

DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details

Applicant name(s) <i>(individual or company full name)</i>	Mr Warren Muston c/- Mr. Mario De Vecchi (Can-Do Constructions)
Contact name <i>(only applicable for companies)</i>	Mr. Mario De Vecchi
Postal address <i>(P.O. Box or street address)</i>	5 Cambanora Pl
Suburb	Mooroobool
State	QLD
Postcode	4870
Country	Australia
Contact number	0407 674 282
Email address <i>(non-mandatory)</i>	mario@mdcandom.com.au
Mobile number <i>(non-mandatory)</i>	0407 674 282
Fax number <i>(non-mandatory)</i>	-
Applicant's reference number(s) <i>(if applicable)</i>	-

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
 No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		2715	Mossman Daintree Road	Lower Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	3	SP192605	Douglas Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- Additional premises are relevant to this development application and their details have been attached in a schedule to this application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

In or adjacent to a water body or watercourse or in or above an aquifer
 Name of water body, watercourse or aquifer: _____

On strategic port land under the *Transport Infrastructure Act 1994*
 Lot on plan description of strategic port land: _____
 Name of port authority for the lot: _____

In a tidal area
 Name of local government for the tidal area (if applicable): _____
 Name of port authority for tidal area (if applicable): _____

On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*
 Name of airport: _____

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Dwelling House

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Dwelling House	Dwelling House	-	-

8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

<input type="checkbox"/> Yes – provide additional details below
<input type="checkbox"/> No
How many stages will the works include?
What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

--

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify:		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$	
----	--

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure – designated premises
- Infrastructure – state transport infrastructure
- Infrastructure – state transport corridors and future state transport corridors
- Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure – near a state-controlled road intersection
- On Brisbane core port land near a State transport corridor or future State transport corridor
- On Brisbane core port land – ERA
- On Brisbane core port land – tidal works or work in a coastal management district
- On Brisbane core port land – hazardous chemical facility
- On Brisbane core port land – taking or interfering with water
- On Brisbane core port land – referable dams
- On Brisbane core port land - fisheries
- Land within Port of Brisbane’s port limits
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- Local heritage places

Matters requiring referral to the chief executive of the distribution entity or transmission entity: <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the Minister under the <i>Transport Infrastructure Act 1994</i>: <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the relevant port operator: <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works marina (<i>more than six vessel berths</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i> <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. <i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
 No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
 No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under

section 22A of the *Vegetation Management Act 1999*?

Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes

No

Note: See guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application

No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

Yes – the following is included with this development application:

Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)

A certificate of title

No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21))

Yes

Not applicable

25) Applicant declaration

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager

Name of chosen assessment manager

Date chosen assessment manager engaged

Contact number of chosen assessment manager

Relevant licence number(s) of chosen assessment manager

QLeave notification and payment*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

10 September 2018

Attn: Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman Qld 4873

**RE: Development Application for a Development Permit for a Material Change of Use (Dwelling House) and Early Amenity and Aesthetic Impact Referral over land at 2715 Mossman Daintree Road, Lower Daintree
Formally Described as Lot 3 on SP192605**

This Development Application for a Development Permit for a Material Change of Use (Dwelling House) over land at 2715 Mossman Daintree Road, Lower Daintree is made by Lot 3 on SP192605 is made by Mr. Mario De Vecchi (Can-Do Constructions) on behalf of Mr Warren Muston (the 'land owner').

The subject site comprises an area of 17.78ha and is situated within the Rural Zone under the Douglas Shire Planning Scheme 2018 Version 1.0.

A Dwelling House in the Rural Zone is usually Self Assessable, however due to non-compliance with a number of the Self Assessable Acceptable Outcomes, the proposed Dwelling House triggers assessment by Council.

In support of this Development Application please find attached:

- Payment for the Dwelling House Development Application Fee of \$320.00
- Duly completed DA Form 1
- Assessment against the relevant Planning Scheme provision
- Proposal Plan
- Soil Test Report prepared by Dirt Professionals
- Onsite Waste Water Report prepared by Dirt Professionals

Thank you for your time in considering the attached Development Application. If you wish to inspect the property or have any further queries please do not hesitate to contact myself.

This application further seeks Council's Early Amenity and Aesthetic Impact Referral Assessment under s1.7.4 of the Planning Scheme. It is submitted that the proposed development is consistent with the Hillslope Overlay and the following proposed external colour scheme is submitted for Council's assessment:

- Roof: Woodland Grey (Colorbond)
- Wall: Linseed (Dulux)

Regards,

Mario De Vecchi

Description of Proposed Development

The proposed development seeks approval to allow the construction of a single detached residential Dwelling House on the subject site within an existing clearing onsite. The Dwelling House will be positioned approximately 109m from the Mossman Daintree Road property boundary and approximately 123m from the southern side property boundary.

The Dwelling House will be accessed via an existing gravel crossover and driveway.

Further refer to the Proposal Plans attached to this application.

Built and Natural Site Features

Improvements on the site include:

- The southern portion of the site is partially vegetated with existing cleared pockets.
- There is existing gravel driveway access via Mossman Daintree Road (see Image 1 below).
- There are two sheds located on the property.
- The northern portion of the site includes grassed paddocks supporting a number of cattle.



Image 1: View north along Mossman Daintree Road (Site Access in foreground)

Locality

The subject site is situated at 2715 Mossman Daintree Road, Lower Daintree is made by Lot 3 on SP192605. The site is surrounded by number of other rural lifestyle properties, agricultural and grazing properties.

Refer to Figure 1 of this report, which provides a Locality Map of the subject site and surrounding area.



Figure 1: Locality Map (source: Queensland Globe)

Local Government Planning

Douglas Shire Planning Scheme 2018

The subject site is located within the Rural Zone under the Douglas Shire Planning Scheme 2018. The purpose of this zone is to:

- a. *provide for rural uses including cropping, intensive horticulture, intensive animal industries, animal husbandry, animal keeping and other primary production activities;*
- b. *provide opportunities for non-rural uses, such as ancillary tourism activities that are compatible with agriculture, the environmental features, and landscape character of the rural area where the uses do not compromise the long-term use of the land for rural purposes;*
- c. *protect or manage significant natural resources and processes to maintain the capacity for primary production.*

The site is currently used to support a number of grazing cattle. The purpose of the Dwelling House is to establish a place of residence on the property to support the current rural use.

Zoning Designation

The subject site is included within the Rural Zone, as identified within the Douglas Shire Planning Scheme Zone Maps. An extract copy of Zone Map is provided within Figure 2 of this report.



Figure 2: Zoning Designation

Level of Assessment

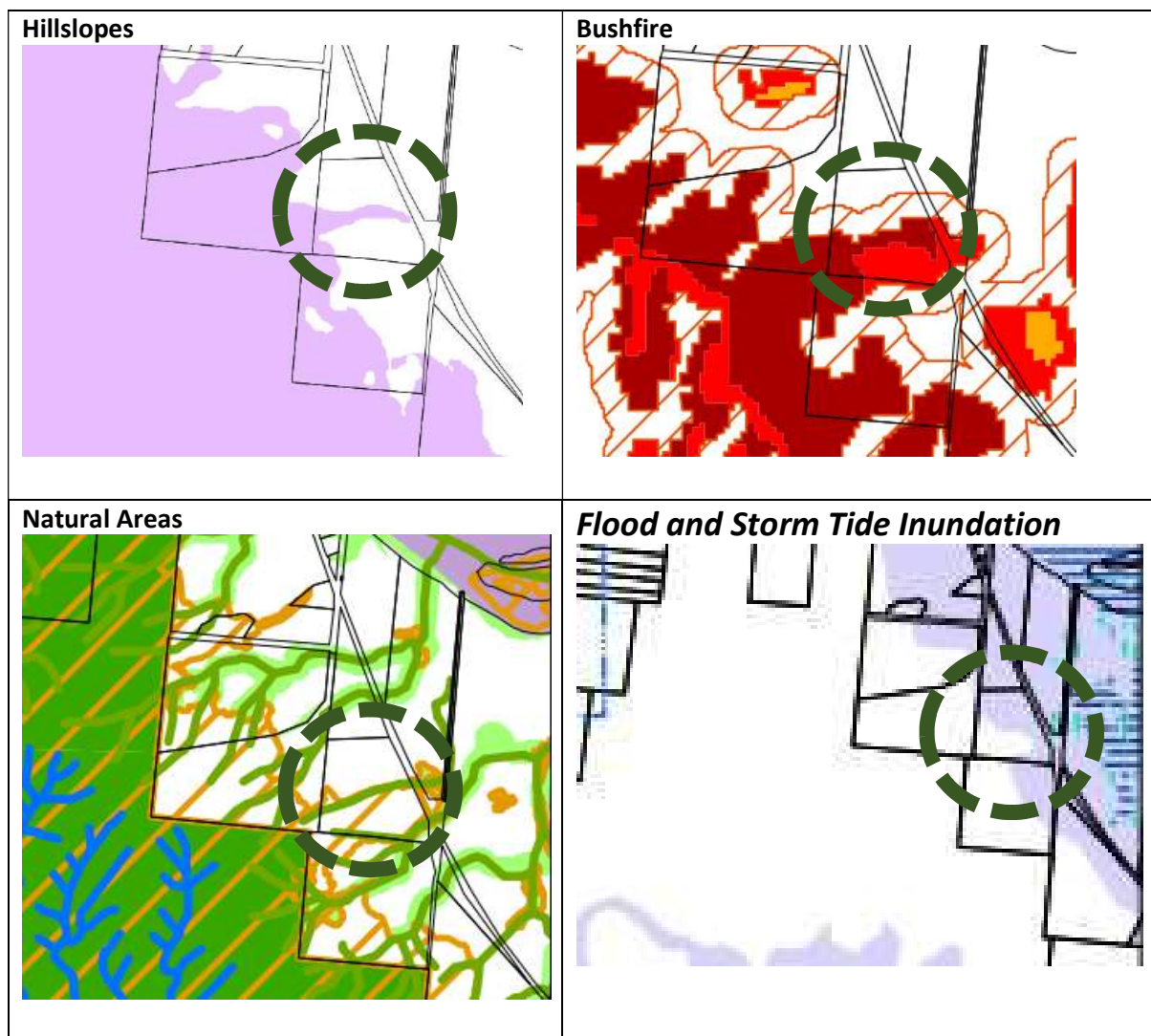
The proposed development is nominated as Self Assessable development in accordance with Part 5 – Tables of Assessment of the Douglas Shire Planning Scheme.

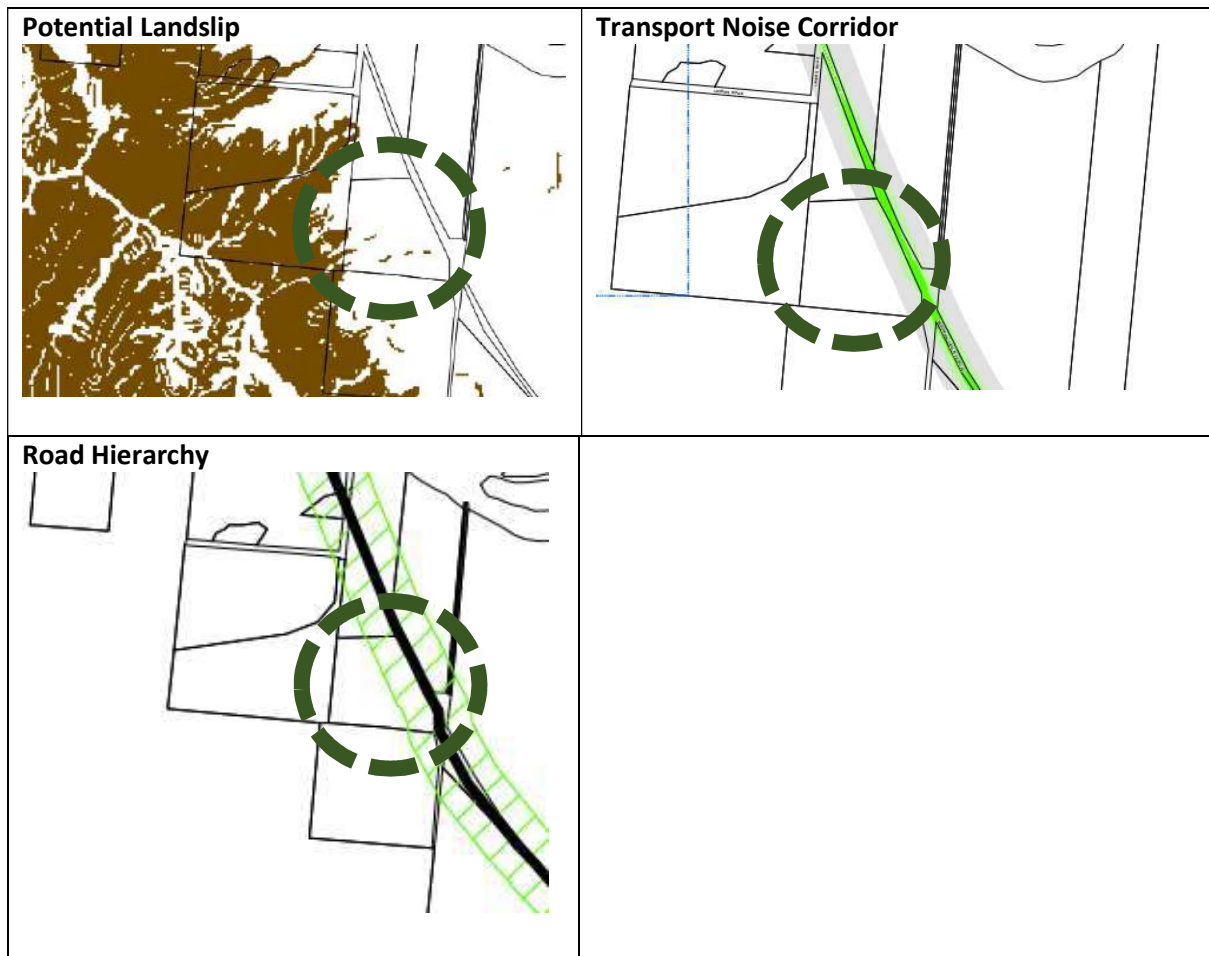
However, the proposed development triggers assessment due to non-compliance with a number of the Self Assessable Acceptable Outcomes.

Overlays

The subject site is affected by the following Overlays:

- Hillslopes
- Bushfire (Very High Potential Bushfire Intensity, High Potential Bushfire Intensity and Potential Impact Buffer)
- Natural Areas (MSES – Wildlife Habitat and MSES - Regulated Vegetation (Intersecting a Watercourse))
- Transport Network - Transport Noise Corridor (Transport Noise Corridors (Voluntary Area) - Category 2: 63 dB(A) < Noise Level < 68 dB(A))
- Transport Network - Road Hierarchy (Arterial Road and Major Transport Corridor Buffer Area)





Relevant Codes

Review of the Douglas Shire Planning Scheme confirms the following codes are triggered by the proposed development:

- Rural Zone Code
- Bushfire Hazard
- Flood and Storm Tide Hazard
- Hillslope
- Natural Areas
- Potential Landslide
- Transport Network
- Dwelling House
- Access, Parking and Servicing
- Filling and Excavation
- Vegetation Management

The following tables of assessment include discussion in support of the proposed development around matters of non compliance with the relevant Assessment Benchmarks:

Assessment Benchmark	Matter of Non-compliance	Justification in Support
<p>Rural Zone Code</p> <p>Overall the proposed use is consistent with the purpose of the zone. The site is currently used to support a number of grazing cattle. The purpose of the Dwelling House is to establish a place of residence on the property to support the current rural use.</p> <p>The proposed colours are:</p> <ul style="list-style-type: none"> - Roof: Woodland Grey (Colorbond) - Wall: Linseed (Dulux) 		
-	-	-
<p>Bushfire Hazard</p>		
<p>PO1 A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances</p>	<p>The application seeks to locate a Dwelling House in the High Potential Bushfire Intensity area.</p>	<p>There is an existing clearing where it is proposed to locate the Dwelling House. The site is accessible via a gentle sloping gravel driveway.</p> <p>The site is serviced by bore water supply and tank storage may be able to be accessed in case of emergency.</p> <p>There are existing structures on the property. The proposed development does not exacerbate bushfire risk.</p> <p>It would be reasonable for Council to condition any specific water storage requirements.</p>
<p>Flood and Storm Tide Hazard</p>		
<p>PO1 Development is located and designed to: ensure the safety of all persons; minimise damage to the development and contents of buildings; provide suitable amenity; minimise disruption to residents, recovery time, and</p>	<p>The property is affected by the Flood and Storm Tide Hazard Overlay.</p>	<p>It is not determined where in fact the Dwelling House is located in relation to the mapped hazard however, the proposed Dwelling House is located on a ridge line within an existing elevated and cleared area of the site. It is</p>

rebuilding or restoration costs after inundation events.		submitted that the Dwelling House location is appropriate and not at risk of flood.
<p>Hillslope</p> <p>Overall the proposed use complies with the code. There are no matters of non-compliance to note.</p> <p>The proposed colours are:</p> <ul style="list-style-type: none"> - Roof: Woodland Grey (Colorbond) - Wall: Linseed (Dulux) 		
-	-	-
<p>Natural Areas</p> <p>Overall the proposed use complies with the code.</p>		
PO1 Development protects matters of environmental significance.	The site is mapped as containing MSES Wildlife Habitat and MSES Regulated Vegetation (Intersecting a Watercourse).	The proposed Dwelling House is located within an existing clearing on the property. The proposed development will not impact on any of the identified MSES.
<p>Potential Landslide</p> <p>Overall the proposed use complies with the code. There are no matters of non-compliance to note.</p>		
-	-	-
<p>Transport Network</p> <p>Overall the proposed use complies with the code. There are no matters of non-compliance to note.</p>		
-	-	-
<p>Dwelling House</p> <p>Overall the proposed use complies with the code. There are no matters of non-compliance to note.</p>		
-	-	-
<p>Access, Parking and Servicing</p> <p>The site is serviced via an existing gravel crossover and driveway. Vehicle Parking will be provided within the existing Shed onsite. No changes are proposed to the existing site access arrangement.</p> <p>Overall the proposed use complies with the code. There are no matters of non-compliance to note.</p>		
-	-	-

Filling and Excavation

Minimal excavation and filling is required to prepare the building site for the construction of the Dwelling House.

Overall the proposed use complies with the code. There are no matters of non-compliance to note.

-

-

-

Vegetation Management

The sites is already cleared and no further vegetation clearing is required to facilitate the construction of the Dwelling House.

Overall the proposed use complies with the code. There are no matters of non-compliance to note.

-

-

-

Conclusion

This application is provided in support for a Development Permit for a Material Change of Use (Dwelling House) over land at 2715 Mossman Daintree Road, Lower Daintree is made by Lot 3 on SP192605, on the following grounds:

- The proposed development is consistent with and supported by the land zoning;
- The proposal supports the existing rural use of the land;
- The proposed development is responsibly located within an existing clearing and does not introduce any environmental issues;
- The development is appropriately serviced by necessary infrastructure. A new onsite waste water treatment system has been professionally designed to support the proposed Dwelling House;
- The proposal provides justification against all applicable elements of the Douglas Shire Planning Scheme; and
- The proposed development is consistent with other rural Dwelling Houses in the locality.

DIRT PROFESSIONALS

7 REYNOLDS STREET MAREEBA QLD 4880

PHONE 4092 7081

MOBILE 0417 647 477

Can Do Constructions
mario@mdcando.com.au

Tandel Investments Pty Ltd
QBCC No. 1173606

02 February 2018

Site Assessment and Design
Lot 3 Daintree Mossman Road
Mossman Qld

Job No 19454

INTRODUCTION

This report presents the results of a site assessment performed at Lot 3 Daintree Mossman Road Mossman. The assessment is required in connection with to determine the method of effluent disposal, as per the Queensland Plumbing and Wastewater Code for on-site sewerage facilities.

EXISTING CONDITIONS

At the time of the assessment the allotment was located in a rural subdivision consisting of acreage land. The allotment had an existing shed located on a ridge of a hill with an existing septic tank. The proposed 3 bedroom dwelling is to be located to the East of the existing shed. The location of the building area was shown.

The proposed wastewater is to be situated to the West of the shed on a ridge. This will require a pump well to be used to distribute wastewater to designed area.

FIELD WORK

To investigate subsurface conditions bore holes were excavated to a depth of 1.8m. The holes were at the proposed wastewater area. A disturbed sample was taken for laboratory testing.

SOIL PROFILE

The bore holes indicate similar soil profiles. There is a layer of clay loam with some sands and gravels to the depth of holes.

SOIL CATEGORY FOR DOMESTIC WASTEWATER

The clay loams with some sands and gravels are regarded as being an imperfectly drained material with a weak structure. The indicative permeability is 0.12 - 0.5 m/d. The soil category on the basis of visual inspection of the materials, as per the AS/ANZ 1547:2000, should be classified as a **Soil Category 4.**

It is proposed that a primary treatment system is to be used for the dispersal of wastewater. There were no bores, creeks or gullies located within the area which will require separation distances to be maintained. There was no water encountered at the depth of the bore holes.

A design loading rate of 8 mm/d should be used for the sizing of the wastewater area. This shall be designed by a qualified designer based on the AS1547:2000 and the soil assessment data based on this report.

RECOMMENDATIONS

Care should be taken that the base of the trenches are level and no greater than 600 mm below finished ground level. The area will need to be leveled to allow for septic trenches to be constructed. A pump well will need to be used.

This company is not responsible for the building levels and falls to wastewater system. This will need to be calculated prior to construction, determine building platform heights so there is sufficient fall available to disposal area. Consideration should be given to how the plumber will run pipes as this will determine the platform height. If sufficient fall is not available to construct system as designed, a pump well will need to be adopted to distribute.

There will be no ponding of water during seasonal rains around the septic tank, distribution box, pump well and wastewater area. Diversion drains will need to be put in place to divert water from area.

VALIDITY

The excavation of a limited number of holes does not preclude the possibility of some conditions on the site being different from those encountered in the holes. Should conditions be found which differ from those described in this report, then the recommendations are not valid and this organisation should be contacted.

Yours faithfully

Tandel Investments Pty Ltd

DIRT PROFESSIONALS

Angelo Tudini

Director

Attached 

-Site plan of building area

-Subdivisional plan of allotment

BORE HOLE LOGS

TEST HOLE 1

0.0 - 1.4m Clay Loams with some sands and gravels - Brown

TEST HOLE 2

0.0 - 1.8m Clay Loams with some sands and gravels - Brown

TEST HOLE 3

0.0 - 1.3m Clay Loams with some sands and gravels - Brown

DESIGN OF LAND APPLICATION SYSTEM

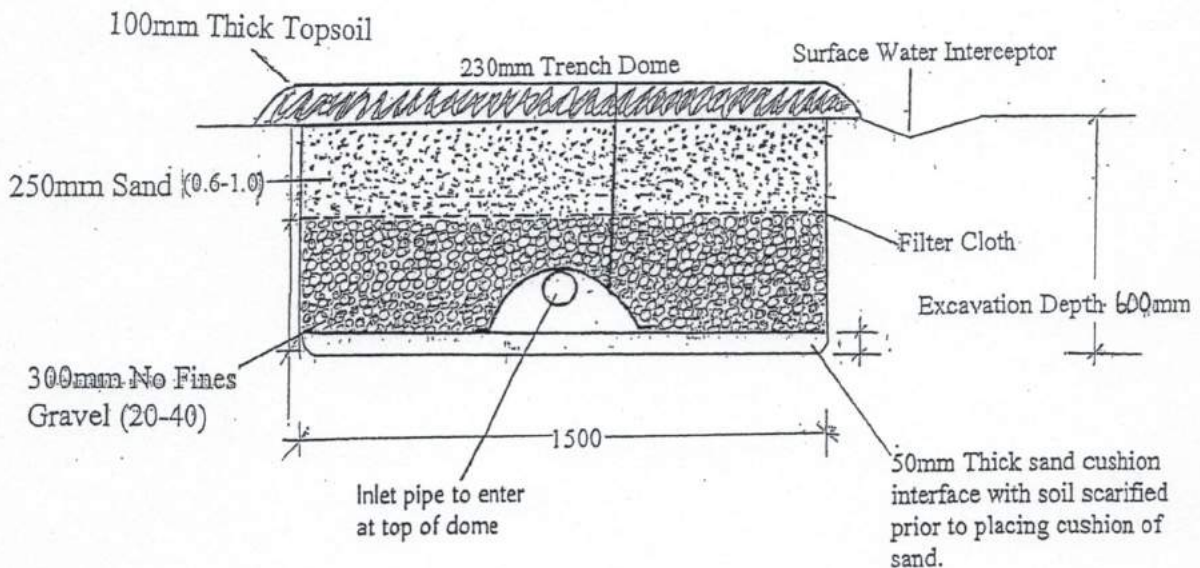
- DESIGN FLOW - All Waste-150Litre/Day x 5 Persons = 750L/Day
- FLOW MODIFICATION - Install dual flush 6/3 toilet cistern, shower flow restrictors , tap aerators, and water economic washing machines. Garbage Grinders are not permitted.
- AVAILABLE AREA FOR EFFLUENT DISPOSAL -200SQM
- SITE AND SOIL CONSTRAINTS - NIL
- SYSTEM ADOPTED - 3000L Septic Tank with Outlet Filter and ETA Beds
- EFFLUENT QUALITY - Primary
- D.L.R - 8
- DISPOSAL AREA PROTECTION - Yes
- DISPOSAL AREA DESIGN
 $L = Q / DLR \times W$ - Adopt $W = 2.0m$
 $L = 750 / 8 \times 2.0 = 47$
Provide 3 ETA Bed 2.0m Wide by 16m Long
- RECOMMENDATIONS The building area will need to be raised to allow for sufficient fall to wastewater area. If this cannot be achieved, a pump well will need to be used to distribute wastewater. Fall to the septic tank will need to be calculated from waste outlets. This will vary on the distances required to the septic tank.

E.T.A BED DETAIL

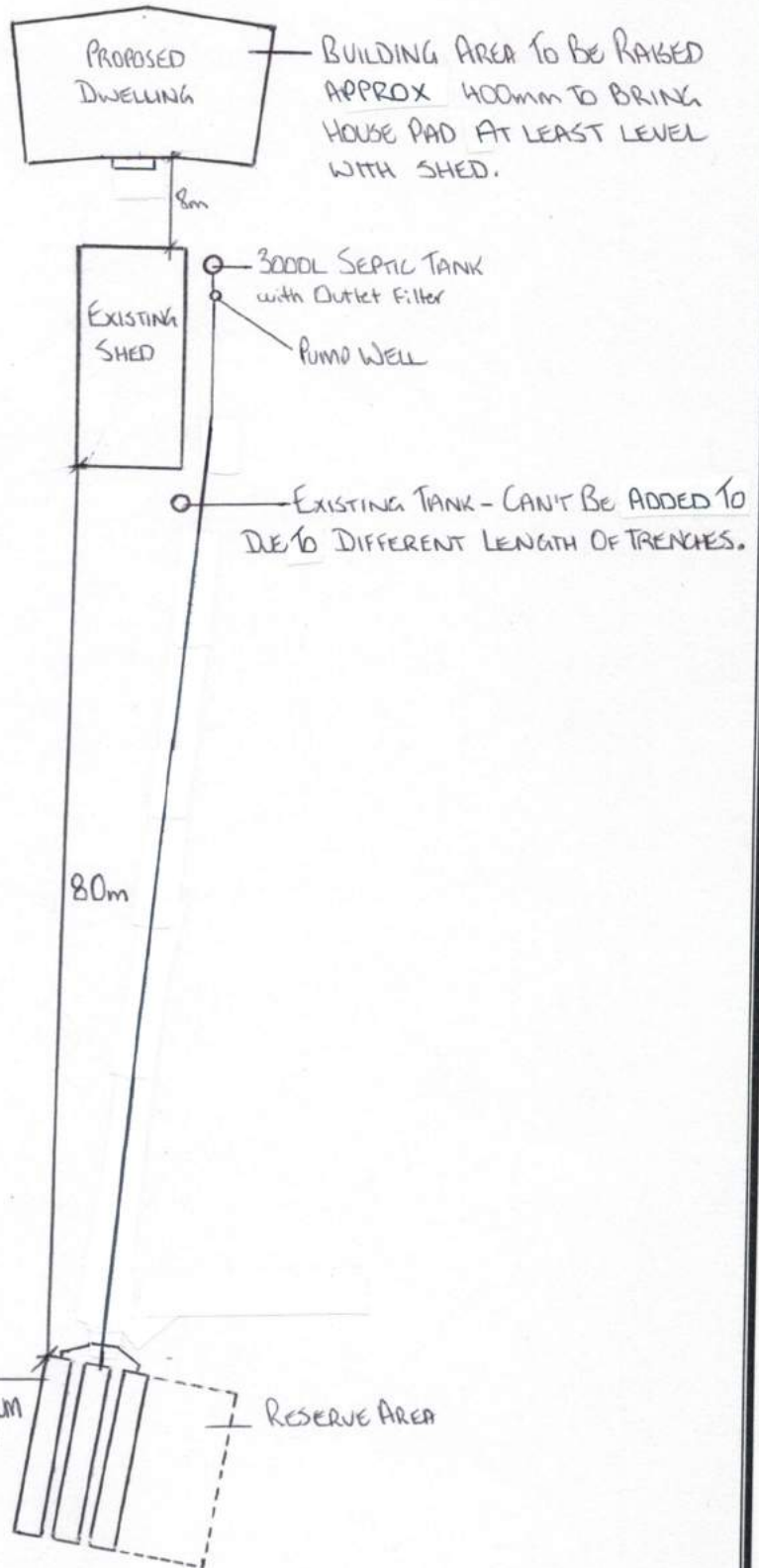
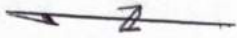
(a) HOUSE OCCUPIER IS RESPONSIBLE FOR SENSIBLE WATER CONSERVATION PRACTICE AND FOR REGULARLY (weekly or monthly as required), CHECKING AND CLEARING GREASE TRAPS AND SEPTIC TANK FILTER WHERE FITTED. PLUMBER IS TO PREPARE & INSTALL A PERMANENT (laminated) NOTICE TO THE INSIDE OF A KITCHEN CUPBOARD DOOR, WHICH CLEARLY STATES THE ABOVE RESPONSIBILITIES TO THE HOUSE OCCUPIER.

(b) WATER SAVING DEVICES NOTED IN THIS REPORT FORM PART OF THE DESIGN BASIS AND MUST BE INCLUDED IN THE BUILDING SPECIFICATIONS.

(c) IT IS RECOMMENDED THAT THE SEPTIC TANK BE EMPTIED EVERY 2 YEARS DEPENDING ON USAGE.



SITE LOCALITY PLAN



CHECKED BY: _____ SIGNATURE: _____ DATE: ____/____/____

DIRT PROFESSIONALS

EMAIL: dirtprofessionals@bigpond.com



MUST BE READ PRIOR TO ANY **INSTALLATION**

- **THIS REPORT MUST BE READ IN FULL BY ALL PARTIES INVOLVED IN THE INSTALLATION OF THIS SYSTEM.**

- **ALL EQUIPMENT & MATERIALS MUST BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS & SPECIFICATIONS, AND MUST ALSO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.**

- **THIS COMPANY HOLDS NO RESPONSIBILITY IF THE INSTALLATION VARIES FROM THIS REPORTS RECOMMENDATIONS & DESIGN IN FULL. IT ALSO HOLDS NO RESPONSIBILITY IF THE INSTALLATION DOES NOT COMPLY WITH THE AUSTRALIAN STANDARDS OR THE MANUFACTURERS SPECIFICATIONS.**

Home Occupiers Basic Sewerage Guide

As a septic owner you are responsible for ensuring that your septic is safe and working properly. A failing septic system is a health risk for your family and the community and may be causing harm to the environment.

- The phrase “septic system” refers to all kinds of on-site sewerage systems, including traditional septic tanks, pump-outs, composting toilets and aerated septic systems.

As a septic system owner, you are responsible for-

- Ensuring the house drains and tank don't leak
- Getting things fixed if they are not working properly
- Keeping the system well maintained
- Getting the tank pumped(de-sludged) every 2 years
- Maintaining the protecting the absorption field

Common causes of Septic System Problems-

- **Tank too full-** If you have the septic tank and absorption trench, the level in the tank should not be higher than the outlet. If you have a pump out system, the tank should be no more than 2/3 full.
- **Too much sludge and scum in the tank-** Septic tanks work by retaining solid scum and sludge and just letting the liquid effluent flow out to the trenches. The solids don't move out of the tank. They just stay behind and build up. If you don't have the tank pumped out (de-sludged) regularly, it will eventually fail and untreated wastewater with heavy solids contamination will flow out of the tank, clogging pipes and the absorption trenches. You should have your tank pumped every 2 years.

Common causes of Septic System Problems cont.

- **Too much water going into the system** – This causes the effluent to flow too quickly through the tank before the bacteria have a chance to work. As a result, solids can be pushed through the system, polluting the holding tank or clogging the absorption trenches. The solution to this is to simply use less water.
- **Toxic chemicals going into the system**- Chemicals like solvents, oils, paints, disinfectants, pesticides, household cleaning products and bleaches can kill the helpful bacteria in your septic system. This may “kill” the system and stop it digesting effluent. The solution to this is to switch to natural cleaners and use smaller amounts.

Shopping Tip

Changing washing powders can make a difference, always look for low-phosphorus or phosphorus free detergents. Septics do not work well if there is too much phosphorus in the system.

Don't use - Bleach

- Disinfectant
- Antibiotics
- Chemical Cleaners
- Pesticides & Herbicides
- Caustic Soda

Trench Warfare

- **Don't wait until the trench starts to fail before having your tank pumped. With septic systems, an ounce of prevention is worth a ton of cure!**

Trench DON'Ts

- Do not drive over or disturb the stormwater diversion contour mounds.
- Do not build structures on the absorption trench or plant trees that will shade it. The area should be in full sun to help plant growth, evaporation and pathogen breakdown. Small trees should be planted at least 5m away, large trees should be over 20m away, if not the roots will harm the trench.
- Do not flood the disposal area with sprinklers or hoses
- Do not drive cars on the trench area or graze animals there. Any heavy movement may break the pipework or the dome cover and compress the soil. A small fence will let visitors know which area to avoid.
- Do not store loads of soil or other materials on your absorption trench area.
- Do not place extra topsoil on top of your trench to 'soak up' overflowing effluent. If the trench area is soggy or water is pooling over the trench, it is best to call a plumber and have it checked.

Effluent Irrigation System DO's

Irrigation systems are susceptible to blockage and require regular maintenance service. Ideally small effluent irrigation system should use fixed distribution lines buried to a depth of 100mm or more with high quality drip emitters.

If you move into a house which has an irrigation system, get expert advice on maintenance.

The effluent irrigation area should be clearly signposted to alert visitors that recycled effluent is being discharged. The area should be protected by a low (15cm) bund wall all around to minimise surface water run-on and run-off.

HOW TO MAINTAIN A HEALTHY SEPTIC SYSTEM

In the Laundry-

- Wash your laundry in stages over several days- this will avoid flooding the system with large amounts of water at one time.
- Use low-phosphorus or phosphorus free detergents. Phosphorus is a major pollutant of waterways and contributes to the growth of algal blooms.
- Repair leaking taps and cisterns
- Extend the life of your trench and avoid blockages by installing a lint filter on the washing machine-a stocking over the outlet hose will do.
- If you've got a block drain, use boiling water or a drain eel to clear the line, don't use caustic soda or drain cleaners with a septic system.

In the Kitchen-

- Use a sink strainer- this prevents particles of food getting into the septic system. Food scraps can slow down the digestion process and can make solids build up more quickly (so then you would require more pump outs).
- Don't pour oils and fats down the sink-they solidify and may block the system and build up in the tank.

In the Bathroom-

- Install a low-flow shower head to save water
- Repair leaking taps
- Minimise the use of commercial cleaners and bleaches-these can interfere with bacterial breakdown in the tank. Instead, try using baking soda, vinegar, or a mild soap solution.
- Don't flush anything down the toilet that could clog up the system, such as plastic, grease, tampons, condoms, paper towels, plastics, or cat litter. These items will quickly fill up the tank, decreasing its efficiency and make it necessary to pump out more often.
- Don't leave taps running unnecessarily, for instance when cleaning teeth.
- Install a dual-flush cistern for the toilet.

Around the Tank and Trench Area

- Keep water from roof drainpipes and paved areas away from the absorption area. If the area is flooded, the soil won't be able to cleanse the wastewater from the septic system.
- Have a plumber fit an effluent filter to the septic tank outlet to keep solids in the tank and extend the life of your trenches.

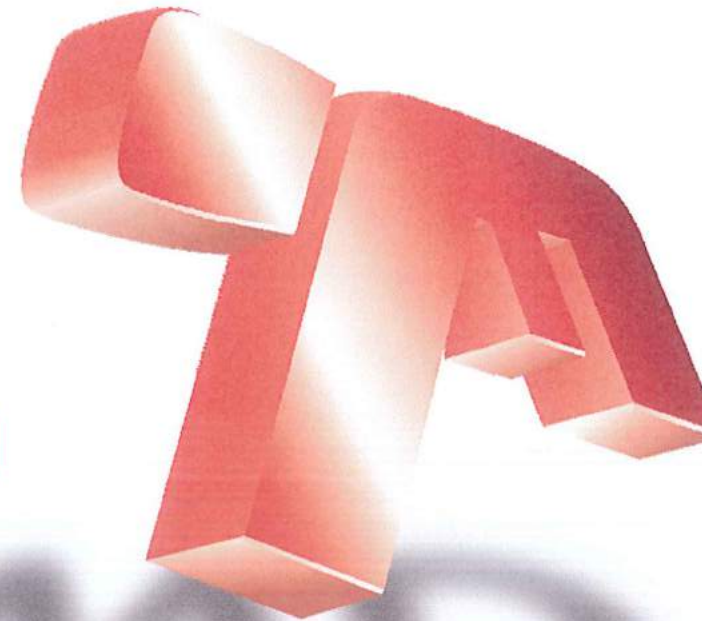
CAN-DO CONSTRUCTIONS

BUILT ON REPUTATION

Mario De Vecchi



State Award Winning Builder.



Proposed Residence

For

WARREN MUSTON

At

2715 MOSSMAN DAIN TREE ROAD

Drawing List

Sheet Number	Description	Scale	Issue
-	Cover Sheet	N.A.	N.A.
A01	General Notes		
A02	Overall Site Plan	N.A.	3
A03	Site Plan	1:100	3
A04	Floor Plan	1:100	3
A05	Dimension Plan	1:100	2
A06	Elevations	1:100	2
A07	Elevations	1:100	2
A08	Sections	1:50	2
A09	Sections	1:50	2
A10	Drainage Plan	1:100	3
A11	Foundation Plan	1:100	3
A12	Deck Plan	1:100	3
A13	Roof Plan	1:100	3
A14	Roof Hold Down	As Shown	2
A15	Electrical Plan	1:100	3

Project Details:

Design Wind Speed: C2
Site Classification: "Class M" - Assumed
External Walls: "200 Series" Blockwork - Rendered
Internal Walls: Timber Framed - Plasterboard Finish
Roof Pitch: 10°
Roof Type: Colorbond Custom Orb

SERVICE LOADS

- 1. LIVE LOADS TO AS1170.1 PART 1
 - ROOF 0.25 KPA
 - INTERNAL SUSPENDED FLOORS 2.0 KPA
 - EXTERNAL SUSPENDED FLOORS 3.0 KPA
 - GROUND FLOORS 2.0 KPA
- 2. WIND LOADS TO AS1170.2 PART 2
 - WIND CLASSIFICATION C2

FOUNDATIONS

- 1. THE DESIGN OF THE STRUCTURE HAS BEEN BASED ON THE FOUNDATIONS HAVING A MINIMUM BEARING CAPACITY OF 100KPA SHOULD THERE BE ANY DOUBT AS TO THE ADEQUACY OF THE FOUNDATIONS THEN THE ENGINEER SHOULD BE CONSULTED.
- 2. NATURAL FOUNDATIONS AND FILL TO BE GRUBBED OUT AND FREE FROM ORGANIC MATTER AND DEBRIS AND COMPACTED TO A MINIMUM OF 98% STANDARD RRD. FILL TO SLABS AND FOUNDATIONS SHALL BE OF AN APPROVED NON-PLASTIC MATERIAL MIN CBR 15 AND COMPACTED TO 98% SRDD. FILL MATERIAL SHALL BE CONTROLLED TO LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS3798. RESULTS ARE TO BE FORWARDED TO THE DESIGN ENGINEER FOR APPROVAL.

CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS3600.
- 2. CONCRETE SPECIFICATION SHALL BE:

ELEMENT	GRADE	SLUMP	MAX AGGREGATE
FILLING 150CMB	20	230+/-30	SAND
FILLING 200CMB	20	230+/-30	10
GENERAL	25	80+/-15	20

STRUCTURAL - REFER TO NOTES ON DRAWING.

- 3. COVER TO REINFORCEMENT SHALL BE:
 - (I) FOOTING TOP AND SIDES - 65MM BTM, 50MM
 - (II) GROUND FLOOR SLABS - 30MM TOP
 - (III) SUSPENDED SLABS -
 - EXTERNAL SURFACES - 40MM TOP & BOTTOM
 - INTERNAL SURFACES - 20MM TOP & BOTTOM
 - (IV) BEAMS - 40MM
 - (V) COLUMNS - 40MM
 - (VI) WITHIN CONCRETE MASONRY BLOCK - 10MM

- 4. REINFORCEMENT SHALL BE SUPPORTED ON APPROVED PLASTIC TIPPED WIRE CHAIRS AS FOLLOWS:
 - N BARS UP TO N12 AND FABRIC - 800MM CENTRES
 - N BARS N12 AND LARGER - 1200MM CENTRES

WELDING OF REINFORCEMENT IS NOT PERMITTED UNLESS SHOWN ON THE DRAWING OR APPROVED BY THE ENGINEER.

- 5. LAPS UNLESS OTHERWISE NOTED
 - FABRIC 1 COMPLETE MESH
 - N12 - 600MM N20 - 1000MM N28 - 1400MM
 - N16 - 800MM N24 - 1200MM

- 6. CONSTRUCTION JOINTS SHALL BE SCABBLED, CLEANED AND COATED WITH A CEMENT/WATER SLURRY IMMEDIATELY PRIOR TO PLACING CONCRETE.
- 7. CONCRETE SHALL BE COMPACTED USING MECHANICAL VIBRATORS.
- 8. CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS BY A METHOD APPROVED BY THE ENGINEER.
- 9. NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS UNLESS APPROVED BY THE ENGINEER.

- 10. FORMWORK SHALL COMPLY WITH AS3610 FORMWORK AND ALL RELEVANT CONSTRUCTION SAFETY LEGISLATION. FINISHED SHALL BE AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. MINIMUM STRIPPING TIMES (UNLESS OTHERWISE APPROVED BY THE ENGINEER) SHALL BE IN ACCORDANCE WITH AS3610 FORMWORK CODE.
 - 11. CONTROL JOINTS SHALL BE CONSTRUCTED AS SPECIFIED. SAW CUTTING SHALL BE CARRIED OUT WITHIN 8 HOURS OF CONCRETE HARDENING.
 - 12. CONCRETE TEST CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH AS 3600 CLAUSE 20.3 BY A N.A.T.A. REGISTERED LABORATORY. ALL RESULTS ARE TO BE FORWARDED TO THE DESIGN ENGINEER FOR HIS APPROVAL. PROJECT CONTROL TESTING: IN ACCORDANCE WITH THE FOLLOWING TABLE
- | NUMBER OF BATCHES PER DAY | NUMBER OF SAMPLES |
|---------------------------|-------------------|
| 1 | 1 |
| 2 TO 5 | 2 |
| 6 TO 10 | 3 |
| 11 TO 20 | 4 |

FOR EACH ADDITIONAL 10 BATCHES, 1 ADDITIONAL SAMPLE SHALL BE TAKEN.

STRUCTURAL TIMBER

- 1. STRUCTURAL TIMBER SHALL COMPLY WITH AS1720 TIMBER STRUCTURES CODE AND ALL RELEVANT CODES MENTIONED THEREIN.
- 2. TIMBER SHALL BE STRESSED GRADE F14 UNLESS SPECIFIED OTHERWISE.
- 3. TIMBER SIZES AND CONNECTIONS SHALL GENERALLY BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD AS 1684.3 UNLESS SPECIFIED OTHERWISE.
- 4. THE BUILDER SHALL BE RESPONSIBLE TO OBTAIN FROM THE TRUSS MANUFACTURER A CERTIFICATE STATING THAT THE TRUSSES HAVE BEEN DESIGNED FROM AN ULTIMATE WIND SPEED OF 50M/S IN ACCORDANCE WITH AS1170.2 USING AN INTERNAL PRESSURE FACTOR OF + 0.7. THE CERTIFICATE SHALL ALSO STATE THAT HOLD DOWN DETAILS AND LOCATIONS ARE GENERALLY IN ACCORDANCE WITH THEIR REQUIREMENTS AND SHALL PROVIDE DESIGN LOADS AT ALL SUPPORTS FOR CHECKING OF THE STRUCTURE BY THE ENGINEER. HORIZONTAL LOADS SHALL BE RESISTED BY ONE SUPPORT ONLY. INSTALLATION OF TRUSSES PARTICULARLY CONNECTION AND BRACING SHALL BE STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.

BLOCK WORK

- 1. ALL BLOCKWORK SHALL BE IN ACCORDANCE WITH AS3700.
- 2. CONCRETE BLOCK SHALL BE IN ACCORDANCE WITH AS2733.
- 3. REINFORCEMENT AND CONCRETE CORE FILLING SHALL COMPLY WITH THE NOTES ON "CONCRETE AND REINFORCEMENT".
- 4. MORTAR SHALL BE CLASSIFICATION M3 OR M4 IN ACCORDANCE WITH AS3700 2.2.
- 5. BOND BEAM REINFORCEMENT SHALL BE CONTINUOUS AT ALL WALL INTERSECTIONS AND BARS ANCHORED AND LAPPED TO DEVELOP FULL TENSILE STRESS.
- 6. CLEANOUT BLOCK SHALL BE PROVIDED AT THE BASE OF ALL CORES TO BE CONCRETE FILLED. ALTERNATIVELY THE BUILDER SHALL OPEN SUCH CORES FOR CLEANING BY AN APPROVED METHOD.
- 7. ALL CORES TO BE CONCRETE FILLED SHALL BE CLEANED OUT BY HOISING PRIOR TO FINAL SETTING OF MORTAR AT ALL LIFTS OR BY RODDING PRIOR TO CONCRETE FILLING.
- 8. THE MAXIMUM SINGLE LIFT HEIGHT FOR CORE FILLING SHALL BE 3600MM.
- 9. LINTEL BEAMS SHALL BE PROPPED FOR 28 DAYS AFTER CONCRETING.
- 10. RETAINING WALLS TIED AT TOP BY SLABS SHALL TEMPORARILY PROPPED BY THE BUILDER TO RESIST LATERAL LOADS DURING CONSTRUCTION.

STRUCTURAL STEEL

- 1. ALL STEELWORK SHALL BE IN ACCORDANCE WITH: AS3990 STEELWORK FOR ENGINEERING APPLICATIONS AS4100 STEEL STRUCTURES
- 2. STEEL SHALL BE: AS3678 & AS3679 GRADE 300 GENERALLY AS1163 GRADE 250 FOR CIRCULAR HOLLOW SECTIONS AS1163 GRADE 350 FOR RECTANGULAR HOLLOW SECTIONS AS1397 500MPA FOR 1.2MM THICK PURLINS & GIRTS 450MPA FOR 1.6MM THICK PURLINS & GIRTS
- 3. ABRASIVE CLEANING PRIOR TO PAINTING SHALL BE TO AS1627.4 CLASS 2.5
- 4. PAINTING SHALL BE A MINIMUM OF ONE COAT 0.075 TWO PACK INORGANIC AIR CURED ZINC SILICATE COATING APPLIED WITHIN 2 HOURS OF ABRASIVE CLEANING UNLESS SPECIFIED OTHERWISE. PAINTING SHALL BE MANUFACTURERS SPECIFICATION AND THE PAINTER SHALL ENSURE THE METHOD OF APPLICATION IS COMPATIBLE WITH CONNECTION TYPE AND PAIDN SPECIFIED.
- 5. GALVANISING SHALL BE HOT DIPPED TO AS1650.
- 6. TWO SETS OF SHOP DRAWINGS SHALL BE SUPPLIED TO THE ENGINEER. FABRICATION SHALL NOT COMMENCE UNTIL COMMENTS HAVE BEEN RECEIVED FROM THE ENGINEER.
- 7. BOLTS SHALL BE GALVANISED AND OF SUFFICIENT LENGTH TO EXCLUDE THE EXCLUDE THE THREAD FROM THE SHEAR PLANE. A SUITABLE WASHER SHALL BE USED UNDER ALL NUTS. WHEN TENSIONING US SPECIFIED HIGH STRENGTH BOLTS SHALL BE SULLY TENSIONED WITH A LOAD INDICATING WASHERS TO THE REQUIREMENTS OF AS4100.
- 8. BOLT LEGEND:
 - 4.6/S COMMERCIAL GRADE 4.6 BOLTS SNUG TIGHTENED
 - 8.8/S HIGH STRENGTH GRADE 8.8 BOLTS SNUG TIGHTENED
 - 8.8/TB HIGH STRENGTH GRADE 8.8 BOLTS TENSIONED BEARING CONNECTION
 - 8/8TF HIGH STRENGTH GRADE 8.8 BOLTS TENSIONED FRICTION CONNECTION
- 9. UNLESS OTHERWISE SPECIFIED THE FOLLOWING SHALL APPLY:
 - (I) CLEATS BRACKETS STIFFENERS ETC EX 10 PLATE
 - (II) WELDING - 6MM CONTINUOUS FILLET TO FULL PERIMETER AT CONTACT
 - (III) BOLT HOLE CLEARANCE 2MM
 - (IV) HOLD DOWN BOLT CLEARANCE 4MM
 - (V) GROUT - A SPACE FOR 40MM OF 2:1 SAND:CEMENT MORTAR OF DAMP EARTH CONSISTENCY UNDER ALL BASE PLATES
 - (VI) BUTT WELDS SHALL BE QUALIFIED COMPLETE PENETRATION IN ACCORDANCE WITH AS1554
 - (VII) 6MM END PLATES TO ALLOW HOLLOW SECTIONS (SEAL WELD)
 - (VIII) CONNECTIONS - MINIMUM OF 2-M 16 4.6/S BOLTS
 - (IX) BRACING INTERSECTS ON CENTRELINES AND CENTRE OF GRAVITY FOR ANGLES.
- 10. FRABICATOR SHALL ALLOW FOR ALL CLEATS AND OTHER FIXINGS REQUIRED BY THE SUPERVISOR.
- 11. ALL PURLINS AND GIRTS FIXINGS AND ACCESSORIES SHALL BE GALVANISED OLD FORMED ROLLED SECTIONS AS SPECIFIED. PROVIDE ALL CLEATS BRACING ETC TO MANUFACTURERS SPECIFICATION.
- 12. CONCRETE ENCASEMENT TO STEEL SHALL BE GRADE 25 CONCRETE A MINIMUM 50MM COVER OVER STRUCTURAL STEEL SURFACES. MEMBERS SHALL BE WRAPPED WITH FGW41 BEFORE CONCRETING AND WITH COVER TO FABRIC OF 25MM AND LAPS OF 150MM AT SPLICES.

WE CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

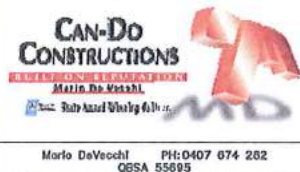
L. Penarich 24-4-18

C.M.G. CONSULTING ENGINEERS PTY LTD
 ACN 011 065 375

208 BUCHAN ST
 CAIRNS Q 4870
 PH 07 4031 2775
 FAX 07 4051 9013

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.



Mario De Vecchi P11:0407 074 282
 QGSA 55695

PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

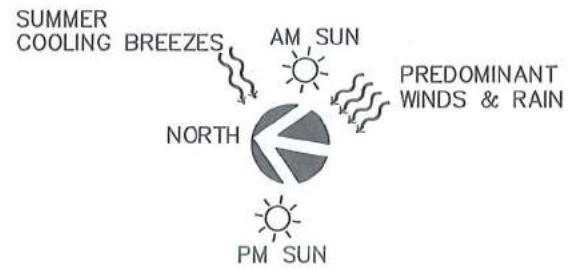
DATE:	GENERAL NOTES
26/02/18	SHEET 01 OF 15
DRAWN: MLC	1703 - A01
CHECKED: MD	
SCALE:	REVISION - 2

DESIGN WIND CAT: C2

LOT DETAILS

LOT NUMBER: 324
PLAN NUMBER: SP270856
PARISH: CAIRNS
COUNTY: NARES
SITE AREA: 764 M2

DIRECT ALL SURFACE WATER AWAY FROM ADJOINING BOUNDARIES BY 500 WIDE X 75 DEEP GRASSED SPOON DRAIN. DISCHARGE TO EASEMENT AT REAR OF SITE



01 SITE PLAN
NOT TO SCALE

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.



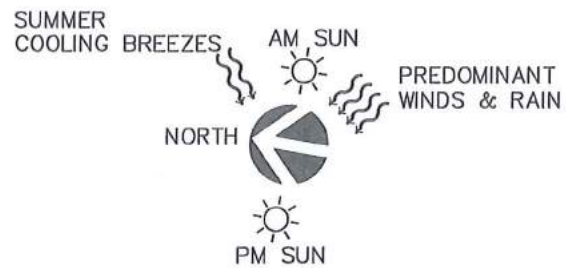
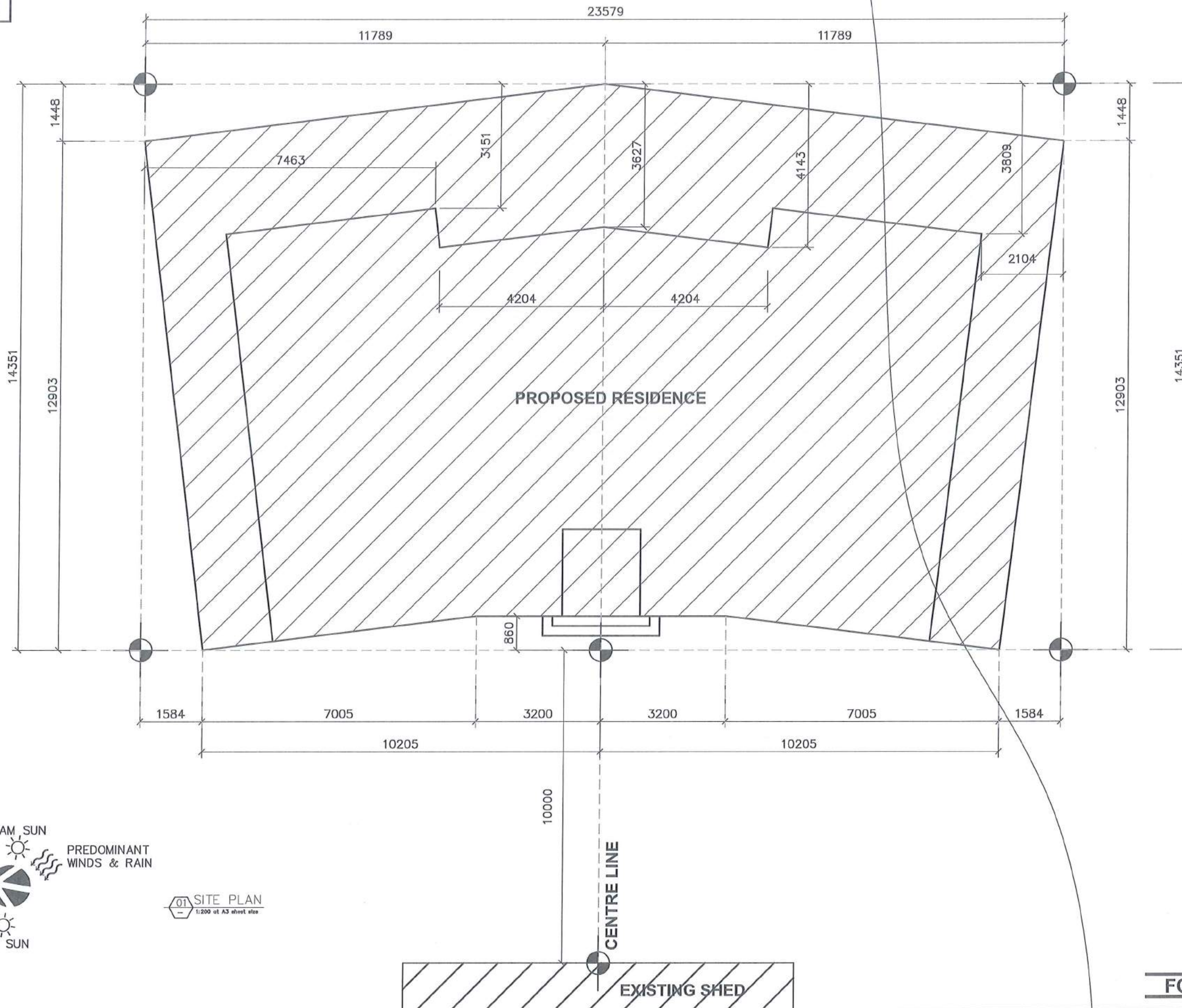
Mario DeVecchi P# 0407 674 262
QSSA 55695

PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE: 02/04/18	SITE PLAN
DRAWN: MLC	SHEET 02 OF 15
CHECKED: MD	1703 - A02
SCALE: N.T.S.	REVISION - 3

This drawing is Copyright to Can-Do Constructions ©

DESIGN WIND CAT: C2



01 SITE PLAN
1:200 at A3 sheet size

CENTRE LINE

EXISTING SHED

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.

This drawing is Copyright to Can-Do Constructions ©

CAN-DO CONSTRUCTIONS
 MARKETING & SALES PARTNER
 Martin De Vecchi
 MD

Mario De Vecchi PH: 0407 674 282
 QBSA 55095

PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE: 02/04/18	SITE PLAN
DRAWN: MLC	SHEET 03 OF 15
CHECKED: MD	1703 - A03
SCALE: 1:200 @ A3	REVISION - 3

DESIGN WIND CAT: C2

- ⊙ SMOKE ALARM
- IONISATION ALARMS 240/9V. 240/9V
- BATTERY BACK-UP LOCATION IS
- INDICATIVE ONLY AND ARE TO COMPLY
- WITH RELEVANT B.C.A. PART 3.7.2.

FLOOR AREAS

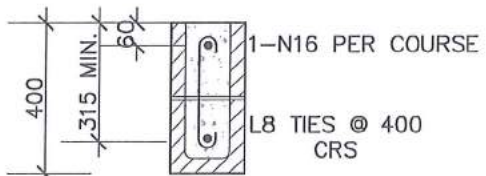
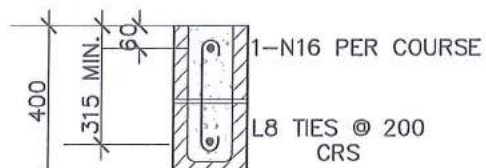
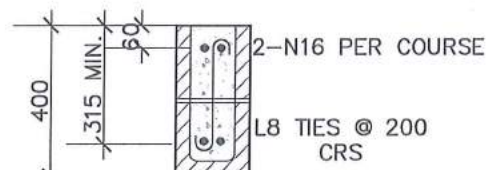
LIVING	-	177.96 m2
PATIO	-	106.97 m2
PORCH	-	4.40 m2
TOTAL	-	289.33 m2

WE CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

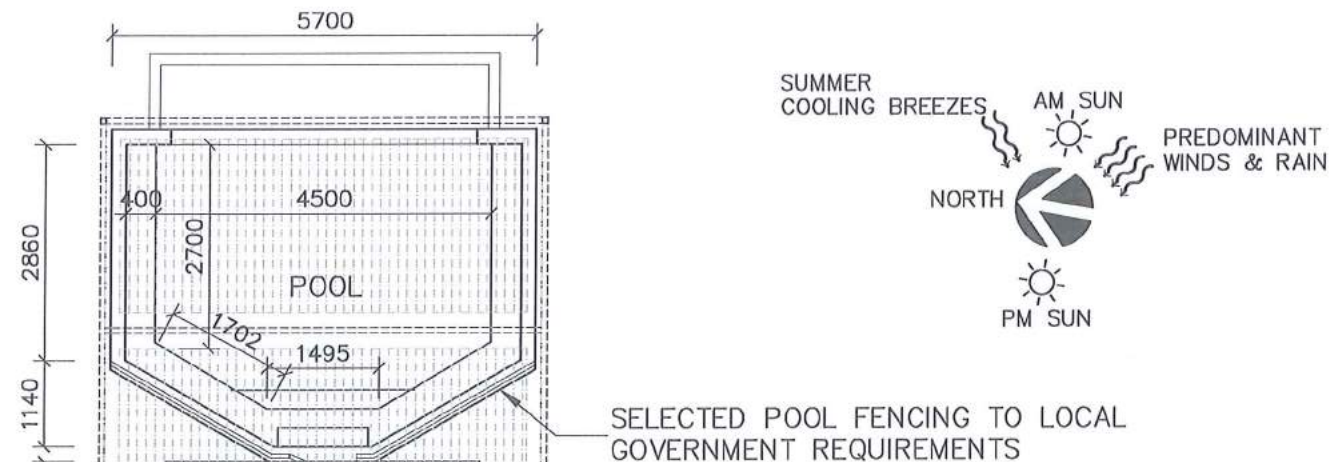
L. J. Penarich 24-4-18

C.M.G. CONSULTING ENGINEERS PTY LTD
 208 BUCHAN ST
 CAIRNS Q 4870
 PH 07 4031 2775
 FAX 07 4051 9013
 ACN 011 065 375

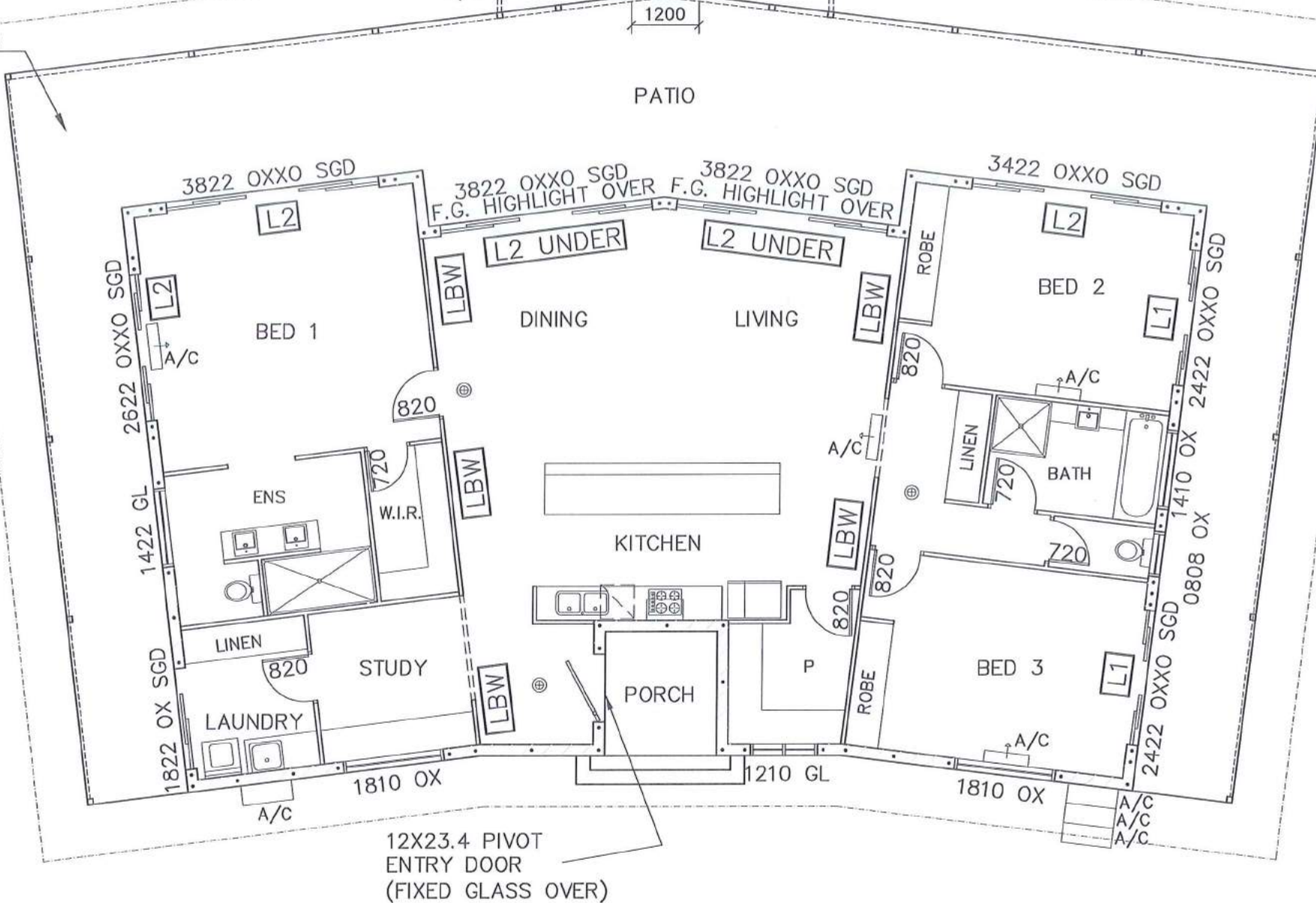
LBW - LOAD BEARING WALL
 REFER SHEET 12 FOR HOLD DOWN DETAILS



TYP LINTEL U.N.O. ON PLAN
 SCALE 1:20



SELECTED PLASTIC DECKING



FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS, CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.

This drawing is Copyright to Can-Do Constructions ©

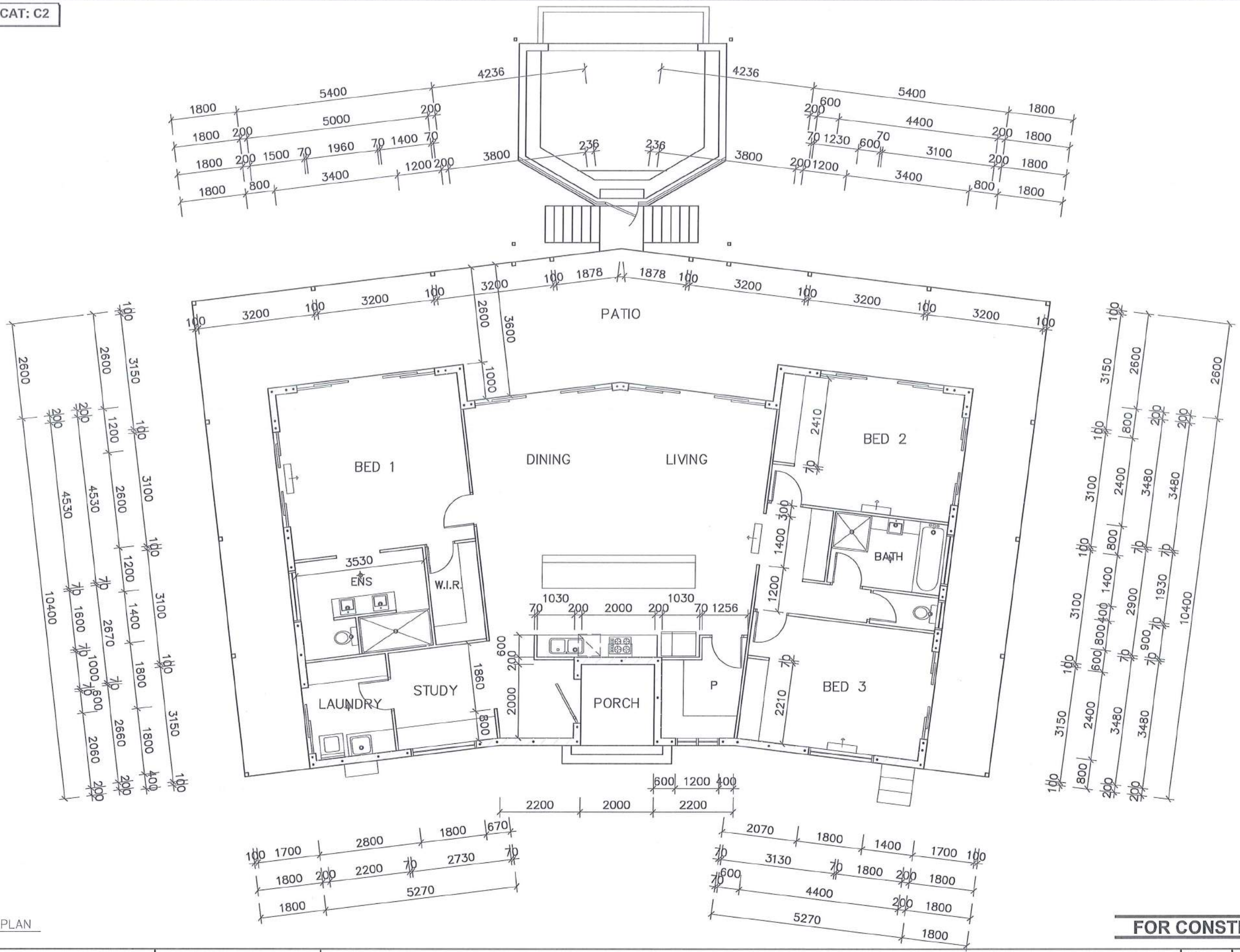
CAN-DO CONSTRUCTIONS
 STRUCTURAL ENGINEERING
 Maria De Vasahl
 1000 Ruffell Street, Cairns QLD 4870
 Ph: 07 4031 2775
 Fax: 07 4051 9013

Marlo De Vecchi Ph: 0407 674 282
 QBSA 55695

PROPOSED RESIDENCE
 2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
 WARREN MUSTON

DATE: 02/04/18	FLOOR PLAN
DRAWN: MLC	SHEET 04 OF 15
CHECKED: MD	1703 - A04
SCALE: 1:100 @ A3	REVISION - 4

DESIGN WIND CAT: C2



01 DIMENSION PLAN
1:100 of A3 sheet size

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.

This drawing is Copyright to Can-Do Constructions ©

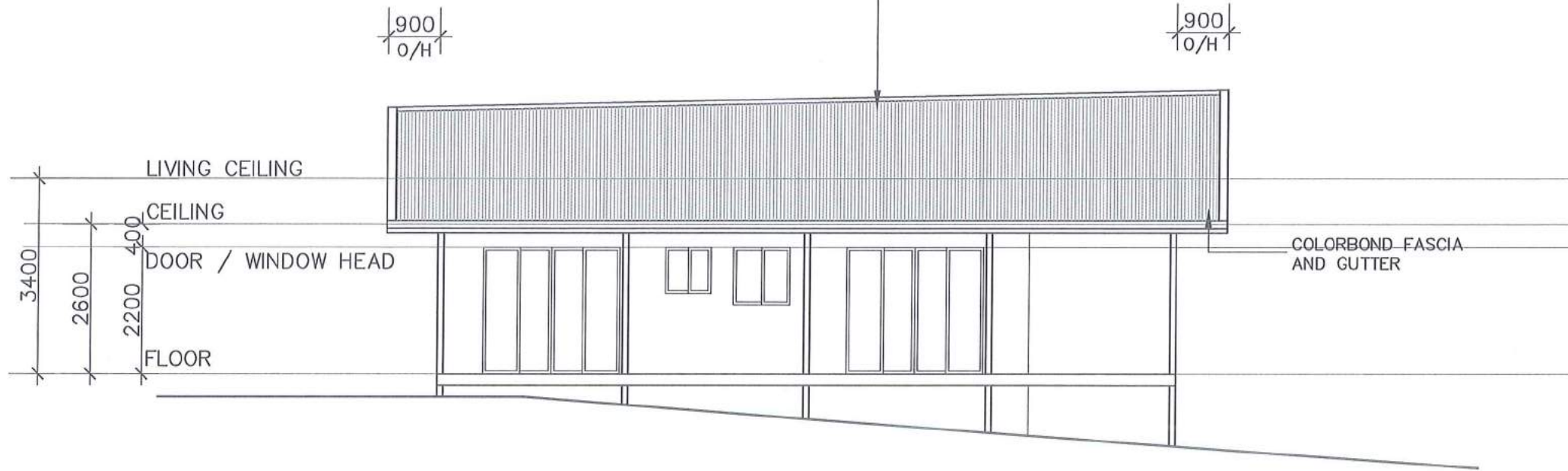
CAN-DO CONSTRUCTIONS
 MARIO DA VECCHI
 QBSA 55695

PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE: 21/03/18	DIMENSION PLAN
DRAWN: MLC	SHEET 05 OF 15
CHECKED: MD	1703 - A05
SCALE: 1:100 @ A3	REVISION - 3

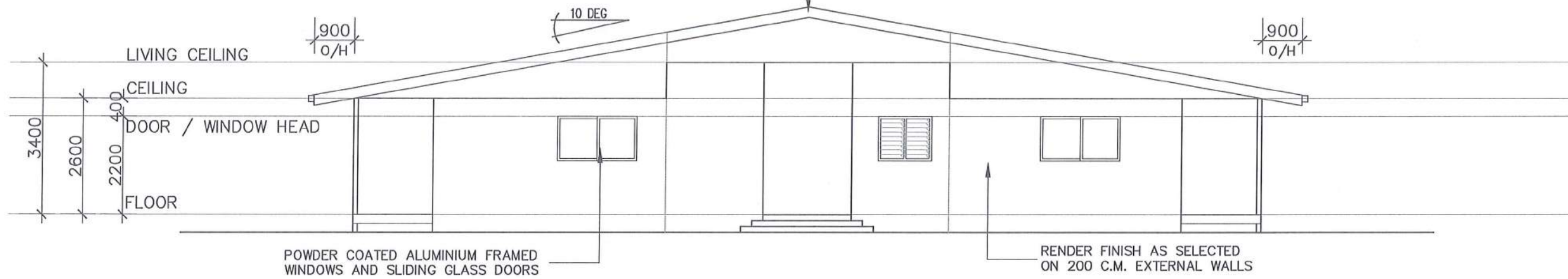
DESIGN WIND CAT: C2

SELECTED COLORBOND CUSTOM ORB ROOF SHEETING SCREW FIX TO MANUFACTURES SPECIFICATION FOR C2 WIND CLASSIFICATION



02 ELEVATION
1:100 at A3 sheet size

SELECTED COLORBOND RIDGE CAPPING



01 ELEVATION
1:100 at A3 sheet size

FOR CONSTRUCTION

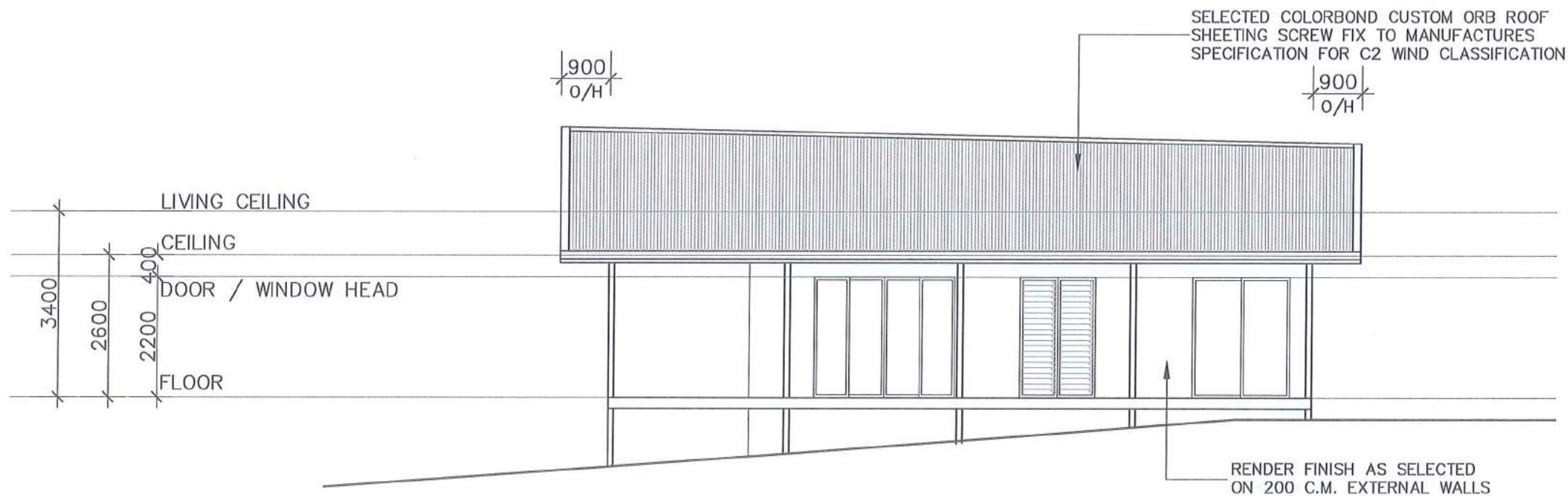
THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS, CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.
This drawing is Copyright to Can-Do Constructions ©



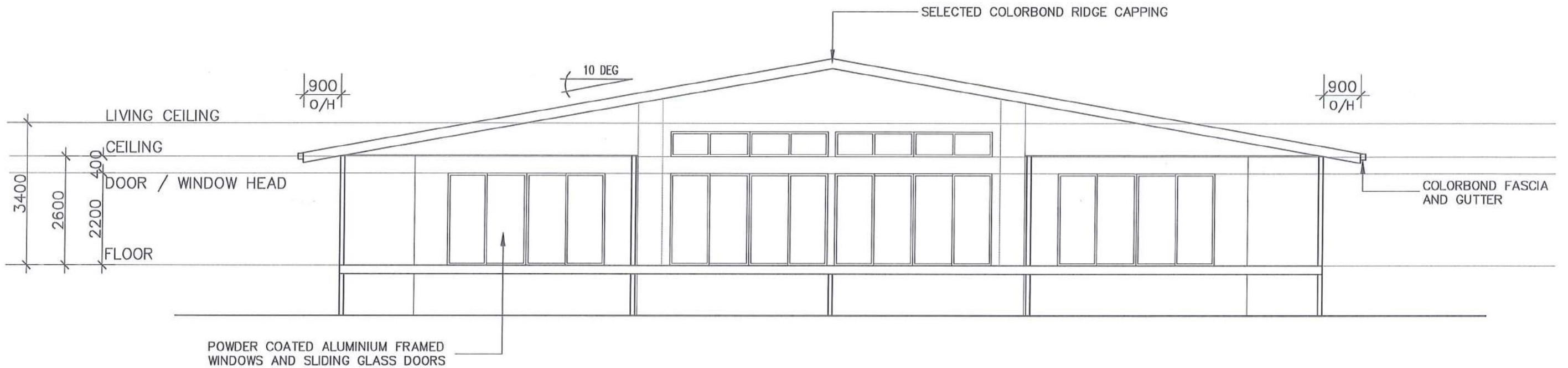
PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE: 26/02/18	ELEVATION SHEET 06 OF 15
DRAWN: MLC	1703 - A06
CHECKED: MD	
SCALE: 1:100 @ A3	REVISION - 2

DESIGN WIND CAT: C2



02 ELEVATION
1:100 of A3 sheet size



01 ELEVATION
1:100 of A3 sheet size

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.



PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE: 26/02/18	ELEVATION SHEET 07 OF 15
DRAWN: MLC	1703 - A07
CHECKED: MD	
SCALE: 1:100 @ A3	REVISION - 2

This drawing is Copyright to Can-Do Constructions ©

DESIGN WIND CAT: C2

TERMITE CONTROL TO COMPLY WITH AS 3600.1

CONCRETE SLAB TO HAVE TERMIMESH TO ALL SLAB PENETRATIONS OR ALL STRUCTURAL
TIMBER & TRUSSES TO BE TERMITE RESISTANT GRADE OR BE TREATED FOR TERMITE
RESISTANCE (H2 INTERNAL, H3 EXTERNAL HAZARD LEVEL) IF CHEMICAL BARRIER USED ON
GROUND NOT LIFE EXPECTANCY.

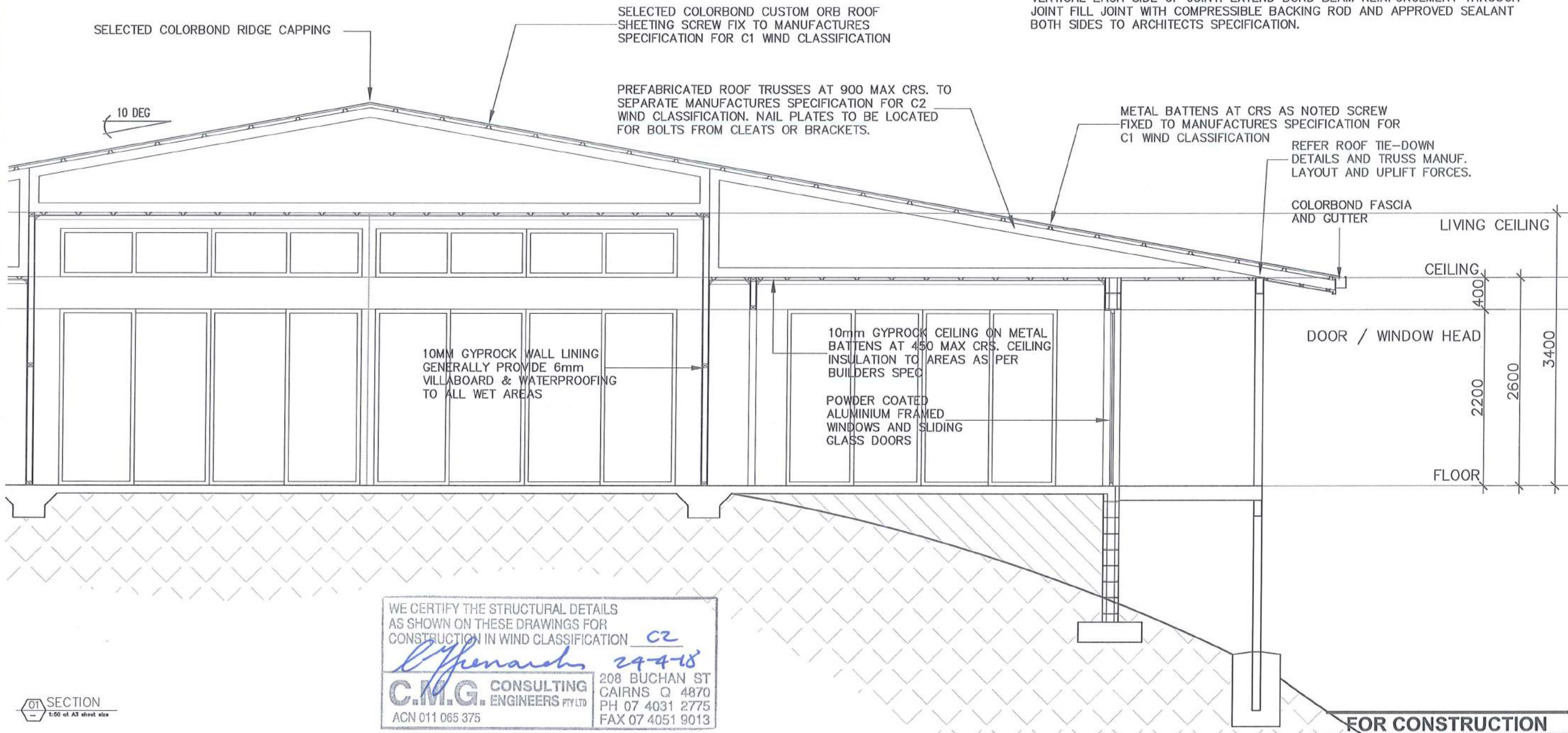
KEEP GARDEN BEDS A MINIMUM OF 1 METER AWAY FROM EXTERNAL WALLS.

2 DURABLE NOTICES ARE TO BE INSTALLED IN PROMINENT LOCATIONS IN BUILDING e.g. METER
BOX & PANTRY STATING METHOD OF PROTECTION USED & DATE INSTALLED. ALL PRIMARY
BUILDING ELEMENTS (SKIRTING, ARCHITRAVE'S, JAMBS, ETC) ARE TO BE PROTECTED AGAINST
TERMITE INFESTATION IN ACCORDANCE WITH A.S. 3600.1

OWNER IS TO VISUALLY INSPECT AROUND HOUSE FOR TERMITE ACTIVITY EVERY 12 MONTHS
MINIMUM & TAKE PRECAUTIONS IF REQUIRED

C.M.B. WALL REINFORCEMENT NOTES

1. PROVIDE SINGLE COURSE BOND BEAM AT UNDER SIDE OF ROOF. REINF. WITH 2N12 OR 1N16 BAR EACH COURSE 500 MIN. LAPS.
2. PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1N12. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.
3. U.N.O. ON PLAN ALL LINTELS TO BE REINF WITH 2N12 OR 1N16 BAR WITH L8 TIE BARS AT 1000 CRS. MAX.
4. U.N.O. ON PLAN ALL 200 C.M.B. WALLS TO BE REINF. WITH N12 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 1200 MAX. CENTRES BETWEEN.
5. PROVIDE ADDITIONAL N12 VERTICAL BARS TO CORES ADJACENT TO OPENINGS GREATER THAN 1800 WIDE.
6. UNLESS NOTED OTHERWISE CONCRETE FILL ALL CORES CONTAINING REINFORCEMENT, HOLDING DOWN BOLTS AND MASONRY ANCHORS.
7. 100 SERIES BLOCKWORK WALLS TIED TO EXTERNAL WALLS WITH APPROVED MASONRY MESH EVERY 2nd COURSE
8. W.C.J. DENOTES WALL CONTROL JOINT U.N.O. TO BE REINFORCED WITH 1N12 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO ARCHITECTS SPECIFICATION.



THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.

CAN-DO CONSTRUCTIONS

 Marlo De Vecchi
 PH: 0407 074 202
 QBSA 55695

PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE: 26/02/18	SECTIONS SHEET 08 OF 15
DRAWN: MLC	1703 - A08
CHECKED: MD	
SCALE: 1:50 @ A3	REVISION - 2

DESIGN WIND CAT: C2

EXTERNAL TIMBER WALL AND INTERNAL LOAD BEARING WALL FRAMING NOTES

1. STUDS – 90x35 MGP12 AT 450 CTS. FOR HT ≤ 3000
90x35 MGP12 AT 300 CTS. FOR 3000 > HT ≤ 3300
NOGGING AT 1350 CTS MAX.
2. TOP PL. – 2/35x90 MGP12
3. BTM PL. – 35x90 MGP12 ON CONCRETE FLOOR
BTM PL. – 45x90 MGP12 ON TIMBER FLOOR
4. PROVIDE M12 GALV. CYCLONE RODS AT ENDS, CORNERS, EACH SIDE OF OPENINGS AND 1200 CTS MAX BETWEEN. PROVIDE 2-M12 CYCLONE RODS AT GIRDER TRUSS

5. STUDS EACH SIDE OF OPENINGS –

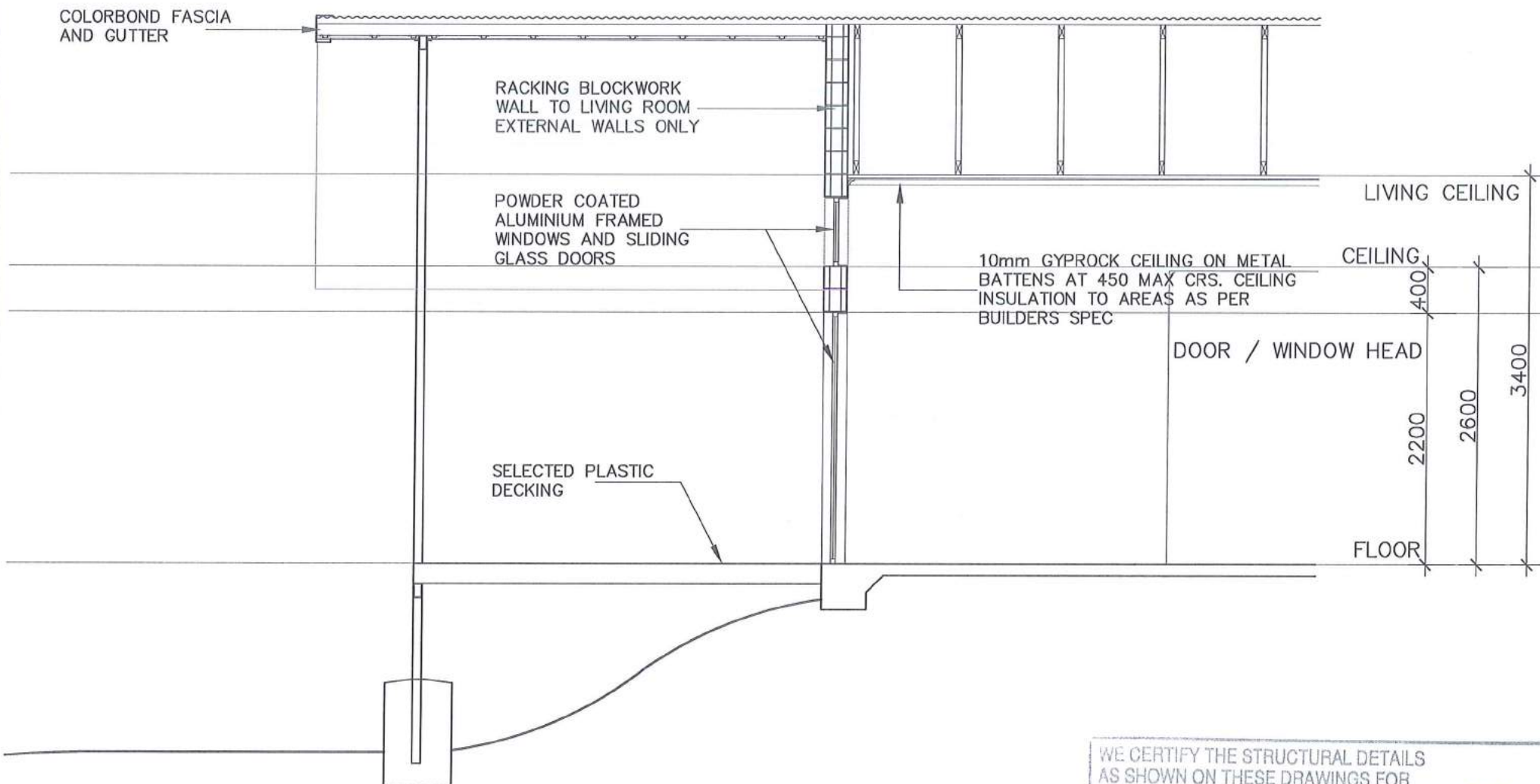
OPENING WIDTH	No. STUDS EACH SIDE OF OPENING
900	1
1200 – 2100	2
2400 – 3000	3
3300 – 4000	4
4300 – 4800	5

6. LINTELS
UNLESS NOTED OTHERWISE LINTEL SIZES TO BE –

SPAN	(LVL 15)	SPAN	SIZE (F14)
900 –	95x58	900 –	75x75
1200 – 2/	95x42	1200 –	100x75
1500 – 2/	130x42	1500 –	125x75
1800 – 2/	150x42	1800 –	150x75
2100 –	170x42	2100 –	175x75
2400 –	200x42	2400 –	200x75
2700 –	240x42	2700 –	225x75
3000 –	240x58	3000 –	250x75
3300 –	240x58	3300 –	250x75
3600 –	240x58	3600 –	275x75
4000 –	300x58	4000 –	300x75

7. BRACING

- PLY – DENOTES STRUCTURAL PLYWOOD BRACING WALLS. THICKNESS AND FIXINGS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND AS 1684.3 FOR 6.4kN/m RACKING RESISTANCE.
- U.N.O. PROVIDE M12 CYCLONE RODS AT EACH END OF BRACING WALL AND AT 1800 CTS MAX. BETWEEN.
- PROVIDE ANTI-RACKING CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH AS1684.3 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION – CYCLONIC



WE CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2
Signature 24-4-18
C.M.G. CONSULTING ENGINEERS PTY LTD
208 BUCHAN ST
CAIRNS Q 4870
PH 07 4031 2775
FAX 07 4051 9013
ACN 011 065 375

SECTION 01
1:50 @ A3 sheet size

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.
This drawing is Copyright to Can-Do Constructions ©

Can-Do CONSTRUCTIONS
Marin De Vasahl
Morfo De Vecchi PH: 0407 074 202
QBSA 55695

PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE: 26/02/18	SECTIONS SHEET 09 OF 15
DRAWN: MLC	1703 - A09
CHECKED: MID	
SCALE: 1:50 @ A3	REVISION - 2

NOTES

PLUMBING AND DRAINAGE INSTALLATION TO COMPLY WITH THE PLUMBING AND DRAINAGE ACT 2002 (PDA) AND THE STANDARD PLUMBING AND DRAINAGE REGULATION 2003 (SPDR)

ALL DRAINAGE SHALL BE 100mm DIA UPVC RUN AT A MIN GRADE OF 1.65% (1:60) U.N.O.

ALL VENT PIPES TO TERMINATE IN ACCORDANCE WITH AS 3500 2.2 SECTION 6.7.4

ALL I.O.'S UNDER CONCRETE TO BE TAKEN TO SURFACE AND FITTED WITH APPROVED SCREW CAP

ALL FLOOR WASTES TO HAVE 100mm DIA RISERS AND REMOVAL SCREW GRATES

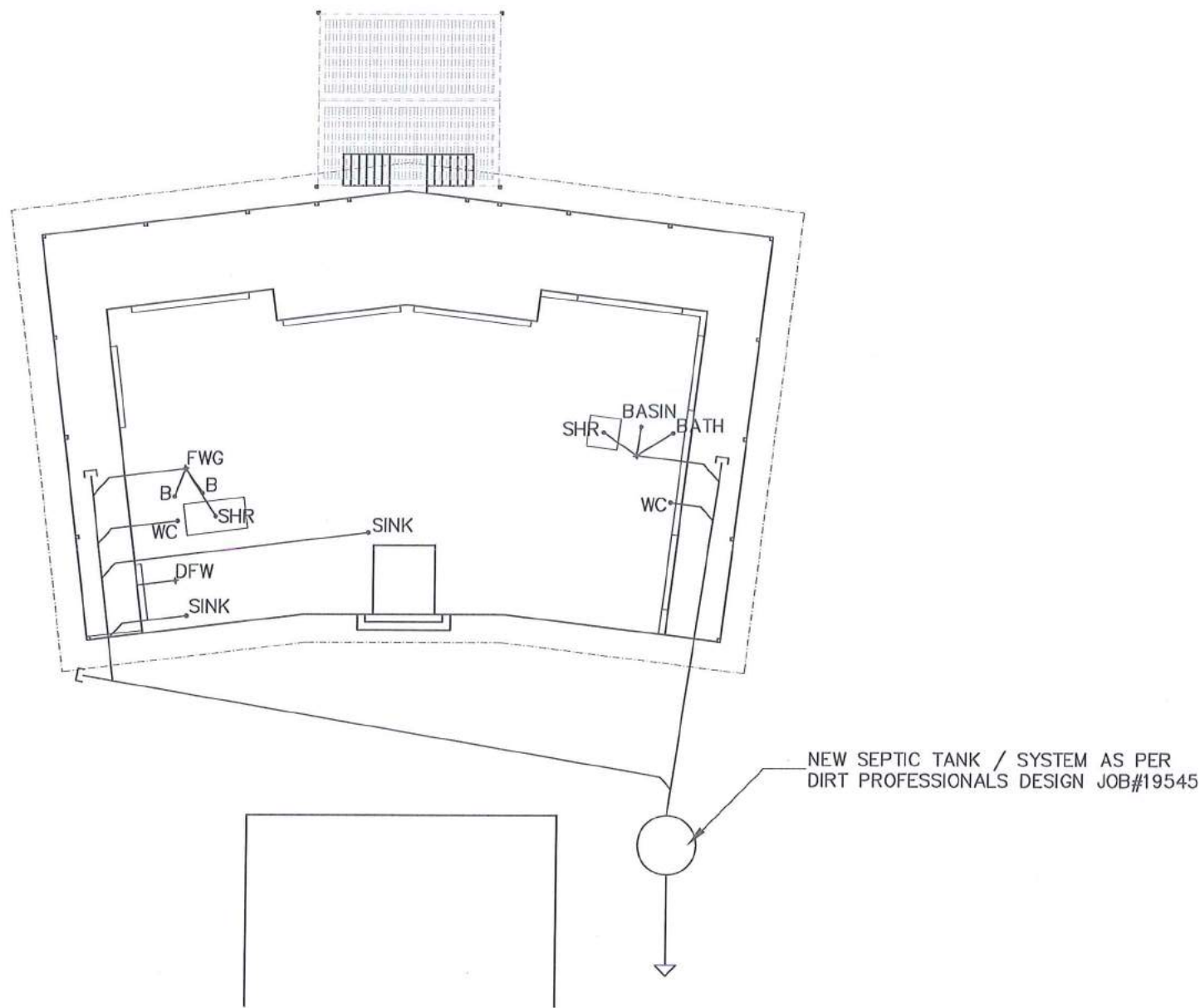
WHERE PVC PIPES PENETRATE OF ARE BUILT INTO WALLS OR SLABS THE PIPES SHALL BE LAGGED WITH APPROVED MATERIAL IN ACCORDANCE WITH AUSTRALIAN STANDARDS

MAXIMUM DISTANCE OF UN VENTED BRANCH DRAIN IS 10.0m TO FIXTURES, ORG'S OR DG'S

ALL WC'S TO BE SCREWED FIXED TO FLOORS NYLON PLUGS AND NON CORROSIVE METAL FASTENERS

ALL DISCHARGE PIPES RECEIVING CONDENSATE WASTE, INCLUDING TRAPS SHALL BE INSULATED

ALL PIPES LAID UNDER SLAB TO BE MINIMUM DEPTH OF 400mm TO INVERT LEVEL AND SHALL BE INSULATED



01 DRAINAGE PLAN
1:100 of A3 sheet size

DIRECT SEWER TO JUMP-UP IN 100DIA UPVC LINE. PLUMBING LAYOUT DIAGRAMMATIC ONLY & LICENSED PLUMBING CONTRACTOR TO CONFIRM ALL PLUMBING & VENTING ON SITE. PLUMBING CONTRACTOR TO LIASE & CONFIRM WITH OWNER

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE ANY DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.
This drawing is Copyright to Can-Do Constructions ©



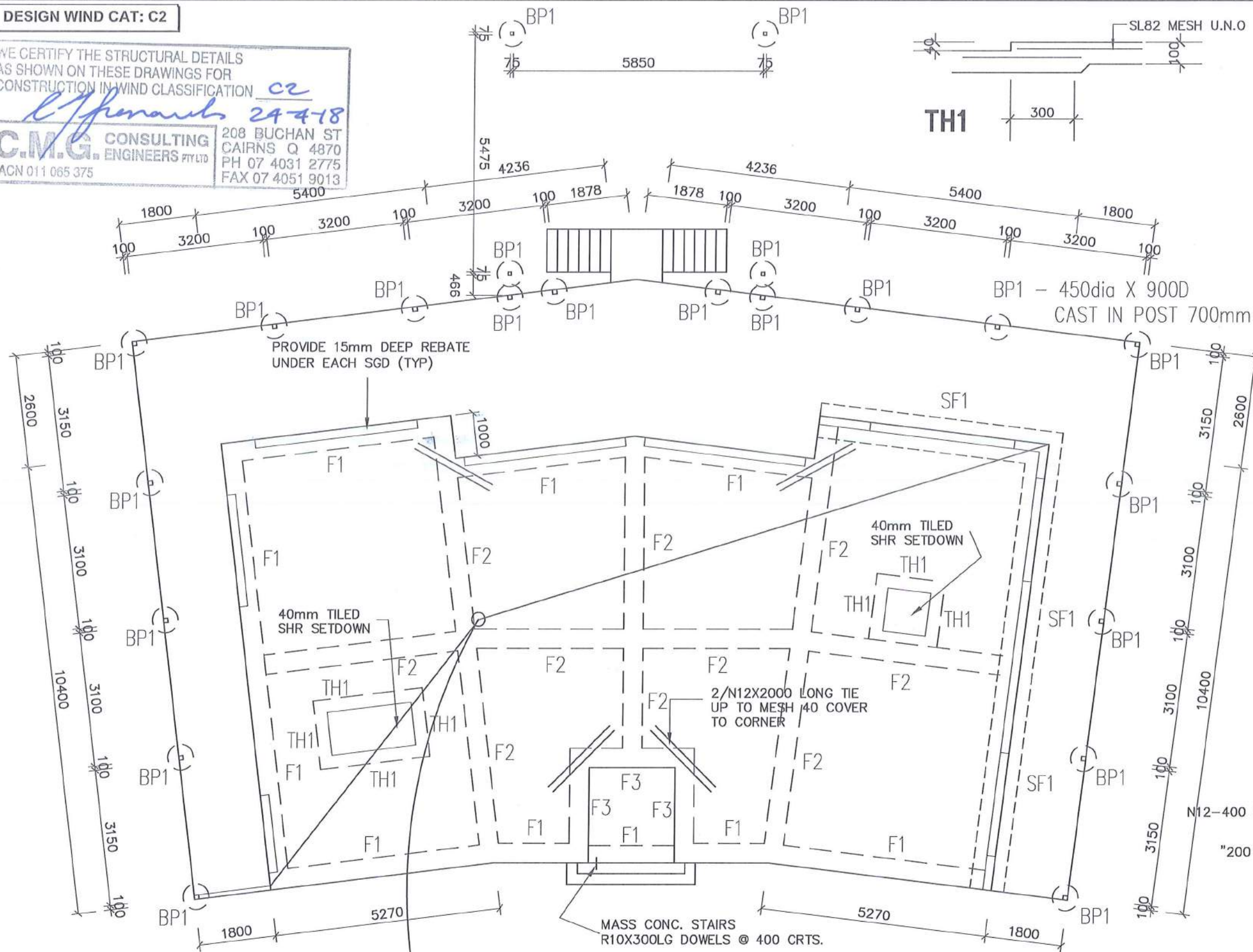
PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE:	21/03/18	DRAINAGE
DRAWN:	MLC	SHEET 10 OF 15
CHECKED:	MD	1703 - A10
SCALE:	1:100 @ A3	REVISION - 3

DESIGN WIND CAT: C2

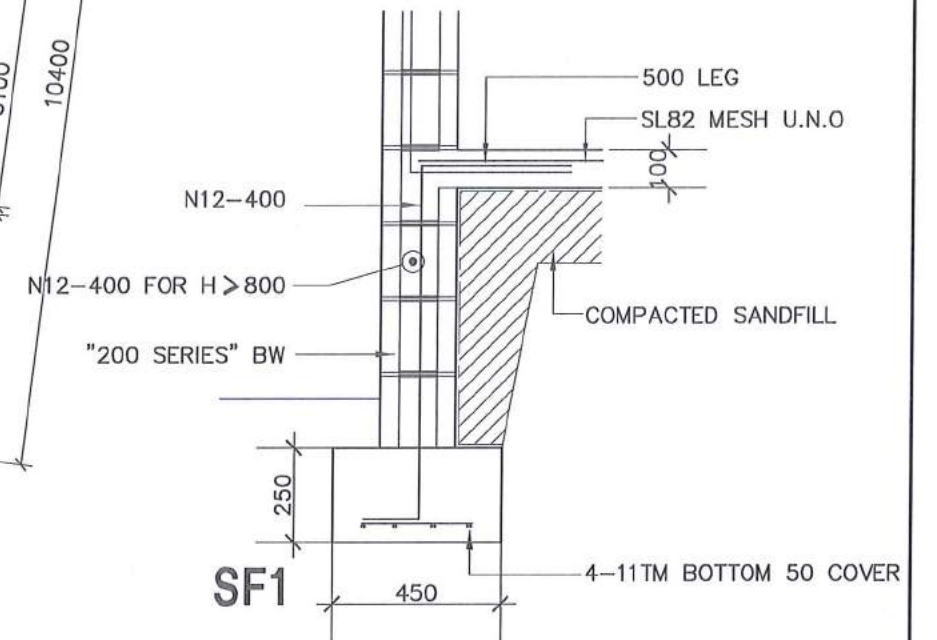
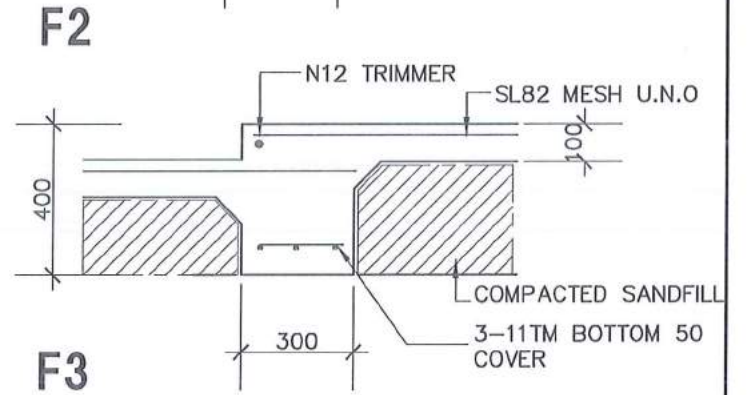
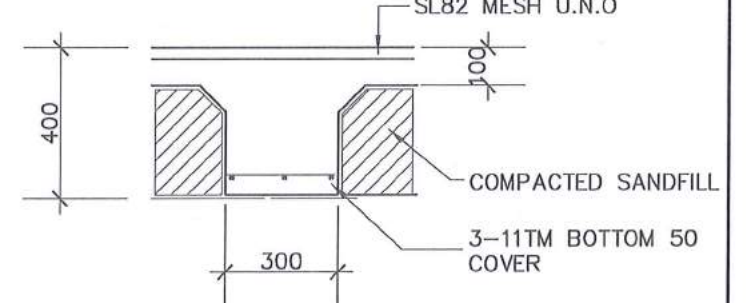
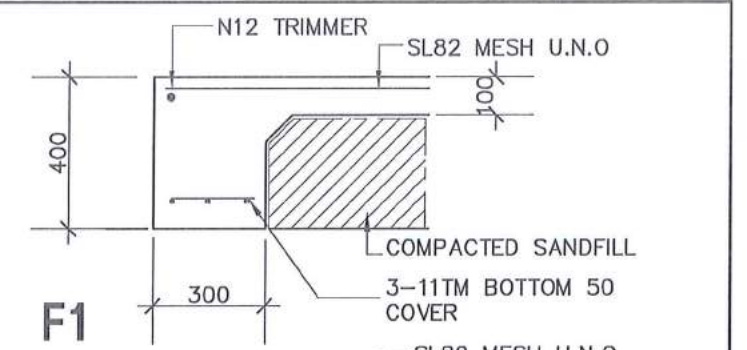
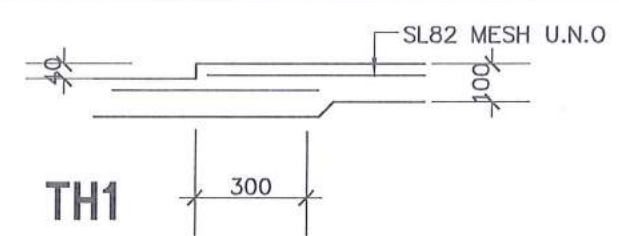
WE CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

L. J. J. J. 24-4-18
C.M.G. CONSULTING ENGINEERS PTY LTD
 208 BUCHAN ST CAIRNS Q 4870
 PH 07 4031 2775 FAX 07 4051 9013
 ACN 011 065 375



100THK. SLAB N20 GRADE CONCRETE SL82# 30
 TOP COVER SLAB LAID ON VISWJEEEN OVER
 COMPACTED SAND BED TO 98% SRDD.

FOUNDATION NOTES
 FOOTINGS HAVE BEEN DESIGNED FOR CLASS 'M'
 SITE CLASSIFICATION. BUILDER TO GRUB-OUT
 AND REMOVE ORGANIC MATERIAL. COMPACT
 NATURAL FOUNDATIONS TO 98% SRDD. MIN
 SAFE BEARING CAPACITY = 100KPa



01 FOUNDATION PLAN
 1:100 of A3 sheet size

FOR CONSTRUCTION

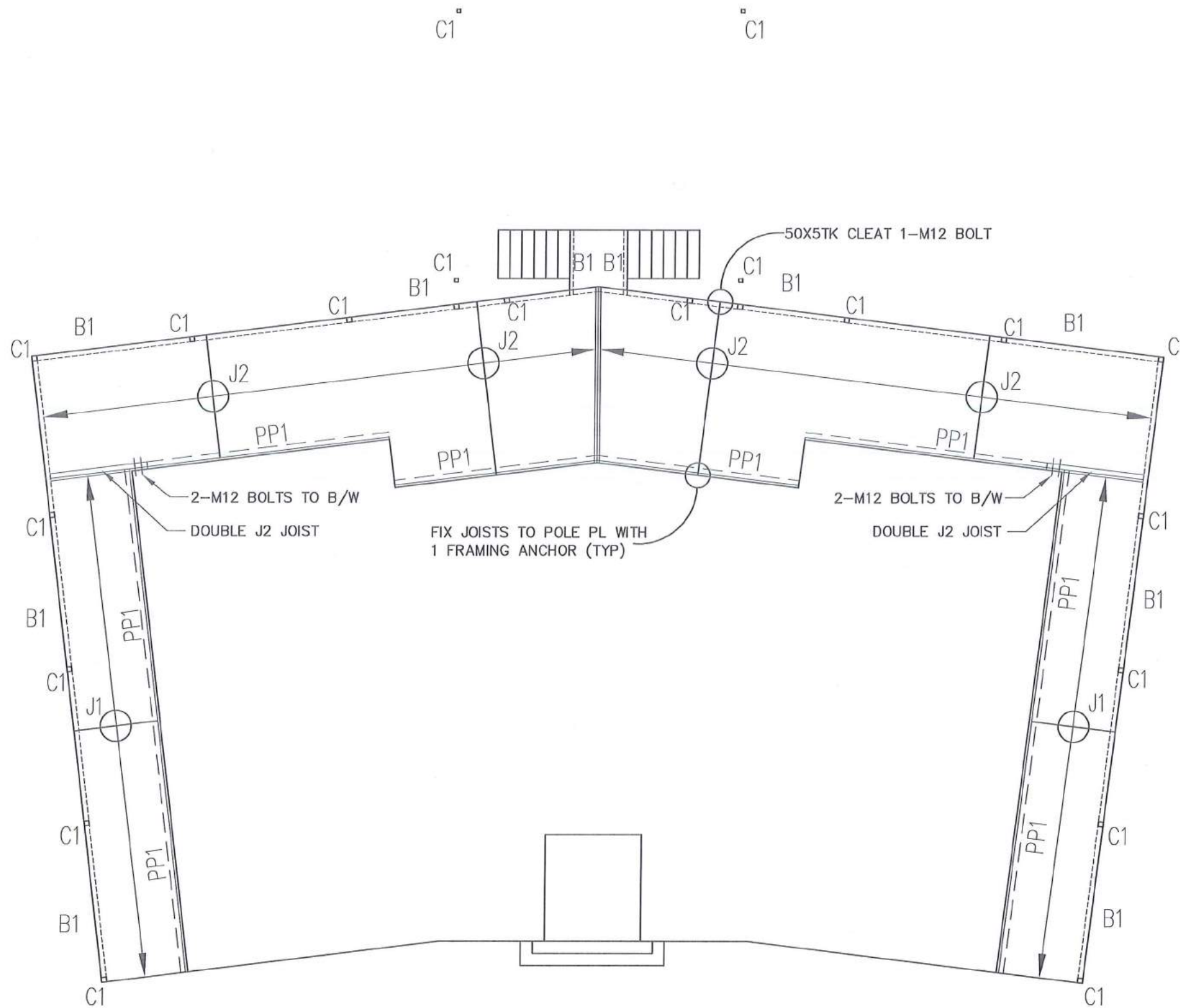
THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.
 This drawing is Copyright to Can-Do Constructions ©



PROPOSED RESIDENCE
 2715 MOSSMAN DAIN TREE ROAD, LOWER DAIN TREE, QLD 4873
 WARREN MUSTON

DATE: 21/03/18	FOUNDATION PLAN
DRAWN: MLC	SHEET 11 OF 15
CHECKED: MD	1703 - A11
SCALE: 1:100 @ A3	REVISION - 3

DESIGN WIND CAT: C2



- B1 - 125X75X4.0 RHS BEARER SITE WELD TO COLUMN
- C1 - 74X4.0 SHS COLUMN
- J1 - C15019 JOISTS AT 450 CRS
- J2 - C15019 JOISTS AT 450 CRS
- PP1 - C15019 POLE PLATE FIXED TO WALL WITH M12 TRU BOLTS AT 600 CRS

WE CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. Ferrel 21-4-18

C.M.G. CONSULTING ENGINEERS PTY LTD
 208 BUCHAN ST
 CAIRNS Q 4870
 PH 07 4031 2775
 ACN 011 065 375
 FAX 07 4051 9013

01 DECK FRAMING PLAN
 1:100 at A3 sheet size

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE ANY DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.

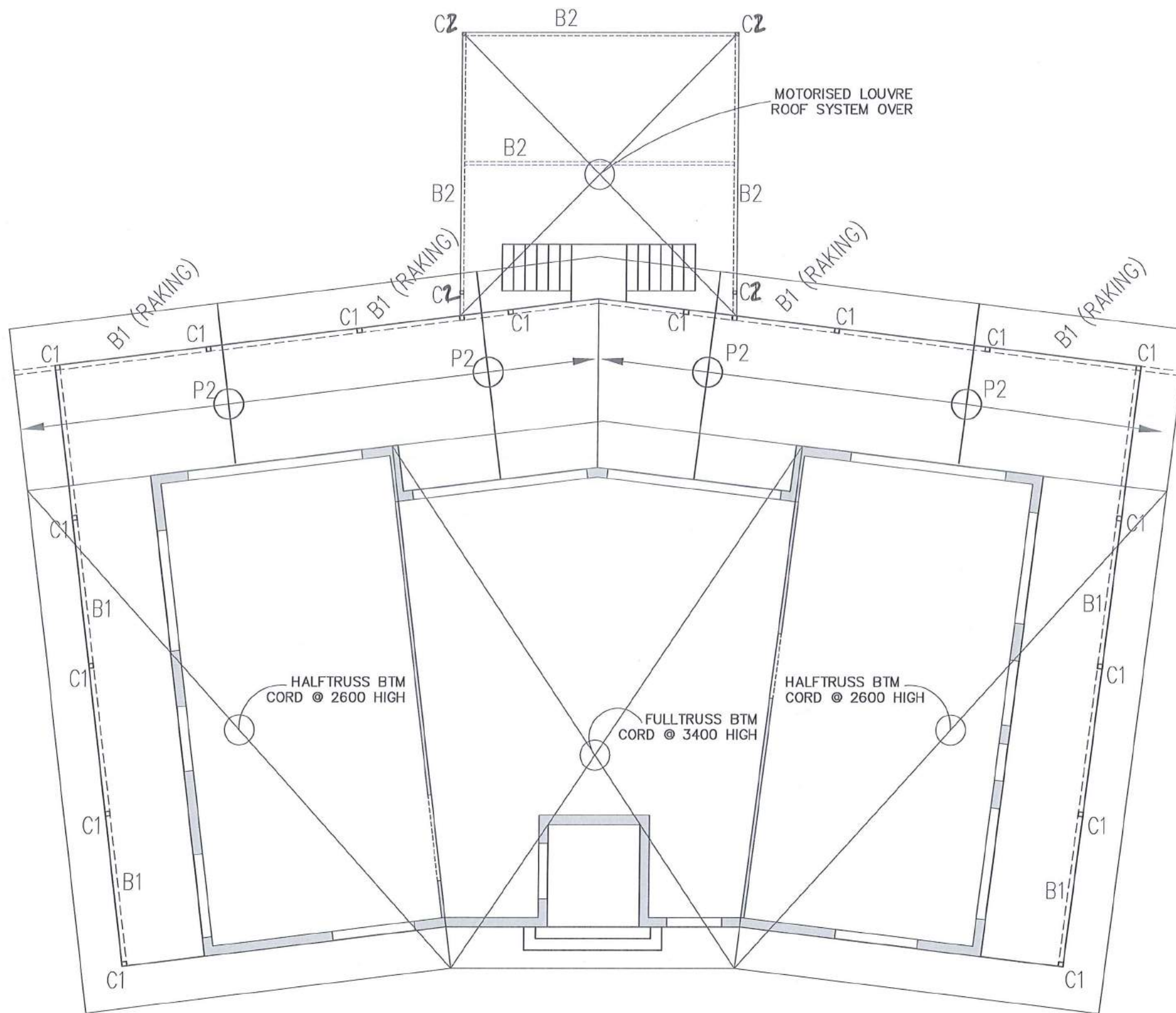
This drawing is Copyright to Can-Do Constructions ©



PROPOSED RESIDENCE
2715 MOSSMAN DAIN TREE ROAD, LOWER DAIN TREE, QLD 4873
WARREN MUSTON

DATE: 21/03/18	DECK PLAN
DRAWN: MLC	SHEET 12 OF 15
CHECKED: MD	1703 - A12
SCALE: 1:100 @ A3	REVISION - 3

DESIGN WIND CAT: C2



WE CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. Ferrel 24-4-18

C.M.G. CONSULTING ENGINEERS PTY LTD
 208 BUCHAN ST
 CAIRNS Q 4870
 PH 07 4031 2775
 ACN 011 065 375
 FAX 07 4051 9013

- B1 - 125X75X4.0 RHS BEARER SITE WELD TO COLUMN
- B2 - 200x100 x 4.0 RHS ROOF BEAMS C2-100x4-PS 115 COL'S
- C1 - 74X4.0 SHS COLUMN
- P2 - C15019 AT 900 CRS

01 DECK FRAMING PLAN
 1:100 of A3 sheet size

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS. CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE AND DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.

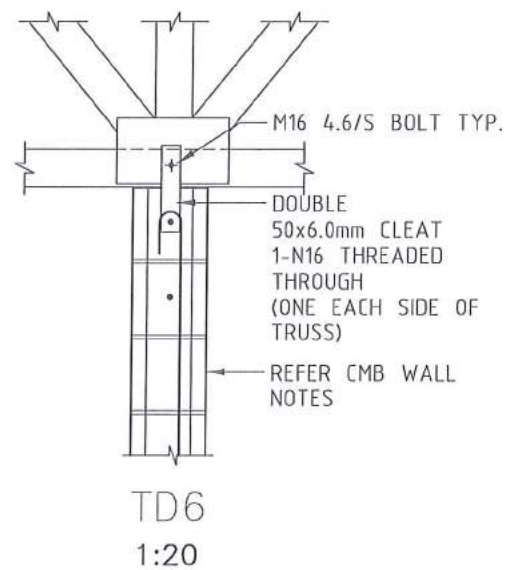
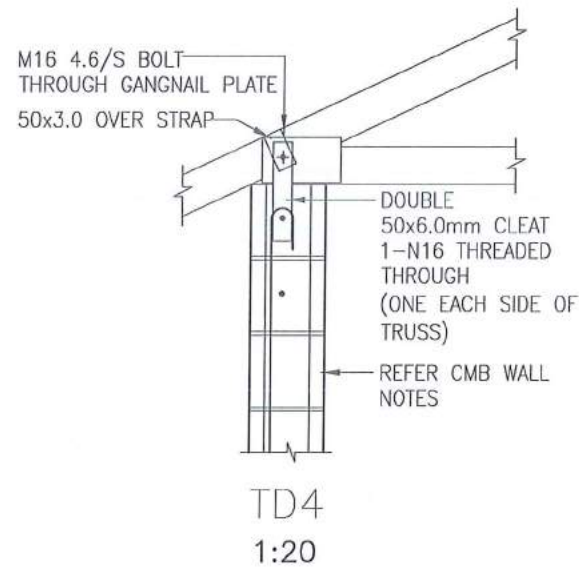
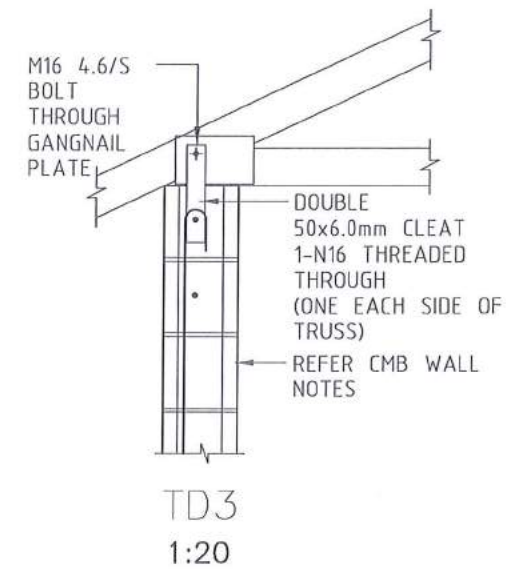
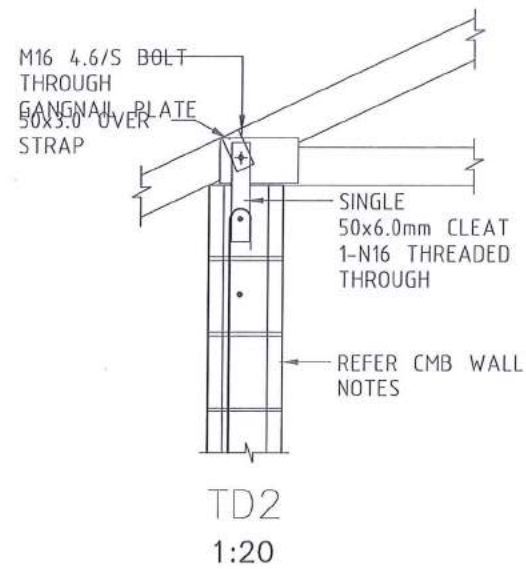
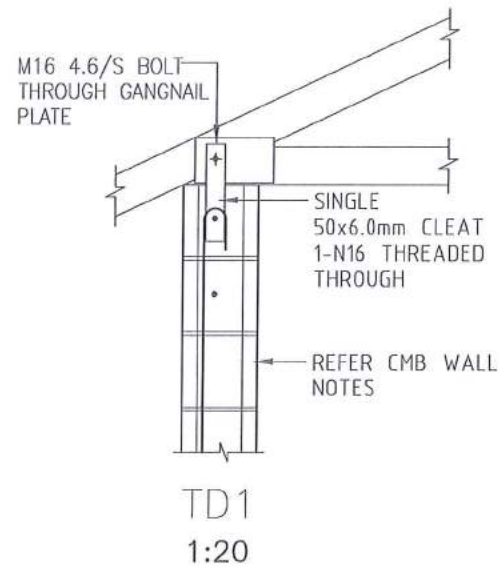
This drawing is Copyright to Can-Do Constructions ©

Can-Do CONSTRUCTIONS
 Mario De Vecchi
 Mario De Vecchi Pty Ltd

Mario De Vecchi Ph: 0407 674 282
 QGSA 55695

PROPOSED RESIDENCE
 2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
 WARREN MUSTON

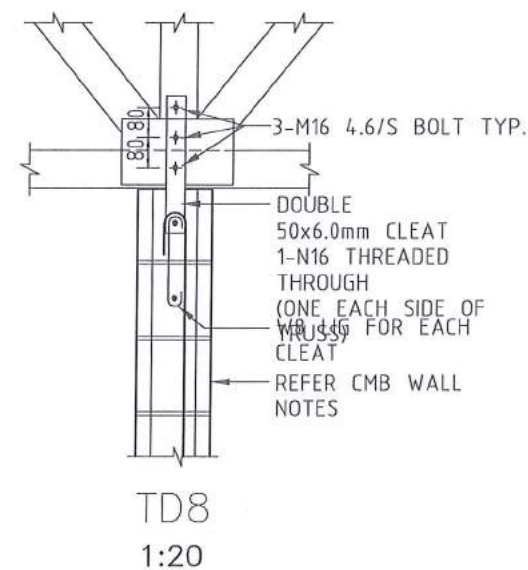
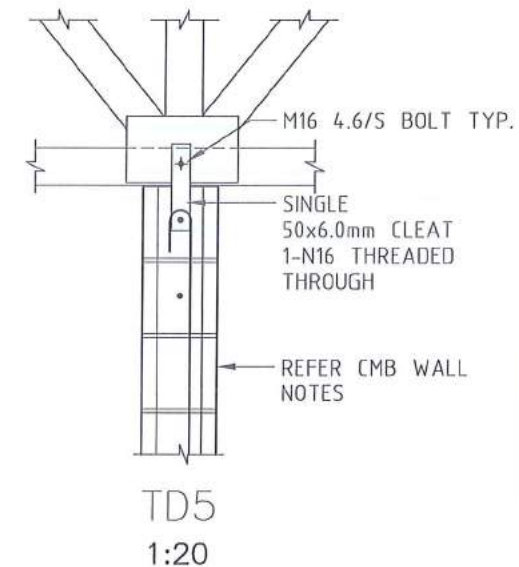
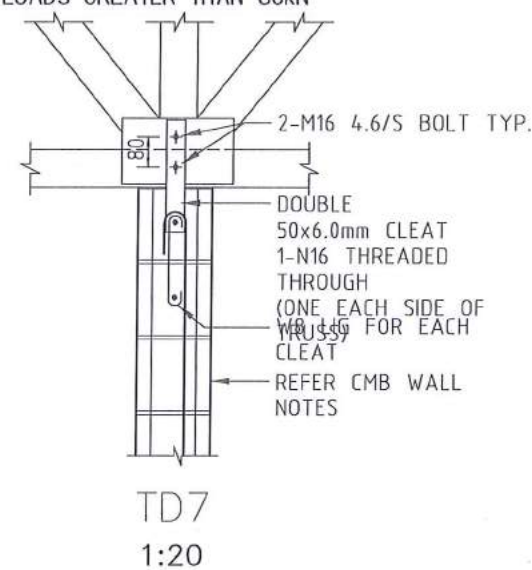
DATE: 21/03/18	DECK PLAN SHEET 13 OF 15
DRAWN: MLC	1703 - A13
CHECKED: MD	
SCALE: 1:100 @ A3	REVISION - 3



UPLIFT RESISTANCE kN
(Ultimate Limit State)

TYPE	TRUSS JOINT GROUP					
	J2	J3	J4	JD4	JD5	JD6
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	76	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73
TD9				9.5		

NOTE: PROVIDE 2-N12 (MIN.) VERTICAL REINF. BARS ADJACENT TO CLEATS WITH TIE-DOWN LOADS GREATER THAN 80kN

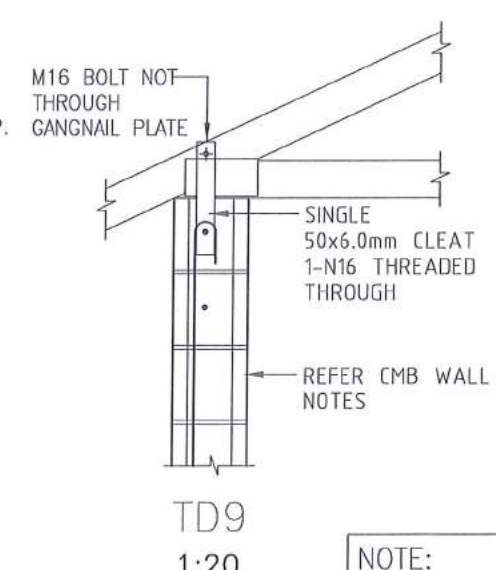


WE CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. J. J. 24-9-18

C.M.G. CONSULTING ENGINEERS PTY LTD
ACN 011 065 375

208 BUCHAN ST
CAIRNS Q 4870
PH 07 4031 2775
FAX 07 4051 9013



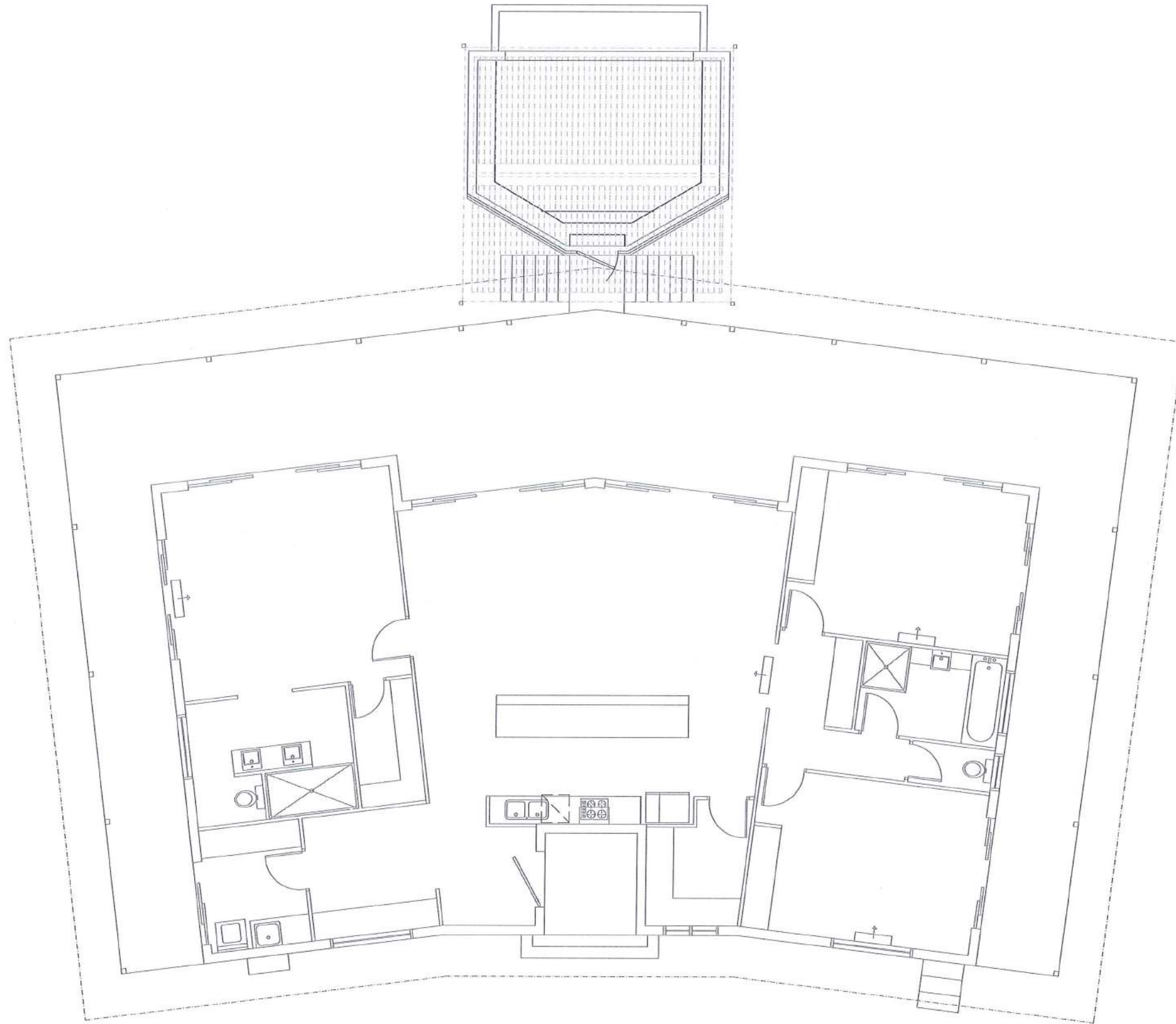
TRUSS TIE DOWN-DETAILS

(REFER TRUSS MANUF. LAYOUT AND UPLIFT LOADING)

FOR CONSTRUCTION

NOTE:
CLEAT SIZES AND CONNECTIONS SIMILAR FOR RHS BEAMS

DESIGN WIND CAT: C2



ELECTRICAL LEGEND		
OR	ICON	DESCRIPTION
1		LIGHT SWITCH
2		SINGLE GPO
3		GPO HARD WIRED
4		2xGPO
5		WATERPROOF GPO
6		CEILING LIGHT
7		1x600 FLUORESCENT LIGHT
8		1x1200 FLUORESCENT LIGHT
9		RECESSED LIGHT
10		CIRCULAR FLUORO
11		WALL LIGHT
12		CEILING FAN
13		VENTED SKY LIGHT
14		BUNKER LIGHT
15		EXHAUST FAN
16		FLOOD LIGHT
17		PHONE SOCKET
18		T.V SOCKET
19		HOT WATER SYSTEM
20		HOSE COCK
21		DENOTES SMOKE DETECTORS
22		WIRING LEGEND
23		POWER BOX
24		SURROUND SOUND SPEAKERS

NOTE: CONTRACTOR TO COMPLY WITH ALL RELEVANT STANDARDS & CODES. LAYOUT SHOWN IS INDICATIVE ONLY

01 FOUNDATION PLAN
1:100 of A3 sheet size

FOR CONSTRUCTION

THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE WRITTEN AUTHORITY OF CAN-DO CONSTRUCTIONS. DO NOT SCALE FROM THE DRAWINGS, CONTRACTOR IS TO CONFIRM / VERIFY ALL DIMENSIONS PRIOR TO SHOP DRAWINGS AND MANUFACTURE OF ANY ITEM. PRIOR TO CONSTRUCTION THE BUILDER IS TO BRING TO NOTICE ANY DISCREPANCIES CONTAINED IN THE DRAWING. ANY VARIATIONS TO ANY PART OF THE DESIGN WILL VOID THE RESPONSIBILITIES OF CAN-DO CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE, QUEENSLAND DEVELOPMENT CODE, STANDARD BUILDING REGULATION AND ANY RELEVANT BUILDING CODES / AUSTRALIAN STANDARDS. CAN-DO CONSTRUCTION RESERVES THE RIGHT TO ALTER PLANS IF REQUIRED.


CAN-DO CONSTRUCTIONS
Building & Construction
 Mario De Vecchi
 QLD Building Practitioner
 QBSSA 55695

PROPOSED RESIDENCE
2715 MOSSMAN DAINTREE ROAD, LOWER DAINTREE, QLD 4873
WARREN MUSTON

DATE: 21/03/18	ELECTRICAL PLAN
DRAWN: MLC	SHEET 15 OF 15
CHECKED: MID	1703 - A15
SCALE: 1:100 @ A3	REVISION - 3

This drawing is Copyright to Can-Do Constructions ©

Form 15 - Compliance Certificate for building Design or Specification Version 4 - July 2017

NOTE	NOTE: This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i> . RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.
1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable. The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address <i>(include no., street, suburb / locality & postcode)</i> Daintree/Mossman Road (39205L1) Lower Daintree Lot & plan details <i>(attach list if necessary)</i> Lot 324 SP270856 In which local government area is the land situated? Douglas Shire Council
2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Footings/Ground Slab Bracing Tie-Down Floor, Wall & Roof Framing Concrete Masonry
3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Wind Classification – C2 Australian Standard Codes- AS 2870, AS 4055, AS 3600, AS3700, AS 1684.3, AS/NZS 1170 Parts 1 Local Authority Regulations Site Classification -Assumed Class M to be verified by testing prior to construction
4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Can Do Construction drawings 1703 Sheets 1-15
5. Building certifier reference number	Building certifier reference number _____
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name <i>(in full)</i> Charles Michael Gianarakis RPEQ 1370 Company name <i>(if applicable)</i> Contact person CMG Consulting Engineers Pty Ltd Charles Gianarakis Phone no. <i>business hours</i> Mobile no. Fax no. 07 40 312775 _____ _____ Email address chas@cmgengineers.com.au Postal address P.O. Box 5901, Cairns Qld 4870 Licence or registration number <i>(if applicable)</i> RPEQ 1370
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	Signature Date  11 April 2018