

*Please quote Our Ref on all correspondence*

Our Ref: 17C049BSDC-L001

Your Ref:

08 November 2017

Douglas Shire Council  
64-66 Front Street  
Mossman QLD 4873

**Operational Works Application - Civil Works**  
**Property Address - 33 Davidson Street, Port Douglas**  
**Property Description - Lot 903 on PTD2092**

On behalf of our client, we herewith submit an application for Operational Works – Civil Works. The proposed works are required to facilitate construction of the proposed development at 33 Davidson Street, Port Douglas.

The application has been prepared generally in accordance with the Douglas Shire Planning Scheme 2006, FNQROC Development Manual and the relevant conditions of MCUC1553/2016.

Please find enclosed the following documentation in support of the application:

- DA Form 1: Development application details;
- FNQROC Statement of Compliance Operational Works Design;
- FNQROC Operational Works Receipting Checklist;
- Engineering Drawings addressing condition 11 (a, b, c, g) and 18; and
- The application fee of \$2,616.40 shall be paid upon the issue of Notice of Account.

We trust the above is to your satisfaction. Should you require any further information in relation to the attached please do not hesitate to contact the undersigned.

Yours sincerely



**Kate Ermolova**  
Civil Engineer

**Sedgman Consulting Pty Ltd**

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## DA Form 1 – Development application details

Approved form (version 1.0 effective 3 July 2017) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development**, use this form (*DA Form 1*) **and** parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

### PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Chiodo Corporation C/- Sedgman Consulting
Contact name <i>(only applicable for companies)</i>	Kate Ermolova
Postal address <i>(P.O. Box or street address)</i>	PO Box 9122
Suburb	Gold Coast MC
State	QLD
Postcode	9726
Country	Australia
Contact number	07 5558 4200
Email address <i>(non-mandatory)</i>	Ekaterina.ermolova@sedgman.com
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	

2) Owner's consent
2.1) Is written consent of the owner required for this development application?
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application
<input checked="" type="checkbox"/> No – proceed to 3)

## PART 2 – LOCATION DETAILS

**3) Location of the premises** (complete 3.1) or 3.2), and 3.3) as applicable)  
**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

**3.1) Street address and lot on plan**

Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		33	Davidson Street	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	903	PTD2092	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

**3.2) Coordinates of premises** (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)  
**Note:** Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

**3.3) Additional premises**

Additional premises are relevant to this development application and their details have been attached in a schedule to this application  
 Not required

**4) Identify any of the following that apply to the premises and provide any relevant details**

In or adjacent to a water body or watercourse or in or above an aquifer  
 Name of water body, watercourse or aquifer: \_\_\_\_\_

On strategic port land under the *Transport Infrastructure Act 1994*  
 Lot on plan description of strategic port land: \_\_\_\_\_  
 Name of port authority for the lot: \_\_\_\_\_

In a tidal area  
 Name of local government for the tidal area (if applicable): \_\_\_\_\_  
 Name of port authority for tidal area (if applicable): \_\_\_\_\_

On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*  
 Name of airport: \_\_\_\_\_

Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*  
 EMR site identification: \_\_\_\_\_

<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

**5) Are there any existing easements over the premises?**  
*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.*

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

Material change of use       Reconfiguring a lot       Operational work       Building work

b) What is the approval type? *(tick only one box)*

Development permit       Preliminary approval       Preliminary approval that includes a variation approval

c) What is the level of assessment?

Code assessment       Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Minor civil works – access, water & stormwater connection.

e) Relevant plans  
*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.*

Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

Material change of use       Reconfiguring a lot       Operational work       Building work

b) What is the approval type? *(tick only one box)*

Development permit       Preliminary approval       Preliminary approval that includes a variation approval

c) What is the level of assessment?

Code assessment       Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*

e) Relevant plans  
*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.*

Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

Not required

**Section 2 – Further development details**

**7) Does the proposed development application involve any of the following?**

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

Yes  
 No

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?**

**9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)**

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

**10) Subdivision**

**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

**10.2) Will the subdivision be staged?**

Yes – provide additional details below  
 No

How many stages will the works include?	
What stage(s) will this development application apply to?	

**11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?**

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment**  
**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?**

**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work**

*Note: This division is only required to be completed if any part of the development application involves operational work.*

**14.1) What is the nature of the operational work?**

<input checked="" type="checkbox"/> Road work	<input checked="" type="checkbox"/> Stormwater	<input checked="" type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: <input type="text"/>		

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

Yes – specify number of new lots:

No

**14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)**

<\$150,000

**PART 4 – ASSESSMENT MANAGER DETAILS**

**15) Identify the assessment manager(s) who will be assessing this development application**

**16) Has the local government agreed to apply a superseded planning scheme for this development application?**

Yes – a copy of the decision notice is attached to this development application

Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

No

**PART 5 – REFERRAL DETAILS**

**17) Do any aspects of the proposed development require referral for any referral requirements?**

*Note: A development application will require referral if prescribed by the Planning Regulation 2017.*

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

**Matters requiring referral to the chief executive of the Planning Regulation 2017:**

Clearing native vegetation

Contaminated land (unexploded ordnance)

<input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA have not been devolved to a local government)</i> <input type="checkbox"/> Fisheries – aquaculture <input type="checkbox"/> Fisheries – declared fish habitat area <input type="checkbox"/> Fisheries – marine plants <input type="checkbox"/> Fisheries – waterway barrier works <input type="checkbox"/> Hazardous chemical facilities <input type="checkbox"/> Queensland heritage place <i>(on or near a Queensland heritage place)</i> <input type="checkbox"/> Infrastructure – designated premises <input type="checkbox"/> Infrastructure – state transport infrastructure <input type="checkbox"/> Infrastructure – state transport corridors and future state transport corridors <input type="checkbox"/> Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels <input type="checkbox"/> Infrastructure – state-controlled roads <input type="checkbox"/> Land within Port of Brisbane’s port limits <input type="checkbox"/> SEQ development area <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – community activity <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – indoor recreation <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – residential development <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – urban activity <input type="checkbox"/> Tidal works or works in a coastal management district <input type="checkbox"/> Urban design <input type="checkbox"/> Water-related development – taking or interfering with water <input type="checkbox"/> Water-related development – removing quarry material <i>(from a watercourse or lake)</i> <input type="checkbox"/> Water-related development – referable dams <input type="checkbox"/> Water-related development – construction of new levees or modification of existing levees <i>(category 2 or 3 levees only)</i> <input type="checkbox"/> Wetland protection area
<b>Matters requiring referral to the local government:</b> <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA have been devolved to local government)</i> <input type="checkbox"/> Local heritage places
<b>Matters requiring referral to the chief executive of the distribution entity or transmission entity:</b> <input type="checkbox"/> Electricity infrastructure
<b>Matters requiring referral to:</b> <ul style="list-style-type: none"> <li>• The <b>chief executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Oil and gas infrastructure
<b>Matters requiring referral to the Brisbane City Council:</b> <input type="checkbox"/> Brisbane core port land
<b>Matters requiring referral to the Minister under the Transport Infrastructure Act 1994:</b> <input type="checkbox"/> Brisbane core port land <input type="checkbox"/> Strategic port land
<b>Matters requiring referral to the relevant port operator:</b> <input type="checkbox"/> Brisbane core port land <i>(below high-water mark and within port limits)</i>
<b>Matters requiring referral to the chief executive of the relevant port authority:</b> <input type="checkbox"/> Land within limits of another port
<b>Matters requiring referral to the Gold Coast Waterways Authority:</b> <input type="checkbox"/> Tidal works, or development in a coastal management district in Gold Coast waters
<b>Matters requiring referral to the Queensland Fire and Emergency Service:</b> <input type="checkbox"/> Tidal works, or development in a coastal management district

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable).		

**PART 6 – INFORMATION REQUEST**

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application <b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> <li>that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul> Further advice about information requests is contained in the <u>DA Forms Guide</u> .

**PART 7 – FURTHER DETAILS**

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input checked="" type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input checked="" type="checkbox"/> Development application	MCUC1553/2016	22/11/2016	
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – the yellow local government/private certifier’s copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No



## 23) Further legislative requirements

**Environmentally relevant activities**

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

Yes – the required attachment (form EM941) for an application for an environmental authority accompanies this development application, and details are provided in the table below

No

**Note:** Application for an environmental authority can be found by searching “EM941” at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
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Proposed ERA name:	
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Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

**Hazardous chemical facilities**

23.2) Is this development application for a **hazardous chemical facility**?

Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application

No

**Note:** See [www.justice.qld.gov.au](http://www.justice.qld.gov.au) for further information.

**Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

Yes – this development application is accompanied by written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

**Note:** See [www.qld.gov.au](http://www.qld.gov.au) for further information.

**Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

**Note:** The environmental offset section of the Queensland Government’s website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

**Koala conservation**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes

No

**Note:** See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.

**Water resources**

23.6) Does this development application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, taking overland flow water or waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

**Note:** DA templates are available from [www.dilgp.qld.gov.au](http://www.dilgp.qld.gov.au).

23.7) Does this application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water** under the *Water Act 2000*?

Yes – I acknowledge that a relevant water authorisation under the *Water Act 2000* may be required prior to

commencing development

No

*Note: Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.*

**Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

*Note: See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.*

**Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

*Note: Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.*

**Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

*Note: Contact the Department of Environment and Heritage Protection at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.*

**Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the ‘Notice Accepting a Failure Impact Assessment’ from the chief executive administering the *Water Supply Act* is attached to this development application

No

*Note: See guidance materials at [www.dews.qld.gov.au](http://www.dews.qld.gov.au) for further information.*

**Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district?**

Yes – the following is included with this development application:

Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)

A certificate of title

No

*Note: See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.*

**Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government’s **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

*Note: See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for information requirements regarding development of Queensland heritage places.*

Name of the heritage place:

Place ID:

**Brothels**

23.14) Does this development application involve a **material change of use for a brothel?**

Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

No

**Decision under section 62 of the *Transport Infrastructure Act 1994***

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- No

**PART 8 – CHECKLIST AND APPLICANT DECLARATION**

**24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

*Note: See the Planning Regulation 2017 for referral requirements*

If building work is associated with the proposed development, Parts 4 to 6 of *Form 2 – Building work details* have been completed and attached to this development application

Yes  
 Not applicable

Supporting information addressing any applicable assessment benchmarks is with development application

*Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).*

Yes

Relevant plans of the development are attached to this development application

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (*see 21*)

Yes  
 Not applicable

**25) Applicant declaration**

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

*Note: It is unlawful to intentionally provide false or misleading information.*

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**PART 9 – FOR OFFICE USE ONLY**

Date received:  Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment	
<i>Note: For completion by assessment manager if applicable</i>	
Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

The *Planning Act 2016*, the *Planning Regulation 2017* and the *DA Rules* are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.

## FNQROC DEVELOPMENT MANUAL

Council Douglas Shire Council  
(INSERT COUNCIL NAME)

### STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

**Name of Development** 33 Davidson Street, Port Douglas

**Location of Development** 33 Davidson Street, Port Douglas

**Applicant** Chiodo Corporation c/- Sedgman Consulting

**Designer** Sedgman Consulting

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	
Geotechnical requirements	
Geometric Road Design	
Pavements	
Structures / Bridges	
Subsurface Drainage	
Stormwater Drainage	
Site Re-grading	
Erosion Control and Stormwater Management	
Pest Plant Management	
Cycleway / Pathways	

Landscaping	
Water Source and Disinfection/Treatment Infrastructure (if applicable)	
Water Reticulation, Pump Stations and water storages	
Sewer Reticulation and Pump Stations	
Electrical Reticulation and Street Lighting	
Public Transport	
Associated Documentation/ Specification	
Priced Schedule of Quantities	
Referral Agency Conditions	
Supporting Information (AP1.08)	
Other	

Conscientiously believing the above statements to be true and correct, signed on behalf of:

**Designer** ..... THOMAS WATT ..... **RPEQ No** 16222 .....

**Name in Full** ..... THOMAS WATT .....

**Signature** .....  ..... **Date** 8.11.2017 .....



## Operational Works Receiving Checklist

(To be completed by Consulting engineer making the application)

**Name of Council:** Douglas Shire Council

**Development Name and Location:** 33 Davidson Street, Port Douglas

**Planning Permit No/Council File No:** MCUC / 1553 / 2016

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
1. Completed 'Statement of Compliance' form. (FNQROC - AP1 – Appendix A)	Y	
2. IDAS Forms A ,E & IDAS Assessment Checklist (Available from <a href="http://www.ipa.qld.gov.au">www.ipa.qld.gov.au</a> )	Y	DA Form 1
3. Payment of Engineering Application Fees (Copy of receipt to be attached)		To be paid upon issue of Notice of Account
4. Copy of Decision Notice for Development Application Conditions, <u>inc. explanation of how each condition is to be addressed (Statement of Compliance)</u>	Y	Refer to Cover Letter
5. Engineering Design drawings - Complete sets (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format)		Electronic lodgement, as advised by Council
6. One copy of Design and Standard Specifications (Unbound Copy Preferable)		In accordance with Council specifications
7. Written consent from adjoining property owners authorising any works on their property	N/A	
8. Water reticulation network in electronic format (Engineer to confirm system requirements and compatibility with Cairns Water)	N/A	
9. Landscape drawings - Complete set (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format). These must be accompanied by elements of the stormwater & street ltg. layout design, to avoid conflicts.	N/A	



## Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
10. Overall network drawings (for staged development) for:		
<ul style="list-style-type: none"> <li>• Water</li> </ul>		Water connection shown on plans
<ul style="list-style-type: none"> <li>• Stormwater</li> </ul>		Stormwater connection shown on plans
<ul style="list-style-type: none"> <li>• Sewer</li> </ul>	N/A	
<ul style="list-style-type: none"> <li>• Pathways and roads</li> </ul>		New driveway shown on plans
<ul style="list-style-type: none"> <li>• Street Lighting</li> </ul>	N/A	
<ul style="list-style-type: none"> <li>• Electrical</li> </ul>	N/A	
<ul style="list-style-type: none"> <li>• Gas</li> </ul>	N/A	
<ul style="list-style-type: none"> <li>• Public Transport</li> </ul>	N/A	
<ul style="list-style-type: none"> <li>• Park Reserves</li> </ul>	N/A	
<ul style="list-style-type: none"> <li>• Drainage Reserves</li> </ul>	N/A	
11. Pavement design criteria	N/A	
12. Geotechnical reports for proposed earthworks	N/A	
13. Structural and geotechnical certificates for retaining walls etc.	N/A	
14. Water supply/sewerage pump station design parameters	N/A	
15. Stormwater drainage calculations		Strategy generally in accordance with MCU approval
16. Erosion and Sediment Control Strategy (ESCS)	N/A	
17. Declared Pest Management Plan (if applicable)	N/A	
18. The approval of any other Authorities & concurrence agencies likely to be affected by the works.		Driveway in generally accordance with TMR approved. Drawings also submitted to TMR for approval





## Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

19. Contact details of the Consulting Engineer who is submitting the Application:

Name of Engineer	Thomas Watt	
Name of Company	Sedgman Consulting	
Telephone Number (s)	Office: 07 5558 4200	Mobile:
Email address	thomas.watt@sedgman.com	
RPEQ No.	16222	

20. Date of submission of application .08 / 11. / 20 17.

***(For further information on all of the above refer to the FNQROC Development Manual Section AP1)***

# PROPOSED RESIDENTIAL DEVELOPMENT 33 DAVIDSON STREET, PORT DOUGLAS

## CIVIL ENGINEERING OPERATIONAL WORKS FOR : CHIODO CORPORATION



**SITE PLAN**  
SCALE N.T.S  
(SOURCED FROM GOOGLE MAPS)

**LEVELS & GRID**  
LEVELS TO AHD  
(AUSTRALIAN HEIGHT DATUM)  
GRID ASSUMED LOCAL

DRAWING INDEX	
DWG No	DESCRIPTION
17C049-C-1-0000	COVER SHEET & LOCALITY PLAN
17C049-C-1-0001	GENERAL NOTES & TYPICAL DETAILS
17C049-C-1-0300	GENERAL ARRANGEMENT PLAN
17C049-C-1-0400	STORMWATER DRAINAGE PLAN

<small>THIS DESIGN AND PLAN IS COPYRIGHT AND IS NOT TO BE USED OR REPRODUCED WHOLLY OR IN PART OR TO BE USED ON ANY PROJECT WITHOUT THE WRITTEN PERMISSION OF SEDGMAN CONSULTING PTY LTD. DRAWING IS NOT TO BE SCALED.</small>				<b>CLIENT</b> CHIODO CORPORATION		<b>PROJECT</b> 33 DAVIDSON STREET, PORT DOUGLAS		<b>TITLE</b> COVER SHEET & LOCALITY PLAN	
SCALE (AT ORIGINAL SHEET SIZE)  <b>NOT TO SCALE</b>				ORIGINAL SHEET SIZE  <b>A1</b>		<b>SEDGMAN</b>  LEVEL 1, 193 FERRY ROAD SOUTHPORT QLD 4215 AUSTRALIA T 07 5558 4200 <a href="mailto:consult@sedgman.com">consult@sedgman.com</a> <a href="http://www.sedgman.com/sedgman-consulting">www.sedgman.com/sedgman-consulting</a>		APPROVED: <i>[Signature]</i> RPEQ No 16222 REVIEW: S.W. 01.11.17 DESIGN: K.E. 01.11.17 DRAWN: J.A. 01.11.17	
REV   DESCRIPTION   DRAWN   DATE				STAGE / PHASE <b>FOR APPROVAL</b> FOR CONSTRUCTION ONCE STAMPED AND APPROVED BY COUNCIL		DRAWING NUMBER <b>17C049-C-1-0000</b>		REVISION <b>A</b>	

**GENERAL**

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FOLLOWING DOCUMENTS:
  - OTHER PROVIDED ENGINEERING DRAWINGS
  - TECHNICAL SPECIFICATIONS
  - SUPPLEMENTARY SPECIFICATIONS
  - WRITTEN INSTRUCTIONS
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT SPECIFICATION FOR THE WORKS TOGETHER WITH THE REQUIREMENTS OF ALL THE RELEVANT CODES OF PRACTICE REFERRED TO THEREIN AND THE REQUIREMENTS OF D.S.C. & TMR STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, PROVISION & CERTIFICATION OF ANY TEMPORARY BRACING, PROPPING ETC. TO DRAINAGE PIPES DURING CONSTRUCTION. STRUCTURES SHALL BE MAINTAINED IN A STABLE POSITION AND NO PART SHALL BE OVERSTRESSED.
- ALL LOCATIONS, ORIENTATION AND LEVELS SHALL BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK. DISCREPANCIES SHALL BE REFERRED TO THE SITE SUPERINTENDENT.
- DO NOT OBTAIN DIMENSIONS FROM SCALING.
- NATURAL SURFACE LEVELS ON THE DRAWINGS ARE INDICATIVE ONLY.
- ANY PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF PERMANENT OR TEMPORARY WORKS SHALL BE OBTAINED BY THE CONTRACTOR.
- D.S.C. STANDARD DETAILS ARE TO BE ADOPTED UNLESS STATED OTHERWISE.

**ROADWORKS**

- NOTWITHSTANDING THE DETAILS SHOWN ON THE DRAWINGS ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.S.C. STANDARD SPECIFICATIONS AND DRAWINGS.
- SIDE DRAINS SHALL BE CONSTRUCTED UNDER ALL NEW KERB AS SPECIFIED WITHIN THESE DRAWINGS AND AS DIRECTED BY THE SUPERINTENDENT. REFER IPWEAQ STANDARD DWG No. RS-140
- FLUSHING POINTS SHALL BE PROVIDED FOR SIDE DRAINS AT THE REQUIRED SPACINGS IN ACCORDANCE WITH D.S.C. STANDARD DRAWINGS AND SPECIFICATIONS.
- GEOTECHNICAL TEST RESULTS ARE TO BE FORWARDED TO THE SUPERINTENDENT PRIOR TO FINAL BOXING. TESTS SHALL INCLUDE SOAKED C.B.R. AND/OR OTHER TESTS AS REQUESTED BY THE SUPERINTENDENT. THESE TESTS SHALL BE USED TO CONFIRM THE PAVEMENT DESIGN SHOWN ON THESE DRAWINGS.
- THE PAVEMENT DESIGN ON THE DRAWINGS IS NOT FOR CONSTRUCTION UNTIL FINAL C.B.R. TEST RESULTS ARE REVIEWED AND APPROVED BY THE SITE SUPERINTENDENT. CONSTRUCTION OF THE PAVEMENT TO THE DESIGN SHOWN ON THE DRAWINGS, PRIOR TO RECEIPT OF THE FINAL CBR TESTS, SHALL BE UNDERTAKEN AT THE CONTRACTORS OWN RISK.
- THE CONTRACTOR SHALL OBTAIN THE LOCATION OF ALL SERVICES AND PROTECT THESE SERVICES PRIOR TO WORKING IN THE VICINITY. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- WORKS TO ANY SERVICES SHOULD BE DONE IN CONSULTATION WITH THE APPROPRIATE SERVICE PROVIDER.
- EXISTING DRIVEWAYS WITHIN THE LIMITS OF THE CONSTRUCTION WORKS SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGE TO DRIVEWAYS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ENTRY INTO EXISTING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
- TEMPORARY WARNING SIGNS TO BE ERECTED AS PER THE DEPARTMENT OF TRANSPORT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION. SEAL TO BE A.C. SURFACING - AS SPECIFIED.

**WATER**

- NOTWITHSTANDING THE DETAILS SHOWN ON THE DRAWINGS ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.S.C. STANDARD SPECIFICATIONS AND DRAWINGS.
- ALL FITTINGS SHALL BE D.I.C.L. CLASS K9 RUBBER RING JOINTED SPIGOT AND SOCKET TO AS 2280:2014.
- ANCHOR BLOCKS SHALL BE INSTALLED AT ALL BENDS, JUNCTIONS AND DEAD ENDS.
- THE CONTRACTOR SHALL OBTAIN THE LOCATION OF ALL SERVICES AND PROTECT THESE SERVICES PRIOR TO WORKING IN THE VICINITY. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- OFFSET FROM BOUNDARY TO WATER MAIN 1.5m UNLESS NOTED OTHERWISE.
- ALL TRENCH BACK FILL MATERIAL UNDER ROAD PAVEMENT SHALL BE CBR 15 OR APPROVED EQUIVALENT.
- ANY WORKS ASSOCIATED WITH LIVE WATER CONNECTIONS TO BE CARRIED OUT BY D.S.C. APPLICATIONS, FEES & EXPENSES FOR THESE CONNECTIONS ARE THE RESPONSIBILITY OF THE DEVELOPER.

**CONCRETE**

- COMPLY WITH AS3600 CONCRETE STRUCTURES
- DESIGN AND CONSTRUCT FORMWORK IN ACCORDANCE WITH AS3610.
- PROVIDE QUALITY OF FINISHES OF FORMED SURFACES IN ACCORDANCE WITH AS3610 AND AS FOLLOWS UNO ON DRAWINGS:
  - EXPOSED SURFACES - CLASS 3
  - CONCEALED SURFACES - CLASS 4
  - IN CONTACT WITH GROUND - CLASS 5
- THE LISTED SIZE OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES. PROVIDE CHAMFERS, FILLETS REGLETS AND DRIP GROOVES AS SHOWN ON THE STRUCTURAL DRAWINGS.
- DO NOT MAKE ANY PENETRATIONS OR CHASES OR EMBED ANY ITEMS OTHER THAN THOSE SHOWN IN THE STRUCTURAL DRAWINGS WITHOUT APPROVAL OF THE ENGINEER.
- FORM CONSTRUCTION JOINTS ONLY WHERE APPROVED BY THE ENGINEER.
- REINFORCEMENT SYMBOLS
  - "S" DENOTES GRADE 250S HOT ROLLED DEFORMED BAR TO AS1302.
  - "Y" DENOTES GRADE 400Y HOT ROLLED DEFORMED BAR TO AS1302.
  - "R" DENOTES GRADE 250R HOT ROLLED PLAIN BAR TO AS1303.
  - "W" DENOTES HARD-DRAWN PLAIN WIRE TO AS1303.
  - "RF" & "L" DENOTES HARD-DRAWN RIBBED WIRE FABRIC TO AS1304.
  - "N" DENOTES GRADE 500N HOT ROLLED DEFORMED BAR TO AS1302.
- THE NUMBER FOLLOWING THE BAR SYMBOL IS THE BAR DIAMETER IN mm.
- PROVIDE COVER TO REINFORCEMENT AS FOLLOWS:
 

ELEMENT	COVER
PAVEMENTS	40mm TOP
CONCRETE IN CONTACT WITH GROUND	65mm
- SUPPORT REINFORCEMENT IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS SUITABLE FOR THE EXPOSURE CONDITIONS
- LAP BAR REINFORCEMENT AS FOLLOWS UNO ON DRAWINGS:
 

N12	550mm	N28	1300mm
N16	750mm	N32	1500mm
N20	950mm	N36	1700mm
N24	1100mm	N42	1900mm
- BARS WITH MORE THAN 300mm OF CONCRETE UNDER THEM SHALL HAVE LAPS 1.25 TIMES THESE LENGTHS
- LAP MESH REINFORCEMENT BY ONE COMPLETE MESH
- DO NOT WELD OR SITE BEND REINFORCEMENT UNLESS SHOWN IN THE DRAWINGS OR OTHERWISE SPECIFIED BY THE ENGINEER.
- REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- PROVIDE PREMIX CONCRETE FOR EACH ELEMENT AS FOLLOWS:
 

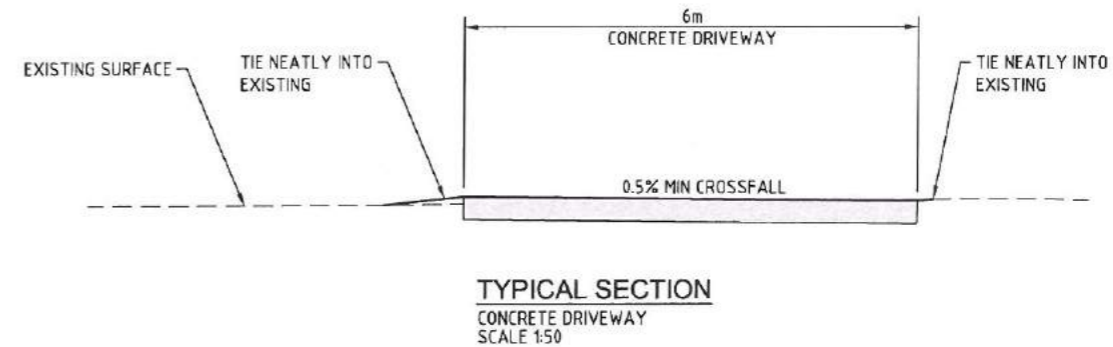
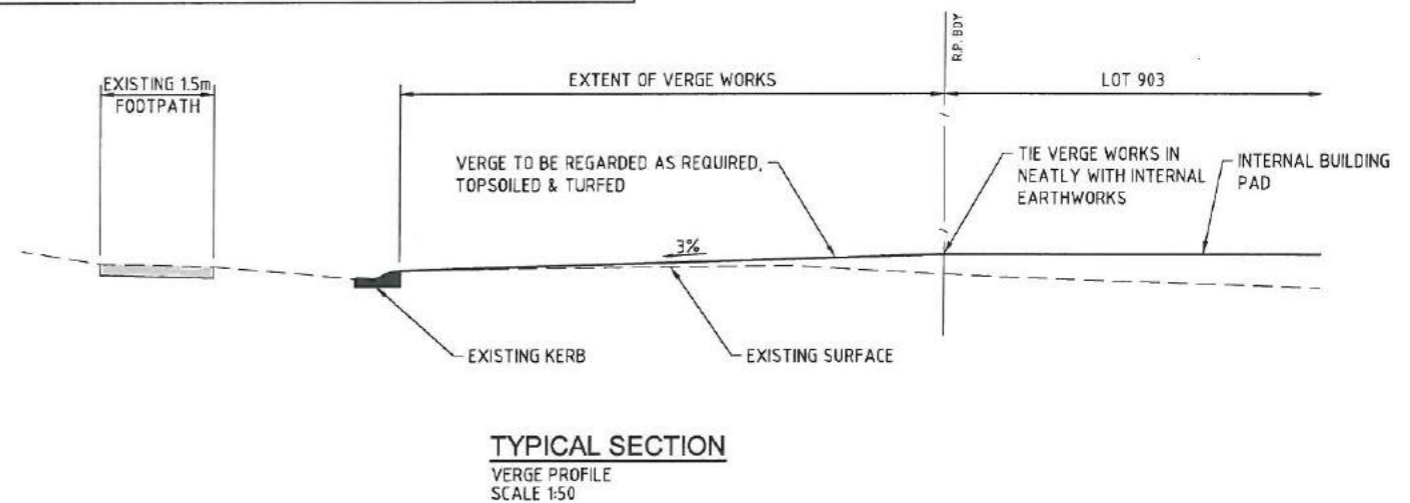
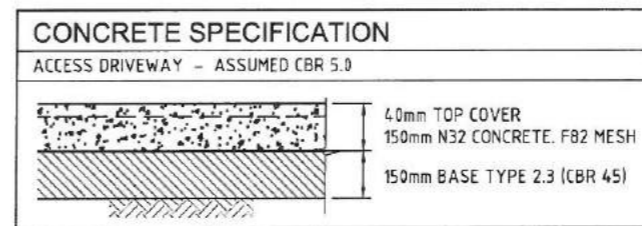
ELEMENT	GRADE MAX	AG	SLUMP
PAVEMENTS	N32	20mm	80mm
MASS CONCRETE	N20	20mm	80mm
- SAMPLE TEST AND ASSESS CONCRETE COMPLIANCE IN ACCORDANCE WITH PROJECT ASSESSMENT OF STRENGTH GRADE TO SECTION 20 AS3600
- THE CONCRETE SHALL BE COMPACTED USING HIGH FREQUENCY VIBRATORS
- ALL SLABS SHALL BE PLACED AT THE SAME TIME AS BEAMS OF WHICH THEY FORM PART
- TRIM ALL PENETRATIONS LESS THAN 300mm WITH 2-N16 BARS EACH SIDE, EACH FACE AND DISPLACE REINFORCEMENT EACH SIDE.
- CURING OF ALL CONCRETE SURFACES SHALL COMMENCE IMMEDIATELY AFTER SURFACES ARE FINISHED AS SPECIFIED AND SHALL CONTINUE FOR A MINIMUM OF 7 DAYS.
- ADMIXTURES SHALL NOT BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CEMENT SHALL BE TYPE A NORMAL CLASS PORTLAND CEMENT UNLESS NOTED OTHERWISE
- MAXIMUM 56 DAY SHRINKAGE STRAIN TO BE 65 MICRONS WHEN TESTED IN ACCORDANCE WITH AS1012
- MAXIMUM FLYASH CONTENT TO BE 10% MEASURED BY WEIGHT OF CEMENTITIOUS MATERIAL.
- CONCRETE COMPRESSIVE STRENGTH TESTING TO BE CARRIED OUT ONCE EVERY 50 CUBIC METRES.

**SIGNAGE**

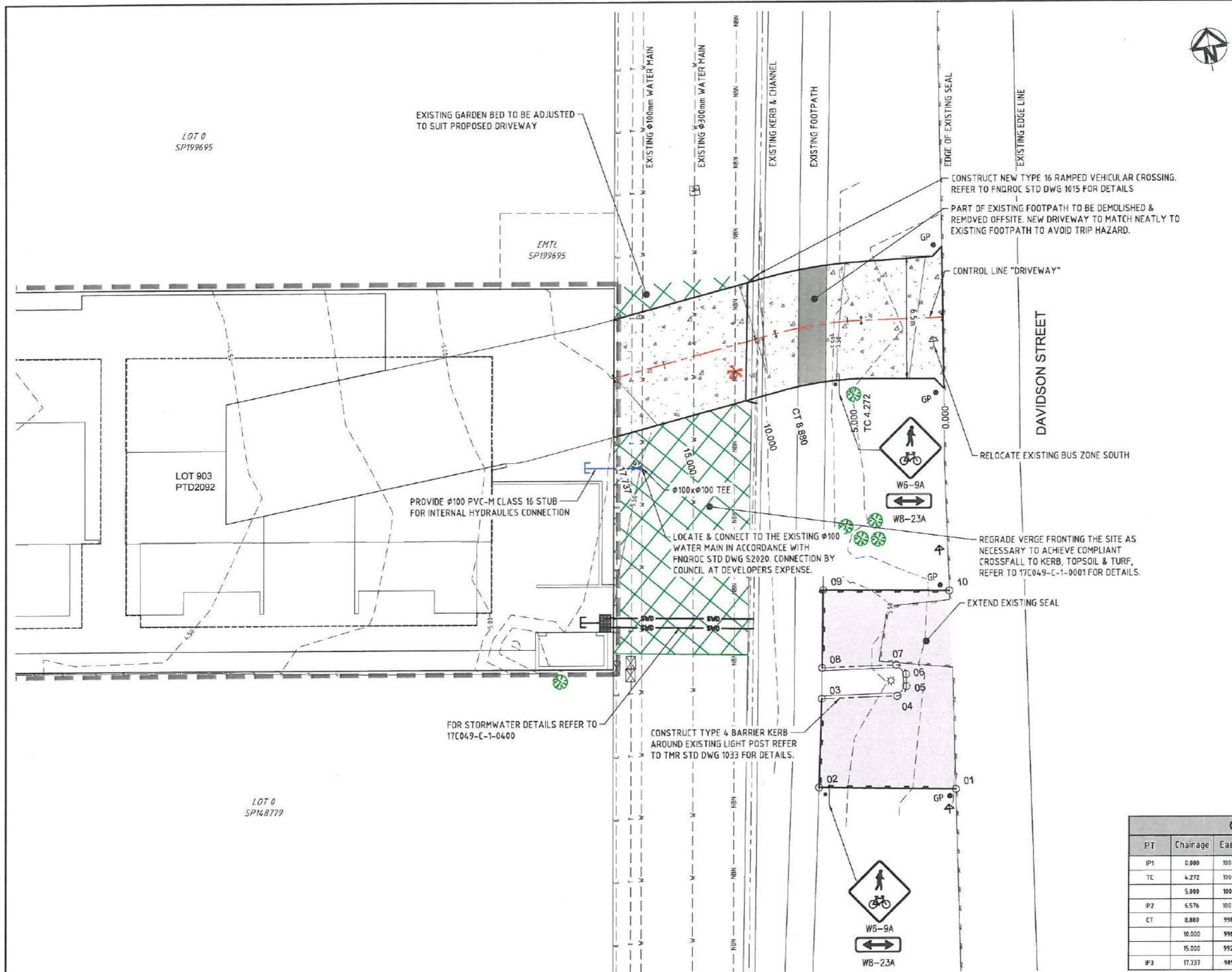
- FINAL SIGN LOCATIONS TO BE DETERMINED ON SITE BY THE SUPERINTENDENT.
- ALL TRAFFIC SIGNS TO BE SIZE 'A' UNLESS NOTED OTHERWISE.
- FOR GUIDE POST INSTALLATION AND DETAILS, REFER QUEENSLAND TRANSPORT STANDARD DRAWING No.1356
- FOR TRAFFIC SIGN SUPPORT DETAILS, REFER QUEENSLAND TRANSPORT STANDARD DRAWING No.'s 1360 & 1362.
- ALL SIGN MATERIAL TO BE CLASS 1.
- ALL SIGNAGE, LINEMARKING & RRPMS ARE TO BE PREPARED IN ACCORDANCE WITH THE CURRENT QUEENSLAND TRANSPORT 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES' (M.U.T.C.D).

**DRAINAGE**

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FOLLOWING DOCUMENTS:
  - OTHER PROVIDED ENGINEERING DRAWINGS
  - TECHNICAL SPECIFICATIONS
  - SUPPLEMENTARY SPECIFICATIONS
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- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT SPECIFICATION FOR THE WORKS TOGETHER WITH THE REQUIREMENTS OF ALL THE RELEVANT CODES OF PRACTICE REFERRED TO THEREIN AND THE REQUIREMENTS OF D.S.C. STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROVISION OF ANY TEMPORARY BRACING, PROPPING ETC. TO DRAINAGE PIPES DURING CONSTRUCTION. STRUCTURES SHALL BE MAINTAINED IN A STABLE POSITION AND NO PART SHALL BE OVERSTRESSED.
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- ANY PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF PERMANENT OR TEMPORARY WORKS SHALL BE OBTAINED BY THE CONTRACTOR.
- DOUGLAS SHIRE COUNCIL (D.S.C.) STANDARD DETAILS ARE TO BE ADOPTED UNLESS STATED OTHERWISE.



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SCALE (AT ORIGINAL SHEET SIZE) <b>N/A</b>	ORIGINAL SHEET SIZE <b>A1</b>	STAGE / PHASE <b>FOR APPROVAL</b>	FOR CONSTRUCTION ONCE STAMPED AND APPROVED BY COUNCIL		<table border="1"> <thead> <tr> <th>TASK</th> <th>BY</th> <th>INITIAL</th> <th>DATE</th> <th>APPROVED</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>REVIEW</td> <td>S.W.</td> <td></td> <td>01.11.17</td> <td rowspan="3"> </td> <td></td> </tr> <tr> <td>DESIGN</td> <td>K.E.</td> <td></td> <td>01.11.17</td> <td></td> </tr> <tr> <td>DRAWN</td> <td>J.A.</td> <td></td> <td>01.11.17</td> <td></td> </tr> </tbody> </table> <p>RPEQ No <b>16222</b> DRAWING NUMBER <b>17C049-C-1-0001</b></p>	TASK	BY	INITIAL	DATE	APPROVED	REVISION	REVIEW	S.W.		01.11.17			DESIGN	K.E.		01.11.17		DRAWN	J.A.		01.11.17
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**LEGEND**

- 9.0 --- EXISTING CONTOURS (0.25m INT)
- 9.0 --- DESIGN CONTOURS (0.25m INT)
- ==== EXISTING KERB & CHANNEL
- ==== BARRIER KERB
- DRIVEWAY CONTROL LINE
- S --- PROPOSED STORMWATER
- W --- PROPOSED WATER & VALVE
- --- EXISTING BITUMEN
- S --- EXISTING SEWER
- E --- EXISTING ELECTRICAL
- W --- EXISTING WATER MAIN
- T --- EXISTING TELSTRA
- NBN --- EXISTING NBN
- + TMR BUS ZONE SIGN
- EXISTING TREES TO BE MAINTAINED
- EXISTING TREES TO BE REMOVED
- PROPOSED TOPSOIL & TURF

- NOTES**
- FOR GENERAL NOTES REFER TO DWG No. 17C049-C-1-0001
  - ALL SERVICES ARE OFF RECORDS AND SHOWN INDICATIVELY
  - THE CONTRACTOR SHALL OBTAIN THE LOCATION OF ALL SERVICES AND PROTECT THESE SERVICES PRIOR TO WORKING IN THE VICINITY. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE

FOR GARDEN BED PLANTING DETAILS REFER TO LANDSCAPE DRAWINGS



**COORDINATES**

POINTS	EASTING	NORTHING
01	1005.159	4973.678
02	997.577	4974.536
03	998.596	4979.168
04	1002.573	4978.688
05	1003.107	4979.35
06	1003.153	4979.583
07	1002.689	4980.519
08	998.781	4980.788
09	999.247	4984.861
10	1005.864	4984.115

**CONTROL LINE "DRIVEWAY"**

PT	Chainage	Easting	Northing	Level	Bearing	Radius	A.Length	D.Angle
IP1	0.000	1006.948	4998.512	5.831	273°58'49"			
TC	4.272	1002.686	4998.809	5.570	273°58'49"			
	5.000	1001.959	4998.846	5.526	271°53'39"			
IP2	6.576	1000.378	4998.969	5.430		-20.000	4.608	13°12'02"
CT	8.880	998.093	4998.598	5.289	260°46'47"			
	10.000	996.988	4998.419	5.265	260°46'47"			
	15.000	992.052	4997.618	5.447	260°46'47"			
IP3	17.737	989.351	4997.179	5.5020	260°46'47"			

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CLIENT: **CHIODO CORPORATION**

PROJECT: **33 DAVIDSON STREET, PORT DOUGLAS**

SCALE: (AT ORIGINAL SHEET SIZE) 1:100

ORIGINAL SHEET SIZE: **A1**

REV	DESCRIPTION	DRAWN	DATE
A	ORIGINAL ISSUE	K.E.	06.11.17
0	FOR COORDINATION	J.A.	01.11.17

STAGE / PHASE: **FOR APPROVAL** FOR CONSTRUCTION ONCE STAMPED AND APPROVED BY COUNCIL

**SEDGMAN**

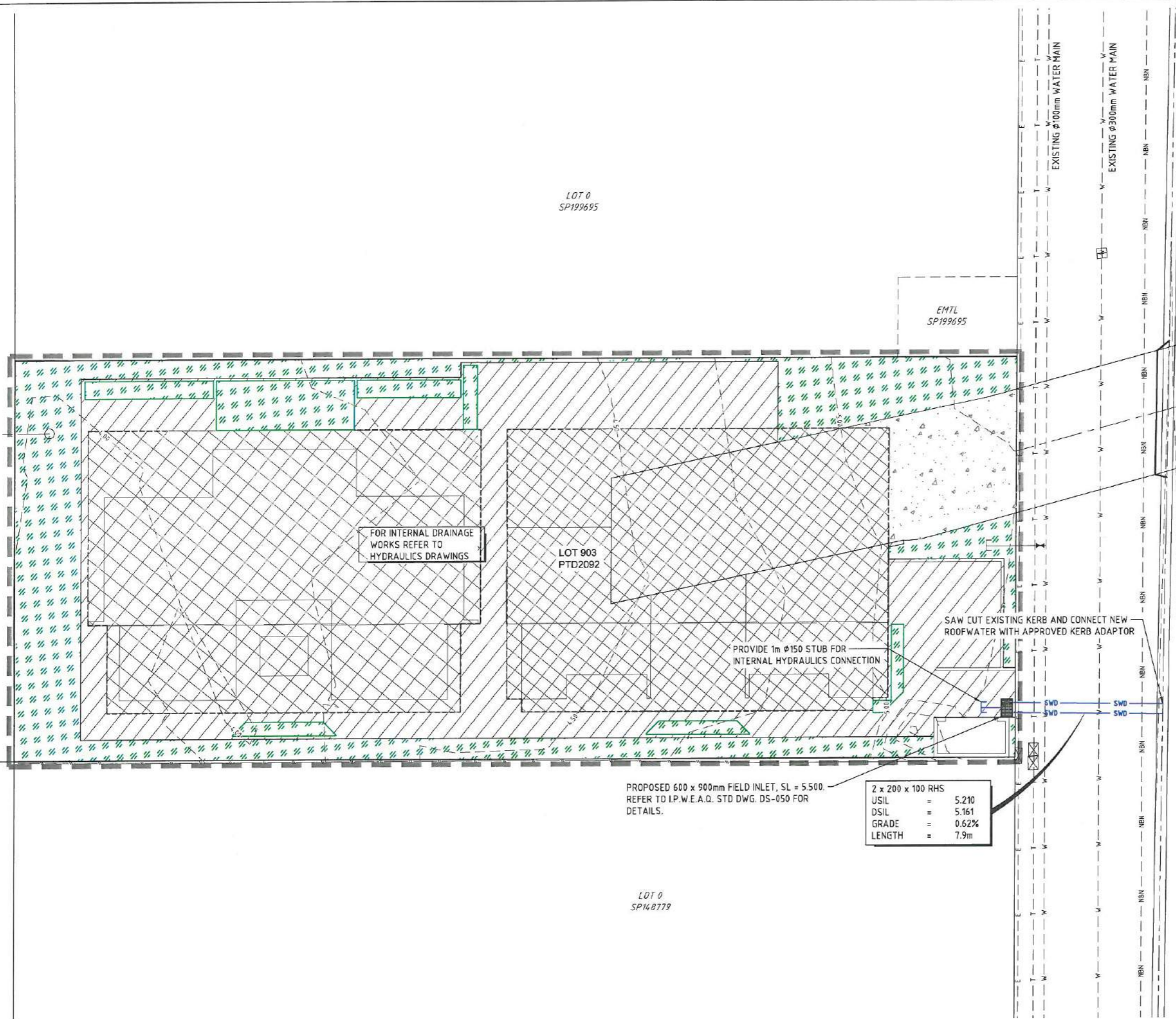
LEVEL 1, 193 FERRY ROAD SOUTHPORT QLD 4215 AUSTRALIA  
T 07 5558 4200 consult@sedgman.com www.sedgman.com/sedgman-consulting

TITLE: **GENERAL ARRANGEMENT PLAN**

TASK	BY	INITIAL	DATE	APPROVED	RPEQ No
REVIEW	S.W.		01.11.17		16222
DESIGN	K.E.		01.11.17		
DRAWN	J.A.		01.11.17		

DRAWING NUMBER: **17C049-C-1-0300**

REVISION: **A**



**LEGEND**

	EXISTING CONTOURS (0.25m INT)
	EXISTING KERB & CHANNEL
	PROPOSED STORMWATER
	PROPOSED WATER
	EXISTING BITUMEN
	EXISTING SEWER
	EXISTING ELECTRICAL
	EXISTING WATER MAIN
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING RETAINING WALL
	PROPOSED ROOF AREA
	PROPOSED GROUND LEVEL
	PROPOSED DRIVEWAY AREA
	PROPOSED LANDSCAPE AREA

**NOTES**

- FOR GENERAL NOTES REFER TO DWG No. 17C049-C-1-0001
- ALL SERVICES ARE OFF RECORDS AND SHOWN INDICATIVELY
- STORMWATER DRAINAGE STRATEGY GENERALLY IN ACCORDANCE WITH FLANAGAN CONSULTING GROUP DRAWING 4694-SK01 SUBMITTED TO D.S.C. AS PART OF THE DEVELOPMENT APPLICATION PROCESS



**CATCHMENT DISCHARGE USING RATIONAL METHOD**

PRE-DEVELOPMENT	
SITE/CATCHMENT AREA	= 0.1012ha (0% IMP)
COEFFICIENT OF RUNOFF, C <sub>10</sub>	= 0.7
TIME OF CONCENTRATION, t <sub>c</sub>	= 5 minutes
RAINFALL INTENSITY, <sup>5</sup> <sub>100</sub>	= 338.31mm/hr
WESTERN CATCHMENT DISCHARGE, Q <sub>100</sub>	= 0.080m <sup>3</sup> /s
POST-DEVELOPMENT	
ROOF CATCHMENT AREA	= 0.0541ha (100% IMP)
EAST CATCHMENT AREA TO DAVIDSON ST	= 0.0541ha (65% IMP)
WEST CATCHMENT AREA TO REAR BDY	= 0.0323ha (47% IMP)
COEFFICIENT OF RUNOFF, C <sub>10</sub>	= VARIES
TIME OF CONCENTRATION, t <sub>c</sub>	= 5 minutes
RAINFALL INTENSITY, <sup>5</sup> <sub>100</sub>	= 264.23mm/hr
RAINFALL INTENSITY, <sup>5</sup> <sub>100</sub>	= 338.31mm/hr
EAST CATCHMENT DISCHARGE (ROOF Q <sub>20</sub> & EAST Q <sub>100</sub> )	= 0.051m <sup>3</sup> /s
WEST CATCHMENT DISCHARGE (ROOF Q <sub>100-20</sub> & WEST Q <sub>100</sub> )	= 0.042m <sup>3</sup> /s

PROPOSED 600 x 900mm FIELD INLET, SL = 5.500.  
REFER TO I.P.W.E.A.D. STD DWG. DS-050 FOR DETAILS.

2 x 200 x 100 RHS	
USIL	= 5.210
DSIL	= 5.161
GRADE	= 0.62%
LENGTH	= 7.9m

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SCALE	(AT ORIGINAL SHEET SIZE)	ORIGINAL SHEET SIZE	A1
SCALE			
REV	DESCRIPTION	DRAWN	DATE
A	ORIGINAL ISSUE	K.E.	05.11.17
D	FOR COORDINATION	J.A.	01.11.17

CLIENT  
**CHIDO CORPORATION**

PROJECT  
**33 DAVIDSON STREET, PORT DOUGLAS**

STAGE / PHASE  
**FOR APPROVAL FOR CONSTRUCTION ONCE STAMPED AND APPROVED BY COUNCIL**



TITLE <b>STORMWATER DRAINAGE PLAN</b>			
TASK	BY	INITIAL	DATE
REVIEW	S.W.		01.11.17
DESIGN	K.E.		01.11.17
DRAWN	J.A.		01.11.17
APPROVED			RPEQ No 16222
DRAWING NUMBER			REVISION
17C049-C-1-0400			A