

DA Form 1 – Development application details

Approved form (version 1.0 effective 3 July 2017) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the De-

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

velopment Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

| 1) Applicant details | |
|--|--|
| Applicant name(s) <i>(individual or company full name)</i> | Gavin Findlay |
| Contact name <i>(only applicable for companies)</i> | |
| Postal address <i>(P.O. Box or street address)</i> | Archibald Street |
| Suburb | Lyneham |
| State | ACT |
| Postcode | 2602 |
| Country | Australia |
| Contact number | 406566642 |
| Email address <i>(non-mandatory)</i> | tonebuddha@icloud.com |
| Mobile number <i>(non-mandatory)</i> | 0406566642 |
| Fax number <i>(non-mandatory)</i> | |
| Applicant's reference number(s) <i>(if applicable)</i> | |

| 2) Owner's consent | |
|---|--|
| 2.1) Is written consent of the owner required for this development application? | |
| No – proceed to 3) | |

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see *DA Forms Guide: Relevant plans*.

3.1) Street address and lot on plan

Street address **AND** lot on plan (all lots must be listed), **or**

Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

| | | | | |
|----|-----------|------------|------------------------------------|--------------------------|
| a) | Unit No. | Street No. | Street Name and Type | Suburb |
| | | 12 | Fig Tree Road | Cow Bay |
| | Post-code | Lot No. | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| | 4873 | 339 | RP739003 | Douglas Shire |
| b) | Unit No. | Street No. | Street Name and Type | Suburb |
| | | | | |
| | Post-code | Lot No. | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| | | | | |

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

Coordinates of premises by longitude and latitude

| Longitude(s) | Latitude(s) | Datum | Local Government Area(s) (if applicable) |
|--------------|-------------|--------------------------|--|
| | | WGS84 GDA94 Other: | |

Coordinates of premises by easting and northing

| Easting(s) | Northing(s) | Zone Ref. | Datum | Local Government Area(s) (if applicable) |
|------------|-------------|----------------|--------------------------|--|
| | | 54 55 56 | WGS84 GDA94 Other: | |

3.3) Additional premises

Additional premises are relevant to this development application and their details have been attached in a schedule to this application

Not required

4) Identify any of the following that apply to the premises and provide any relevant details

In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

Watercourse line 59540331

| | |
|--|--|
| On strategic port land under the <i>Transport Infrastructure Act 1994</i> | |
| Lot on plan description of strategic port land: | |
| Name of port authority for the lot: | |
| In a tidal area | |
| Name of local government for the tidal area <i>(if applicable)</i> : | |
| Name of port authority for tidal area <i>(if applicable)</i> : | |
| On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i> | |
| Name of airport: | |
| Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i> | |
| EMR site identification: | |
| Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i> | |
| CLR site identification: | |

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

Building work

b) What is the approval type? *(tick only one box)*

Development permit

c) What is the level of assessment?

Code assessment

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Single dwelling with grey water treatment and shed

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.

Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

| | | | |
|------------------------|---------------------|------------------|---------------|
| Material change of use | Reconfiguring a lot | Operational work | Building work |
|------------------------|---------------------|------------------|---------------|

b) What is the approval type? *(tick only one box)*

| | | |
|--------------------|----------------------|---|
| Development permit | Preliminary approval | Preliminary approval that includes a variation approval |
|--------------------|----------------------|---|

c) What is the level of assessment?

| | |
|-----------------|---|
| Code assessment | Impact assessment <i>(requires public notification)</i> |
|-----------------|---|

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

| | |
|------------------------|---|
| Material change of use | No |
| Reconfiguring a lot | No |
| Operational work | No |
| Building work | Yes – complete <i>DA Form 2 – Building work details</i> |

Division 1 – Material change of use

Note: *This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.*

8.1) Describe the proposed material change of use

| Provide a general description of the proposed use | Provide the planning scheme definition <i>(include each definition in a new row)</i> | Number of dwelling units <i>(if applicable)</i> | Gross floor area (m ²) <i>(if applicable)</i> |
|---|--|---|---|
| | | | |
| | | | |
| | | | |

8.2) Does the proposed use involve the use of existing buildings on the premises?

| | | |
|-----|--|--|
| Yes | | |
| No | | |

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

| | |
|---|---|
| <input type="text"/> | |
| Subdivision <i>(complete 10)</i> | Dividing land into parts by agreement <i>(complete 11)</i> |
| Boundary realignment <i>(complete 12)</i> | Creating or changing an easement giving access to a lot from a construction road <i>(complete 13)</i> |

10) Subdivision

| | | | | |
|---|-------------|------------|------------|------------------------|
| <input type="text"/> | | | | |
| Intended use of lots created | Residential | Commercial | Industrial | Other, please specify: |
| | | | | |
| Number of lots created | | | | |
| <input type="text"/> | | | | |
| Yes – provide additional details below | | | | |
| No | | | | |
| How many stages will the works include? | | | | |
| What stage(s) will this development application apply to? | | | | |

| | | | | |
|-------------------------------|-------------|------------|------------|------------------------|
| <input type="text"/> | | | | |
| Intended use of parts created | Residential | Commercial | Industrial | Other, please specify: |
| | | | | |
| Number of parts created | | | | |

12) Boundary realignment

| | | | |
|-------------------------|------------------------|-------------------------|------------------------|
| <input type="text"/> | | | |
| Current lot | | Proposed lot | |
| Lot on plan description | Area (m ²) | Lot on plan description | Area (m ²) |
| | | | |

| | | | |
|---|--|--|--|
| | | | |
| 12.2) What is the reason for the boundary realignment? | | | |
| | | | |

| [Redacted] | | | | |
|-----------------------|-----------|------------|---|---|
| Existing or proposed? | Width (m) | Length (m) | Purpose of the easement? (e.g. pedestrian access) | Identify the land/lot(s) benefitted by the easement |
| | | | | |
| | | | | |

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

| | | |
|---|------------|-----------------------|
| 14.1) What is the nature of the operational work? | | |
| Road work | Stormwater | Water infrastructure |
| Drainage work | Earthworks | Sewage infrastructure |
| Landscaping | Signage | Clearing vegetation |
| Other – please specify: | | |
| [Redacted] | | |
| Yes – specify number of new lots: | | |
| No | | |
| 14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour) | | |
| \$ | | |

PART 4 – ASSESSMENT MANAGER DETAILS

| |
|--|
| 15) Identify the assessment manager(s) who will be assessing this development application |
| GMA Certification |
| 16) Has the local government agreed to apply a superseded planning scheme for this development application? |
| No |

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **chief executive of the Planning Regulation 2017**: n/a

Matters requiring referral to the **local government**:

n/a

Matters requiring referral to the **chief executive of the distribution entity or transmission entity**:

n/a

Matters requiring referral to:

- The **chief executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual

n/a

Matters requiring referral to **the Brisbane City Council**:

n/a

Matters requiring referral to the **Minister under the Transport Infrastructure Act 1994**:

n/a

| |
|---|
| Matters requiring referral to the relevant port operator: n/a |
| Matters requiring referral to the chief executive of the relevant port authority: n/a |
| Matters requiring referral to the Gold Coast Waterways Authority: n/a |
| Matters requiring referral to the Queensland Fire and Emergency Service: n/a |

18) Has any referral agency provided a referral response for this development application?

No

| Referral requirement | Referral agency | Date of referral response |
|----------------------|-----------------|---------------------------|
| | | |
| | | |

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules

I agree to receive an information request if determined necessary for this development application

Note: *By not agreeing to accept an information request I, the applicant, acknowledge:*

- *that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties*
- *Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.*

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

| 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval) | | | |
|---|------------------|------|--------------------|
| No | | | |
| List of approval/development application references | Reference number | Date | Assessment manager |
| Approval Development application | | | |
| Approval Development application | | | |

| 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work) | | |
|--|----------------------|--------------------------------|
| <p>No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid</p> <p>Not applicable</p> | | |
| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
| \$ | | |

| 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice? |
|--|
| No |

| 23) Further legislative requirements | | | |
|--|--|-------------------------|--|
| <u>Environmentally relevant activities</u> | | | |
| 23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ? | | | |
| <p>No</p> <p><i>Note: Application for an environmental authority can be found by searching "EM941" at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</i></p> | | | |
| Proposed ERA number: | | Proposed ERA threshold: | |
| Proposed ERA name: | | | |

Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

No

Note: See www.justice.qld.gov.au for further information.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

No

Note: See www.qld.gov.au for further information.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

No

Note: See guidance materials at www.ehp.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, taking overland flow water or waterway barrier works**?

No

Note: DA templates are available from www.dilgp.qld.gov.au.

23.7) Does this application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water** under the *Water Act 2000*?

No

Note: Contact the Department of Natural Resources and Mines at www.dnrm.qld.gov.au for further information.

Marine activities

23.8) Does this development application involve aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the removal of quarry materials from a watercourse or lake under the *Water Act 2000*?

No

Note: Contact the Department of Natural Resources and Mines at www.dnrm.qld.gov.au for further information.

23.10) Does this development application involve the removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995*?

No

Note: Contact the Department of Environment and Heritage Protection at www.ehp.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a referable dam required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

No

Note: See guidance materials at www.dews.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve tidal work or development in a coastal management district?

No

Note: See guidance materials at www.ehp.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the Queensland heritage register or on a place entered in a local government's Local Heritage Register?

No

Note: See guidance materials at www.ehp.qld.gov.au for information requirements regarding development of Queensland heritage places.

| | | | |
|-----------------------------|--|-----------|--|
| Name of the heritage place: | | Place ID: | |
|-----------------------------|--|-----------|--|

Brothels

23.14) Does this development application involve a material change of use for a brothel?

| |
|---|
| No |
| <u>Decision under section 62 of the Transport Infrastructure Act 1994</u> |
| 23.15) Does this development application involve new or changed access to a state-controlled road? |
| No |

PART 8 – CHECKLIST AND APPLICANT DECLARATION

| 24) Development application checklist | |
|--|-----|
| I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i> | Yes |
| If building work is associated with the proposed development, Parts 4 to 6 of <i>Form 2 – Building work details</i> have been completed and attached to this development application | Yes |
| Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i> | N/A |
| Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i> | Yes |
| The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 21</i>) | Yes |

| 25) Applicant declaration |
|---|
| By making this development application, I declare that all information in this development application is true and correct |
| Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> |
| <i>Note: It is unlawful to intentionally provide false or misleading information.</i> |

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.
 All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.
 Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR OFFICE USE ONLY

Date received: Reference number(s):

| Notification of engagement of alternative assessment manager | |
|--|--|
| Prescribed assessment manager | |
| Name of chosen assessment manager | |
| Date chosen assessment manager engaged | |
| Contact number of chosen assessment manager | |
| Relevant licence number(s) of chosen assessment manager | |

| QLeave notification and payment <small>Note: For completion by assessment manager if applicable</small> | |
|--|--|
| Description of the work | |
| QLeave project number | |
| Amount paid (\$) | |
| Date paid | |
| Date receipted form sighted by assessment manager | |
| Name of officer who sighted the form | |

The *Planning Act 2016*, the Planning Regulation 2017 and the DA Rules are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.

DA Form 2 – Building work details

Approved form (version 1.0 effective 3 July 2017) made under Section 282 of the Planning Act 2016

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (*DA Form 2*) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated with any other type of assessable development**, use *DA Form 1 – Development application details* and parts 4 to 6 of this form (*DA Form 2*).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development applications relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used within this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

| 1) Applicant details | |
|--|-----------------------|
| Applicant name(s) <i>(individual or company full name)</i> | Mr Gavin Findlay |
| Contact name <i>(only applicable for companies)</i> | |
| Postal address <i>(PO Box or street address)</i> | 41 Archibald Street |
| Suburb | Lyneham |
| State | ACT |
| Postcode | 2602 |
| Country | Australia |
| Contact number | 0406566642 |
| Email address <i>(non-mandatory)</i> | tonebuddha@icloud.com |
| Mobile number <i>(non-mandatory)</i> | |
| Fax number <i>(non-mandatory)</i> | |
| Applicant's reference number (s) <i>(if applicable)</i> | |

PART 2 – LOCATION DETAILS

2.1) Location of the premises *(Complete 2.1 and/or 2.2 if applicable)*

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

- Street address **AND** lot on plan *(all lots must be listed)*, or
- Street address **AND** lot on plan for an adjoining or adjacent property of the premises *(appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed)*.

| | | | | | | |
|----|--------------------------|------------|---------------|---------|-----------------------------------|-------------|
| 1) | Unit No. | Street No. | Street Name | | | Street Type |
| | | 12 | Fig Tree | | | Road |
| | Suburb | | Postcode | Lot No. | Plan type and number (e.g. RP,SP) | |
| | Cow Bay | | | 339 | RP739003 | |
| | Local Government Area(s) | | Douglas Shire | | | |

2.2) Additional premises

Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms guide.

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
 No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
 No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
 The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
 No

7) Information request under Part 3 of the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be accessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

Yes – provide details below or include details in a schedule to this development application

No

| List of approval/development application | Reference | Date | Assessment manager |
|--|-----------|------|--------------------|
| | | | |

9) Has portable long service leave levy been paid? (only applicable for building work or operational work)

Yes – the yellow local government/private certifier’s copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid.

Not applicable

| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
|-------------|----------------------|--------------------------------|
| \$ | | |

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes, show cause or enforcement notice is attached.

No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

The proposed development is on a place entered in the **Queensland heritage register** or in a local government’s **Local Heritage Register**. See the guidance provided at www.ehp.qld.gov.au about the requirements in relation to the development of a Queensland heritage place.

| | | | |
|-----------------------------|--|-----------|--|
| Name of the heritage place: | | Place ID: | |
|-----------------------------|--|-----------|--|

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes - the *Referral checklist for building work* is attached to this development application
- No - proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

| Referral requirement | Referral agency | Date referral response |
|----------------------|-----------------|------------------------|
| | | |

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the actual development application the subject of this form, or include details in a schedule to this development application (*if applicable*)

PART 5 – BUILDING WORK DETAILS**14) Owner's details**

Tick if the applicant is also the owner and proceed to 15). Otherwise provide the following information.

| | |
|--|-----------------------|
| Name(s) (<i>individual or company full name</i>) | Mr Gavin Findlay |
| Contact name (<i>applicable for companies</i>) | |
| Postal address (<i>P.O. Box or street address</i>) | 41 Archibald Street |
| Suburb | Lyneham |
| State | ACT |
| Postcode | 2602 |
| Contact number | 0406566642 |
| Email address (<i>non-mandatory</i>) | tonebuddha@icloud.com |
| Mobile number (<i>non-mandatory</i>) | |
| Fax number (<i>non-mandatory</i>) | |

15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information

| | |
|--|--|
| Name(s) (<i>individual or company full name</i>) | |
| Contact name (<i>applicable for companies</i>) | |
| QBCC licence or owner – builder number | |
| Postal address (<i>PO Box or street address</i>) | |
| Suburb | |
| State | |
| Postcode | |
| Contact number | |
| Email address (<i>non-mandatory</i>) | |

| | |
|-------------------------------|--|
| Mobile number (non-mandatory) | |
| Fax number (non-mandatory) | |

16) Provide details about the proposed building work

a) What type of approval is being sought?

- Development permit
 Preliminary Approval

b) What is the level of assessment?

- Code assessment
 Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

- New building or structure
 Change of building classification (involving building work)
 Demolition
 Repairs, alterations or additions
 Swimming pool and/or pool fence
 Relocation or removal

d) Provide a description of the work below or in an attached schedule.

Build new structure, grey water treatment and fitout of bathroom Install new water tanks and connect gutter drainage
 Complete structure of new shed and install metal sheet roofing barge beams and gutters, wall enclosure to half of shed

e) Proposed construction materials:

| | | | |
|----------------|---|--|---|
| External walls | <input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete | <input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement | <input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input checked="" type="checkbox"/> Other |
| Frame | <input checked="" type="checkbox"/> Timber <input type="checkbox"/> Other | <input type="checkbox"/> Steel | <input type="checkbox"/> Aluminium |
| Floor | <input type="checkbox"/> Concrete | <input checked="" type="checkbox"/> Timber | <input type="checkbox"/> Other |
| Roof covering | <input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium | <input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Fibre cement <input type="checkbox"/> Other |

f) Existing building use/classification? (if applicable)

false

g) New building use/classification? (if applicable)

Dwelling

h) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#)

- Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?

\$ 60000.00

18) Has Queensland Home Warranty Scheme Insurance been paid?

- Yes – provide details below
 No

| | | |
|-------------|----------------------|------------------|
| Amount paid | Date paid (dd/mm/yy) | Reference number |
|-------------|----------------------|------------------|

\$

PART 6 – CHECKLIST AND APPLICANT DECLARATION

| 19) Development application checklist | |
|--|--|
| The relevant parts of <i>Form 2 – Building work details</i> have been completed | <input checked="" type="checkbox"/> Yes |
| This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i> | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable |
| Relevant plans of development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i> | <input checked="" type="checkbox"/> Yes |
| The portable long service leave levy for Qleave has been paid, or will be paid before a development permit is issued | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable |

20) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct.
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted to sections 11 and 12 of the *Electronic Transactions Act 2001*.

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR OFFICE USE ONLY – FOR COMPLETION BY THE ASSESSMENT MANAGER

| Additional building details required for the Australian Bureau of Statistics | | | |
|--|--|------------------------------|--|
| Existing building use/classification? (if applicable) | | | |
| New building use/classification? | | | |
| Site area (m ²) | | Floor area (m ²) | |

Additional information required by the local government

| | | | |
|--|---|---------------------------------------|--|
| Confirm proposed construction materials: | | | |
| External walls | <input type="checkbox"/> Double Brick | <input type="checkbox"/> Steel | <input type="checkbox"/> Curtain glass |
| | <input type="checkbox"/> Brick veneer | <input type="checkbox"/> Timber | <input type="checkbox"/> Aluminium |
| | <input type="checkbox"/> Stone/concrete | <input type="checkbox"/> Fibre cement | <input type="checkbox"/> Other |
| Frame | <input type="checkbox"/> Timber | <input type="checkbox"/> Steel | <input type="checkbox"/> Aluminium |
| | <input type="checkbox"/> Other | | |
| Floor | <input type="checkbox"/> Concrete | <input type="checkbox"/> Timber | <input type="checkbox"/> Other |
| Roof covering | <input type="checkbox"/> Slate/concrete | <input type="checkbox"/> Tiles | <input type="checkbox"/> Fibre cement |
| | <input type="checkbox"/> Aluminium | <input type="checkbox"/> Steel | <input type="checkbox"/> Other |

Date received: Reference numbers:

For completion by the building certifier

| Classification(s) of approved building work | QBCC Insurance receipt number | QBCC Certification Licence number |
|---|-------------------------------|-----------------------------------|
| | | |

Notification of engagement of alternate chosen assessment manager

| | |
|---|--|
| Prescribed assessment manager | |
| Name of chosen assessment manager | |
| Date chosen assessment manager engaged | |
| Contact number of chosen assessment manager | |
| Relevant licence number(s) of chosen assessment manager | |

The *Planning Act 2016*, the *Planning Regulation 2017* and the *DA Rules* are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.

DA Form 2 – Building work details

Approved form (version 1.0 effective 3 July 2017) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated with any other type of assessable development**, use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

| 1) Applicant details | |
|---|--------------------------------|
| Applicant name(s) (individual or company full name) | GRAVIN FINDLAY & VICTORIA LEES |
| Contact name (only applicable for companies) | |
| Postal address (PO Box or street address) | 41 ALFRED ST WINDHAM ACT 2602 |
| Suburb | WINDHAM |
| State | ACT |
| Postcode | 2602 |
| Country | AUSTRALIA |
| Contact number | 0406 566 642 |
| Email address (non-mandatory) | tonebuddha@icloud.com |
| Mobile number (non-mandatory) | 0406 566 692 |
| Fax number (non-mandatory) | |
| Applicant's reference number(s) (if applicable) | |

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

2.1) Street address and lot on plan

- Street address AND lot on plan (all lots must be listed), OR
- Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).



| | | | |
|----------|------------|------------------------------------|--------------------------|
| Unit No. | Street No. | Street Name and Type | Suburb |
| | 12R | FIG TREE ROAD | COW BAY |
| Postcode | Lot No. | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| | 239 | P6797 | |

2.2) Additional premises

Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the DA Forms Guide

Yes – All easement locations, types and dimensions are included in plans submitted with this development application
 No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

Yes – proceed to 8)
 No

5) Identify the assessment manager(s) who will be assessing this development application

COMA CERTIFICATION

6) Has the local government agreed to apply a superseded planning scheme for this development application?

Yes – a copy of the decision notice is attached to this development application
 The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
 No

7) Information request under Part 3 of the DA Rules

I agree to receive an information request if determined necessary for this development application
 I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the DA Forms Guide.

8) Are there any associated development applications or current approvals?

Yes – provide details below or include details in a schedule to this development application
 No

| List of approval/development application | Reference | Date | Assessment manager |
|---|-----------|------|--------------------|
| <input type="checkbox"/> Approval <input type="checkbox"/> Development application | | | |
| <input type="checkbox"/> Approval <input type="checkbox"/> Development application | | | |

9) Has the portable long service leave levy been paid?

- Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application
- No – 1, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- Not applicable

| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
|-------------|----------------------|--------------------------------|
| \$ | | |

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
- No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland heritage register** or in a local government's **Local Heritage Register**. See the guidance provided at www.ehp.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

| Name of the heritage place: | Place ID: |
|-----------------------------|-----------|
| | |

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the *Referral checklist for building work* is attached to this development application
- No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

| Referral requirement | Referral agency | Date referral response |
|----------------------|-----------------|------------------------|
| | | |
| | | |

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

| | |
|---|--|
| Name(s) (individual or company full name) | |
| Contact name (applicable for companies) | |
| Postal address (P.O. Box or street address) | |
| Suburb | |

| | |
|-------------------------------|--|
| State | |
| Postcode | |
| Contact number | |
| Email address (non-mandatory) | |
| Mobile number (non-mandatory) | |
| Fax number (non-mandatory) | |

15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

| | |
|---|--|
| Name(s) (individual or company full name) | |
| Contact name (applicable for companies) | |
| QBCC licence or owner – builder number | |
| Postal address (P.O. Box or street address) | |
| Suburb | |
| State | |
| Postcode | |
| Contact number | |
| Email address (non-mandatory) | |
| Mobile number (non-mandatory) | |
| Fax number (non-mandatory) | |

16) Provide details about the proposed building work

a) What type of approval is being sought?

- Development permit
 Preliminary approval

b) What is the level of assessment?

- Code assessment
 Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

- New building or structure
 Change of building classification (involving building work)
 Demolition
 Repairs, alterations or additions
 Swimming pool and/or pool fence
 Relocation or removal

d) Provide a description of the work below or in an attached schedule.

~~5/5~~ DWELLING

e) Proposed construction materials

| | | | |
|----------------|--|--|---|
| External walls | <input type="checkbox"/> Double brick | <input checked="" type="checkbox"/> Steel | <input checked="" type="checkbox"/> Curtain glass |
| | <input type="checkbox"/> Brick veneer | <input checked="" type="checkbox"/> Timber | <input type="checkbox"/> Aluminium |
| | <input type="checkbox"/> Stone/concrete | <input type="checkbox"/> Fibre cement | <input type="checkbox"/> Other |
| Frame | <input checked="" type="checkbox"/> Timber | <input type="checkbox"/> Steel | <input type="checkbox"/> Aluminium |
| | <input type="checkbox"/> Other | | |
| Floor | <input type="checkbox"/> Concrete | <input checked="" type="checkbox"/> Timber | <input type="checkbox"/> Other |
| Roof covering | <input type="checkbox"/> Slate/concrete | <input type="checkbox"/> Tiles | <input type="checkbox"/> Fibre cement |
| | <input type="checkbox"/> Aluminium | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Other |

| |
|---|
| f) Existing building use/classification? (if applicable) |
| g) New building use/classification? (if applicable) |
| h) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <i>DA Forms Guide: Relevant plans</i> . <input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application |

17) What is the monetary value of the proposed building work?

\$90,000

18) Has Queensland Home Warranty Scheme Insurance been paid?

 Yes – provide details below No

| Amount paid | Date paid (dd/mm/yy) | Reference number |
|-------------|----------------------|------------------|
| \$ | | |

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

| | |
|--|--|
| The relevant parts of <i>Form 2 – Building work details</i> have been completed | <input checked="" type="checkbox"/> Yes |
| This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i> | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable |
| Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <i>DA Forms Guide: Relevant plans</i> . | <input checked="" type="checkbox"/> Yes |
| The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable |

20) Applicant declaration

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

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- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR OFFICE USE ONLY - FOR COMPLETION BY THE ASSESSMENT MANAGER

| Additional building details required for the Australian Bureau of Statistics | | | |
|--|--|------------------------------|--|
| Existing building use/classification? <i>(if applicable)</i> | | | |
| New building use/classification? | | | |
| Site area (m ²) | | Floor area (m ²) | |

| Additional information required by the local government | | | |
|---|---|---------------------------------------|--|
| Confirm proposed construction materials: | | | |
| External walls | <input type="checkbox"/> Double brick | <input type="checkbox"/> Steel | <input type="checkbox"/> Curtain glass |
| | <input type="checkbox"/> Brick veneer | <input type="checkbox"/> Timber | <input type="checkbox"/> Aluminium |
| | <input type="checkbox"/> Stone/concrete | <input type="checkbox"/> Fibre cement | <input type="checkbox"/> Other |
| Frame | <input type="checkbox"/> Timber | <input type="checkbox"/> Steel | <input type="checkbox"/> Aluminium |
| | <input type="checkbox"/> Other | | |
| Floor | <input type="checkbox"/> Concrete | <input type="checkbox"/> Timber | <input type="checkbox"/> Other |
| Roof covering | <input type="checkbox"/> Slate/concrete | <input type="checkbox"/> Tiles | <input type="checkbox"/> Fibre cement |
| | <input type="checkbox"/> Aluminium | <input type="checkbox"/> Steel | <input type="checkbox"/> Other |

Date received: Reference numbers:

| For completion by the building certifier | | |
|---|-------------------------------|-----------------------------------|
| Classification(s) of approved building work | QBCC Insurance receipt number | QBCC Certification Licence number |
| | | |

| Notification of engagement of alternate chosen assessment manager | |
|---|--|
| Prescribed assessment manager | |
| Name of chosen assessment manager | |
| Date chosen assessment manager engaged | |
| Contact number of chosen assessment manager | |
| Relevant licence number(s) of chosen assessment manager | |

The *Planning Act 2016*, the *Planning Regulation 2017* and the *DA Rules* are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.

WALLABY GROVE

BUILDING DESIGN

198 QUANDONG ROAD
COW BAY QLD. 4873
Lic QBSA 703585 PH 0487 537 382

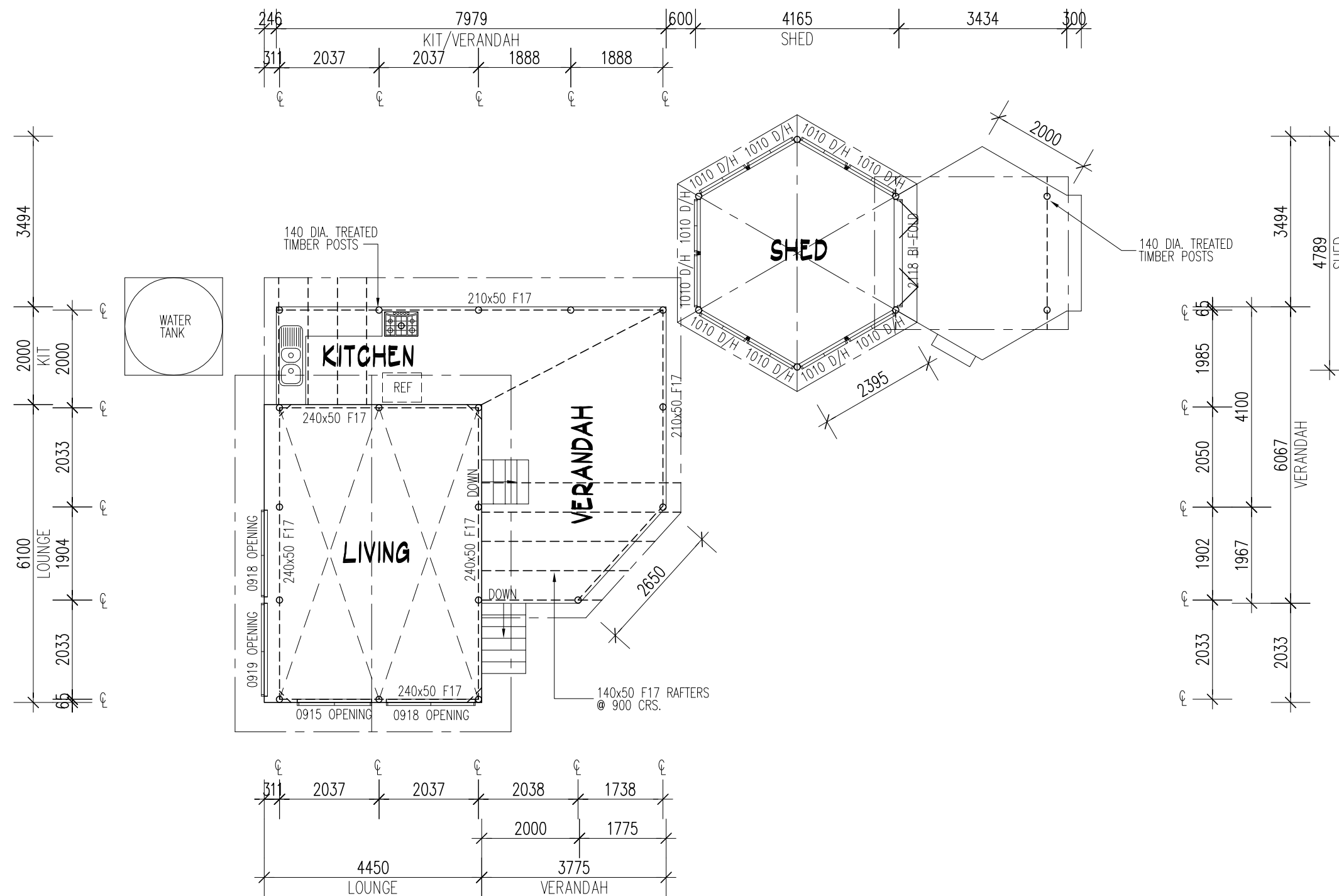
LEGEND

| | |
|--------|--|
| F.R.C | FIBRE REINFORCED CEMENT |
| REF | FRIDGE PROVISION |
| W.O. | WALL OVEN TOWER |
| M.W. | MICROWAVE PROVISION |
| D.W. | DISHWASHER PROVISION |
| B.BAR | BREAKFAST BAR |
| W.M. | WASHING MACHINE PROVISION |
| SHR. | SHOWER |
| M.H. | 600 x 600 MAN HOLE |
| D.P. | DOWNPIPE |
| HWD | HARDWOOD TIMBER |
| OBS | OBSCURE GLASS |
| F/G | FIXED GLASS TO ALL PANELS |
| D/H | DOUBLE HUNG WINDOW |
| L.S. | LOWER SECTION SLIDING PANEL |
| BAY | BAY WINDOW |
| SL | GLASS SIDELIGHT PANEL |
| S/D | GLASS SLIDING DOOR (EXTERNAL) |
| S | SHEET METAL ROOF SPECIAL WINDOWS |
| XO | SLIDING PANEL/ FIXED PANEL |
| M/F | POWDER COATED ALUM. FLASHING |
| PV | PERMANENT VENT PANEL TO WINDOW |
| FED | FEDERATION BARS TO WINDOWS |
| COL | COLONIAL BARS TO WINDOWS |
| V.S.D | VINYL FACED SLIDING ROBE DOORS |
| M.S.D | MIRROR SLIDING ROBE DOORS |
| F.S.D | FACE OF WALL SLIDING DOOR (PELMET) |
| C.S.D | INTERNAL CAVITY SLIDING DOOR |
| SQ SET | 300D SQUARE SET P'BOARD BULKHEAD |
| 820 | SIZE OF TIMBER DOOR (WIDTH) |
| 21-18 | SIZE OF WINDOW (2100H x 1800W) |
| P.C.J. | PLASTERBOARD CEILING CONTROL JOINT |
| R.B.M. | REFLECTIVE BUILDING MEMBRANE |
| A.J. | ARTICULATION JOINT |
| ⊙ | LOCATION OF SMOKE ALARM. (TO COMPLY WITH B.C.A CLASS 1 & 10 PART 3.7-2 & WITH A.S 3786. |

NOTES

WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
ALL INTERNAL DIMENSIONS STATED ARE FRAME SIZE - EXCLUDING LININGS.

C2.



UPPER FLOOR PLAN LAYOUT.

AREA:-
LIVING:- 27.15m²
KIT/VERANDAH:- 29.57m²
BATH:- 5.22m²
TOTAL AREA:- 61.94m²
PER LENGTH:- 48.10m
ROOF AREA:- 73.47m²
PER LENGTH:- 35.66m

FINAL SIGNED COPY
I/WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SUPERSEDE PRELIM. PLANS & I/WE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN.
THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & WALLABY GROVE BUILDING DESIGN.

PROPRIETOR SIGNATURE _____ PROPRIETOR SIGNATURE _____
BUILDERS SIGNATURE _____ THESE PLANS REMAIN COPYRIGHT OF WALLABY GROVE BUILDING DESIGN

| | |
|--|--------------------------------|
| CLIENTS J. M. GNIEL LOT 339 MAPLE ROAD, COW BAY. | |
| CHECKED | TENDER LETTER |
| DRAWING UPPER FLOOR PLAN LAYOUT | REFERENCE No. 161216 |
| SCALE: 1:100 | DATE: 16/12/16 (CP) |
| DRAWN: BRI | 12/10/17 (V.1) |
| SHEET | 1 OF 8 |

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WALLABY GROVE

BUILDING DESIGN

198 QUANDONG ROAD
COW BAY QLD. 4873
Lic QBSA 703585 PH 0487 537 382

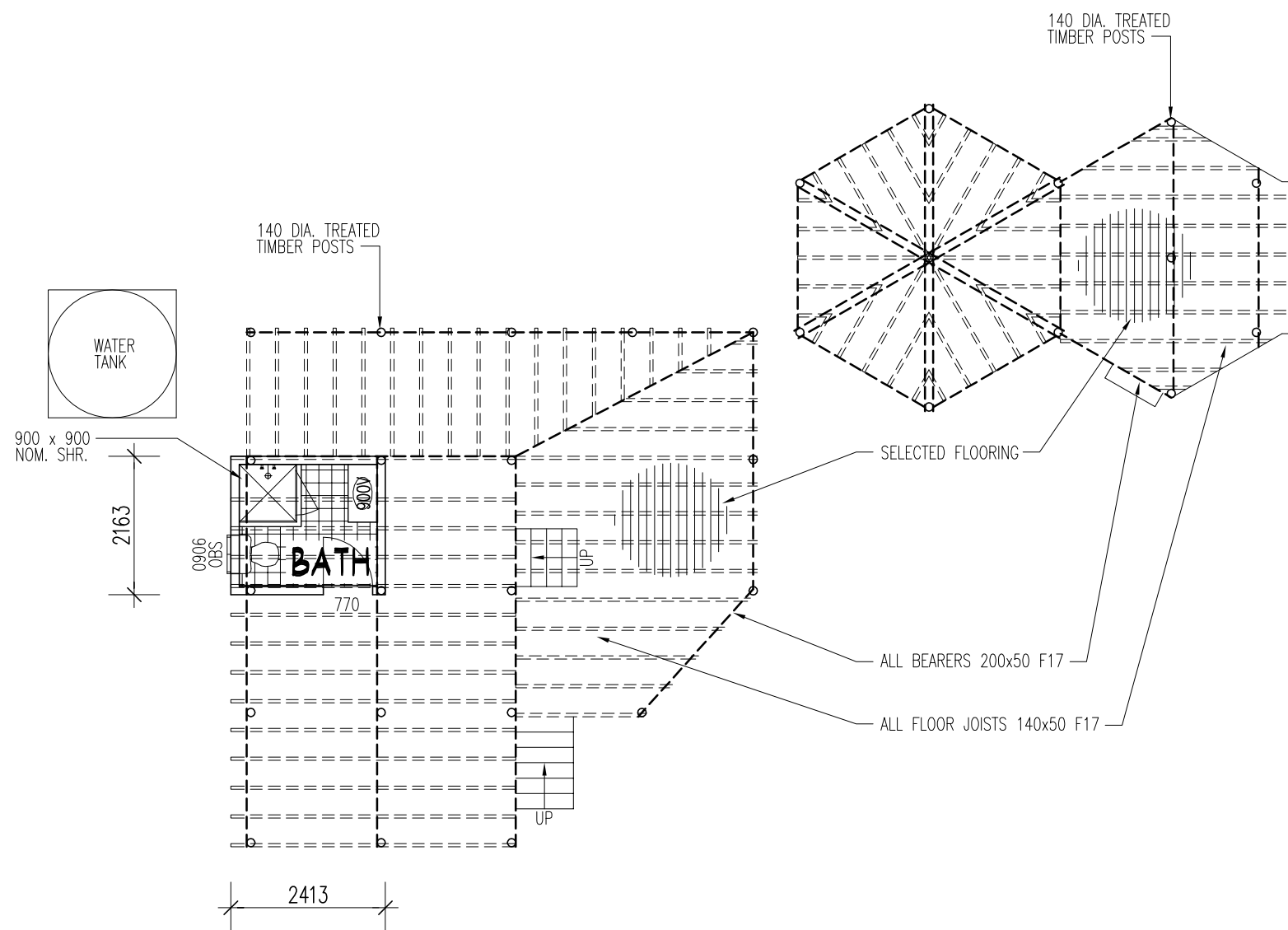
C2.

LEGEND

| | |
|--------|---|
| F.R.C | FIBRE REINFORCED CEMENT |
| REF | FRIDGE PROVISION |
| W.O. | WALL OVEN TOWER |
| M.W. | MICROWAVE PROVISION |
| D.W | DISHWASHER PROVISION |
| B.BAR | BREAKFAST BAR |
| W.M. | WASHING MACHINE PROVISION |
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| F/G | FIXED GLASS TO ALL PANELS |
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| BAY | BAY WINDOW |
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| S/D | GLASS SLIDING DOOR (EXTERNAL) |
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| XO | SLIDING PANEL/ FIXED PANEL |
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| M.S.D | MIRROR SLIDING ROBE DOORS |
| F.S.D. | FACE OF WALL SLIDING DOOR (PELMET) |
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| SQ SET | 300D SQUARE SET P'BOARD BULKHEAD |
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| R.B.M. | REFLECTIVE BUILDING MEMBRANE |
| A.J. | ARTICULATION JOINT |
| ⊙ | LOCATION OF SMOKE ALARM. (TO COMPLY WITH B.C.A CLASS 1 & 10 PART 3.7-2 & WITH A.S 3786. |

NOTES

WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
ALL INTERNAL DIMENSIONS STATED ARE FRAME SIZE - EXCLUDING LININGS.



LOWER FLOOR AND FRAMING PLAN LAYOUT.

| | |
|----------------|---------------------|
| AREA:- | |
| LIVING:- | 27.15m ² |
| KIT/VERANDAH:- | 29.57m ² |
| BATH:- | 5.22m ² |
| TOTAL AREA:- | 61.94m ² |
| PER LENGTH:- | 48.10m |
| ROOF AREA:- | 73.47m ² |
| PER LENGTH:- | 35.66m |



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BUILDERS SIGNATURE _____ THESE PLANS REMAIN COPYRIGHT OF WALLABY GROVE BUILDING DESIGN

CLIENTS

J. M. GNIEL
LOT 339 MAPLE ROAD,
COW BAY.

CHECKED _____ TENDER LETTER
SECTION

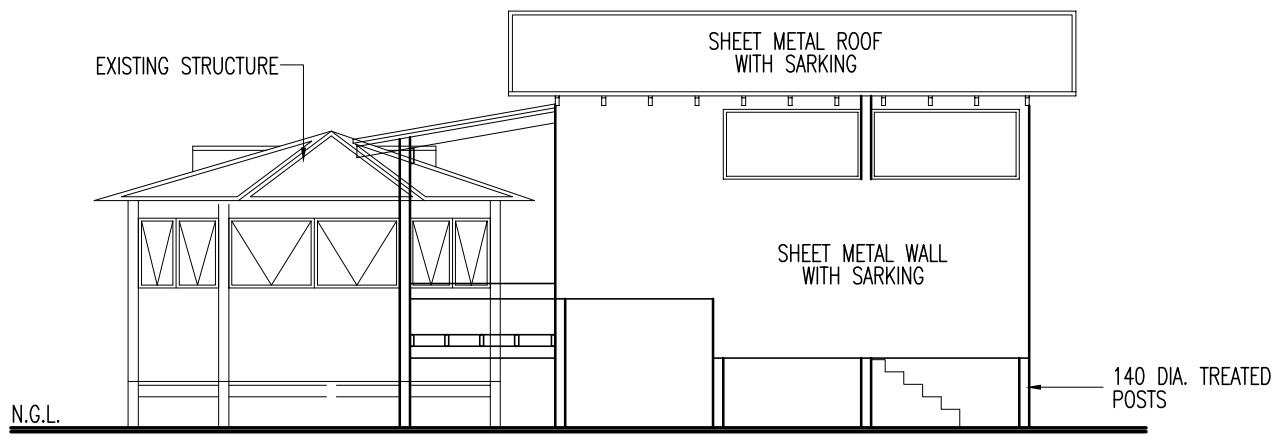
DRAWING _____ REFERENCE No.
LOWER FLOOR AND FRAMING PLAN LAYOUT 161216

SCALE: 1:100 DATE: 16/12/16 (CP)
DRAWN: BRI 12/10/17 (V.1)

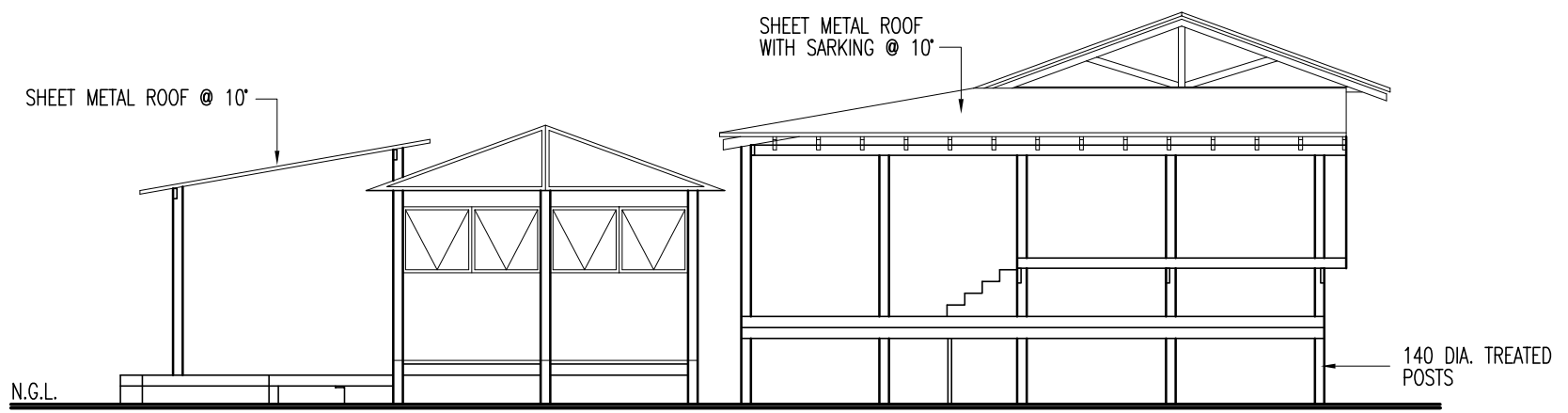
SHEET **2 OF 8**

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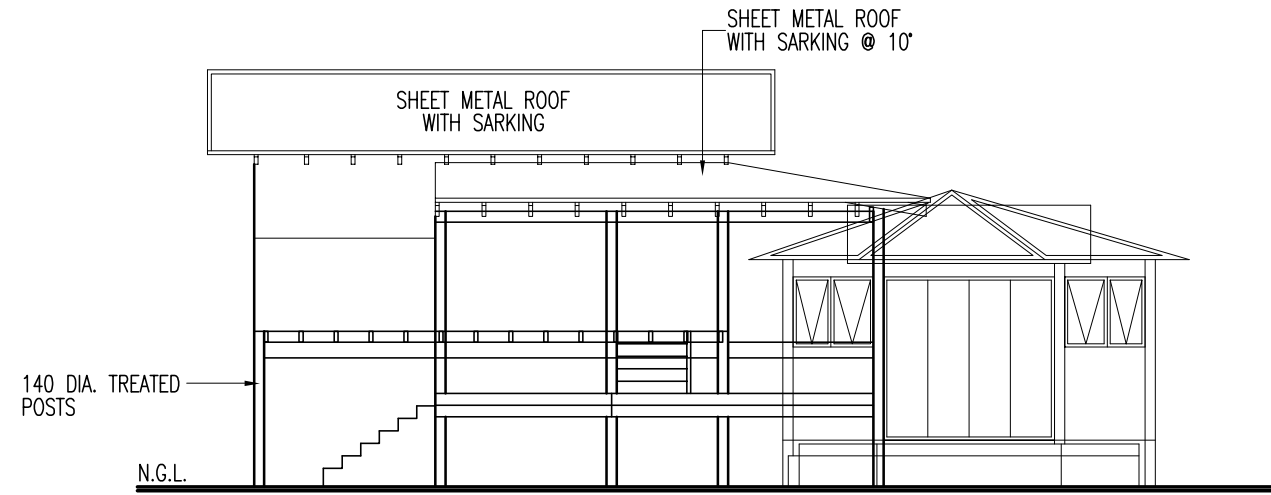
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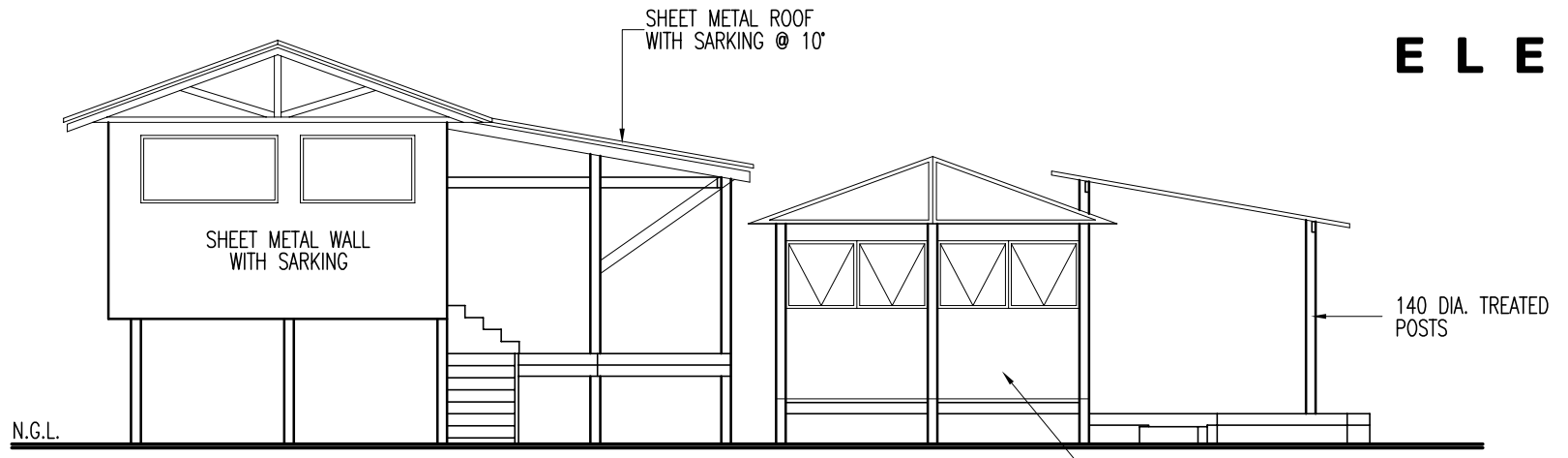
ELEVATION 1 (NORTH).



ELEVATION 2 (EAST).



ELEVATION 3 (SOUTH).



ELEVATION 4 (WEST).

| Energy Efficiency Schedule | | | | | | | | | | | |
|---|---------------------------------------|--------------------------------|---------------------|------------|------|----------------|-------------|----------------|--|--|--|
| Element | | Specification | | | | | | | | | |
| Glazing & Air Movement | shading | 600 eave | | | | | | | | | |
| | glazing | N/A | | | | | | | | | |
| | frame | N/A | | | | | | | | | |
| Wallaby Grove | Floor area | Opening size | Quantity | North face | Fan? | Vent | Room vent % | Glass | | | |
| Room Name | | H W | | | | m ² | | m ² | | | |
| COMMON AREA 1 | 27.2 | 9 18 | 1 | N | Y | 1.62 | 22.9% | 0.8 | | | |
| | AWN | 9 18 | 1 | N | N | 1.62 | | 1.4 | | | |
| | AWN | 9 15 | 1 | N | N | 1.35 | | 1.6 | | | |
| | AWN | 9 18 | 1 | N | N | 1.62 | | 1.6 | | | |
| TOT. FLOOR AREA | 56.7 | TOTAL % OF GLAZING FOR STOREY= | | 8.1 | | | | | | | |
| max. 37% 600 eave, max 26% no eave | | | | | | | | | | | |
| SW=sliding window, FW=fxd window, SD=sliding door, HD=hinged door | | | | | | | | | | | |
| Fabric | External walls | material | Sheet metal | | | | | | | | |
| | | insulation | foil to: ext. walls | | | | | | | | |
| Roofing | roofing material | metal | | | | | | | | | |
| | insulation | foil | | | | | | | | | |
| Ceiling | insulation | N/A | | | | | | | | | |
| Skylights | n/a | n/a | | | | | | | | | |
| Building Sealing | weatherstripping to doors and windows | n/a | | | | | | | | | |
| | exhaust fans | n/a | | | | | | | | | |
| | skylights | n/a | | | | | | | | | |

NOTES

- ROOF PITCHED AT 20° UNLESS NOTED OTHERWISE.
- N.G.L. = NATURAL GROUND LINE
- A.J. = ARTICULATION JOINT
- R.B.M. = REFLECTIVE BUILDING MEMBRANE

WALLABY GROVE BUILDING DESIGN

198 QUANDONG ROAD
COW BAY QLD. 4873
Lic QBSA 703585 PH 0487 537 382

CLIENTS
J. M. GNIEL
LOT 339 MAPLE ROAD,
COW BAY.

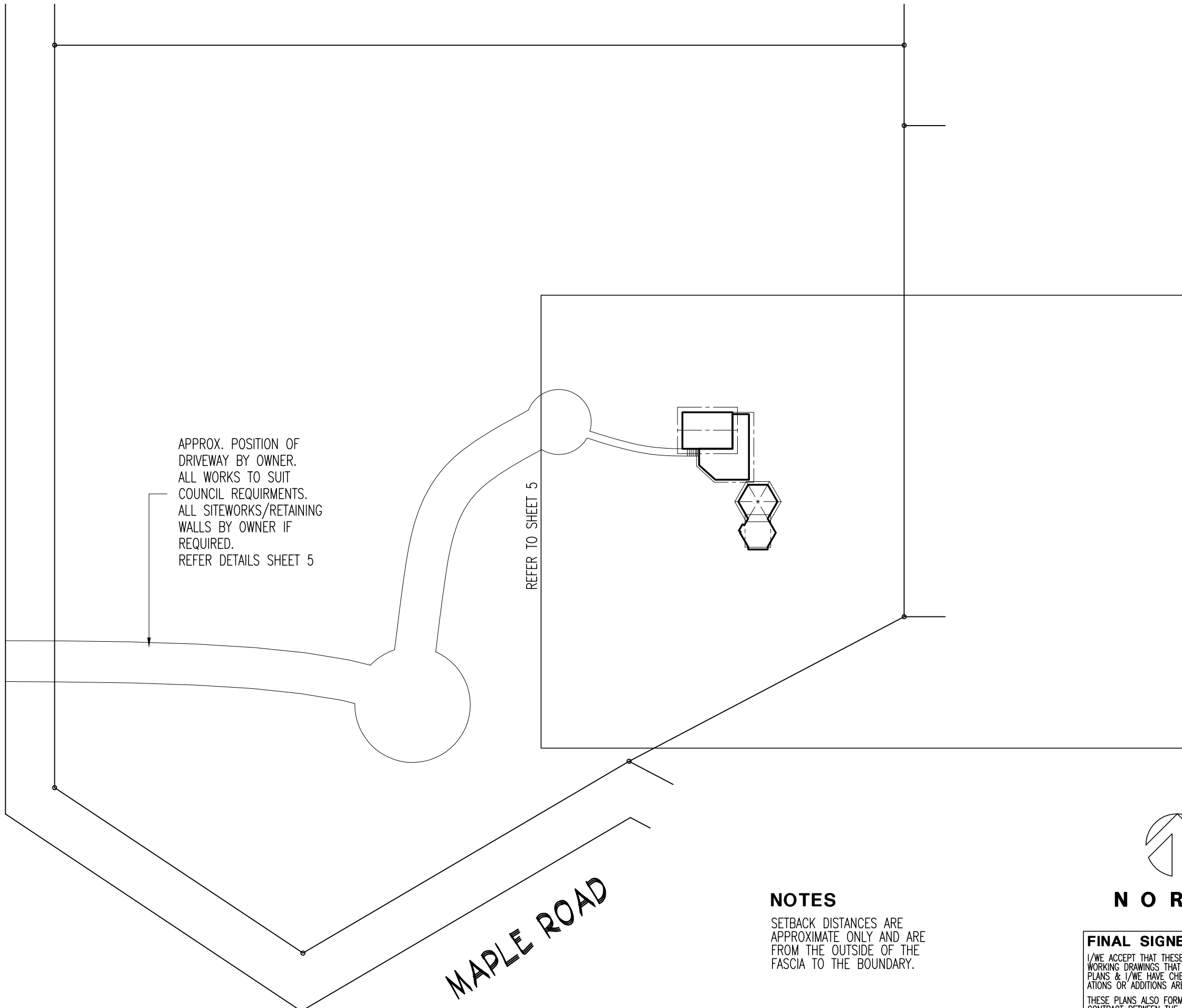
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| SCALE: 1:100 | DATE: 16/12/16 (CP) |
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| SHEET 3 OF 8 | |

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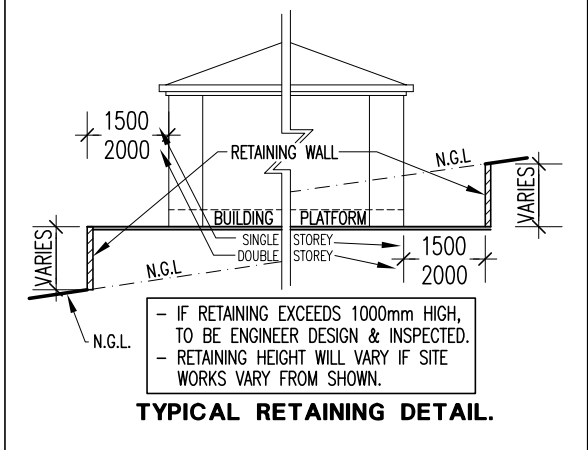
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FIG TREE ROAD



MAPLE ROAD

L O C A T I O N P L A N



SITE COST OPTION:- 16-DEC-16

PROPERTY DESCRIPTION

| | | | |
|-------------|--------------|-------|--------|
| LOT | 339 | ON RP | 739003 |
| MAPLE ROAD | | | |
| SUBURB | COW BAY | | |
| LOCAL AUTH. | DOUGLAS S.C. | | |
| PARISH | ALEXANDRA | | |
| COUNTY | SOLANDER | | |
| UBD REF. | N/A | | |

AREAS

| | |
|---------------|------------------|
| LAND | M ² |
| LAND | 10010.00 |
| SITE COVERAGE | 0.84% (0.0084:1) |

| SITWORKS | LEGEND |
|--|---|
| CUT:- N/A | DENOTES 90/100mm DIA P.V.C STORM-WATER PIPE. |
| FILL:- N/A | D.P - DOWNPIPE LOCATION. |
| PAD R.L:- N/A | ☒ DENOTES 250x250 SURFACE WATER GRATE CONNECTED TO SEPARATE STORM-WATER PIPE. |
| SLAB R.L:- N/A | |
| NOTE : CRITICAL DRIVEWAY GRADENT RESTRICTED PAD R.L. | |
| ☑ NO ☐ YES | |
| NOTE : PLATFORM HEIGHT CAN VARY DUE TO SITE COND. | |

NOTE : ALL BUILDING WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

SURVEYOR No. - N/A

WALLABY GROVE BUILDING DESIGN

198 QUANDONG ROAD
COW BAY QLD. 4873
Lic QBSA 703585 PH 0487 537 382

CLIENTS
J. M. GNIEL
LOT 339 MAPLE ROAD,
COW BAY.

| | |
|---------|---------------|
| CHECKED | TENDER LETTER |
|---------|---------------|

| | |
|-----------------------------|---------------|
| DRAWING | REFERENCE No. |
| LOCATION PLAN LAYOUT | 161216 |

| | |
|--------------|---------------------|
| SCALE: 1:500 | DATE: 16/12/16 (CP) |
| DRAWN: BRI | 12/10/17 (V.1) |

| | |
|-------|--------|
| SHEET | 4 OF 8 |
|-------|--------|

NOTES

SETBACK DISTANCES ARE APPROXIMATE ONLY AND ARE FROM THE OUTSIDE OF THE FASCIA TO THE BOUNDARY.

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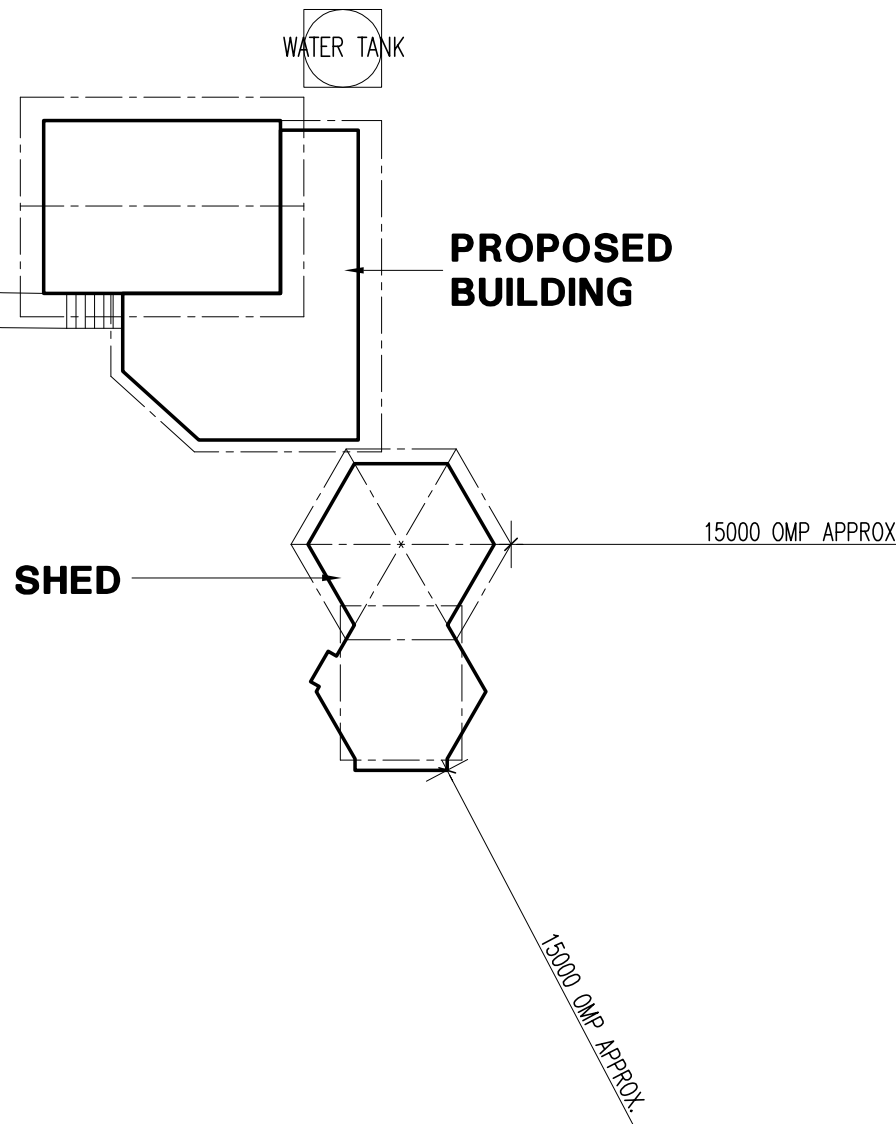
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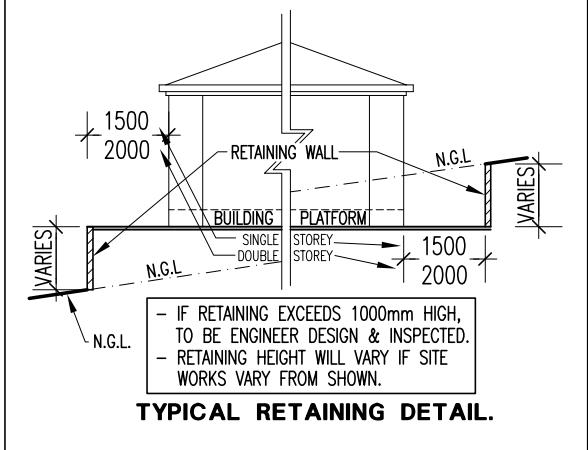
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APPROX. POSITION OF DRIVEWAY BY OWNER.
 ALL WORKS TO SUIT COUNCIL REQUIRMENTS.
 ALL SITEWORKS/RETAINING WALLS BY OWNER IF REQUIRED.
 REFER DETAILS SHEET 4



NOTES

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SITE COST OPTION:- 16-DEC-16

PROPERTY DESCRIPTION

LOT 339 ON RP 739003
 MAPLE ROAD
 SUBURB COW BAY
 LOCAL AUTH. DOUGLAS S.C.
 PARISH ALEXANDRA
 COUNTY SOLANDER
 UBD REF. N/A

AREAS
 LAND 10010.00 M²
 SITE COVERAGE 0.84% (0.0084:1)

| SITEWORKS | LEGEND |
|---|---|
| CUT:- N/A | □ DENOTES 90/100mm DIA. P.V.C. STORM-WATER PIPE. |
| FILL:- N/A | □ DENOTES DOWNPIPE LOCATION. |
| PAD R.L:- N/A | ⊠ DENOTES 250x250 SURFACE WATER GRATE CONNECTED TO SEPARATE STORM-WATER PIPE. |
| SLAB R.L:- N/A | |
| NOTE : CRITICAL DRIVEWAY GRADENT RESTRICTED PAD R.L. | |
| <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES | |
| NOTE : PLATFORM HEIGHT CAN VARY DUE TO SITE COND. | |

NOTE : ALL BUILDING WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.

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SURVEYOR No. - N/A

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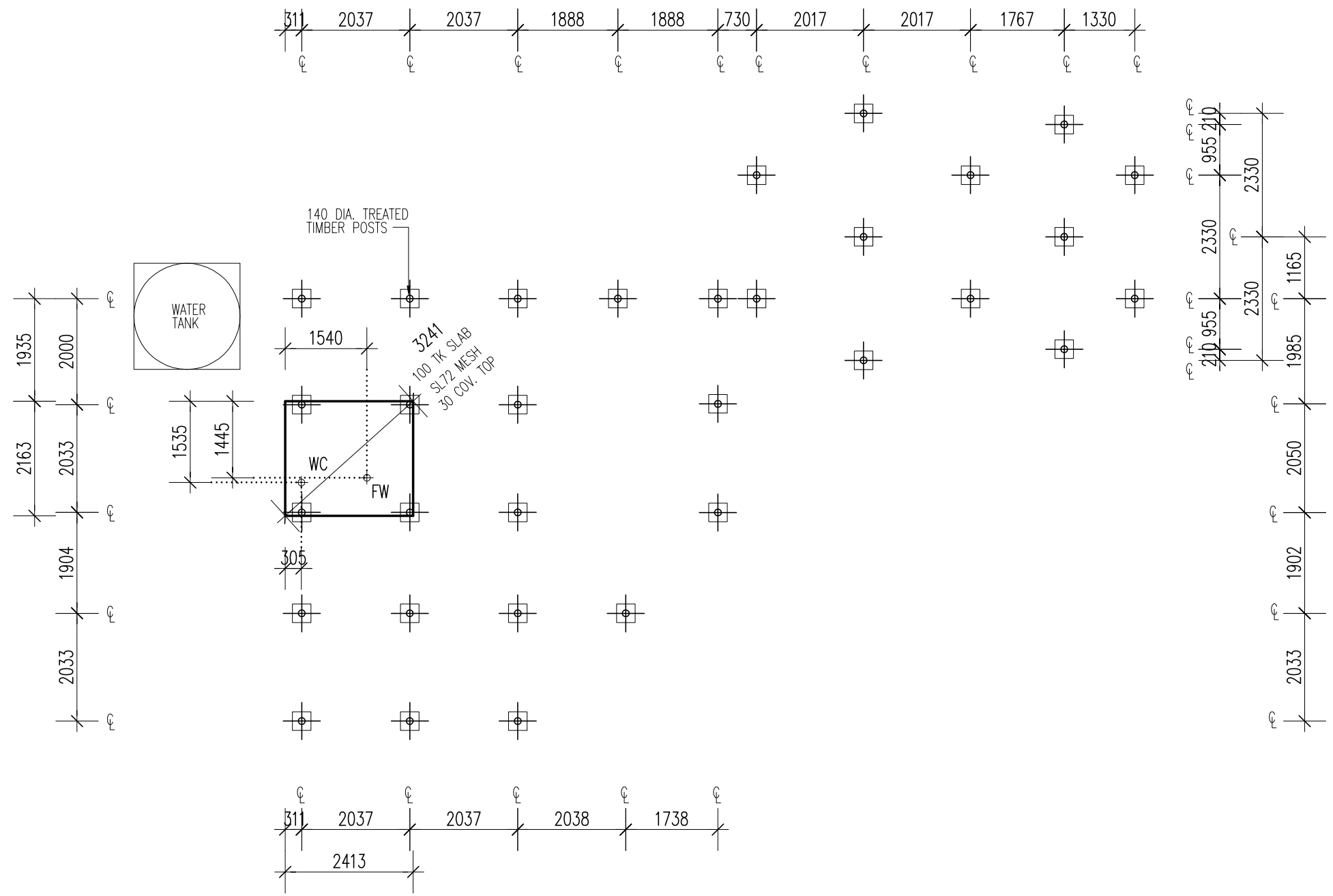
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| | |
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| DRAWING SITE PLAN LAYOUT | REFERENCE No. 161216 |
| SCALE: 1:200 DRAWN: BRI | DATE: 16/12/16 (CP) 12/10/17 (V.1) |
| SHEET | 5 OF 8 |

**S I T E
P L A N**



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SLAB LAYOUT.

FOOTINGS & SLAB TO BE AS PER ENGINEERS
DESIGN AS INDICATED WITH THE SITE INVESTIGATION

LEGEND

SW – SINK WASTE
 FW – FLOOR WASTE
 WC – WC PIPE

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ALL FLOOR WASTES ARE TO BE POSITIONED ACCORDING TO AS3500, KEEPING CLEAR OF ALL STEPS & HOBS

NOTES

- ALL DIMENSIONS ARE TO **OUTSIDE FRAME.**
- ALL DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.

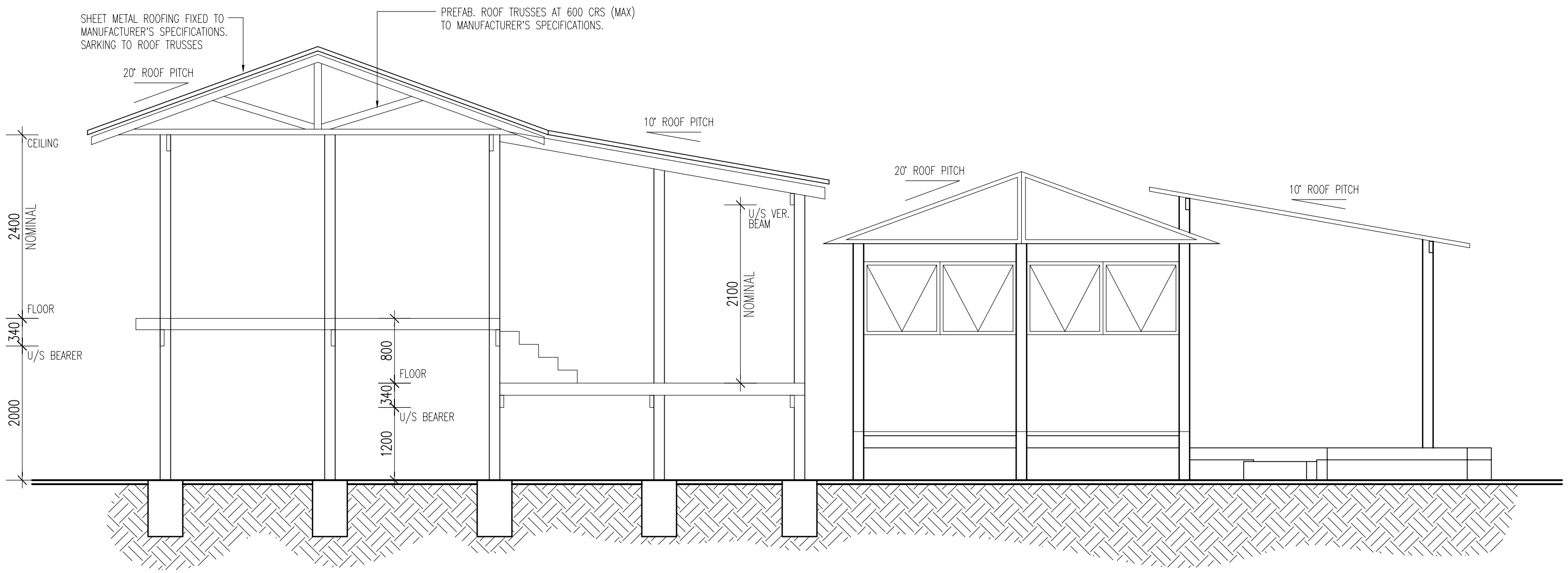
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 LOT 339 MAPLE ROAD,
 COW BAY.

| | |
|-------------------------------|---------------------------------------|
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| DRAWING SLAB LAYOUT | REFERENCE No. 161216 |
| SCALE: 1:100 DRAWN: BRI | DATE: 16/12/16 (CP) 12/10/17 (V.1) |
| SHEET 6 OF 8 | |

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TYPICAL SECTION.

REFER TO ENGINEERS REPORT FOR FOOTING & SLAB DETAILS.

WALLABY GROVE

BUILDING DESIGN

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 COW BAY QLD. 4873
 Lic QBSA 703585 PH 0487 537 382

CLIENTS
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 LOT 339 MAPLE ROAD,
 COW BAY.

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SHEET **7 OF 8**

TIMBER SCHEDULE

BATTENS: "LYSAGHT TOPSPAN 40" @ 2/600 CRS END SPACINGS - 900 CRS INTERNAL TRUSSES @ 900 CRS TO MANUFACTURER'S SPECIFICATIONS, 10° AND 20° PITCH

SINGLE/UPPER STOREY LOADBEARING (MGP12) NON-LOADBEARING (MGP10)

TOP PLATE: 2/70x35 MGP12 70x35 MGP10 NOTE: 70x35 HWD SECTION OF RIBBON PLATE UNDER EACH GIRDER TRUSS

STUDS @ 450 CRS: 70x35 MGP12 70x35 MGP12

BOTTOM PLATE: 70x35 MGP12 70x35 MGP10

JOISTS @ 450 CRS: REFER TO FLOOR FRAMING PLAN

SUB-FLOOR BEARERS: REFER TO FLOOR FRAMING PLAN

VERANDAH BEARERS: REFER TO FLOOR FRAMING PLAN

JOISTS @ 450 CRS: REFER TO FLOOR FRAMING PLAN

JOINT GROUP MGP = MACHINE GRADED PINE
MGP10/12/15 = SEASONED SOFTWOOD = JD4 (AS 1684.2 -TAB. 9.15)
F27 = SEASONED HARDWOOD = JD2 (AS 1684.2 -TAB. 9.15)
POSI STRUT PS30 = SOFTWOOD = JD4, HARDWOOD = JD3

LINTEL SCHEDULE - SINGLE/UPPER STOREY SHEET ROOF

| MAX - C2, 25° ROOF PITCH DEFLECTION LIMIT = 5mm | ROOF LOAD WIDTH (RLW) | | | | |
|--|-----------------------|------|------|------|------|
| | 1500 | 3000 | 4500 | 6000 | 7500 |
| SIZE DxB (mm) | MAX. LINTEL SPAN | | | | |
| 190x35 MGP12 | 3100 | 2600 | 2400 | 2200 | 2100 |
| 190x35 F27 | 3400 | 2800 | 2600 | 2400 | 2300 |
| 2/190x35 F27 | 3900 | 3400 | 3000 | 2800 | 2700 |
| 220x35 F27 | 3700 | 3200 | 2900 | 2700 | 2600 |
| 2/220x35 F27 | 4300 | 3700 | 3400 | 3200 | 3000 |
| 2/240x35 F27 | 4600 | 4000 | 3600 | 3400 | 3200 |
| 260x65 Tasbeam 17C | 6500 | 5300 | 4700 | 4300 | 4000 |
| 295x65 Tasbeam 17C | 7500 | 6000 | 5300 | 4800 | 4500 |
| 330x65 Tasbeam 17C | 8500 | 6800 | 5900 | 5400 | 5000 |
| 360x65 Tasbeam 17C | 9300 | 7400 | 6500 | 5900 | 5500 |
| 330x85 Tasbeam 17C | 9200 | 7400 | 6500 | 5900 | 5500 |
| 360x85 Tasbeam 17C | 10100 | 8100 | 7100 | 6400 | 6000 |

JAMB STUDS - SINGLE/UPPER STOREY SHEET ROOF

| MAX - C2, 25° ROOF PITCH DEFLECTION LIMIT = 5mm | STUD HEIGHT | ROOF LOAD WIDTH (RLW) | | | | |
|--|-----------------------|-----------------------|------|------|------|------|
| | | 1500 | 3000 | 4500 | 6000 | 7500 |
| SIZE DxB (mm) | MAX. WIDTH OF OPENING | | | | | |
| 2/70x35 MGP12 | 2400 | 2200 | 2000 | 1600 | 1400 | 1200 |
| 1/F.L.S.+1/S.J.S. | 2700 | 1300 | 1300 | 1200 | 1000 | NS |
| 3/70x35 MGP12 | 2400 | 3700 | 3400 | 2800 | 2400 | 2000 |
| 2/F.L.S.+1/S.J.S. | 2700 | 2400 | 2400 | 2100 | 1700 | 1600 |
| 4/70x35 MGP12 | 2400 | 4500 | 4500 | 3900 | 3300 | 2800 |
| 2/F.L.S.+2/S.J.S. | 2700 | 3500 | 3500 | 3000 | 2500 | 2200 |
| 4/70x45 MGP12 | 2400 | 4500 | 4500 | 4500 | 4400 | 3800 |
| 2/F.L.S.+2/S.J.S. | 2700 | 4500 | 4500 | 4000 | 3400 | 2900 |

F.L.S.= FULL LENGTH STUD S.J.S.= SECONDARY JAMB STUD REFER TO A.S.1684.2 FOR JAMB STUDS SUPPORTING CONCENTRATED LOADS.

WALL BRACING TYPES

DESIGN

STRUCTURAL PLYWOOD - 6.0kN/m (AS 1684.2-1999)

F14 4mm THICK MIN. STRUCTURAL PLYWOOD ON OUTER FACE OF STUD WALL. NAILED TO FRAME WITH 30x2.8mm DIA. FLATHEAD NAILS OR EQUIVALENT. STUDS @450 CRS BEHIND PANELS.

900mm MIN. PLY LENGTHS

NAILING CRS: TOP & BOTTOM PLATES - 50mm
VERTICAL EDGES - 150mm
INTERMEDIATE STUDS - 300mm

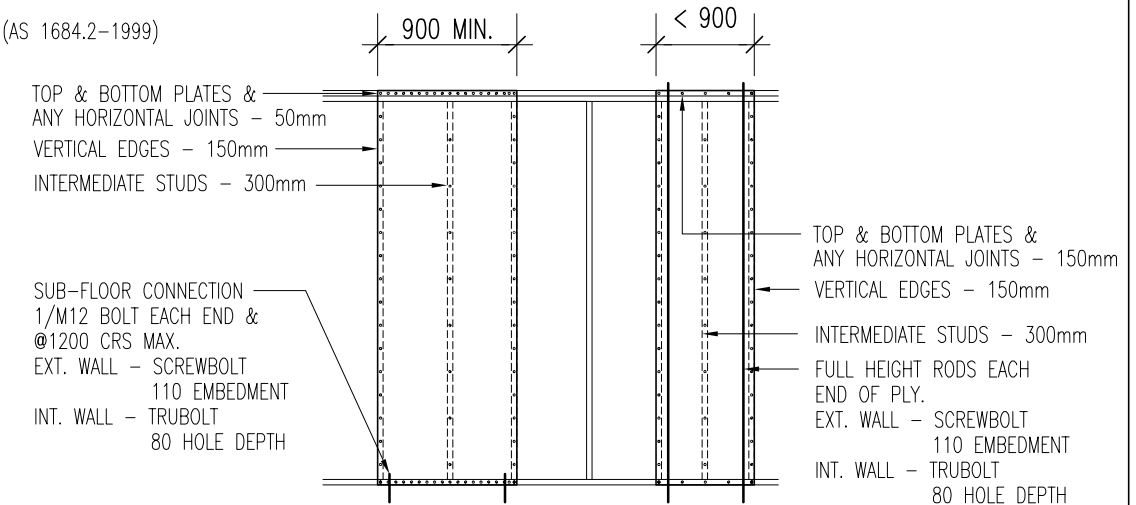
FIXINGS: TOP - METHOD A, B, C, OR D PER 900 LENGTH
BOTTOM- 1/M12 BOLT EACH END & @1200 CRS MAX. (150mm SCREWBOLT)

< 900mm PLY LENGTHS

NAILING CRS: TOP & BOTTOM PLATES - 150mm
VERTICAL EDGES - 150mm
INTERMEDIATE STUDS - 300mm

FIXINGS: TOP - METHOD A, B, C, OR D PER 900 PLY LENGTH
BOTTOM- 1/M12 FULL-HEIGHT ROD EACH END. (150mm COUPLER SCREWBOLT)

kN VALUES - 0.6m = x3.6 kN (REDUCED BY 0.6)
- 0.7m = x4.2 kN (REDUCED BY 0.7)
- 0.8m = x4.8 kN (REDUCED BY 0.8)

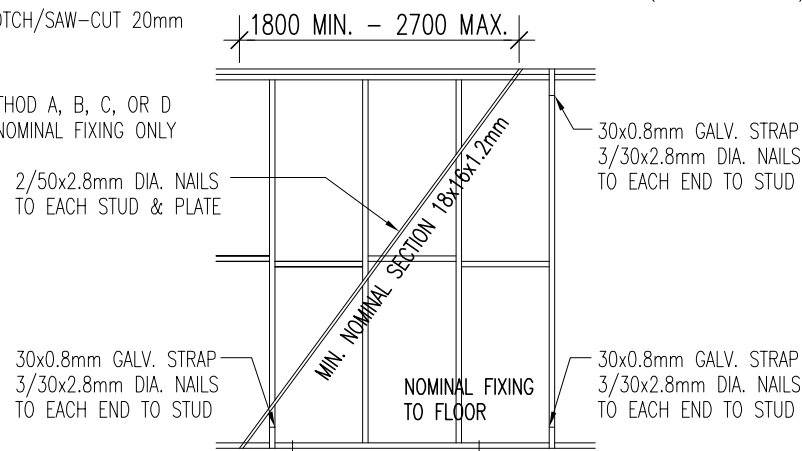


PLY BRACE AS TIE-DOWN (PAA LIMIT STATE DESIGN MANUAL)
50mm TOP & BOTTOM PLATE NAILING CRS + FLOOR FIXING (12/150mm SCREW BOLT (SLAB) OR M12 BOLTS (FLOOR FRAME) AT MAX. 1200 CRS) AT EACH END OF MIN. 900 LONG PLY SHEET = 16.7kN UPLIFT RESISTANCE

METAL ANGLE BRACE - 1.5kN/m (AS 1684.2-1999)

MAX. NOTCH/SAW-CUT 20mm

FIXINGS:
TOP - METHOD A, B, C, OR D
BOTTOM- NOMINAL FIXING ONLY



VILLABOARD INTERNAL LINING - 2.9kN/m

(JAMES HARDE PRODUCT IDENTIFICATION BOOK)
FIXED TO FRAME WITH 30x2.8mm DIA. FLATHEAD NAILS OR EQUIVALENT.
NAILS DRIVEN JUST BELOW SURFACE - MUST NOT BE PUNCHED
FULL HEIGHT ANCHOR RODS AT EACH END OF SHEETING & AT NOT LESS THAN 2400mm CRS
NAILING CRS: CORNERS - 50mm
GENERAL - 150mm

NOMINAL WALL BRACING 0.45/0.75 kN/m

(AS 1684.2-1999)
WALL FRAMING LINED WITH PLYWOOD, PLASTERBOARD, FIBRE CEMENT OR HARDBOARD SHEETING WITH WALL FRAMED NOMINALLY FIXED TO FLOOR & ROOF FRAME
ONE SIDE ONLY - 0.45 kN/m
BOTH SIDES - 0.75 kN/m

BRICK PIER: UP TO 600H - 4kN EACH DIRECTION 600 TO 900H - 3kN EACH DIRECTION OVER 900H - 1.5kN EACH DIRECTION

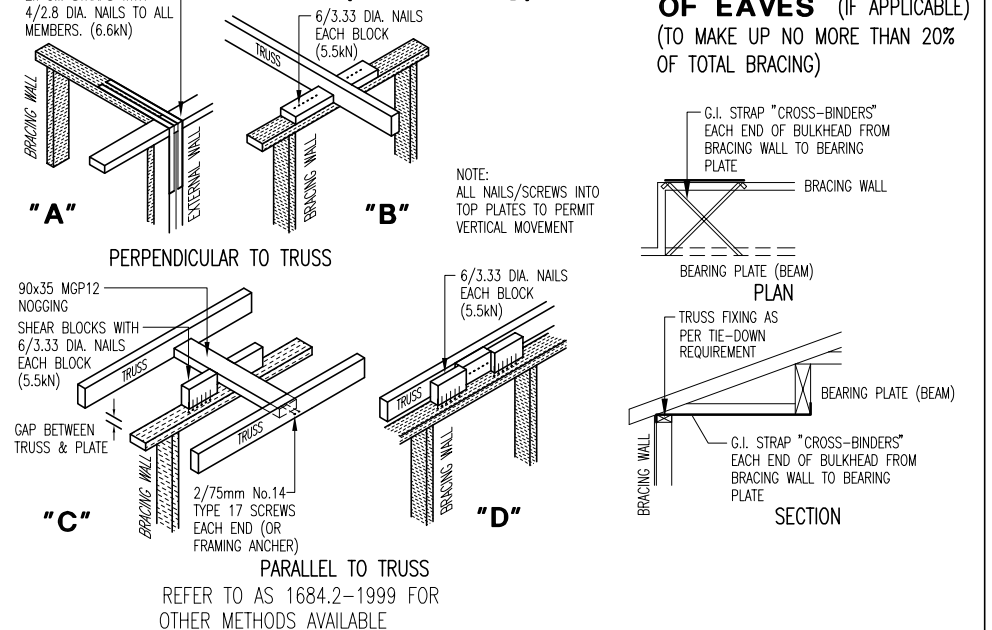
350x350mm (MIN. DIMENSIONS) GROUT FILLED BRICK PIER WITH 1/M12 THREADED ROD FIXED TO BEAM AND MASONARY ANCHORED TO FOOTING OR GROUT FILLED WITH SHS POST ANCHORED TO FOOTING

SUB-FLOOR (IF APPLICABLE)

SINGLE LEAF BRICK WALL WITH 1/350x350mm (MIN. DIMENSIONS) GROUT FILLED ENGAGED BRICK PIER WITH 1/M12 THREADED ROD FIXED TO BEAM AND MASONARY ANCHORED TO FOOTINGS EACH END:

| LENGTH OF SUB-FLOOR WALL(m) | 0.6 | 0.9 | 1.2 | 1.8 | 2.4 | 3.0 | 3.6 | 4.2 |
|-----------------------------|-----|-----|-----|-----|------|------|------|------|
| BRACING VALUE(kN) | 2.7 | 4.2 | 5.9 | 9.6 | 13.9 | 18.7 | 24.1 | 30.0 |

FIXING TOP OF BRACING WALLS (ALL TYPES)



NOTES:

- COMBINED LENGTHS OF BRACING PANELS REQUIRE A COMBINATION OF TOP FIXINGS TO ACHIEVE REQUIRED VALUE (EQUIVALENT TO PANEL VALUE). REFER TO DETAILS IN 'WALL BRACING TYPES'
- TEMPORARY BRACING TO BE 60% OF PERMINANT BRACING
- ROOF BRACING FIXED IN ACCORDANCE WITH AS 1684.2-1999 & BCA CLAUSE 3.4.3.8

WALLABY GROVE BUILDING DESIGN

198 QUANDONG ROAD
COW BAY QLD. 4873
Lic QBSA 703585 PH 0487 537 382

CLIENTS
J. M. GNIEL
LOT 339 MAPLE ROAD,
COW BAY.

| | |
|---------------------------------|---------------------|
| CHECKED | TENDER LETTER |
| DRAWING | REFERENCE No. |
| TIE-DOWN/TIMBER SCHEDULE | 161216 |
| SCALE: N/A | DATE: 16/12/16 (CP) |
| DRAWN: BRI | 12/10/17 (V.1) |

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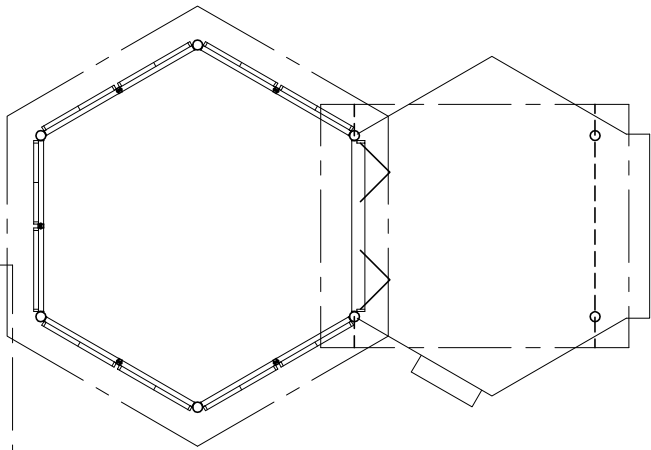
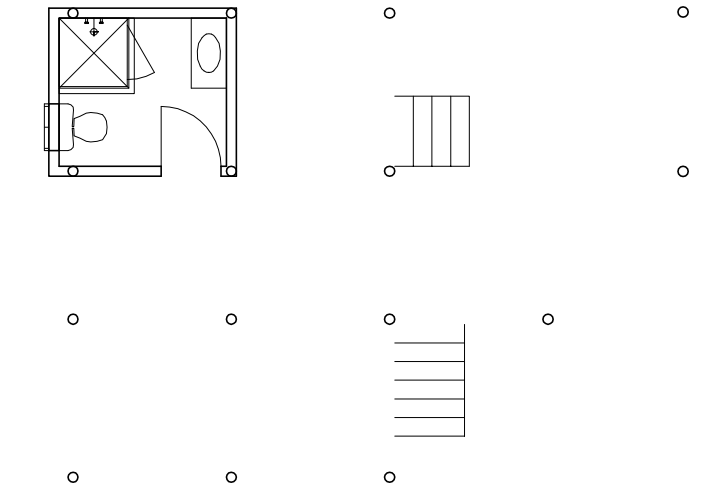
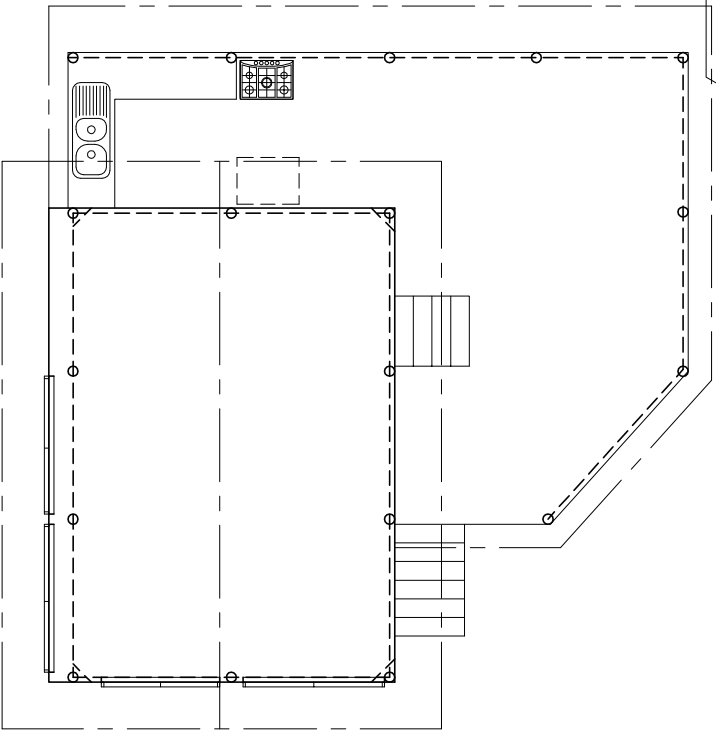
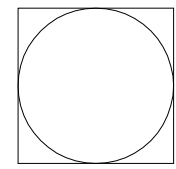
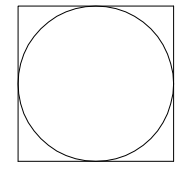
SHEET **8 OF 8**

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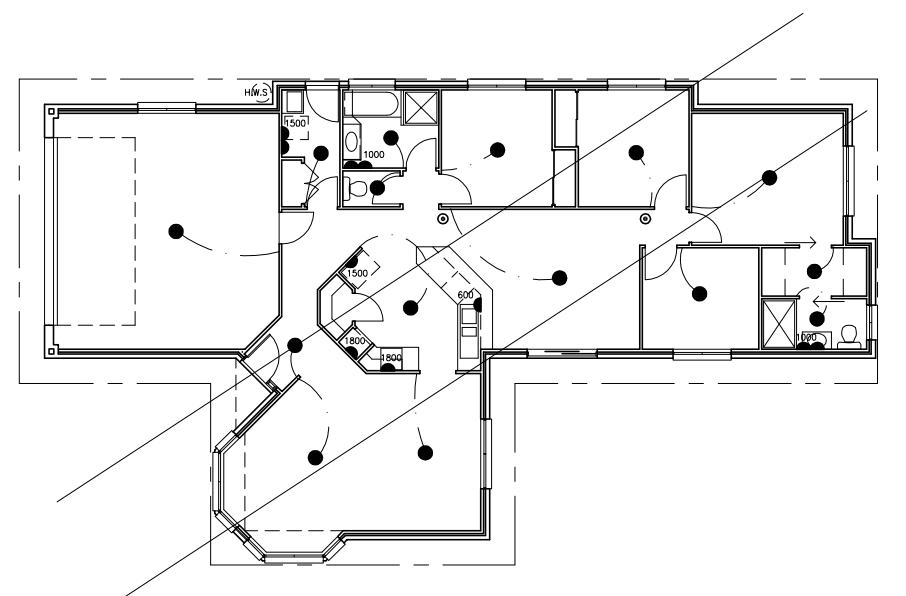
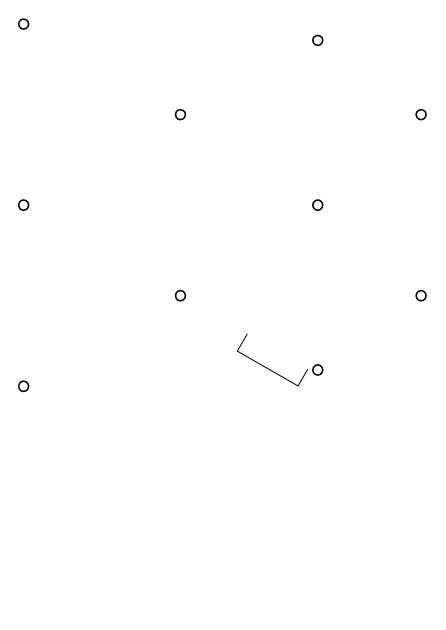
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PLEASE NOTE

SMOKE DETECTOR POSITIONS ON FLOOR PLAN TAKE PRECEDENCE OVER ELECTRICAL LAYOUT. CHANGES MAY HAVE BEEN MADE TO COUNCIL PLANS. FLOOR PLAN SHOULD BE CHECKED FOR POSITIONS BY ELECTRICIAN PRIOR TO INSTALLATION.



UPPER AND LOWER ELECTRICAL PLAN LAYOUT.



EXAMPLE ONLY

● - LOCATION OF SMOKE ALARM
 SMOKE ALARMS TO COMPLY WITH B.C.A. CLASS 1&10 PART 3.7.2 & WITH A.S.3786

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WALLABY GROVE BUILDING DESIGN

198 QUANDONG ROAD
 COW BAY QLD. 4873
 Lic QBSA 703585 PH 0487 537 382

CLIENTS
J. M. GNIEL
 LOT 339 MAPLE ROAD,
 COW BAY.

| | |
|--------------------------|---------------------|
| CHECKED | TENDER LETTER |
| DRAWING | REFERENCE No. |
| ELECTRICAL LAYOUT | 161216 |
| SCALE: 1:100 | DATE: 16/12/16 (CP) |
| DRAWN: BRI | 12/10/17 (V.1) |
| SHEET | 1 OF 1 |

| LEGEND | QUANTITY |
|--|----------|
| ● = CEILING LIGHTS | 15 |
| ⊕ = WALL LIGHTS | - |
| ◐ = NOMINATED SINGLE POWER POINTS (1 to dishwasher space 1 to microwave space 1 to fridge space 1 for rangehood 1 for auto control) | 5 |
| ◑ = NOMINATED DOUBLE POWER POINTS (1 to washing machine 1 to bathroom 1 to ensuite) | 3 |
| ◒ = DOUBLE POWER POINTS | 6 |
| ◓ = WEATHERPROOF SINGLE POWER POINTS | - |
| ◔ = WEATHERPROOF DOUBLE POWER POINTS | - |

| LEGEND | QUANTITY |
|---|----------|
| T.V. = T.V. POINTS | 1 |
| ⊙ = SMOKE DETECTORS | 2 |
| ⊗ = EXHAUST FAN | 1 |
| ⊕ = CEILING FAN | - |
| ⊖ = LIGHT/HEATER/EXHAUST FAN UNIT | - |
| ~ = WIRING & LIGHT SWITCH | - |
| PH.1 > = PHONE POINT | 1 |
| GAS1 > = GAS BAYONET POINT (ONLY IF APPLICABLE) | - |

State Assessment and Referral Agency

Date: 22/12/2017



Department of Infrastructure
Local Government
and Planning

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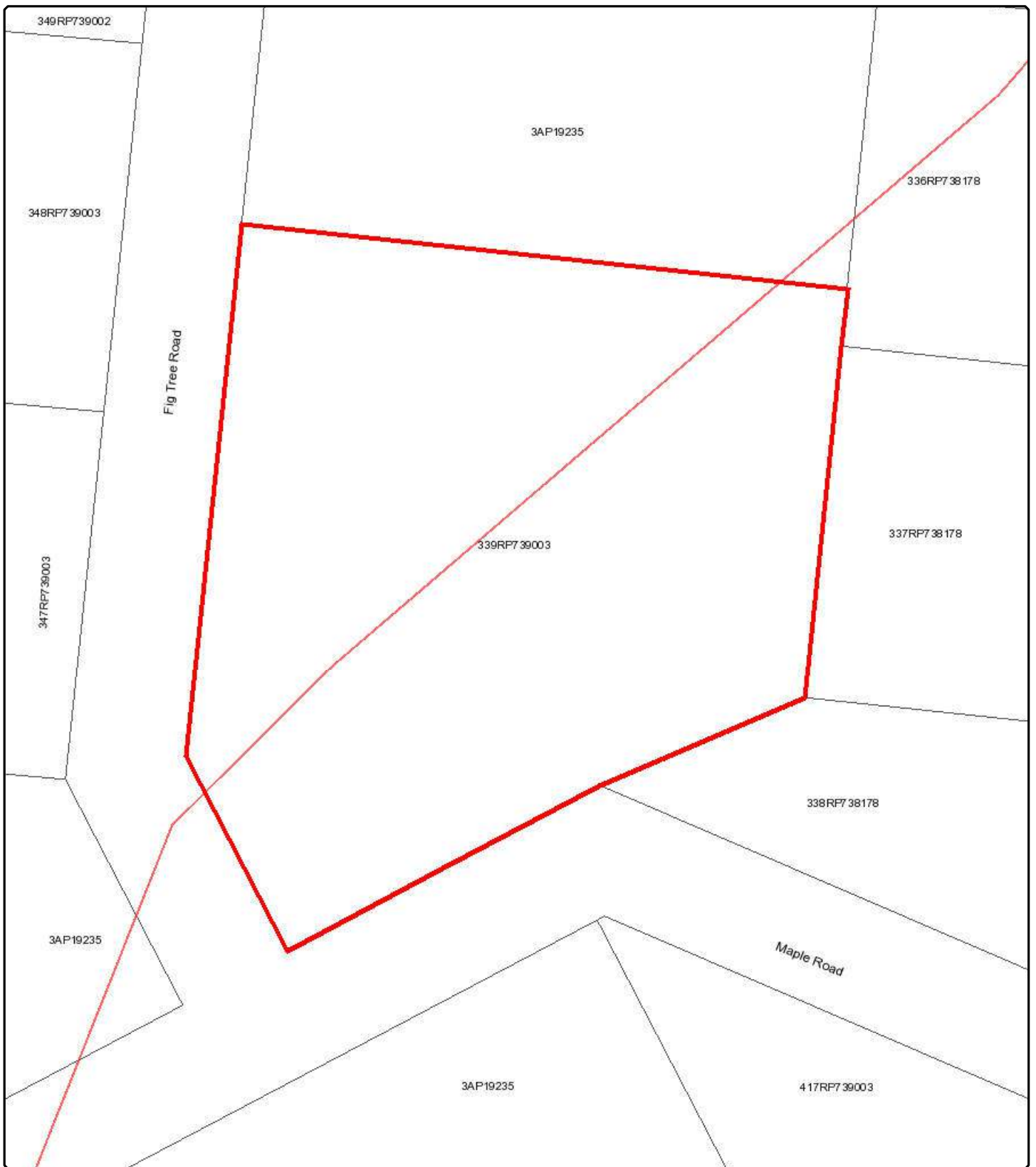


Matters of Interest for all selected Lot Plans

Queensland waterways for waterway barrier works
Regulated vegetation management map (Category A and B extract)

Matters of Interest by Lot Plan

Lot Plan: 339RP739003 (Area: 10,010 m²)
Queensland waterways for waterway barrier works
Regulated vegetation management map (Category A and B extract)



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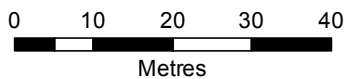
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Legend

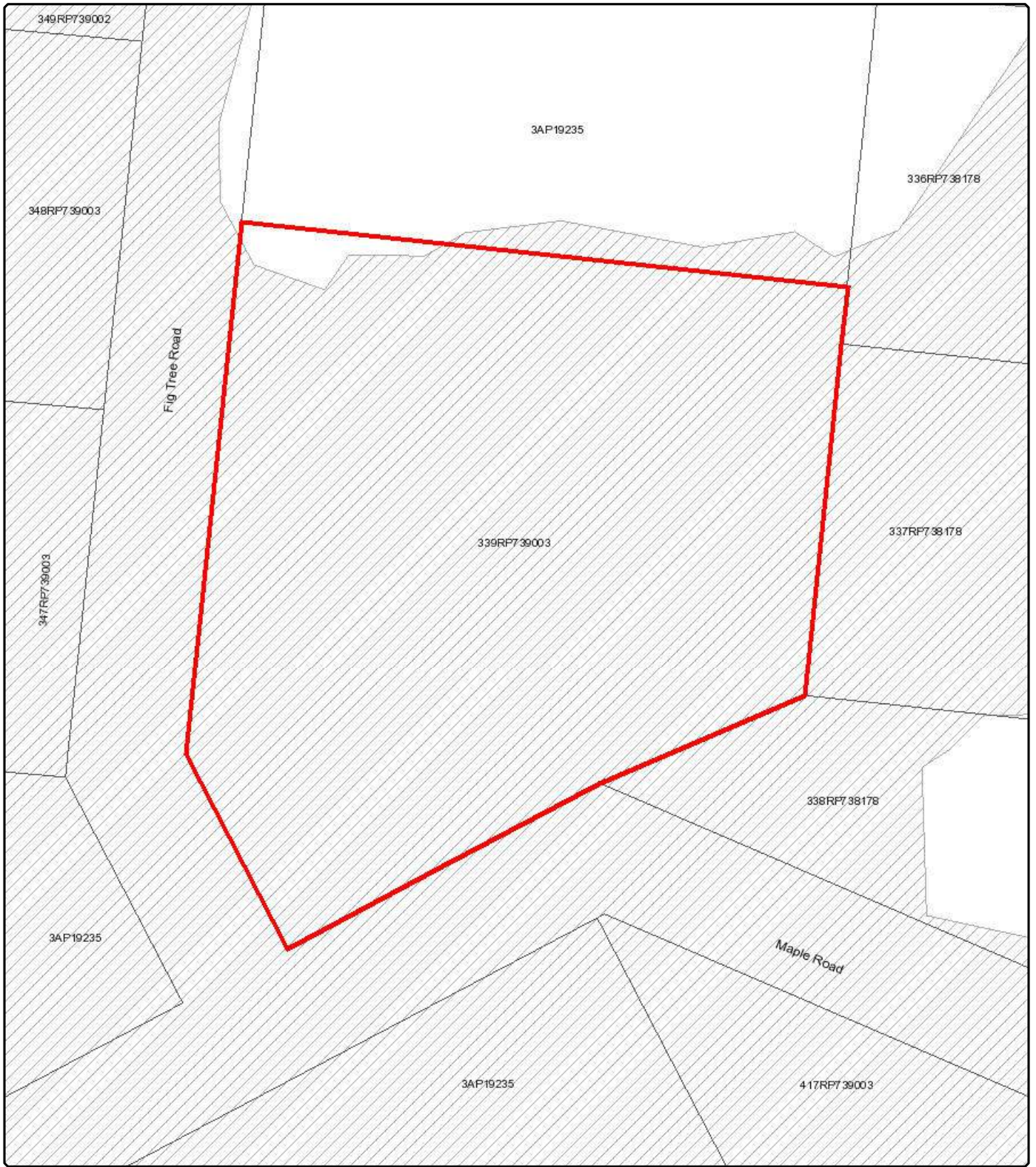
Queensland waterways for waterway
barrier works

- 1 - Low
- 2 - Moderate
- 3 - High
- 4 - Major



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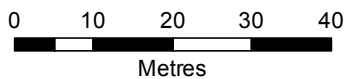
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Legend

Regulated vegetation management map
(Category A and B extract)

-  Category A on the regulated vegetation management map
-  Category B on the regulated vegetation management map



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Department of Infrastructure,
Local Government and Planning

Application summary report — 1712-3000

Report created: **22 December 2017, 8.03 am**

User: **Gavin Findlay**

Applicant: **Mr Gavin Findlay**

Development details

| Nature of development | Approval type | Category of assessment |
|--|--------------------|------------------------|
| Building work | Development permit | Code assessment |
| Description of proposal: Dwelling to be constructed including incorporation of existing shed. 1 build new structure, grey water treatment and fitout of bathroom 2 trim roof sheeting install barge boards attach gutters 3 install new water tanks and connect gutter drainage 4 complete walls to kitchen area metal sheet to 1200 high 5 install flywire to window areas 6 install balustrade to veranda 7 complete structure of new shed and install metal sheet roofing barge beams and gutters 8 install wall enclosure to half of shed 9 install new water tank and connect roof downpipes to new water tank | | |

Location details

| Lot and plan | Adjacent or adjoining | Address | Local government area |
|--------------|-----------------------|---------------------------|-----------------------|
| 339RP739003 | No | 12 Fig Tree Road, Cow Bay | Douglas Shire Council |

Coordinates

Interested parties

| Name | Application responsibility |
|-------------------|----------------------------|
| Gavin Findlay | Applicant |
| Private Certifier | Assessment manager |

Assessment triggers

| Trigger | Description | Category | Assessment manager |
|---------|---|---|--------------------|
| 8.1.2 | If the development application is for building work only and— (a) all or part of the building work must be assessed against the building assessment | Building work assessable against building assessment provisions | Private Certifier |

| Trigger | Description | Category | Assessment manager |
|---------|--|----------|--------------------|
| | provisions; and (b) a private certifier (class A) is, under the Building Act, section 48, performing functions for the application | | |

Referral triggers

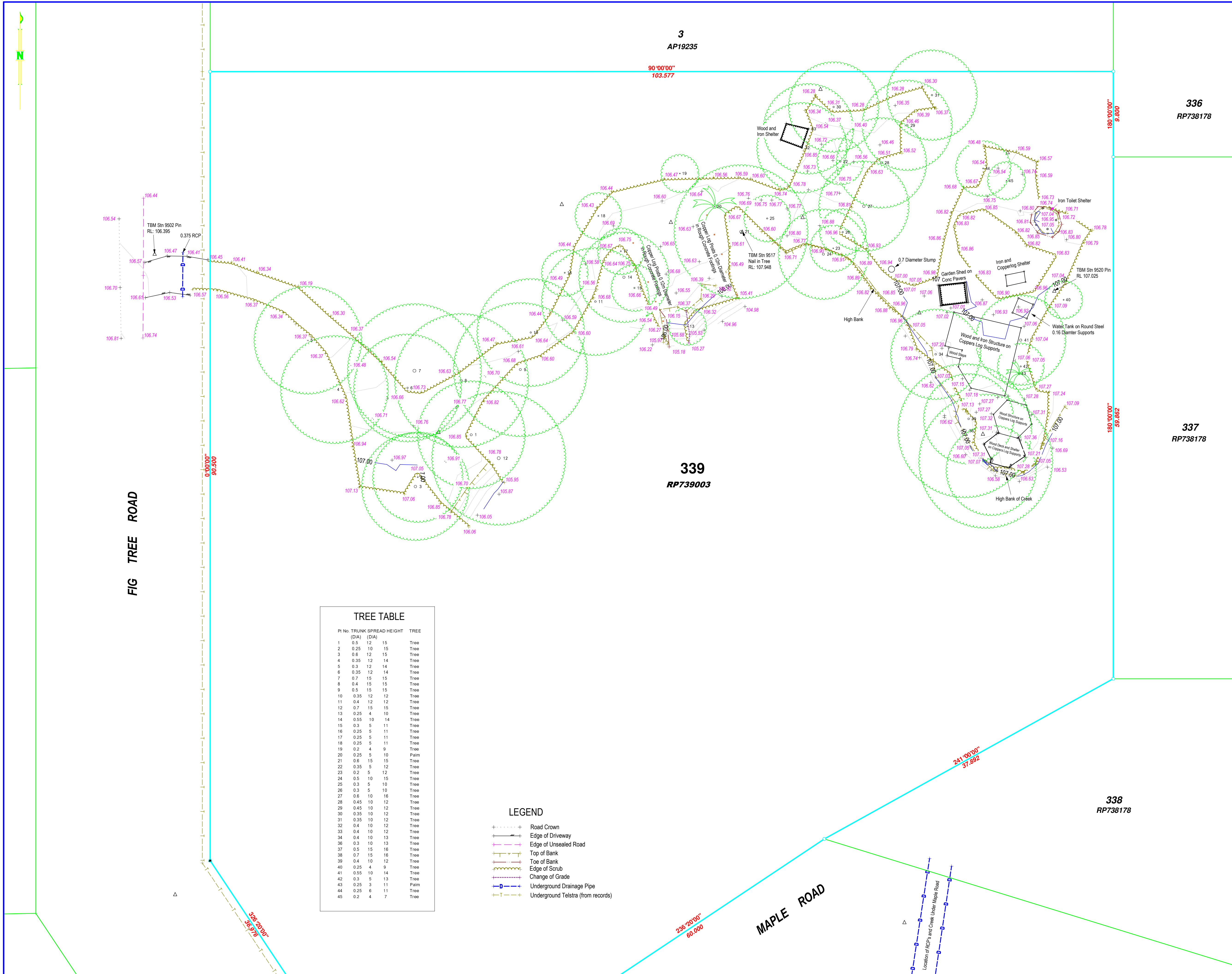
No referral triggers were added.

Documents**Supporting documents**

| File name | Uploaded by | Version | Date uploaded |
|----------------------------------|---------------|---------|---------------------------|
| Lot plan report | MyDAS2 Admin | 2 | 12 December 2017, 7.04 pm |
| DAForm1-12 Fig Tree Road Findlay | Gavin Findlay | 1 | 22 December 2017, 8.02 am |
| DA Form 2 Findlay | Gavin Findlay | 1 | 22 December 2017, 8.02 am |
| Final plans 339 Maple Rd | Gavin Findlay | 1 | 22 December 2017, 8.02 am |
| 138921-1 Detail | Gavin Findlay | 1 | 22 December 2017, 8.02 am |

Pay items

No payitems were added.



3
AP19235

336
RP738178

339
RP739003

337
RP738178

338
RP738178

FIG TREE ROAD

MAPLE ROAD

| PI No | TRUNK (DIA) | SPREAD (DIA) | HEIGHT | TREE |
|-------|-------------|--------------|--------|------|
| 1 | 0.5 | 12 | 15 | Tree |
| 2 | 0.25 | 10 | 15 | Tree |
| 3 | 0.6 | 12 | 15 | Tree |
| 4 | 0.35 | 12 | 14 | Tree |
| 5 | 0.3 | 12 | 14 | Tree |
| 6 | 0.35 | 12 | 14 | Tree |
| 7 | 0.7 | 15 | 15 | Tree |
| 8 | 0.4 | 15 | 15 | Tree |
| 9 | 0.5 | 15 | 15 | Tree |
| 10 | 0.35 | 12 | 12 | Tree |
| 11 | 0.4 | 12 | 12 | Tree |
| 12 | 0.7 | 15 | 15 | Tree |
| 13 | 0.25 | 4 | 10 | Tree |
| 14 | 0.55 | 10 | 14 | Tree |
| 15 | 0.3 | 5 | 11 | Tree |
| 16 | 0.25 | 5 | 11 | Tree |
| 17 | 0.25 | 5 | 11 | Tree |
| 18 | 0.25 | 5 | 11 | Tree |
| 19 | 0.2 | 4 | 9 | Tree |
| 20 | 0.25 | 5 | 10 | Palm |
| 21 | 0.6 | 15 | 15 | Tree |
| 22 | 0.35 | 5 | 12 | Tree |
| 23 | 0.2 | 5 | 12 | Tree |
| 24 | 0.5 | 10 | 15 | Tree |
| 25 | 0.3 | 5 | 10 | Tree |
| 26 | 0.3 | 5 | 10 | Tree |
| 27 | 0.6 | 10 | 16 | Tree |
| 28 | 0.45 | 10 | 12 | Tree |
| 29 | 0.45 | 10 | 12 | Tree |
| 30 | 0.35 | 10 | 12 | Tree |
| 31 | 0.35 | 10 | 12 | Tree |
| 32 | 0.4 | 10 | 12 | Tree |
| 33 | 0.4 | 10 | 12 | Tree |
| 34 | 0.4 | 10 | 13 | Tree |
| 35 | 0.3 | 10 | 13 | Tree |
| 36 | 0.3 | 10 | 13 | Tree |
| 37 | 0.5 | 15 | 16 | Tree |
| 38 | 0.7 | 15 | 16 | Tree |
| 39 | 0.4 | 10 | 12 | Tree |
| 40 | 0.25 | 4 | 9 | Tree |
| 41 | 0.55 | 10 | 14 | Tree |
| 42 | 0.3 | 5 | 13 | Tree |
| 43 | 0.25 | 3 | 11 | Palm |
| 44 | 0.25 | 6 | 11 | Tree |
| 45 | 0.2 | 4 | 7 | Tree |

- LEGEND**
- +---+ Road Crown
 - Edge of Driveway
 - Edge of Unsealed Road
 - Top of Bank
 - Toe of Bank
 - Edge of Scrub
 - Change of Grade
 - Underground Drainage Pipe
 - Underground Telstra (from records)

IMPORTANT NOTE

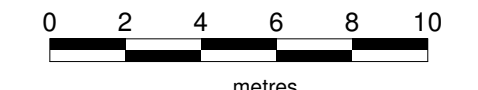
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- Scale shown is correct for the original plan and any copies of this plan should be verified by checking against the bar scale.
- The title boundaries as shown hereon were not marked at the time of survey and have been determined by plan dimensions only and not by field survey. If not able to be so located, services have been plotted from the records of relevant authorities where available and have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.
- Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

NOTES

Level Datum: Arbitrary
Origin of Levels: Stn 9502 Pin
RL: 106.395

Meridian: RP739003
Origin of Coordinates: Stn 9502 Pin
E 5002.481
N 9660.159

Contour Interval: 1.0
Index: 0.2



SCALE 1:200 IS APPLICABLE ONLY TO THE ORIGINAL SHEET SIZE (A1).
(1:400 @ A3)

AMENDMENTS

| A: | INIT: | AMEND DESCRIPTION |
|----|-------|-------------------|
| | | |

| | |
|-----------------|---------------------|
| PROJECT MANAGER | CHECKED |
| DGP | |
| SURVEYED | DRAFTING CHECKED |
| DCW | 20/12/17 |
| DRAWN | CAD REF |
| DCW | |
| SHEET SIZE | SHEET 1 OF SHEETS 1 |
| A1 | 138921-1.mjo |

RPS Australia East Pty Ltd
ACN 140 292 762

RPS

10/9 Pioneer Close
Craigie QLD 4877
PO Box 355
Mossman QLD 4873

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W rpsgroup.com.au

Gavin Findlay

**Detail and Contour Survey
of Part of Lot 339 on RP739003
Fig Tree Road
Cow Bay
Queensland**

| SCALE | DATE | DRAWING NO. | ISSUE |
|-------|----------|-------------|-------|
| 1:200 | 20/12/17 | 138921-1 | |

Record of download 1712-3000

The following documents were downloaded on 22 December 2017, 8.03 am by Gavin Findlay. The compressed file contains:

| Document name | File name | Version | Version date |
|---|---|---------|-----------------|
| Lot plan report | Lot plan report | 2 | 12 January 2017 |
| DAForm1-12 Fig Tree Road Findlay | DAForm1-12 Fig Tree Road Findlay.pdf | 1 | 22 January 2017 |
| DA Form 2 Findlay | DA Form 2 Findlay.pdf | 1 | 22 January 2017 |
| Final plans 339 Maple Rd | Final plans 339 Maple Rd.pdf | 1 | 22 January 2017 |
| 138921-1 Detail | 138921-1 Detail.pdf | 1 | 22 January 2017 |
| 1712-3000 DA Form2 Building work | 1712-3000 DA Form2 Building work | 1 | 22 January 2017 |
| Application summary report 1712-3000.xml | Application summary report 1712-3000 QDA.xml | 1 | 22 January 2017 |
| Application summary report 1712-3000.json | Application summary report 1712-3000 QDA.json | 1 | 22 January 2017 |
| Application summary report for 1712-3000 | 1712-3000__application summary_22 December 2017 8.03 am | 1 | 22 January 2017 |

WALLABY GROVE
BUILDING DESIGN

198 QUANGDONG ROAD
COW BAY QLD. 4873
Lic. QBSA 703585 PH 0487 537 382

- LEGEND**
- F.R.C. FIBRE REINFORCED CEMENT
 - FRIDGE PROVISION
 - W.O. WALL OVEN TOWER
 - M.W. MICROWAVE PROVISION
 - D.W. DISHWASHER PROVISION
 - B.BAR BREAKFAST BAR
 - W.M. WASHING MACHINE PROVISION
 - S.M.H. SPOONED MAN HOLE
 - D.P. DOWN PIPE
 - H.WO. HARDWOOD TIMBER
 - OBS. OBSIDURE GLASS
 - F7/G FIXED GLASS TO ALL PANELS
 - D/H DOUBLE HUNG WINDOW
 - L.S. LOWER SECTION SLIDING PANEL
 - BAY WINDOW
 - G/S GLASS STEELIGHT PANEL
 - S/S SHEET METAL ROOF SPECIAL WINDOWS
 - SLIDING PANEL / FIXED PANEL
 - M/F MOVING WINDOW
 - P.V. PERMANENT VENT PANEL TO WINDOW
 - FED FEDERATION BARS TO WINDOWS
 - COL. COLONIAL BARS TO WINDOWS
 - V.S.D. VINYL FACED SLIDING ROBE DOORS
 - M/S.D. METAL SLIDING ROBE DOORS (FELMET)
 - C.S.D. INTERNAL CAVITY SLIDING DOOR
 - S.D. SET 300D SQUARE SET PBOARD RULKHEAD
 - 820 SIZE OF WINDOW (2100H x 1800W)
 - 21-18 PLASTERBOARD CEILING CONTROL JOINT
 - R.E.M. REFLECTIVE BUILDING MEMBRANE
 - A.J. ARTICULATION JOINT
 - LOCATION OF SHAKE ALARM
 - 10 PART 3.7-2 & WITH A.S. 3788.

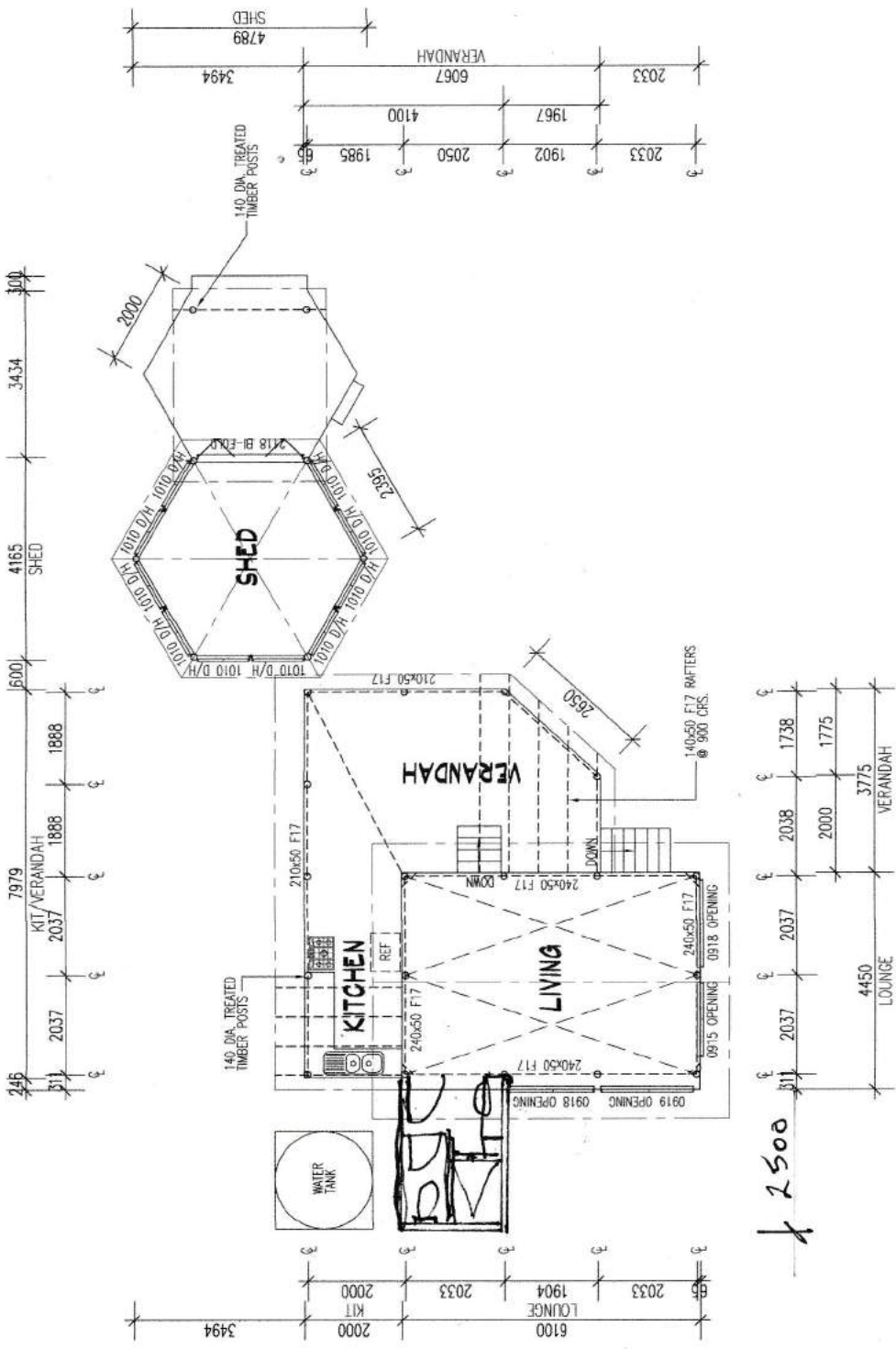
NOTES

1. DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.

2. ALL INTERNAL DIMENSIONS STATED ARE FRAME SIZE - EXCLUDING LINKS.

| | |
|-------------------------|---|
| CLIENTS | J. M. GNEI LOT 339 MAPLE ROAD, COW BAY. |
| DRAWING | CHECKED |
| REFERENCE No. | 161216 |
| UPPER FLOOR PLAN LAYOUT | DATE: 16/12/16 (CP) 12/10/17 (N.V.) |
| SCALE: 1:100 | DRAWN: BRJ |
| SHEET | 1 OF 8 |

C2.



ELEVATIONS

**UPPER PLAN
FLOOR LAYOUT.**

| | |
|----------------|---------------------|
| AREA:- | 27.15m ² |
| LIVING:- | 29.57m ² |
| KIT/VERANDAH:- | 5.22m ² |
| BATH:- | 61.94m ² |
| TOTAL AREA:- | 48.10m |
| PER LENGTH:- | 73.47m ² |
| ROOF AREA:- | 35.66m |
| PER LENGTH:- | |

FINAL SIGNED COPY

I/WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS FOR CONSTRUCTION. ANY ALTERATIONS OR ADDITIONS ARE SHOWN.

THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & WALLABY GROVE BUILDING DESIGN.

PROPRIETOR SIGNATURE: _____
PROPRIETOR SIGNATURE: _____
BUILDERS SIGNATURE: _____

OUTLINE STATEMENT OF
ENVIRONMENTAL EFFECTS

FOR

LOT 339 MAPLE ROAD

COW BAY

DAINTREE RIVER LOCALITY

November 2017

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1 Introduction

1.1 Purpose of this SEE

The purpose of this Statement of Environmental Effects is supporting documentation for the development application of the proposed dwelling at Lot 339 Maple Road Cow Bay Daintree River Locality against the Planning Scheme Codes.

1.2 Development to which this SEE relates

This Statement of Environmental Effects relates to the proposed dwelling on Lot 339 Maple Road which includes the following proposed works:

- A bedroom Yurt structure approx. 16 sqm;
- A Kitchen/verandah area 29.57 sqm
- A living Area 27.15 sqm
- A bathroom area 6.25 sqm
- A work shed/ garage 90 sqm
- New water tank
- Installation of new grey water system and formation of new grey water absorption trench.
- Installation of solar panels to roof and battery storage unit under the proposed kitchen living structure.

2 The site

2.1 Physical description

The site is located on the high embankment of the stream which is located on its south boundary. The proposed site, driveway has been cleared by the previous owner and it is not proposed to clear any further bushland area of the subject site.

The utilization of the existing cleared area for the proposed development has enabled the retention of significant natural vegetation minimising the visual impact of the proposed development when

viewed from Maple Road and Fig Tree Road and adjoining properties. The Settlement Areas North of the Daintree River Locality Code does limit clearing to 700sqm the existing cleared areas do not exceed this requirement

2.2 Title description & Ownership

The Title description is Lot 339 Fig Tree Road, Cow Bay P6797 and is owned jointly by Gavin Findlay and Victoria Lees.

2.3 Site area

The site area is 10,000 sqm with the proposed development of 124 sqm being 1.2% of the site area.

2.4 Settlement Areas North of the Daintree River Locality Code

The site is within the settlement areas north Daintree River Locality in which the Code facilitates the following outcomes:

- Protect the values of the WTWHA by ensuring that adjacent settlement areas are limited in extent and have a character and identity which are complementary to those values
- Ensure that all development remains low key and sustainable
- Provide adequate services and facilities for settlement areas
- Ensure that all development is designed and operated to achieve an environmentally sustainable outcome
- Ensure that all development is sensitive and sympathetic to its remote location in an area of unique biodiversity and scenic amenity
- Ensure the natural forested landscape character of the locality is protected and enhanced.

The Code applies to assessable development in the Settlement Areas North of the Daintree River Locality including the proposed development of a house on Lot 339 Maple Road Cow Bay.

3 Surrounding locality

3.1 North Daintree River Locality – General Requirements

The general requirements are applicable to all developments in the locality and include the following performance criteria:

P1 The height of buildings and structure are subservient to the surrounding environment. *The height of the buildings are 5.86m and 3.5 m within the allowable height limit of 6.5m and 3.5m for ancillary roof features.*

P2 Development is connected to sustainable on site infrastructure. *The proposed dwelling includes its own solar panels and battery storage unit along with rainwater tanks for provision of water.*

P3 Onsite wastewater does not adversely impact on the environmental quality of the water and soil resources or the amenity of residents, through the implementation of best environmental practice. *It is proposed to include Ecoflow Wastewater Management units a GSW10 grey water treatment plant and a Nature Loo classic 750 of which both are approved and certified by the Queensland Health Department. The GSW10 grey water treatment plant includes a grease trap and an absorption trench as shown on the plans.*

P4 The sustainability of the natural water resources of the area is protected for ecological and domestic consumption. *The proposed development includes the provision of on-site water tanks collecting rainwater from the roof.*

P5 The development does not adversely affect areas of sensitive natural vegetation, foreshore areas, watercourses and areas of tidal inundation which contribute to the scenic amenity and the natural values of the locality. *The proposed development is located on the high bank portion of the site setback from the natural watercourse by 20m.*

P6 The proposed development is subservient to the surrounding natural environment in scale and intensity and is designed to be energy efficient and functional in a humid tropical rainforest environment. *The proposed development is subservient to the natural environment in both scale and intensity. It is also designed to be energy efficient with the location of solar panels on its roof line and a battery storage unit located under the floor line of the living area. Rain water is also collected and stored in rain water tanks to be located under the floor line of the living area. The design also includes natural light which enters the proposed structure on all four sides of the dwelling negating the need for internal lights during daylight hours. On site generator is not required as the solar panels supply sufficient energy for all electrical appliances including night lighting. The hot water, refrigerator and stove are all gas appliances and the gas bottles are stored under the floor of the kitchen.*

P7 The landscaping of development sites ensure the native landscape character of the Locality is dominant. *The proposed development has minimised the removal of native vegetation/landscape, importantly the retention of the native landscape is central to the development with all clearing minimised to the actual area required for the structure. The code does allow for clearing of 700 sqm but this has been minimised to of the site area. The only introduced planting is a small planting of herbs to be used in cooking meals. All native species have been retained and form the dominant landscape component of the site.*

P8 Site access driveways and roads within the locality are retained as safe, slow speed scenic drives. *The proposed site access driveway does comply with the requirements of Planning Scheme No 6 and is maintained as a low speed gravel driveway. The driveway location has minimised the removal of native trees providing a scenic drive to the car garage area.*

P9 The onsite impacts on natural flow regimes and erosion and sedimentation are minimised. *Excavation required for the proposed development has been reduced to a minimum ensuring that there is no disturbance to tree roots and the proposed trenching does not damage any tree roots ensuring that the proposed onsite drainage and stormwater management trench does not impact natural flow regimes and is removed ensuring to avoid any erosion of the natural land surface.*

P10 Land use aspirations in any Indigenous Land Use Agreement . *The proposed development does not occur on any Indigenous Land Use Agreement area.*

P11 Development minimises the loss of vegetation and habitat connectivity on Site and is sited to protect the environmental values of the Site. *The proposed development is sited in an existing cleared area (undertaken by the previous owners). It is not proposed to clear any additional vegetation within the site area. The proposed development is sited clear of the high bank of the existing watercourse.*

P12 All existing native vegetation on a House site, other than that required and approved for the construction of a house and access thereto is protected to ensure the environmental integrity of the locality. *The proposed development is located clear of the high bank of the watercourse and it is not proposed to clear any further native vegetation than that cleared by the previous owner. The cleared area has been mimised by the previous owner and is set back and cannot be viewed from the road.*

P13 Wildlife movement, fauna habitat and habitat corridors are protected and domestic impact minimised. *The proposed development does not include any fencing to the site and external lighting is limited to the entry area of the dwelling and a movement detector/light is*

located at the proposed garage minimising external outdoor light requirements.

P14 House sites have efficient and safe vehicle access and manoeuvring areas on site and to the site to an acceptable standard for the locality. *The proposed development includes one safe access driveway which facilitates vehicle access to the proposed garage. The access way has a width less than the allowed 4 meters and is proposed to have a gravel base of 75mm of road base on compacted soil. The proposed site vehicle access way is clear of any watercourse and steep slopes.*

3.2 Local Context – Cow Bay

The local area at Cow Bay does have several areas that areas cleared for sugar cane farming, the site immediately adjacent facing east includes a motel development. Fig Tree Road though does include residential developments which like this proposed residential development are set back from the road and are not visible from the road. This proposal will be similar in that the natural rainforest on the site is to remain and no further clearing of the site is proposed.

4 The Proposed Development

4.1 Background

The site had been cleared by the previous owner along with commencement of unapproved building works.

The siting of the unapproved building works cottage has enabled the retention of significant natural vegetation minimising the visual impact of the development when viewed from the road and adjoining residents.

4.2 Details of project

The proposed development will occur on the existing cleared area of the site. It is important to the proposed development that the existing native trees remain continuing to minimise the visual impact of the proposed development enabling it to be known as the house amongst the trees.

4.2.1 Built form

- ground floor: open plan lounge/ kitchen / dining area with a bathroom with a hip line roof
- separate ground floor Yurt like structure to provide a sleeping area
- a second ground floor shed structure with a hip line roof

4.2.2 Stormwater

The subject site is not connected to town water supply and consequently it is necessary to collect all rain stormwater and store it in a system of 2 -3 rain water tanks. It is proposed to install 2 water tanks with each having a capacity of 15000 litres of water. The existing storage tank will collect that valuable rain water directly from the roof during a storm and being connected to the additional tanks providing sufficient rain water storage for use by the occupants.

4.2.3 Grey water and new black water system

- installation of new grey water system collection tank to be located under the proposed development and formation of new grey water trenches easement within the site. Grey water to be pumped up to trenches
- installation of 1 new dry composting Nature Loos,

4.3 Development Application

The proposed development is sited amongst the trees making it almost invisible when viewed from the road. It is one simple singular shape with a hip roof line and a large covered verandah with an adjacent Yurt like structure and a second singular structure with a hip line roof

- Development of a singular structure to include a kitchen/living area and adjacent bathroom
- Development of a second singular structure as a shed
- Development of a second singular Yurt like structure to provide a bedroom
- Location of 2 water tanks under the proposed structure to collect rainwater from the roof of the main structure.
- The existing driveway and cleared area around the proposed development will remain and not be altered
- installation of new grey water system and formation of new grey water trenches within site area set back from the road but more that 30m from the minor perennial Riparian Corridor.

- Installation of solar panels to roof level
- Installation of battery storage capacity sited under the proposed floor level of the kitchen/living area.

4.4 Proposed Floor Space

The proposed development has a combined floor area of 120sqm on a site area of 10,000 sqm.

4.5 Parking

The subject site has an existing driveway with provision of parking for 2-3 cars within the second shed structure, it is not intended to increase the parking area

5 Elements of the Code

5.1 P1 Height of Buildings

The Code limits the heights of buildings to 6.5m and ancillary buildings to 3.5m:

- The proposed main structure has a building height of 5.9m within the requirements of the code of 6.5m. The separate building structure has a building height of 3.5m meeting the requirements of the code

The proposed development is connected to on Site infrastructure services including:

- It is proposed to include water storage tanks located under the main structure collecting all roof water
- Gutters are included on the main structure and all rain water diverted to the storage water tanks
- Solar panels are installed on the roof line and battery storage units are proposed to installed under the floor area.

5.2 Conservation Planning Area Code

The Council in its assessment of this Development Application must consider the conservation planning code the proposal does not contravene the code

5.3 *Natural Hazards Code*

The consent authority in its assessment of this development application must give regard to any operational work including filling or excavation works. The development application does include the formation of an absorption trench but the removed soil will be spread within the adjacent cleared area on the site.

5.4 *House Code*

The house is located within an existing cleared area on the site the application does not require any further clearing for the building permit. The existing cleared area is much less than the allowed 700 sqm and equates to less than 400 sqm including the driveway access.

The existing native vegetation is to remain and is considered a feature of the site .

The proposal does not include any site fencing allowing for the safe movement of wildlife within the area.

The existing driveway does provide efficient and safe vehicle access and 2 manoeuvring areas.

5.5 *Filing and Excavation Code*

Consideration of the proposed development should include the following:

-
- The proposed development only occurs on that area that has been cleared for the existing development maintaining the house amongst the trees setting. A photo-montage is included within the drawings demonstrating that the proposed development will not destroy the aesthetic and scenic values of the surrounding Daintree rainforest vegetation

5.6 Landscape Code

The proposed development is compliant to the recommendations listed above.

- The existing development is sited on the higher slope well away from the slope down to the stream along the south boundary
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5.7 Vehicle Parking and Access Code

The existing site development does include a driveway which provides safe vehicle access from the street and a manoeuvring area for 2 vehicles within the site.

6 Conclusion

The proposed development on the subject site is compliant to the requirements set out in the Settlement Areas north of the Daintree River Locality.

The aesthetic and scenic values of the surrounding bushland have been maintained. When viewed from both Maple Road and FigTree Road the proposed development of are still masked from view by being sited amongst rainforest vegetation of the site.

The proposed development will utilize grey water system and absorption trenches along with a nature loo system which are located 60 m set back from the creek/stream boundary ensuring that no waste water can enter the natural stream.

Currently the subject site is not dependent on grid electricity supply the proposed development on the subject site will utilize solar cells on the roof to be used for the production of electricity. The design has ensured that all cross breezes are captured through the positioning of operable louver system negating the need for air.

