

# DA Form 1 – Development application details

Approved form (version 1.0 effective 3 July 2017) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details		
Applicant name(s) (individual or company full name)	P. Walker & D. Perry	File Name..... Document No.....
Contact name (only applicable for companies)		
Postal address (P.O. Box or street address)	PO Box 380	11 DEC 2017
Suburb	Port Douglas	Attention
State	QLD	Information
Postcode	4877	
Country	AUSTRALIA	
Contact number	Mobile	
Email address (non-mandatory)	philwalker@category5construction.com	
Mobile number (non-mandatory)	0407023324	
Fax number (non-mandatory)		
Applicant's reference number(s) (if applicable)		

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application <input checked="" type="checkbox"/> No – proceed to 3)	

DOUGLAS SHIRE COUNCIL	
File Name.....	DP2411/2017
Document No.....	
11 DEC 2017	
Attention	TAV orig
Information	

R/N 245062  
40.2017.2411.1.



Queensland  
Government



## PART 2 – LOCATION DETAILS

## 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

## 3.1) Street address and lot on plan

☐ Street address **AND** lot on plan (all lots must be listed), **or**

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		82-90	Mitre Street	GRAIGLIE
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	901	SP274759	Douglas Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

## 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

## 3.3) Additional premises

☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application

☐ Not required

## 4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

☐ Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*

EMR site identification:

☐ Listed on the Contaminated Land Register (CLR) under the *Environmental Protection Act 1994*

CLR site identification:

5) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.*

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

☐ Material change of use

☐ Reconfiguring a lot

☒ Operational work

☐ Building work

b) What is the approval type? *(tick only one box)*

☒ Development permit

☐ Preliminary approval

☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☒ Code assessment

☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Place sewage infrastructure

e) Relevant plans

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.*

☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

☐ Material change of use

☐ Reconfiguring a lot

☐ Operational work

☐ Building work

b) What is the approval type? *(tick only one box)*

☐ Development permit

☐ Preliminary approval

☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☐ Code assessment

☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.*

☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

☒ Not required

## Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete DA Form 2 – Building work details

## Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input type="checkbox"/> No		

## Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

## 10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

<input type="checkbox"/> Yes – provide additional details below	
<input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

## 12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

## Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- |                                                        |                                     |                                                           |
|--------------------------------------------------------|-------------------------------------|-----------------------------------------------------------|
| <input type="checkbox"/> Road work                     | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure             |
| <input type="checkbox"/> Drainage work                 | <input type="checkbox"/> Earthworks | <input checked="" type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping                   | <input type="checkbox"/> Signage    | <input type="checkbox"/> Clearing vegetation              |
| <input type="checkbox"/> Other – please specify: _____ |                                     |                                                           |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

☐ Yes – specify number of new lots: \_\_\_\_\_☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$20,000

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the chief executive of the Planning Regulation 2017:

- ☐ Clearing native vegetation
- ☐ Contaminated land (unexploded ordnance)

<input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA have not been devolved to a local government)</i> <input type="checkbox"/> Fisheries – aquaculture <input type="checkbox"/> Fisheries – declared fish habitat area <input type="checkbox"/> Fisheries – marine plants <input type="checkbox"/> Fisheries – waterway barrier works <input type="checkbox"/> Hazardous chemical facilities <input type="checkbox"/> Queensland heritage place <i>(on or near a Queensland heritage place)</i> <input type="checkbox"/> Infrastructure – designated premises <input type="checkbox"/> Infrastructure – state transport infrastructure <input type="checkbox"/> Infrastructure – state transport corridors and future state transport corridors <input type="checkbox"/> Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels <input type="checkbox"/> Infrastructure – state-controlled roads <input type="checkbox"/> Land within Port of Brisbane's port limits <input type="checkbox"/> SEQ development area <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – community activity <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – indoor recreation <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – residential development <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – urban activity <input type="checkbox"/> Tidal works or works in a coastal management district <input type="checkbox"/> Urban design <input type="checkbox"/> Water-related development – taking or interfering with water <input type="checkbox"/> Water-related development – removing quarry material <i>(from a watercourse or lake)</i> <input type="checkbox"/> Water-related development – referable dams <input type="checkbox"/> Water-related development – construction of new levees or modification of existing levees <i>(category 2 or 3 levees only)</i> <input type="checkbox"/> Wetland protection area
<b>Matters requiring referral to the local government:</b> <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA have been devolved to local government)</i> <input type="checkbox"/> Local heritage places
<b>Matters requiring referral to the chief executive of the distribution entity or transmission entity:</b> <input type="checkbox"/> Electricity infrastructure
<b>Matters requiring referral to:</b> <ul style="list-style-type: none"> <li>• The <b>chief executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Oil and gas infrastructure
<b>Matters requiring referral to the Brisbane City Council:</b> <input type="checkbox"/> Brisbane core port land
<b>Matters requiring referral to the Minister under the Transport Infrastructure Act 1994:</b> <input type="checkbox"/> Brisbane core port land <input type="checkbox"/> Strategic port land
<b>Matters requiring referral to the relevant port operator:</b> <input type="checkbox"/> Brisbane core port land <i>(below high-water mark and within port limits)</i>
<b>Matters requiring referral to the chief executive of the relevant port authority:</b> <input type="checkbox"/> Land within limits of another port
<b>Matters requiring referral to the Gold Coast Waterways Authority:</b> <input type="checkbox"/> Tidal works, or development in a coastal management district in Gold Coast waters
<b>Matters requiring referral to the Queensland Fire and Emergency Service:</b> <input type="checkbox"/> Tidal works, or development in a coastal management district



## 18) Has any referral agency provided a referral response for this development application?

- ☒ Yes – referral response(s) received and listed below are attached to this development application  
☐ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable).

See Schedule 1

## PART 6 – INFORMATION REQUEST

## 19) Information request under Part 3 of the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application  
☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

## 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☒ Yes – provide details below or include details in a schedule to this development application  
☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	20173251	9 Aug 2017	GMA certification group
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	20155263	18 Dec 2015	GMA certification group

## 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application  
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
☒ Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

## 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached  
☒ No

## 23) Further legislative requirements

**Environmentally relevant activities**

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

☐ Yes – the required attachment (form EM941) for an application for an environmental authority accompanies this development application, and details are provided in the table below

☒ No

*Note: Application for an environmental authority can be found by searching "EM941" at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.*

Proposed ERA number:

Proposed ERA threshold:

Proposed ERA name:

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

**Hazardous chemical facilities**

23.2) Is this development application for a **hazardous chemical facility**?

☐ Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application

☒ No

*Note: See [www.justice.qld.gov.au](http://www.justice.qld.gov.au) for further information.*

**Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application is accompanied by written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

*Note: See [www.qld.gov.au](http://www.qld.gov.au) for further information.*

**Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

*Note: The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.*

**Koala conservation**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the *Planning Regulation 2017*?

☐ Yes

☒ No

*Note: See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.*

**Water resources**

23.6) Does this development application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, taking overland flow water or waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

*Note: DA templates are available from [www.dilap.qld.gov.au](http://www.dilap.qld.gov.au).*

23.7) Does this application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water** under the *Water Act 2000*?



☐ Yes – I acknowledge that a relevant water authorisation under the *Water Act 2000* may be required prior to commencing development

☐ No

*Note: Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.*

#### Marine activities

23.8) Does this development application involve aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

*Note: See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.*

#### Quarry materials from a watercourse or lake

23.9) Does this development application involve the removal of quarry materials from a watercourse or lake under the *Water Act 2000*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

*Note: Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.*

#### Quarry materials from land under tidal waters

23.10) Does this development application involve the removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

*Note: Contact the Department of Environment and Heritage Protection at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.*

#### Referable dams

23.11) Does this development application involve a referable dam required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

☒ No

*Note: See guidance materials at [www.dews.qld.gov.au](http://www.dews.qld.gov.au) for further information.*

#### Tidal work or development within a coastal management district

23.12) Does this development application involve tidal work or development in a coastal management district?

☐ Yes – the following is included with this development application:

- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
- ☐ A certificate of title

☒ No

*Note: See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.*

#### Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

*Note: See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for information requirements regarding development of Queensland heritage places.*

Name of the heritage place:		Place ID:	
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#### Brothels

23.14) Does this development application involve a material change of use for a brothel?

☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

☒ No**Decision under section 62 of the *Transport Infrastructure Act 1994***

23.15) Does this development application involve new or changed access to a state-controlled road?

☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)☒ No**PART 8 – CHECKLIST AND APPLICANT DECLARATION****24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes*Note: See the Planning Regulation 2017 for referral requirements*If building work is associated with the proposed development, Parts 4 to 6 of *Form 2 – Building work details* have been completed and attached to this development application☐ Yes☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with development application

*Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.*☐ Yes

Relevant plans of the development are attached to this development application

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.*☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21))

☐ Yes☒ Not applicable**25) Applicant declaration**☒ By making this development application, I declare that all information in this development application is true and correct☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001**Note: It is unlawful to intentionally provide false or misleading information.***Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**PART 9 – FOR OFFICE USE ONLY**Date received:  Reference number(s): 

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment	
<i>Note: For completion by assessment manager if applicable</i>	
Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

The *Planning Act 2016*, the *Planning Regulation 2017* and the DA Rules are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.



## SCHEDULE 1

Dear Phil,

Further to our recent discussion regarding the DSC/SARA requirements for you to make an Application for Operational Work to undertake work in the road reserve to provide a sewer connection between the DSC pump station located to the north in Mitre Street and your land and my recent telephone conversation with the Cairns Office of SARA, I confirm as follows:

- The SARA mapping on the adjacent Mitre Street road reserve shows Regulated Vegetation and Wetland Buffer.
- However, there is no vegetation referral as the land is in an urban area and the adjacent land is zoned Residential. (This was confirmed by SARA/DNRM in relation to the proposed Op Works Application- Earthworks on site, when DNRM advised..... *The Department of Natural Resources and Mines advised that if there is no clearing in the area zoned Conservation, the proposal will not trigger native vegetation clearing (22 August 2017);*
- There is also no wetland referral as the Op Works is not 'High Impact Earthworks' as defined, in terms of excavation/filling quantities detailed in the definition and in any event the definition of High Impact Earthworks states, at Schedule 24 of the Planning Regulation at clause (b), as follows;

*High Impact Earthworks –*

*(a).....*

*(b) does not include operational work-*

*(i) that is excavating to establish underground infrastructure, other than infrastructure for drainage or stormwater flows, if the excavated land is to be restored, as far as practicable, to its original contours after the infrastructure is established.*

Please call me if you require any further information or clarification.

Kind regards,

Liz.

**Elizabeth Taylor**

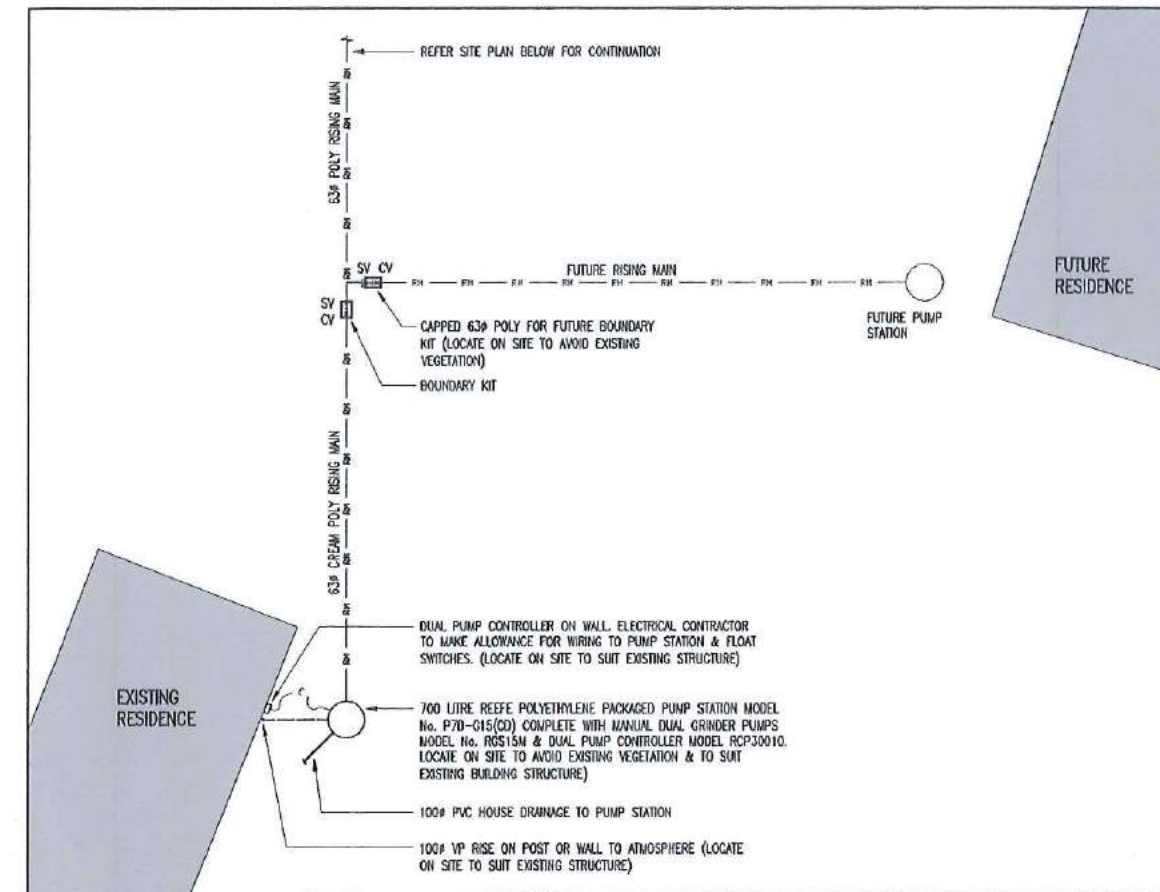
**Town Planner**

**Ph (07) 4055 2548**

**Mob 0407 584 966**






**SITE PLAN**  
1:500



**PUMP STATION INSET**  
1:200



**NOTE:**  
• PLUMBING CONTRACTOR IS TO CONFIRM & MARK THE LOCATION OF ALL EXISTING COUNCIL & PROPERTY SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
• CONTRACTOR IS TO Liaise WITH THE DOUGLAS SHIRE COUNCIL FOR THE CONNECTION OF THE RISING MAIN TO THE EXISTING COUNCIL SEWER

A	DEVELOPMENT APPLICATION	05/12/17
ISSUE	SUBJECT	DATE
AMENDMENTS		
PROJECT		
WALKER RESIDENCE		
82-90 MITRE STREET		
PORT DOUGLAS		
HYDRAULIC CONSULTANTS		
 <b>GILBOY HYDRAULIC SOLUTIONS</b>		
BUILDING HYDRAULIC SERVICES DESIGN / AS/NZS 195:215 422 4/131 SCOTT STREET, BUNGALOW P.O. BOX 857N, NORTH CAIRNS. PHONE - (07) 4051 5116 FAX - (07) 4051 5016 EMAIL - greg@gilboy.com.au		
 BAR SCALE - CHECK DRAWING PLAN SIZE FOR ACCURACY		
CLIENT		
MR. PHIL WALKER		
TITLE		
HYDRAULIC SERVICES		
SITE PLAN & PUMP		
STATION INSET		
DESIGNED	GJG	DATE
SCALE	AS SHOWN/9A1	NOV 2017
JOB NO./DWG. NO./ISSUE	142715/HS002/A	
		



# PROJECT WALKER RESIDENCE, 82-90 MITRE STREET, PORT DOUGLAS

## HYDRAULIC SERVICES

### DRAWING INDEX:

- 142715-HS001 COVER SHEET, NOTES & LEGEND
- 142715-HS002 SITE PLAN & PUMP STATION INSET

### LEGEND:

#### PIPEWORK:

— S —	EXISTING SEWER
— W —	EXISTING WATER MAINS
— FM —	SANITARY PLUMBING & DRAINAGE
— RM —	VENT
— E —	RISING MAIN
— C —	ELECTRICAL

#### SYMBOLS:

○	100mm SEWER MANHOLE
⊕	CHECK VALVE
⊖	DROPPER
⊙	FIRE HYDRANT
⊕	INSPECTION OPENING
⊙	INSPECTION OPENING TO SURFACE
⊕	RISER
⊖	STOP VALVE

#### ABBREVIATIONS:

AFOL	ABOVE FINISHED GROUND LEVEL
CV	CHECK VALVE
E	EXISTING
FM	FIRE HYDRANT
IL	INVERT LEVEL
IO	INSPECTION OPENING
IOS	INSPECTION OPENING TO SURFACE
WH	WATERHOLE
NTS	NOT TO SCALE
ORG	OVERFLOW RELIEF GULLY
PS	PUMP STATION
PVC	POLYVINYL CHLORIDE
RL	REDUCED LEVEL
SV	STOP VALVE
U/C	UNDERGROUND
VP	VENT PIPE

#### NOTE:

- PLUMBING CONTRACTOR IS TO CONFIRM & MARK THE LOCATION OF ALL EXISTING COUNCIL & PROPERTY SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS.
- CONTRACTOR IS TO LAISE WITH THE DOUGLAS SHIRE COUNCIL FOR THE CONNECTION OF THE RISING MAIN TO THE EXISTING COUNCIL SEWER.
- CONTRACTOR TO PUT HOLE EVERY 2m ALONG THE PROPOSED ROUTE IN THE ROAD VERGE FOR RISING MAIN TO ENSURE CLEARANCES TO ALL OTHER INGROUND SERVICES.

#### GENERAL NOTES

- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SEWERAGE & WATER SUPPLY LAWS 1998, NATIONAL CONSTRUCTION CODE (NCC), AS 2418, AS 2441, AS 2444, NATIONAL PLUMBING & DRAINAGE CODE, AS 3500 PARTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
- CONTRACTOR TO CHECK INTERPRETATION OF BYLAWS WITH COUNCIL.
- CONTRACTOR TO VERIFY ALL SURFACE LEVELS, INVERT LEVELS & COVER OVER WASTE DRAINAGE LINES ARE CORRECT & OBTAINABLE BEFORE COMMENCEMENT OF WORK ON SITE.
- LOCATIONS OF EXISTING SERVICES ON SITE ARE ONLY APPROXIMATE & HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL VERIFY LOCATIONS OF SERVICES BEFORE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOT WORK NEAR THESE SERVICES WITHOUT THE PERSONAL SUPERVISION OR THE WRITTEN PERMISSION OF THE RELEVANT AUTHORITIES.
- CONCEAL ALL PIPEWORK WHERE POSSIBLE.
- ALL PIPES Laid UNDER GROUND IN LANDSCAPING TO BE MINIMUM DEPTH OF 400mm TO INVERT LEVEL & SHALL BE 100mm DIA. U/L/D.
- CONTRACTOR TO PROVIDE AS CONSTRUCTED DOCUMENTS TO THE SUPERINTENDENT ON COMPLETION OF THE CONTRACT. AS CONSTRUCTED DOCUMENTS TO BE AUTOCAD DWG FORMAT OR SHEET SIZES TO MATCH CONTRACT DOCUMENTS.
- CONTRACTOR TO PROVIDE OPERATION & MAINTENANCE MANUALS TO COVER ALL HYDRAULIC SERVICES ITEMS ON COMPLETION OF PROJECT IN SENICAL PDF DIGITAL FORMAT.
- THE CONTRACTOR SHALL ALLOW FOR THE SUPPLY OF ALL LABOUR, MATERIALS & PLANT NECESSARY FOR THE INSTALLATION, TESTING & COMMISSIONING OF THE WORKS AS DESCRIBED ON THE DRAWINGS & IN THE SPECIFICATION. THE WORKS SHALL BE COMPLETE WITH FULL ALLOWANCE FOR ALL MAJOR & INCIDENTAL ITEMS REQUIRED THROUGHOUT SPECIFICALLY MENTIONED OR DETAILED. THE CONTRACTOR SHALL ALSO ALLOW FOR ALL WORK REQUIRED TO HAVE GOOD.
- ALL MATERIALS SHALL BE NEW, PROVEN IN SERVICE & SUITABLE FOR THE INTENDED PURPOSE.
- TESTING & COMMISSIONING SHALL BE CARRIED OUT FROM TO PRACTICAL COMPLETION TO CLEARLY DEMONSTRATE & RECORD THAT THE WORKS EFFICIENTLY MEET THE SPECIFIED PERFORMANCE & HAVE BEEN SUCCESSFULLY COMMISSIONED AS A COMPLETE & INTEGRATED INSTALLATION.
- REFER TO ARCHITECTURAL DRAWINGS & SPECIFICATION FOR DETAILS OF TYPES & FINISHES OF SANITARY, FIXTURES, FITTINGS, TAPWARE & THE LIKE.
- DO NOT SCALE FROM DRAWINGS.

#### SANITARY PLUMBING & DRAINAGE

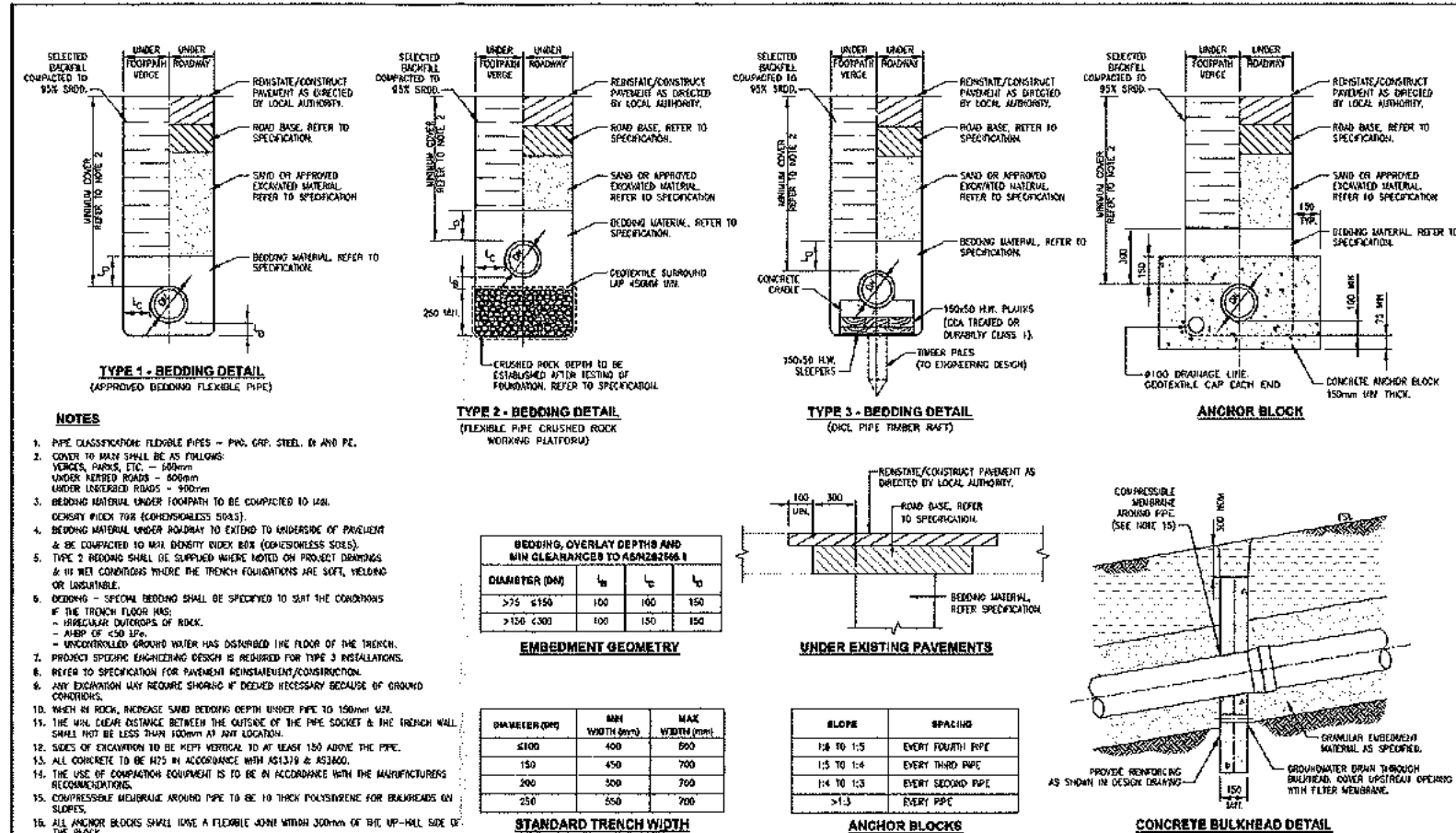
- ALL DRAINAGE SHALL BE 100mm DIA. UPVC RUN AT MINIMUM GRADE OF 1:60 UN/L/D.
- ALL VENT PIPES TO TERMINATE IN ACCORDANCE WITH AS 3500.2 CLAUSE 6.7.4 WHERE NECESSARY OR AS DIRECTED.
- ALL U/L/D UNDER CONCRETE TO BE TAKEN TO SURFACE LEVEL & FITTED WITH APPROVED BRASS SCREW CAP.
- ALL F/W'S SHALL HAVE 100mm DIA. RISERS & REMOVABLE METAL SCREW GRATES CHROME PLATED WHERE EXPOSED.
- ALL ORG RISERS SHALL EXTEND TO AN APPROVED REMOVABLE GRATE SET AT 150mm BELOW THE LOWEST FINISH FLOOR CONNECTED TO THE ORG & BE 75mm ABOVE FINISHED GROUND LEVEL IN ACCORDANCE WITH AS 3500.2.
- WHERE PVC PIPES PENETRATE OR ARE BUILT INTO WALLS OR SLABS THE PIPES SHALL BE LAGGED WITH APPROVED MATERIAL IN ACCORDANCE WITH AS 3500.
- MAXIMUM DISTANCE OF UNVENTED BRANCH DRAIN TO FIXTURES, ORG'S & ORG'S IS 10 METRES.
- MATERIALS:
  - WASTE & VENT PIPES & FITTINGS: UPVC CLASS 'DW' TO AS 1260 FITTED WITH FIRESTOP COLLARS AS REQUIRED.
  - HOUSE DRAINAGE: UPVC CLASS 'DW' TO AS 1260.
  - RISING MAIN: 60mm CLASS 12 POLYETHYLENE TO AS 4130.
- ALL W/C'S TO BE SCREW FIXED TO FLOOR WITH NYLON PLUGS & NON-CORROSIVE METAL SCREWS.
- FLOOR WASTE GULLIES RECEIVING CONDENSATE WASTE INCLUDING TRAPS SHALL BE INSULATED.
- FLOOR WASTE GULLIES RECEIVING DISCHARGES FROM TUBS OR WASHING MACHINES SHALL BE FITTED WITH AN APPROVED GRATE SEALING SYSTEM TO PREVENT FLOWING THROUGH FLOOR GRATES.
- WHO ANY PIPE OR FITTING BUILT INTO A WALL OR FOOTING SHALL BE WRAPPED WITH A SUITABLE FLEXIBLE MATERIAL NOT LESS THAN 6mm THICK, OR PASS THROUGH A SLEEVE PROVIDING A CLEAR ANNUAL SPACE OF NOT LESS THAN 6mm RADIUS, TO PERMIT THE PIPE TO BE SEALED IN POSITION WITHOUT RESTRICTING ITS AXIAL MOVEMENT.

#### WATER MANAGEMENT SYSTEM

- ALL W/C PIPES SHALL BE FITTED WITH A 6/3 LITRE DUAL FLUSH TYPE CISTERN WITH A MINIMUM 4-STAR WELS RATING & BE COMPATIBLE WITH THE SIZE OF THE TOILET BOWL TO ALLOW FOR PROPER FUNCTION OF THE TOILET.
- ALL TAPWARE OUTLETS FOR SINKS, TUBS, BASINS & TROUGHS TO HAVE A NOMINATED MINIMUM 3-STAR WELS RATING & OPERATE AT AN AVERAGE FLOW RATE OF MORE THAN 7.5LIT/MIN BUT NOT MORE THAN 9 LIT/MIN.
- ALL SHOWER OUTLETS TO BE FITTED WITH ROSES HAVING A NOMINATED MINIMUM 3-STAR OR HIGHER WELS RATING & OPERATE AT AN AVERAGE FLOW RATE OF MORE THAN 7.5LIT/MIN BUT NOT MORE THAN 9 LIT/MIN.
- ALL WATER CONSERVATION & WATER SAVING TARGETS WILL BE CARRIED OUT IN ACCORDANCE WITH THE QUEENSLAND DEVELOPMENT CODE MP4.1.

#### PIPING SCHEDULE

PIPE TYPE	AREA	MATERIALS	DESCRIPTION
RISING MAIN	IN GROUND	CLASS 12 POLYETHYLENE TO AS 4130	BEDDED WITH A MINIMUM OF 75mm OF COMPACTED SAND/PINE GRAINED SOIL TO AS 3500.2 CLAUSE 5.4
DISCHARGE PIPEWORK	IN GROUND	UPVC CLASS 12 DW TO AS 1260	BEDDED WITH A MINIMUM OF 75mm OF COMPACTED SAND/PINE GRAINED SOIL TO AS 3500.2 CLAUSE 5.4
SANITARY DRAINAGE PIPEWORK	IN WALL/FLOOR	100mm/75mm/60mm UPVC CLASS DW TO AS 1260	TO BE RETAINED IN POSITION BY BRICKS/CLIPS OR HANGERS TO AS 3500.2 CLAUSE 6.7



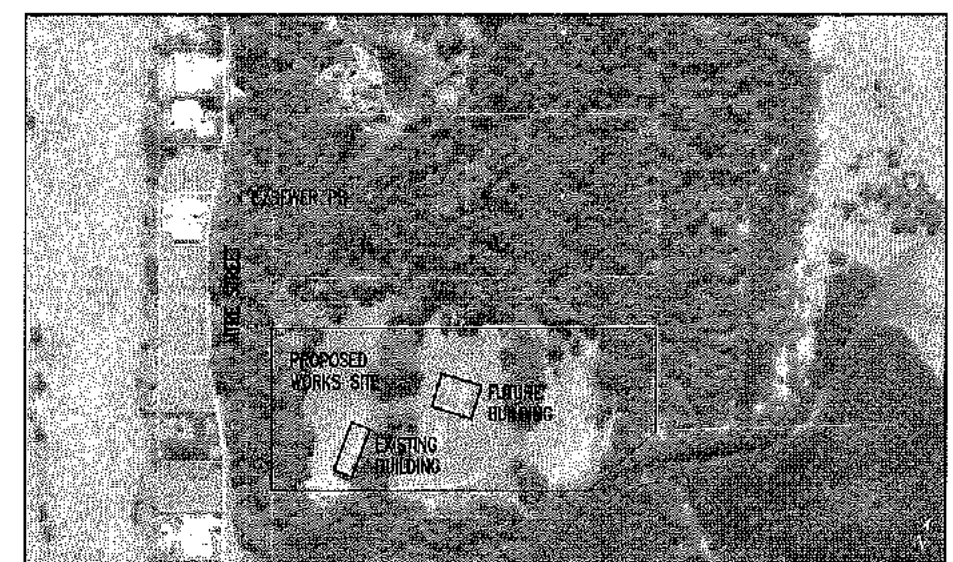
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#### WATER RETICULATION BEDDING DETAILS PIPE DIA < 300

Standard Drawing  
S2016



LOCALITY PLAN  
815

A DEVELOPMENT APPLICATION		05/12/17
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BIRMINGHAM HYDRAULIC SERVICES GROUP / 40N 16 105 215 432 4/131 SCOTT STREET, BIRMGALOW P.O. BOX 857N, NORTH CAIRNS. PHONE - (07) 4051 5116 FAX - (07) 4051 5016 EMAIL - greg@gilboy.com.au		
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