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 Our Ref:
 15-23\L000561

 Date:
 5 August 2016

Chief Executive Officer Douglas Shire Council PO Box 723 MOSSMAN QLD 4873

Via: Smart eDA

Dear Madam,

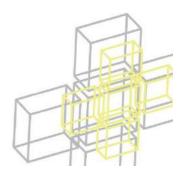
RE: APPLICATION FOR A DEVELOPMENT PERMIT FOR BUILDING WORKS OTHER THAN MINOR BUILDING WORKS NOT ASSOCIATED WITH A MATERIAL CHANGE OF USE OVER LAND LOCATED AT 63 STONEWOOD ROAD, DIWAN, MORE PARTICULARLY DESCRIBED AS LOT 196 ON RP740952

Planning Plus Pty Ltd has been engaged by Dr Russell Joshua ('The Applicant') to prepare and lodge the abovementioned development application.

In support of the application, please find **attached**:

- Completed IDAS Forms 1 and 6 (Annexure A); and
- Payment for the relevant application fee in accordance with Council's 2016/2017 Schedule of Fees & Charges.

In addition to the above, the following submission has been prepared to assist Council and other relevant authorities with their assessment of the application.



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town planning, project management & development consultants

## **1.0.** Site Information

## 1.1. Site Details

The land that is subject of this application is situated at 63 Stonewood Road, Smithfield, formally described as Lot 196 on RP740952, with a total site area of 1.011 hectares. The majority of the site is heavily vegetated with the existing dwelling located toward the front of the lot. A Google Aerial Overlay of the site is included for reference as **Figure 1**.

Since purchasing the property approximately 1.5 years ago, the Applicant has invested in excess of \$25,000 to remove exotic plants found on the site. Since removed, the Applicant has planted trees and understorey plants which are native to the Daintree and in most cases with seed sourced from the immediate area in an attempt to conserve the native values of the area.

We understand that the subject land is connected or is capable of being connected to the following infrastructure systems to enable the development to proceed:

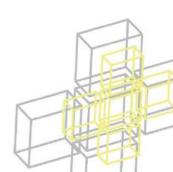
- Reticulated electricity;
- Telecommunications; and
- Local Road Network.

There are no easements or encumbrances over the land.

## **1.2.** Site Characteristics

Key site characteristics include:

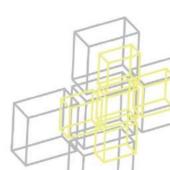
Landowner:	Russell Scott Joshua.
	Refer to Title Search included for reference at
	Annexure B.
Topography:	Generally flat.
Vegetation:	Category B (remnant vegetation) – containing of concern
	and of least concern regional ecosystems.
	Pofer to Vegetation Management Manning included for
	Refer to Vegetation Management Mapping included for
	reference at <b>Annexure C</b> .
Wetlands:	None.
Conservation:	None.
Waterways:	None.
Road frontages and length:	Approximately 17m along Stonewood Road.
Existing use of site:	Dwelling House.



## 1.3. Planning Context

The planning context of the site includes:

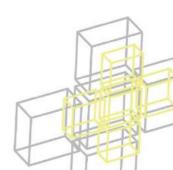
Regional Plan designation:	Regional Landscape and Rural Production Area.		
Planning Scheme Locality:	Settlement Areas North of the Daintree River Locality.		
Precinct:	Central Management Area.		
	Rainforest Conservation Precinct.		
Planning Area:	Conservation.		
Planning Scheme Overlays:	Acid Sulfate Soils Overlay.		



## 2.0. Application Details

## 2.1. General Description

Aspects of Development Sought:	Development Permit for Building Works other than Minor Building Works not associated with a Material Change of Use.		
Applicant:	Dr Russell Joshua		
	C/- Planning Plus		
	PO Box 8046		
	CAIRNS Q 4870		
Contact:	Mr Evan Yelavich		
	Planning Plus		
	PO Box 8046		
	CAIRNS QLD 4870		
	Ph: 07-40 283 653		
	E: info@planningplusqld.com.au		



## 3.0. Proposal

## 3.1. Proposal Detail

The Applicant is seeking a Development Permit for Building Works other than Minor Building Works not associated with a Material Change of Use over the site. The proposal requires this particular application to be lodged with Council due to the extent of works being over  $25m^2$  or 10% of the Gross Floor Area of the existing Building as per the definition for 'Minor Building Works' under the Douglas Shire Council Planning Scheme.

The Applicant is seeking to construct a two (2) car/one (1) boat carport and mezzanine deck, being an extension of the existing dwelling on the site. A new deck is also proposed at the front of the dwelling, and new eves proposed on part of the dwelling. Proposal plans are included for reference as **Figure 2**. The plans include details of the demolition works required as part of the development.

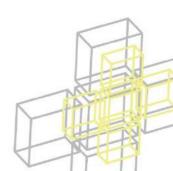
The proposed extension includes a roof and concrete slab, and will not be enclosed. The structure will include a mezzanine deck on the roof of the structure which will connect to the existing dwelling.

The proposed works will not require any substantial earthworks or tree removal, and will be located in an existing cleared area (existing house pad) in the appropriate location which exists from the initial build of the dwelling. A photograph package of the site where the proposed extension is to be located is included for reference as **Figure 3**. The photographs show the existing undeveloped building pad both when the Applicant purchased the property, as well as photographs which were taken approximately two (2) weeks ago. All photographs show the existing undeveloped pad as cleared, or with minimal vegetation in the form of weeds.

It is noted that all proposed works are significantly below the canopy line, reducing visual amenity impacts on the site.

The adjoining landowners and a neighbouring property have expressed their support for the proposal as the works will provide an increase in privacy for the subject site and adjacent sites, and will improve amenity in this regard. Written confirmation from both adjoining land owners and the neighbouring landowner is provided, and is included for reference as **Annexure D**.

A Pre-lodgement Enquiry was lodged with Council on 14 January 2016 seeking support for the proposed development. A Pre-lodgement Response was issued on 19 February 2016 (Council Ref: 767775) which detailed Council's 'in principal' support for the proposed development. A copy of the Pre-lodgement Response is included for reference as **Annexure E**.



## 4.0. Legislative Requirements

## 4.1. Sustainable Planning Act 2009 (SPA)

This section provides an overview of the legislative context of the application under the provisions of the *Sustainable Planning Act 2009*.

## 4.1.1. Assessable Development

The proposed development is identified as 'assessable' under the *Sustainable Planning Act 2009* due to the effect of the Douglas Shire Planning Scheme 2006 (Douglas Shire Planning Scheme).

## 4.1.2. Assessment Manager

The Assessment Manager for this development application is Douglas Shire Council as determined by Schedule 6 of the *Sustainable Planning Regulation 2009*.

## 4.1.3. Level of Assessment

The Level of Assessment of the proposal is outlined in the below table.

Planning Scheme Planning Area	Aspect of Development	Level of Assessment
Conservation Planning	Building Works other than Minor Building	
Area (Rainforest	Works not associated with a Material	Code Assessable
Conservation Precinct)	Change of Use	

## 4.1.4. Referral Agencies

A review of Schedule 7 of the *Sustainable Planning Regulation 2009* indicates that no State Agency referrals are triggered by the proposed development.

## 4.1.5. Public Notification

This application does not require public notification as it is subject to 'code assessment'.

## 4.2. Statutory Planning Assessment

This section assesses the application against all relevant statutory planning provisions.

## 4.2.1. State Planning Regulatory Provisions

No State Planning Regulatory Provisions are relevant to this application.

## 4.2.2. State Planning Policy

The State Planning Policy is relevant to the assessment of this application where a state interest is not appropriately reflected in the Planning Scheme relevant to the site. 'Part E: Interim

development assessment requirements' outlines the state interests and associated assessment requirements which are to be considered in relation to certain development applications. An assessment of the subject application against Part E is provided in the following.

Liveable Communities	Not applicable.				
Mining and Extractive Resources	Not applicable.				
Biodiversity	Applicable.				
	<ul> <li>The subject site includes:</li> <li>MSES – Protected Area;</li> <li>MSES – Wildlife habitat;</li> <li>MSES – Regulated Vegetation;</li> <li>MSES - Regulated Vegetation (intersecting a watercourse).</li> <li>MSES – High ecological value waters (watercourse).</li> </ul>				
	The proposal is not considered to compromise the biodiversity values of the subject site as the development is proposed on an existing building pad which is outside of the areas mapped to be Matters of State Environmental Significance (MSES).				
Coastal Environment	Not applicable.				
Water Quality	Not applicable.				
<b>Emissions and Hazardous Activities</b>	Not applicable.				
Natural Hazards	Not applicable.				
State Transport Infrastructure	Not applicable.				
Strategic Airports and Aviation Facilities	Not applicable.				

### 4.2.3. Regional Plan

The Far North Queensland Regional Plan 2009-2031 identifies the subject site as being within the 'Regional Landscape and Rural Production Area'. The proposal is considered to be consistent with the intent of this land and with the broader objectives of the plan which seek to protect these areas from encroachment by inappropriate development.

## 4.2.4. State Development Assessment Provisions (SDAP)

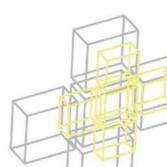
No State Development Assessment Provisions are identified as being applicable to the proposal.

## 4.2.5. Douglas Shire Council Planning Scheme 2006 (Douglas Shire Planning Scheme)

Under the Douglas Shire Planning Scheme, the subject site is included within the Conservation Planning Area. Within this zone, the proposed development is identified as being 'code-assessable' development.

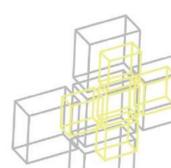
## 4.2.5.1. Applicable Codes

The following codes are considered to be relevant to this development:



- Settlement Areas North of the Daintree River Locality Code;
- Conservation Planning Area Code; and
- Acid Sulfate Soils Overlay Code.

A detailed assessment against the Douglas Shire Planning Scheme codes is included as **Annexure F** to this report. The proposal is considered generally compliant with the relevant 'Acceptable Outcome' and/or 'Performance Outcome' of the relevant codes. Where strict compliance with the 'Acceptable Solutions' is not achieved, comments addressing the relevant 'Performance Criteria' have been provided in the code tables.



## 5.0. Conclusions and Recommendations

This submission supports an application by Dr Russell Joshua ('The Applicant') for a Development Permit for Building Works other than Minor Building Works not associated with a Material Change of Use on land located at 63 Stonewood Road, Diwan, formally described as Lot 196 on RP740952.

The submission has included an assessment of the proposal against the relevant statutory planning controls at both the local and state level and included supporting information intended to address the likely concerns of Council and assessing authorities.

In summary, we submit that the proposed development is unlikely to have any significant impacts on the infrastructure, environment or community of the surrounding area that cannot be adequately controlled through the use of reasonable and relevant conditions.

We trust this information is sufficient for your purposes; however should you require any further details or clarification, please do not hesitate to contact the undersigned.

**Yours Faithfully** 

Claire Simmons Planner Planning Plus Pty Ltd

enc:	Figure 1: Figure 2:	Google Earth Globe Image Proposal Plans – Chris Vandyke Desings
	Figure 3:	Photograph Package
	Annexure A:	IDAS Forms
	Annexure B:	Title Search
	Annexure C:	Vegetation Management Mapping
	Annexure D:	Adjoining Land Owner Letters
Annexure E: Pre-lodgement Response dated 19 February 201		Pre-lodgement Response dated 19 February 2016
	Annexure F:	Code Assessment – Douglas Shire Planning Scheme 2006

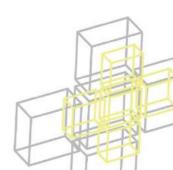
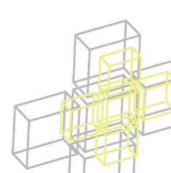


Figure 1 Google Globe Aerial Image

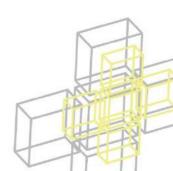


Lot 196 on RP740952

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# Google earth

Figure 2 Proposal Plans - Chris Vandyke Designs



## JOSHUA RESIDE F $\mathbb{N}$

## **STONEWOOD ROAD, DIWAN**

#### **GENERAL NOTES**

#### - DO NOT SCALE FROM THIS DRAWING

- FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALED WORK. - ANY DISCREPANCIES WHICH THE CONTRACTOR MAY FIND IN THIS DRAWING MUST BE BROUGHT TO THE ATTENTION OF CHRIS VANDYKE DESIGNS PRIOR TO COMMENCEMENT OF WORK. - ALL BUILDERS WORK TO BE CARRIED OUT WITHIN SITE BOUNDARY. THIS NOTE TO TAKE PRECEDENCE OVER ANY OTHER DOCUMENTATION. - SMOKE DETECTORS TO BE WIRED INTO ELECTRICITY MAINS AND TO CONFORM WITH AS 3878. - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REGULATIONS. - FOOTINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH ASSOCIATED SOIL TESTS AND/OR ENGINEERS SPECIFICATIONS. - DRAWINGS TO BE READ IN CONJUNCTION WITH ATTACHED ENGINEERS NOTES. - ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH ALL RELEVANT S.A.A. CODES. - RL'S SHOWN ARE ARBITRARY STRUCTURAL LEVELS UNO.

- UNDER NO CIRCUMSTANCES ARE ANY SPECIFIED ITEMS TO BE SUBSTITUTED WITHOUT THE CONSENT & APPROVAL OFCHRIS VANDYKE DESIGNS AND / OR THE RELEVANT CONSULTANTS. - ANY SUBSTITUTED ITEMS FOUND WITHOUT CONSENT WILL NOT BE ACCEPTED OR APPROVED.

#### WATERPROOFING

- ANY EXPOSED STRUCTURAL TIMBER WHICH HAS ANY AREA IN CONTACT WITH ANOTHER MATERIAL AND WHICH WILL BE INACCESSIBLE AFTER FIXING IS TO BE GIVEN A COAT OF PRIMER BEFORE FIXING. - ALL WET AREA CONSTRUCTION, WATERPROOFING AND SEALING TO BE IN ACCORDANCE WITH PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA

#### SITE NOTES

08 - JUL -16

- EARTHWORKS TO BE IN ACCORDANCE WITH AS 2870. - ALL WATER TO BE DRAINED AWAY FROM BUILDINGS DURING AND AFTER CONSTRUCTION. - FINISHED SLAB LEVELS TO BE MIN 250mm ABOVE FINISHED GROUND LEVEL UNO - ALL LEVELS TO BE CONFIRMED ON SITE.

- TERMITE TREATMENT PROTECTION WILL BE CARRIED OUT AS "WHOLE HOUSE" PROTECTION AND BE A COMBINATION OF TERMITE RESISTANT MATERIALS TOGETHER WITH THE INSTALLATION OF A PHYSICAL OR CHEMICAL BARRIER AS PER AS 3660.1

A) GROUND FLOOR SLAB AS BARRIER AND EXPOSED EDGE OF SLAB AS VISUAL **BARRIER &** 

B) TERMI-MESH OR SIMILAR APPROVED COLLARS TO SLAB PENETRATIONS & C) TERMITE RESISTANCE (HAZARD LEVEL H2 ) TIMBER FRAMING & FINISHING TIMBERS ( ARCHITRAVES, SKIRTING, TRIMS ETC ) GENERALLY.

- BUILDER TO PROVIDE ACCESS FOR CLEAR VISUAL INSPECTIONS TO THE ENTIRE PERIMETER OF THE BUILDING AND THE EXPOSED EDGE OF ALL CONCRETE SLABS

- A DURABLE NOTICE SHOWING FULL DETAILS OF TERMITE TREATMENT USED AND THE DATE PROVIDED TO BE POSTED INSIDE THE METER BOX OR SIMILAR APPROVED LOCATION.

- OWNER TO MAINTAIN ACCESS FOR CLEAR VISUAL INSPECTIONS AND MAKE PERIODIC INSPECTIONS.

#### **ROOF FRAMING NOTES**

ROOF BRACING

- METAL STRAP BRACING TO TRUSS MANUFACTURER'S DESIGN. **ROOF SHEET & BATTEN FIXINGS** 

- LYSAGHT SHEETING OVER TH40 BATTENS

- ALL ROOF SHEETING AND BATTEN FIXINGS ARE TO BE IN ACCORDANCE WITH

THE MANUFACTURERS SPECIFICATION FOR THE REQUIRED WIND SPEED.

- THE FIXING SYSTEMS FOR THE WHOLE METAL ROOF ASSEMBLY SUPPLIED

BY THE MANUFACTURER, ARE TO BE COMPLIANT WITH THE LOW-HIGH-LOW

CYCLIC TESTING REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA

(SPECIFICATION B1.2 VOLUME 1 FOR CLASS 2 TO 9 BUILDINGS) OR (SECTION

3.10.1 VOLUME 2 FOR CLASS 1 & 10 BUILDINGS).

- A 'COMPLIANCE CERTIFICATE' SHALL BE REQUESTED FROM THE 'MANUFACTURER' & THE 'INSTALLER'

#### ROOF FIXING

#### GENERAL :

- LAPS, FLASHINGS AND GENERAL INSTALLATION IN ACCORDANCE WITH THE

MANUFACTURER'S SPECIFICATION.

#### STEELWORK

- GENERALLY IN ACCORDANCE WITH AS 4100, AS 1554.1 AND AS 1538

- UNLESS NOTED OTHERWISE, THE FOLLOWING MATERIALS SHALL BE USED

A) HOT ROLLED SECTIONS GRADE C300 PLUS TO AS 3679.1. B) STEEL HOLLOW SECTIONS GRADE C350 TO AS 1163. C) COLD FORMED STEEL SECTIONS GRADE 450 TO AS 1397 D) BOLTS GRADE 4.6/S TO AS 1111 GENERALLY AND GRADE 8.8/S TO AS 1252.

E) GALVANIZED BOLTS TO AS 1214.

F) WELDING TO COMPLY WITH AS 1554.1

- UNLESS NOTED OTHERWISE USE:

A) 10mm THICK CLEATS, GUSSETS, FINS AND END PLATES. B) ALL BOLTS TO BE GALVANIZED TO AS 1214

C) 6mm CONTINUOUS FILLET WELDS TO AS 1554.1

#### WALL FINISHES :

#### EXTERNAL

- WEATHERBOARD TO MATCH EXISTING.

#### INTERNAL

- 10mm THICK PB TO BOTH SIDES GENERALLY. - 6mm THICK VILLABOARD TO WET AREAS. - PAINT FINISH / TILES AS PER SPECIFICATION.

	DRAWING SCHEDULE		PROPOSED LOWER LEVEL FLOOR PLAN
SHEET	SHEET TITLE		PROPOSED FLOOR PLAN
01	GENERAL NOTES	08	PROPOSED ELEVATIONS NORTH & SOUTH
02	SITE PLAN	09	PROPOSED ELEVATIONS EAST & WEST
03	EXISTING FLOOR PLAN	10	PROPOSED FOOTING & SLAB PLAN
04	EXISTING ELEVATIONS NORTH & SOUTH	11	PROPOSED FLOOR FRAMING PLAN
05	EXISTING ELEVATIONS EAST & WEST	12	PROPOSED ROOF FRAMING PLAN
ISO A3	DESIGNER DRAWN PROJECT		

#### CONCRETE

- CONCRETE GENERALLY IN ACCORDANCE WITH AS 3600								
- CONCRETE SPECIFICATION UNLESS NOTED OTHERWISE:								
ELEMENT	CLASS & GRADE	MAX. AGG.	MAX, SLUMP					
GROUND SLA	B N25	20mm	80mm					
FOOTINGS	N20	20mm	80mm					
CORE FILL	S20	10mm	230mm					

#### REINFORCEMENT NOTATION:

'N' DENOTES GRADE D500N HOT ROLLED REBAR TO AS4671. 'S' DENOTES GRADE D250N HOT ROLLED REBAR TO AS4671. 'R' DENOTED GRADE R500L COLD DRAWN ROUND WIRE TO AS4671. 'W' DENOTES GRADE R500L COLD DRAWN ROUND WIRE TO AS4671. 'DW' DENOTES GRADE D500L COLD DRAWN RIBBED WIRE TO AS4671. 'RL', 'SL', 'L TM' DENOTES FRAYED D500 DEFORMED WIRE MESHES TO AS4671.

- ADDITIVES SHALL NOT BE USED WITHOUT THE SUPERINTENDENT'S APPROVAL. - MECHANICALLY VIBRATE CONCRETE IN THE FORM TO GIVE MAXIMUM COMPACTION WITHOUT SEGREGATION OF THE CONCRETE. - CURE CONCRETE AS REQUIRED BY SECTION 19 OF AS3600 - CONCRETE SIZES SHOWN ARE MINIMUM AND DO NOT INCLUDE APPLIED FINISHES. - DO NOT REDUCE OR HOLE CONCRETE WITHOUT SUPERINTENDENT'S APPROVAL. - DO NOT PLACE CONDUITS. PIPES AND THE LIKE WITHIN THE COVER CONCRETE. - FORMWORK SHALL GENERALLY COMPLY WITH AS3610 - STRIPPING OF FORMWORK SHALL COMPLY WITH SECTION 19 OF AS3600.

#### STRIPPING TIMES:

REMOVAL OF FORMS 3 DAYS. REMOVAL OF PROPS 14 DAYS.

#### FOOTING AND SLAB NOTES

- FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWANCE BEARING PRESSURE OF 100KPA AND CLASS 'S' SITE CLASSIFICATION ACCORDING TO AS2870. - BUILDER TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. - NATURAL FOUNDATIONS TO BE GRUBBED OUT AND FREE FROM ORGANIC MATTER AND DEBRIS AND COMPACTED TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS. FILL TO SLAB AND FOUNDATIONS SHALL BE AN APPROVED NON-PLASTIC MATERIAL COMPACTED IN MAX. 150mm LAYERS TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS. - FOOTING TRENCHES SHALL BE CLEAN AND DRY AT THE TIME OF CASTING WITH ANY SOFTENED MATERIAL REMOVED. BASE OF ALL FOOTINGS TO BE FOUNDED ON FIRM NATURAL GROUND WITH MIN. SAFE BEARING CAPACITY OF 100KPA. - N25 CONCRETE SLAB AS INDICATED ON PLAN - VIBRATE ALL CONCRETE AND CURE SLAB FOR MIN. 7 DAYS. - CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED CHAIRS SPACED @ APPROX. 750mm CRS. - CONDUITS AND PIPES SHALL NOT BE

PLACED WITHIN COVER CONCRETE. - FOOTINGS SHALL NOT BE LOCATED CLOSER TO THE NEAREST EDGE OF A

STORMWATER / SEWER TRENCH THAN THE DEPTH OF THE TRENCH.

ULTIMA	ULTIMATE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURE									
WIND	DESIGI	N GUST		DESIGN						
CLASS	WIND	SPEED		PRESSURES						
	(m	n/s)		(kPa)						
	V h,u	V h,s		ER THAN I CORNERS	UP TO 1.2m FROM CORNERS					
	ULS	SLS	ULS	SLS	ULS	SLS				
C2	61	39	±2.68	±0.88	-4.02	-1.23				

	_/					
					-	
	DESIGNER	DRAWN	PROJECT		ADDRESS	DRAWING TITLE
3	CVD	DG/SVR	JOSHUA, RUSS	BEL	63R STONEWOOD ROAD, DIWAN	NOTES & LEGEND

#### EXTERNAL STUDWORK WALLS / LOAD BEARING WALLS : - MGP12 (H2) - 90 x 35 STÚDS @ MAX. 450mm CRS. - 90 x 45 BOTTOM PLATES. - 2 / 90 x 35 TOP PLATES. - 90 x 35 NOGS @ 1350 CRS GENERALLY, 900 CRS FOR CUSTOM ORB CLADDING. - LINTELS AS PER SCHEDULE. - 2 STUDS BESIDE OPENINGS UP TO 1800mm - 3 STUDS BESIDE OPENINGS UP TO 3600mm - 4 STUDS BESIDE OPENINGS UP TO 5000mm - PROVIDE 90 x 35 TIE-DOWN UNDERBATTEN TO JOISTS

## 90mm THICK WALLS :

-MGP10 (H2)

#### BRACING WALLS :

@: 50mm CRS. TOP AND BOTTOM PLATE. 150mm CRS. TO VERTICAL EDGES. 300mm CRS. INTERMEDIATE STUDS. - ANCHOR ENDS OF WALLS TOP AND BOTTOM. - USE 6mm VILLABOARD IN LIEU OF PLY TO WET AREAS. - FIX BRACE WALLS TO ROOF FRAMING WHERE NOT OTHERWISE CONNECTED.

#### APPROX BC CFC CFW C.O.S. CRS C/W DP EA FC FG

LEGEND:

PL PB ΤС TOW TYP UNO VLB WC WIR

HWD

R

WM (D01)

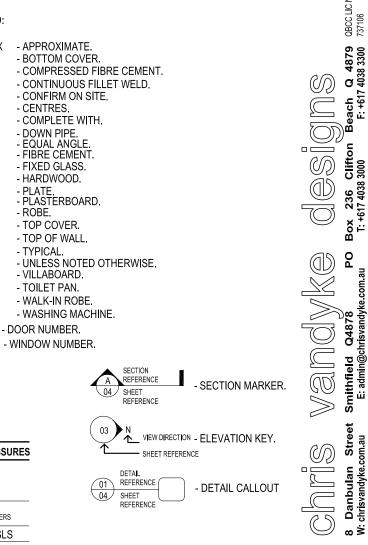
W01

#### WALL CONSTRUCTION - FRAMING

#### INTERNAL STUDWORK WALLS

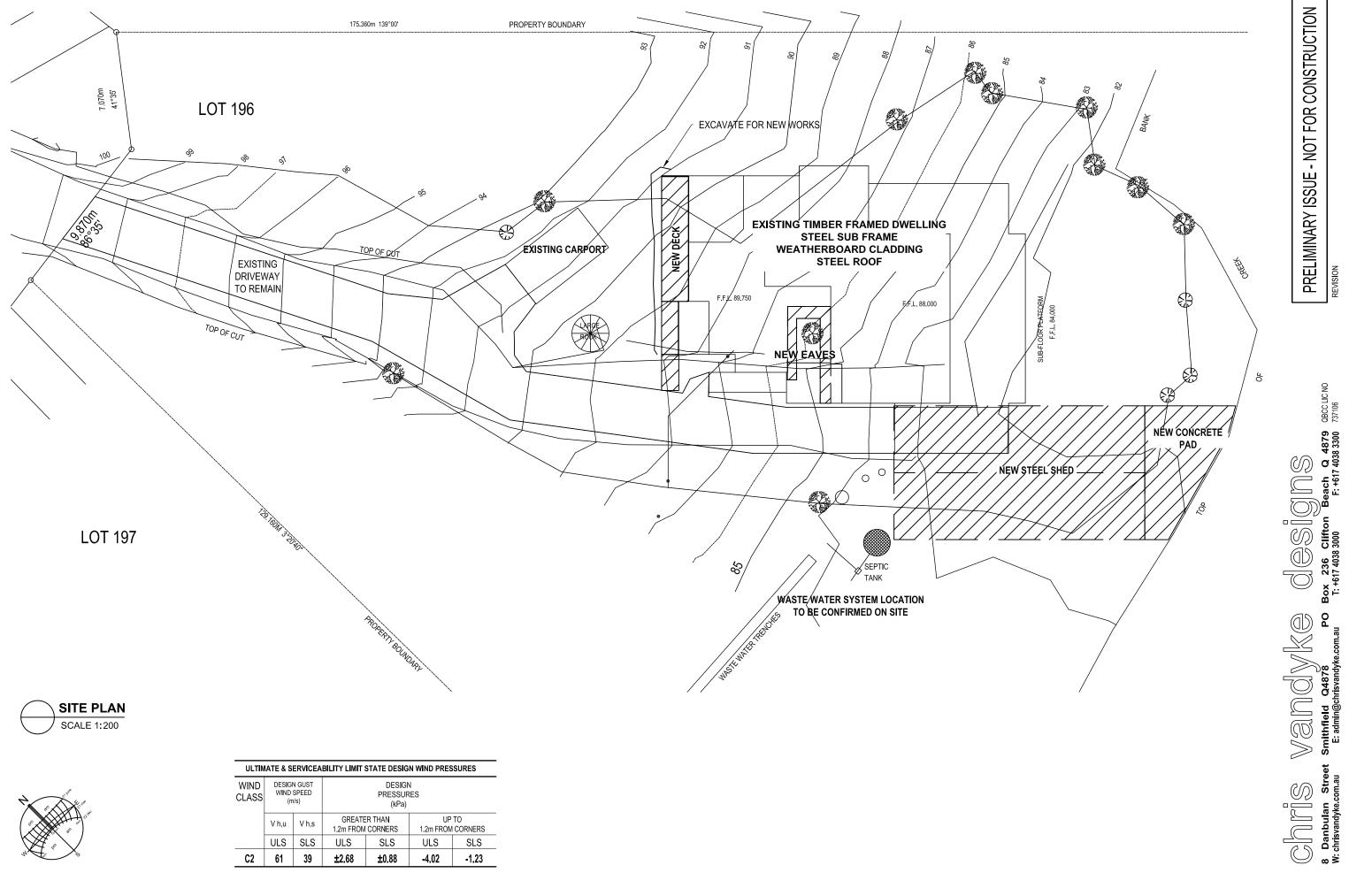
## - 90 x 35 STUDS @MAX. 450mm CRS. - 90 x 35 TOP & BOTTOM PLATES - 1 ROW NOGGINS. - 90 x 45 TOP & BOTTOM PLATES TO BRACE WALLS.

- 4mm STRUCTURAL PLY FIXED WITH 2.8 x 30 GAL, FLATHEAD NAILS



SCALE SHEET REV JOB T-1030 AS SHOWN 01

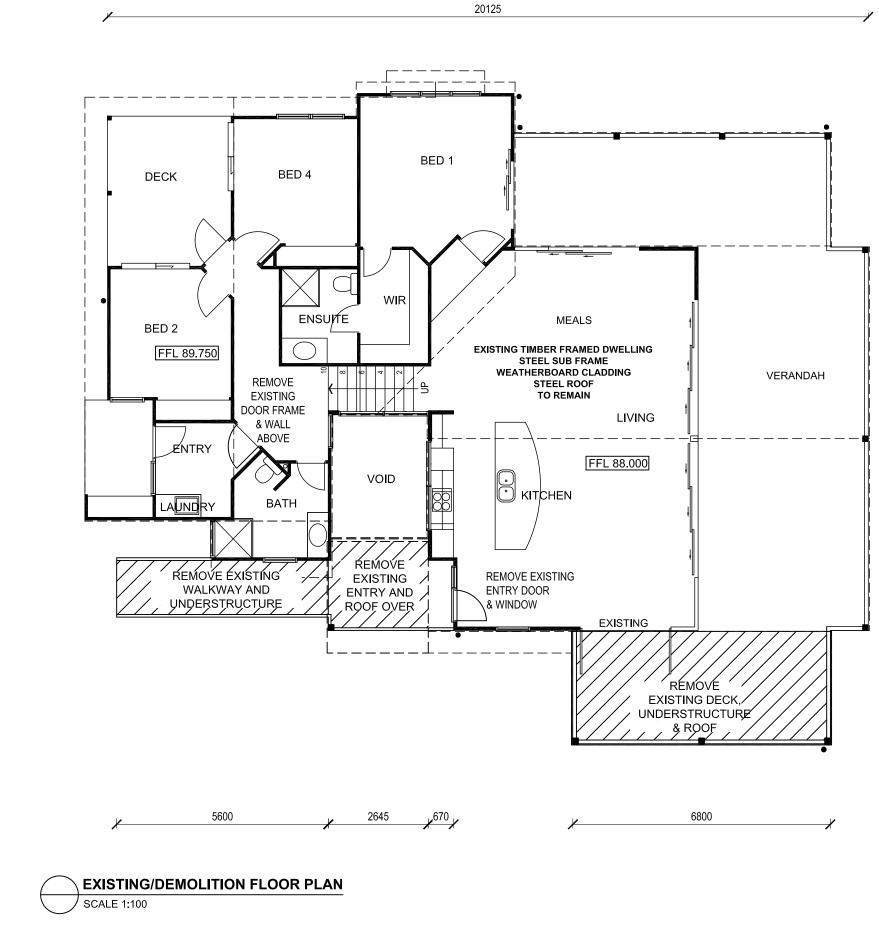




ISO A3	DESIGNER	DRAWN	PROJECT	ADDRESS	DRAWING TITLE
08 - JUL -16	CVD	DG/SVR	JOSHUA, RUSSEL	63R STONEWOOD ROAD, DIWAN	PROPOSED SITE PLAN

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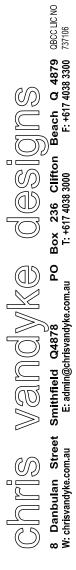
SCALE	JOB	SHEET	REV
AS SHOWN	T-1030	02	-



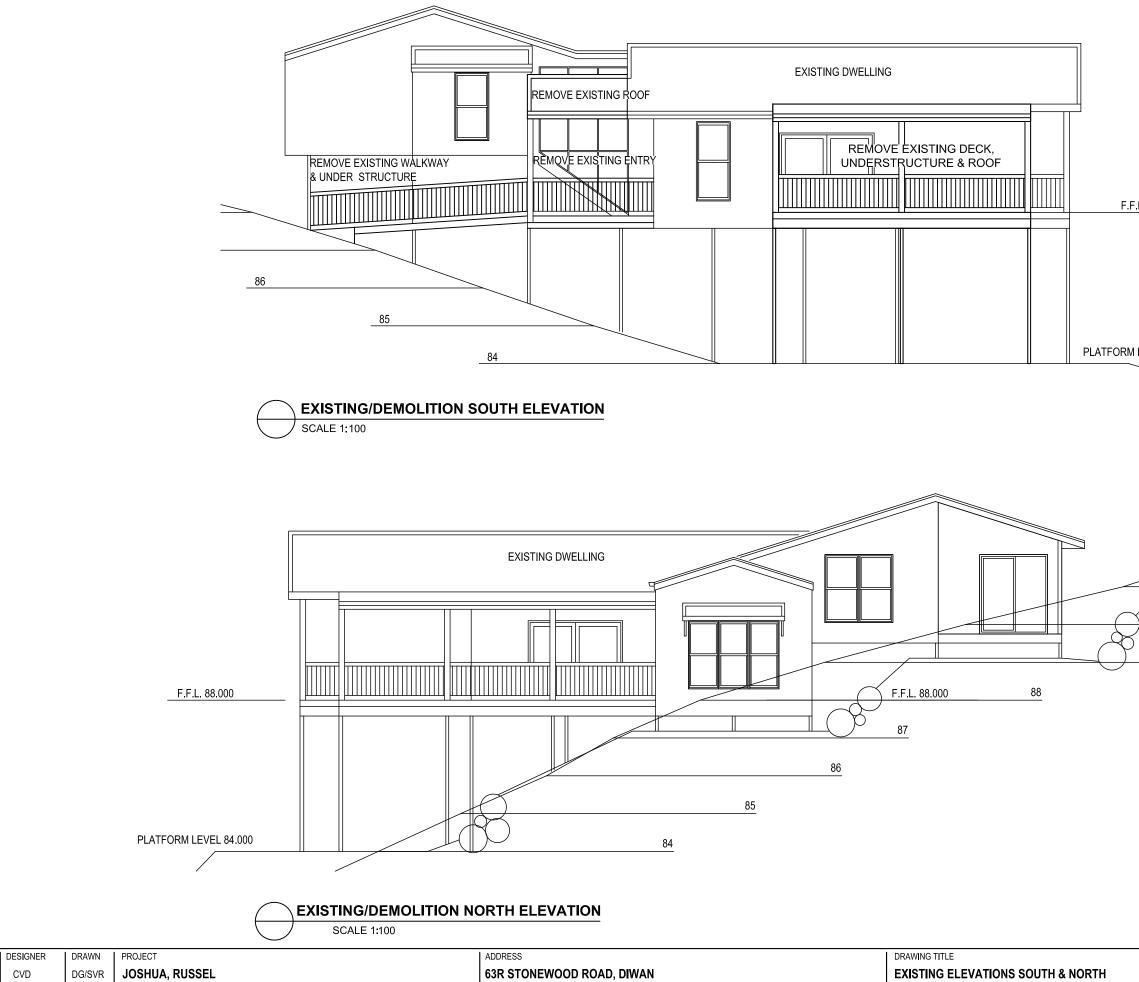
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ISO A3	DESIGNER	DRAWN	PROJECT	ADDRESS	DRAWING TITLE
08 - JUL -16	CVD	DG/SVR	JOSHUA, RUSSEL	63R STONEWOOD ROAD, DIWAN	EXISTING FLOOR PLAN

	<b>PRELIMINARY ISSUE - NOT FOR CONSTRUCTION</b>
]	



SCALE	JOB	SHEET	REV
AS SHOWN	T-1030	03	-



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ISO A3

08 - JUL -16

F.F.L. 88.000

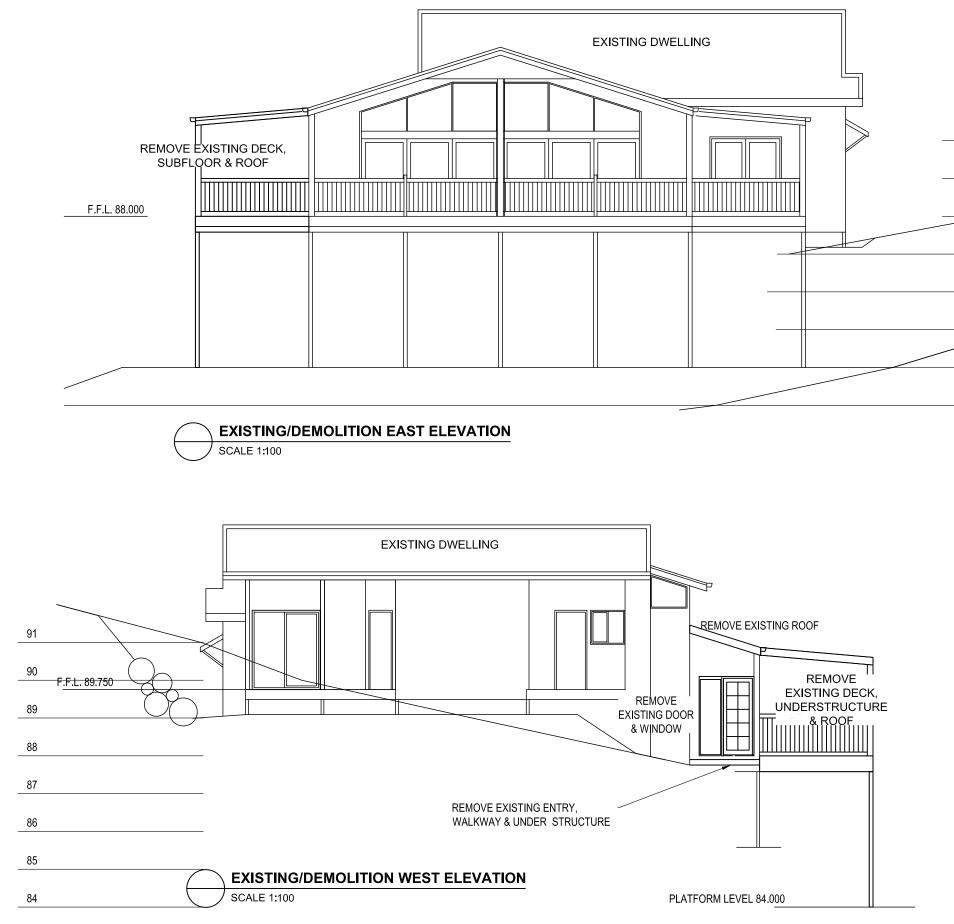
PLATFORM LEVEL 84.000



	SCALE	JOB	SHEET	REV
IORTH	AS SHOWN	T-1030	04	-

PRELIMINARY ISSUE - NOT FOR CONSTRUCTION

REVISION

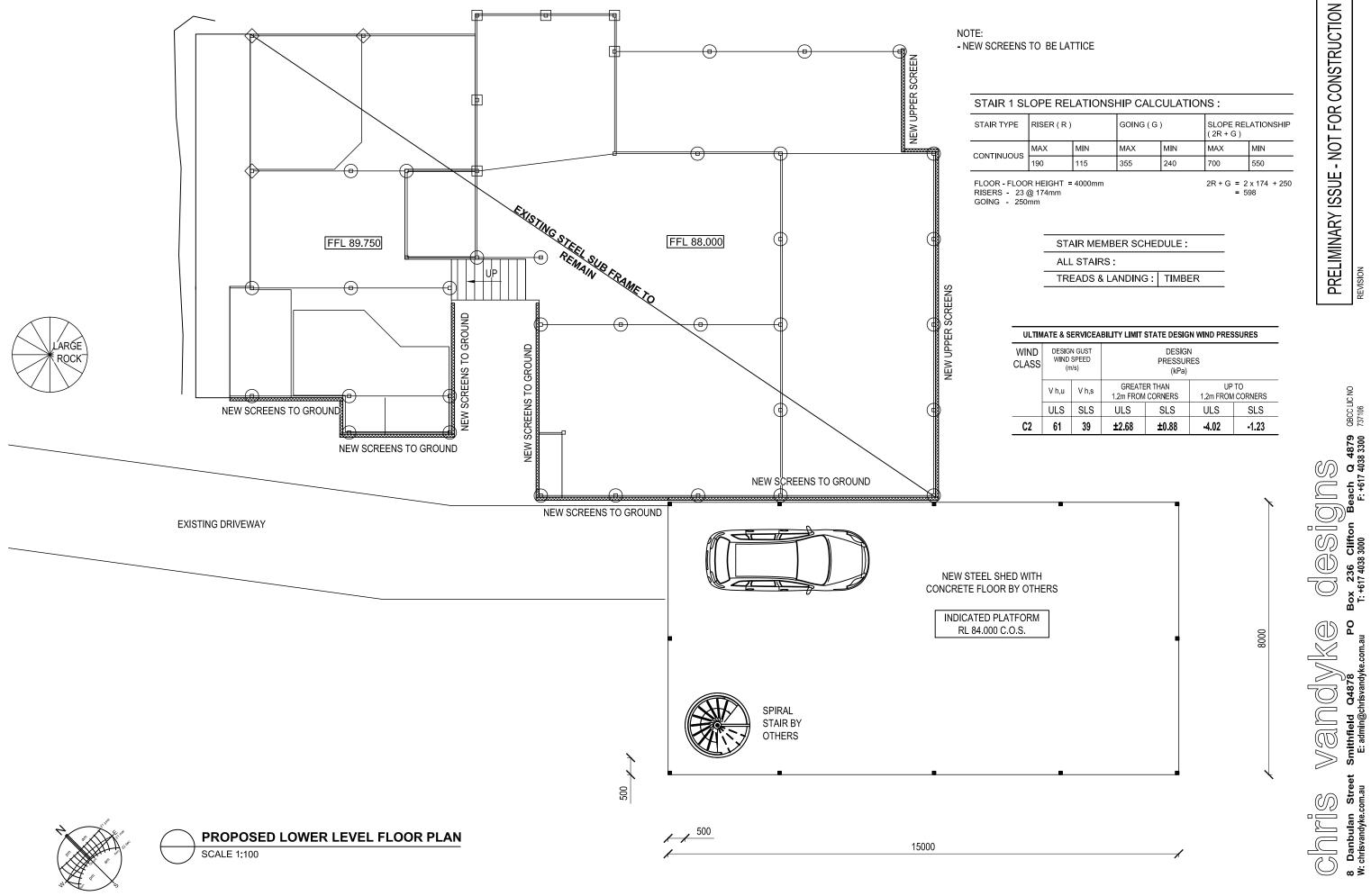


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ISO A3	DESIGNER	DRAWN	PROJECT	ADDRESS	DRAWING TITLE	SCALE	JOB	SHEET	REV
08 - JUL -16	CVD	DG/SVR	JOSHUA, RUSSEL	63R STONEWOOD ROAD, DIWAN	EXISTING ELEVATIONS EAST & WEST	AS SHOWN	T-1030	05	-

	_ ¬
PRELIMINARY ISSUE - NOT FOR CONSTRUCTION	REVISION
designs	on Beach Q 4879 0BCCLICNO F: +617 4038 3300 737106
	PO Box 236 Clifton T: +617 4038 3000
vandyke	Smithfield Q4878 E: admin@chrisvandyke.com.au
Chris	8 Danbulan Street W: chrisvandyke.com.au

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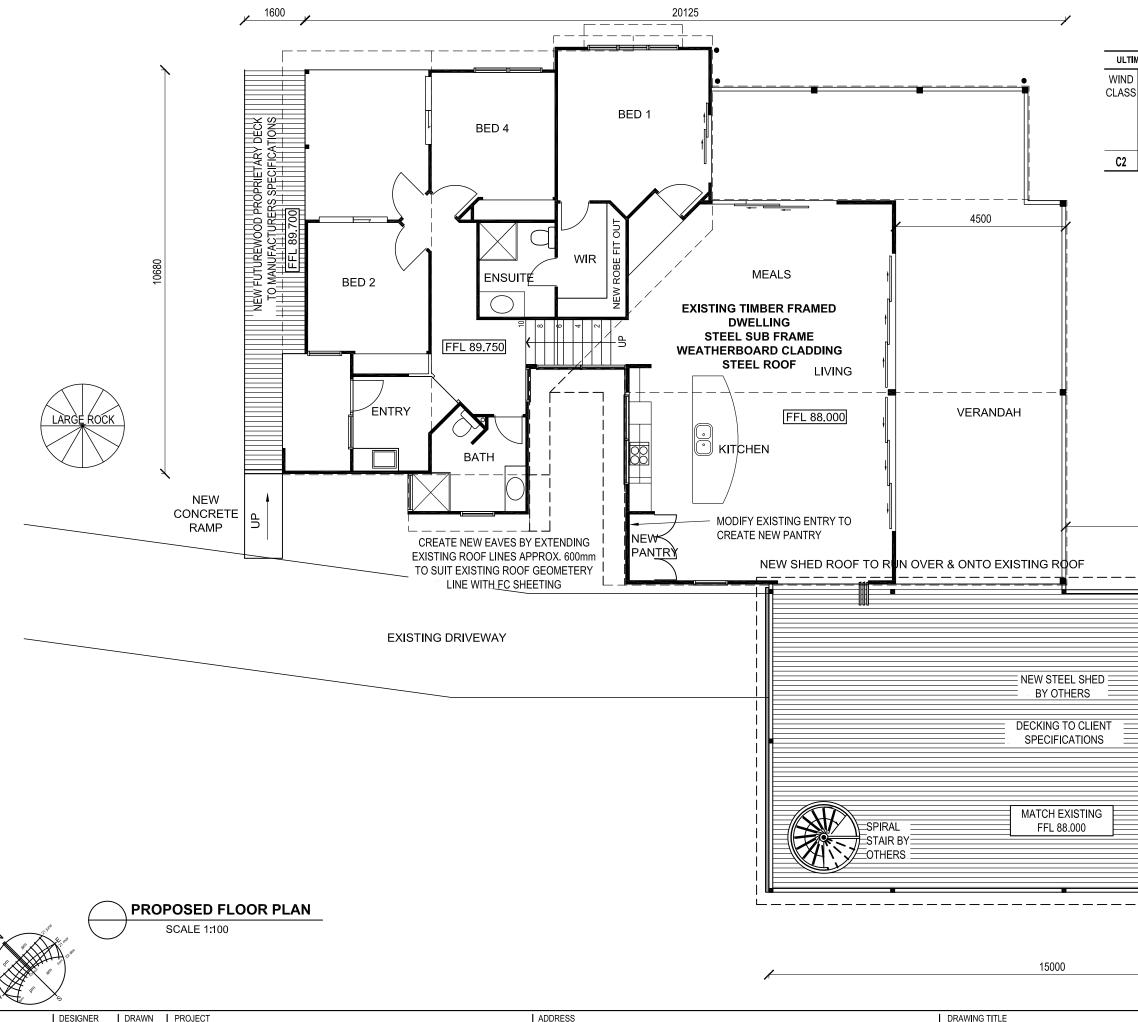


ISO A3	DESIGNER	DRAWN	PROJECT	ADDRESS	DRAWING TITLE	SCALE	JOB	SHEET	REV
08 - JUL -16	CVD	DG/SVR	JOSHUA, RUSSEL	63R STONEWOOD ROAD, DIWAN	PROPOSED LOWER LEVEL FLOOR PLAN	AS SHOWN	T-1030	06	-

REL	ATIONS	HIP CALC	ULATION	IS :	
R(R)				SLOPE RELATIO	
	MIN	MAX	MIN	MAX	MIN

STAIR MEMBER SCHEDULE :			
ALL STAIRS :			
TREADS & LANDING :	TIMBER		

TE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES							
WIND	N GUST SPEED //s)		DESIGN PRESSUR (kPa)	-			
V h,u	V h,s	GREATER THAN 1.2m FROM CORNERS		•···=···		UP 1.2m FROM	
ULS	SLS	ULS	SLS	ULS	SLS		
61	39	±2.68	±0.88	-4.02	-1.23		



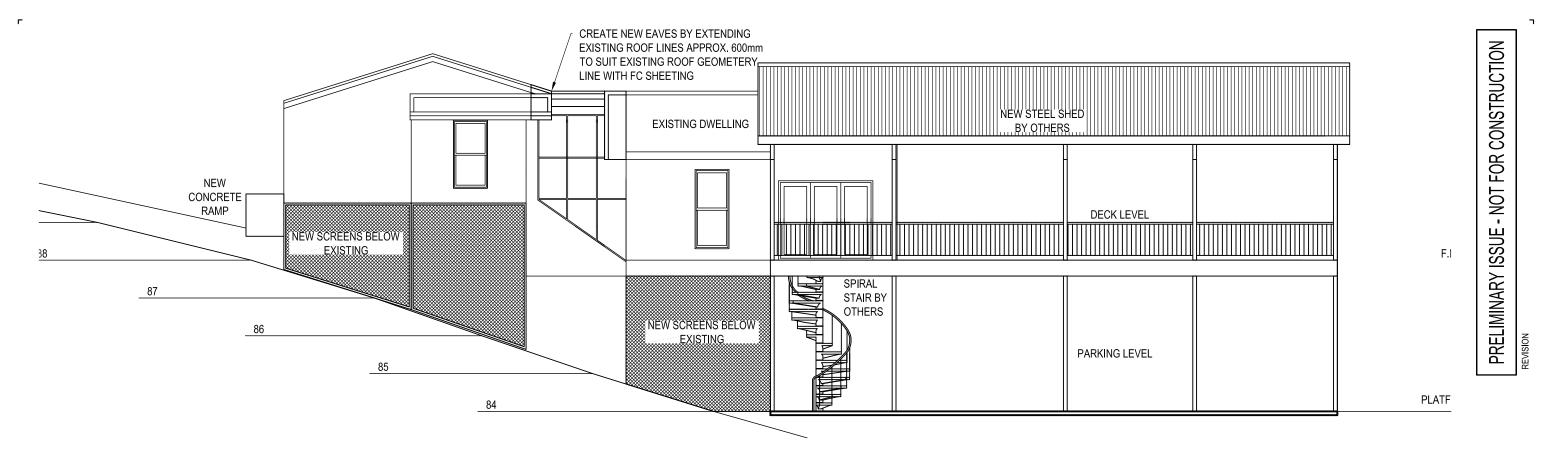
	•				
08 - JUL -16	CVD	DG/SVR	JOSHUA, RUSSEL	63R STONEWOOD ROAD, DIWAN	PROPOSED FLOOR PLAN
ISO A3	DESIGNER	DRAWN	PROJECT	ADDRESS	DRAWING TITLE

IN	MATE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES									
S	WIND	N GUST SPEED I/s)	DESIGN PRESSURES (kPa)							
	V h,u	V h,s	GREATER THAN 1.2m FROM CORNERS			TO CORNERS				
	ULS	SLS	ULS	SLS	ULS	SLS				
	61	39	±2.68	±0.88	-4.02	-1.23				

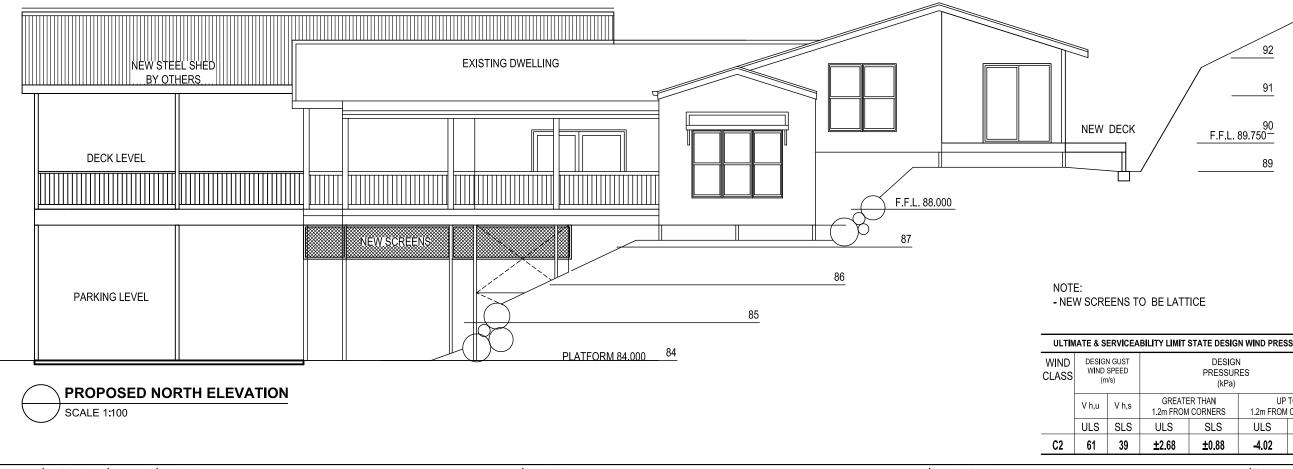


	Individual for the second of the second o
	Christen Smithfield Q4878 1 W: chrisvandyke.com.au E: admin@chrisvandyke.com.au

SCALE	JOB	SHEET	REV
AS SHOWN	T-1030	07	-



**PROPOSED SOUTH ELEVATION** SCALE 1:100

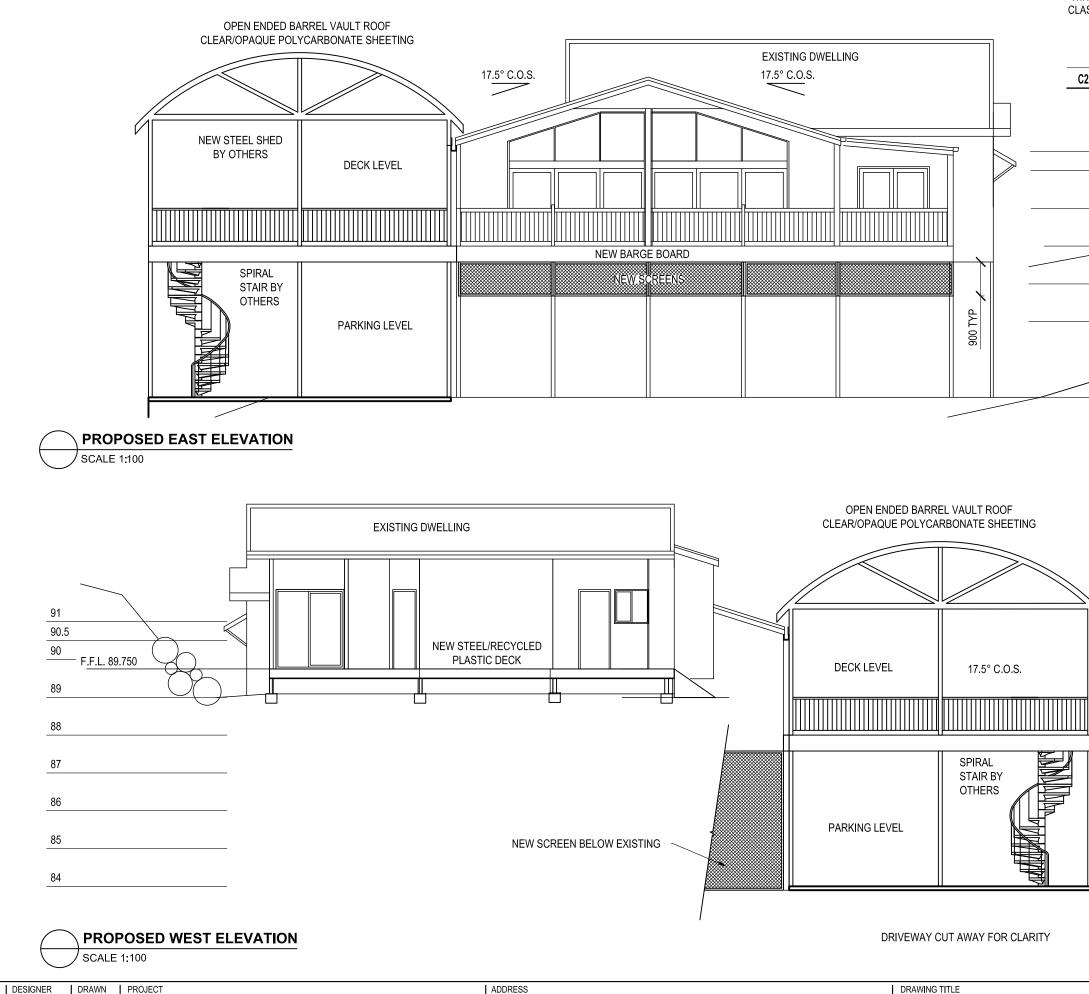


		-			
08 - JUL -16	CVD	DG/SVR	JOSHUA, RUSSEL	63R STONEWOOD ROAD, DIWAN	PROPOSED ELEVATIONS SOUTH & NO
ISO A3	DESIGNER	DRAWN	PROJECT	ADDRESS	DRAWING TITLE

VICEABILITY LIMIT STATE DESIGN WIND PRESSURES							
UST EED	DESIGN PRESSURES (kPa)						
/ h,s	GREATER THAN 1.2m FROM CORNERS		UP TO 1.2m FROM CORNERS				
SLS	ULS	SLS	ULS	SLS			
39	±2.68	±0.88	-4.02	-1.23			
			SCALE	JOB			



SHEET REV AS SHOWN **T-1030** 08 NORTH

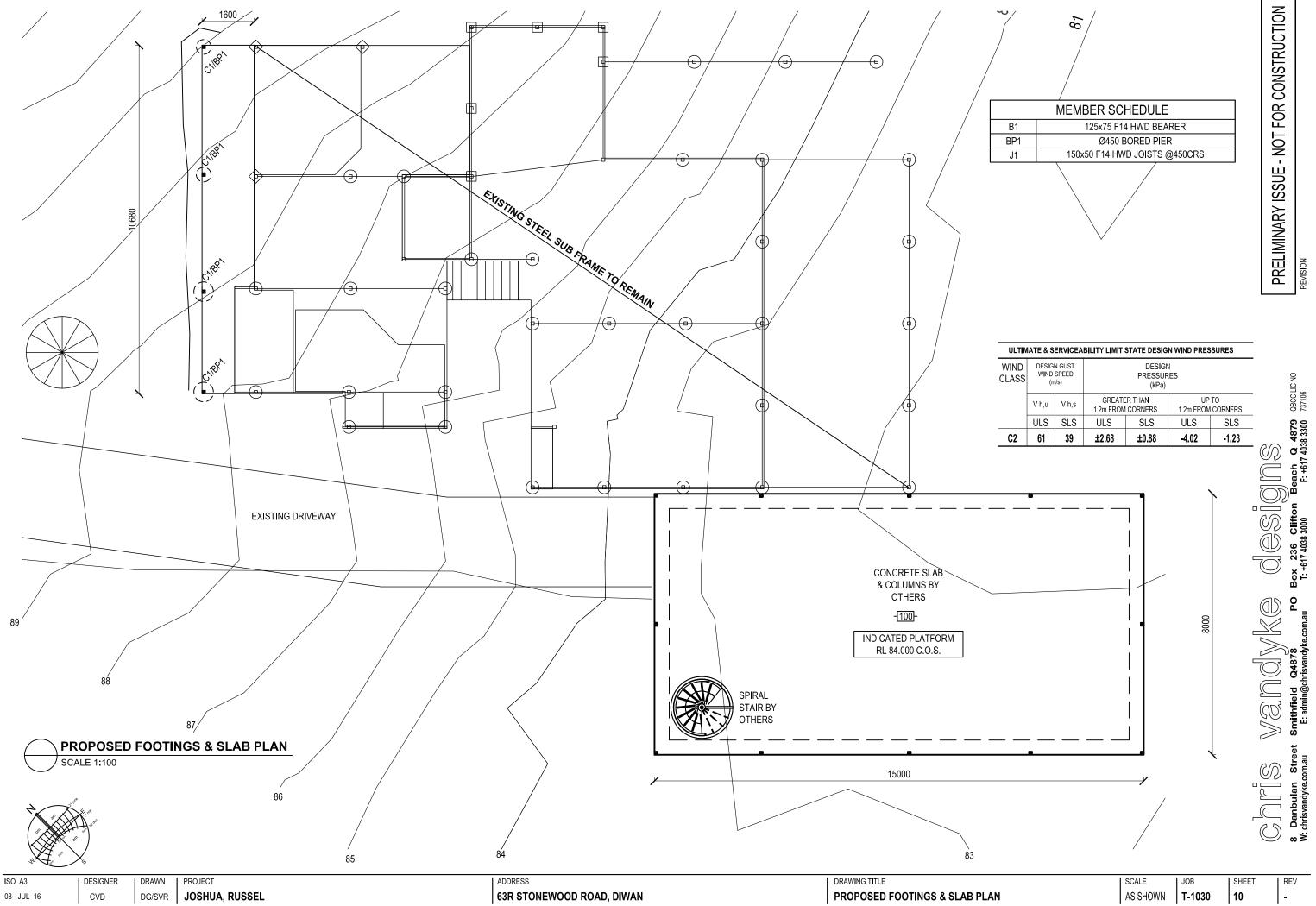


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DESIGNER ISO A3 DRAWING TITLE DRAWN PROJECT 63R STONEWOOD ROAD, DIWAN CVD DG/SVR JOSHUA, RUSSEL **PROPOSED ELEVATIONS EAST & W** 08 - JUL -16

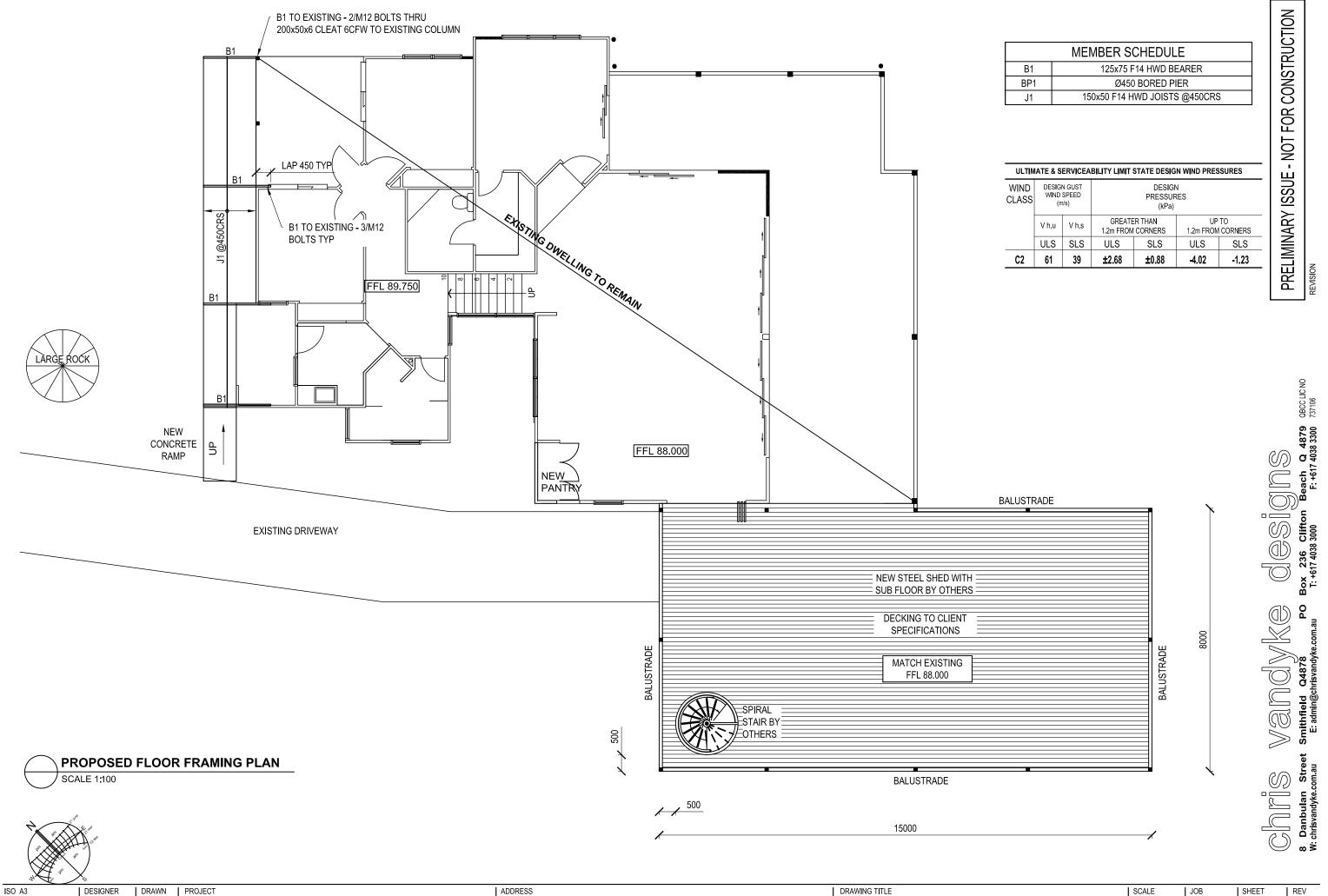
ULTIN	IATE & S	ERVICEA	BILITY LIMIT :	STATE DESIG	IN WIND PRES	SSURES		
WIND CLASS	WIND	N GUST SPEED \/s)		DESIG PRESSUF (kPa)			JCTIC	
	V h,u	V h,s	GREATE	CORNERS	1.2m FROM	TO CORNERS	ISTRI	
C2	0LS 61							
C2	ULS 61	SLS 39 F		CORNERS           SLS           ±0.88           90.5           90           89           0           87           86           85           00	ULS -4.02	CORNERS SLS -1.23	CDDS VADDVKO OOSTRUCTIO B Danbulan Street Smithfield Q4878 PO Box 236 Clifton Beach Q 4879 BECLIC NO W: chrisvandyke.com.au T: +617 4038 3000 F: +617 4038 3300 73706 REVISION	
							ξ. D S S	

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WEST	AS SHOWN	T-1030	09	-





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AS SHOWN	T-1030	10	-



63R STONEWOOD ROAD, DIWAN

JOSHUA, RUSSEL

DG/SVR

CVD

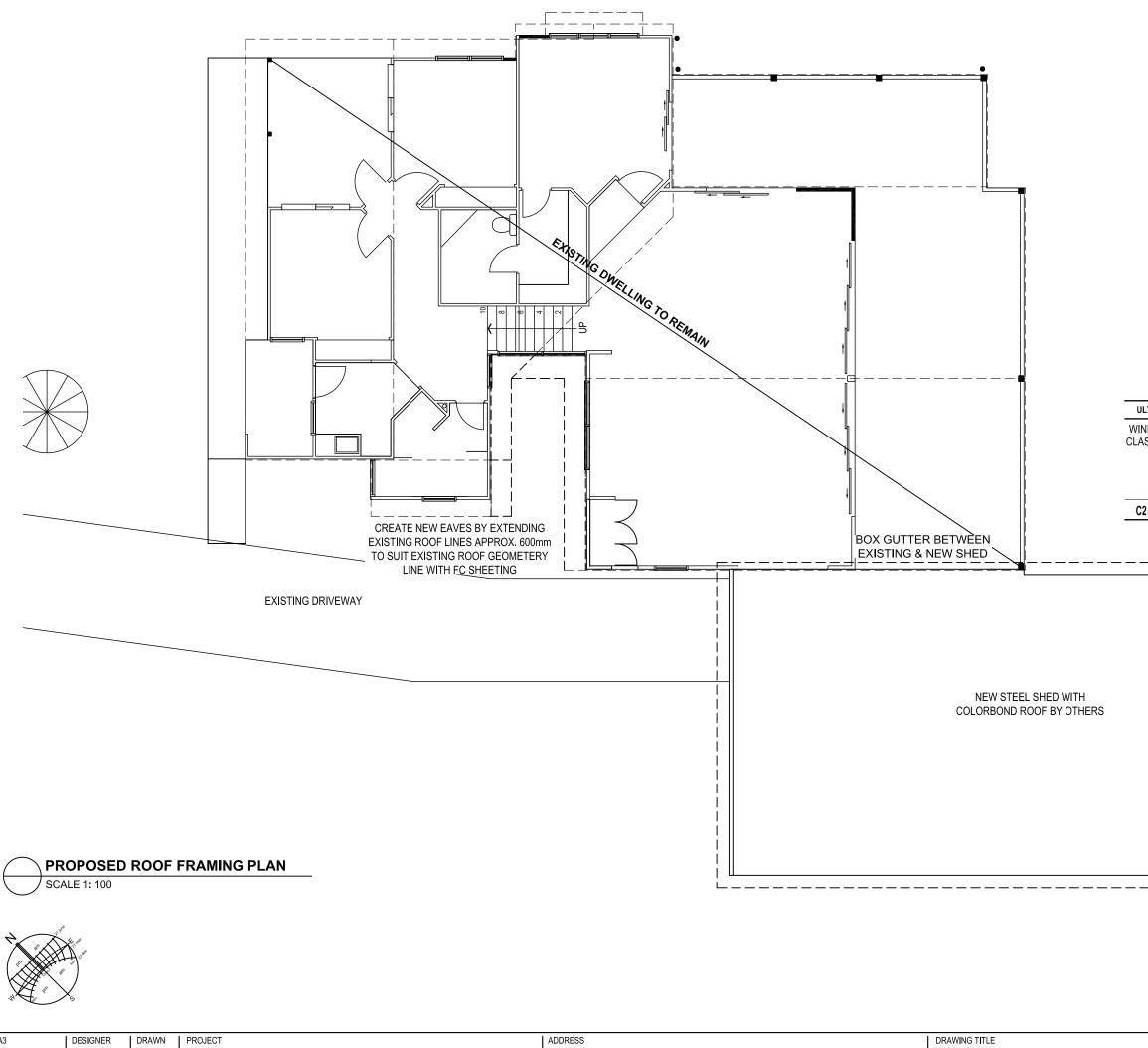
08 - JUL -16

MEMBER SCHEDULE					
B1	125x75 F14 HWD BEARER				
BP1	Ø450 BORED PIER				
J1	150x50 F14 HWD JOISTS @450CRS				

ULTIN	ULTIMATE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES								
WIND CLASS	DESIGN GUST WIND SPEED (m/s)		DESIGN PRESSURES (kPa)						
	V h,u	V h,s	GREATE 1.2m FROM		UP 1.2m FROM				
	ULS	SLS	ULS	SLS	ULS	SLS			
C2	61	39	±2.68	±0.88	-4.02	1.23			

SCALE	JOB	SHEET	REV
AS SHOWN	T-1030	11	-

PROPOSED FLOOR FRAMING PLAN



ISO A3	DESIGNER	DRAWN	PROJECT	ADDRESS	DRAWING TITLE
08 - JUL -16	CVD	DG/SVR	JOSHUA, RUSSEL	63R STONEWOOD ROAD, DIWAN	PROPOSED ROOF FRAMING PLAN

PRELIMINARY ISSUE - NOT FOR CONSTRUCTION REVISION

ULTIN	IATE & S	ERVICEA	BILITY LIMIT :	STATE DESIG	N WIND PRES	SURES	-	
VIND LASS	WIND	N GUST SPEED I/s)		_				
	V h,u V h,s		GREATER THAN 1.2m FROM CORNERS		UP TO 1.2m FROM CORNERS		_	QBCC LIC NO 737106
	ULS	SLS	ULS	SLS	ULS	SLS	_	QBC 7371
C2	61	39	±2.68	±0.88	-4.02	-1.23	_	
							chris vandyke designs	8 Danbulan Street Smithfield Q4878 PO Box 236 Clifton Beach Q 4879 W: chrisvandyke.com.au E: admin@chrisvandyke.com.au T: +617 4038 3000 F: +617 4038 3300

SCALE	JOB	SHEET	REV
AS SHOWN	T-1030	12	-

## Figure 3 Photograph Package – Immediately after purchase

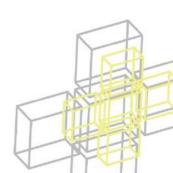














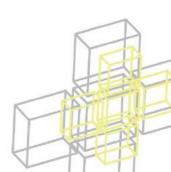








Figure 3 Photograph Package – Recent

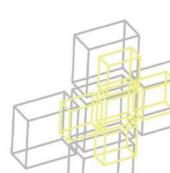








# Annexure A IDAS Forms



# **IDAS form 1**—Application details

(Sustainable Planning Act 2009 version 4.2 effective 3 August 2015)

This form must be used for ALL development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (IDAS form 1—Application details)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008.* Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

### **Mandatory requirements**

**Applicant details** (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)	Dr Russell	Joshua				
For companies, contact name						
Postal address	C/- Planning Plus					
	PO Box 804	46				
	Suburb	CAIRNS				
	State	QLD	Postcode	4870		
	Country	Australia				
Contact phone number	07-402836	53				
Mobile number (non-mandatory requirement)						
Fax number (non-mandatory requirement)						



Em	ail address (non-mandatory requirement)	Info				
		@ planningplusqld.com.au				
	licant's reference number (non-mandatory uirement)	15-23/L000561				
1.	What is the nature of the development p	roposed and what type of approval is being sought?				
Tab	IE A—Aspect 1 of the application (If there are	additional aspects to the application please list in Table B—Aspect 2.)				
a)	What is the nature of the development? (Plea	ase only tick one box.)				
	Material change of use Reconfigu	uring a lot				
b)	What is the approval type? (Please only tick	one box.)				
		ry approval				
c)		cluding use definition and number of buildings or structures where efined as a <i>multi-unit dwelling</i> , 30 lot residential subdivision etc.)				
	Building Works other than Minor Building Wo	rks not associated with a Material Change of Use				
d)	What is the level of assessment? (Please only	y tick one box.)				
	Impact assessment Code ass	essment				
	<b>IE B</b> —Aspect 2 of the application (If there are litional aspects of the application.)	additional aspects to the application please list in Table C—				
a)	What is the nature of development? (Please	only tick one box.)				
	Material change of use Reconfigu	Iring a lot Derational work Operational work				
b)	What is the approval type? (Please only tick	one box.)				
		ry approval Development 41 and s242 permit				
c)		cluding use definition and number of buildings or structures where efined as a <i>multi-unit dwelling</i> , 30 lot residential subdivision etc.)				
d)	What is the level of assessment?					
	Impact assessment Code ass	essment				
	<b>IE C</b> —Additional aspects of the application (If arate table on an extra page and attach to this	there are additional aspects to the application please list in a				
	Refer attached schedule Not requir	· · · · · · · · · · · · · · · · · · ·				

2.	Locatio	on of the p	remises (Complet	e Table D	and/or T	able E as a	applic	able. Identi	fy each lot in a separate row.)
adjac	ent to the	e premises		to be use	ed for app	lications in			n for the land adjoining or interfering with water.)
	Stre	et address	and lot on plan (A	ll lots mus	st be listed	ł.)			
L			and lot on plan for water but adjoinin						
Stree	et addres	s				Lot on p descript			Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and suburb/ locality na		Post- code	Lot no.		an type d plan no.	
i)		63	Stonewood Roa Diwan	ıd,	4873	196 RP740952		740952	Douglas
ii)									
iii)									
			<b>Is</b> (If the premises w table. Non-mand		multiple zo	ones, clear	ly ide	ntify the rele	evant zone/s for each lot in a
Lot		able zone / p		• •	le local pla	in / precinct		Applica	able overlay/s
i)									
ii)									
iii)									
adjoir		djacent to l							of a lot or in water not chedule if there is insufficient
Coor	dinates					Zone		Datum	Local government

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude	_		
					GDA94	
					WGS84	
					other	

# 3. Total area of the premises on which the development is proposed (indicate square metres)

1.011ha

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

House.

5.	Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non- mandatory requirement)						
$\boxtimes$	No Yes—provide details below						
List o	of approval refe	erence/s		Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)		
6.	ls owner's c	onsent required f	or this a	pplication? (Refer to notes at the en	d of this form for more information.)		
	No						
	Yes—complet	te either Table F, T	able G o	r Table H as applicable			
		,					
Tabl							
Nam	e of owner/s of	the land					
l/We	, the above-me	entioned owner/s o	f the land	, consent to the making of this applic	ation.		
Sign	ature of owner	s of the land					
Date							
Tabl	e G						
Nam	e of owner/s of	the land					
	The owner's w	ritten consent is at	ached or	will be provided separately to the as	sessment manager.		
Tabl	e H						
Nam	e of owner/s of	the land	Dr Russ	ell Joshua			
$\square$	By making this a	pplication, I, the app	licant, dec	lare that the owner has given written cor	nsent to the making of the application.		
7.	Identify if an	y of the following	g apply to	o the premises (Tick applicable box/	es.)		
	Adjacent to a	water body, water	course oi	r aquifer (e.g. creek, river, lake, canal	l)—complete Table I		
$\square$	On strategic	port land under the	Transpo	rt Infrastructure Act 1994—complete	Table J		
$\square$	In a tidal wate	er area—complete	Table K				
	On Brisbane	core port land und	er the Tra	ansport Infrastructure Act 1994 (No ta	ble requires completion.)		
		-					
	<ul> <li>On airport land under the Airport Assets (Restructuring and Disposal) Act 2008 (no table requires completion)</li> <li>Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the Environmental Protection Act 1994 (no table requires completion)</li> </ul>						
Tabl	el						
		y, watercourse or a	aquifer				

Port auth	Port authority for the lot				
oplicable) Port auth	ority for the tidal area (if applicable)				
e premises? (e.g. for vehi	cular access, electricity, overland flow,				
and dimension of each ea	asement is included in the plans submitted				
g work or operational wo	rk on the premises? (Including any				
on and dimension of propo	sed works are included in plans submitted				
ce leave levy applicable to	o this application? (Refer to notes at the				
y been paid? (Refer to not	es at the end of this form for more				
s application the yellow loc	al government/private certifier's copy of the				
Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)				
	g scheme to this application under				
/ local government	Reference number of written notice given by local government (if applicable)				
	pplicable) Port auth ne premises? (e.g. for vehi n and dimension of each ea g work or operational wor ion and dimension of propo ce leave levy applicable to y been paid? (Refer to not is application the yellow loc Date paid (dd/mm/yy)				

# **13.** List below all of the forms and supporting information that accompany this application (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application)

Description of attachment or title of attachment	Method of lodgement to assessment manager
Planning Report	SmarteDA

# 14. Applicant's declaration

By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

# Notes for completing this form

• Section 261 of the Sustainable Planning Act 2009 prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any noncompliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the Sustainable Planning Act 2009

### Applicant details

• Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

### **Question 1**

• Schedule 3 of the Sustainable Planning Regulation 2009 identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

# **Question 6**

• Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

# **Question 7**

• If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the Sustainable Planning Regulation 2009 identifies where compliance assessment is required.

### Question 11

- The Building and Construction Industry (Portable Long Service Leave) Act 1991 prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the Building and Construction Industry (Portable Long Service Leave) Regulation 2002.

### **Question 12**

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

**Privacy**—The information collected in this form will be used by the Department of Infrastructure, Local Government and Planning (DILGP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

# OFFICE USE ONLY

Date received

Reference numbers

# NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

cil. I have been engaged as the private certifier for the ng work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s

# QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form

The Sustainable Planning Act 2009 is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

# **IDAS form 6**—Building or operational work assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.1 effective 3 August 2015)

This form must be used for development applications for building work or operational work assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete IDAS form 1—Application details
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form must be used for building work or operational work relating on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

### Mandatory requirements

1.	What is the nature of the work that requires assessment against a planning scheme? (Tick all applicable
	boxes.)

Building	work-	-comp	lete	Table	A

Operational work—complete Table B

Т	a	b	le	A
	а	D	le	μ

 $\square$ 

a) What is the nature of the building work (e.g. building, repairing, altering, underpinning, moving or demolishing a building)?

The Applicant is seeking to construct a two (2) car/one (1) boat carport and mezzanine deck, being an extension of the existing dwelling on the site.

b) Are there any current approvals associated with this application? (e.g. material change of use.)

 $\square$ 

No

Yes— provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)



Table B								
a) What is the nature of the operational work? (Tick all applicable boxes.)								
Road works Stormwater Water infrast	ructure							
Drainage works Earthworks Sewerage infrastructure								
Landscaping     Signage     Clearing vege	etation under the pla	anning scheme						
Other—provide details								
<ul> <li>b) Is the operational work necessary to facilitate the creation of new lots? (E.</li> <li>No Yes—specify the number of lots being created</li> </ul>	g. subdivision.)							
<ul> <li>c) Are there any current approvals associated with this application? (E.g. ma</li> <li>No Yes—provide details below</li> </ul>	terial change of use	e.)						
List of approval reference/s Date approved (dd/mm/yy)	Date approval la	pses (dd/mm/yy)						
2. What is the dollar value of the proposed building work? (Inc GST, materials and labour.)	Ş	5						
3. What is the dollar value of the proposed operational work? (Inc GST, materials and labour.)	\$	5						
		5						
(Inc GST, materials and labour.) Mandatory supporting information								
(Inc GST, materials and labour.)								
(Inc GST, materials and labour.) Mandatory supporting information								
<ul> <li>(Inc GST, materials and labour.)</li> <li>Mandatory supporting information</li> <li>4. Confirm that the following mandatory supporting information accompany</li> </ul>	npanies this applic	cation Method of						
(Inc GST, materials and labour.) Mandatory supporting information 4. Confirm that the following mandatory supporting information accom Mandatory supporting information	npanies this applic	cation Method of						
<ul> <li>(Inc GST, materials and labour.)</li> <li>Mandatory supporting information</li> <li>4. Confirm that the following mandatory supporting information accom</li> <li>Mandatory supporting information</li> <li>All applications involving building work or operational work</li> <li>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</li> <li>the location and site area of the land to which the application relates (relevant land)</li> </ul>	npanies this applic Confirmation of lodgement	cation Method of						
<ul> <li>(Inc GST, materials and labour.)</li> <li>Mandatory supporting information</li> <li>4. Confirm that the following mandatory supporting information accom</li> <li>Mandatory supporting information</li> <li>All applications involving building work or operational work</li> <li>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</li> <li>the location and site area of the land to which the application relates (<i>relevant land</i>)</li> <li>the north point</li> </ul>	npanies this applic Confirmation of lodgement	cation Method of						
<ul> <li>(Inc GST, materials and labour.)</li> <li>Mandatory supporting information</li> <li>4. Confirm that the following mandatory supporting information accom</li> <li>Mandatory supporting information</li> <li>All applications involving building work or operational work</li> <li>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</li> <li>the location and site area of the land to which the application relates (relevant land)</li> </ul>	npanies this applic Confirmation of lodgement	cation Method of						
<ul> <li>(Inc GST, materials and labour.)</li> <li>Mandatory supporting information</li> <li>Confirm that the following mandatory supporting information accom</li> <li>Mandatory supporting information</li> <li>All applications involving building work or operational work</li> <li>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</li> <li>the location and site area of the land to which the application relates (<i>relevant land</i>)</li> <li>the north point</li> <li>the allotment layout showing existing lots, any proposed lots (including the dimensions of those lots), existing or proposed road reserves, building envelopes and existing or proposed open space (note: numbering is</li> </ul>	npanies this applic Confirmation of lodgement	cation Method of						

A statement about how the proposed development addresses the local government's planning schemes and any other planning documents relevant to the application.	Confirmed	
A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	Confirmed Not applicable	
Applications for building work (including extensions and demolition that is	s assessable develo	opment)
<ul><li>Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following:</li><li>the north point</li></ul>	Confirmed	
<ul> <li>the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only)</li> <li>the ream layout (for residential development only) with all reams clearly.</li> </ul>		
<ul> <li>the room layout (for residential development only) with all rooms clearly labelled</li> </ul>		
<ul><li>the existing and the proposed built form (for extensions only)</li><li>the gross floor area of each proposed floor area.</li></ul>		
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation).	Confirmed	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	Confirmed	
Plans showing the extent of any demolition that is assessable development.	Confirmed	
Applications for operational work involving earthworks (filling and excava	ting)	
Drawings showing:	Confirmed	
existing and proposed contours	Not applicable	
<ul> <li>areas to be cut and filled</li> <li>the location and lovel of any permanent survey marks or reference.</li> </ul>		
<ul> <li>the location and level of any permanent survey marks or reference stations used as datum for the works</li> </ul>		
<ul> <li>the location of any proposed retaining walls on the relevant land and their height</li> </ul>		
<ul><li>the defined flood level (if applicable)</li><li>the fill level (if applicable).</li></ul>		
Applications for operational work involving roadworks		
Drawings showing:	Confirmed	
existing and proposed contours	Not applicable	
<ul> <li>the centreline or construction line showing chainages, bearings, offsets if the construction line is not the centreline of the road and all intersection points</li> </ul>		
<ul> <li>information for each curve including tangent point chainages and offsets, curve radii, arc length, tangent length, superelevation (if applicable) and curve widening (if applicable)</li> </ul>		
<ul> <li>kerb lines including kerb radii (where not parallel to centreline) and tangent point changes (where not parallel to centreline)</li> </ul>		
<ul> <li>edge of pavement where kerb is not constructed</li> </ul>		
<ul> <li>position and extent of channelisation</li> </ul>		
<ul> <li>location and details of all traffic signs, guideposts, guardrail and other street furniture</li> </ul>		
<ul> <li>pavement markings including details on raised pavement markers</li> </ul>		

catchpit, manhole and pipeline locations		
drainage details (if applicable)		
<ul> <li>cross road drainage culverts (if applicable)</li> <li>constate featurethe and scale paths</li> </ul>		
<ul> <li>concrete footpaths and cycle paths</li> <li>location and datails for access points, ramps and invert grassings</li> </ul>		
<ul> <li>location and details for access points, ramps and invert crossings</li> <li>shanges in surfacing material</li> </ul>		
changes in surfacing material.		
Applications for operational work involving stormwater drainage		
Drawings showing:	Confirmed	
<ul> <li>existing and proposed contours</li> </ul>	Not applicable	
<ul> <li>drainage locations, diameters and class of pipe, open drains and easements</li> </ul>		
<ul> <li>manhole location, chainage and offset or coordinates and inlet and outlet invert levels</li> </ul>		
<ul> <li>inlet pit locations, chainage and offset or coordinates and invert and kerb levels.</li> </ul>		
Applications for operational work involving water reticulation	1	
Drawings showing:	Confirmed	
<ul> <li>kerb lines or edge of pavement where kerb is not constructed</li> </ul>	Not applicable	
<ul> <li>location and levels of other utility services where affected by water</li> </ul>		
reticulation works		
<ul> <li>pipe diameter, type of pipe and pipe alignment</li> </ul>		
water main alignments		
<ul> <li>water supply pump station details (if applicable)</li> </ul>		
<ul> <li>minor reservoir details (if applicable)</li> </ul>		
conduits		
<ul> <li>location of valves and fire hydrants</li> </ul>		
<ul> <li>location of house connections (if applicable)</li> </ul>		
location of bench marks and reference pegs.		
Applications for operational work involving sewerage reticulation		
Drawings showing:	Confirmed	
<ul> <li>location of all existing and proposed services</li> </ul>	Not applicable	
<ul> <li>location of all existing and proposed sewer lines and manhole locations</li> </ul>		
<ul> <li>location of all house connection branches</li> </ul>		
<ul> <li>kerb lines or edge of pavement where kerb is not constructed</li> </ul>		
chainages		
design sewer invert levels		
<ul> <li>design top of manhole levels</li> <li>two of manhole and manhole source</li> </ul>		
<ul> <li>type of manhole and manhole cover</li> <li>pipe diameter, type of pipe and pipe alignment</li> </ul>		
<ul> <li>pipe diameter, type of pipe and pipe alignment</li> <li>location of house connections (if applicable)</li> </ul>		
<ul> <li>sewer pump station details (if applicable).</li> </ul>		
Applications for operational work involving street lighting		
Drawings showing:		
<ul> <li>location of all light poles and service conduits</li> </ul>	Not applicable	
location of all other cross road conduits		
type of wattage and lighting		
<ul> <li>any traffic calming devices</li> <li>additional plans for roundabouts and major roads (if applicable)</li> </ul>		
<ul> <li>details of any variations to normal alignment</li> </ul>		

details of lighting levels.		
Applications for operational work involving public utility services		
<ul><li>Drawings showing:</li><li>any existing light poles and power poles</li></ul>	Confirmed	
<ul> <li>any existing underground services</li> <li>details of proposed services</li> <li>alteration to existing services.</li> </ul>		
Applications for operational work involving landscaping works		
Drawings showing:	Confirmed	
<ul> <li>the location of proposed plant species</li> <li>a plant schedule indicating common and botanical names, pot sizes and numbers of plants</li> <li>planting bed preparation details including topsoil depth, subgrade preparation, mulch type and depth, type of turf, pebble, paving and garden edge</li> <li>the location and type of any existing trees to be retained</li> <li>construction details of planter boxes, retaining walls and fences</li> <li>the proposed maintenance period</li> <li>irrigation system details.</li> </ul>	Not applicable	

**Privacy**—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

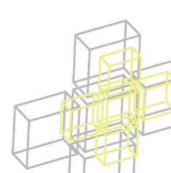
# OFFICE USE ONLY

Date received

Reference numbers

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Annexure B Title Search

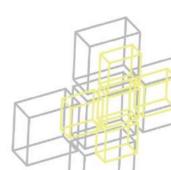


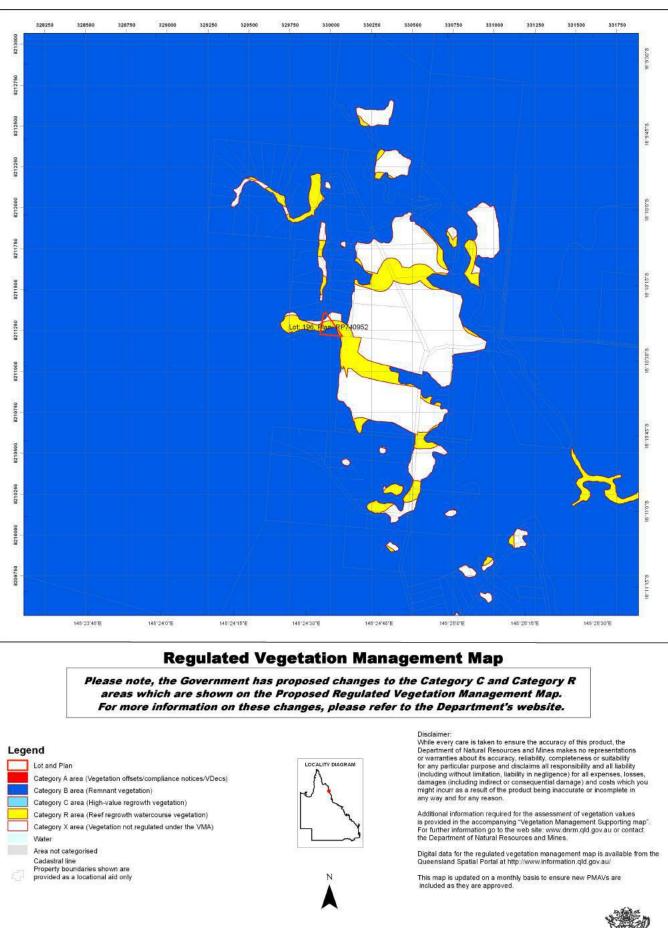
CURRENT TITLE SEARCH DEPT OF NATURAL RESOURCES AND MINES, QUEENSLAND Request No: 22444066 Search Date: 14/12/2015 13:24 Title Reference: 21257048 Date Created: 30/08/1984 Previous Title: 21108077 REGISTERED OWNER Dealing No: 716129881 10/11/2014 RUSSELL SCOTT JOSHUA ESTATE AND LAND Estate in Fee Simple REGISTERED PLAN 740952 LOT 196 Local Government: DOUGLAS EASEMENTS, ENCUMBRANCES AND INTERESTS 1. Rights and interests reserved to the Crown by Deed of Grant No. 20135102 (POR 49V) 2. MORTGAGE No 716129882 10/11/2014 at 12:18 NATIONAL AUSTRALIA BANK LIMITED A.B.N. 12 004 044 937 ADMINISTRATIVE ADVICES - NIL UNREGISTERED DEALINGS - NIL CERTIFICATE OF TITLE ISSUED - No Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

COPYRIGHT THE STATE OF QUEENSLAND (DEPT OF NATURAL RESOURCES AND MINES) [2015] Requested By: D-ENQ SAI GLOBAL

# Annexure C Vegetation Management Mapping







This product is projected into: GDA 1994 MGA Zone 55

400

200

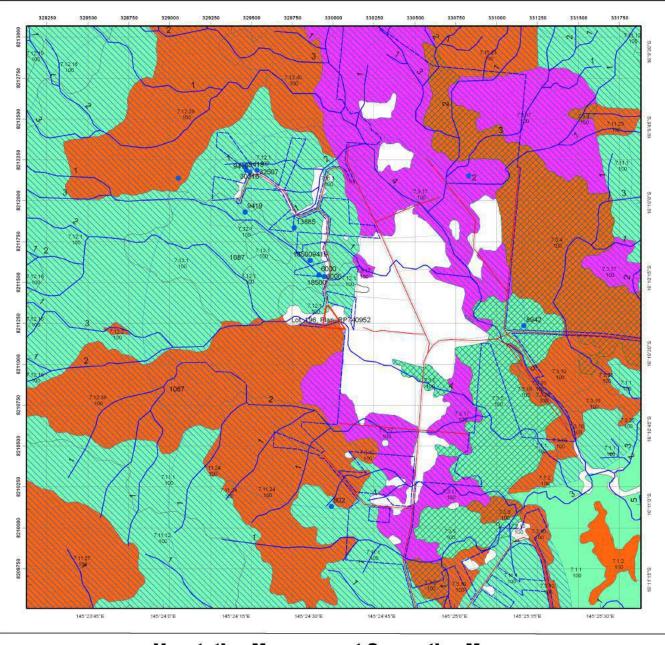
600

800

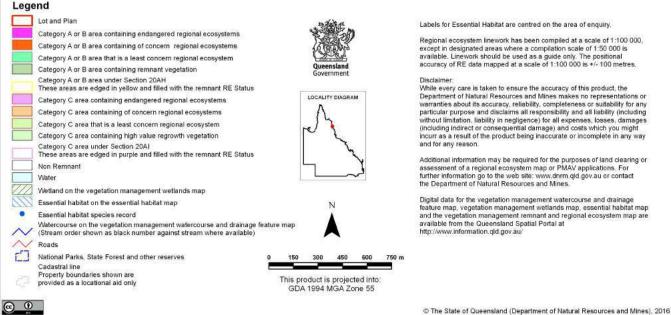
1,000 m

© The State of Queensland (Department of Natural Resources and Mines), 2016

<u>
</u>



# **Vegetation Management Supporting Map**



The state of Queensiand (Department of Natural Resources and Mines), 2010

#### Vegetation Management Act 1999 - Extract from the essential habitat database

Essential habitat is required for assessment under the:

• State Development Assessment Provisions - Module 8: Native vegetation clearing which sets out the matters of interest to the state for development assessment under the Sustainable Planning Act 2009; and

• Self-assessable vegetation clearing codes made under the Vegetation Management Act 1999

Essential habitat for one or more of the following species is found on and within 1.1 km of the identified subject lot/s or on and within 2.2 km of an identified coordinate on the accompanying essential habitat map.

This report identifies essential habitat in Category A, B and Category C areas.

The numeric labels on the essential habitat map can be cross referenced with the database below to determine which essential habitat factors might exist for a particular species.

Essential habitat is compiled from a combination of species habitat models and buffered species records.

The Department of Natural Resources and Mines website (<u>http://www.dnrm.qld.gov.au</u>) has more information on how the layer is applied under the State Development Assessment Provisions - Module 8: Native vegetation clearing and the Vegetation Management Act 1999.

Regional ecosystem is a mandatory essential habitat factor, unless otherwise stated.

Essential habitat, for protected wildlife, means a category A area, a category B area or category C area shown on the regulated vegetation management map-

1) (a) that has at least 3 essential habitat factors for the protected wildlife that must include any essential habitat factors that are stated as mandatory for the protected wildlife in the essential habitat database; or

2) (b) in which the protected wildlife, at any stage of its life cycle, is located.

Essential habitat identifies endangered or vulnerable native wildlife prescribed under the Nature Conservation Act 1994.

#### Essential habitat in Category A and B (Remnant vegetation species record) areas:1100m Species Information

Label	Scientific Name	Common Name	NCA Status	Vegetation Community	Altitude	Soils	Position in Landscape
802	Dasyurus maculatus gracilis	Spotted-tailed Quoll (northern subsp.)	E	Large tracts of rainforest (notophyli & mesophyli vine forest); occasionally recorded in adjacent wet sclerophyll forest. Den at ground level, e.g. hollow buttress roots, rock piles.	Sea level to 1600m.	no soil information	None
8942	Endiandra cooperana	None	E	lowland rainforest	0 to 100 m	colluvium	alluvial plain and terraces
6000	Archidendron kanisii	None	E	simple to complex mesophyll to notophyll vine forest	0 to 300 m	derived from mudstone, granite, metamorphic substrates (Chromosols, Sodosols, Vertosols, Hydrosols)	gullies and slopes
18500	Dissiliaria tuckeri	None	V	rainforest (complex mesophyll vine forest on granite)	0 to 300 m	alluvium, yellow podzolic soil, derived from granite substrates	creek flats and terraces, lower slopes
9419	Xanthostemon formosus	None	E	mesophyll vine forest on granite substrate	0 to 150 m	clay soil derived from granite (Tenosols, Rudosols, Chromosols, Sodosols)	creek bank and terraces
13885	Hymenophyllum kerianum	None	v	rainforests (mesophyll/notophyll vine forests)	0 to 350 m	no soil information, lithophyte or epiphyte (grows on trees and granite boulders and rocks)	rocky hill slopes, rocky creek banks, vertical rock faces/cliff edges
11792	Mesua larnachiana	None	V	lowland rainforest (complex notophyll to mesophyll vine forest)	0 to 350 m	soil derived from granite	alluvial terraces, creek banks, lower hill slopes
30316	Syzygium glenum	None	E	rainforest	0 to 200 m	Vertosols, Sodosols, Hydrosols	alluvial terraces, lower hill slopes
32507	Romnalda ophiopogonoides	None	V	complex mesophyll or notophyll vineforest	0 to 900 m	no soil information	hill slopes or ridges or rarely along drainage lines

#### Essential habitat in Category A and B (Remnant vegetation species record) areas:1100m Regional Ecosystems Information

Label	Regional Ecosystem (this is a mandatory essential habitat factor, unless otherwise stated)
802	7.11, 7.14, 7.21, 7.22, 7.23, 7.25, 7.26, 7.33, 7.34, 7.35, 7.310, 7.3.17, 7.3.20, 7.3.23, 7.3.35, 7.3.36, 7.3.37, 7.3.38, 7.3.42, 7.3.49, 7.3.50, 7.5.1, 7.5.2, 7.8.1, 7.82, 7.8.1, 7.84, 7.88, 7.8.11, 7.81, 7.8.13, 7.8.14, 7.8.16, 7.11.1, 7.11.2, 7.11.3, 7.11.7, 7.11.8, 7.11.12, 7.11.14, 7.11.23, 7.11.24, 7.11.25, 7.11.27, 7.11.28, 7.11.20, 7.11.30, 7.11.30, 7.11.2, 7.11.22, 7.11.23, 7.11.24, 7.11.27, 7.11.20, 7.11.20, 7.11.30, 7.11.31, 7.11.32, 7.11.38, 7.11.40, 7.12.1, 7.12.2, 7.12.6, 7.12.7, 7.12.10, 7.12.11, 7.12.2, 7.12.30, 7.12.30, 7.12.40, 7.12.40, 7.12.41, 7.12.40, 7.12.41, 7.12.40, 7.12.41, 7.12.40, 7.12.41, 7.12.40, 7.12.41, 7.12.40, 7.12.41, 7.12.40,
8942	7.3.4, 7.3.10
6000	7.3.17, 7.11.1, 7.12.1
18500	7.11.1, 7.12.1
9419	7.12.1
13885	7.11.1, 7.12.1
11792	7.3.17, 7.12.1
30316	7.3.17, 7.12.1, 7.12.39
32507	7.11.1, 7.12.1, 7.12.16, 7.12.19

#### Essential habitat in Category A and B (Remnant vegetation) areas:1100m Species Information

Label	bel Scientific Name Common Name NCA Status		Vegetation Community	Altitude	Soils	Position in Landscape	
1087	Casuarius casuarius johnsonii (southern population)	Southern Cassowary (southern population)	E	Dense lowland and highland tropical rainforest, closed gallery forest, eucalypt forest with vine forest elements, swamp forest and adjacent melaleuca swamps, litoral scrub, eucalypt woodland and mangroves, often using a habitat mosaic; will cross open eucalypt, canefields and dry ridges between rainforest patches.	Sea level to 1500m.	no soil information	None

#### Essential habitat in Category A and B (Remnant vegetation) areas:1100m Regional Ecosystems Information

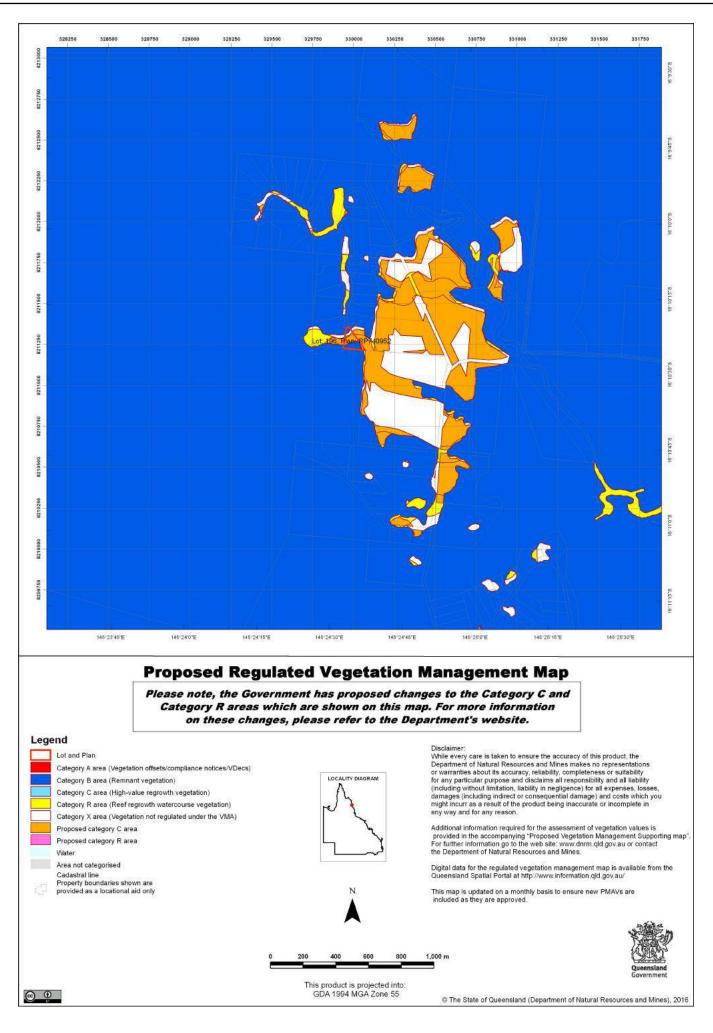
Label	Regional Ecosystem (this is a mandatory essential habitat factor, unless otherwise stated)			
1087	7.13, 7.21, 7.23, 7.24, 7.25, 7.26, 7.211, 7.31, 7.33, 7.34, 7.35, 7.36, 7.37, 7.38, 7.312, 7.312, 7.323, 7.325, 7.336, 7.337, 7.338, 7.81, 7.82, 7.83, 7.84, 7.87, 7.88, 7.814, 7.11.1, 7.112, 7.115, 7.115, 7.115, 7.117, 7.1110, 7.1112, 7.113, 7.1114, 7.1118, 7.1123, 7.1124, 7.1126, 7.1129, 7.1120, 7.1124, 7.122, 7.124, 7.122, 7.124, 7.125, 7.12, 7.121, 7.1219, 7.1209, 7.1209, 7.1200, 7.121, 7.121, 7.122, 7.124, 7.125, 7.121, 7.1219, 7.1209, 7.1209, 7.1200, 7.1209, 7.1200, 7.121, 7.121, 7.122, 7.124, 7.125, 7.127, 7.1219, 7.1219, 7.1200, 7.1299, 7.1200, 7.1291, 7.121, 7.121, 7.121, 7.121, 7.121, 7.121, 7.1219, 7.1200, 7.1200, 7.1200, 7.1201, 7.121, 7.122, 7.124, 7.1250, 7.1201, 7.1219, 7.1200, 7.1201, 7.1219, 7.1201, 7.1211, 7.115, 7.215, 7.1201, 7.1211, 7.1221, 7.			

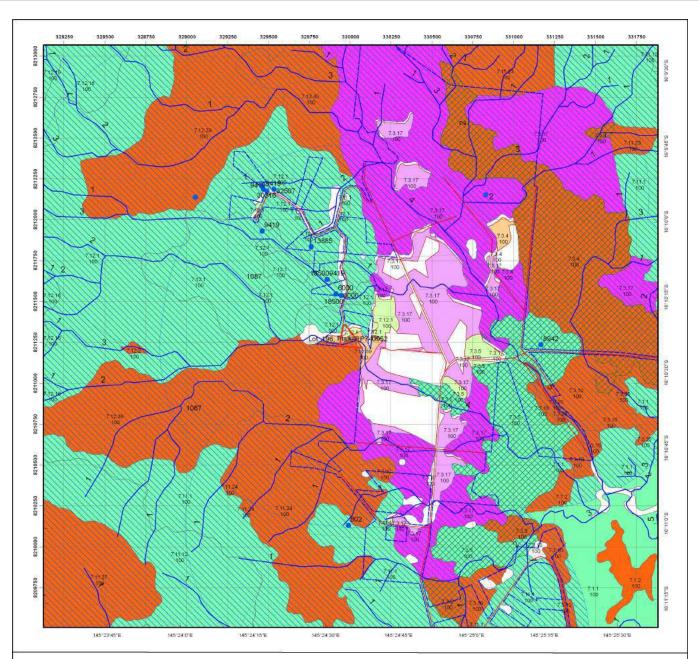
#### Essential habitat in Category C (High value regrowth vegetation) areas:1100m Species Information

(no results)

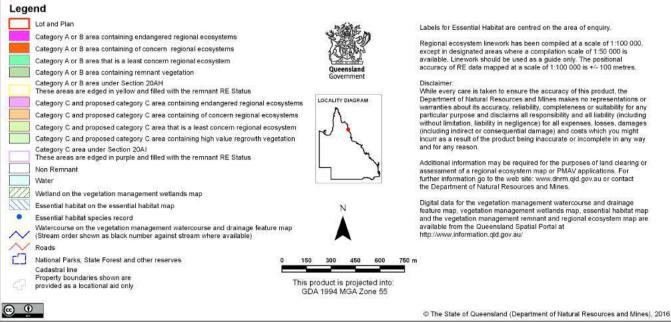
Essential habitat in Category C (High value regrowth vegetation) areas:1100m Regional Ecosystems Information

(no results)





# **Proposed Vegetation Management Supporting Map**



Labels for Essential Habitat are centred on the area of enquiry.

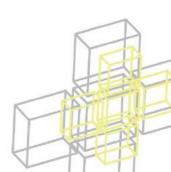
Regional ecosystem linework has been compiled at a scale of 1:100 000, except in designated areas where a compilation scale of 1:50 000 is available. Linework should be used as a guide only. The positional accuracy of RE data mapped at a scale of 1:100 000 is +/-100 metres,

Disclaimer: While every care is taken to ensure the accuracy of this product, the Department of Natural Resources and Mines makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might purpose and the product bake insecurate or incomplete in any using the product bake intercurate or incomplete in any using the product bake intercurate or incomplete in any using the product bake intercurate or incomplete in any using the product bake intercurate or incomplete in any using the product bake intercurate or incomplete intercurate or intercu incurr as a result of the product being inaccurate or incomplete in any way

Additional information may be required for the purposes of land clearing or assessment of a regional ecosystem map or PMAV applications. For further information go to the web site: www.dnrm.qld.gov.au or contact the Department of Natural Resources and Mines.

Digital data for the vegetation management watercourse and drainage feature map, vegetation management wetlands map, essential habitat map and the vegetation management remnant and regional ecosystem map are available from the Queenaland Spatial Portal at http://www.information.qld.gov.au/

Annexure D Adjoining Landowner Letters



"Daintree Secrets," 61 Stonewood Road, DIWAN, QLD, 4873.

20 July 2016

Ms Linda Cardew The Chief Executive Officer Douglas Shire Council PO Box 723 MOSSMAN QLD 4873

Dear Ms Cadew

# APPLICATION FOR BUILDING WORKS OTHER THAN MINOR BUILDING WORKS NOT ASSOCIATED WITH A MATERIAL CHANGE OF USE (HOUSE EXTENSION) AT 63 STONEWOOD ROAD, DIWAN

I confirm that I am the downstream neighbour of Dr Russell Joshua, whose residence is at 63 Stonewood Road, Diwan. My own property, "Daintree Secrets," provides tourism accommodation, with the principal views being upstream toward the Joshua residence.

This letter of support endorses the development of the Joshua residence for the purpose of a 'House Extension' consistent with the proposed work drawings that I have been provided with. The works envisaged by this application tend to re-orient the Joshua residence so that it also looks upstream, reducing overlooking concerns and augmenting privacy for my neighbouring property.

In that regard, Dr Joshua has also actively restored the rainforest on his land. Over the last two years, he has removed all exotic weeds and vine towers that were substantially suffocating and significantly degrading the remnant rainforest on the property, and has planted a great number of rainforest species. This has rendered his house almost invisible from mine, further improving my amenity.

Please contact the writer if you require any further information.

Yours faithfully

DR MARK MCGOVERN Phone: 0407 128 815 Email: info@daintreesecrets.com.au

Mr James Kerr Daintree Cascades Lot 202 Stonewood Road DIWAN QLD 4873

20 July 2016

Ms Linda Cardew The Chief Executive Officer Douglas Shire Council PO Box 723 MOSSMAN QLD 4873

Dear Ms Cadew

# APPLICATION FOR BUILDING WORKS OTHER THAN MINOR BUILDING WORKS NOT ASSOCIATED WITH A MATERIAL CHANGE OF USE (HOUSE EXTENSION) AT 63R STONEWOOD ROAD, DIWAN

I confirm that I am a neighbour of Dr Russell Joshua of 63R Stonewood Road, Diwan.

I hereby confirm that I support the development of the above-mentioned property for the purpose of a 'House Extension' consistent with the proposed work drawings that I have been provided with.

I would also like to acknowledge the effort that Dr Joshua has contributed to the restoration of the rainforest on the land at the aforementioned address. Since purchasing the property in November 2014, Dr Joshua at considerable expense over the last two years has removed all exotic weeds and vine towers that were substantially suffocating and significantly degrading the remnant rainforest on the property.

Dr Joshua's efforts have included removal of a range of exotic weeds including *Tristemma*, *Ageratum*, *Argyreia*, *Erechtites*, *Costus*, a running golden bamboo and the tree species *Spathodea* as well as damaging vine towers of *Gleichenia*, *Rubus* and *Merremia* species and replanting of the site using propagation materials obtained from the property and the immediate vicinity of the allotment. This has resulted in significant improvement to the condition of the rainforest on the property, as well as local amenity, including the view of Dr Joshua's property from my house.

I also note that the proposed work drawings I have sighted will further add to the amenity of the street scape and the Cooper Creek area.

Please contact the writer if you require any further information.

Yours faithfully

MR JAMES KERR Phone: 0467 221 836 Email: james@daintreecascades.com.au

Mr Les Doran Lot 197 Stonewood Road DIWAN QLD 4873

20 July 2016

Ms Linda Cardew The Chief Executive Officer Douglas Shire Council PO Box 723 MOSSMAN QLD 4873

Dear Ms Cadew

# APPLICATION FOR BUILDING WORKS OTHER THAN MINOR BUILDING WORKS NOT ASSOCIATED WITH A MATERIAL CHANGE OF USE (HOUSE EXTENSION) AT 63R STONEWOOD ROAD, DIWAN

I confirm that I am the neighbour of Dr Russell Joshua of 63R Stonewood Road, Diwan.

I hereby confirm that I support the development of the above-mentioned property for the purpose of a 'House Extension' consistent with the proposed work drawings that I have been provided with.

I would also like to acknowledge the effort that Dr Joshua has contributed to the restoration of the rainforest on the land at the aforementioned address. Since purchasing the property in November 2014, Dr Joshua at considerable expense over the last two years has removed all exotic weeds and vine towers that were substantially suffocating and significantly degrading the remnant rainforest on the property.

Dr Joshua's efforts have included removal of a range of exotic weeds including *Tristemma*, *Ageratum*, *Argyreia*, *Erechtites*, *Costus*, a running golden bamboo and the tree species *Spathodea* as well as damaging vine towers of *Gleichenia*, *Rubus* and *Merremia* species and replanting of the site using propagation materials obtained from the property and the immediate vicinity of the allotment. This has resulted in significant improvement to the condition of the rainforest on the property, as well as local amenity, including the view of Dr Joshua's property from my house.

I also note that the proposed work drawings I have sighted will further add to the amenity of my property by adding significantly to the privacy of my home.

Please contact the writer if you require any further information.

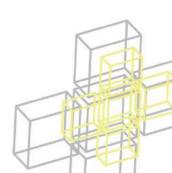
Yours faithfully

MR LES DORAN Phone: Email:

Aldon.

Annexure E

Pre-lodgement Response dated 19 February 2016





PO Box 723 Mossman Qld 4873 www.douglas.qld.gov.au enquiries@douglas.qld.gov.au ABN 71 241 237 800

YOUR REF: 15-23/L000486 OUR REF: 767775 56 Administration Office 64 - 66 Front St Mossman P 07 4099 9444 F 07 4098 2902

19 February 2016

Dr Russell Joshua C/- Planning Plus PO Box 8046 Cairns Qld 4870

Attention: Claire Simmons

Dear Sir

### RESPONSE TO PRE-LODGEMENT ENQUIRY HOUSE EXTENSION – DECK AND UNDERCOVER CARPARKING 63R STONEWOOD ROAD DIWAN – L196 ON RP740952

Reference is made to your Pre-lodgement Enquiry (Council document reference 764791) regarding a house extension at 63R Stonewood Road, Diwan, also described as Lot 196 on RP740952.

# Proposal

The proposal presented to Council includes removal of a small deck and walkway, and the proposed extension of the house to include a small front deck and a large side deck with understorey carparking. The total area proposed to be removed is approximately 35.88m<sup>2</sup> and total area to be added (not including the understorey carparking) is 137.4m<sup>2</sup>. The total increase in area is approximately 101.52m<sup>2</sup>. The existing dwelling appears to have a gross floor area of around 180m<sup>2</sup>.

Clearing of the site of the proposed development has already been undertaken and was allegedly clearing of wild raspberry and an African Tulip tree.

# **Planning Scheme**

Under the 2006 Douglas Shire Planning Scheme, the site is within the Settlement Areas North of the Daintree River Locality, Conservation Planning Area and Rainforest Conservation Precinct. The clear intention of the planning scheme is first to the conserve the biodiversity and habitat values of the area, and then to allow limited development to meet the needs of residents. As would be anticipated in land with this kind of planning designation, development is closely managed.

The proposed use is - Building Works other than Minor Building Work not associated with a material change of Use. This type of development is Code assessable.



The proposal may be supported under the planning scheme if it can be demonstrated that the requirements of the code can be met. Of particular relevance to the consideration of this proposal are the provisions relating to the Settlement Areas North of the Daintree River Locality Code - Central Management Area – Rainforest Conservation Precinct. In summary the provisions require that:

r summary me provisions require mat.

, · ·

- No new development occurs, except
- Minor extensions limited to a maximum area of 30% of the existing gross floor area of the house; and
- · Where land has previously been lawfully cleared.

The proposed extension exceeds 30% of the existing gross floor area of the house and is on land that has recently been cleared.

Any application will need to demonstrate the type of vegetation that has recently been cleared and subsequently show that the biodiversity and habitat values have not been impacted. The relevant Performance Criteria P27 requires "The biodiversity value of the area and the habitat of endemic species is protected on land included in the Rainforest Conservation Precinct". Any exception requested to the minimum 30% expansion will first rely on the demonstration that the biodiversity and habitat values have not been impacted.

The calculation of area is primarily concerned with the site area consumed by the development and the understory of the deck does not need to be included in this calculation.

Although the height of the proposed development appears likely to exceed the 6.5m permitted by the planning scheme, it is considered this height is likely to remain below the tree canopy and will not be visible from the surrounding area. The small discrepancy is considered negligible in this circumstance.

In addition to the above, please outline the purpose of the concrete apron proposed between the carport and the top of bank.

# Lodgement Fee

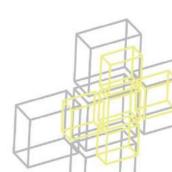
At the date of this letter, the development application fee is "House (Code Assessable)" \$297.35.

Should you require any further information or assistance, please contact Julie Colman of Sustainable Communities - Planning, on telephone number 0447 023 612, 4099 9457, or by email on julie.colman@douglas.gld.gov.au.

Yours faithfully

Paul Hove General Manager Operations

Annexure F Code Assessment – Douglas Shire Planning Scheme 2006





	PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
Ger	neral Requirements – All Development in this L	ocality				
P1	The Height of Buildings and structures is subservient to the surrounding environment and is in keeping with the unique character of the Locality.	A1.1	In the Planning Areas in this Locality the maximum Height of Buildings/structures is 6.5 metres and 2 Storeys. In addition, the roof or any ancillary roof features do not exceed a maximum Height of 3.5 metres.		Proposal complies. No increase in building height is proposed as part of the development.	
P2	Development is connected to sustainable on Site infrastructure services.	A2.1	Water storage is provided in tank/s with a minimum capacity to service the proposed use, including fire fighting capacity, and Access to the tank/s for fire trucks. Tank/s to be fitted with a 50 mm ball valve with a camlock fitting and installed and connected prior to occupation and sited so as to be visually unobtrusive.	N/A	Not applicable.	
		A2.2	Water storage tanks are to be fitted with screening at the inlet to prevent the intrusion of leaves and insects. On any roof exceeding 100 m2, gutters are installed and the flow diverted to a storage tank.	N/A	Not applicable.	

Solution:  $\checkmark$  = Acceptable Solution A/S = Alternative Solution N/A = Not applicable to this proposal

Annexure F



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A2.3 An environmentally acceptable and energy efficient power supply is constructed, installed and connected prior to occupation and sited so as to be screened from the road.	N/A	Not applicable.	
	(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).			
P3 Onsite wastewater does not adversely impact on the environmental quality of the water and soil resources or the amenity of residents, through the implementation of best environmental practice.	No Acceptable Solution. (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	N/A	Not applicable.	
P4 The sustainability of the natural water resources of the area is protected for ecological and domestic consumption purposes.	<ul> <li>A4.1 If groundwater is to be used development is limited to one bore per site and the bore is:</li> <li>Not located within 100 metres of a septic disposal trench (on the Site or adjoining Sites); and</li> <li>not located within 100 metres of another bore.</li> </ul>	N/A	Not applicable.	
Solution: $\checkmark$ = Acceptable Solution A/S = Alternative Solution N/A = Not applicable to this propo	bsal			Annexure F



	PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
		A4.2	Surface water is to be used for domestic purposes only.	N/A	Not applicable.	
P5	Development does not adversely on areas of sensitive natural vegetation, foreshore areas, Watercourses and areas of tidal inundation which contribute to the Scenic Amenity and the natural values of the Locality.		No Acceptable Solution. (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	✓	Proposal complies. The proposal does not compromise the natural vegetation located on site, and is to be located on an existing cleared house pad.	
P6	Development is subservient to the surrounding natural environment in scale and intensity and is designed to be energy efficient and functional in a humid tropical rainforest environment.	A6.1	The exterior finishes and colours of Buildings are non-reflective and complement the colours of the surrounding vegetation and viewshed.	✓	Proposal complies/is capable of complying.	
		A6.2	Buildings must be designed such that natural light is maximized and the need for internal lighting during daylight hours is minimized.	✓	Proposal complies.	
		A6.3	The development incorporates building design features and architectural elements detailed in Planning Scheme Policy No 2 – Building Design and Architectural Elements.	1	Proposal complies/is capable of complying.	

Solution:  $\checkmark$  = Acceptable Solution





PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
		The noise of generators is controlled by design or the generator is enclosed in a sound insulated building with a residential approved muffler. The noise level generated is less than 65 dBA when measured from a distance of 7 metres.	N/A	Not applicable.	
	9	Any fuel storage associated with an on site generator and storage of 20 Litres or more of fuel is enclosed in a building and bunded.	N/A	Not applicable.	
<b>P7</b> Landscaping of development Sites ensures the native landscape character of the Locality is dominant.	i I	Landscaping utilises only native species and complies with the requirements of Planning Scheme Policy No 7 – Landscaping.	✓	Proposal complies/is capable of complying.	
	,	AND			
	ז ן פ	All of the existing Landscaping to be retained and all of the proposed Landscaping is 100% endemic or native species and the details are provided on a Landscape Plan.			



	PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
P8	Site Access driveways and Roads within the Locality are retained as safe, slow speed, scenic drives.	A8.1	Site Access driveways and existing or proposed Roads comply with the relevant requirements of Planning Scheme Policy No 6 – FNQROC Development Manual and are maintained as low speed gravel Roads to maintain the scenic drive experience and to discourage the use of Roads by through-traffic.	N/A	Not applicable. The proposed development will continue to utilise the existing driveway.	
			Where existing Roads/tracks are 4 wheel drive only, upgrading to facilitate conventional vehicles and an increase in through-traffic does not occur.			
P9	The onsite impacts on natural flow regimes and erosion and sedimentation are minimised.	A9.1	Excavation and Fill is kept to a minimum and involves not more than 5% of the cleared are of the lot.	✓	Proposal complies/is capable of complying.	
		A9.2	All exposed surfaces must incorporate erosion and sediment controls during construction and must be maintained until revegetation or other permanent stabilization has occurred.	✓	Proposal complies/is capable of complying.	
		A9.3	There is no disturbance to tree roots and trenching does not involve any damage to tree roots.	✓	Proposal complies/is capable of complying.	



PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION1	COMMENTS	COUNCIL USE ONLY
	A9.4	On Site drainage and stormwater management:	✓	Proposal complies/is capable of complying.	
		P1 maintains natural flow regimes;			
		P2 minimises impervious surfaces;			
		P3 avoids concentration of flows, but where there is any form of concentration of flow, energy dissipation measures are installed at the outlet to avoid erosion (eg: rock rip rap, gravel beds, diffusers etc).			
<b>P10</b> The land use aspirations in any Indigenous Land Use Agreement (ILUA) are acknowledged and facilitated.	A10.1	Development is consistent with any ILUA relating to the land and the relevant provisions of the Planning Scheme.	N/A	Not applicable.	
General Requirements - House					
<b>P11</b> Development minimises the loss of vegetation and habitat connectivity on Site and is sited to protect the environmental values of the Site.	A11.1	The elements of development and Access to the site are included in a Designated Development Area (DDA).	✓	Proposal complies. The proposed development is an extension of the existing dwelling and is to be located on the existing cleared building pad.	
	A11.2	Development is sited in an existing cleared area or in an area approved for Clearing under the Local Law – Vegetation Management but which is not cleared until a Building Permit is issued.	✓	Proposal complies. The proposed development is an extension of the existing dwelling and is to be located on the existing cleared building pad.	



PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A11.3	Any new Clearing is limited to a maximum area of 700 m2 and is sited clear of the High Bank of any Watercourse.	~	Proposal complies.	
		(The 700m2 area of new Clearing does not include an access driveway).			
<b>P12</b> All existing native vegetation on a House Site, other than that required and approved to be cleared to provide for the construction of a House and Access thereto, is protected to ensure the environmental integrity of the Locality.	A12.1	No Acceptable Solution. (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	~	Proposal complies.	
<b>P13</b> Wildlife movement, fauna habitat and habitat corridors are protected and domestic impacts minimised.	A13.1	Fences are limited in extent to the confines of the cleared area around the House and any associated gates are self closing.	N/A	Not applicable.	
	A13.2	External lighting is to be kept to the minimum necessary for orientation, safety and security. Flood lights must not point up and areas of retained vegetation should, in general, not be illuminated. Where appropriate, outdoor lights are controlled by movement detectors and/or have timers	~	Proposal complies/is capable of complying.	

N/A = Not applicable to this proposal





PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
<b>P14</b> House Sites have efficient and safe vehicle Access and manoeuvring areas on Site and to the Site to an acceptable standard for the Locality.	A14.1	Vehicle Access is limited to one access per lot and sited in an approved location clear of significant vegetation, any Watercourse or steep slopes.	~	Proposal complies. No changes to access are proposed.	
	A14.2	Vehicular Access, with a maximum width of 4 metres, follows the contours of the Site, avoids large tree specimens or significant vegetation and habitat corridors and is constructed and maintained to a minimum gravel standard of 75 mm of road base on a compacted soil surface.	N/A	Not applicable.	
	A14.3	Vehicular Access is constructed prior to the construction of the House.	N/A	Not applicable.	
General Requirements – Tourist and Commercial	/Commu	nity Development			
<b>P15</b> Development minimises the loss of vegetation and habitat connectivity on Site and is sited to protect the environmental values of the site.		The elements of development and Access to the site are included in a Designated Development Area (DDA).	N/A	Not applicable.	



PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A15.2	Development is sited in an existing cleared area.	N/A	Not applicable.	
		AND			
		Where the existing cleared area is greater than that required for the use, the balance of the clearing is revegetated and rehabilitated. OR Where no clearing exists, development is sited in an area approved for clearing under the Local Law – Vegetation Management but which is not cleared until a Building Permit is issued.			
	A15.3	Any new clearing is limited to a maximum area of 700 m2 and is sited clear of the High Bank of any Watercourse.	N/A	Not applicable.	
		(The 700 m2 of new clearing does not include an access driveway).			
<b>P16</b> Development is sited so that it is not clearly visible from any public Road or public viewing point.	A16.1	Any Tourist or other development is effectively screened from view either by existing native vegetation located within the Setback area/s or by the planting of additional native trees identified on an approved Landscape Plan prepared by a suitably qualified professional and lodged at Development Application stage.	N/A	Not applicable.	

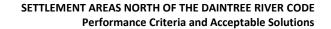
A/S = Alternative SolutionN/A = Not applicable to this proposal





PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A16.2	Any Commercial development, which relies on passing trade, is partially screened from the Road Frontage by filtered views using native vegetation located within the Setback area/s or by the planting of additional native trees identified on an approved Landscape Plan prepared by a suitably qualified professional and lodged at Development Application stage.	N/A	Not applicable.	
<b>P17</b> Native fauna, their habitat and corridors are protected from development or the impact of the operations of the development.	A17.1	No fences or barriers are Erected within 10 metres of an area identified as a fauna habitat or corridor and no perimeter fences or barriers are Erected around the development Site.	N/A	Not applicable.	
<b>P18</b> Development Sites have efficient and safe vehicle Access and manoeuvring areas on Site and to the Site, to an acceptable standard for the Locality.	A18.1	of 6 metres is sited in an approved location, follows the contours of the Site, avoids large tree specimens or significant vegetation and habitat corridors, is clear of significant vegetation, any Watercourse or steep slopes and is constructed and maintained to a standard commensurate with the use.	N/A N/A	Not applicable.	
<b>P19</b> The establishment of a Caretaker's Residence reduces traffic impacts in the Locality.	A19.1	· · · · · · · · · · · · · · · · · · ·	N/A	Not applicable.	

A/S = Alternative SolutionN/A = Not applicable to this proposal





PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>		COMMENTS	COUNCIL USE ONLY		
Specific Provisions for the Settlement Area of Degarra/Bloomfield								
<b>P20</b> For the future economic and social well being of all residents, opportunities are provided for local commercial development and employment opportunities in the Degarra/Bloomfield area.	A20.1	The development of commercial activities at Degarra/Bloomfield which service the residents of the local area and passing tourists/travellers are to occur in the area designated for that purpose on the Locality Map subject to an assessment of the opportunities and constraints of the Site.	N/A	Not applicable.				
	A20.2	Home Industry uses are also supported generally in the Degarra/Bloomfield area, subject to an assessment of the opportunities and constraints of the Site.	N/A	Not applicable.				
<b>P21</b> For the future social well being of residents of the Wujal Wujal Community, alternative-housing options will be supported in the Degarra/Bloomfield area.	A21.1	Within the area designated for that purpose on the Locality Map the development of Outstations/Seasonal Camps will be supported, provided:	N/A	Not applicable.				
		• the number of Expanded Houses is limited to a maximum of one Expanded House for every 500 m 2 of Site area;						
		AND						
		• the siting and design of any Expanded Houses takes account of the opportunities and constraints of the Site.						



PERFORMANCE CRITERIA	PERFORMANCE CRITERIA ACCEPTABLE SOLUTIONS		SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A21.2	Other community services and facilities may also be supported by Council within this designated area on the Locality Map, subject to an assessment of the opportunities and constraints of the Site.	N/A	Not applicable.	
<b>P22</b> The development of recreational facilities to service the local community at Degarra/Bloomfield is supported and encouraged.	A22.1	the Bloomfield River, is developed for a multi purpose sporting complex (including clubhouse and ancillary facilities) to service the local community	N/A	Not applicable.	
	A22.2	The design and siting of a multi purpose sporting complex on part of Lot 10 takes account of the opportunities and constraints of the Site.	N/A	Not applicable.	



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY			
Specific Provisions for the Settlement Areas of Daintree Lowlands Northern Management Area – Cape Tribulation to Thornton Beach Rainforest Conservation Precinct							
P23 The biodiversity value of the area and the habitat of endemic species is protected on land included in the Rainforest Conservation Precinct.	<ul> <li>A23.1 No new development occurs in the Rainforest Conservation Precinct whether on vacant land or already developed land.</li> <li>EXCEPT THAT Vacant land which meets one or more of the following criteria and is listed on Council's Register: <ul> <li>(a) Land which has previously been lawfully cleared and currently remains cleared; or</li> <li>(b) Land which is the subject of a current Clearing Permit but has yet to be cleared; or</li> <li>(c) Land which is the subject of a current Operational Works Permit, can be developed for a House or, where appropriate, a Caretaker's Residence, subject to compliance with all the relevant Codes.</li> </ul> </li> <li>IN ADDITION Minor extensions can be undertaken to an existing development.</li> </ul>	N/A	Not applicable.				



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	PROVIDED			
	The extensions are limited to a maximum area of 30% of the existing gross floor area for a House.			
	OR			
	The extent of extensions are determined on a site specific/use specific basis for other land uses.			
	AND PROVIDED			
	No further on site clearing is required to accommodate the extensions for either a House or any other land use development.			
Rainforest Residential Precinct				
<b>P24</b> Land included in the Rainforest Residential Precinct is only developed for a House and Bed and Breakfast Accommodation where it can be demonstrated that the scale of the Bed and Breakfast Accommodation can establish on the site and not detrimentally impact on the environmental or scenic values of the Site and the surrounding area.	<b>A24.1</b> Development in the Rainforest Residential Precinct is limited to one House per lot.	N/A Not applicable		



PERFORMANCE CRITERIA	ACCI	EPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	Accom the Ra	shment of Bed and Breakfast modation only occurs on land in inforest Residential Precinct on a House has been approved and icted.	N/A	Not applicable.	
	AND				
	the la Enviror location protect	ed to existing cleared areas on and confirmed by Council's mental Officer as a preferred n/s for development, in order to the integrity of existing tion on the site.			
	EXCEPT THAT				
	an exis existing	d Breakfast can establish within sting House where there is no g cleared area to facilitate poment in separate building/s.			
	establis	d Breakfast Accommodation only shes in accordance with the ng criteria:	N/A	Not applicable.	
	Spaces	aximum of 4 bedrooms (8 Bed ) where a site has a minimum 4 hectares;			
	Spaces	aximum of 3 bedrooms (6 Bed ) where a site has a minimum 3 hectares;			
	Spaces	aximum of 2 bedrooms (4 Bed ) where a site has a minimum 2 hectares; and			
	Spaces	haximum of 1 bedroom (2 Bed ) where a site has a minimum 1 hectare.			
Solution: $\checkmark$ = Acceptable Solution					

A/S = Alternative SolutionN/A = Not applicable to this proposal



PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
		Development on any site in the Rainforest Residential Precinct with frontage to the Esplanade is setback from the Esplanade 250 metres,	N/A	Not applicable.	
	EXCEPT	THAT			
		Lots 2 and 3 on RP 726706 have a minimum development setback from the Esplanade of 100 metres.			
	UNLESS				
		An existing clearing exists on site and is confirmed by Council's Environmental Officer as a preferred location for			
		development, in order to protect the integrity of existing vegetation on the site.			
Rainforest Tourism Precinct	1			1	1
<b>P25</b> Development on land in the Rainforest Tourism Precinct complements, protects and enhances the environmental and scenic values of the site.	A25.1	Only one House establishes per lot.	N/A	Not applicable.	
	A25.2	Development in the Rainforest Tourism Precinct is limited to existing cleared areas on the site.	N/A	Not applicable.	
	A25.3	No development is to occur above the 60m contour line.	N/A	Not applicable.	
	A25.4	Any new Primary Industry activity or a change in Primary Industry activity has minimal impact on the existing natural values of the Site and the surrounding area.	N/A	Not applicable.	

A/S = Alternative Solution

N/A = Not applicable to this proposal



PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A25.5	Rural activities are carried out in accordance with a Property Management Plan.	N/A	Not applicable.	
	A25.6	-	N/A	Not applicable.	
		(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).			
<b>P26</b> Large partially cleared sites are revegetated and rehabilitated in association with small scale environmentally sustainable development.	A26.1	Lots with a maximum area greater than 65 hectares and containing cleared areas are developed for Forest Stay Accommodation or Staff Quarters.	N/A	Not applicable.	
	A26.2	Any Forest Stay Accommodation is limited to a maximum of 20 guests (20 Bed Spaces) and provides staff accommodation for a minimum of 6 staff (6 Bed Spaces).	N/A	Not applicable.	



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
A2	<b>6.3</b> Any Staff Quarters accommodates a maximum of 26 staff (26 Bed Spaces).	N/A	Not applicable.	
AN	D			
	Contains a mix of accommodation types, in the form of both self contained and non-self contained accommodation.			
AN	D			
	The Staff Quarters remain on one land			
	title with the provision of communal			
	recreation areas and car parking areas for the use of tenants.			



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
Central Management Area – Upper Cooper Creek t	o McLean Creek			
Rainforest Conservation Precinct				
P27 The biodiversity value of the area and the habitat of endemic species is protected on land included in the Rainforest Conservation Precinct.	A27.1 No new development occurs in the Rainforest Conservation Precinct whether on vacant land or already developed land. EXCEPT THAT Vacant land which meets one or more of the following criteria and is listed on Council's Register: (d) Land which has previously been lawfully cleared and currently remains cleared; or (e) Land which is the subject of a current Clearing Permit but has yet to be cleared; or (f) Land which is the subject of a current Operational Works Permit, can be developed for a House or, where appropriate, a Caretaker's Residence, subject to compliance with all the relevant Codes. IN ADDITION Minor extensions can be undertaken to an existing development. PROVIDED The extensions are limited to a maximum area of 30% of the existing gross floor area for a House.		Proposal complies. The proposed development is to be located on the existing cleared house pad which was previously cleared as part of the initial build of the dwelling, prior to the Applicant purchasing the property. The house pad has remained cleared throughout the time that the Applicant has owned the property. No further onsite clearing is required or proposed to accommodate the proposed extensions.	

A/S = Alternative Solution

N/A = Not applicable to this proposal



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	The extent of extensions are determined on a site specific/use specific basis for other land uses.			
	AND PROVIDED			
	No further on site clearing is required to accommodate the extensions for either			
	a House or any other land use development.			
Rainforest Residential Precinct				
<b>P28</b> Land included in the Rainforest Residential Precinct is only developed for a House and Bed and Breakfast Accommodation where it can be demonstrated that the scale of the Bed and Breakfast Accommodation can establish on the site and not detrimentally impact on the environmental or scenic values of the Site and the surrounding area.	A28.1 Development in the Rainforest Residential Precinct is limited to one House per lot.	N/A	Not applicable.	





PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A28.2	Establishment of Bed and Breakfast Accommodation only occurs on land in the Rainforest Residential Precinct on which a House has been approved and constructed.	N/A	Not applicable.	
		AND			
		Is limited to existing cleared areas on the land confirmed by Council's Environmental Officer as a preferred location/s for development, in order to protect the integrity of existing vegetation on the site.			
	EXCEPT	ТНАТ			
		Bed and Breakfast can establish within an existing House where there is no existing cleared area to facilitate development in separate building/s.			
	A28.3	Bed and Breakfast Accommodation only establishes in accordance with the following criteria:	N/A	Not applicable.	
		- a maximum of 3 bedrooms (6 Bed Spaces) where a site has a minimum area of 3 hectares.			
Rainforest Tourism Precinct					
<b>P29</b> Development on land in the Rainforest Tourism Precinct complements, protects and enhances the environmental and scenic values of the site.	A29.1	Only one House establishes per lot.	N/A	Not applicable.	
	A29.2	Development in the Rainforest Tourism Precinct is limited to existing cleared areas on the Site.	N/A	Not applicable.	

A/S = Alternative Solution

N/A = Not applicable to this proposal





PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A29.3 Any new Primary Industry activity change in Primary Industry activity minimal impact on the existing n values of the Site and the surrou area.	ty has atural	Not applicable.	
	A29.4 Rural activities are carried o accordance with a Pro Management Plan.	ut in <b>N/A</b> operty	Not applicable.	
	A29.5 The balance area of the Develop Site, including any existing cl area/s not identified for develop is/are revegetated / rehabilitate accordance with a Landscaping Pla	eared oment ed in	Not applicable.	
	(Information that the Council request to demonstrate comp with the Performance Criter outlined in Planning Scheme Poli 10 – Reports and Informatior Council May Request, for code impact assessable development).	liance ia is cy No n the		
<b>P30</b> Large partially cleared sites are revegetated and rehabilitated in association with small scale environmentally sustainable development.	<b>A30.1</b> Lots with a maximum area greater 100 hectares and containing cl areas are developed for Forest Accommodation.	leared	Not applicable.	
	A30.2 Any Forest Stay Accommodati limited to a maximum of 20 gues Bed Spaces) and provides accommodation for a minimum staff (6 Bed Spaces).	ts (20 staff	Not applicable.	

A/S = Alternative Solution

N/A = Not applicable to this proposal





PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>		COMMENTS	COUNCIL USE ONLY
<b>P31</b> Medium sized partially cleared sites are revegetated and rehabilitated in association with small scale environmentally sustainable development.	A31.1	Lots with a maximum area greater than 10 hectares and containing cleared areas are developed for Forest Stay Accommodation.	N/A	Not applicable.		
	A31.2	Any Forest Stay Accommodation is limited to a maximum of 10 guests (10 Bed Spaces) and provides staff accommodation for a minimum of 4 staff (4 Bed Spaces).	N/A	Not applicable.		
<b>P32</b> Small cleared sites are revegetated and rehabilitated in association with small scale environmentally sustainable development.	A32.1	Establishment of Bed and Breakfast Accommodation only occurs on land in the Rainforest Tourism Precinct on which a House has been approved and constructed.	N/A	Not applicable.		
	AND	Is limited to existing cleared areas on the land confirmed by Council's Environmental Officer as a preferred location/s for development, in order to protect the integrity of existing vegetation on the site.				
	EXCEPT	THAT Bed and Breakfast can establish within an existing House where there is no existing cleared area to facilitate development in separate building/s.				



PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A32.2	Bed and Breakfast Accommodation only establishes in accordance with the following criteria:	N/A	Not applicable.	
		• a maximum of 3 bedrooms (6 Bed Spaces) where a site has a minimum area of 3 hectares.			
<b>P33</b> A range of suitable options for access and transportation are provided for residents and tourists.	A33.1	Any limited commercial airport facility to service the local area is only established on the existing Cow Bay Airstrip located on Lot 551 on RP 748411.	N/A	Not applicable.	
	A33.2	Any proposed upgrading of the Cow Bay Airstrip for small scale commercial purposes must only occur if the residential and general amenity of the area is protected.	N/A	Not applicable.	
Rainforest Commercial/Community Pre	ecinct				
<b>P34</b> Commercial development is located in a convenient location and meets the requirements of the local community and visitors to the area.	A34.1	Commercial development is located within the Rainforest Commercial/Community Precinct on Cape Tribulation Road at Cow Bay.	N/A	Not applicable.	
<b>P35</b> Community facilities are protected and established for the use of local residents in convenient locations, central to residential settlement. New community facilities establish, taking into account the environmental integrity of the site.	<b>A35.1</b> AND	Community facilities are located and established within the Rainforest Commercial/Community Precinct at Diwan and the Alexandra Bay Primary School.	N/A	Not applicable.	
		The QPWS Ranger Station site, being Lot 42 on RP 739765, is developed and the Ranger Station sited and operated taking into account the environmental integrity of the site.			

A/S = Alternative Solution

N/A = Not applicable to this proposal



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
Eastern Management Area – Cow Bay				
Rainforest Conservation Precinct				
<b>P36</b> The biodiversity value of the area and the habitat of endemic species is protected on land included in the Rainforest Conservation Precinct.	A36.1 No new development occurs in the Rainforest Conservation Precinct whether on vacant land or already developed land.	N/A	Not applicable.	
	EXCEPT THAT			
	Vacant land which meets one or more of the following criteria and is listed on Council's Register:			
	(g) Land which has previously been lawfully cleared and currently remains cleared; or			
	(h) Land which is the subject of a current Clearing Permit but has yet to be cleared; or			
	(i) Land which is the subject of a current Operational Works Permit, can be developed for a House or, where appropriate, a Caretaker's Residence, subject to compliance with all the relevant Codes.			
	IN ADDITION			
	Minor extensions can be undertaken to an existing development. PROVIDED The extensions are limited to a maximum area of 30% of the existing gross floor area for a House.			
	OR			

A/S = Acceptable SolutionA/S = Alternative SolutionN/A = Not applicable to this proposal



PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>		COMMENTS	COUNCIL USE ONLY
		the extent of extensions are determined on a site specific/use specific basis for other land uses.				
	AND PI	ROVIDED				
		no further on site clearing is required to accommodate the extensions for either a house or any other land use development.				
Rainforest Residential Precinct						
<b>P37</b> Land included in the Rainforest Residential Precinct is only developed for a House.	A37.1	Development in the Rainforest Residential Precinct is limited to one House per lot.	N/A	Not applicable.		
Rainforest Tourism Precinct						
<b>P38</b> Development on land in the Rainforest Tourism Precinct complements, protects and enhances the environmental and scenic values of the site.	A38.1	Only one House establishes per lot	N/A	Not applicable.		
	A38.2	No development is to occur above the 60 metre contour line.	N/A	Not applicable.		
	A38.3	Any new Primary Industry activity or a change in Primary Industry activity has minimal impact on the existing natural values of the site and on the surrounding area.	N/A	Not applicable.		
	A38.4	Rural activities are carried out in accordance with a Property Management Plan.	N/A	Not applicable.		

A/S = Alternative Solution

N/A = Not applicable to this proposal





PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
	A38.5	The balance area of the Development Site, including any existing cleared area/s not identified for development is/are revegetated / rehabilitated in accordance with a Landscaping Plan.	N/A	Not applicable.	
		(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).			
<b>P39</b> Medium partially cleared sites are revegetated and rehabilitated in association with small scale environmentally sustainable development.	A39.1	Lots with a maximum area greater than 30 hectares and containing cleared areas are developed for Forest Stay Accommodation.	N/A	Not applicable.	
	A39.2	Any Forest Stay Accommodation is limited to a maximum of 10 guests (10 Bed Spaces) and provides staff accommodation for a minimum of 4 staff (4 Bed Spaces).	N/A	Not applicable.	
Rainforest Commercial/Community Pre	ecinct				
<b>P40</b> Community facilities are protected and established for use by local residents, in convenient locations and have no detrimental impact on the environment.	A40.1	The Waster Transfer Station located within the Commercial /Community Precinct on Cedar Road is operated under stringent environmental controls to protect the environmental integrity of the area.	N/A	Not applicable.	



PERFORMANCE CRITERIA		ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY				
Specific Provisions for the Settlement Areas of Fo	pecific Provisions for the Settlement Areas of Forest Creek and Cape Kimberley								
<b>P41</b> Development in the Rural Settlement Planning Area consolidates and protects the values of the area and provides for Houses and where appropriate, Bed and Breakfast Accommodation.		Only one House per lot is allowed in the Rural Settlement Planning Area.	N/A	Not applicable.					
	A ti	Establishment of Bed and Breakfast Accommodation only occurs on land in he Rural Settlement Planning Area on which a House has been approved and constructed.	N/A	Not applicable.					
	AND								
	ti E Io	s limited to existing cleared areas on he land confirmed by Council's invironmental Officer as a preferred ocation/s for development, in order to protect the integrity of existing regetation on the site.							
<b>P42</b> Land included in the Rural Planning Area is only developed for rural and/or tourism accommodation purposes which complement the values of the area.	<b>A42.1</b> C	Only one House establishes per lot.	N/A	Not applicable.					
	c h n	Any new Primary Industry activity or a change in the Primary Industry activity has minimal impact on the existing natural values of the Site and the urrounding area.	N/A	Not applicable.					
	<b>A42.3</b> R	Rural activities are carried out in accordance with a Property Management Plan.	N/A	Not applicable.					

A/S = Alternative Solution

N/A = Not applicable to this proposal



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>		COMMENTS	COUNCIL USE ONLY
A42.4	The balance area of the Development Site, including any existing cleared area/s not identified for development is/are revegetated / rehabilitated in accordance with a Landscaping Plan.	N/A	Not applicable.		
	(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and				
	impact assessable development).				

A/S = Alternative Solution

N/A = Not applicable to this proposal



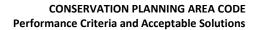
PEF	RFORMANCE CRITERIA	ACCEP	TABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
Со	nsistent and Inconsistent Uses - General					
P1	The establishment of uses is consistent with the outcomes sought for the Conservation Planning Area.	A1.1	Uses identified as inconsistent uses in the Assessment Tables are not established in the:	✓	Proposal complies. The proposed development is code- assessable.	
			<ul> <li>Conservation Planning Area.</li> </ul>			
		OR				
			• In the four Precincts included in the Conservation Planning Area in the Settlement Areas North of the Daintree River Locality			
Site	e Coverage					
P2	The Site Coverage of all Buildings does not have an adverse effect on the conservation or Scenic Amenity values of the Site and Buildings are subservient to the natural environment.	A2.1	Development is sited in an existing cleared area or in an area approved for Clearing under the Local Law – Vegetation Management but which is not cleared until a Building Permit is issued. Any Clearing is limited to a maximum area of 700 m2 and is sited clear of the High Bank of any Watercourse. (The 700 m2 area of new Clearing does not include an access driveway.)	*	Proposal complies. The proposed development is to be located on the existing cleared house pad which was previously cleared as part of the initial build of the dwelling, prior to the Applicant purchasing the property. The house pad has remained cleared throughout the time that the Applicant has owned the property. No further onsite clearing is required or proposed to accommodate the proposed extensions.	
			Water storage tanks are to be fitted			
			with screening at the inlet to prevent the intrusion of leaves and insects.			



PER	FORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
Buil	ding/Structure Setbacks				
Ρ3	Buildings/structures are Setback from the boundaries of the Site so they are screened from view from the boundaries of adjoining properties and adjoining Roads and so that the Scenic Amenity values of the area are not adversely affected.	<ul> <li>A3.1 Buildings are Setback not less than:</li> <li>a minimum of 40 metres from the Frontage of a State-Controlled Road; or</li> <li>a minimum of 25 metres from Cape Tribulation Road Frontage; or</li> <li>20 metres from the Frontage to any other Road; and</li> <li>10 metres from the side and rear boundaries.</li> </ul>	N/A	Proposal complies.	
P4	Buildings/structures are Setback from Watercourses and other sensitive areas to ensure the environmental values of the area are not adversely affected.	No Acceptable Solution (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).		Proposal complies. The proposed development will not adversely affect the environmental values of the area.	
Res	idential Density				
Ρ5	Residential density of any development is very low to ensure that the conservation and Scenic Amenity values of the Site and the surrounding area are not adversely affected.	No Acceptable Solution. (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	✓	Proposal complies.	

A/S = Alternative Solution

N/A = Not applicable to this proposal





PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
<b>P6</b> Landscaping incorporates endemic/native vegetation, is informal in character and complementary to the existing natural environment, provides screening and enhances the visual appearance of the development.	A6.1 For any development, the balance area of the Site not built upon must be landscaped/revegetated, predominantly with native vegetation and in accordance with the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping.		Proposal complies/is capable of complying.	
	A6.2 Landscaping must be informal in character.	✓	Proposal complies/is capable of complying.	
	A6.3 At the time that a Site is developed for any purpose, the Road Frontage Setback areas are landscaped/revegetated so that 10 metres of the Setback area immediately adjacent to any Road Frontage, where the minimum total Setback required is 20 metres or greater, is landscaped with Dense Planting.		Not applicable.	
Environmental Values – General				
<b>P7</b> Development does not adversely impact on the natural environment, natural vegetation or Watercourses.	No Acceptable Solution (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).		Proposal complies. No vegetation clearing is proposed as part of the development. Further the proposed development is not considered to have an adverse impact on the natural environment, natural vegetation or watercourses.	

N/A = Not applicable to this proposal



PEI	RFORMANCE CRITERIA	ACCEP	TABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
P8	Development is complementary to the surrounding environment.	A8.1	Development harmonises with the surrounding environment, for example, through suspended, light weight construction on sloping Sites, which requires minimal excavation and fill.	~	Proposal complies.	
		A8.2	A Development is subservient to the natural landscape in scale and in the use of exterior colours and finishes.	✓	Proposal complies.	
		A8.3	Any driveway or car park is constructed and maintained to:	✓	Proposal complies.	
			• minimise erosion, particularly in the wet season; and			
			<ul> <li>minimise cut and fill;</li> </ul>			
			<ul> <li>follow the natural contours of the Site; and</li> <li>minimise vegetation Clearing.</li> </ul>			



PER	FORMANCE CRITERIA	А	CCEPTABLE SOLUTIONS	SOLUTION	N <sup>1</sup> C	COMMENTS	COUNCIL USE ONLY
Slo	oing Sites						
P9	Building/structures are designed and sited to be responsive to the constraints of sloping Sites.	<b>A12.1</b> OR	Building/structures are Erected on land with a maximum slope not exceeding 15%.	N/#		Not applicable. The proposed development is to be located on the existing cleared and levelled house pad.	
			Development proposed to be Erected on land with a maximum slope between 15% and 33% is accompanied by a Geotechnical Report prepared by a qualified engineer at development application stage.				
		OR	Development proposed to be Erected on land with a maximum slope above 33% is accompanied by a Specialist Geotechnical Report prepared by a qualified engineer at development application stage which includes signoff that the Site can be stabilised.				
		AND	Any Building/structures proposed to be Erected on land with a maximum slope above 15% are accompanied by an additional Geotechnical Report prepared by a qualified engineer at building application stage.	sed to be slope above additional v a qualified			
			(Information that the Council may request as part of the Geotechnical Report are outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development.)				
P10	The building style and construction methods used for development on	A10.1 A10.2	A split level building form is utilised. A single plane concrete slab is not utilised.	N/A N/A		Not applicable. Not applicable.	

A/S = Alternative Solution

N/A = Not applicable to this proposal

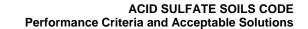


PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
sloping Sites are responsive to the Site constraints.	A10.3 Any voids between the flo and Ground Level, or betw and Ground Level, are scre using lattice/batten s Landscaping.	reen outdoor decks rened from view by creening and/or	Not applicable.	
P11 Development on sloping land minimises any impact on the landscape character of the surrounding area.	A11.1 Buildings/structures are ridgelines and are sited to above the surrounding tree	o avoid protruding	Proposal complies.	
<b>P12</b> Development on sloping land ensures that the quality and quantity of stormwater traversing the Site does not cause any detrimental impact to the natural environment or to any other Sites.	A12.1 All stormwater drainage lawful point of discharg adversely affect downs underground stream or adj	ge and does not tream, upstream,	Proposal complies.	
Sustainable Siting and Design of Houses on S	Sloping Sites			
<b>P13</b> A House sited on hillside land is sited in an existing cleared area, or in an area approved for Clearing.	<ul> <li>A House is sited in an exist in an area approved for 0 Local Law – Vegetation which is not cleared u occurs. The Clearing is limit area of 700 m2 and is site Bank of any Watercourse.</li> </ul>	Clearing under the Management but until development ited to a maximum	Not applicable.	
	(The 700 m2 area of Clearin an access driveway.)			
	A13.2 The approved area for the House is not cleared until a issued.		Not applicable.	

A/S = Alternative SolutionN/A = Not applicable to this proposal



PERFORMANCE CRITERIA	А	CCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
<b>P14</b> A House sited on hillside land is sited so that it is not clearly visible from any public Road.	A14.1	A House is Setback a minimum of 25 metres from Cape Tribulation Road or 20 metres from any other Road Frontage.	N/A	Not applicable.	
<b>P15</b> A House sited on hillside land is sited and designed so that it is subservient to the surrounding natural environment.	A15.1	A House is effectively screened from view by existing native trees planted in designated Setback area/s, or by the planting of additional native trees endemic to the local area.	N/A	Not applicable.	
<b>P16</b> The exterior finishes of a House complements the surrounding natural environment.	A16.1	The exterior finishes and colours of Building/s are non reflective and complement the colours of the surrounding vegetation and viewshed.	N/A	Not applicable.	
<b>P17</b> A House is designed to be energy efficient and functional in a humid tropical rainforest environment.	A17.1	The development incorporates building design features and architectural elements detailed in Planning Scheme Policy No 2 – Building Design and Architectural Elements.	N/A	Not applicable.	





PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION1	COMMENTS	COUNCIL USE ONLY
Disturbance of Acid Sulfate Soils				
<ul> <li>P1 The release of acid and associated metal contaminants into the environment are avoided either by:</li> <li>not disturbing Acid Sulfate Soils; or by</li> <li>preventing the potential impacts of any disturbance through appropriate Site planning, treatment and ongoing management.</li> </ul>	<ul> <li>A1.1 The disturbance of Acid Sulfate Soils is avoided by:</li> <li>not excavating or removing more than 10 m3 of material identified as containing of potentially containing Acid Sulfate Soils;</li> <li>not permanently or temporarily extractin groundwater that results in the aeration of previously saturated Acid Sulfate Soils; and</li> <li>demonstrating that any filling in excess of 500 m3 of material to depths greater tha an average depth of 0.5 metres will not result in ground water extrusion from Acid Sulfate Soils and the aeration of previously saturated Acid Sulfate Soils from th compaction or movement of those soils.</li> <li>A2.1 Site planning, treatment and ongoing management are undertaken so that:</li> <li>acid and metal contaminants are not generated Acid Sulfate Soils are not taken off-Site unless this is to a alternative location for treatment; and</li> <li>surface and groundwater flows from areas containing Acid Sulfate Soils do not release leachate containing acid or meta contaminants into the environment</li> </ul>	0 or g of n ot d y e s o ✓ t t n n t al	The proposal complies/is capable of complying.	



PER	FORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	SOLUTION <sup>1</sup>	COMMENTS	COUNCIL USE ONLY
Ider	ntification and Management of Acid Sulfate	Soils			
P2	The location and extent of Acid Sulfate Soils are identified on the development	No Acceptable Solution.	~	The proposal complies/is capable of complying.	
	Site and appropriately management so as to avoid the release of acid and associated metal contaminants into the environment.	(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 9 – Reports and Information the Council May Request, fo code and impact assessable development).	e g d		

## Smart eDA



Smart eDA ID: 1470362579662

**State assessments** 

## 63 STONEWOOD RD, DIWAN

4 matters requiring further investigation.

## State Assessment and Referral Agency

State Assessment and Referral Agency

Environment and Heritage	
Category A and B extract from the regulated vegetation management map	Yes
<u>Coastal zone</u>	Yes
<u>Qld waterways for waterway barrier works</u>	Yes
Wetland protection area trigger area	Yes