

# IDAS form 1—Application details

(Sustainable Planning Act 2009 version 4.2 effective 3 August 2015)

This form must be used for ALL development applications.

You **MUST** complete ALL questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

## Mandatory requirements

**Applicant details** (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

COLIN & ERICA GWYNNE

For companies, contact name

Postal address

20 IVES AVENUE

Suburb

WONGA

State

Qld

Postcode

4873

Country

AUSTRALIA

Contact phone number

07 40 987762

Mobile number (non-mandatory requirement)

Fax number (non-mandatory requirement)

Email address (non-mandatory requirement)

erica23  
@bigpond.com

Applicant's reference number (non-mandatory requirement)

**1. What is the nature of the development proposed and what type of approval is being sought?**

**Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)**

- a) What is the nature of the development? (Please only tick one box.)
- Material change of use     Reconfiguring a lot     Building work     Operational work
- b) What is the approval type? (Please only tick one box.)
- Preliminary approval under s241 of SPA     Preliminary approval under s241 and s242 of SPA     Development permit
- c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)
- Dwelling, attached garage and shed
- d) What is the level of assessment? (Please only tick one box.)
- Impact assessment     Code assessment

**Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)**

- a) What is the nature of development? (Please only tick one box.)
- Material change of use     Reconfiguring a lot     Building work     Operational work
- b) What is the approval type? (Please only tick one box.)
- Preliminary approval under s241 of SPA     Preliminary approval under s241 and s242 of SPA     Development permit
- c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)
- 
- d) What is the level of assessment?
- Impact assessment     Code assessment

**Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)**

- Refer attached schedule     Not required

**2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)**

**Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water.) (Attach a separate schedule if there is insufficient space in this table.)**

- Street address and lot on plan (All lots must be listed.)
- Street address and lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)		23	PADDY'S LANE	4873	23	RP 861002	DSC.
ii)							
iii)							

**Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)**

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

**Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)**

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

**3. Total area of the premises on which the development is proposed (indicate square metres)**

4203m<sup>2</sup>

**4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)**

VACANT LAND.

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)

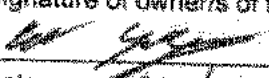
- No  Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

- No  Yes—complete either Table F, Table G or Table H as applicable

**Table F**

Name of owner/s of the land	COLIN & ERICA GWINNE
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	
Date	28/10/16

**Table G**

Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

**Table H**

Name of owner/s of the land	
<input type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

- Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- In a tidal water area—complete Table K
- On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)
- Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* (no table requires completion)

**Table I**

Name of water body, watercourse or aquifer	

Table J	
Lot on plan description for strategic port land	Port authority for the lot

Table K	
Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

No  Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (including any services)

No  Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

No—go to question 12  Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

No  
 Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L		
Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the Sustainable Planning Act 2009?

No  
 Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

**13. List below all of the forms and supporting information that accompany this application (include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application)**

Description of attachment or title of attachment	Method of lodgement to assessment manager

**14. Applicant's declaration**

By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

**Notes for completing this form**

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

**Applicant details**

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

**Question 1**

- Schedule 3 of the *Sustainable Planning Regulation 2009* identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

**Question 6**

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

**Question 7**

- If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the *Sustainable Planning Regulation 2009* identifies where compliance assessment is required.

**Question 11**

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the *Building and Construction Industry (Portable Long Service Leave) Regulation 2002*.

**Question 12**

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at [www.qleave.qld.gov.au](http://www.qleave.qld.gov.au). For further information contact QLeave on 1800 803 481 or visit [www.qleave.qld.gov.au](http://www.qleave.qld.gov.au).

**Privacy**—The information collected in this form will be used by the Department of Infrastructure, Local Government and Planning (DILGP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**OFFICE USE ONLY**

Date received  Reference numbers

**NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER**

To  Council, I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s

**QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)**

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date received form sighted by assessment manager	Name of officer who sighted the form

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

# IDAS form 5—Material change of use assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for development applications for a material change of use assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the Sustainable Planning Act 2009 (SPA) or the Sustainable Planning Regulation 2009.

This form must also be used for material change of use on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

This form can also be completed online using MyDAS at [www.dsdip.qld.gov.au/MyDAS](http://www.dsdip.qld.gov.au/MyDAS)

**Mandatory requirements**

**1. Describe the proposed use.** (Note: this is to provide additional detail to the information provided in question 1 of *IDAS form 1—Application details*. Attach a separate schedule if there is insufficient space in this table.)

General explanation of the proposed use	Planning scheme definition (include each definition in a new row) (non-mandatory)	No. of dwelling units (if applicable) or gross floor area (if applicable)	Days and hours of operation (if applicable)	No. of employees (if applicable)
Dwelling	House	1	-	-

**2. Are there any current approvals associated with the proposed material change of use?** (e.g. a preliminary approval.)

No       Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)



**3. Does the proposed use involve the following? (Tick all applicable boxes.)**

- |  |  |   |
|--|--|---|
| The reuse of existing buildings on the premises        | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes            |
| New building work on the premises                      | <input type="checkbox"/> No            | <input checked="" type="checkbox"/> Yes |
| The reuse of existing operational work on the premises | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes            |
| New operational work on the premises                   | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes            |

**Mandatory supporting information**

**4. Confirm that the following mandatory supporting information accompanies this application**

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
<b>All applications</b>		
<p>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following:</p> <ul style="list-style-type: none"> <li>the location and site area of the land to which the application relates (<i>relevant land</i>)</li> <li>the north point</li> <li>the boundaries of the relevant land</li> <li>any road frontages of the relevant land, including the name of the road</li> <li>the location and use of any existing or proposed buildings or structures on the relevant land (note: where extensive demolition or new buildings are proposed, two separate plans [an existing site plan and proposed site plan] may be appropriate)</li> <li>any existing or proposed easements on the relevant land and their function</li> <li>the location and use of buildings on land adjoining the relevant land</li> <li>all vehicle access points and any existing or proposed car parking areas on the relevant land. Car parking spaces for persons with disabilities and any service vehicle access and parking should be clearly marked</li> <li>for any new building on the relevant land, the location of refuse storage</li> <li>the location of any proposed retaining walls on the relevant land and their height</li> <li>the location of any proposed landscaping on the relevant land</li> <li>the location of any stormwater detention on the relevant land.</li> </ul>	<input checked="" type="checkbox"/> Confirmed	
A statement about how the proposed development addresses the local government's planning scheme and any other planning instruments or documents relevant to the application.	<input checked="" type="checkbox"/> Confirmed	
A statement about the intensity and scale of the proposed use (e.g. number of visitors, number of seats, capacity of storage area etc.).	<input checked="" type="checkbox"/> Confirmed	
<p>Information that states:</p> <ul style="list-style-type: none"> <li>the existing or proposed floor area, site cover, maximum number of storeys and maximum height above natural ground level for existing or new buildings (e.g. information regarding existing buildings but not being reused)</li> <li>the existing or proposed number of on-site car parking bays, type of vehicle cross-over (for non-residential uses) and vehicular servicing arrangement (for non-residential uses).</li> </ul>	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	

A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>When the application involves the reuse of existing buildings</b>		
Plans showing the size, location, existing floor area, existing site cover, existing maximum number of storeys and existing maximum height above natural ground level of the buildings to be reused.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>When the application involves new building work (including extensions)</b>		
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following: <ul style="list-style-type: none"> <li>the north point</li> <li>the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only)</li> <li>the room layout (for residential development only) with all rooms clearly labelled</li> <li>the existing and the proposed built form (for extensions only)</li> <li>the gross floor area of each proposed floor area.</li> </ul>	<input checked="" type="checkbox"/> Confirmed	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation)	<input checked="" type="checkbox"/> Confirmed	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>When the application involves reuse of other existing work</b>		
Plans showing the nature, location, number of on-site car parking bays, existing area of landscaping, existing type of vehicular cross-over (non-residential uses), and existing type of vehicular servicing arrangement (non-residential uses) of the work to be reused.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>When the application involves new operational work</b>		
Plans showing the nature, location, number of new on-site car parking bays, proposed area of new landscaping, proposed type of new vehicle cross-over (non-residential uses), proposed maximum new vehicular servicing arrangement (non-residential uses) of the proposed new operational work.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

**Privacy**—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

**OFFICE USE ONLY**

Date received  Reference numbers

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

# GMA Certification Group Pty Ltd

## BUILDING SURVEYORS

*Queensland's leaders in Building Certification Services*



### PORT DOUGLAS OFFICE

PHONE: (07) 4098 5150  
FAX: (07) 4098 5180

Lot 9 Unit 5  
Craiglie Business Park  
Owen Street  
CRAIGLIE QLD 4877

POSTAL:  
P.O. Box 831,  
PORT DOUGLAS QLD 4877

E-Mail: [adminpd@macert.com.au](mailto:adminpd@macert.com.au)  
Web: [www.gmacert.com.au](http://www.gmacert.com.au)

17 November 2016

The Chief Executive Officer  
Douglas Shire Council  
PO Box 723  
MOSSMA Q 4877

Attention: Development Assessment

Dear Sir/Madam,

**Re: Material Change of Use – Dwelling & Shed  
Lot 23 RP861002 Paddy's lane, Wonga Beach**

GMA Certification Group has been engaged to assess an application for the construction of a dwelling and shed on the abovementioned allotment. A preliminary assessment of the proposal has revealed the property is within a Rural Settlement Planning Area.

Accordingly, the application for Material Change of Use is enclosed for Council's assessment, which includes:

1. Forms 1 & 5
2. Assessment against the applicable Acceptable Solutions of the Code, and
3. 1 x copy of plans
4. Waste Water Report

Should you require any further information or wish to discuss the application, please contact me on 4098 5150 or by email [Jevans@macert.com.au](mailto:Jevans@macert.com.au)

Kind Regards,

Jeff Evans  
GMA Certification Group

#### BUILDING APPROVALS & INSPECTIONS

Gold Coast  
(07) 5578 1622

Sunshine Coast  
(07) 5449 0383

#### BUILDING CERTIFICATION

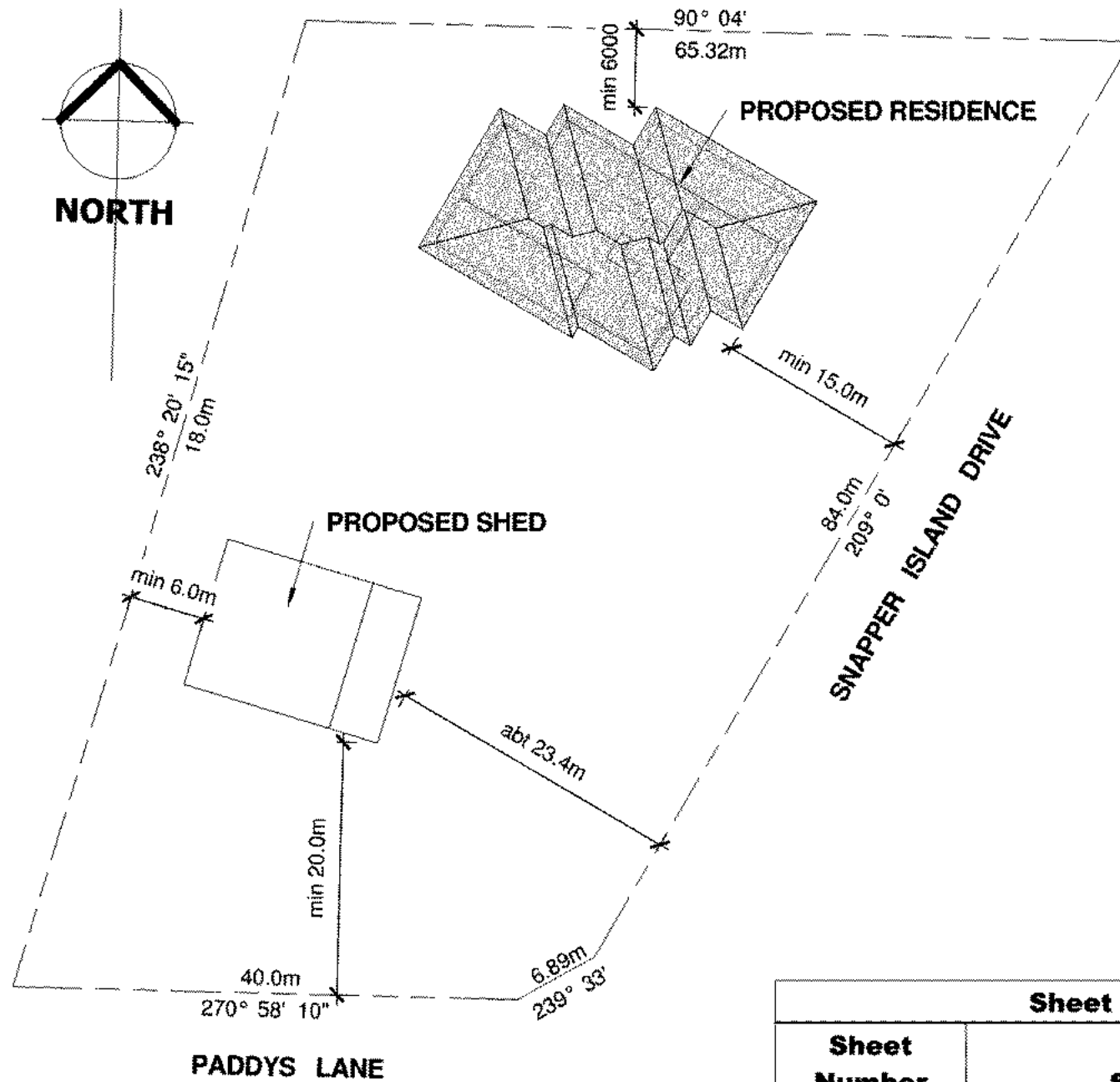
Cloncurry  
(07) 4742 2022

Chinchilla  
(07) 4669 1166

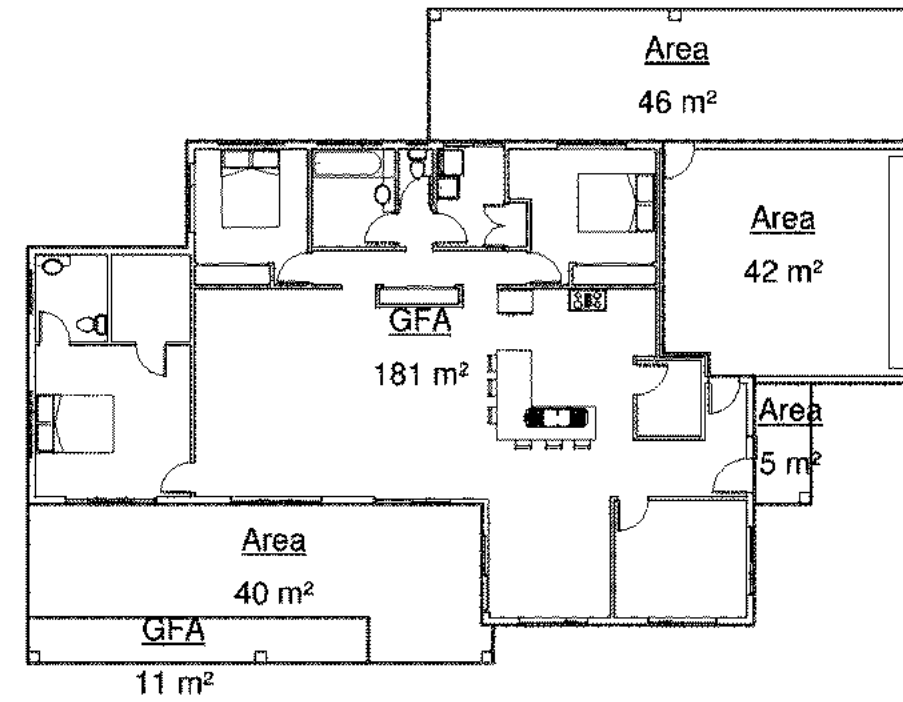
#### FIRE SAFETY AUDITS

Atherton  
(07) 4091 4196

Childers  
(07) 4126 3069



**1** Site Plan  
1 : 500



**2** Area Plan  
1 : 200

**GROSS FLOOR AREAS**

GFA House - 181m<sup>2</sup>  
 GFA Patio - 11m<sup>2</sup>  
 (>3m from ext walls)  
**TOTAL GFA - 192m<sup>2</sup>**

**BUILDING AREAS**

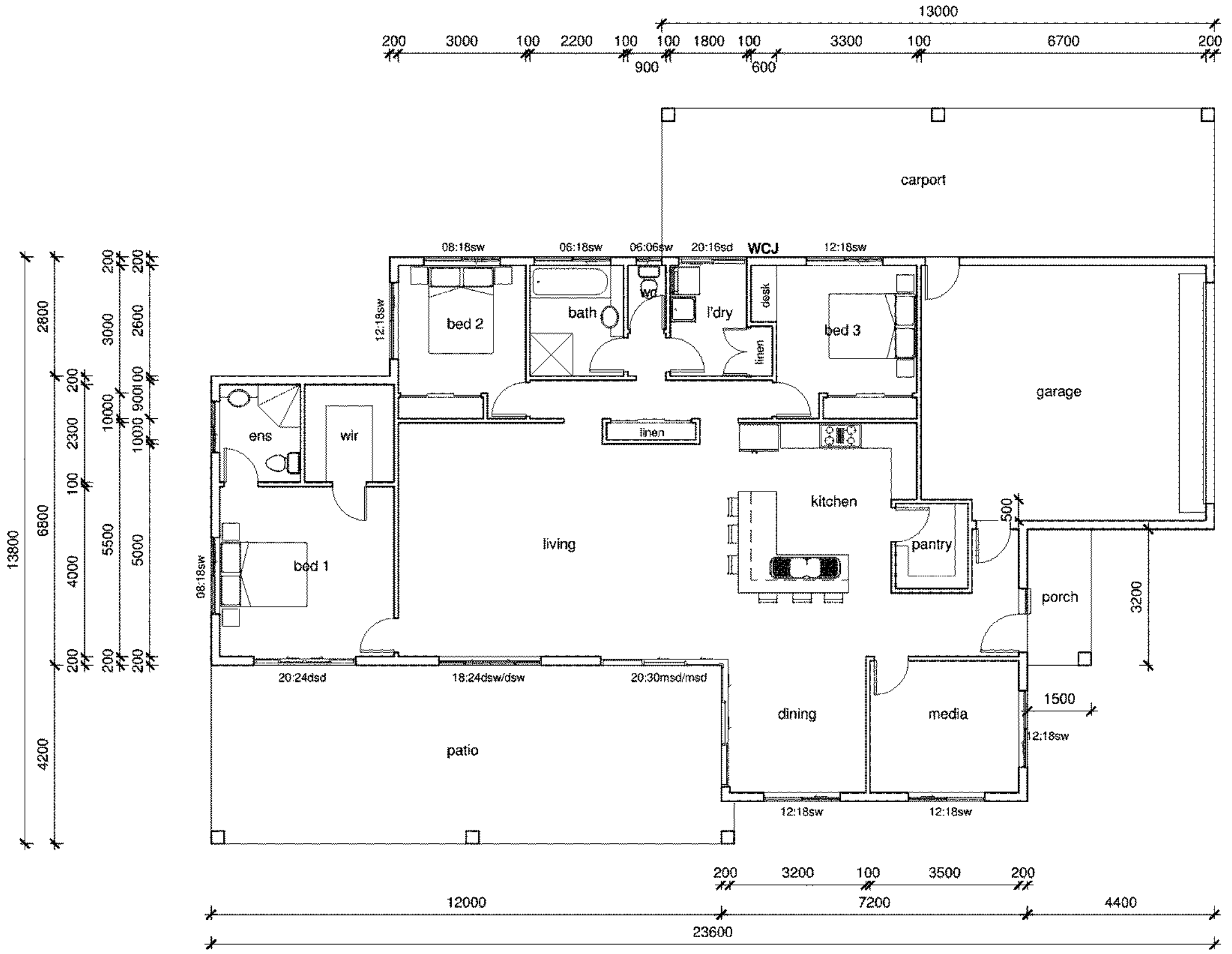
House - 325m<sup>2</sup>  
 Shed - 192m<sup>2</sup>  
**TOTAL - 517m<sup>2</sup>**

Allot Area - 4203m<sup>2</sup>  
 Site Cover - 12%

Sheet List	
Sheet Number	Sheet Name
1 of 5	Site and Area Plans, Sheet List, Notes
2 of 5	Floor Plan - Residence
3 of 5	Elevations - Sheet 1
4 of 5	Elevations - Sheet 2
5 of 5	Floor Plan - Shed, Elevations

**GENERAL**

All construction is to comply with **C2** building standards, Building Code of Australia, all relevant legislation, and Council By-Laws. Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building. All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements. All dimensions must to be checked by the Builder prior to commencing any work – written dimensions take precedence over scaled. Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work. This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.



- LEGEND**
- 200 Concrete Masonry external walls, render finished to external, gyprock to internal generally, villaboard to wet areas.
  - stud framed internal walls, line as above
  - B** As above with 6mm F14 structural ply lining or equivalent sheeting extra to one face, nail fixed for bracing (see bracing notes).
  - FW** Floor Waste (optional)
  - WP** Waterproof wet area to AS3740.
  - S/A** Smoke alarms to AS3786.
  - L/O** Lift-off hinges to WC
  - 300 x 300 con mas columns
  - WCJ** wall control joint, refer to Notes
  - L1/L2** special lintels, refer to Detail

- WINDOW and DOOR LEGEND**
- sd sliding door
  - dsw double sliding door
  - msd multi panel sliding door
  - pid panel lift garage door
  - td select timber doors, quality appropriate to location
  - fd feature timber door
  - sw sliding window
  - dsw double sliding window
  - dh double hung window

NOTE: all windows and doors are colour coated aluminium framed uno, fitted with grey glass and flymesh

1 Floor Plan  
1 : 100

**GREG SKYRING**  
*Design* and DRAFTING Pty. Ltd.  
Lic Under QBSA Act 1991 - No 1040371  
11 Noli Close, Mossman Q. 4873  
Phone/Fax: (07) 40982061  
Mobile: 0419212652  
Email: greg@skyringdesign.com.au

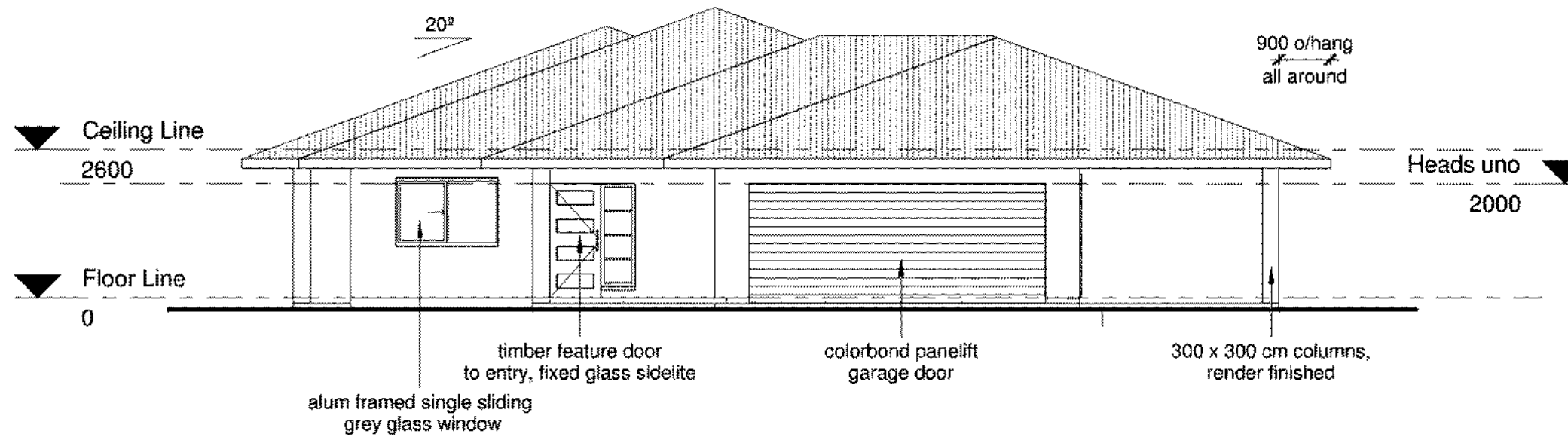
PROJECT  
Proposed Residence,  
1-3 Paddys Lane (cnr Snapper Island Drive),  
L23 RP861002,  
WONGA

CLIENT  
M. & E. Gwynne

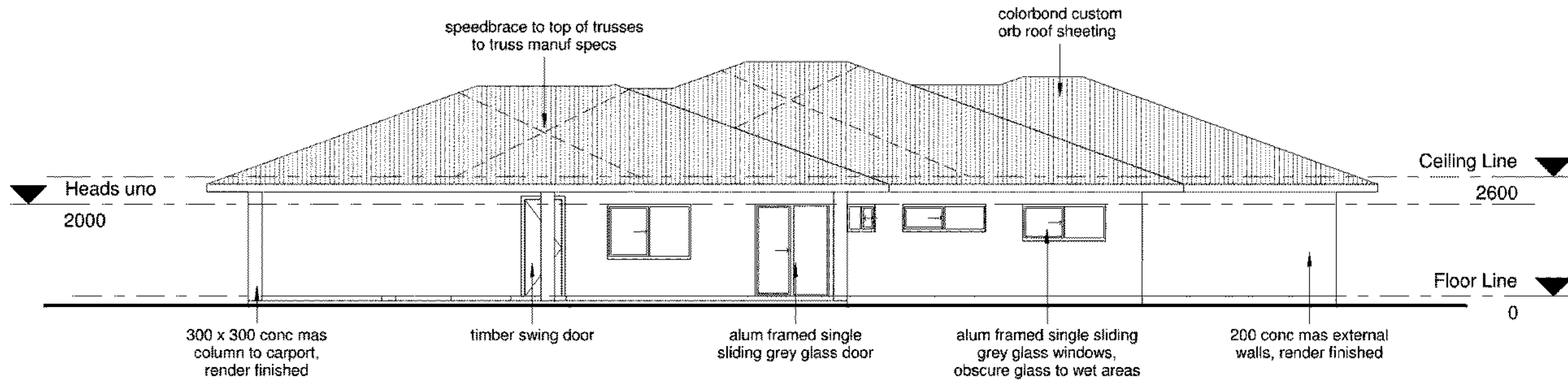
SCALES  
1 : 100

PLAN TITLE  
Floor Plan - Residence

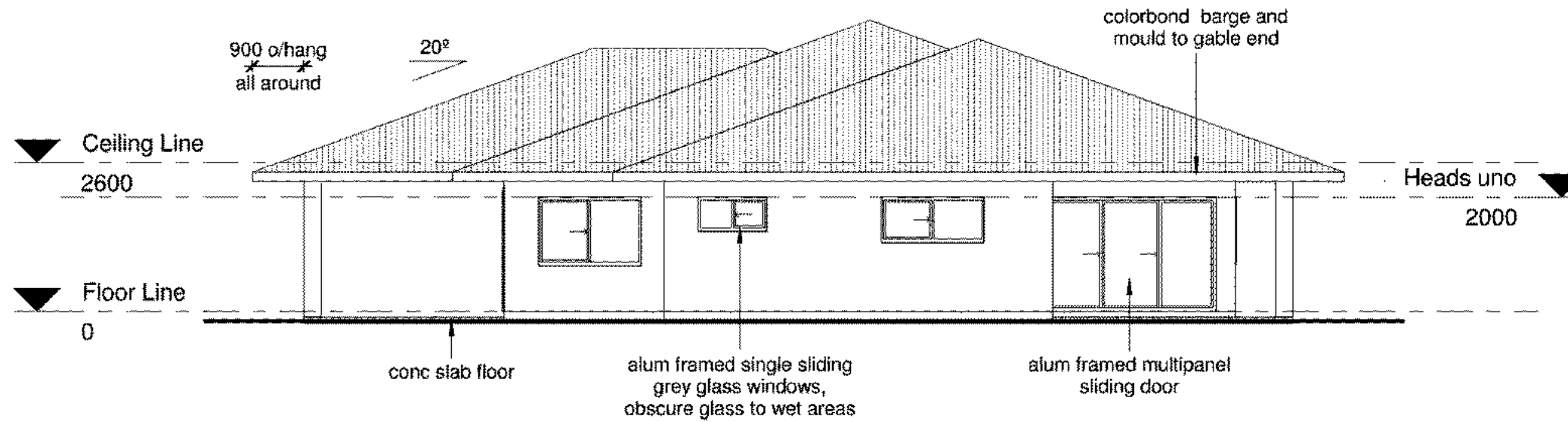
WIND CLASS C2	PLAN NUMBER 808-16	SHEET 2 of 5
DATE OF ISSUE prelim 01.09.16	REV	



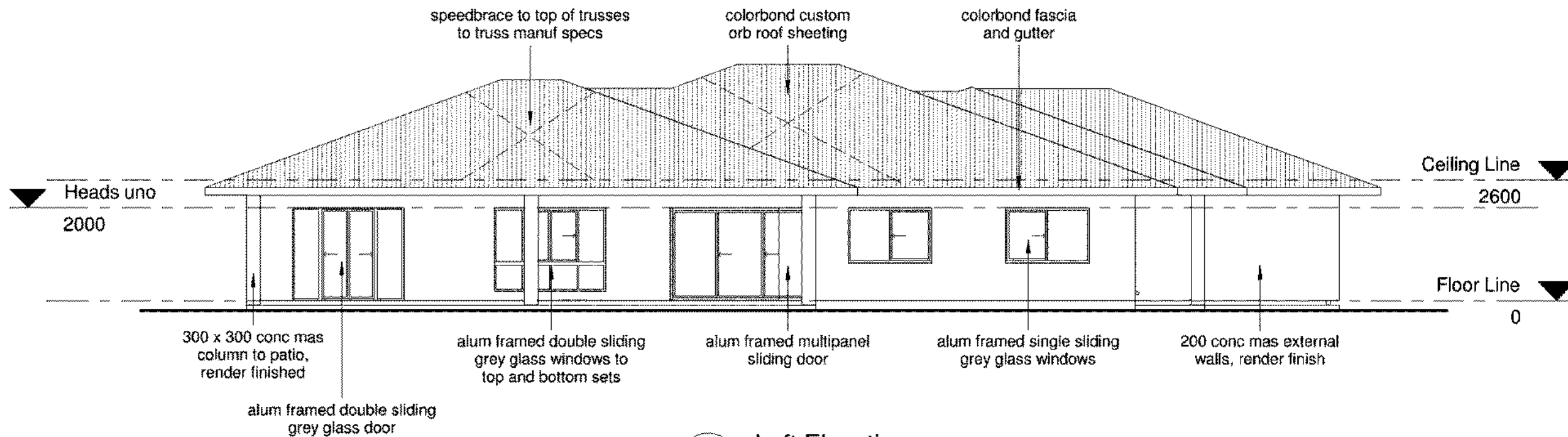
1 Front Elevation (Snapper Island Drive)  
1 : 100



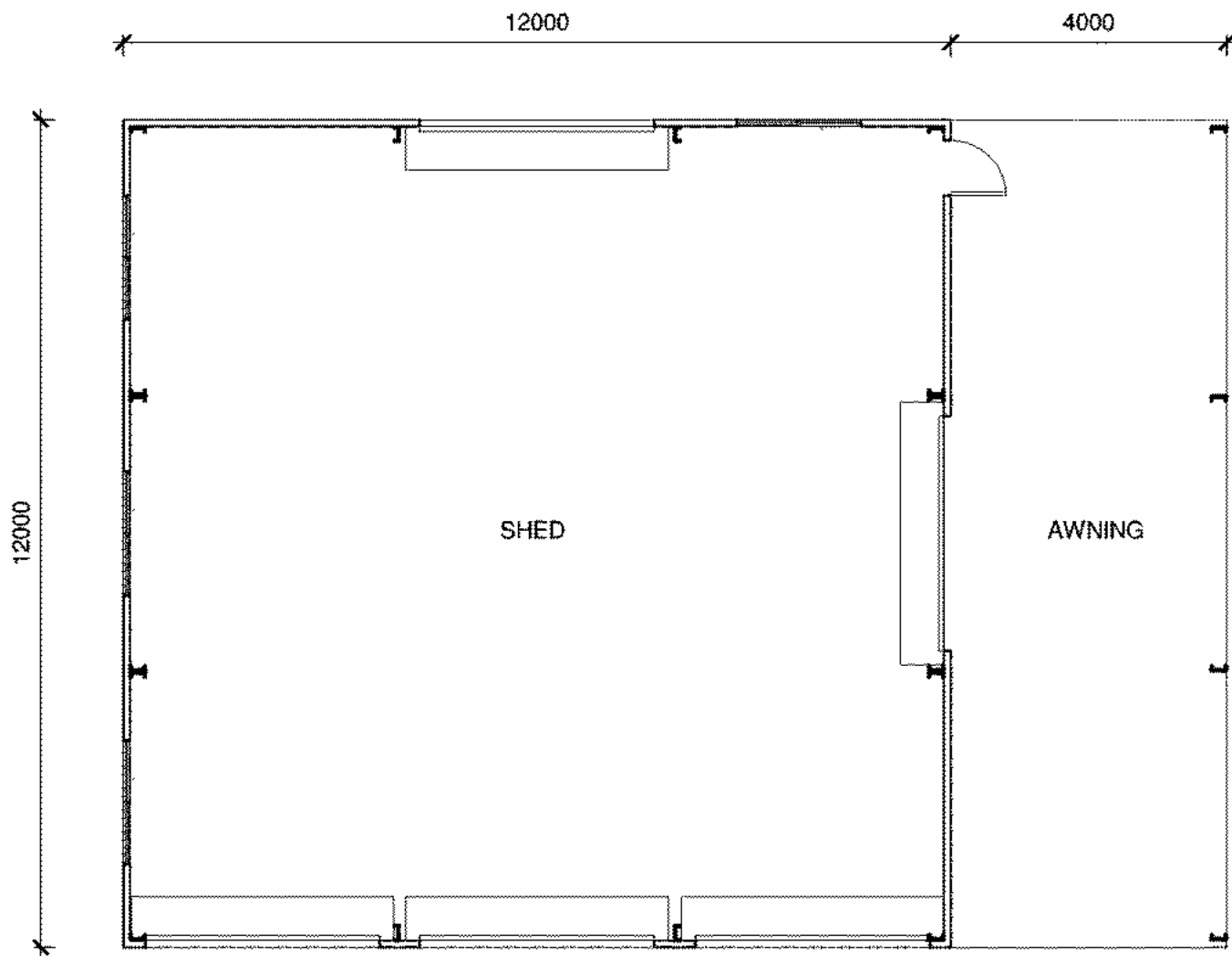
2 Right Elevation  
1 : 100



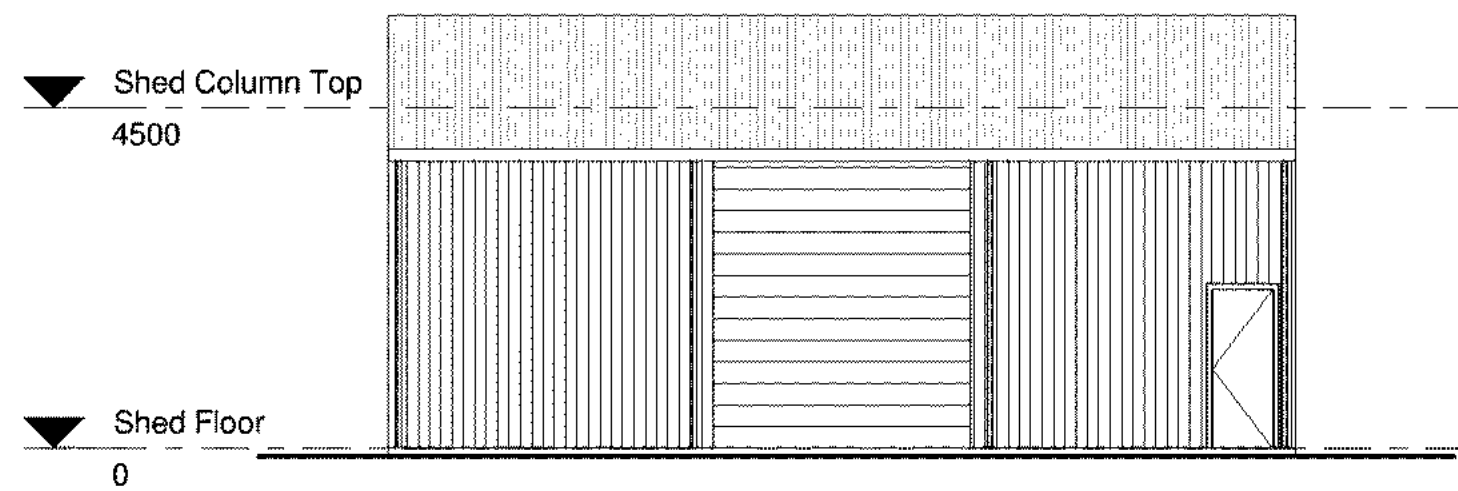
1 Rear Elevation  
1 : 100



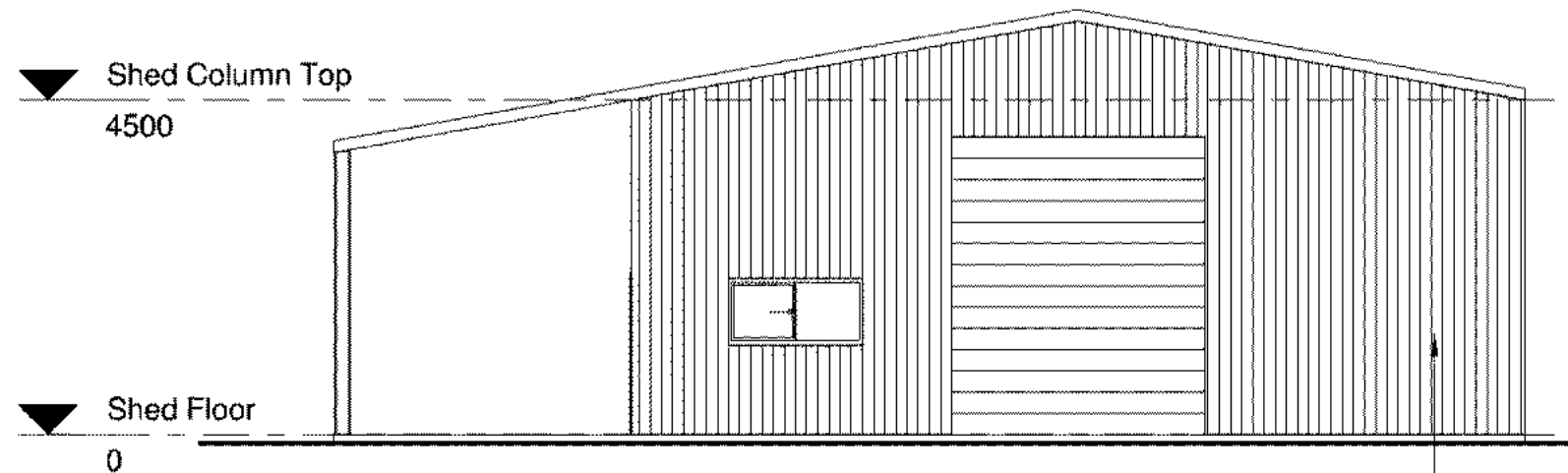
2 Left Elevation  
1 : 100



1 Floor Plan - Shed  
1 : 100

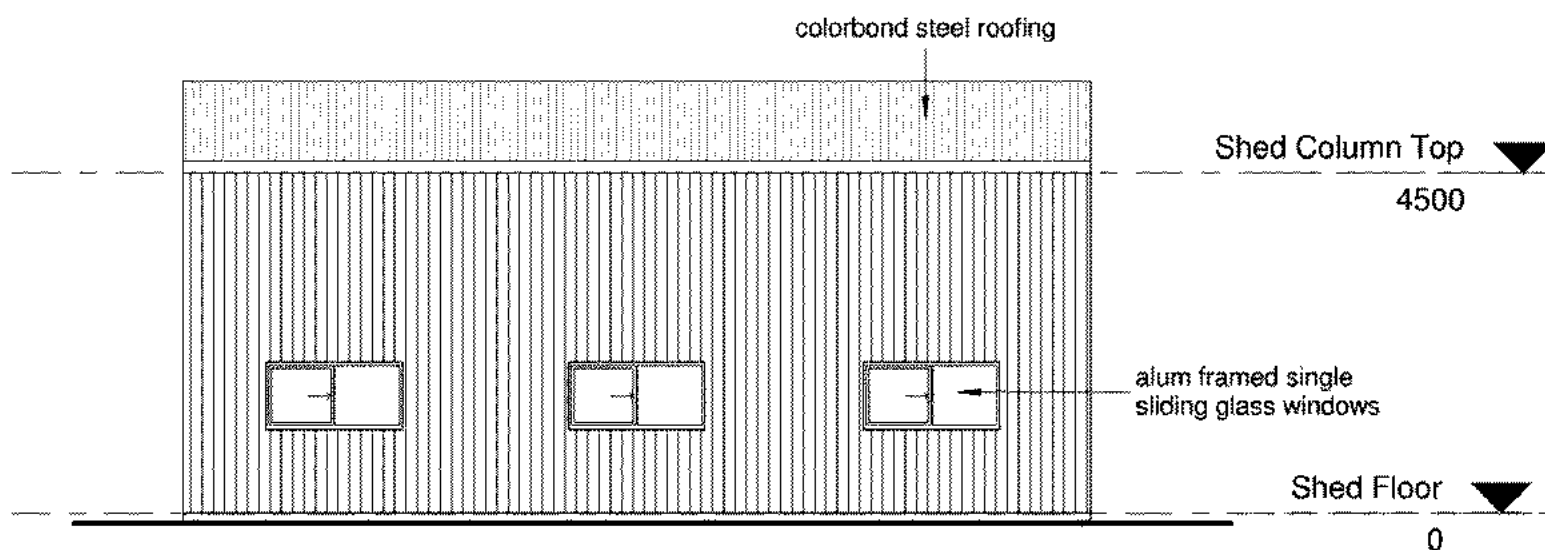


2 Front Elevation - Shed (Snapper Island Drive)  
1 : 100

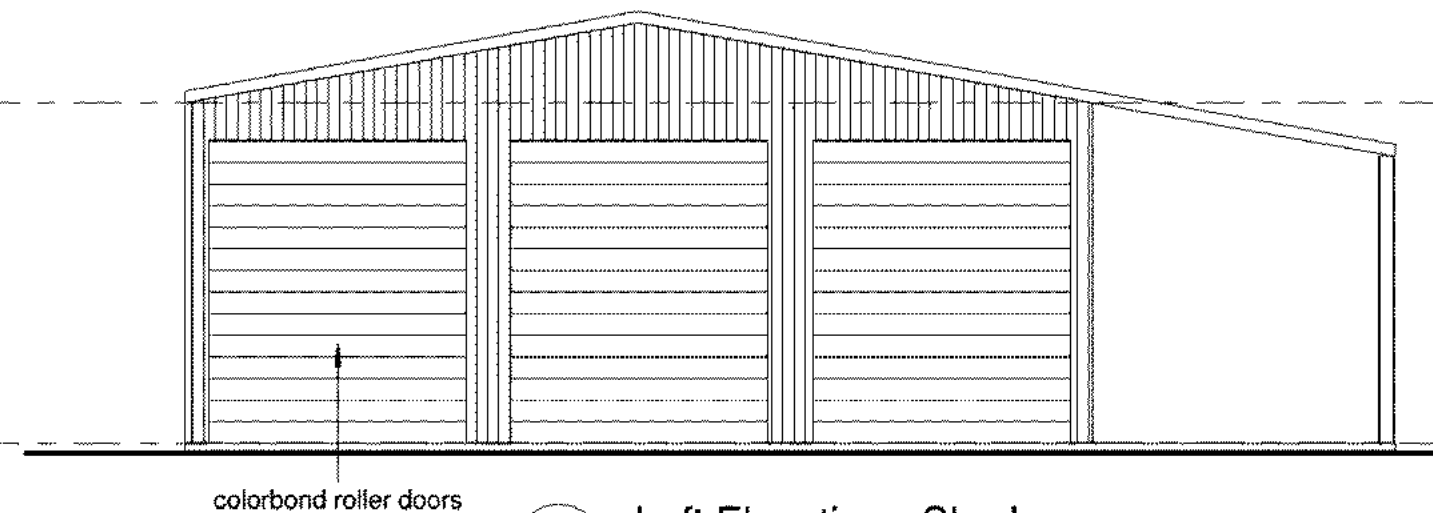


3 Right Elevation - Shed  
1 : 100

colorbond steel walling  
all around



4 Rear Elevation - Shed  
1 : 100



5 Left Elevation - Shed  
1 : 100





**EARTH TEST**

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**Wastewater Management System**

**For**

**M&E Gwynne**

**At**

**Lot 23 Paddys Lane**

**Wonga Beach**



**INTRODUCTION:**

Earth Test has been engaged by M&E Gwynne to design a Domestic Wastewater Management System at Lot 23 Paddys Lane, Wonga Beach.

Real Property Description:-

Lot 23, on RP 861002

Local Authority: Douglas Shire Council.

It is understood the intention is to construct a dwelling and shed at the site.  
A site and soil evaluation was carried out in May 2014.

**SITE FACTORS:**

The site was identified by its site address. A photo is included to confirm the identity of the site. The Lot has an area of 4203 square metres and is predominantly covered with grass. The water supply to the site is reticulated. No rock outcrops were noted at the site. A pond and multiple bores are shown on the site plan. A borehole was drilled to confirm soil depth, type and profile.



**BH1 being drilled at Lot 23 Paddys Lane, Wonga Beach.**

**SITE AND SOIL EVALUATION****Lot 23 Paddys Lane, Wonga Beach.**

The site and soil evaluation carried out on 26/05/2014 provided the following results.

**Site Assessment**

<b><u>Site Factor</u></b>	<b><u>Result</u></b>
Slope	Level
Shape	Linear-Planar
Aspect	Nil
Exposure	Good.
Erosion/land slip	Not noted.
Boulders/rock outcrop	Not noted
Vegetation	Grass.
Watercourse/Bores	As shown on site plan.
Water table	1.2m deep.
Fill	Not noted.
Flooding	Not likely.
Channelled run-off	Not found
Soil surface conditions	Soft, Moist
Other site specific factors	Not noted

**Soil Assessment**

<b><u>Soil Property</u></b>	<b><u>Result</u></b>
Colour	Brown
Texture	Sandy-Loam
Structure	Massive
Coarse Fragments	Nil
Measured Permeability Ksat (m/d)	Not measured
Dispersion	Slakes
Soil Category	2
Resultant Design Load Rate, DLR (mm/day)	50



## **WASTEWATER MANAGEMENT SYSTEM**

An "All-Waste" septic tank discharging into an "Advanced Enviro-Septic" bed is considered suitable for this site.

This system has been designed to conform to the requirements of the following codes, acts, regulations and standards. All work to be carried out in accordance with the following codes.

- AS/NZ 1547:2012 On-site domestic-wastewater management.
- Queensland PLUMBING AND DRAINAGE ACT 2002.
- Queensland STANDARD PLUMBING AND DRAINAGE REGULATION 2003.
- Queensland PLUMBING AND WASTEWATER CODE.

### **SYSTEM SIZING FACTORS.**

A population equivalent of five (5) persons has been chosen for the proposed three bedroom dwelling and one (1) person for the shed with toilet, shower and laundry tub.

The residence is connected to a reticulated water supply system.

Standard water-reduction fixtures must be used to ensure the integrity of the system.

They shall include:-

- Dual flush 6/3 Litre water closets.
- Shower-flow restrictors.
- Aerator faucets (taps).
- Water-conserving automatic washing machines.

Note: - Garbage grinders are not permitted.

As per AS/NZ 1547:2012 Appendix H, Table H1 the "Typical wastewater design flow" for a "Reticulated water supply" gives a flow allowance of 150 L/Person/day.

The daily flow for the dwelling (5 persons @ 150 L/person/day) will be 750 L/day.

The daily flow for the shed (1 persons @ 150 L/person/day) will be 150 L/day.

From AS/NZ 1547:2012 Table J1 the minimum capacity of the All-Waste septic tank required is 3000 L.

The tank must NOT be fitted with an outlet filter.



## **LAND-APPLICATION SYSTEM**

### **HOUSE SITE DISPOSAL AREA SIZING**

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

$$L = Q / (DLR \times W)$$

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

$$\begin{aligned} L &= 750/50 \times 1.35 \\ &= 11.6\text{m.} \end{aligned}$$

**Use one 1.35m wide by 15.6m long advanced enviro septic bed.**

See site plan and detail cross-section.

### **SHED SITE DISPOSAL AREA SIZING**

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

$$L = Q / (DLR \times W)$$

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

$$\begin{aligned} L &= 150/50 \times 1.35 \\ &= 2.22\text{m.} \end{aligned}$$

**Use one 1.35m wide by 3.6m long advanced enviro septic bed.**

See site plan and detail cross-section.



**SYSTEM SAND**

All Advanced Enviro-Septic systems require the use of “system sand” surrounding the pipe. This sand, typically washed coarse sand, must adhere to the following specification.

AS Sieve Size (mm)	Percent Passing %
9.50	100
4.75	95-100
2.36	80-100
1.18	50-85
0.600	25-60
0.300	5-30
0.150	0-10
0.075	0-2

If there is any doubt if the sand media proposed for use will meet the requirements please contact Earth Test for further advice.

**SYSTEM INSTALLATION**

The entire bottom of the bed should be scarified a minimum of 200mm deep parallel to the AES pipes.

Avoid compaction by keeping people and machinery off the finished trench or bed floor. The system shall be installed by a licensed plumber in accordance with the manufacturer’s recommendations and the relevant Australian Standards.

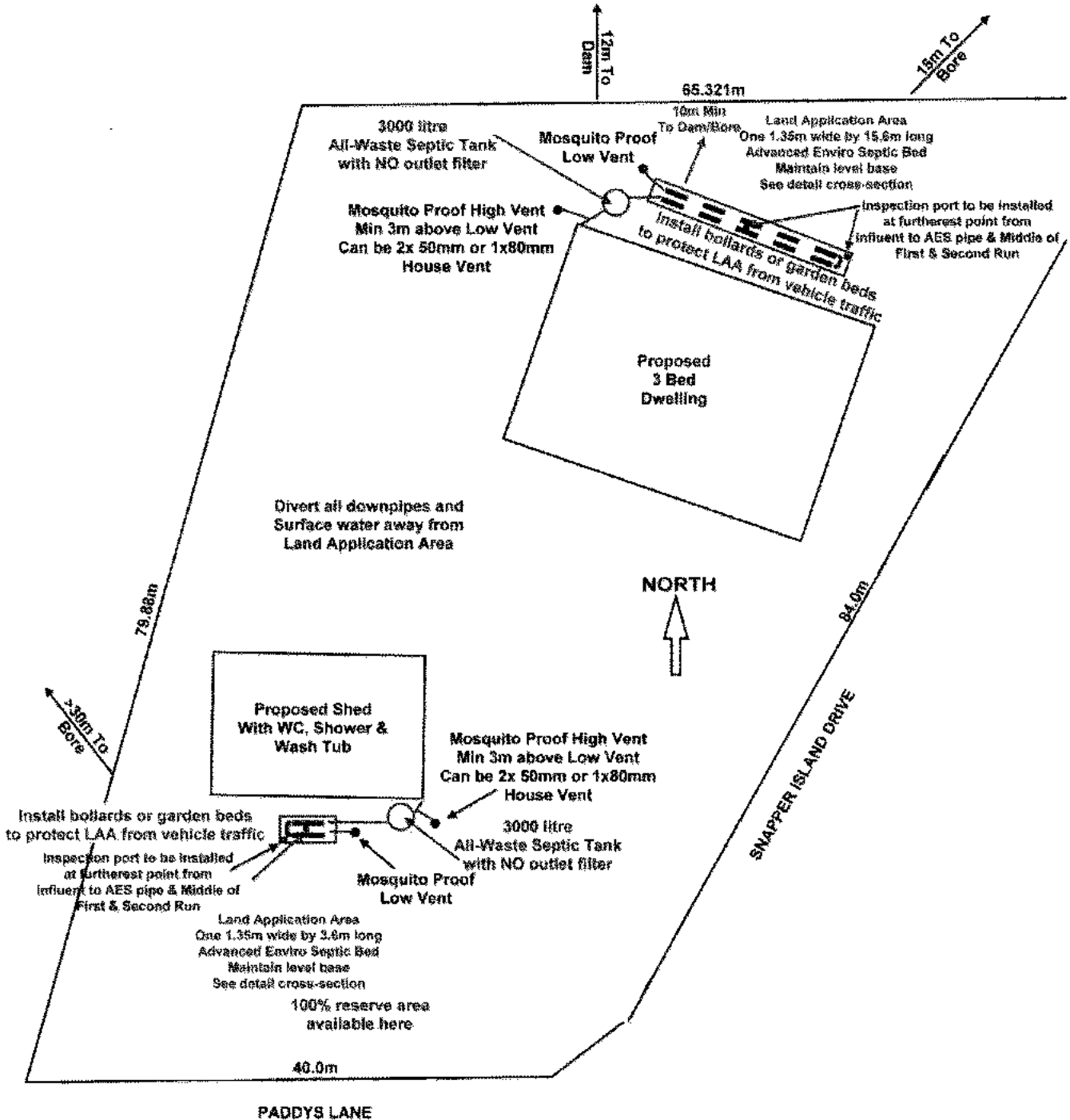
**Operation and Maintenance**

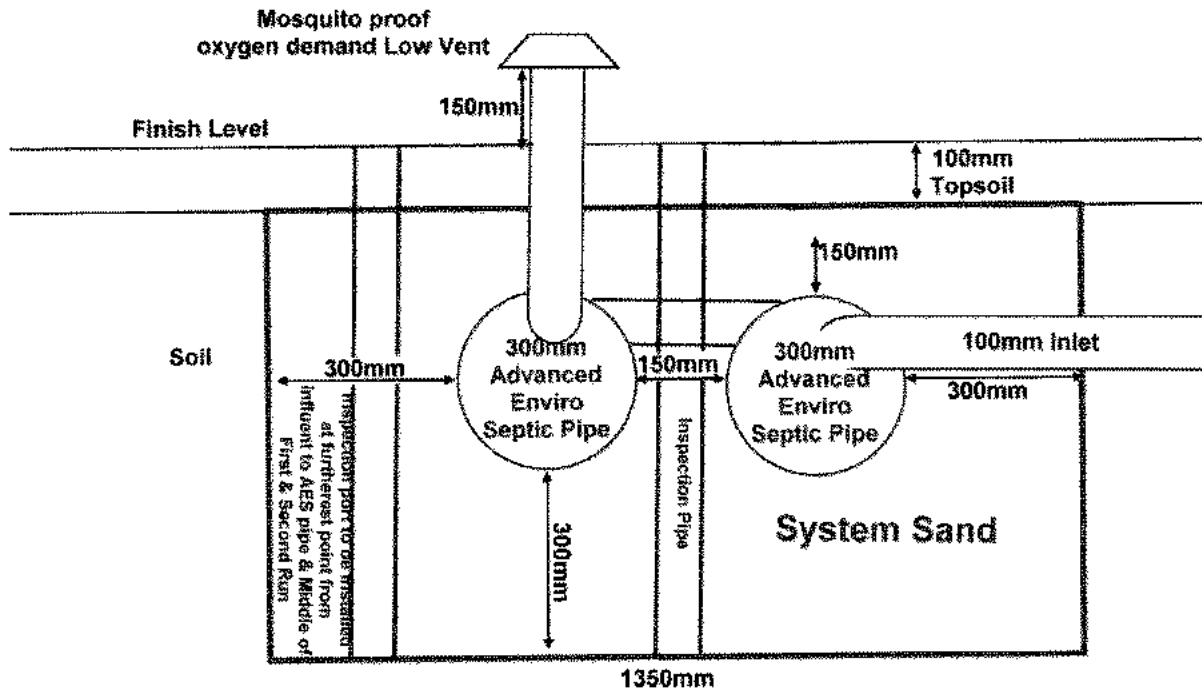
Homeowners should be fully informed of the proper operation and maintenance requirements of the on-site wastewater system.

Leonard Quinn  
Earth Test



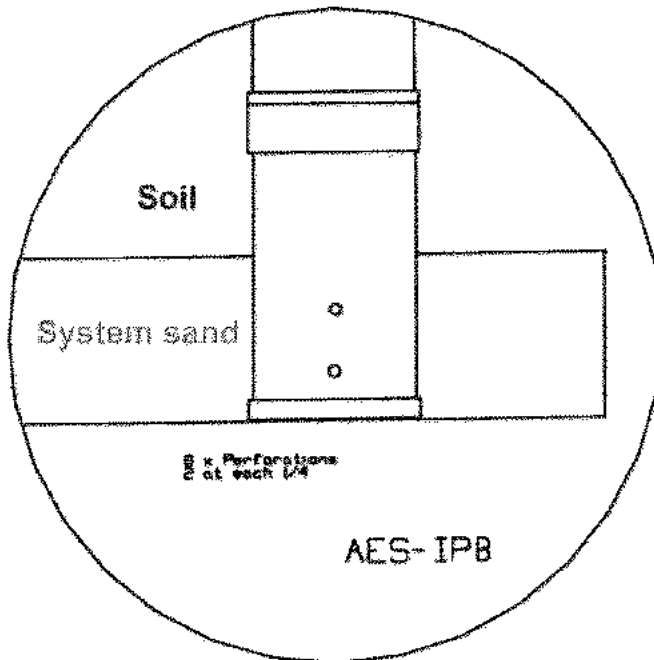
**SITE PLAN**  
**Lot 23 Paddys Lane, Wonga Beach.**  
**Not to Scale.**





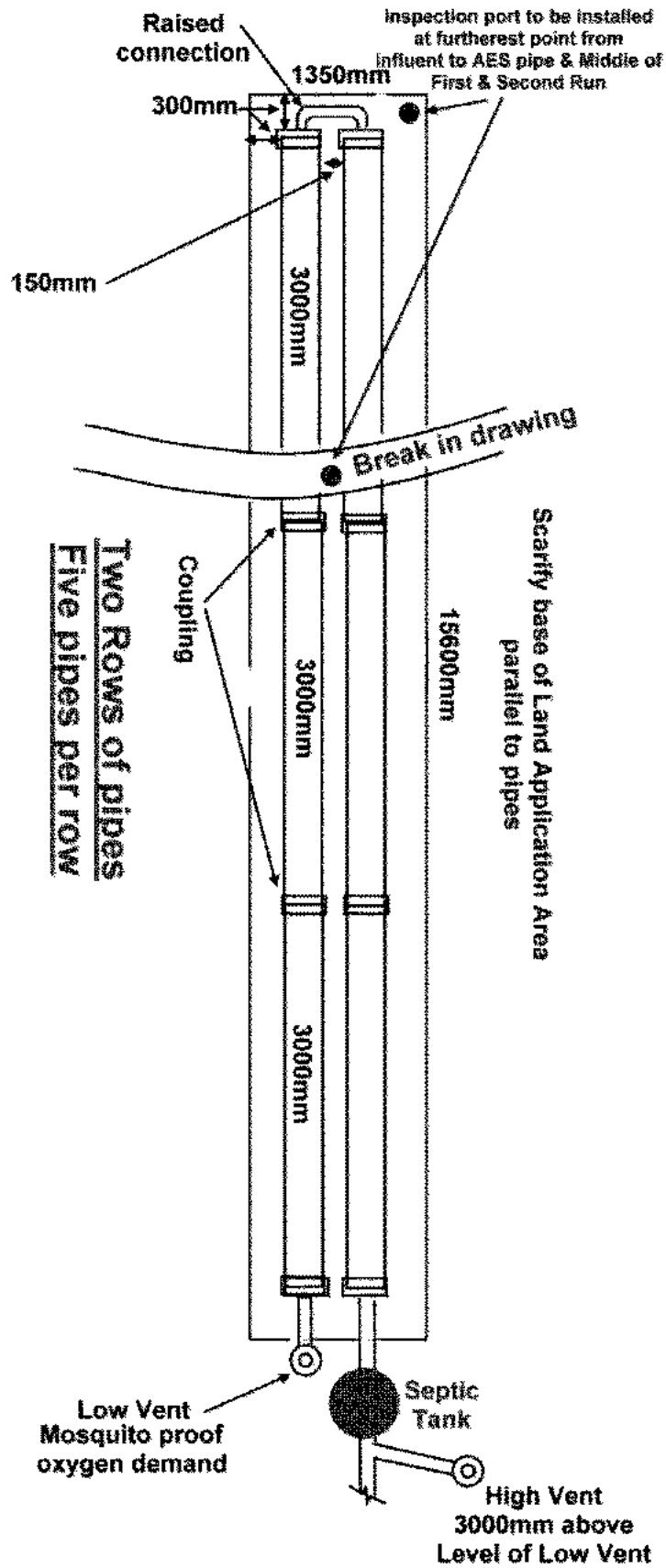
**1350mm Wide Two Pipe  
Advanced Enviro-Septic Cross-Section**

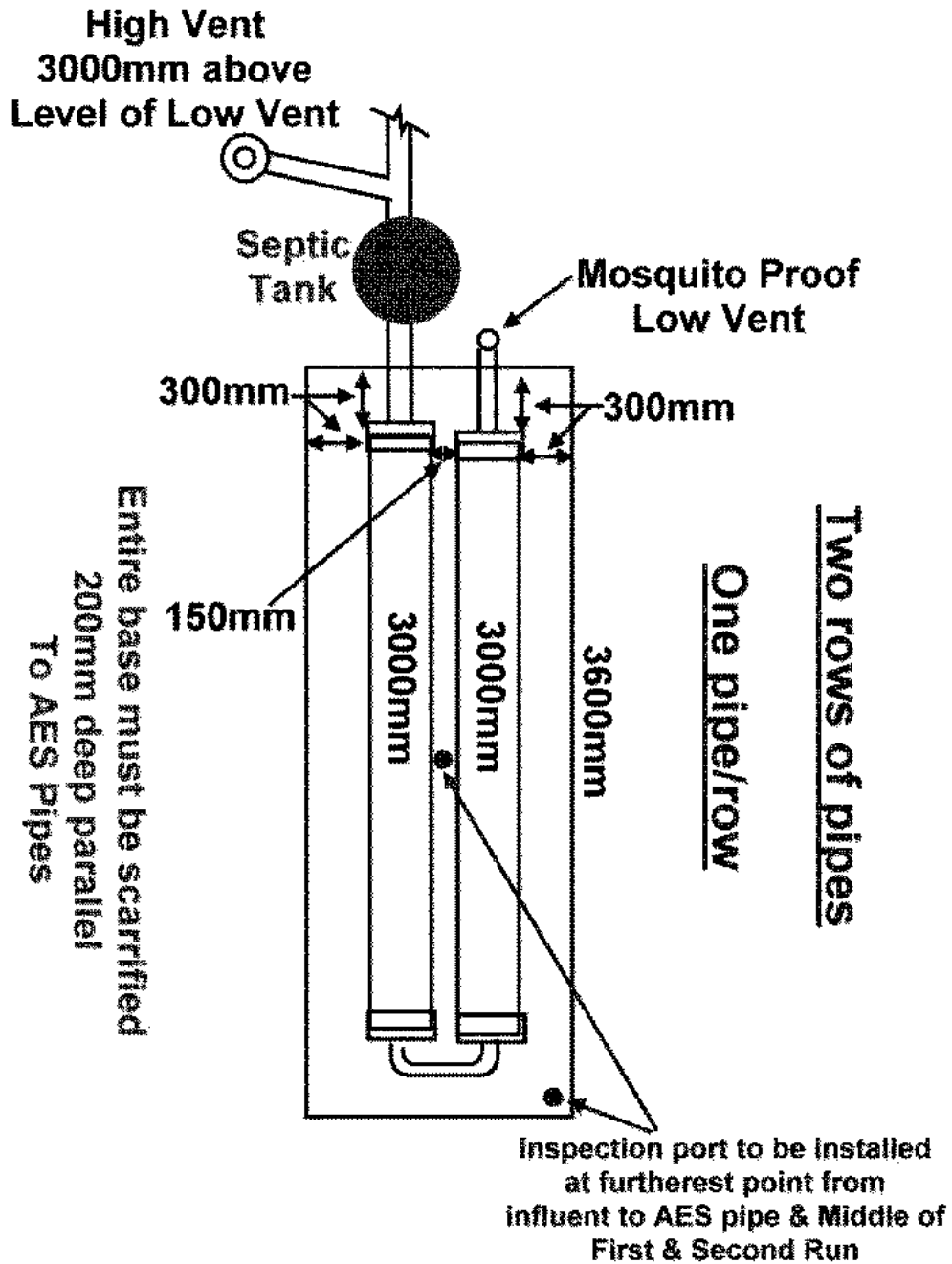
**Base must be scarrified 200mm deep. Parallel to AES Pipes**



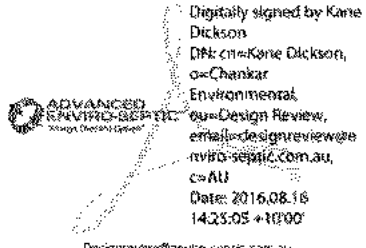
**AES Inspection point detail**



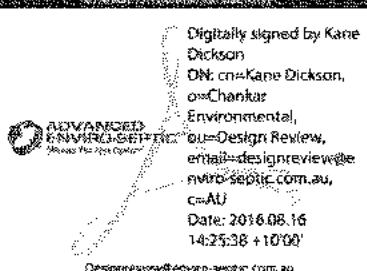






ADVANCED ENVIRO-SEPTIC <i>"Always The First Option"</i>		Advanced Enviro-septic Design Calculator V8.5			
<i>"Always the BEST Option" until site and soil conditions rule it out.</i>					
Site Address	Lot 23 Paddock Lane, Wonga		State	Q	Post Code
Client Name: M & E Dryden					
Designers Name	Earth Test	Designers No	49954734	Designers Lic Number (NS QBSA)	1017941
Lic Plumber Name		Plumber No		Plumber / Drainer Lic Number	
Council Area	Deeragah Shire Council	Designers AES Cert Number		Issue	
<small>This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.</small>					
Enter the AES litres/meter loading rate, "30" for Advanced Secondary or "38" Secondary	30	>> This design is for an <b>ADVANCED SECONDARY</b> system			
Is this a new installation? Y or N	Y	>> Minimum single vent size is 80mm or 3 x 50mm house vents			
Number of person	5	A septic tank outlet filter is <b>NOT RECOMMENDED</b>			
Daily Design Flow Allowance Litre/Person/Day	150				
Number of rows required to suit site constraints	5	>> The maximum lth of a single AES pipe run is 30 meters			
Infiltration surface Soil Category as established by site and soil evaluation. CATEGORY	2				
Design Loading Rate based on site & soil evaluation DLR (mm/day)	50				
Bore log depth below system Base area	600	>> Min depth below basal area is 600 mm to establish water table or restrictive layer			
Enter System footprint Slope in % for standard AES systems to calculate extension	0				
Is this design a gravity system with no outlet filter? Y or N	N	>> A HIGH and LOW vent are required on this AES system as well as a velocity diffuser			
COMMENTS: "The outcrop must be important to everyone."					
<small>Plumbers are reminded to practice good construction techniques as per AS 1547 and as provided on AES installation instructions supplied with components.</small>					
Total System load - litres / day (Q)		750	l/d		
Min Length of AES pipe rows to treat loading		12.5	m		
Number of FULL AES Pipe lengths per row		5	lths		
Total Capacity of AES System pipe in Litres		2120	ltr.		
				AES System	System Extension
				Lth m : (L)	13.6
				Width m:(W)	6.00
				Sand Depth :	FALSE
				Area m2	21.7
				Area m2	6.0
DO YOU WISH TO USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)					
IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"					
Enter Custom Width in metre					
AES INFILTRATION FOOTPRINT AREA (L x W) (L x W)		Length	Width	Minimum AES foot print required	
for this Basic Central design is		14.4	6	21.7	no total
AES-PIPE	AES 3 mix lths required	10	lths		
AESC	AESC Couplings required	8	ea		
AESO	AESO Offset adaptors	4	ea		
AESODV	AES Origen demand vent	2	ea		
AES-PR	AES 100mm inspection point base	2	ea		
AES Equ	AES Speed Flow Equaliser	ea			
TOTAL SYSTEM SAND REQUIRED: (Guide Only)		19	m3		
PLEASE email your AES CALC and Drawings to DESIGNREVIEW@ENVIRO-SEPTIC.COM.AU					
 Digitally signed by Kane Dickson DN: cn=Kane Dickson, o=ChanKar Environmental, ou=Design Review, email=designreview@enviro-septic.com.au, c=AU Date: 2016.08.16 14:23:05 +10'00' Designreview@enviro-septic.com.au					
<p>The AES Calculator is a design aid to allow checking of the AES components and configuration and is a guide only. Site and soil conditions referencing the AS 1547 standards are calculated and designed by a Qualified Designer.</p> <p>ChanKar Environmental has no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator</p> <p>AES pipes can be cut to length on site. They are supplied in 3 meter lths only.</p>					
<small>AES-Design-V8.5-Calculator Copy Right - ChanKar Environmental Pty Ltd 1 11 6115</small>					



ADVANCED ENVIRO-SEPTIC "Always The First Option"		Advanced Enviro-septic Design Calculator v8.5	
<i>"Always the BEST Option" until site and soil conditions rule it out.</i>			
Site Address 104/25 Fiddlers Lane, Warrage	State QLD	Post Code	
Client Name M J E Davies			
Designers Name Earth Test	Designers Ph Number 40954734	Designer Lic. Number (eg.QBCC) 1017941	
Lic Number Name	Plumber Ph Number	Plumb / Drainer Lic Number	
Council Area Brisbane Shire Council	Designers AES Cert Number	Date	
<small>This Calculator is a guide only, requiring soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.</small>			
Enter the AES pipe/meter loading rate, "30" for Advanced Secondary or "30" Secondary	30	>> This design is for an <b>ADVANCED SECONDARY</b> system	
Is this a new installation? Y or N	Y	>> Minimum single vent size is 80mm or 2 x 50mm house vents	
Number of person	1	a septic tank outlet filter is <b>NOT RECOMMENDED</b>	
Daily Design Flow Allowance (Ltrs/Person/Day)	150		
Number of rows required to suit site constraints	2	>> The maximum lift of a single AES pipe run is 30 meters	
Infiltration surface Soil Category as established by site and soil evaluation. CATEGORY	2		
Design Loading Rate based on site & soil evaluation (kPa (mm/day))	50		
Bore log depth below system Base area	600	>> Min depth below base area is 600 mm to establish water table or restrictive layer	
Enter System footprint Slope in % for standard AES systems to calculate extension	0		
Is this design a gravity system with no outlet filter? Y or N	N	>> A HIGH and LOW vent are required on this AES system as well as a velocity diffuser	
COMMENTS : " The outcome must be important to ecosystem."			
Plumbers are reminded to practice good construction techniques as per AS 1547 and as provided on AES installation instructions supplied with components.			
Total System load - litres / day (Q)	150	1/d	
Min Length of AES pipe rows to treat loading	2.5	m	
Number of FULL AES Pipe lengths per row	1	0/d	
Total Capacity of AES System pipe in Litres	454	l	
DO YOU WISH TO USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)			
IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"		Enter Extension Works in (meters)	
AES INFILTRATION FOOT PRINT AREA : (L x W) / (L x W)	Length	Width	Minimum AES Foot print required
for this Basic Septic design is	2.5	1.35	4.9
			m2 total
<b>Component Summary</b>			
AES PIPE	AES 3 mtr Ltrs required	2	mtr
AESC	AESC Couplings required	0	ea
AESC1	AESC Offset adaptors	4	ea
AESR/DV	AES Origen demand vent	2	ea
AES-IPB	AES 150mm inspection point base	2	ea
AES Eqp	AES Speed Flow Equaliser	0	ea
TOTAL SYSTEM SAND REQUIRED (Guide Only)		4	m3
PLEASE email your AES CALC and Drawings to: DESIGNREVIEW@ENVIRO-SEPTIC.COM.AU			
 Digitally signed by Kane Dickson DN: cn=Kane Dickson, o=Chankur Environmental, ou=Design Review, email=designreview@enviro-septic.com.au, c=AU Date: 2016.08.16 14:25:38 +10'00' Designreview@enviro-septic.com.au			
<p>The AES Calculator is a design aid to allow checking of the AES components and configuration and is a guide only. Site and soil conditions determining the AS 1547 standards are calculated and designed by a Qualified Designer.</p> <p>Chankur Environmental has no responsibility for the soil evaluation, loading calculations or D/L entered by the designer for this site/area.</p> <p>AES pipes can be cut to length on site. They are supplied in 3 meter length only.</p>			
<small>AES-Design-V8.5-Calculator - Copy Right - Chankur Environmental Pty Ltd 1.11.2015</small>			