IDAS form 1—Application details

(Sustainable Planning Act 2009 version 4.2 effective 3 August 2015)

This form must be used for ALL development applications.

You MUST complete ALL questions that are stated to be a mandatory requirement unless otherwise identified on this

For all development applications, you must:

- complete this form (IDAS form 1-Application details)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the Sustainable Planning Act 2009 (SPA) or the Sustainable

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the Transport Infrastructure Act 1994 and airport land under the Airport Assets (Restructuring and Disposal) Act 2008. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land. Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued

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Applicant's declaration	

Notes for completing this form

Section 261 of the Sustainable Planning Act 2009 prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any noncompliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the

Applicant details

Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

Schedule 3 of the Sustainable Planning Regulation 2009 identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

Section 263 of the Sustainable Planning Act 2009 sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the Sustainable Planning Act 2009 provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 7

If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the Environmental Protection Act 1994 it may be necessary to seek compliance assessment. Schedule 18 of the Sustainable Planning Regulation 2009 identifies where compliance assessment is required.

Question 11

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Open year

- The Building and Construction Industry (Portable Long Service Leave) Act 1991 prescribes when the portable long
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the Building and Construction Industry (Portable Long Service Leave) Regulation 2002.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the Building and Construction Industry (Portable Long Service Leave) Act 1991 requires the levy to be paid before a development
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of Infrastructure, Local Government

and Planning (DILGP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the Sustainable Planning Act 2009, except where required by jegislation (including the Right to Information Act 2009) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the Public Records Act 2002. OFFICE USE ONLY Date received: Reference numbers NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER To Council. I have been engaged as the private certifier for the building work referred to in this application Date of engagement **BSA Certification license** Name Building number classification/s

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

		MANAGE STREET,		91900			
	Description of the work		Amount paid (\$)	Date paid	Date receipted form sighted by assessment	Name of officer who sighted the form	Proposed and the second
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The Sustainable Planning Act 2009 is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any

IDAS form 5—Material change of use assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for development applications for a material change of use assessable against a planning scheme.

You MUST complete ALL questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete IDAS form 1-Application details
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the Sustainable Planning Act 2009 (SPA) or the Sustainable Planning Regulation 2009.

This form must also be used for material change of use on strategic port land and Brisbane core port land under the Transport Infrastructure Act 1994 and airport land under the Airport Assets (Restructuring and Disposal) Act 2008 that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

This form can also be comple	eted online using MyDAS at w	/ww.dsdip.qld.gov.au/N	AyDAS	
Mandatory requirements				
	use. (Note: this is to provide action details. Attach a separate s			
General explanation of the proposed use	Planning scheme definition (include each definition in a new row) (non-mandatory)	No. of dwelling units (if applicable) or gross floor area (if applicable)	Days and hours of operation (if applicable)	No. of employees (if applicable)
Dwelling	House	1	-	-
				<u></u>
,				<u> </u>
2. Are there any current a (e.g. a preliminary approx	pprovals associated with the val.)	proposed material cha	nge of use?	
No Yes-prov	ide details below			
List of approval reference/s	Date approved	l (dd/mm/yy) D	ate approval laps	es (dd/mm/yy)
		-		



3. Does the proposed use involve the following? (Tick all applicable bo	xes.)	
The reuse of existing buildings on the premises No	/Yes	
New building work on the premises No	Yes	
The reuse of existing operational work on the premises No	Yes	
New operational work on the premises No	Yes	
Mandatory supporting information		
4. Confirm that the following mandatory supporting information accor	mpanies this applic	ation
Mandatory supporting information	Confirmation of lodgement	Method of lodgement
All applications		
A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:	Confirmed	
 the location and site area of the land to which the application relates (relevant land) the north point the boundaries of the relevant land any road frontages of the relevant land, including the name of the road the location and use of any existing or proposed buildings or structures on the relevant land (note: where extensive demolition or new buildings are proposed, two separate plans [an existing site plan and proposed site plan] may be appropriate) any existing or proposed easements on the relevant land and their function the location and use of buildings on land adjoining the relevant land all vehicle access points and any existing or proposed car parking areas on the relevant land. Car parking spaces for persons with disabilities and any service vehicle access and parking should be clearly marked for any new building on the relevant land, the location of refuse storage the location of any proposed retaining walls on the relevant land and their height the location of any proposed landscaping on the relevant land the location of any stormwater detention on the relevant land. 		
A statement about how the proposed development addresses the local government's planning scheme and any other planning instruments or documents relevant to the application.	Confirmed	
A statement about the intensity and scale of the proposed use (e.g. number of visitors, number of seats, capacity of storage area etc.).	Confirmed	
Information that states:	☑ Confirmed	
 the existing or proposed floor area, site cover, maximum number of storeys and maximum height above natural ground level for existing or new buildings (e.g. information regarding existing buildings but not being reused)] Not applicable	
 the existing or proposed number of on-site car parking bays, type of vehicle cross-over (for non-residential uses) and vehicular servicing arrangement (for non-residential uses). 		

TO DESCRIPTION OF THE PROPERTY OF THE PROPERTY

A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	Confirmed Not applicable
When the application involves the reuse of existing buildings	
Plans showing the size, location, existing floor area, existing site cover, existing maximum number of storeys and existing maximum height above natural ground level of the buildings to be reused.	Cónfirmed Not applicable
When the application involves new building work (including extensions)	
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following:	Confirmed
 the north point the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only) the room layout (for residential development only) with all rooms clearly labelled the existing and the proposed built form (for extensions only) the gross floor area of each proposed floor area. 	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation)	Confirmed
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	Confirmed Not applicable
When the application involves reuse of other existing work	
Plans showing the nature, location, number of on-site car parking bays, existing area of landscaping, existing type of vehicular cross-over (non-residential uses), and existing type of vehicular servicing arrangement (non-residential uses) of the work to be reused.	☐ Confirmed Not applicable
When the application involves new operational work	
Plans showing the nature, location, number of new on-site car parking bays, proposed area of new landscaping, proposed type of new vehicle cross-over (non-residential uses), proposed maximum new vehicular servicing arrangement (non-residential uses) of the proposed new operational work.	Confirmed Not applicable
Privacy—Please refer to your assessment manager, referral agency and/or bulkuse of information recorded in this form.	ding certifier for further details on the
OFFICE USE ONLY	
Date received Reference numbers	

The Sustainable Planning Act 2009 is administered by the Department of State Development, infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

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Department of State Development, Infrastructure and Planning PO Box 15009 City East Qld 4002 tel 13 QGOV (13 74 68) info@dsdip.qkd.gov.au

GMA Certification Group Pty Ltd

BUILDING SURVEYORS





PORT DOUGLAS OFFICE

PHONE: (07) 4098 5150 (07) 4098 5180

Lot 9 Unit 5 Craiglie Business Park Owen Street CRAIGLIE QLD 4877

POSTAL: P.O. Box 831, PORT DOUGLAS QLD 4877

E-Mail: adminpd@gmacert.com.au

17 November 2016

The Chief Executive Officer **Douglas Shire Council** PO Box 723 MOSSMA Q 4877

Attention: **Development Assessment**

Dear Sir/Madam,

Re: Material Change of Use - Dwelling & Shed Lot 23 RP861002 Paddy's lane, Wonga Beach

GMA Certification Group has been engaged to assess an application for the construction of a dwelling and shed on the abovementioned allotment. A preliminary assessment of the proposal has revealed the property is within a Rural Settlement Planning Area.

Accordingly, the application for Material Change of Use is enclosed for Council's assessment, which includes:

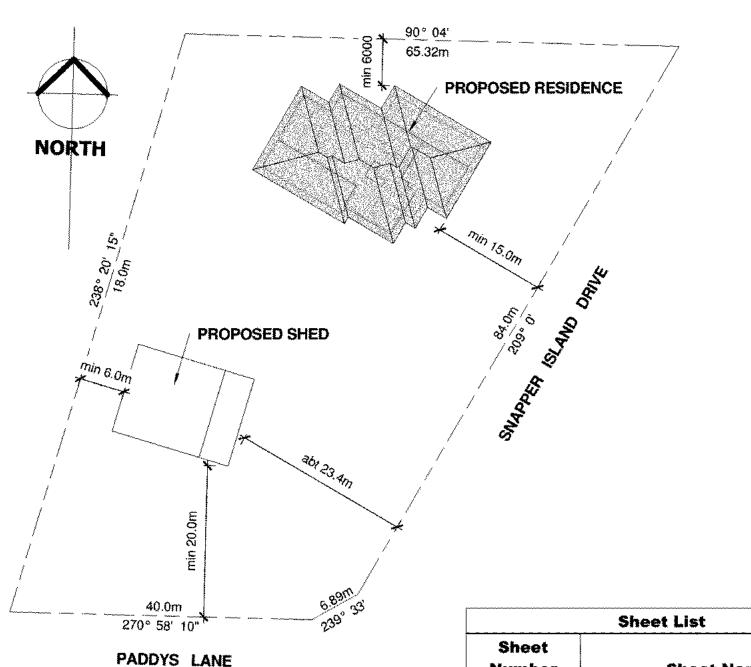
- 1. Forms 1 & 5
- 2. Assessment against the applicable Acceptable Solutions of the Code, and
- 3. 1 x copy of plans
- 4. Waste Water Report

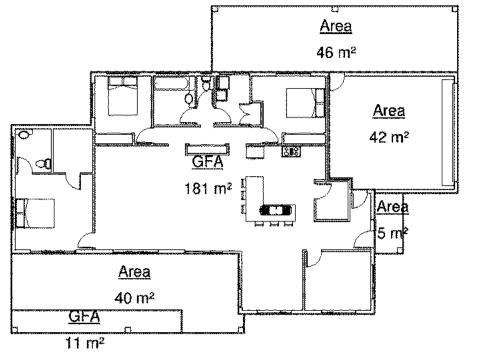
Should you require any further information or wish to discuss the application, please contact me on 4098 5150 or by email Jevans@gmacert.com.au

Kind Regards,

Jeff Evans

GMA Certification Group





GROSS FLOOR AREAS

GFA House - 181m² GFA Patio - 11m² (>3m from ext walls) TOTAL GFA - 192m²

BUILDING AREAS

House - 325m² Shed - 192m² TOTAL - 517m²

Allot Area - 4203m² Site Cover - 12%

GENERAL

Area Plan

1:200

All construction is to comply with C2 building standards, Building Code of Australia, all relevant legislation, and Council By-Laws.

Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements.

All dimensions must to be checked by the Builder prior to commencing any work written dimensions take precedence over scaled.

Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work.

This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

Site Plan 1:500

Sheet List					
Sheet					
Number	Sheet Name				
1 of 5	Site and Area Plans, Sheet List, Notes				
2 of 5	Floor Plan - Residence				
3 of 5	Elevations - Sheet 1				
4 of 5	Elevations - Sheet 2				
5 of 5	Floor Plan - Shed, Elevations				

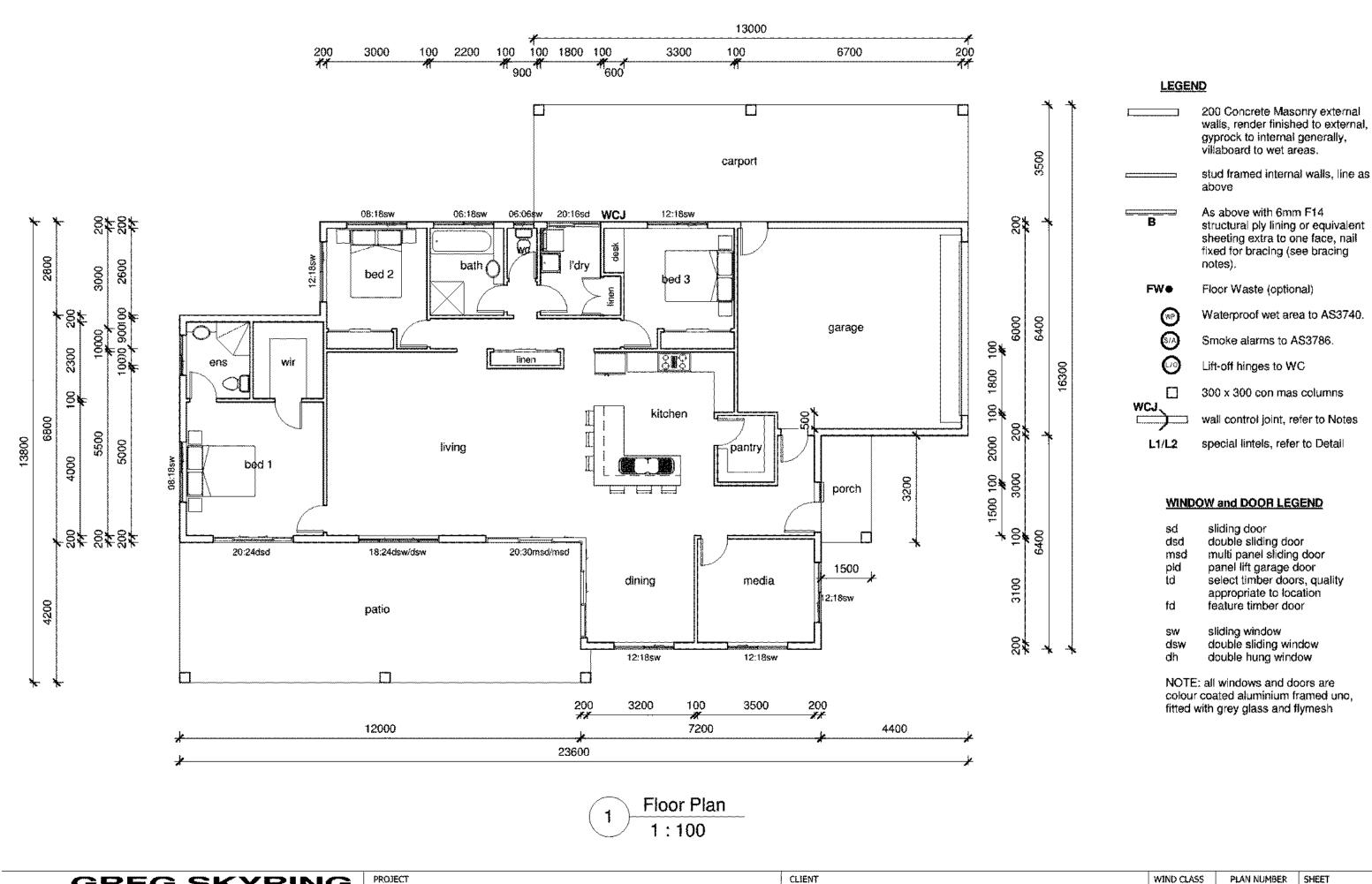
GREG SKYRING Design and DRAFTING Pty. Ltd.

Lic Under OBSA Act 1991 - No 1040371 11 Noli Close,

Mossman Q. 4873

Phone/Fax: (07) 40982061 Mobile: 0419212652 Email: greg@skyringdesign.com.au PROJECT

CLIENT	WIND CLASS	PLAN NUMBER	SHEET	_	
M. & E. Gwynne		C2	808-16	1 of 5	
As indicated	Site and Area Plans, She List, Notes	eet	prelim 01.09.16	REV	~_



GREG SKYRING
Design and DRAFTING Pty. Ltd.
Lic Under QBSA Act 1991 - No 1040371

 Phone/Fax: (07) 40982061

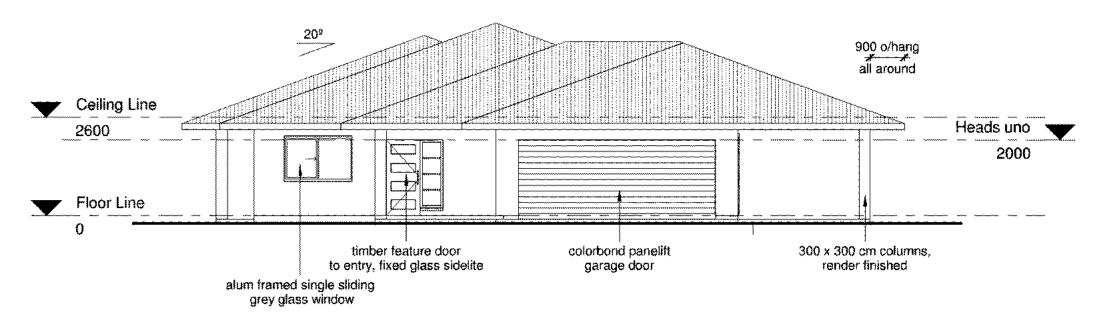
 Mossman Q. 4873
 Phone/Fax: (07) 40982061

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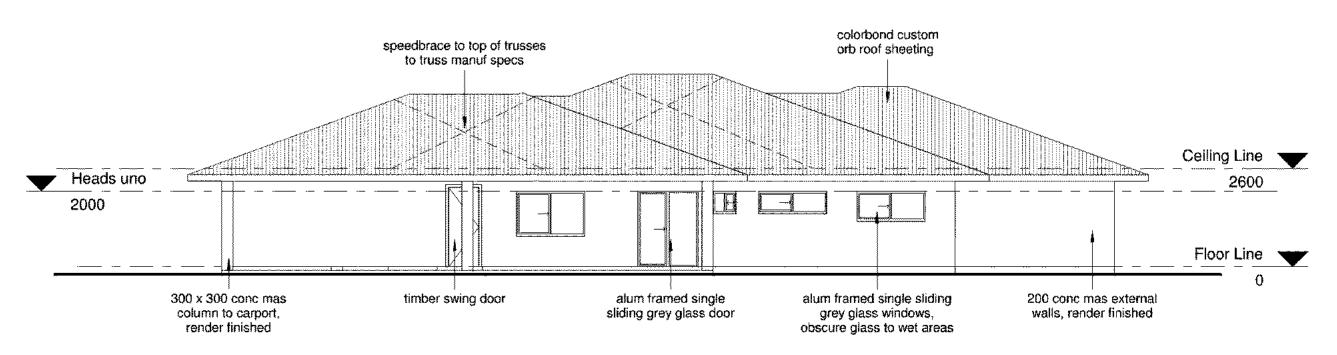
 Mobile: 0419212652

 Email: greg@skyringdesign.com.au

CLIENT		WIND CLASS	PLAN NUMBER	SHEET
M. & E. Gwynne		C2	808-16	2 of 5
SCALES	PLAN TITLE	 	DATE OF ISSUE	REV
1:100	Floor Plan - Residence		prelim 01.09.16	



Front Elevation (Snapper Island Drive)
1:100



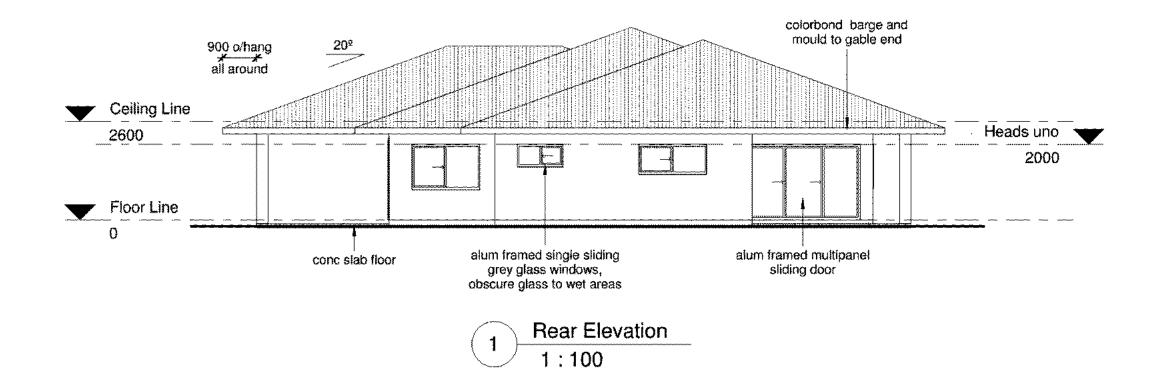
2 Right Elevation 1:100

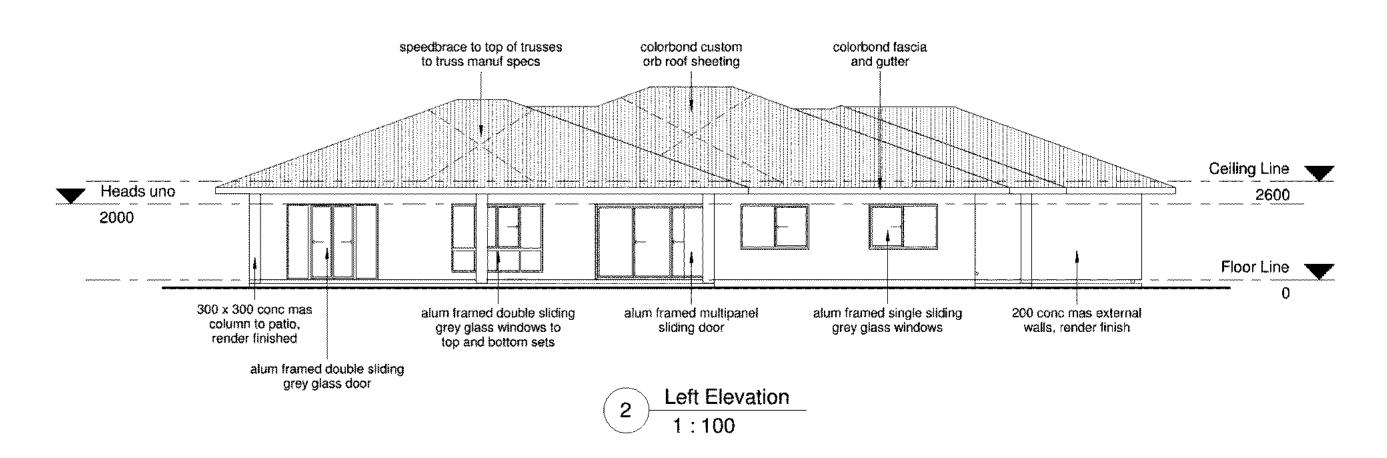
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11 Noli Close, Mossman Q. 4873 Phone/Fax: (07) 40982061 Mobile: 0419212652 Email: greg@skyringdesign.com.au PROJECT

CLIENT		WIND CLASS	PLAN NUMBER	SHEET
M. & E. Gwynne		C2	808-16	3 of 5
SCALES	PLAN TITLE	<u> </u>	DATE OF ISSUE	REV
1:100	Elevations - Sheet 1		prelim 01.09.16	



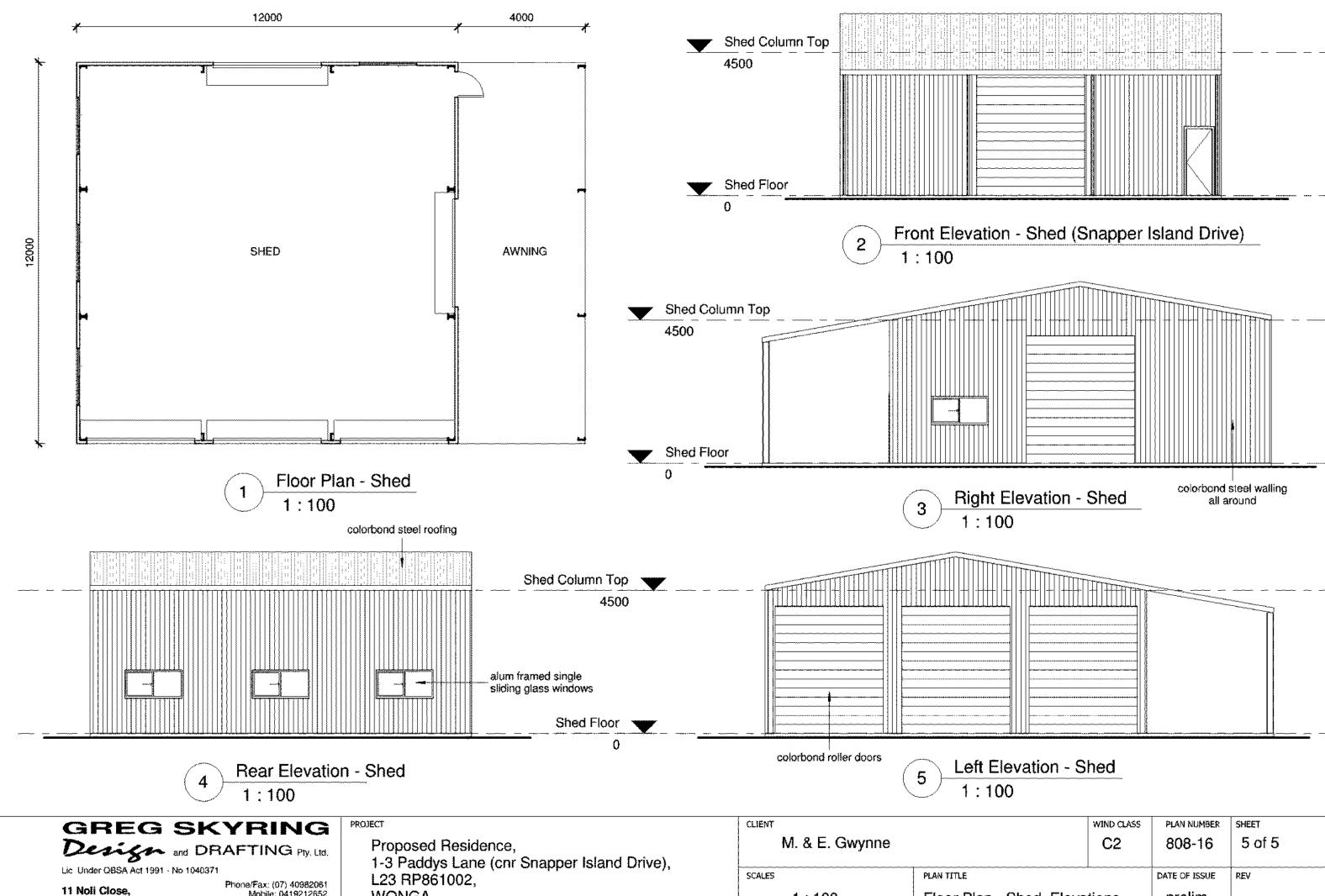


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CLIENT		WIND CLASS	PLAN NUMBER	SHEET
M. & E. Gwynne		C2	808-16	4 of 5
SCALES	PLAN TITLE	<u> </u>	DATE OF ISSUE	REV
1:100	Elevations - Sheet 2		prelim 01.09.16	



Phone/Fax: (07) 40982061 Mobile: 0419212652 Email: greg@skyringdesign.com.au

Mossman Q. 4873

L23 RP861002, WONGA

CLIENT		WIND CLASS	PLAN NUMBER	SHEET
M. & E. Gwynne		C2	808-16	5 of 5
SCALES	PLAN TITLE		DATE OF ISSUE	REV
1:100	Floor Plan - Shed, Eleva	tions	prelim 01.09.16	



EARTH TEST

Wastewater Management System

For

M&E Gwynne

At

Lot 23 Paddys Lane

Wonga Beach

INTRODUCTION:

Earth Test has been engaged by M&E Gwynne to design a Domestic Wastewater Management System at Lot 23 Paddys Lane, Wonga Beach. Real Property Description:-

Lot 23, on RP 861002

Local Authority: Douglas Shire Council.

It is understood the intention is to construct a dwelling and shed at the site. A site and soil evaluation was carried out in May 2014.

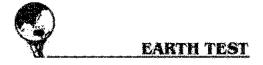
SITE FACTORS:

The site was identified by it site address. A photo is included to confirm the identity of the site. The Lot has an area of 4203 square metres and is predominantly covered with grass. The water supply to the site is reticulated. No rock outcrops were noted at the site. A pond and multiple bores are shown on the site plan.

A borehole was drilled to confirm soil depth, type and profile.



BH1 being drilled at Lot 23 Paddys Lane, Wonga Beach.



SITE AND SOIL EVALUATION

Lot 23 Paddys Lane, Wonga Beach.

The site and soil evaluation carried out on 26/05/2014 provided the following results.

Site Assessment

Site Factor	Result
Slope	Level
Chama	Támasa 1

Shape Linear-Planar

Aspect Nil
Exposure Good.
Erosion/land slip Not noted.
Boulders/rock outcrop Not noted
Vegetation Grass.

Watercourse/Bores As shown on site plan.

Water table 1.2m deep.
Fill Not noted.
Flooding Not likely.
Channelled run-off Not found
Soil surface conditions Soft, Moist
Other site specific factors Not noted

Soil Assessment

Soil Property	<u>Result</u>
Colour	Brown
Texture	Sandy-Loam
Structure	Massive
Coarse Fragments	Nil
Measured Permeability Ksat (m/d)	Not measured
Dispersion	Slakes

Soil Category 2
Resultant Design Load Rate, DLR (mm/day) 50

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WASTEWATER MANAGEMENT SYSTEM

An "All-Waste" septic tank discharging into an "Advanced Enviro-Septic" bed is considered suitable for this site.

This system has been designed to conform to the requirements of the following codes, acts, regulations and standards. All work to be carried out in accordance with the following codes.

- AS/NZ 1547:2012 On-site domestic-wastewater management.
- Queensland PLUMBING AND DRAINAGE ACT 2002.
- Queensland STANDARD PLUMBING AND DRAINAGE REGULATION 2003.
- Queensland PLUMBING AND WASTEWATER CODE.

SYSTEM SIZING FACTORS.

A population equivalent of five (5) persons has been chosen for the proposed three bedroom dwelling and one (1) person for the shed with toilet, shower and laundry tub.

The residence is connected to a reticulated water supply system.

Standard water-reduction fixtures <u>must</u> be used to ensure the integrity of the system. They shall include:-

- Dual flush 6/3 Litre water closets.
- Shower-flow restrictors.
- Aerator faucets (taps).
- Water-conserving automatic washing machines.

Note: - Garbage grinders are not permitted.

As per AS/NZ 1547:2012 Appendix H, Table H1 the "Typical wastewater design flow" for a "Reticulated water supply" gives a flow allowance of 150 L/Person/day.

The daily flow for the dwelling (5 persons @ 150 L/person/day) will be 750 L/day.

The daily flow for the shed (1 persons @ 150 L/person/day) will be 150 L/day.

From AS/NZ 1547:2012 Table J1 the minimum capacity of the All-Waste septic tank required is 3000 L.

The tank must NOT be fitted with an outlet filter.

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LAND-APPLICATION SYSTEM

HOUSE SITE DISPOSAL AREA SIZING

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

L = Q / (DLRxW)

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

L = 750/50*1.35= 11.6m.

Use one 1.35m wide by 15.6m long advanced enviro septic bed.

See site plan and detail cross-section.

SHED SITE DISPOSAL AREA SIZING

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

L = Q / (DLRxW)

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

L = 150/50*1.35= 2.22m.

Use one 1.35m wide by 3.6m long advanced enviro septic bed.

See site plan and detail cross-section.

SYSTEM SAND

All Advanced Enviro-Septic systems require the use of "system sand" surrounding the pipe. This sand, typically washed coarse sand, must adhere to the following specification.

AS Sieve Size (mm)	Percent Passing %
9.50	100
4.75	95-100
2.36	80-100
1.18	50-85
0.600	25-60
0.300	5-30
0.150	0-10
0.075	0-2

If there is any doubt if the sand media proposed for use will meet the requirements please contact Earth Test for further advice.

SYSTEM INSTALLATION

The entire bottom of the bed should be scarified a minimum of 200mm deep parallel to the AES pipes.

Avoid compaction by keeping people and machinery off the finished trench or bed floor. The system shall be installed by a licensed plumber in accordance with the manufacturer's recommendations and the relevant Australian Standards.

Operation and Maintenance

Homeowners should be fully informed of the proper operation and maintenance requirements of the on-site wastewater system.

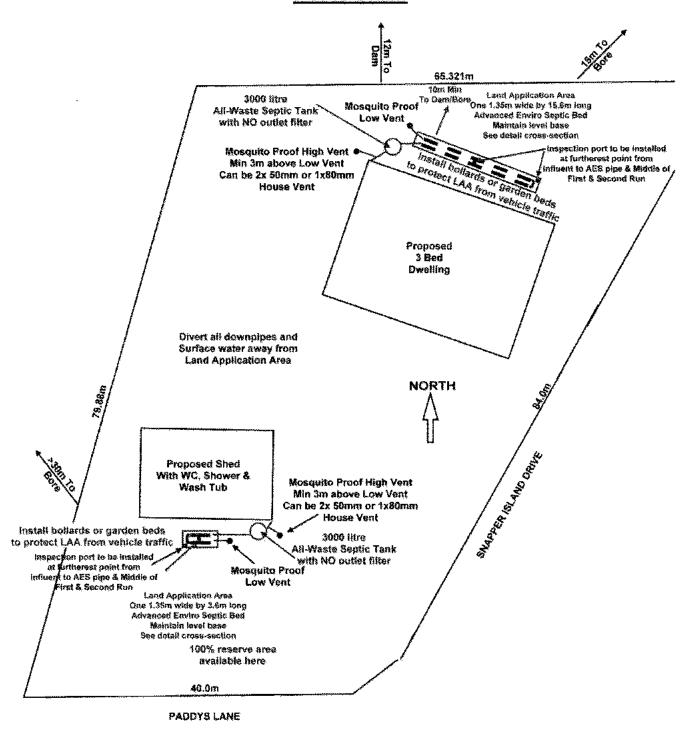
Leonard Quinn Earth Test

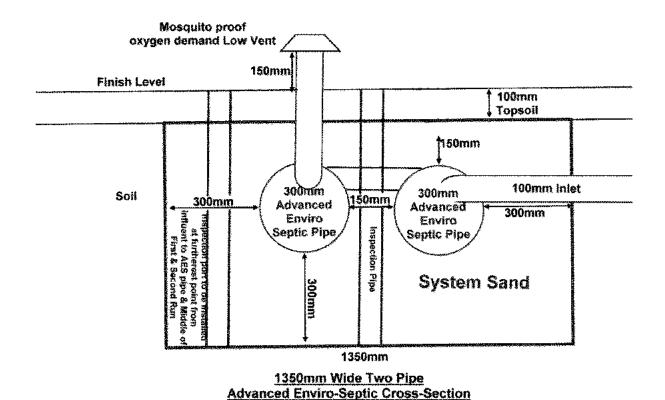


EARTH TEST

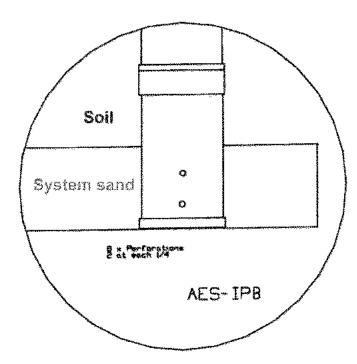
QBSA Lie No. 1017941.

SITE PLAN Lot 23 Paddys Lane, Wonga Beach. Not to Scale.



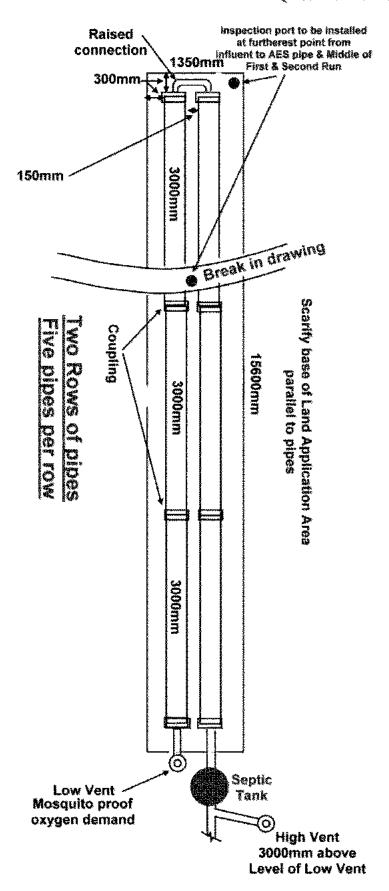


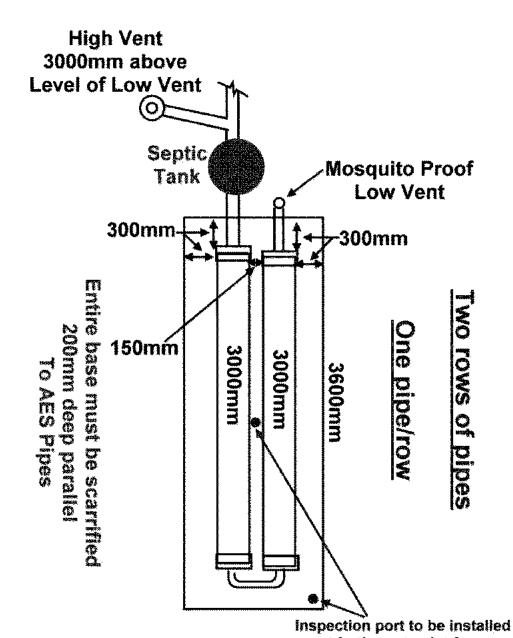
Base must be scarrified 200mm deep. Parallel to AES Pipes



AES Inspection point detail

Ph: 4095 4734 Page 7 Aug-16 SI 290-16Report.doc





at furtherest point from influent to AES pipe & Middle of First & Second Run



EARTH TEST

QBSA Lic No. 1017941.

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