	185m
<b>East</b>	6m
<b>West</b>	40m

The Deck Setbacks are consistent with the 10 meter specified acceptable solution A3.1 of

the Conservation Planning Area Code, therefore the proposal satisfies the performance criteria. The Deck will not be visible from the road frontage of Mahogany Road or any other road frontages or from any other boundary frontages.

See Site Plan (Appendix 2) for further clarification.to the neighboring property to the

The Shed Setbacks are less then 10m (6m) to the neighboring property on the east. The Shed will be sited within an already cleared pocket of vegetation. The Shed would be adequately screened from Mahogany Road and the neighboring property as mature vegetation exists around the clearing and further plantings of native vegetation will be included to enhance the screening of the structure.

It is only proposed to locate the structure closer then 10m to the boundary setback as to avoid any further clearing of the native vegetation and to use the existing vegetation as natural screening. It is recommended to approve the location for the Class 10A Shed structure for above reasons.

## 2.2 Water supply

Water supply is proposed to be by rain water stored in a 5,000L tank located at the northern end of the property behind the Deck and supplied by water harvested from the roof. Inclusive to the water supply to the site is a future bore which will pump water to the storage tank.

## 2.3 Effluent Disposal

The on-site soil test (Appendix 5) recommends an “All-Waste” septic tank discharging into an “Advanced Enviro-Septic” bed or a Composting Toilet as the best solution to effluent disposal for the site. See Appendix 5 for specifications. These systems will be implemented in the future when a house will be built.

## 2.4 Site Stability

The Deck is proposed to be developed on Concrete footings to minimize earthworks and effects on the environment. The on-site soil test found that the site is suitable for the

development of a Deck on concrete footings. The site soil is very stable and contains no acid sulphate soils. See Appendix 5.

## 2.5 Electricity

The Deck will have some electricity supplied by an on-site alternative energy system consisting of solar panels to reduce noise created by generators.

In turn, appliances and lighting proposed for the dwelling are energy efficient.

## 2.6 Access

The access driveway is in place with parking for two vehicles, screened by vegetation and connects to Mahogany Road.

## 2.7 Telecommunications

There is Telstra mobile phone coverage on site.

## 2.8 Landscaping

Below is a landscaping species list of plants for the proposal. All species are native and endemic to the region and fit in to the surrounding ecosystem. These species may only be planted in the event that planting is required by the owner for visual amenity in small areas around the Building site. The landscaping general code is not relevant to this scale and type of development as the site is not disturbed by the proposal. Council is requested not to include a condition requiring a landscape plan as the proposal is very low impact and the Sheds are sited in an area on the block which minimizes environmental impact as no clearing will be necessary and avoids any existing vegetation on the site.

**Shrubs:** Gardenia Scabrella, Phaleria Clerodendron, Pittosporum Rubiginosum, Randia Fitzalanii, Tapenocheilos Ananassae, Dianella Caerulea, Hornstedia Scottonia. Randia Hirta.

**Palms:** Licuala Ramsayi, Archontophoenix, Normanbya Normanbyi, Linospadix Monostachya, Linospadix Microcarya.

**Trees:** Medinilla Balls-Headley, Cananga Odorata, Archydendron Lucyi, Ormosia Ormondii.

**Tree Ferns:** Cyathea Cooperi, Cyathea Rebeceae.

No clearing is proposed for this development.

Landscaping will occur around the proposed Class 10A Shed Structures and the border of the driveway. The Second Shed structure which will be built at a later time will be sited in an existing cleared pocket so no existing vegetation needs to be cleared. To eliminate the need for any clearing the set back to the neighboring property to the east will be less than 10m (est. 6m) but is screened off by mature vegetation and should not be visible from the neighboring property. Plantings of mentioned native species might be included for enhanced screening. It is recommended that approval is granted subject to relevant and reasonable condition.

Over time a landscaping plan will be developed and added to a future house development.

As the landscaping of this area will take time and should not be rushed so an ideal plan can be developed in the future. See Appendix 5 for existing driveway ,parking and clearing for shed.

## 3.0 Planning Assessment

### 3.1 Local Planning Assessment- Douglas Shire Planning Scheme

The application is made over land included in the Conservation Planning Area. The proposed use House is Code Assessable in this Planning Area. The following Codes are applicable to the proposal. This Section contains a brief discussion on the main planning elements. A list of local codes and overlay codes applicable to the proposal is provided in Table 2.

Table 2: Applicable codes to proposal

Planning Scheme Code	Compliance	Location
<b>Settlement Areas North of the Daintree River Locality Code</b>	Relevant as this code primarily relates to new development. Proposal complies	Locality Codes-Appendix 6
<b>Conservation Planning Area Code</b>	Proposal Complies	Planning Area Codes-Appendix 7
<b>House Code</b>	Proposal Complies	Land use Codes-Appendix 8
<b>Filling and Excavation Code</b>	Proposal Complies	General Codes- Appendix 9
<b>Landscaping Code</b>	Proposal Complies	General Codes-Appendix 9
<b>Vehicle Parking and access Code</b>	Proposal Complies	General Codes- Appendix 9
<b>Acid Sulfate Soil Overlay Code</b>	Proposal Complies	Overlay Codes- Appendix 10
<b>Natural Hazards Code</b>	Proposal Complies	Overlay Codes- Appendix 10

### 3.2 Planning Scheme Codes Assessment

The proposed use for a House is assessable development against the Douglas

Shire Planning Scheme Codes. The performance criteria and acceptable solutions/measure are considered and met by the proposal. Care has been taken to ensure that the proposal is consistent with the planning scheme and SPA in terms of:

Assessable development must demonstrate that the performance criteria can be achieved.

The acceptable measures that are nominated in the codes are just one means by which it may be demonstrated that the desired outcomes and performance criteria may be achieved.

See codes in Appendices below for detail.

### **3.2.1 Consistency with Settlement Areas North of the Daintree River Locality Code**

The purpose of this code is to facilitate in achieving the following for the locality:

- protect the values of the WTWHA by ensuring that adjacent settlement areas are limited in extent and have a character and identity which are complementary to those values;
- ensure that all development remains low key and sustainable and within the development limits imposed by the Daintree River ferry crossing and the vehicular capacity of the Alexandra Range crossing and the local Road network;
- provide adequate services and facilities for settlement areas and an appropriate level of economic opportunity for local residents;
- ensure that all development is designed and operated to achieve an environmentally sustainable outcome by taking into account the specific values of the area and/or Management Area and Precinct in which it is located and the site's constraints and opportunities;
- ensure that all development is sensitive and sympathetic to its remote location in an area of unique Biodiversity and Scenic Amenity value; and
- ensure the natural forested landscape character of the locality is protected and enhanced.

The proposal is consistent with the above intents of the locality code, in particular, the proposed house is:

- low key and sustainable
- Adequately serviced to an appropriate level for the economic opportunity of local residents
- Designed to achieve environmentally sustainable outcomes by taking into account the specific areas values including the values of the management area and precinct.
- Designed and will operate on a triple bottom line sustainability approach to minimise adverse impacts on the social, economic and environmental values of the area due to its low key and low emissions design.

## **3.3 State Planning Assessment**

### **3.3.1 Regional Plan**

The site is located within the area covered by the *Far North Queensland Regional Plan 2009-2013*. The Queensland Government

has developed an active regional planning program to address the land use planning issues at a regional level and prepare regional communities for the challenge of rapid population growth. The FNQ Regional Plan includes a vision, which puts strong emphasis on the protection of the FNQ lifestyle and environment in which the stunning landscape features are valued and protected. The vision also includes points on a strong sense of community where residents are able to enjoy the relaxed tropical lifestyle in a range of settings from urban to rural settlement. The proposal is consistent with the character and scale of the surrounding area. The proposed development is of a highly sustainable nature as it is low impact residential use with its own stand alone facilities including, water, power and effluent disposal systems as discussed above. This is consistent with the vision of the regional plan as the low impact and high emphasis on sustainability is paramount to the design of the proposed development. The emphasis on the community being able to enjoy the relaxed tropical lifestyle of FNQ is also an important part of the regional plan as this low key house is that dream becoming a reality in the rural setting.

### 3.3.2 State Vegetation Triggers

The site is mapped as being an area Category X (white) - areas which are non-remnant, not regulated regrowth and not subject to compliance notices, offsets or voluntary declaration (See Figure 5 below). No Clearing is proposed.



Figure 5. : Lot 36 in white from Queensland Government Globe 2017 Vegetation Management Information

## 4.0 Conclusion

This Planning Report supports a DA under the Douglas Shire Planning Scheme made by Raoul G. Singh to Douglas Shire Council for a Material Change of Use for two Class 10A Shed Structures used as Storage while a House Design and Plan is developed. The site is located at Lot 36 Mahogany Road, Diwan on RP738675. The Planning Scheme indicates this site as located in a Rainforest Residential zone which dedicates this site to the use for a house with ancillary outbuildings. The proposal is consistent with the Planning Schemes intended use of the site. This application will be followed by an application for a Building Permit once approval is granted. This report has given an overview of the proposed development. Its intent is confirmed by its consistency with the requirements of the relevant codes within the planning scheme. It is recommended that approval is granted subject to relevant and reasonable conditions.

### Appendix 6: Settlement Areas North of the Daintree River Locality Code

The site is within the Rainforest Residential Precinct of the Northern Management Area for this code.

Performance Criteria	Acceptable Solutions	Compliance
General Requirements – All Development in this Locality		
The Height of Buildings and structures is subservient to the surrounding environment and is in keeping with the unique character of the Locality.	A1.1 In the Planning Areas in this Locality the maximum Height of Buildings / structures is 6.5 metres and 2 Storeys. In addition, the roof or any ancillary roof features do not exceed a maximum Height of 3.5m.	Complies, The Deck is one storey and 4,5m high. The roof of the Shed is 3m high.
Development is connected to sustainable on Site infrastructure services	A2.1 Water storage is provided in tank/s with a minimum capacity to service the proposed use, including fire fighting capacity, and Access to the tank/s for fire trucks. Tank/s to be	Will Comply.

	<p>fitted with a 50 mm ball valve with a camlock fitting and installed and connected prior to occupation and sited so as to be visually unobtrusive.</p> <p>Water storage tanks are to be fitted with screening at the inlet to prevent the intrusion of leaves and insects.</p>	
A2.2	On any roof exceeding 100m <sup>2</sup> , gutters are	<p>Complies. Both Roof Areas will be less than 100m<sup>2</sup> however Gutters will be included in design to feed a Rainwater tank</p>

	<p>installed and the flow diverted to a storage tank.</p> <p>A2.3 An environmentally acceptable and energy efficient power supply is constructed, installed and connected prior to occupation and sited so as to be screened from the road.</p>	<p>above in s2.2</p> <p>Will Comply, as discussed above in s2.5. A stand alone solar system with batteries will be the power supply.</p> <p>Complies, the Deck/energy system is fully screened from Mahogany Road by vegetation</p>
<p>Onsite wastewater does not adversely impact on the environmental quality of the water and soil resources or the amenity of residents, through the implementation of best environmental practice.</p>	<p>A3.1 No Acceptable Solution</p>	<p>Complies,</p> <p>A onsite wastewater treatment will be Implemented once the future house is build and the site is permanently occupied</p>
<p>The sustainability of the natural water resources of the area is protected for ecological and domestic consumption purposes.</p>	<p>A4.1 If groundwater is to be used development is limited to one bore per site and the bore is:</p> <ul style="list-style-type: none"> <li>• not located within 100 metres of a septic disposal trench (on the Site or adjoining Sites); and</li> <li>• not located within 100 metres of another bore.</li> </ul> <p>A4.2 Surface water is to be used for domestic purposes only.</p>	<p>Will Comply,</p> <p>The site is intended for one (1) future bore.</p> <p>Will Comply.</p>
<p>Development does not adversely impact on areas of sensitive natural vegetation, foreshore areas,</p>	<p>A5.1 No Acceptable Solution.</p>	<p>Complies,</p> <p>This impact is mitigated as proposed development is environmentally sustainable and low key.</p>

Watercourses and areas of tidal inundation		No water courses are located at the site
which contribute to the Scenic amenity and the natural values of the Locality		
Development is subservient to the surrounding natural environment in scale and intensity and is designed to be energy efficient and functional in a humid tropical rainforest environment.	<p>A6.1 The exterior finishes and colours of Buildings are non-reflective and complement the colours of the surrounding vegetation and view shed.</p> <p>A6.2 Buildings must be designed such that natural light is maximized and the need for internal lighting during daylight hours is minimized.</p> <p>A6.3 The development incorporates building design features and architectural elements detailed in Planning Scheme Policy No 2 – Building Design and Architectural Elements.</p> <p>A6.4 The noise of generators is controlled by design or the generator is enclosed in a sound insulated building with a residential approved muffler. The noise level generated is less than 65 dBA when measured from a distance of 7 metres.</p> <p>A6.5 Any fuel storage associated with an on site generator and storage of 20 Litres or more of fuel is enclosed in a building and banded.</p>	<p>Complies, The roof and the exterior walls are a range of greens and beige.</p> <p>Complies, The Sides of the Deck are open to maximize natural light</p> <p>Complies. Sustainable design principles are incorporated including high roof/ceiling for natural ventilation and light. Open Sides included for natural ventilation.</p> <p>Complies, the Deck and Shed are serviced by solar panels. In the event that a generator is used, the provision will be complied with.</p> <p>Will Comply.</p>
Landscaping of development Sites ensures the native landscape character of	A7.1 Landscaping utilises only native species and complies with the requirements of	<p>Complies, See s2.8 landscaping plan above.</p> <p>Minimal landscaping and</p>

the Locality is dominant.	Planning Scheme Policy No 7 – Landscaping. AND All of the existing Landscaping to be retained	alteration to natural surrounds is intended.
	and all of the proposed Landscaping is 100% endemic or native species and the details are provided on a Landscape Plan.	
Site Access driveways  and Roads within the Locality are retained as safe, slow speed, scenic drives.	A8.1 Site Access driveways  and existing or proposed roads comply with the relevant requirements of Planning Scheme Policy No 6 – FNQROC Development Manual and are maintained as low speed gravel Roads to maintain the scenic drive experience and to discourage the use of Roads by through-traffic. AND Where existing Roads / tracks are 4 wheel drive only, upgrading to facilitate conventional vehicles and an increase in through- traffic does not occur.	Complies, Driveway and Parking is already in Place as shown on map Appendix 6          N/A
The onsite impacts on natural flow regimes and erosion and sedimentation are minimised.	A9.1 Excavation and Fill is kept to a minimum and involves not more than 5% of the cleared area of the lot. A9.2 All exposed surfaces must incorporate erosion and sediment controls during construction and must be maintained until revegetation or other permanent stabilization has occurred. A9.3 There is no disturbance	Complies, Minimal fill is proposed only to level the Shed pad which is on a 3% slope.  Will Comply       Will Comply. Minimal

	<p>to tree roots and trenching does not involve any damage to tree roots.</p> <p>A9.4 On Site drainage and stormwater management: P1 maintains natural flow regimes;</p>	<p>Excavation and Fills proposed</p> <p>Will comply.</p>
	<p>P2 minimises impervious surfaces;</p> <p>P3 avoids concentration of flows, but where there is any form of concentration of flow, energy dissipation measures are installed at the outlet to avoid erosion (eg: rock rip rap, gravel beds, diffusers etc).</p>	

The land use aspirations in any Indigenous Land Use Agreement (ILUA) are acknowledged and facilitated.	A10.1 Development is consistent with any ILUA relating to the land and the relevant provisions of the Planning Scheme.	N/A
General Requirements- House		
Performance Criteria	Acceptable Solutions	Compliance
Development minimises the loss of vegetation and habitat connectivity on Site and is sited to protect the environmental values of the Site <sup>6</sup> .	<p>A11.1 The elements of development and Access to the site are included in a Designated Development Area (DDA).</p> <p>A11.2 Development is sited in an existing cleared area or in an area approved for Clearing under the Local Law – Vegetation Management but which is not cleared until a Building Permit is issued.</p> <p>A11.3 Any new Clearing is limited to a maximum area of 700m<sup>2</sup> and is sited clear of the High Bank of any Watercourse.</p>	<p>Complies, the proposal is in a rainforest residential zone and does not require clearing</p> <p>Complies, Rainforest residential area. No clearing will take place</p> <p>N/A</p>
All existing native vegetation on a House Site, other than that required and approved to be cleared to provide for the construction of a House and Access thereto, is protected to ensure the environmental integrity of the Locality.	A12.1 No Acceptable Solution.	Complies, NO Clearing will take place

<p>Wildlife movement, fauna habitat and habitat corridors are protected and domestic impacts minimised.</p>	<p>A13.1 Fences are limited in extent to the confines of the cleared area around the House and any associated gates are self closing.</p> <p>A13.2 External lighting is to be kept to the minimum necessary for orientation, safety and security. Flood lights must not point up and areas of retained vegetation should, in general, not be illuminated. Where appropriate, outdoor lights are controlled by movement detectors and/or have timers.</p>	<p>Complies, no fences proposed.</p> <p>Complies.</p>
<p>House Sites have efficient and safe vehicle Access and maneuvering areas on Site and to the Site to an acceptable standard for the Locality.</p>	<p>A14.1 Vehicle Access is limited to one access per lot and sited in an approved location clear of significant vegetation, any Watercourse or steep slopes.</p> <p>A14.2 Vehicular Access, with a maximum width of 4 metres, follows the contours of the Site, avoids large tree specimens or significant vegetation and habitat corridors and is constructed and maintained to a minimum gravel standard of 75 mm of road base on a compacted soil surface.</p> <p>A14.3 Vehicular Access is constructed prior to the construction of the House</p>	<p>Complies, Driveway already existing</p> <p>Will comply.</p> <p>Will Comply.</p>

Specific Provisions for the Settlement Area of Daintree Lowlands Northern Management Area – Cape Tribulation to Thornton Beach Rainforest Residential Precinct.		
Performance Outcomes	Acceptable Solutions	Compliance
Land included in the Rainforest Residential Precinct is only developed for a House and Bed and Breakfast Accommodation where it can be demonstrated that the scale of the Bed and Breakfast Accommodation can establish on the site and not detrimentally impact on the environmental or scenic values of the Site and the surrounding area.	<p>A24.1 Development in the Rainforest Residential Precinct is limited to one House per lot. When</p> <p>A24.2 Establishment of Bed and Breakfast Accommodation only occurs on land in the Rainforest Residential Precinct on which a House has been approved and constructed. AND Is limited to existing cleared areas on the land confirmed by Council's Environmental Officer as a preferred location/s for development, in order to protect the integrity of existing vegetation on the site. EXCEPT THAT Bed and Breakfast can establish within an existing House where there is no existing cleared area to facilitate development in separate building/s. A24.3 Bed and Breakfast Accommodation only establishes in accordance with the following criteria. A24.4 Development on any site in the Rainforest Residential Precinct with frontage to the Esplanade is setback from the Esplanade 250 metres, EXCEPT THAT Lots 2 and 3 on RP 726706 have a minimum development setback from the Esplanade of 100 metres. UNLESS An existing clearing exists on site and is confirmed by Council's Environmental Officer as a preferred location for development, in order to protect the integrity of existing vegetation on the site.</p>	<p>Complies, the proposal is for two Class 10A Shed Structures for Storage while a future house is planned and designed. When House is completed these structures will be ancillary outbuildings to the house.</p> <p>N/A no bed and breakfast proposed.</p> <p>N/A</p> <p>N/A no esplanade frontage to site.</p>

<p>Land included in the Rainforest Residential Precinct is only developed for a House and Bed and Breakfast Accommodation where it can be demonstrated that the scale of the Bed and Breakfast Accommodation can establish on the site and not detrimentally impact on the environmental or scenic values of the Site and the surrounding area</p>	<p>A28.1 Development in the Rainforest Residential Precinct is limited to one House per lot.</p> <p>A28.2 Establishment of Bed and Breakfast Accommodation only occurs on land in the Rainforest Residential Precinct on which a House has been approved and constructed. AND Is limited to existing cleared areas on the land confirmed by Council's Environmental Officer as a preferred location/s for development, in order to protect the integrity of existing vegetation on the site. EXCEPT THAT Bed and Breakfast can establish within an existing House where there is no existing cleared area to facilitate development in separate building/s.</p> <p>A28.3 Bed and Breakfast Accommodation only establishes in accordance with the following criteria: - a maximum of 3 bedrooms (6 Bed Spaces) where a site has a minimum area of</p>	<p>Complies</p> <p>N/A no bed and breakfast proposed.</p> <p>N/A as above.</p>
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	3 hectares.	
Land included in the Rainforest Residential Precinct is only developed for a House	A37.1 Development in the Rainforest Residential Precinct is limited to one House per lot.	Complies, two Class 10A Shed structures are proposed to be used for Storage while a house is planned and designed.

#### Appendix 7: Conservation Planning Area Code

Performance Criteria	Acceptable Solution	Comment
Consistent and Inconsistent Uses- General		
P1 The establishment of uses is consistent with the outcomes sought for the Conservation Planning Area.	A1.1 Uses identified as inconsistent uses in the Assessment Tables are not established in the <ul style="list-style-type: none"> <li>• Conservation Planning Area. OR</li> <li>• In the four Precincts included in the Conservation Planning Area in the Settlement Areas North of the Daintree River Locality</li> </ul>	Complies, Use is consistent.
Site Coverage		
The Site Coverage of all Buildings does not have an adverse effect on the conservation or Scenic Amenity values of the Site and Buildings are subservient to the natural environment.	A2.1 Development is sited in an existing cleared area or in an area approved for Clearing under the Local Law – Vegetation Management but which is not cleared until a Building Permit is issued. Any Clearing is limited to a maximum area of 700m <sup>2</sup> and is sited clear of the High Bank of any Watercourse. (The 700m <sup>2</sup> area of new Clearing does not include an access driveway.)	Complies, rainforest residential area.  Will comply
Building/Structure Setbacks		

Buildings/structures are Setback from the	A3.1 Buildings are Setback not	Complies, see Appendix 2 site plan and s2.1 of report Above for Deck Structure. Shed will be 6m to side boundary to eliminate the need for clearing of native vegetation.
boundaries of the Site so they are screened from view from the boundaries of adjoining properties and adjoining Roads and so that the Scenic Amenity values of the area are not adversely	less than: <ul style="list-style-type: none"> <li>• a minimum of 40m from the Frontage of a State- Controlled Road; or</li> <li>• a minimum of 25m from Cape Tribulation Road Frontage; or</li> <li>• 20m from the Frontage to any other Road; and</li> </ul>	

affected.	• 10m from the side and rear boundaries.	
Buildings/structures are Setback from Watercourses and other sensitive areas to ensure the environmental values of the area are not adversely affected.	A4.1 No Acceptable Solution	Complies, no watercourses existent
Residential Density		
Residential density of any development is very low to ensure that the conservation and Scenic Amenity values of the Site and the surrounding area are not adversely affected.	A5.1 No Acceptable Solution	Complies, proposal is for two small Class 10A Shed structures
Landscaping		
Landscaping incorporates endemic/native vegetation, is informal in character and complementary to the existing natural environment provides screening and enhances the visual appearance of the development.	<p>A6.1 For any development, the balance area of the Site not built upon must be landscaped/revegetated, predominantly with native vegetation and in accordance with the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping.</p> <p>A6.2 Landscaping must be informal in character.</p> <p>A6.3 At the time that a Site is developed for any purpose, the Road Frontage Setback areas are landscaped/revegetated so that 10 metres of the Setback area immediately adjacent to any Road Frontage, where the</p>	<p>Complies, See landscaping plan in s2.8 above.</p> <p>Will comply.</p> <p>Will Comply.</p>

	minimum total Setback required is 20 metres or greater, is Complies, See landscaping plan in s2.8 above. Will comply. Will Comply. landscaped with Dense Planting	
Environmental Values- General		
Development does not adversely impact on the natural environment, natural vegetation or Watercourses.	No Acceptable Solution	Complies.
Development is complementary to the surrounding environment	<p>A8.1 Development harmonises with the Surrounding environment, for example, through suspended, light weight construction on sloping Sites, which requires minimal excavation and fill.</p> <p>A8.2 A Development is subservient to the natural landscape in scale and in the use of exterior colours and finishes.</p> <p>A8.3 Any driveway or car park is constructed and maintained to:</p> <p>particularly in the wet season; and</p> <p>contours of the Site; and</p> <p>Clearing.</p>	<p>Complies, proposed site for house development has minimal slope compared to other areas of property. Proposal is low impact and sustainable.</p> <p>Complies.</p> <p>Will comply.</p>
Sloping Sites		
Building/structures are designed and sited to be responsive to the constraints of sloping Sites.	<p>A9.1 Building/structures are Erected on land with a maximum slope not exceeding 15%.</p> <p>OR</p> <p>Development proposed to</p>	Complies, maximum slope of land is 10%.

be Erected on land with a maximum slope between 15% and 33% is accompanied by a Geotechnical Report prepared by a qualified	N/A
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	<p>engineer at development application stage.</p> <p>OR</p> <p>Development proposed to be Erected on land with a maximum slope above 33% is accompanied by a Specialist Geotechnical Report prepared by a qualified engineer at development application stage which includes signoff that the Site can be stabilised.</p> <p>AND</p> <p>Any Building/structures proposed to be Erected on land with a maximum slope above 15% are accompanied by an additional Geotechnical Report prepared by a qualified engineer at building application stage.</p>	N/A
The building style and construction methods used for development on sloping Sites are responsive to the Site constraints.	<p>A10.1 A split level building form is utilised.</p> <p>A10.2 A single plane concrete slab is not utilised.</p> <p>A10.3 Any voids between the floor of the Building and Ground Level, or between outdoor decks and Ground Level, are screened from view by using lattice/batten screening and/or Landscaping.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p>
Development on sloping land minimises any impact on the landscape character of the surrounding area.	<p>A11.1 Buildings/structures are sited below any ridgelines and are sited to avoid protruding above the surrounding tree</p>	N/A

	level.	
Development on sloping land ensures that the quality and quantity of stormwater traversing the Site does not cause any detrimental impact to the natural environment or to any other Sites.	A12.1 All stormwater drainage discharges to a lawful point of discharge and does not adversely affect downstream, upstream, underground stream or adjacent properties.	Will Comply.
Sustainable Siting and Design of Houses on Sloping Sites		
A House sited on hillside land is sited in an existing cleared area, or in an area approved for Clearing.	A13.1 A House is sited in an existing cleared area or in an area approved for Clearing under the Local Law – Vegetation Management but which is not cleared until development occurs. The Clearing is limited to a maximum area of 700 m <sup>2</sup> and is sited clear of the High Bank of any Watercourse. A13.2 The approved area for the Clearing of the House is not cleared until a Building Permit is issued.	Will Comply NO clearing proposed
A House sited on hillside land is sited so that it is not clearly visible from any public Road.	A14.1 A House is Setback a minimum of 25 metres from Cape Tribulation Road or 20 metres from any other Road Frontage.	Complies, house is set back approx. 80m from Camelot Close frontage.
A House sited on hillside land is sited and designed so that it is subservient to the surrounding natural environment.	A15.1 A House is effectively screened from view by existing native trees planted in designated Setback area/s, or by the planting of additional native trees endemic to the local area	Complies, Remnant rainforest screen the house from the road coupled with a winding access driveway. No additional trees needed for screening.
The exterior finishes of a House	A16.1 The exterior finishes and colours of	Complies, the exterior of the house is light shades of

complements the	Building/s are non	brown and is non-
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surrounding natural environment.	reflective and complement the colours of the surrounding vegetation and viewshed.	reflective.
A House is designed to be energy efficient and functional in a humid tropical rainforest environment.	A17.1 The development incorporates building design features and architectural elements detailed in Planning Scheme Policy No 2 – Building Design and Architectural Elements.	Complies. Architectural design with skillion roof and open planned for sustainable use to increase use of natural light and natural cooling.

#### Appendix 8: Land Use Codes- House Code

General		
Performance Criteria	Acceptable Solutions	Compliance
Buildings on a lot have the appearance and bulk of a single House with ancillary Outbuildings.	A1.1 A lot contains no more than one House. A1.2 Ancillary Outbuildings have a maximum Site Coverage of 10% of the balance area of the Site not otherwise taken up by the House.	Complies, the proposal is For outbuildings for a future house  Complies
The House is used for residential purposes.	A2.1 The House is used by one Household.	Will Comply. Owner plans to live at the future house permanently. Proposed structures are being used for storage only
Resident's vehicles are accommodated on Site and are sited to minimise the dominance of car accommodation on the streetscape.	A3.1 A minimum of 2 vehicle spaces are provided on Site and may be provided in tandem. A3.2 At least one garage, carport or designated car space must be located at least 6 metres from the Main Street Frontage.	Complies. 2 vehicle spaces already in place  Complies.

### Appendix 9: General Codes

Filling and Excavation Code- This code applies to the MCU proposal as the proposal requires minor fill and excavation works on the 5% slope to develop a level house pad.

Performance Outcomes	Acceptable Solutions	Compliance
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Filling and Excavation- General	
All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the Site or the surrounding area.	

	<p>A1.1 The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height. AND Cuts in excess of those stated in A1.1 above are separated by benches/terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.</p> <p>A1.2 Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation.</p> <p>A1.3 Cuts are screened from view by the siting of the Building / structure, wherever possible.</p> <p>A1.4 Topsoil from the Site is retained from cuttings and reused on benches /terraces.</p> <p>A1.5 No crest of any cut or toe of any fill, or any part of any retaining wall or structure, is located closer than 600 mm to any boundary of the property, unless the prior written approval of the adjoining landowner and the Council, has been obtained.</p> <p>A1.6 Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, Landscaping or other protective/aesthetic</p>	<p>Will Comply.</p> <p>Will Comply</p> <p>Will comply if a cut is necessary.</p> <p>Will comply if a cut is required.</p> <p>Will Comply.</p> <p>Complies.</p> <p>Will Comply.</p>
Filling and excavation	A2.1 The extent of filling	Complies. The fill/cut

are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.	or excavation does not exceed 40% of the Site area or 500 m <sup>2</sup> whichever is the lesser. EXCEPT THAT A2.1 does not apply to reconfiguration of 5 lots or more. A2.2 Filling and excavation does not occur within 2 metres of the Site boundary.	will be a maximum of 27m <sup>2</sup> , for the Shed pad.  Complies. Filling/cutting is proposed for approximately 35 meters from the east and 6m from the west site boundaries, which are the closet boundaries to the Shed pad.
Flooding and Drainage		
Filling and excavation does not result in a change to the run off characteristics of a Site which then have a detrimental impact upon the Site or nearby land or adjacent Road reserves.	A3.1 Filling and excavation does not result in the ponding of water on a Site or adjacent land or Road reserves. A3.2 Filling and excavation does not result in an increase in the flow of water across a Site or any other land or Road reserves. A3.3 Filling and excavation does not result in an increase in the volume of water or concentration of water in a Watercourse and overland flow paths. A3.4 Filling and excavation complies with the specifications set out in the Planning Scheme Policy No 6 – FNQROC Development Manual.	Will Comply. Proposed fill/cut works will not re-direct any flows on the site.  Will Comply   Will Comply.  Will Comply.
Water Quality		
Filling and excavation does not result in a reduction of the water quality of receiving waters.	A4.1 Water quality is maintained to comply with the specifications set out in the Planning Scheme Policy No 6 –	Will Comply.

	FNQROC Development Manual.		
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### Landscaping Code

Performance Criteria	Acceptable Solutions	Compliance
Landscape Design		
Landscape design satisfies the purpose and the detailed requirements of this Code.	A1.1 Landscaping is undertaken in accordance with a Landscape Plan drawn to scale which complies with and illustrates all the relevant requirements of this Code and Planning Scheme Policy No 7 Landscaping. AND Landscaping is maintained in accordance with the requirements specified in this Code and Planning Scheme Policy No 7 – Landscaping.	Will Comply, Landscaping plan will be developed with the house in the future.
Landscape- Character and Planting		
Landscaping contributes to a sense of place, is functional to the surroundings and provides dominant visual interest and form.	A2.1 A minimum of 80% of the proposed landscape area is open to the sky for sunlight and ventilation. A2.2 The percentage of native or endemic species utilised in the Landscaping is as specified in the Locality Code. OR Where not specified in	Complies.  Complies, see s2.8 above.

	the Locality Code, in accordance with Planning Scheme Policy No. 7 –	
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	Landscaping. A2.3 Landscaping includes planting layers comprised of canopy, middle storey, screening and groundcovers, with palm trees used as accent plants only.	Complies.
Landscaping is consistent with the existing landscape character of the area and native vegetation existing on the Site is to be retained wherever possible and integrated with new Landscaping. .	A3.1 Existing native vegetation on Site is retained and incorporated into the Site design, wherever possible. A3.2 Any mature vegetation on the Site which is removed or damaged during development of the Site is replaced with advanced native species. A3.3 Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are planted on Site or on the street. A3.4 Street trees are 100% native species which enhance the landscape character of the streetscape, with species chosen from the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping.	Complies,  Will Comply.       Will Comply.       Will Comply, although no street trees are proposed.
Plant species are selected with consideration to the scale and form of	A4.1 Species are selected in accordance with the Plant Species Schedule in	Complies, see s2.8 in report above.

development, screening, buffering, streetscape, shading and the locality of the area.	Planning Scheme Policy No 7 –Landscaping.	
Shade planting is	A5.1 Where car parking	N/A to this scale of
provided in car parking areas where uncovered or open, and adjacent to driveways and internal Roadways.	<p>areas are uncovered or open, shade trees are planted at regular intervals (a minimum of 1 shade tree is provided for every 5 car parks) throughout the car parking areas, and adjacent to driveways and internal Roadways.</p> <p>A5.2 A minimum of 1 shade tree is provided for every 10 metres along a driveway or internal Roadway.</p> <p>A5.3 Landscape beds and trees are protected by garden edging, bollards or wheel stops.</p> <p>A5.4 Trees within car parking areas have a minimum planting area the equivalent of 1 car parking bay, with a minimum topsoil depth of 0.8 metre.</p>	<p>Development but Parking is under natural vegetation</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>
Screening		
Fences along street Frontages are articulated with appropriate Landscaping.	<p>A6.1 Perimeter fencing to any street Frontage complies with the relevant Planning Area Code.</p> <p>A6.2 Trees, shrubs and groundcovers are planted within any recessed areas along the fence line.</p>	<p>N/A no perimeter fence proposed.</p> <p>N/A</p>
Landscaping within Recreation Areas of residential development	A7.1 One shade tree is provided for each private open space or private	N/A

are functional, well designed and enhance the residential amenity.	Recreation Area. A7.2 Tree species provide 30% shade over the area within 5 years. A7.3 A minimum of 50% of the Landscaping and Recreational Area is	N/A to this scale of development.  N/A to this scale of development.
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	landscaped, with trees, shrubs, groundcovers, minimising large expanses of hardstand areas and structures. A7.4 Plants are located to provide shelter and shade to Habitable Rooms and outdoor Recreation Areas from the hot summer sun.	Complies.
Undesirable features are screened with Landscaping.	A8.1 Landscaping of Dense Planting is planted along and near retaining walls, long blank walls of Buildings, mechanical and air-conditioning units, clothes drying areas, bin enclosures and other utility structures with appropriate trees, shrubs and groundcovers.	N/A to this scale of development.
The environmental values of the Site and adjacent land are enhanced.	A9.1 Landscaping using similar endemic or native species, is planted on-Site on land adjoining an area of natural environmental value.	Will Comply.
Streetscape and Site Amenity		
Landscaping for residential development enhances the streetscape and the visual appearance of the development.	A10.1 Dense Planting along the front of the Site incorporates: ☑ shade canopy trees to provide shade to the Frontage of the Site within 5 years of planting; ☑ landscape screening of blank walls; ☑ low shrubs, groundcovers and mulch to completely cover unsealed ground. A10.2 Dense Planting to the rear of the Site incorporates: ☑ 1 shade tree for an average of every 75 m2	N/A to the scale of development as streetscape landscaping is not proposed. Remnant rainforest already does this.  N/A to this scale of development.

	<p>, growing to the Building eave Height within 5 years of planting;</p> <p>☑ screening shrubs to grow to 3 metres in Height within 2 years of planting;</p> <p>☑ low shrubs, groundcovers and mulch to completely cover unsealed ground.</p> <p>A10.3 Dense Planting to the side boundaries incorporates:</p> <p>☑ trees planted for an average of every 10 metres where adjacent to a Building;</p> <p>☑ low shrubs, groundcovers and mulch to completely cover unsealed ground.</p>	N/A to this scale of development.
Maintenance and Drainage		
Landscaped areas are designed in order to be maintained in an efficient manner.	<p>A12.1 A maintenance program is undertaken in accordance with the Maintenance Schedule in Planning Scheme Policy No 7 – Landscaping.</p> <p>A12.2 A reticulated irrigation system is provided to common Landscaping and Recreation Areas and planter boxes in accordance with Australian Standards, with 1 hose cock within each area.</p> <p>A12.3 Turf areas are accessible by standard lawn maintenance equipment.</p> <p>A12.4 Plant species are selected with long life expectancy and minimal maintenance requirements where on-</p>	<p>Will Comply.</p> <p>N/A to this scale of development.</p> <p>Complies.</p>

	<p>Site management will be limited.</p> <p>A12.5 Mulching is provided to all garden beds to reduce weed growth and to retain water, and is to be replenished every year in the ongoing maintenance program.</p>	Will Comply
Stormwater runoff is minimised and re-used in Landscaping through water infiltration, where appropriate.	<p>A13.1 Adequate drainage is provided to all paving, turf and garden beds, including the use of swales, spoon drains, subsurface drainage, field gullies, rock or pebble lined Watercourses and stormwater connections.</p> <p>A13.2 Overland flow paths are not to be restricted by Landscaping works.</p> <p>A13.3 Water runoff is re-used through draining of hard surface areas towards permeable surfaces, turf, garden beds and by minimising impervious surfaces on the Site.</p>	<p>N/A</p> <p>Will Comply.</p> <p>Will Comply.</p>
<b>Safety</b>		
Tree species and their location accommodate vehicle and pedestrian sight lines.	A14.1 Trees located near pathways, driveways, Access points, parking areas and street corners have a minimum 3.0 metres of clear trunk.	Will Comply
The landscape design enhances personal safety and reduces the potential for crime and vandalism.	<p>A15.1 Security and foot lighting is provided to all common areas, including car parks, entries, driveways and pathways.</p> <p>A15.2 Hard surfaces are stable, non-slippery and useable in all weathers.</p> <p>A15.3 Bushfire hazard is minimised with planting of bushfire resistant</p>	<p>N/A A13.2 of the Locality code overrides this as external light is to be minimized for its environmental impact.</p> <p>Will comply.</p> <p>N/A</p>

	<p>species near bushfire prone areas, (refer to the Bushfire Risk Overlay on the relevant Locality Map).</p> <p>A15.4 Lighting for bicycle paths is provided in accordance with the relevant Australian Standards.</p>	N/A
Utilities and Services		
The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.	<p>A16.1 Plant species are selected and sited with consideration to the location of overhead and underground services.</p> <p>A16.2 All underground services are to be located under pathways and below the eaves of the Building.</p> <p>A16.3 Irrigation control devices are located in the common Landscaping and Recreation Area.</p> <p>A16.4 Landscaping is located to enable trade persons to Access and view meters and other mechanical equipment within the Site.</p> <p>A16.5 Landscaping does not limit Access for service vehicles or rubbish trucks to utility areas, bin enclosures or docking areas.</p> <p>A16.6 Landscaping near electric lines or substations is designed and developed so that any vegetation at maturity or Landscaping structures or works do not exceed 40 metres in Height on land:</p> <ul style="list-style-type: none"> <li>- in an electric line shadow; or</li> <li>- within 5.0 metres</li> </ul>	<p>Complies</p> <p>Will comply</p> <p>N/A</p> <p>N/A to this scale of development.</p> <p>N/A as above</p> <p>N/A</p>

	<p>of an electric line shadow; or</p> <p>- within 5.0 metres of a substation boundary.</p> <p>A16.7 Elsewhere, vegetation is planted at a distance that is further from the nearest edge of an electric line shadow or substation boundary than the expected maximum Height at maturity of the vegetation.</p> <p>A16.8 On a Site adjoining an electricity substation boundary, the vegetation foliage at maturity is not within 3.0 metres of the substation boundary. However, where a substation has a solid wall along any part of its boundary, foliage may extend to, but not above or beyond, that solid wall.</p>	<p>N/A</p> <p>N/A</p>
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Vehicle Parking and Access Code- the proposal includes a double carport.

Performance Criteria	Acceptable Solutions	Compliance
Vehicle Parking Numbers		
<p>Sufficient parking spaces are provided on the Site to accommodate the amount and type of vehicle traffic expected to be generated by the use or uses of the Site, having particular regard to:</p> <ul style="list-style-type: none"> <li>• the desired character of the area in which the Site is located;</li> <li>• the nature of the particular use and its specific characteristics and scale;</li> <li>• the number of employees and the likely</li> </ul>	<p>A1.1 The minimum number of vehicle parking spaces provided on the Site is not less than the number prescribed in Schedule 1* of this Code for the particular use or uses. Where the number of spaces calculated from the Schedule is not a whole number, the number of spaces provided is the next highest whole number.</p>	<p>Complies.</p>

number of visitors to the		
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<p>Site;</p> <ul style="list-style-type: none"> <li>• the level of local accessibility;</li> <li>• the nature and frequency of any public transport serving the area;</li> <li>• whether or not the use involves the retention of an existing Building and the previous requirements for car parking for the Building;</li> <li>• whether or not the use involves an identified Valuable Conservation Feature and Valuable Site;</li> </ul> <p>and</p> <ul style="list-style-type: none"> <li>• whether or not the use involves the retention of significant vegetation.</li> </ul>		
<b>Parking for People with Disabilities</b>		
<p>Parking spaces are provided to meet the needs of vehicle occupants with disabilities.</p>	<p>A2.1 For parking areas with a total number of ordinary vehicle spaces less than 50, wheelchair accessible spaces are provided as follows:</p> <ul style="list-style-type: none"> <li>• Medical, higher education, entertainment facilities and shopping centres – 2 spaces;</li> <li>• All other uses – 1 space.</li> </ul> <p>A2.2 For parking areas with 50 or more ordinary vehicle spaces, wheelchair accessible spaces are provided as follows:</p> <ul style="list-style-type: none"> <li>• Medical, higher education, entertainment facilities and shopping centres – 3% (to the closest whole number) of the total number of spaces required;</li> <li>• All other uses – 2% (to the closest whole</li> </ul>	<p>N/A</p> <p>N/A</p>

	number) of the total number of spaces required.	
<b>Motorcycles</b>		
<p>In recognition that motorcycles are low Road-space transport, a proportion of the parking spaces provided may be for motorcycles. The proportion provided for motor cycles is selected so that:</p> <ul style="list-style-type: none"> <li>• ordinary vehicles do not demand parking in the spaces reserved for motor cycles due to capacity constraints; and,</li> <li>• it is a reflection of the make-up of the likely vehicle fleet that uses the parking; and,</li> <li>• it is not a reflection of the lower cost of providing motorcycle parking.</li> </ul>	<p>A3.1 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% per cent of total ordinary parking. AND The motorcycle parking complies with other elements of this Code.</p>	N/A
<b>Compact Vehicles</b>		
<p>A proportion of the parking spaces provided may be for compact vehicles. The proportion of total parking provided for compact vehicles is selected considering:</p> <ul style="list-style-type: none"> <li>• compact vehicles spaces are not available to non-compact vehicles; and,</li> <li>• it is a reflection of the proportion of the likely vehicle fleet that uses the parking; and,</li> <li>• compact vehicle spaces are located so as to be proximate to pedestrian destinations such that they present significant inclination for use by users of compact vehicles;</li> </ul>	<p>A4.1 For parking areas exceeding 100 spaces for short term users or 50 spaces for long- term users, parking is provided for compact vehicles as a substitute for ordinary vehicle parking so that:</p> <ul style="list-style-type: none"> <li>• compact vehicle parking does not exceed 10% of total vehicle parking required; and,</li> <li>• the parking location is proximate to the entry locations for parking users; and,</li> <li>• the parking provided complies with other elements of this Code.</li> </ul>	N/A

and,

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<ul style="list-style-type: none"> <li>the scale of parking spaces, likely users and the likely degree of familiarity with the availability of such spaces.</li> </ul>		
<b>Bicycle Parking</b>		
Sufficient bicycle parking spaces with appropriate security and end of trip facilities are provided on-Site to accommodate the amount of bicycles expected to be generated by the use or uses.	A5.1 The minimum number of bicycle parking spaces provided on Site is not less than the number prescribed in Schedule 1 of this Code, for the particular use or uses.	N/A
<b>Vehicular Access to the Site</b>		
<p>The location of Access points minimises conflicts and is designed to operate efficiently and safely taking into account:</p> <ul style="list-style-type: none"> <li>the amount and type of vehicular traffic;</li> <li>the type of use (eg long-stay, short-stay, regular, casual);</li> <li>Frontage Road traffic conditions;</li> <li>the nature and extent of future street or intersection improvements;</li> <li>current and future on-street parking arrangements;</li> <li>the capacity of the adjacent street system; and</li> <li>the available sight distance.</li> </ul>	<p>A6.1 The location of the Access points is in accordance with the provisions of the relevant Australian Standards. AND Where the Site has Frontage to more than one street, the Access is from the lowest order street.</p> <p>A6.2 All redundant Accesses must be removed and a suitable barrier Erected to prevent further use of the Access.</p> <p>A6.3 Only one Access point is to be provided to each Site unless stated otherwise in another Code.</p>	<p>Complies.</p> <p>N/A no redundant access present.</p> <p>Complies.</p>
<b>Accessibility and Amenity for Users</b>		
On-Site vehicle parking is provided where it is convenient, attractive and safe to use, and does not detract from an attractive or existing streetscape character.	A7.1 Short term visitor parking is provided at the front or on the main approach side of the Site, with easy Access to the Building entry, where such provision is in keeping with the desired	N/A to this scale of development.



The surface construction materials of Access driveways within the Road reserve contribute to the streetscape and alerts pedestrians to the location of the driveway.	A10.1 Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.	Complies. Proposal is for 50mm aggregate on compacted soil base as consistent with the settlement areas environs code.
Access for People with Disabilities		
Access for people with disabilities is provided to the Building from the parking area and from the street.	A11.1 Access for people with disabilities is provided in accordance with the relevant provisions of the Australian Standards.	N/A to this scale of development.
Access for Pedestrians		
Access for pedestrians is provided to the Building from the parking area and from the street.	A12.1 Defined, safe pedestrian pathways are provided to the Building entry from the parking area and from the street.	N/A to this scale of development.
Access for Cyclists		
Access for cyclists is provided to the Building or to bicycle parking area from the street.	A13.1 Access pathways for cyclists are provided in accordance with the relevant provisions of the Australian Standards. AND Where Access for cyclists is shared with Access for pedestrians and vehicles, the shared use is identified by signage and line marking.	N/A to this scale of development.
Dimensions for Parking Spaces		
Parking spaces must have adequate areas and dimensions to meet user requirements.	A14.1 Car parking for the disabled, ordinary car parking spaces and motorcycle parking spaces meet the requirements of the relevant Australian Standards. AND Parking spaces for special	N/A to this scale of development.

	<p>vehicles that are classified in accordance with the relevant Australian Standards meet the requirements of that Standard.</p> <p>AND</p> <p>Parking spaces for standard sized buses have the following minimum dimensions:</p> <ul style="list-style-type: none"> <li>• width: 4 metres</li> <li>• length: 20 metres</li> <li>• clear Height: 4 metres.</li> </ul> <p>AND</p> <p>Parking spaces for compact vehicles have the following minimum dimensions:</p> <ul style="list-style-type: none"> <li>• 15 per cent less in width measurements than required</li> <li>• by Australian Standards for any ordinary vehicle; and,</li> <li>• 20 per cent less in length measurements than required</li> </ul> <p>by Australian Standards for any ordinary vehicle. AND Parking spaces for special vehicles meet the requirements dictated by the vehicle dimensions and manoeuvring characteristics and provide sufficient clearance to obstructions and adjacent vehicles to achieve a level of service to users equivalent to that specified by the relevant Australian Standards.</p> <p>A14.2 Parking spaces for bicycles meet the requirement of the relevant Australian Standard.</p>	N/A to this scale of development.
On-Site Driveways, Manoeuvring Areas and Parking/Standing Areas		
On-Site driveways, manoeuvring areas and vehicle parking / standing areas are designed, constructed and maintained such that they:	<p>A15.1 On-Site driveways, vehicle manoeuvring and loading / unloading areas:</p> <ul style="list-style-type: none"> <li>• are sealed in urban areas:</li> </ul> <p>AND upgraded to</p>	Complies.

<ul style="list-style-type: none"> <li>•are at gradients suitable for intended vehicle use;</li> <li>• consider the shared movements of pedestrians and cyclists;</li> <li>•are effectively drained and surfaced; and</li> <li>•are available at all times they are required.</li> </ul>	minimise noise, dust and runoff in other areas of the Shire in accordance with the relevant Locality Code; •have gradients and other design features in accordance with the provisions of the relevant Australian Standards; and • drain adequately and in such a way that adjoining and downstream land is not adversely affected. A15.2 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking.	Will comply.
Vehicle Circulation, Queuing and Set Down Areas		
Sufficient area or appropriate circulation arrangements are provided to enable all vehicles expected to use the Site to drive on and off the Site in forward gear.	A16.1 Circulation and turning areas comply with the provisions of the relevant Australian Standards.	Complies.
An on-Site circulation system provides safe and practical Access to all parking, loading/unloading and manoeuvring areas.	A17.1 Circulation driveways comply with the provisions of the relevant Australian Standards.	N/A
Where vehicle queuing, set down or special vehicle parking is expected, sufficient queuing or parking area is provided to enable vehicles to stand without	A18.1 Queuing and set down areas comply with the relevant Australian Standard and any relevant AUSTRROAD Guidelines.	N/A

obstructing the free flow of moving traffic or pedestrian movement.		
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## Appendix 10: Overlay Codes

Acid Sulfate Soils

Overlay Codes

Performance Criteria	Acceptable Solutions	Compliance
The release of acid and associated metal contaminants into the environment are avoided either by:  Sulfate Soils; or by  potential impacts of any disturbance through appropriate Site planning, treatment and ongoing management.	A1.1 The disturbance of Acid Sulfate Soils is avoided by:  removing more than 100 m3 of material identified as containing or potentially containing Acid Sulfate Soils;  temporarily extracting groundwater that results in the aeration of previously	Complies, No acid Sulfate Soils were identified in the Overlay maps for the site or by the soil test in Appendix 5.

filling in excess of 500 m3 of material to depths greater than an average depth of 0.5 metres will not result in ground water extrusion

from Acid Sulfate Soils and the aeration of previously saturated Acid Sulfate Soils from the compaction or movement of those soils.

A1.2 Site planning, treatment and ongoing management are undertaken so that:

contaminants are not generated and acidity

saturated Acid Sulfate Soils; not permanently or ; temporarily extracting groundwater that results in the aeration of previously saturated Acid Sulfate Soils; and Demonstrating that any filling in excess of 500 m<sup>3</sup> of material to depths greater than an average depth of 0.5 metres will not result in ground water extrusion from Acid Sulfate Soils and the aeration of previously saturated Acid Sulfate Soils from the compaction or movement of those soils.

A1.2 Site planning, treatment and ongoing management are undertaken so that: acid and metal contaminants are not generated and acidity

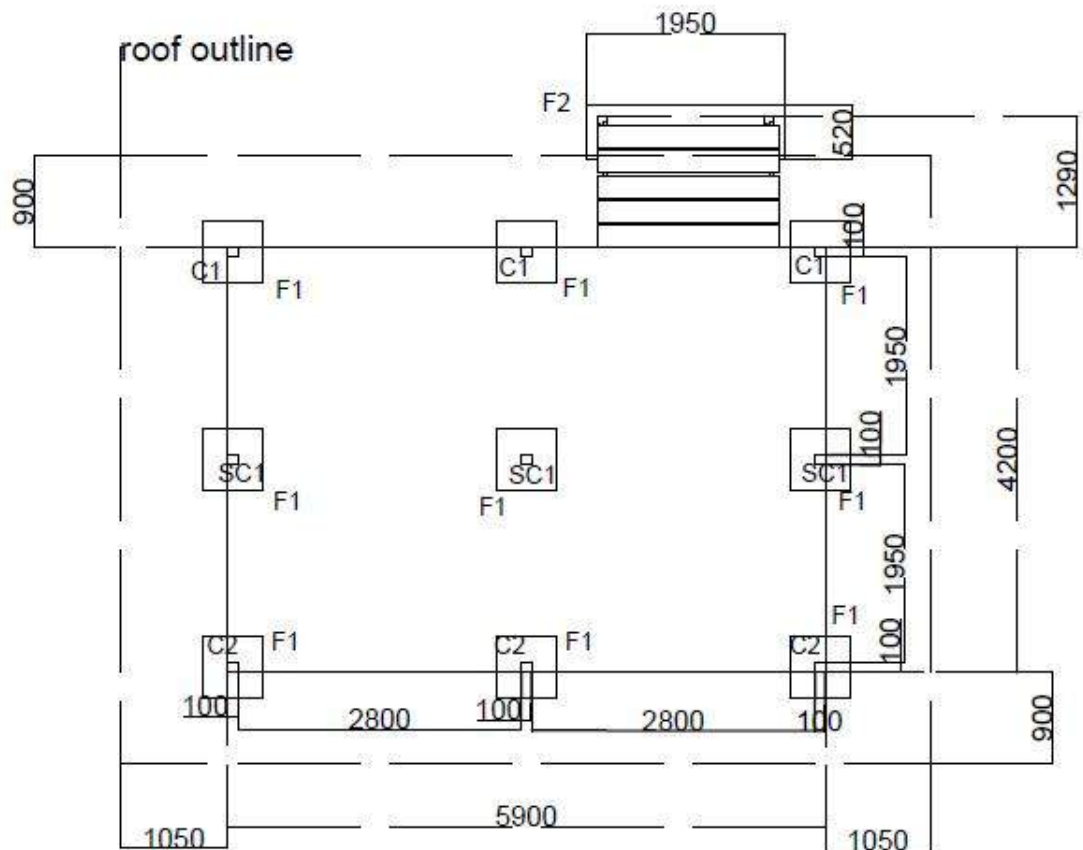
	<p>is neutralised;</p> <p>☒ untreated Acid Sulfate Soils are not taken off-Site unless this is to an alternative location for treatment; and</p> <p>☒ surface and groundwater flows from areas containing Acid Sulfate Soils do not release leachate containing acid or metal contaminants into the environment.</p>	
Identification and Management of Acid Sulfate Soils		
The location and extent of Acid Sulfate Soils are identified on the development Site and appropriately management so as to avoid the release of acid and associated metal contaminants into the Environment.	A2.1 No Acceptable Solution	Complies, no acid sulphate soils were identified on the site.

## Natural Hazards Overlay Code

Bushfire		
Performance Criteria	Acceptable Solutions	Compliance
Development does not compromise the safety of people or property from bushfire.	A1.1 Any development on land identified as High Risk Hazard on any Natural Hazards Overlay on any Locality Map complies with the relevant requirements of State Planning Policy 1/03 – Mitigating the Adverse Impacts of Flood, Bushfire and Landslide. AND Development complies with a Bushfire Management Plan prepared for the site.	Complies, The site is not identified as medium or high risk on any overlay map. The rest of this code is not addressed as the site is not subject to bushfires as it is rainforest. It is 20m above sea level and not prone to floods or landslide.

## 5. Appendices

## Appendix 1. Floor plan Deck

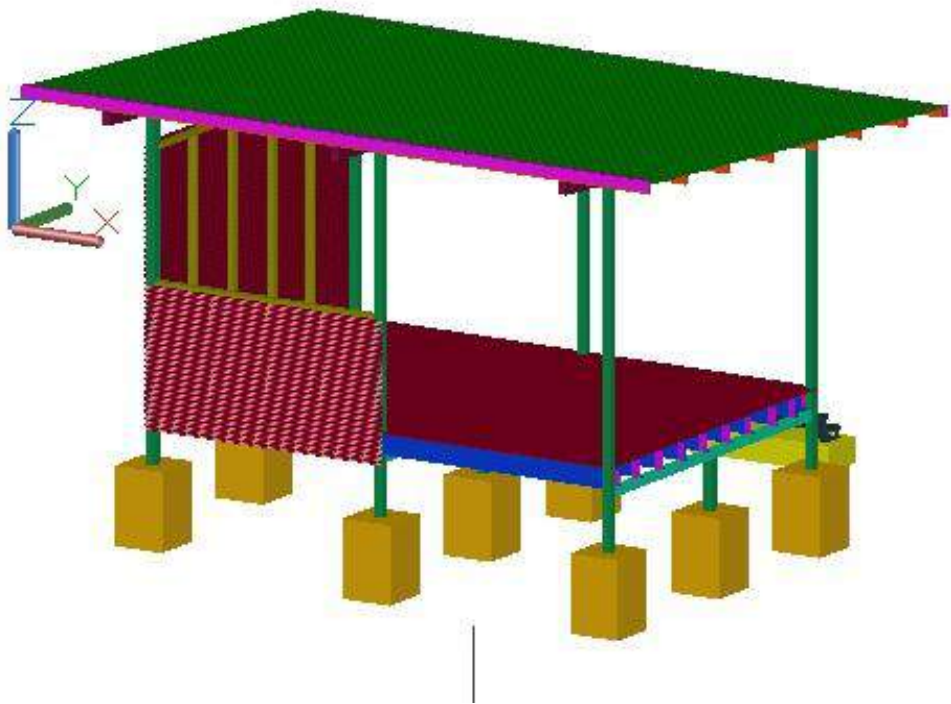


1. Property map (incl. existing clearings, driveway, parking and structure locations)



### Appendix 3.

#### Deck 3D Elevation



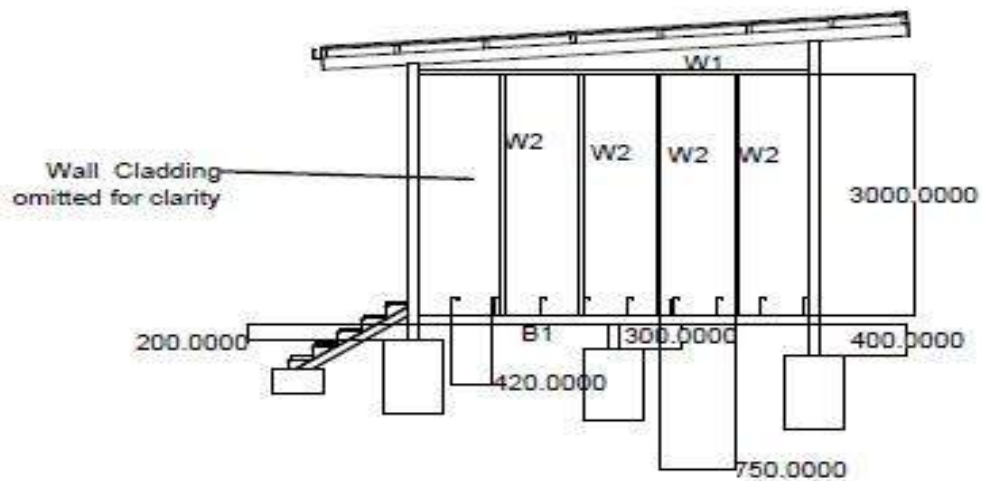
#### Shed 3D Elevation



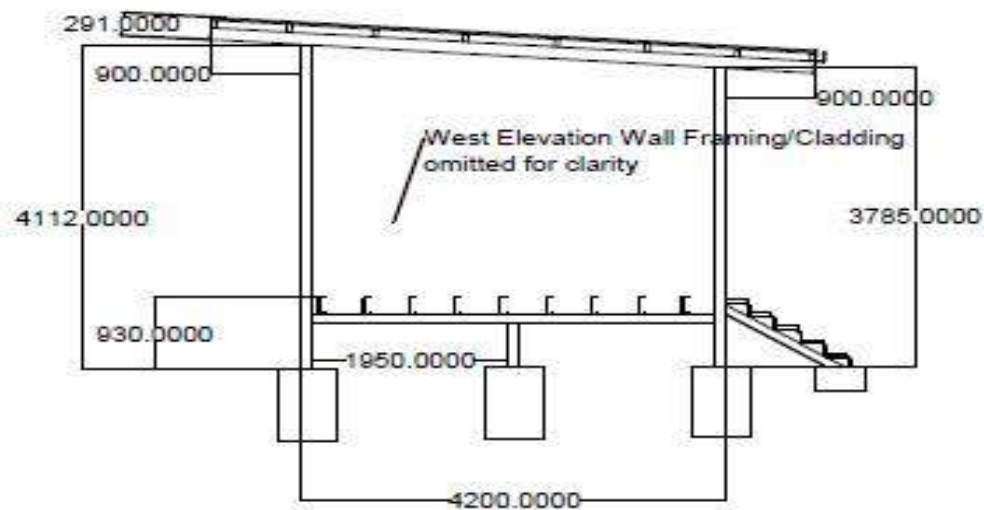
## Appendix 4.

### Deck Elevations

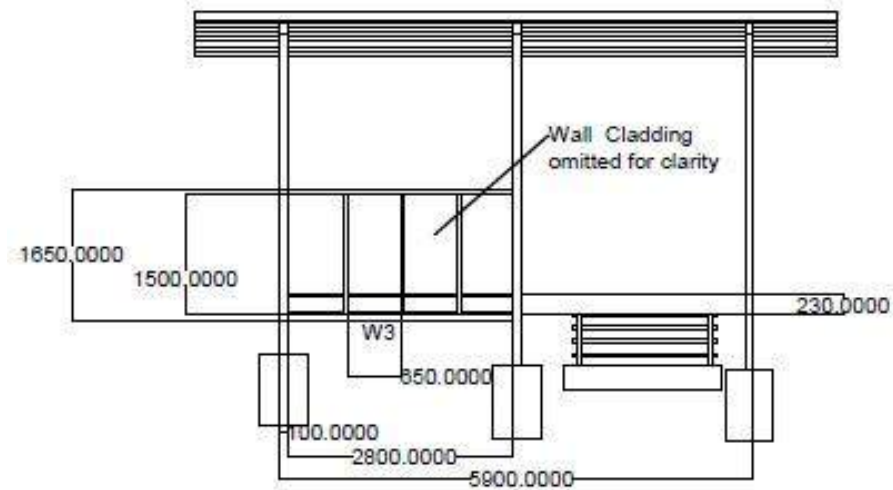
## West Elevation



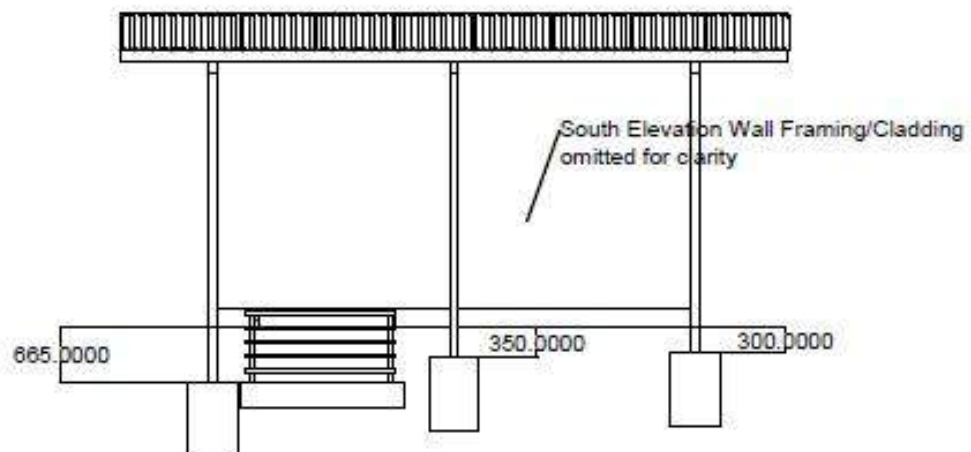
## East Elevation



## South Elevation



## North Elevation



## Shed Elevations

### South Elevation



### East Elevation











**EARTH TEST**

**Site Classification**

**For**

**Raoul Singh**

**At**

**19 Mahogany Road**

**Diwan**



## **INTRODUCTION:**

Earth Test has been engaged by Raoul Singh to assess and report on Site Classification at 19 Mahogany Road, Diwan.

Real Property Description:-

Lot 36, on RP 738675

Local Authority: Douglas Shire Council.

It is understood the intention is to construct a new dwelling at the site.

Site testing was carried out in August 2017.

## **SITE FACTORS:**

The site was identified by its street address.

A photograph is included as part of this report to confirm the identity of the site.

The proposed area is in a cleared grass area amongst the rainforest and has a slope of 9 degrees falling to the South-East.

Two Dynamic Cone Penetrometer tests were performed at locations DCP1 and DCP2 and one borehole at BH1 as shown on the site plan.

Atterberg Limits tests were performed on a disturbed sample from Borehole1.



**BH1 being drilled at 19 Mahogany Road, Diwan.**



**SITE INVESTIGATION REPORT**

**BOREHOLE LOG**

<b>CLIENT:</b> Raoul Singh.		<b>DATE SAMPLED:</b> 22/08/2017
<b>PROJECT:</b> 19 Mahogany Road, Diwan.		<b>Sampled by:</b> L. Quinn
<b>REPORT DATE:</b> 3/09/2017		
<b>BOREHOLE No:</b> BH1		
<b>DEPTH (m)</b>	<b>DESCRIPTION</b>	<b>COMMENTS</b>
0.0-2.0	Red-Brown Silty-Clay	Disturbed sample 0.6-0.9m. Watertable not encountered.

**ATTERBERG LIMITS TEST REPORT****CLIENT:** Raoul Singh**SAMPLE No:** SI 303-17**PROJECT:** 19 Mahogany Road, Diwan**DATE SAMPLED:** 22/08/2017**SAMPLE DETAILS:** BH1 0.6-0.9m**Sampled by:** L. Quinn**REPORT DATE:** 3/09/2017**Tested By:** B. Wyatt

TEST METHOD	RESULT
<b>Liquid Limit:</b> AS 1289.3.1.2	59%
<b>Plastic Limit:</b> AS 1289.3.2.1	31%
<b>Plasticity Index:</b> AS 1289.3.3.1	28%
<b>Linear Shrinkage:</b> AS 1289.3.4.1	10.5%
<b>Length Of Mould:</b>	250.1mm
<b>Cracking, Crumbling, Curling, Number Of Breaks:</b>	4 Breaks
<b>Sample History:</b>	Air Dried
<b>Preparation Method:</b>	Dry Sieved
<b>Insitu Moisture Content:</b>	28.3%
<b>% Passing 0.075mm:</b>	79%



## **DYNAMIC CONE PENETROMETER REPORT**

### **AS 1289.6.3.2**

**CLIENT:** Raoul Singh.**SAMPLE No:** SI 303-17**PROJECT:** 19 Mahogany Road, Diwan.**DATE TESTED:** 22/08/2017**SAMPLE DETAILS:** Sites "DCP1 and DCP2." as per site plan.**Tested By:** L, Quinn**REPORT DATE:** 3/09/2017

<b>DEPTH (Metres)</b>	<b>Site: DCP1</b>	<b>Site: DCP2</b>
	<b>No Blows</b>	<b>No Blows</b>
<b>0.0 – 0.1</b>	3	3
<b>0.1 – 0.2</b>	4	3
<b>0.2 – 0.3</b>	6	5
<b>0.3 – 0.4</b>	6	7
<b>0.4 – 0.5</b>	7	6
<b>0.5 – 0.6</b>	7	7
<b>0.6 – 0.7</b>	6	7
<b>0.7 – 0.8</b>	7	8
<b>0.8 – 0.9</b>	7	7
<b>0.9 – 1.0</b>	8	8
<b>1.0 – 1.1</b>	7	7
<b>1.1 – 1.2</b>	8	7
<b>1.2 – 1.3</b>	8	8
<b>1.3 – 1.4</b>		
<b>1.4 – 1.5</b>		
<b>1.5 – 1.6</b>		
<b>1.6 – 1.7</b>		
<b>1.7 – 1.8</b>		
<b>1.8 – 1.9</b>		
<b>1.9 – 2.0</b>		



## **SITE CLASSIFICATION**

### **19 Mahogany Road, Diwan**

The Dynamic Cone Penetrometer test results indicate adequate allowable bearing pressure to 1.5m.

The Atterberg Limits test results indicate a moderately reactive soil.

The characteristic surface movement ( $y_s$ ) is estimated to be in the  $20 < y_s \leq 40\text{mm}$  range. According to TABLE 2.3 of AS 2870-2011 the site must be classified **CLASS-"M"**.

To comply with the "Building Services Board Subsidence Policy" advice should be sought from a Registered Professional Engineer for footing design.

All site works must be carried out in accordance with AS 3798-2007 "Guidelines on earthworks for commercial and residential developments"

If the depth of any cut exceeds 0.5m or uncontrolled fill exceeds 0.4m the classification shall be reconsidered.

Because this investigation is limited in scope and extent, it is possible that areas may exist which differ from those shown on the test hole records and used in the site classification. Should any variation from the reported conditions be encountered during excavation work, this office must be notified immediately so that reappraisal of the classification can be made.

Leonard Quinn.  
Earth Test.



**SITE PLAN**  
**19 Mahogany Road, Diwan**  
**Not to Scale**

