

# DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

### 1) Applicant details

Applicant name(s) (individual or company full name)	PIONEER CONSTRUCTION MATERIALS HANSON CONCRETE C/- Northern Building Approvals
Contact name (only applicable for companies)	Kenton Byrne
Postal address (P.O. Box or street address)	3b Margherita Close
Suburb	Mareeba
State	QLD
Postcode	4880
Country	Australia
Contact number	0447 865 265
Email address (non-mandatory)	kentonstella@bigpond.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	DA/18/0001

### 2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application  
 No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		22-24	Teamsters Close	Graiglie
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	6	RP804923	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- Additional premises are relevant to this development application and their details have been attached in a schedule to this application  
 Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable):	
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use       Reconfiguring a lot       Operational work       Building work

b) What is the approval type? *(tick only one box)*

- Development permit       Preliminary approval       Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment       Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Building Work Assessable Against the Planning Scheme (Vehicle Storage Structure)

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use       Reconfiguring a lot       Operational work       Building work

b) What is the approval type? *(tick only one box)*

- Development permit       Preliminary approval       Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment       Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

#### 6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

## Section 2 – Further development details

### 7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

#### 8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Carpark Structure	Light Industry	N/A	105.6m <sup>2</sup>

#### 8.2) Does the proposed use involve the use of existing buildings on the premises?

<input checked="" type="checkbox"/> Yes		
<input type="checkbox"/> No		

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

#### 9.1) What is the total number of existing lots making up the premises?

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#### 9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

### 10) Subdivision

#### 10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

#### 10.2) Will the subdivision be staged?

<input type="checkbox"/> Yes – provide additional details below
<input type="checkbox"/> No
How many stages will the works include?
What stage(s) will this development application apply to?

**11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?**

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment**

**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?**

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**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work**

*Note: This division is only required to be completed if any part of the development application involves operational work.*

**14.1) What is the nature of the operational work?**

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify:		

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	

**14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)**

\$	
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**PART 4 – ASSESSMENT MANAGER DETAILS**

**15) Identify the assessment manager(s) who will be assessing this development application**

Mareeba Shire Council

**16) Has the local government agreed to apply a superseded planning scheme for this development application?**

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

## PART 5 – REFERRAL DETAILS

### 17) Do any aspects of the proposed development require referral for any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure – designated premises
- Infrastructure – state transport infrastructure
- Infrastructure – state transport corridors and future state transport corridors
- Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure – near a state-controlled road intersection
- On Brisbane core port land near a State transport corridor or future State transport corridor
- On Brisbane core port land – ERA
- On Brisbane core port land – tidal works or work in a coastal management district
- On Brisbane core port land – hazardous chemical facility
- On Brisbane core port land – taking or interfering with water
- On Brisbane core port land – referable dams
- On Brisbane core port land - fisheries
- Land within Port of Brisbane's port limits
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- Wetland protection area

#### Matters requiring referral to the **local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- Local heritage places

Matters requiring referral to the <b>chief executive of the distribution entity or transmission entity:</b> <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> <li>• The <b>Chief executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the <b>Brisbane City Council:</b> <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the <b>Minister under the <i>Transport Infrastructure Act 1994</i>:</b> <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the <b>relevant port operator:</b> <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the <b>Chief Executive of the relevant port authority:</b> <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the <b>Gold Coast Waterways Authority:</b> <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the <b>Queensland Fire and Emergency Service:</b> <input type="checkbox"/> Tidal works marina ( <i>more than six vessel berths</i> )

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application ( <i>if applicable</i> ).		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i> <ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul> <i>Further advice about information requests is contained in the <a href="#">DA Forms Guide</a>.</i>

## PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application  
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application  
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached  
 No

23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below  
 No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application  
 No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under



section 22A of the *Vegetation Management Act 1999*?

Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

**Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

**Koala conservation**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes

No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

**Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

**Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

**Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

**Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

#### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application

No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

#### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

Yes – the following is included with this development application:

Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)

A certificate of title

No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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#### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

No

#### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

**24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <i>DA Form 2 – Building work details</i> have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see <a href="#">DA Forms Guide: Planning Report Template</a>.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued ( <i>see 21</i> )	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

**25) Applicant declaration**

<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
<p><b>Privacy –</b> Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where:</p> <ul style="list-style-type: none"> <li>• such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>• required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>• otherwise required by law.</li> </ul> <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

**PART 9 – FOR OFFICE USE ONLY**

Date received:  Reference number(s):

**Notification of engagement of alternative assessment manager**

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

**QLeave notification and payment***Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

# Planning Report for Proposed Carport Structure to Existing Carpark Area At 22-24 Teamsters Close, Craiglie

Prepared by: Kenton Byrne  
Prepared for: Northern Building Approvals

## Site Description

22-24 Teamsters Close is located south of the Port Douglas township within the Craiglie Commercial and light Industry Precinct. The property is described as 6/RP804923. The subject lot is 3175 m<sup>2</sup> in size. The land is currently zoned Industry C – Heavy Industry Precinct under the current Douglas Shire Planning Scheme. There is an existing storage shed and site office on the premises. Below is an image showing the subject land.



## Development Proposal

This application is for Material Change of Use – Low Impact Industrial / Warehouse.  
Attachment 1 is the plans of the proposed development.

## Referrals

No referrals are required.

## Planning Assessment Summary

This development is for proposed Carport Structure that will provide over the existing vehicle accommodation area. The proposed development is within the Craiglie Commercial and Light Industry Precinct as identified on the Local Plan Map Sheet – LPM-005. The proposed development requires a code assessment only due to the smaller than required setback of 2m from the road boundary on Teamsters Close. Conversely, the smaller setback will be fully landscaped along the road frontage which complies the necessary code and will contribute to an attractive streetscape. Moreover, the building at 7 Teamsters Close is setback 3.5m with landscaped which also produces an attractive streetscape.

The proposed structure will also not change the existing heavy vehicle access, movements in and around site or the ability to exit in a forward gear (see attached Hanson Site and Emergency Plan for vehicle management onsite). Additionally, the existing landscaping around the site that is greater than the required 5% of site cover, will be retained and incorporated into the site design for the smaller setback to the road frontage. The existing sediment control systems of the stormwater from the roofed and sealed surfaces will also be maintained and not disturbed.

The owner of the development also requests for the Douglas Shire Council's Infrastructure Fees of  $\$46.19 \text{ per/m}^2 \times 105.6\text{m}^2 = \$4,877.66$  (No GST) to be waved as the proposed carport structure will have no effect on the Council's Infrastructure as the development will be undertaken over the existing sealed parking area with no new stormwater generated.

The fact is that development appropriate for this industrial estate and generally complies with all relevant aspects of the planning scheme. Your swift action to approve this development is appreciated.

## Mandatory Supporting Information

### **Assessment of application against relevant Development Codes**

The following Development Codes are considered to be applicable to the assessment of the application:

- 7.2.4 Port Douglas/Craiglie local plan code
- 9.3.5 Industrial activities code
- 6.2.5 Industry zone code
- 9.4.2 Landscaping code
- 9.4.3 Parking and access code



## 7.2.4 Port Douglas/Craiglie local plan code

Table 7.2.4.4.a -Port Douglas / Craiglie local plan - assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
<b>For self-assessable and assessable development</b>			
<b>Separation</b>			
<p><b>PO1</b> Pedestrians, cyclists, motorists and public transport users can easily move into and through the precinct along planned connectivity routes, identified on the Port Douglas / Craiglie local plan maps contained in Schedule 2</p>	<p><b>AO1</b> A pedestrian and cycle movement network is integrated and elivered through development</p>	<b>N/A</b>	<b>N/A</b>
<p><b>PO2</b> Development retains and enhances key landscape elements including character trees and areas of significant vegetation contributing to the character and quality of the local plan area and significant views and vistas and other landmarks important to the context of Port Douglas / Craiglie (as identified on the Port Douglas/ Craiglie Townscape Plan map contained in Schedule 2).</p>	<p><b>AO2</b> Development provides for the retention and enhancement of existing mature trees and character vegetation that contribute to the lush tropical character of the town, including: (a)the tree covered backdrop of Flagstaff Hill; (b)natural vegetation along watercourses, in particular the Mowbray River, Beor Creek and Dickson Inlet; (c) the tidal vegetation along the foreshore; (d)beachfront vegetation along Four Mile Beach, including the fringe of Coconut Palms; (e)the oil palm avenues along the</p>	<b>N/A</b>	<b>N/A</b>

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>major roads;  (f) the lush landscaping within major roundabouts at key nodes;  (g) Macrossan Street and Warner Street;  (h) Port Douglas waterfront.</p> <p><b>AO2.2</b>  Development protects and does not intrude into important views and vistas as identified on the Port Douglas Townscape Plan map contained in Schedule 2, in particular:  (a) Flagstaff Hill;  (b) Four Mile Beach;  (c) Across to the ranges over Dickson Inlet;  (d) Mowbray Valley.</p> <p><b>AO2.3</b>  Important landmarks, memorials and monuments are retained.</p>		
<p><b>PO3</b>  Development contributes to the protection, reinforcement and where necessary enhancement of gateways and key intersections identified on the Port Douglas / Craigie local plan maps contained in Schedule 2.</p>	<p><b>AO3</b>  Development adjacent to the gateways and nodes as identified on the Port Douglas / Craigie local plan maps contained in Schedule 2 incorporates architectural features and landscaping treatments and design elements that enhance the sense of arrival and way finding within the town.</p>	<p><b>N/A</b></p>	<p><b>Not adjacent to the gateways and nodes as identified on the Port Douglas / Craigie local plan maps</b></p>



<b>Performance outcomes</b>	<b>Acceptable outcomes</b>	<b>Complies</b>	<b>Comments</b>
<p><b>PO4</b> Landscaping of development sites complements the existing tropical character of Port Douglas and Craiglie.</p>	<p><b>AO4</b> Landscaping incorporates the requirements of Planning scheme policy SC6.7 – Landscaping, in particular landscaping should be capable of achieving a 60% screening of development within 5 years and predominantly consists of endemic vegetation.</p>	<b>Complies</b>	<b>See landscaping Code</b>
<p><b>PO5</b> Development does not compromise the safety and efficiency of the State-controlled road network</p>	<p><b>AO5</b> Direct access is not provided to a State-controlled road where legal and practical access from another road is available.</p>	<b>Complies</b>	<b>Existing use not provided with direct access to the State-controlled road network</b>
<b>Additional requirements for Precinct 3 – Craiglie Commercial and Light Industry precinct</b>			
<p><b>PO65</b> Development supports the tourism and marine industries in Port Douglas, along with the small - scale commercial and light industry land uses that support the local economy that would otherwise be better suited to a location outside the Port Douglas Town Centre Precinct.</p>	<p><b>AO3.1</b> Development consists of service and light industries and associated small scale commercial activities.</p>	<b>Complies</b>	<b>Existing use is consistent with service and light industries and associated small scale commercial Activities of the precinct.</b>

Performance outcomes	Acceptable outcomes	Complies	Comments
<p><b>PO66</b> Development on lots adjacent to the Captain Cook Highway is sited, designed and landscaped to provide an attractive visual approach to Port Douglas with all buildings, structures and car parking areas setback a sufficient distance from the frontage to enable landscaping to soften or screen the appearance of the development.</p>	<p><b>AO66.1</b> Buildings and structures are setback 8 metres from the Captain Cook Highway frontage, or no closer to the Captain Cook Highway frontage than buildings and structures on adjoining sites (averaged), whichever is the greater.</p> <p><b>AO66.2</b> The setback area to the Captain Cook Highway frontage is landscaped with advanced dense planting including tree species (100 litre bag stock), which will, at maturity, exceed the height of the building(s) on the site.</p> <p><b>AO66.3</b> Advertising signs are discreet in appearance with no large advertising signs, including tenancy signs, located on or near the Captain Cook Highway frontage, or within any landscaped setback area.</p> <p><b>AO66.4</b> Car parking areas, loading and other service areas are designed to be screened from the Captain Cook Highway and are located so as to not be visually prominent from the Captain Cook Highway.</p>	<p><b>N/A</b></p>	<p><b>Not adjacent to the Captain Cook Highway frontage.</b></p>

## 6.2.5 Industry zone code

**Table 6.2.5.3.a – Industry zone code – assessable development**

Performance outcomes	Acceptable outcomes	Complies	Comments
<b>For self-assessable and assessable development</b>			
<p><b>PO1</b> The height of buildings and structures is consistent with those of nearby buildings.</p>	<p><b>AO1</b> Buildings and structures are not more than 10 metres in height</p>	<b>Comply</b>	>10m in height
<p><b>PO2</b> Buildings and structures are setback to contribute to an attractive and consistent streetscape appearance and to protect the amenity of other land uses.</p>	<p><b>AO2.1</b> Buildings, structures, display and storage areas are set back a minimum of: (a) 8 metres to a State-controlled road (b) 6 metres from any other road frontage(s).</p>	<b>Non-Compliant</b>	<p>The proposed development to provide a Roof Cover over the existing carport will be setback 2m from the Teamsters Close, however, the smaller setback will be landscaped and contribute to an attractive streetscape. Additionally, the building at 7 Teamsters Close is setback 3.5m with landscaped which produces a attractive streetscape.</p>
	<p><b>AO2.2</b> Where a site has a common boundary with land in an Industry zone, the buildings are setback either: (a) 0 metres from the side and rear boundaries; or (b) 2.5 metres or ¼ of the height of the building, which ever if the greater; and (c) not any distance between 0 metres and 2.5 metres.</p>	<b>Complies</b>	Setback from side boundary > 2.5m

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p><b>AO2.3</b> Where a site has a common boundary with land not in an Industry zone, the buildings, structures, display areas and storage are setback 2.5 metres or ¼ of the height of the building, whichever is the greater from the common boundary</p>	<p><b>N/A</b></p>	<p><b>Common boundaries with land in the Industry zone</b></p>
<p><b>PO3</b> The site coverage of buildings ensures that there is sufficient space available to cater for services, landscaping and the on-site parking and manoeuvring of vehicles.</p>	<p><b>AO3.1</b> The site coverage of buildings does not exceed 60%.</p>	<p><b>Complies</b></p>	<p><b>Site coverage is &lt; 60%</b></p>
<p><b>PO4</b> Development provides a quality workplace.</p>	<p><b>AO4.1</b> Pedestrian entrances to buildings are: (a) easy to identify from the street and on-site car parking areas; (b) provided with sun and rain protection consisting of a minimum width of 900mm and positioned immediately above the entry way.</p> <p><b>AO4.2</b> Any office or sales spaces are orientated toward the street and are provided with human scale elements (including, but not limited to, windows, doors, shading devices and variations in construction materials, colours etc.).</p> <p><b>AO4.3</b> Customer parking is located at the front of the building between the building and the street or to the side of the building with clear visibility to</p>	<p><b>Complies</b></p>	<p><b>Industry activities code</b></p>

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>the street.</p> <p><b>AO4.4</b> Any gates are sliding, or alternatively, open inward to the site so that the adjoining footpath reserve is not blocked when gates are open.</p> <p><b>AO4.5</b> Car parking surfaces are constructed or coated with glare-reducing materials</p>		
<p><b>PO5</b> The appearance and amenity of development is enhanced through landscaping works.</p>	<p><b>AO5.1</b> A minimum of 20% of the site is provided with space available for landscape planting.</p> <p><b>AO5.2</b> A 2 metre landscape planting strip for dense planting is provided along the road frontage(s), except that a 3 metre strip is provided along any frontage to the Captain Cook Highway.</p> <p><b>AO5.3</b> Landscape planting beds adjacent to parking and manoeuvring areas are protected from vehicle encroachment by a 150mm high vertical kerb edge or similar durable obstruction.</p> <p><b>AO5.4</b> Landscape planting consists of hardy tropical species suited to Douglas Shire's climatic conditions.</p>	<p><b>Complies or Can be conditioned to comply</b></p>	<p><b>See landscaping Code</b></p>
<p><b>PO6</b> The movement of traffic on roads is not compromised by the loading and unloading of goods.</p>	<p><b>AO6</b> All delivery/pick up vehicles are situated entirely within the site when being loaded and/or unloaded with goods</p>	<p><b>Complies</b></p>	<p><b>The existing transport of goods and materials to and from site will not change and will enter and exit the site in a forward gear.</b></p>
<p><b>PO7</b></p>	<p><b>AO7</b></p>	<p><b>N/A</b></p>	<p><b>Not adjacent to</b></p>

<b>Performance outcomes</b>	<b>Acceptable outcomes</b>	<b>Complies</b>	<b>Comments</b>
Industrial areas are not characterised by a proliferation of advertising signs and/or the use of large advertising signs.	No wall signs or painted advertising are located on the walls of industrial buildings facing, or visible to, the Captain Cook Highway.		the Captain Cook Highway frontage.
<b>PO7</b> The movement of traffic on roads is not compromised by access and egress to the site.	<b>A07.1</b> Site access for vehicles is limited to one point per road frontage. or <b>A07.2</b> If needed, two access points separated by a minimum of 10 metres to facilitate on-site vehicular manoeuvring for large vehicles. <b>A07.3</b> Sufficient space is available for vehicles to manoeuvre within the site so as to enter and leave the site in forward gear.	<b>Complies</b>	The existing transport of goods and materials to and from site will not change and will enter and exit the site in a forward gear from one point.
<b>PO8</b> Development collects and disposes of waste materials and caters for spillages in a manner that prevents contamination of land or water.	<b>A08.1</b> Sources of potential contaminants are roofed and sealed with impervious surfaces and provided with 110% storage capacity bund for spillage containment. <b>A08.2</b> Roof and storm water are directed away from areas of potential contamination. <b>A08.3</b> Contaminating materials are stored at levels above the defined flood / storm tide event, whichever is the highest.	<b>Complies</b>	The existing roofed and sealed with impervious surfaces are controlled with two sediment Traps (Noted on the site plan) to reduce potential contamination of storm water from site.
<b>PO9</b> The establishment of uses is consistent with the outcomes sought for the Industry zone and protects the zone from the intrusion of inconsistent uses.	<b>A09</b> Uses identified in Table 6.2.5.3.b are not established in the Industry zone.	<b>N/A</b>	Existing use
<b>PO10</b> Development does not	<b>A010</b> No acceptable outcomes are	<b>N/A</b>	<b>N/A</b>

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>lower the standards of amenity in terms of air, noise, odour, electrical interference and vibrations at any land use associated with the:</p> <p>(a) the Accommodation activity group, located outside the Industry zone;</p> <p>(b) the Sensitive land use activity group, located outside the Industry zone.</p>	<p>prescribed.</p>		
<p><b>PO11</b> New lots contain a minimum area of 1000m<sup>2</sup>.</p>	<p><b>AO11</b> No acceptable outcomes are prescribed.</p>	<p><b>N/A</b></p>	<p><b>N/A</b></p>
<p><b>PO12</b> New lots have a minimum road frontage of 20 metres.</p>	<p><b>AO12</b> No acceptable outcomes are prescribed.</p>	<p><b>N/A</b></p>	<p><b>N/A</b></p>
<p><b>PO13</b> New lots contain a 20 metre x 40 metre rectangle.</p>	<p><b>AO13</b> No acceptable outcomes are prescribed.</p>	<p><b>N/A</b></p>	<p><b>N/A</b></p>

### 9.3.12 - Industry activities code

Table 9.3.12.3.a - Industry activities code -assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
<b>For self-assessable and assessable development</b>			
<b>Separation</b>			
<p><b>PO1</b> The site coverage of buildings ensures that there is sufficient area for the provision of services and landscaping and caters for flood storage in areas affected by flooding.</p>	<p><b>AO1</b> The site coverage is not more than 80%</p>	<b>Complies</b>	<p>The proposed to the Roof Cover over the existing carport area will be located over the existing and will greatly less the required 80% site cover.</p>
<p>Setbacks: (a) contribute to an attractive and consistent streetscape appearance; (b) provide for visible employee and customer car parking; (c) allow for landscape planting along street frontages; (d) minimise unusable spaces between buildings / boundaries</p>	<p><b>AO2</b> Buildings , display areas and storage areas are set back: (a)6 metres from the main road frontage; (b)3 metres from any secondary road frontage; (c) where the site has a common boundary with land in an industry zone, the building is setback either: (i) zero metres from the side or rear boundary; or (ii) not less than 3 metres from the side or rear boundary. (d) than 3 metres from the side or rear boundary.</p>	<b>Non-compliant</b>	<p>The proposed to the Roof Cover over the existing carport will be setback 2m from the Teamsters Close, however, the smaller setback will be landscaped and contribute to an attractive streetscape. Additionally, the building at 7 Teamsters Close is setback 3.5m with landscaped which produces a attractive streetscape.</p>
<b>Amenity</b>			
<p><b>PO3</b> The appearance of development provides a quality, legible appearance and workplace.</p>	<p><b>AO3.1</b> Pedestrian entrances to buildings are: (a) easily identifiable from the street and directly accessible from the car</p>	<b>Complies</b>	<p>The existing pedestrian will not change and is easily identifiable from the road.</p>



Performance outcomes	Acceptable outcomes	Complies	Comments
	parking areas; (b) provided with sun and rain shelter a minimum of 900mm width immediately above the entryway.		
	<b>A03.2</b> Ancillary office or sales space is orientated toward the street frontage and is provided with human scale elements (such as windows, doors, shading devices and variation of construction materials and colours).	<b>Complies</b>	<b>The existing office and sales building will not change and is easily identifiable from the road.</b>
	<b>A03.3</b> Customer car parking is located to the front or side of premises with clear and direct pedestrian access to the main customer building entry.	<b>Complies</b>	<b>The existing customer car parking will be provided with roof cover and will still be easily identifiable from the road.</b>
	<b>A03.4</b> Outdoor storage areas are not located forward of the building line.	<b>N/A</b>	<b>N/A</b>
	<b>A03.5</b> Illumination is provided within parking and pedestrian areas during night time hours of operation.	<b>N/A</b>	<b>N/A</b>
	<b>A03.6</b> Development provides clear and legible street numbering for the benefit of motorists.	<b>Can be conditioned to comply</b>	
	<b>A03.7</b> Gates to a road frontage are sliding or open	<b>Complies</b>	<b>Existing gate not to change</b>

Performance outcomes	Acceptable outcomes	Complies	Comments
	inwardly into the site.		
	<b>AO3.8</b> Development on a site greater than 2,500m <sup>2</sup> incorporates on-site amenity areas for staff that: (a) provide seating and tables; (b) incorporates weather protection.	<b>Complies</b>	<b>Existing amenities not to change</b>
<b>Landscaping</b>			
<b>PO4</b> Landscaping is provided to: (a) enhance the appearance and amenity of the development; (b) contribute positively to the appearance of the streetscape.	<b>AO4.1</b> At least 5% of the site is landscaped.	<b>Complies</b>	<b>The existing landscaping is greater than 5% of the Site (see attached Site Plan)</b>
	<b>AO4.2</b> A landscape strip not less than 2 metres is provided within the site along the road frontage.	<b>Complies</b>	<b>The proposed to the Roof Cover over the existing carport area will be setback 2m from the Teamsters Close, the existing landscaping will be maintained to contribute to an attractive streetscape.</b>
	<b>AO4.3</b> Landscaped areas adjoining parking and manoeuvring areas are protected from vehicular encroachment by a 150mm high vertical concrete kerb or similar obstruction.	<b>Complies</b>	<b>The existing parking area will be completely sealed.</b>
	<b>AO4.4</b> Planting is to consist of a combination of hardy tropical tree and spreading ground cover	<b>Can be conditioned to comply</b>	

Performance outcomes	Acceptable outcomes	Complies	Comments
	species in accordance with Planning scheme policy SC6.7 - Landscaping that will complement the scale of proposed development, without interfering with casual surveillance and sightlines.		
	<b>AO4.5</b> Hardy tropical shrubs are provided in accordance with Planning scheme policy SC6.7 - Landscaping to screen bin storage and service areas.	<b>Can be conditioned to comply</b>	
	<b>AO4.6</b> Fencing along street frontages is more than 50% transparent.	<b>Can be conditioned to comply</b>	
<b>Services</b>			
<b>PO5</b> Development adequately takes into account the functional requirements of infrastructure needs and service of the use.	<b>AO5</b> Design takes into account the potential need to provide: (a) space and access for trade waste connections to the sewer network; (b) waste and recyclable material storage areas; (c) storage tanks; (d) fire fighting booster pumps; (e) electrical infrastructure; (f) car parking, manoeuvring areas including loading facilities.	<b>Complies</b>	<b>The existing infrastructure will not change.</b>
<b>Access and loading/unloading of goods</b>			

<b>Performance outcomes</b>	<b>Acceptable outcomes</b>	<b>Complies</b>	<b>Comments</b>
<p><b>PO6</b> The transport of goods and materials to and from sites does not adversely affect the movement of (a) traffic on roads adjacent to the site.</p>	<p><b>AO6.1</b> All vehicles are contained within the site when loading and unloading.</p>	<b>Complies</b>	<p>The existing transport of goods and materials to and from Site will not change.</p>
	<p><b>AO6.2</b> Manoeuvring area is provided on site to allow a Medium rigid vehicle to enter and exit the site in a forward gear.</p>	<b>Complies</b>	<p>The existing transport of goods and materials to and from Site will not change and will enter and exit the site in a forward gear.</p>
	<p><b>AO6.3</b> Site access is limited to one access point to each frontage.</p>	<b>Complies</b>	<p>The existing transport of goods and materials to and from Site will not change.</p>
	<p><b>AO6.4</b> Where a site has a frontage greater than 40 metres, two access points to the street frontage can be provided they are separated by a distance of not less than 10 metres.</p>	<b>N/A</b>	<b>N/A</b>

## 9.4.6 Landscaping code

**Table 9.4.6.3. a – Landscaping code – assessable development**

Performance outcomes	Acceptable outcomes	Complies	Comments
<b>For self-assessable and assessable development</b>			
<p><b>PO1</b> Development provides landscaping that contributes to and creates a high quality landscape character for the site, street and local areas of the Shire by:</p> <p>(a) promoting the Shire's character as a tropical environment;</p> <p>(b) softening the built form of development;</p> <p>(c) enhancing the appearance of the development from within and outside the development and makes a positive contribution to the streetscape;</p> <p>(d) screening the view of buildings, structures, open storage areas, service equipment, machinery plant and the like from public places, residences and other sensitive development;</p> <p>(e) where necessary, ensuring the privacy of habitable rooms and private outdoor recreation areas;</p> <p>(f) contributing to a comfortable living environment and improved energy efficiency, by providing shade to reduce glare and heat absorption and re-radiation from buildings,</p>	<p><b>AO1</b> Development provides landscaping:</p> <p>(a) in accordance with the minimum area, dimensions and other requirements of applicable development codes;</p> <p>(b) that is designed and planned in a way that meets the guidelines for landscaping outlined in Planning Scheme Policy S C6.7 – Landscaping;</p> <p>(c) that is carried out and maintained in accordance with a landscaping plan that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping.</p> <p>Note - Planning scheme policy SC6.7 – Landscaping provides guidance on meeting the outcomes of this code. A landscape plan submitted for approval in accordance with the Planning policy is one way to achieve this outcome.</p>	<p><b>Can be conditioned to comply</b></p>	<p>The proposed to the Roof Cover over the existing carport area will be setback 2m from the Teamsters Close, the existing landscaping will be maintained to contribute to an attractive streetscape.</p>

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>parking areas and other hard surfaces;</p> <p>(g) ensuring private outdoor recreation space is useable;</p> <p>(h) providing long term soil erosion protection;</p> <p>(i) providing a safe environment;</p> <p>(j) integrating existing vegetation and other natural features of the premises into the development;</p> <p>(k) not adversely affecting vehicular and pedestrian sightlines and road safety.</p>			
<b>For assessable development</b>			
<p><b>PO2</b> Landscaping contributes to a sense of place, is functional to the surroundings and enhances the streetscape and visual appearance of the development.</p>	<p><b>AO2</b> No acceptable outcomes are specified.</p> <p>Note - Landscaping is in accordance with the requirements specified in Planning scheme policy SC6.7 – Landscaping.</p>	<p><b>Can be conditioned to comply</b></p>	<p><b>Can be conditioned to comply</b></p>

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p><b>AO2.2</b> Tropical urbanism is incorporated into building design.</p> <p>Note – ‘Tropical urbanism’ includes many things such as green walls, green roofs, podium planting and vegetation incorporated into the design of a building</p>		
<p><b>PO3</b> Development provides landscaping that is , as far as practical, consistent with the existing desirable landscape character of the area and protects trees, vegetation and other features of ecological, recreational, aesthetic and cultural value.</p>	<p><b>AO3.1</b> Existing vegetation on site is retained and incorporated into the site design, wherever possible, utilising the methodologies and principles outline in AS4970-2009 Protection of Trees on Development Sites.</p>	<b>Complies</b>	<b>The existing landscaping strip will be maintained between the proposed Roof Cover over the existing carport area that will be setback 2m from the Teamsters Close. This existing landscaping will contribute to an attractive streetscape.</b>
	<p><b>AO3.2</b> Mature vegetation on the site that is removed or damaged during development is replaced with advanced species.</p>	<b>Complies</b>	<b>The existing landscaping will be maintained.</b>
	<p><b>AO3.3</b> Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are incorporated into new development.</p>	<b>Complies</b>	<b>The existing landscaping will be maintained.</b>
	<p><b>AO3.4</b> Street trees are species which enhance the landscape character of the streetscape,</p>	<b>Can be conditioned to comply</b>	<b>Can be conditioned to comply</b>

Performance outcomes	Acceptable outcomes	Complies	Comments
	with species chosen from the Planning scheme policy SC6.7 – Landscaping.		
<b>PO4</b> Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.	<b>AO4.1</b> Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	<b>Can be conditioned to comply</b>	<b>Can be conditioned to comply</b>
<b>PO5</b> Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal roadways.	<b>AO5.1</b> Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	<b>Can be conditioned to comply</b>	<b>Can be conditioned to comply</b>
<b>PO6</b> Landscaped areas are designed in order to allow for efficient maintenance.	<b>AO6.1</b> A maintenance program is undertaken in accordance with Planning scheme policy SC6.7 –Landscaping.	<b>Can be conditioned to comply</b>	<b>Can be conditioned to comply</b>
	<b>AO6.2</b> Tree maintenance is to have regard to the 'Safe Useful Life Expectancy of Trees (SULE).  Note – It may be more appropriate to replace trees with a SULE of less than 20 years (as an example), and replant with younger healthy species.	<b>Can be conditioned to comply</b>	<b>Can be conditioned to comply</b>
<b>PO7</b> Podium planting is provided with appropriate species for long term survival and ease of maintenance, with beds capable of proper rainage.	<b>AO7.1</b> Podium planting beds are provided with irrigation and are connected to stormwater infrastructure to permit flush out.	<b>Can be conditioned to comply</b>	<b>Can be conditioned to comply</b>
	<b>AO7.2</b> Species of plants are selected for long term performance designed to suit the degree of access to podiums and roof tops for maintenance.	<b>Can be conditioned to comply</b>	<b>Can be conditioned to comply</b>
<b>PO8</b>	<b>AO8</b>		



Performance outcomes	Acceptable outcomes	Complies	Comments
Development provides for the removal of all weed and invasive species and implement on-going measures to ensure that weeds and invasive species do not reinfest the site and nearby premises.	Weed and invasive species detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person.		
<p><b>PO9</b></p> <p>The landscape design enhances personal safety and reduces the potential for crime and vandalism.</p>	<p><b>AO9</b></p> <p>No acceptable outcomes are specified.</p> <p>Note - Planning scheme policy SC6.3 – Crime prevention through environmental design (CPTED) provides guidance on meeting this outcome.</p>	<p><b>Can be conditioned to comply</b></p>	<p><b>Can be conditioned to comply</b></p>
<p><b>PO10</b></p> <p>The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.</p>	<p><b>AO10</b></p> <p>Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.</p>	<p><b>Can be conditioned to comply</b></p>	<p><b>Can be conditioned to comply</b></p>

## 9.4.1 Access, parking and servicing code

Table 9.4.1.3. a – Access, parking and servicing code – assessable development

Performance outcomes	Acceptable outcomes	Complies	Comments
<b>For self-assessable and assessable development</b>			
<b>Car parking spaces</b>			
<p><b>PO1</b> Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:</p> <p>(a) the desired character of the area;            (b) the nature of the particular use and its specific characteristics and scale;            (c) the number of employees and the likely number of visitors to the site;            (d) the level of local accessibility;            (e) the nature and frequency of any public transport serving the area;            (f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building            (g) whether or not the use involves a heritage building or place of local significance;            (h) whether or not the proposed use involves the retention of significant vegetation</p>	<p><b>AO1</b> The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p> <p><b>AO1.2</b> Carparking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.</p> <p><b>AO1.3</b> Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p>	<p><b>Complies</b></p>	<p>The proposed development to provide a Roof Cover over the existing carport will not change the number of carparks existing on site.</p>

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p><b>AO1.4</b> For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>		
<p><b>PO2</b> Vehicle parking areas are designed and constructed in accordance with relevant standards.</p>	<p><b>AO2</b> Vehicle parking areas are designed and constructed in accordance with Australian Standard: (a) AS2890.1; (b) AS2890.3; (c) AS2890.6.</p>	<p><b>Complies</b></p>	<p>The proposed development to provide a Roof Cover over the existing carport will not change the number of carparks existing on site.</p>
<p><b>PO3</b> Access points are designed and constructed: (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area; (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements; (f) so that they do not adversely impact current and future on-street parking arrangements;</p>	<p><b>AO3.1</b> Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with: (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual – access crossovers. <b>AO3.2</b> Access, including driveways or access crossovers: (a) are not placed over an existing: (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer utility hole;</p>	<p><b>Complies</b></p>	<p>The proposed development will not change the existing crossover and access point to site.</p>

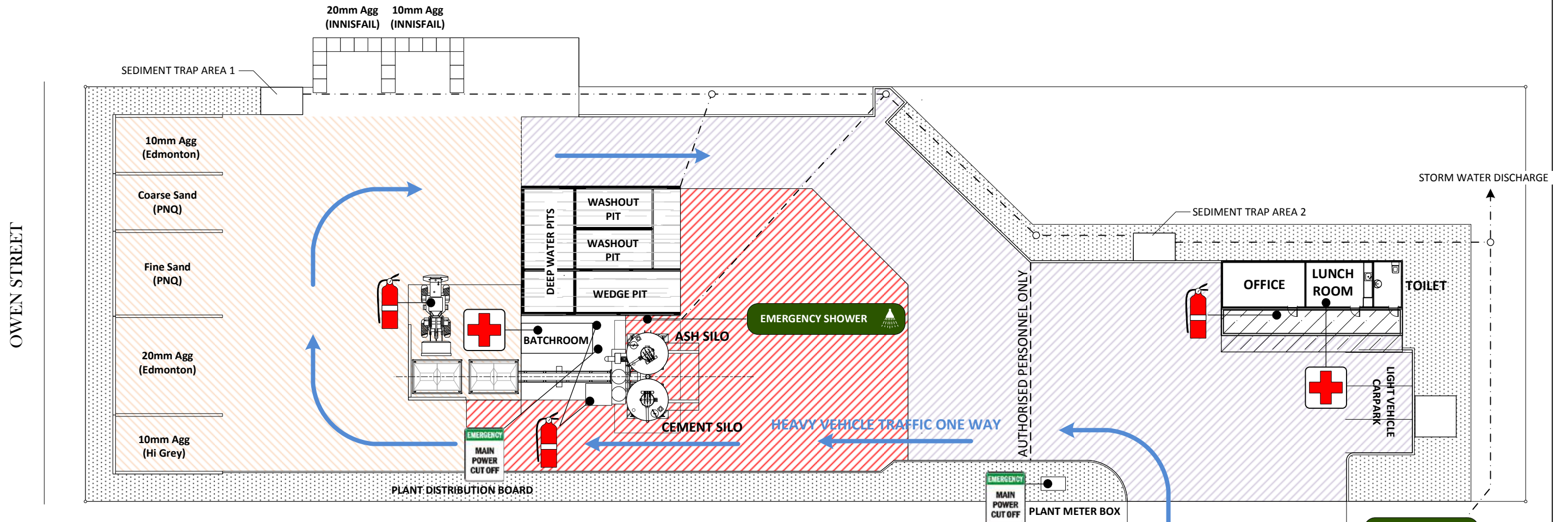
Performance outcomes	Acceptable outcomes	Complies	Comments
<p>(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;  (h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</p>	<p>(iv) water valve or hydrant.  (b) are designed to accommodate any adjacent footpath;  (c) adhere to minimum sight distance requirements in accordance with AS2980.1.  <b>AO3.3</b>  Driveways are:  (a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual;  (b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in in 6 (16.6%) prior to this area, for a distance of at least 5 metres;  (c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;  (d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;  (e) designed to include all necessary associated drainage</p>		

Performance outcomes	Acceptable outcomes	Complies	Comments
	<p>that intercepts and directs storm water runoff to the storm water drainage system.</p> <p><b>AO3.4</b> Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>		
<p><b>PO4</b> Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p><b>AO4</b> The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	Complies	The proposed development to provide a Roof Cover over the existing carport will not change the number of carparks existing on site.
<p><b>PO5</b> Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p><b>AO5</b> Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	Complies	The proposed development will not change the existing crossover and access point to site.
<p><b>PO6</b> Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.</p>	<p><b>AO6</b> The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.1.3.b.</p>	N/A	N/A
<p><b>PO7</b> Development provides secure and convenient bicycle parking which: (a) for visitors is obvious and located close to the building's main entrance; (b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area,</p>	<p><b>AO7.1</b> Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);</p> <p><b>AO7.2</b> Development ensures that the location of visitor bicycle parking is</p>	N/A	N/A

Performance outcomes	Acceptable outcomes	Complies	Comments
<p>end-of-trip facilities and the main area of the building;  (c) is easily and safely accessible from outside the site.</p>	<p>discernible either by direct view or using signs from the street.  <b>AO7.3</b>  Development provides visitor bicycle parking which does not impede pedestrian movement.</p>		
<p><b>PO8</b>  Development provides walking and cycle routes through the site which:  (a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes;  (b) encourage walking and cycling;  (c) ensure pedestrian and cyclist safety.</p>	<p><b>AO8</b>  Development provides walking and cycle routes which are constructed on the carriageway or through the site to:  (a) create a walking or cycle route along the full frontage of the site;  (b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.</p>	<b>N/A</b>	<b>N/A</b>
<p><b>PO9</b>  Access, internal circulation and on-site parking for service vehicles are designed and constructed:  (a) in accordance with relevant standards;  (b) so that they do not interfere with the amenity of the surrounding area;  (c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.</p>	<p><b>AO9.1</b>  Access driveways, vehicle manoeuvring and onsite parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.  <b>AO9.2</b>  Service and loading areas are contained fully within the site.  <b>AO9.3</b>  The movement of service vehicles and service operations are designed so they:  (a) do not impede access to parking spaces;</p>	<b>N/A</b>	<b>N/A</b>

Performance outcomes	Acceptable outcomes	Complies	Comments
	(b) do not impede vehicle or pedestrian traffic movement.		
<p><b>PO10</b> Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p><b>AO10.1</b> Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses: (a) car wash; (b) child care centre; (c) educational establishment where for a school; (d) food and drink outlet, where including a drivethrough facility; (e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station.</p> <p><b>AO10.2</b> Queuing and set-down areas are designed and constructed in accordance with AS2890.1.</p>	<b>N/A</b>	<b>N/A</b>

# PORT DOUGLAS PLANT SITE & EMERGENCY PLAN



- CEMENT CONTAMINATED AREA (422m<sup>2</sup>)
- DIRTY AREA 1 (744m<sup>2</sup>)
- DIRTY AREA 2 (710m<sup>2</sup>)
- WASHOUT PIT ROOF
- UNDERGROUND STORM WATER SEWERS

CONFINED SPACES
Cement Silo
Ash Silo
Aggregate Weigh Bins
Deep Waterc Pits
Sediment Traps

EMERGENCY STOP BUTTONS
Main Switch Plant Meter Board
Main Switch Plant Distribution Board
Safety Lanyard Batch Conveyor

FIRE EXTINGUISHERS
Office
Batchroom
Compressor Sheds
Front End Loader
Trucks

MATERIAL SAFETY DATA SHEETS
Office

SPILL KITS
Office

FIRST AID KITS
Lunchroom
Batchroom

HAZARDOUS SUBSTANCE REGISTER
Site Office





10 metres

Print Date: 5/7/2018

Paper Size: A4

Imagery

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Queensland Government



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### Legend

### Attribution

#### Road Crossing

-  Bridge
-  Tunnel

#### Road

-  Highway
-  Main
-  Local
-  Private

#### Railway



#### Local government



#### Address

#### Land parcel

-  Parcel

#### Property



#### Land parcel label

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# Form 15—Compliance certificate for building design or specification

**NOTE:** This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

**RESTRICTION:** A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

## 1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

**Street address** (include no., street, suburb/locality and postcode)

22-24 Teamsters Close

Craiglie QLD

**Postcode 4877**

**Lot and plan details** (attach list if necessary)

**In which local government area is the land situated?**

## 2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

12.0m x 8.8m x 4.2m Steel Framed enclosed Gable Shed

Portal Frames

Purlins & Girts

Bracing

Foundations

## 3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS 1170.0 General Principals (2002)

AS 1170.1 Permanent & Other Actions (2002)

AS 1170.2 Wind Actions (2011)

AS 1170.4 Earthquake Loads (2007)

AS 4100 Steel Structures Code (1998)

AS 4600 Cold Formed Section Code (2005)

AS 2870 Residential Slabs and Footings (2011)

Building Code of Australia Volume 1 & 2 (as applicable)

Engineered to Comply with L-H-L Testing requirements as stated in BCA Part 3.10.1 (f)

## 4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

**Project Numbers:** 186909

**Drawing Numbers:** STSD-01 (Rev-S1), SH2009-07 (Rev C6), SH2009-08 (Rev C4), STSD250-06 (Rev-S1).

**Other Documentation:** Shed Kit Compliance Statement, Wind Load Certification,

Job Elevations, Slab Layout, Bracing Locations & Engineering Calculations.

LOCAL GOVERNMENT USE ONLY

<b>Date received</b>		<b>Reference Number/s</b>	
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<b>5. Building certifier reference number</b>	<b>Building certifier reference number</b> <input type="text"/>	
<b>6. Competent person details</b> A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.  If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.  If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	<b>Job Reference Number</b> <input type="text" value="17-J8650-C01"/> <b>Name (in full)</b> <input type="text" value="John L Towler"/> <b>Company name (if applicable)</b> <input type="text" value="Bare Engineering"/> <b>Contact person</b> <input type="text"/> <b>Phone no. (business hours)</b> <input type="text" value="(07) 5482 1146"/> <b>Mobile no.</b> <input type="text"/> <b>Fax no.</b> <input type="text"/> <b>Email address</b> <input type="text"/> <b>Postal address</b> <input type="text" value="PO Box 783, Gympie QLD"/> <input type="text" value="Postcode 4570"/> <b>Licence or registration number (if applicable)</b> <input type="text" value="N.P.E.R 131 7430 R.P.E.Q No: 4562"/>	
<b>7. Signature of competent person</b> This certificate must be signed by the individual assessed by the building certifier as competent.	<b>Signature</b> <input type="text" value="John Towler"/>	<b>Date</b> <input type="text" value="18/06/2018"/>

The *Building Act 1975* is administered by the Department of Housing and Public Works





### Mareeba Sheds

ABN: 35163700043 Phone: 07 4092 5442  
 Address: 6-8 Martin Tenni Drive Lic No: 1268102  
 Mareeba QLD 4880  
 Email: ronnie@mareebasheds.com.au  
 Web: www.mareebasheds.com.au

### Order

No: 186909  
 Date: 15/06/2018

#### Windload Certificate (AS/NZS 1170.2:2011)

ITEM	DESIGN VALUE & DETAILS
<b>Compliance Details</b>	
1	Shed Supplier Mareeba Sheds
2	Shed Engineer Bare Engineering
3	Compiled By Mareeba Sheds
<b>Building Details</b>	
4	Building Description Portal Garage/Shed
5	BCA Classification 10a
6	Length 12.00m
7	Width 8.80m
8	Eave Height 4.20m
<b>Site Details</b>	
9	Site Address 22-24 Teamsters Close Craiglie, QLD, 4877
10	Wind Region C
11	Importance Level 2
12	Annual Probability of Wind Exceedance 1:500
13	Cyclonic Factor 1.05
14	Regional Wind Speed (m/s) 69
15	Wind Direction Multiplier 0.95
16	Terrain Category 2.5
17	Terrain/Height Multiplier 0.87
18	Shielding Multiplier 0.85
19	Topographic Multiplier 1.00
20	Design Wind Speed (m/s) <b>48</b>
21	Design Wind Pressure (KPa) 1.38



**ShedTech**



## Shed Kit Compliance Statement

### Customer Details:

**Order Number:** 186909  
**Customer Name:** Hanson Concrete  
**Site Address:** 22-24 Teamsters Close  
Craiglie QLD 4877

### Building Specifications:

**Length:** 12.00m  
**Width:** 8.80m  
**Height:** 4.20m

**Building Style:** Portal Frame Shed  
**Roof Style:** Gable  
**Roof Pitch:** 15°

**Bay Count:** 3  
**Bay Sizes:** 4.00m, 4.00m, 4.00m.

**Roller-Doors:** N / A  
**P/A Doors:** N / A  
**Windows:** N / A

**Roof Cladding:** Trimdek .42 BMT  
**Roof Screws:** 14 – 10 x 50 Screw SDM  
**Wall Cladding:** Trimdek .42 BMT  
**Wall Screws:** 10 – 16 x 16 Hex

**End Portal Frame:** C20019 (Front)  
**End Portal Frame:** C25024 (Back)  
**Internal Portal Frame:** C25024  
**Knee Braces:** N / A  
**Apex Braces:** N / A

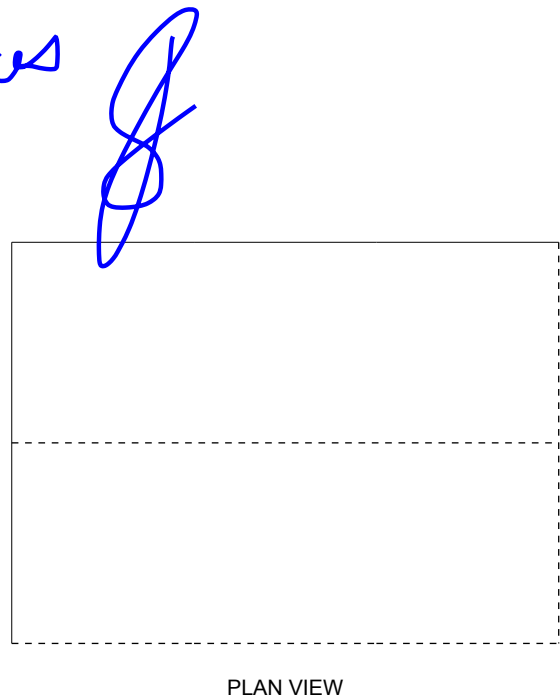
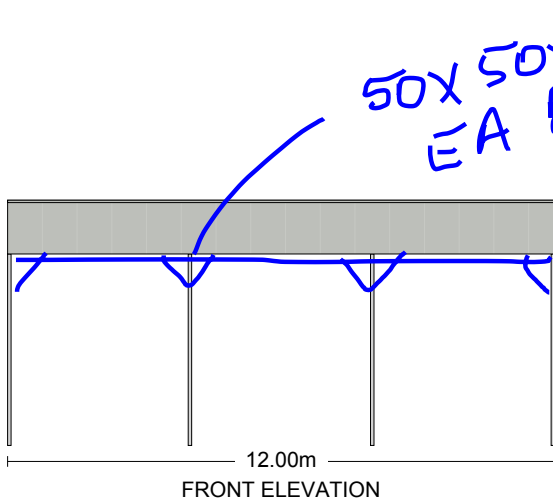
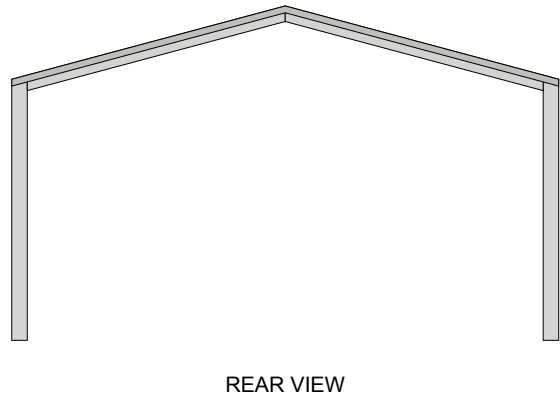
**Roof Purlin Type:** Z15012 (1 Row of Bridging)  
**Max Purlin Spacing:** 1108mm

**Wall Girt Type:** Z15012 (1 Row of Bridging)  
**Max Girt Spacing:** 1250mm

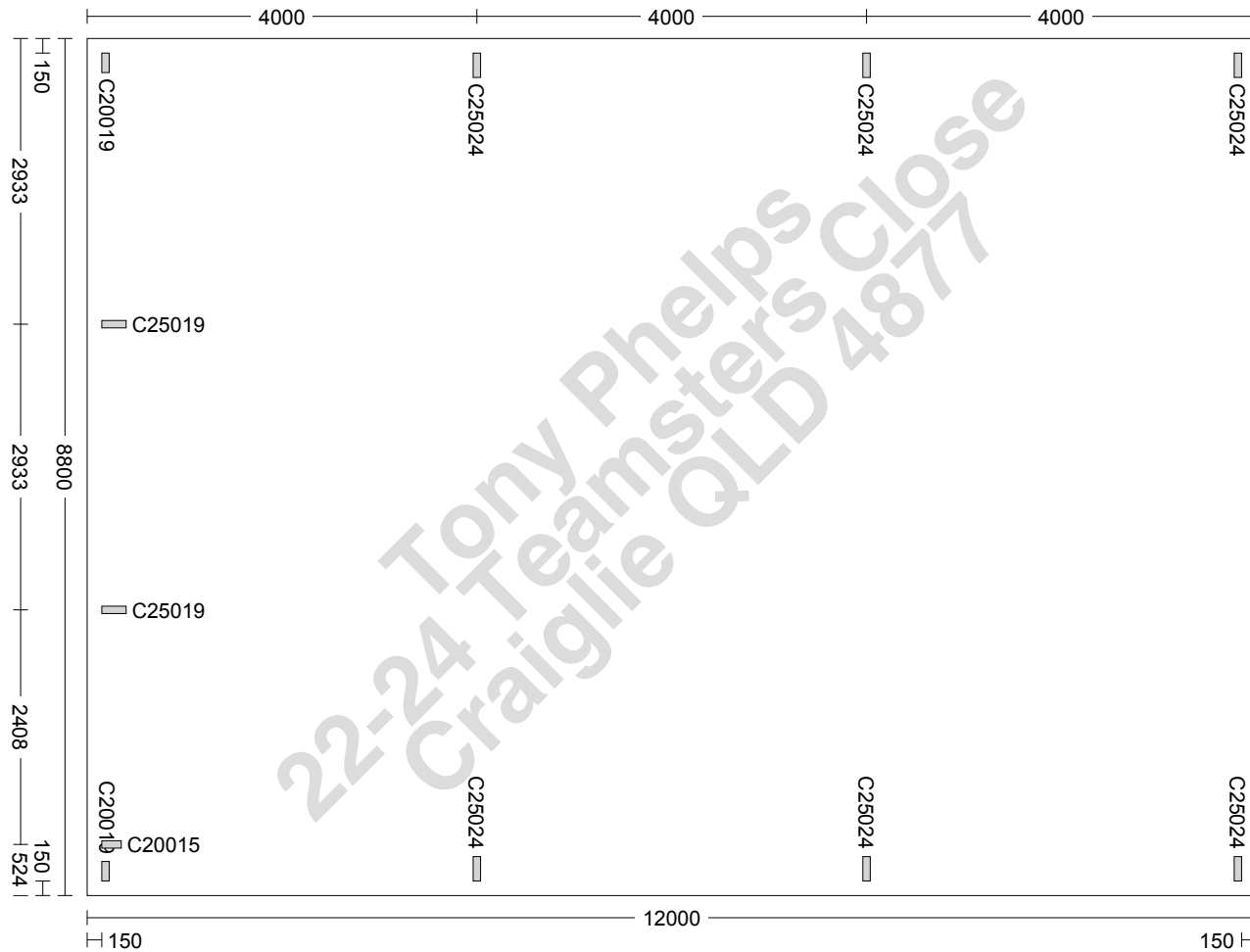
**Gutter:** Emline Gutter  
**Down Pipe:** N / A  
**Barge Cap:** Barge Capping Emline  
**Ridge Cap:** Type 120 Ridge Cap 15 deg 0.55



<b>Mareeba Sheds</b>		<b>Order</b>
ABN: 35163700043	Phone: 07 4092 5442	No: 186909
Address: 6-8 Martin Tenni Drive Mareeba QLD 4880	Lic No: 1268102	Date: 15/06/2018
Email: ronnie@mareebasheds.com.au		
Web: www.mareebasheds.com.au		



**1. Column and Mullion Locations**



5.13 / 5.14



**Site Details**

Tony Phelps  
 Hanson Concrete  
 22-24 Teamsters Close  
 Craiglie  
 QLD 4877  
 P: 0740985475  
 M: 0418968943

**Shed Sold By**

Mareeba Sheds  
 ABN: 35163700043  
 6-8 Martin Tenni Drive  
 Mareeba QLD 4880  
 P: 07 4092 5442  
 W: [www.mareebasheds.com.au](http://www.mareebasheds.com.au)  
 E: [ronnie@mareebasheds.com.au](mailto:ronnie@mareebasheds.com.au)

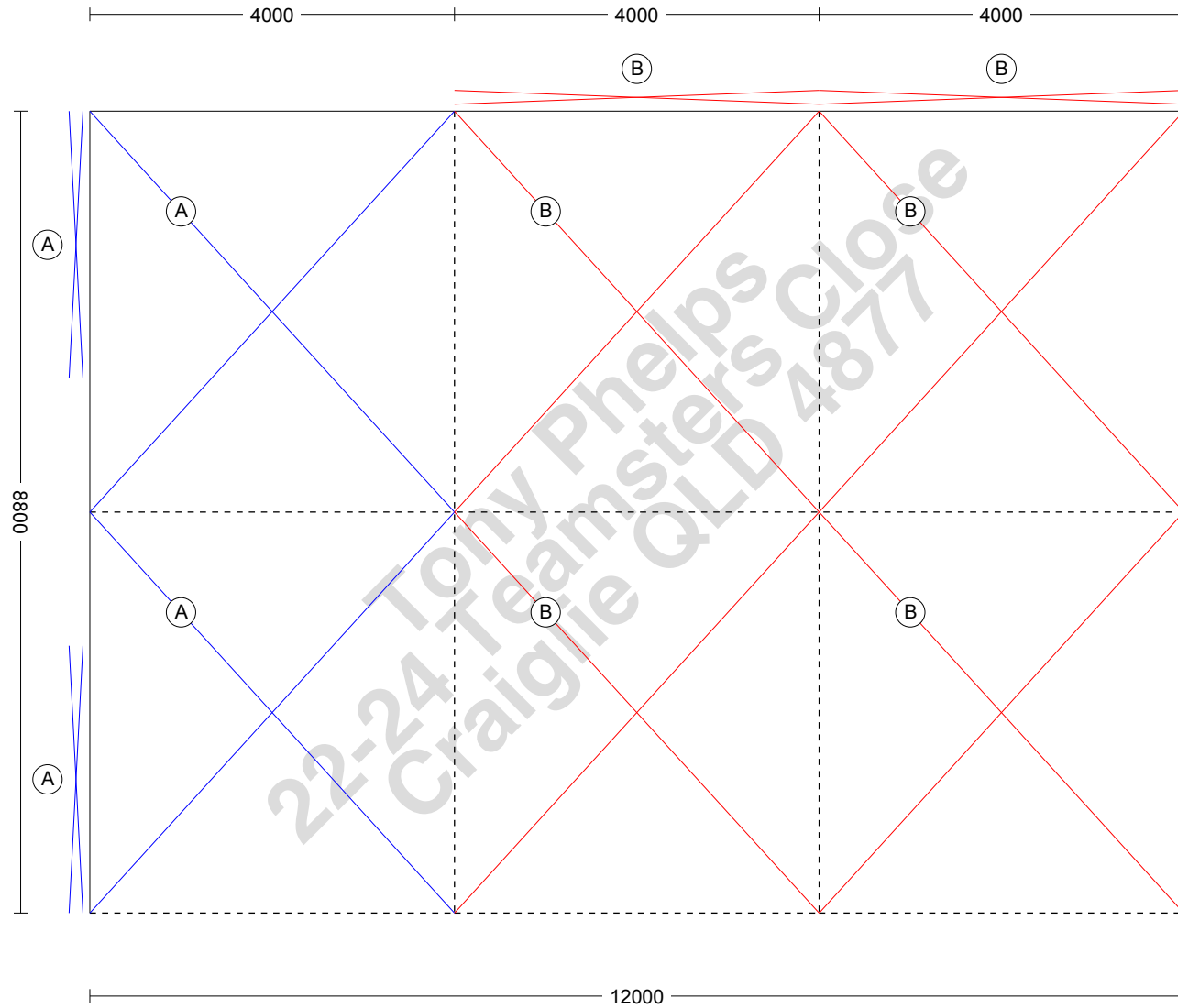
**Specifics**

Shed Order Number: 186909  
 Shed Type: Portal Shed

1. This drawing is not to scale (NTS) and all dimensions are in millimetres unless noted.
2. This drawing should be used in conjunction with the relevant engineering diagrams and hold down brackets specified in the order.



**1. Bracing Locations**



NB. Side wall and gable end bracing may be moved to other bays of the same size than those displayed here.

5.13 / 5.14



**Site Details**

Tony Phelps  
 Hanson Concrete  
 22-24 Teamsters Close  
 Craigie  
 QLD 4877  
 P: 0740985475  
 M: 0418968943

**Shed Sold By**

Mareeba Sheds  
 ABN: 35163700043  
 6-8 Martin Tenni Drive  
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 P: 07 4092 5442  
 W: [www.mareebasheds.com.au](http://www.mareebasheds.com.au)  
 E: [ronnie@mareebasheds.com.au](mailto:ronnie@mareebasheds.com.au)

**Bracing Specifics**

Shed Order Number: 186909  
 — (A) 30mm x 1.0m Strap (Minimum)  
 — (B) 12mm Rod  
 — (C) 16mm Rod  
 — (D) 20mm Rod

Shed Specifics		
[1] Span	8.80 m	Open-Sided
[2] Length	12.00 m	
[3] Eave Height	4.20 m	
[4] Largest Bay Size	4.00 m	
[5] Roof Pitch	15.0°	
[6] Number of Bays	3	
[7] Wind Region	C	
[8] Design Wind Speed	48 m/s	
[9] Design Wind Pressure $q_u$	1.38 kPa	$0.6 * [8] * [8] / 1000$
[10] Cpi	0.7	
[43] Ground Snow Load $s_g$	0.00 kPa	

Uplift Reactions		
[11] Bending	22.118	
[12] Shear	6.267	
[13] Axial	25.805	

Compression Reactions		
[14] Bending	15.612	
[15] Shear	3.717	
[16] Axial	17.488	

Section Calculations		
[17] C-Section	C25024	
[18] Knee Brace	No	
[19] Apex Brace	No	
[20] Design Method	3D	
[21] Rafter Weight	8.16	kg/m
[22] Purlin Weight	2.89	kg/m
[23] Sheeting Weight	4.40	kg/m <sup>2</sup>
[24] Collateral Load	0.00	kg/m <sup>2</sup>
[25] Total Deads	0.36	kPa [21] + [22] + [23] + [24] + [43]
[26] $M_{xb}$	24.024	From Section Properties
[27] $V_v$	54.760	From Section Properties
[28] $N_t$	265.0	From Section Properties
[29] $N_c$	172.0	From Section Properties
[30] Uplift Bending Stress	92.068 %	[11] / [26]
[31] Uplift Shear Stress	11.444 %	[12] / [27]
[32] Uplift Axial Stress	9.738 %	[13] / [28]
[33] Compression Bending Stress	64.984 %	[14] / [26]
[34] Compression Shear Stress	6.788 %	[15] / [27]
[35] Compression Axial Stress	10.168 %	[16] / [29]
[36] Uplift Bending, Shear & Axial	93.286 %	$([30]^2 + [31]^2 + [32]^2)^{0.5}$
[37] Uplift Bending & Axial	101.805 %	[30] + [32]
[38] Comp, Bending, Shear & Axial	66.124 %	$([33]^2 + [34]^2 + [35]^2)^{0.5}$
[39] Compression Bending & Axial	75.152 %	[33] + [35]
[40] Nett Utilisation Ratio	101.805 %	Maximum of [36], [37], [38], [39]
[41] Dead Load Deflection	3.7 mm	
[42] Live Load Deflection	10.2 mm	

5.13 / 5.14



#### Site Details

Tony Phelps  
Hanson Concrete  
22-24 Teamsters Close  
Craiglie  
QLD 4877  
P: 0740985475  
M: 0418968943

#### Shed Sold By

Mareeba Sheds  
ABN: 35163700043  
6-8 Martin Tenni Drive  
Mareeba QLD 4880  
P: 07 4092 5442  
W: www.mareebasheds.com.au  
E: ronnie@mareebasheds.com.au

#### Specifics

Shed Order Number: 186909  
Shed Type: Portal Shed  
Portal Frame Calculations

Shed Specifics		
[1] Span	8.80 m	Open Sided
[2] Height	4.20 m	
[3] Bay Size	4.00 m	
[4] Roof Pitch	15.0°	
[5] Design Wind Pressure $q_u$	1.38 kPa	Site Design Wind Speed = 48 m/s
[6] Wind Region	C	

Purlin Specifics		
[7] Purlin Section	Z15012	1 Row of Bridging
[8] Lap Option	15%	
[9] Purlin Spacing	1108 mm	
[10] C <sub>pi</sub>	0.70	
[11] C <sub>pe</sub> Normal	0.90	
[12] Cross Wind C <sub>pe</sub>	0.73	
[13] Long Wind C <sub>pe</sub>	0.90	
[14] High Pressure Zone Dimension "a"	1.76 m	Minimum of 0.2 * [1], [2]
[15] d <sub>1</sub>	142 mm	Depth of Web between bend radii
[16] t <sub>w</sub>	1.20 mm	Thickness of web
[17] f <sub>y</sub>	500 MPa	Steel Yield Stress
[18] E	200000	Steel Elasticity (MPa)
[19] k <sub>v</sub>	5.84	Plate coefficient
[20] Double-Lapped	True	

Calculations		
[21] Nett Utilisation Ratio	97.62 %	
[22] $M^*/\phi_b M_s$	88.1 %	ABS([24] / [25])
[23] $V^*/\phi_v V_v$	0.7 %	ABS([26] / [27])
[24] M <sub>x</sub> Total	-4.383 KNm	Load Plotting for [26] + [41]
[25] Max Bending Capacity $\phi M_{bx}$	4.491 KNm	0.9 * [30]
[26] V <sub>z</sub> Normal	0.083 KN	Load Plotting for (V2 - V1) / [3]
[27] Max Shear Capacity $\phi V_v$	11.577 KN	0.9 * Minimum of [28], [29]
[28] V <sub>v</sub> Web Yield	22.271 KN	$0.64 * [16]^2 * ([18] * [19] * [17])^{0.5}$
[29] V <sub>v</sub> Shear Buckling Capacity	12.863 KN	$0.905 * [18] * [19] * [16]^3 / [15]$
[30] M <sub>b</sub>	4.990 KNm	Minimum of [31], [32], [33]
[31] M <sub>bd</sub> Distortional Buckling	4.990 KNm	If [34] < 0.673 Then [35] Else [36]
[32] M <sub>bl</sub> Local Buckling	5.241 KNm	If [38] < 0.776 Then [35] Else [39]
[33] M <sub>be</sub> Fully Restrained	6.779 KNm	[35] - Assume M <sub>0</sub> is large
[34] $\lambda_d$	1.361	$([35] / [37])^{0.5}$
[35] M <sub>y</sub>	8.100 KNm	AS4600 Calcs for Bending
[36] $\lambda_d > 0.673$	4.990 KNm	$(1 - 0.22 * ([37] / [36])^{0.5}) * ([37] / [35])^{0.5} * [35]$
[37] M <sub>od</sub> (CUFSM)	4.374 KNm	[35] * Distortional Buckling Moment
[38] $\lambda_{bl}$	1.153	$([33] / [40])^{0.5}$
[39] $\lambda_{bl} > 0.776$	5.241 KNm	$(1 - 0.15 * ([40] / [33])^{0.4}) * ([40] / [33])^{0.4} * [33]$
[40] M <sub>ol</sub> (CUFSM)	5.103 KNm	[35] * Local Buckling Moment
[41] V <sub>z</sub> High (Load Plotting)	-0.127 KN	Minimum of KL=1.5 and KL=2.0 for V <sub>a</sub> , V <sub>b</sub> , V <sub>c</sub> Unit Shear Loads
[42] Tie Down Required	12.754 KN	

5.13 / 5.14



#### Site Details

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Hanson Concrete  
22-24 Teamsters Close  
Craiglie  
QLD 4877  
P: 0740985475  
M: 0418968943

#### Shed Sold By

Mareeba Sheds  
ABN: 35163700043  
6-8 Martin Tenni Drive  
Mareeba QLD 4880  
P: 07 4092 5442  
W: www.mareebasheds.com.au  
E: ronnie@mareebasheds.com.au

#### Specifics

Shed Order Number: 186909  
Shed Type: Portal Shed  
Purlin Spacing Calculations

Shed Specifics		
[1] Span	8.80 m	Open Sided
[2] Height	4.20 m	
[3] Bay Size	4.00 m	
[4] Roof Pitch	15.0°	
[5] Design Wind Pressure $q_u$	1.38 kPa	Site Design Wind Speed = 48 m/s
[6] Wind Region	C	

Girt Specifics		
[7] Girt Section	Z15012	1 Row of Bridging
[8] Lap Option	15%	
[9] Girt Spacing	1250 mm	
[10] Windward Wall Cpe	0.70	
[11] Side Wall Cpe	-0.65	
[12] Windward Wall Cpi	-0.65	
[13] Side Wall Cpi	0.70	
[14] High Pressure Zone Dimension "a"	1.76 m	Minimum of 0.2 * [1], [2]
[15] $d_1$	142 mm	Depth of Web between bend radii
[16] $t_w$	1.20 mm	Thickness of web
[17] $f_y$	500 MPa	Steel Yield Stress
[18] E	200000	Steel Elasticity (MPa)
[19] $k_v$	5.84	Plate coefficient
[20] Double-Lapped	True	

Calculations		
[21] Nett Utilisation Ratio	83.89 %	
[22] $M^*/\phi_b M_s$	67.1 %	ABS([24] / [25])
[23] $V^*/\phi_v V_v$	0.0 %	ABS([26] / [27])
[24] $M_x$ Total	-3.767 KNm	Load Plotting for [26] + [41]
[25] Max Bending Capacity $\phi M_{bx}$	4.491 KNm	0.9 * [30]
[26] Vz Normal	0.000 KN	Load Plotting for (V2 - V1) / [3]
[27] Max Shear Capacity $\phi V_v$	11.577 KN	0.9 * Minimum of [28], [29]
[28] $V_v$ Web Yield	22.271 KN	$0.64 * [16]^2 * ([18] * [19] * [17])^{0.5}$
[29] $V_v$ Shear Buckling Capacity	12.863 KN	$0.905 * [18] * [19] * [16]^3 / [15]$
[30] $M_b$	4.990 KNm	Minimum of [31], [32], [33]
[31] $M_{bd}$ Distortional Buckling	4.990 KNm	If [34] < 0.673 Then [35] Else [36]
[32] $M_{bl}$ Local Buckling	5.241 KNm	If [38] < 0.776 Then [35] Else [39]
[33] $M_{be}$ Fully Restrained	6.779 KNm	[35] - Assume $M_o$ is large
[34] $\lambda_d$	1.361	$([35] / [37])^{0.5}$
[35] $M_y$	8.100 KNm	AS4600 Calcs for Bending
[36] $\lambda_d > 0.673$	4.990 KNm	$(1 - 0.22 * ([37] / [36])^{0.5}) * ([37] / [35])^{0.5} * [35]$
[37] $M_{od}$ (CUFSM)	4.374 KNm	[35] * Distortional Buckling Moment
[38] $\lambda_{bl}$	1.153	$([33] / [40])^{0.5}$
[39] $\lambda_{bl} > 0.776$	5.241 KNm	$(1 - 0.15 * ([40] / [33])^{0.4}) * ([40] / [33])^{0.4} * [33]$
[40] $M_{ol}$ (CUFSM)	5.103 KNm	[35] * Local Buckling Moment
[41] Vz High (Load Plotting)	-0.051 KN	Minimum of KL=1.5 and KL=2.0 for Va, Vb, Vc Unit Shear Loads
[42] Tie Down Required	12.394 KN	

5.13 / 5.14



#### Site Details

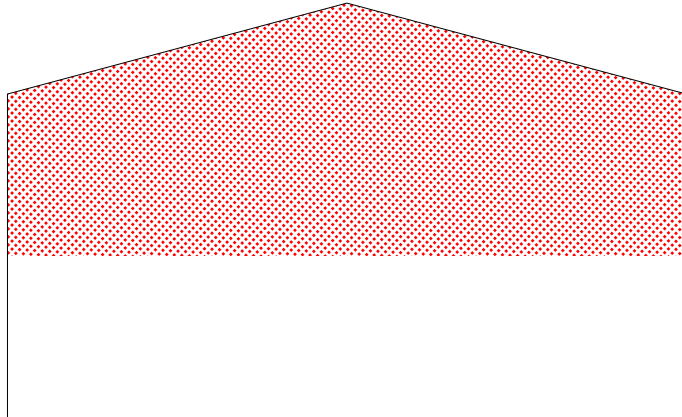
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#### Specifics

Shed Order Number: 186909  
Shed Type: Portal Shed  
Girt Spacing Calculations



<b>Width</b>	<b>8.80m</b>	<b>Roof Sheet</b>	<b>Trimdek</b>
<b>Length</b>	<b>12.00m</b>	<b>Wall Sheet</b>	<b>Trimdek</b>
<b>Height</b>	<b>4.20m</b>	<b>Wind Speed</b>	<b>48 m/s</b>
<b>Roof Pitch</b>	<b>15.0°</b>		

## Bracing Calculations

Effective End Wall Area	23.67 m <sup>2</sup>	
qu	1.38 KPa	0.6 x 48 x 48 / 1000
Leeward Wall Cpe	0.3	0.3 or 0.2 where length > 4 x width
Windward Wall Cpe	0.7	AS1170.2 Table 5.2(A) for z = h
Cpt	1.0	Leeward wall Cpe + Windward wall Cpe
Force on End Wall	32.72 KN	End wall area x qu x Cpt ^ Cpt for exposed columns: 1.2
Roof Sheeting Drag Coefficient	0.04	0.02 for Low-Rib or 0.04 for High-Rib
Wall Sheeting Drag Coefficient	0.04	0.02 for Low-Rib or 0.04 for High-Rib
Drag on Roof	0.00 KN	(Width / cos(pitch)) x (length - 4 x height) x qu x roof sheet drag coefficient OR = 0 where length < 4 x height
Drag on Walls	0.00 KN	Height x (length - 4 x height) x qu x wall sheet drag coefficient OR = 0 where length < 4 x height
<b>Total Bracing Requirement</b>	<b><u>32.72 KN</u></b>	Force on end wall + drag on roof + drag on walls

5.13 / 5.14



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### Specifics

Shed Order Number: 186909  
Shed Type: Portal Shed  
Portal Shed Bracing Requirements