

IDAS form 1—Application details

(Sustainable Planning Act 2009 version 4.2 effective 3 August 2015)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)	The Salvation Army (Queensland) Property Trust C/- STP Consultants		
For companies, contact name	Ken Miller		
Postal address	PO Box 1777		
	Suburb	Townsville	
	State	Queensland	Postcode 4810
	Country	Australia	
Contact phone number	07 4795 5593		
Mobile number (non-mandatory requirement)			
Fax number (non-mandatory requirement)			

Email address (non-mandatory requirement)

admin@stpconsultants.com.au

Applicant's reference number (non-mandatory requirement)

C16-012

1. What is the nature of the development proposed and what type of approval is being sought?

Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

- a) What is the nature of the development? (Please only tick one box.)
- Material change of use Reconfiguring a lot Building work Operational work
- b) What is the approval type? (Please only tick one box.)
- Preliminary approval under s241 of SPA Preliminary approval under s241 and s242 of SPA Development permit
- c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)
- Combined Retirement Facility & Subdivision.
- d) What is the level of assessment? (Please only tick one box.)
- Impact assessment Code assessment

Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

- a) What is the nature of development? (Please only tick one box.)
- Material change of use Reconfiguring a lot Building work Operational work
- b) What is the approval type? (Please only tick one box.)
- Preliminary approval under s241 of SPA Preliminary approval under s241 and s242 of SPA Development permit
- c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)
-
- d) What is the level of assessment?
- Impact assessment Code assessment

Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

- Refer attached schedule Not required

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water.) (Attach a separate schedule if there is insufficient space in this table.)

- Street address **and** lot on plan (All lots must be listed.)
- Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)			Johnston Road, Mossman Gorge	4873	1	SP150474	Douglas
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

3. Total area of the premises on which the development is proposed (indicate square metres)

4.38 Ha

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

Vacant Land

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)

No Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
CA1235/2015	23/02/2016	23/02/2020

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

No
 Yes—complete either Table F, Table G or Table H as applicable

Table F

Name of owner/s of the land	
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	
Date	

Table G

Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

Table H

Name of owner/s of the land	Douglas Shire Council
<input checked="" type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

- Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- In a tidal water area—complete Table K
- On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)
- Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* (no table requires completion)

Table I

Name of water body, watercourse or aquifer
Marrs Creek

Table J	
Lot on plan description for strategic port land	Port authority for the lot

Table K	
Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

No Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (Including any services)

No Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

No—go to question 12 Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

No

Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L		
Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the Sustainable Planning Act 2009?

No

Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

13. List below all of the forms and supporting information that accompany this application (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application)

Description of attachment or title of attachment	Method of lodgement to assessment manager
IDAS Forms 1 & 6	Electronic
Civil Drawings	Electronic
Estimate of Cost	Electronic
Decision Notice	Electronic

14. Applicant's declaration

By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

Notes for completing this form

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

Applicant details

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

- Schedule 3 of the Sustainable Planning Regulation 2009 identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 7

- If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the Sustainable Planning Regulation 2009 identifies where compliance assessment is required.

Question 11

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the Building and Construction Industry (Portable Long Service Leave) Regulation 2002.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of Infrastructure, Local Government and Planning (DILGP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

OFFICE USE ONLY

Date received

Reference numbers

NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To

Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

IDAS form 6—Building or operational work assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.1 effective 3 August 2015)

This form must be used for development applications for building work or operational work assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form must be used for building work or operational work relating on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

Mandatory requirements

1. What is the nature of the work that requires assessment against a planning scheme? (Tick all applicable boxes.)

- Building work—complete Table A Operational work—complete Table B

Table A

a) What is the nature of the building work (e.g. building, repairing, altering, underpinning, moving or demolishing a building)?

b) Are there any current approvals associated with this application? (e.g. material change of use.)

- No Yes— provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

Table B

a) What is the nature of the operational work? (Tick all applicable boxes.)

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Road works | <input checked="" type="checkbox"/> Stormwater | <input checked="" type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage works | <input type="checkbox"/> Earthworks | <input checked="" type="checkbox"/> Sewerage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation under the planning scheme |
| <input type="checkbox"/> Other—provide details | <input type="text"/> | |

b) Is the operational work necessary to facilitate the creation of new lots? (E.g. subdivision.)

- No Yes—specify the number of lots being created

c) Are there any current approvals associated with this application? (E.g. material change of use.)

- No Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
CA1235/2015	23/02/2016	23/02/2020

2. What is the dollar value of the proposed building work? (Inc GST, materials and labour.)	\$
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3. What is the dollar value of the proposed operational work? (Inc GST, materials and labour.)	\$581,225.00
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Mandatory supporting information

4. Confirm that the following mandatory supporting information accompanies this application

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
All applications involving building work or operational work		
A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following: <ul style="list-style-type: none"> the location and site area of the land to which the application relates (<i>relevant land</i>) the north point the boundaries of the relevant land the allotment layout showing existing lots, any proposed lots (including the dimensions of those lots), existing or proposed road reserves, building envelopes and existing or proposed open space (note: numbering is required for all lots) any existing or proposed easements on the relevant land and their function any access limitation strips all existing and proposed roads and access points on the relevant land. 	<input checked="" type="checkbox"/> Confirmed	

A statement about how the proposed development addresses the local government's planning schemes and any other planning documents relevant to the application.	<input checked="" type="checkbox"/> Confirmed	
A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for building work (including extensions and demolition that is assessable development)		
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following: <ul style="list-style-type: none"> the north point the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only) the room layout (for residential development only) with all rooms clearly labelled the existing and the proposed built form (for extensions only) the gross floor area of each proposed floor area. 	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation).	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Plans showing the extent of any demolition that is assessable development.	<input type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
Applications for operational work involving earthworks (filling and excavating)		
Drawings showing: <ul style="list-style-type: none"> existing and proposed contours areas to be cut and filled the location and level of any permanent survey marks or reference stations used as datum for the works the location of any proposed retaining walls on the relevant land and their height the defined flood level (if applicable) the fill level (if applicable). 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for operational work involving roadworks		
Drawings showing: <ul style="list-style-type: none"> existing and proposed contours the centreline or construction line showing chainages, bearings, offsets if the construction line is not the centreline of the road and all intersection points information for each curve including tangent point chainages and offsets, curve radii, arc length, tangent length, superelevation (if applicable) and curve widening (if applicable) kerb lines including kerb radii (where not parallel to centreline) and tangent point changes (where not parallel to centreline) edge of pavement where kerb is not constructed position and extent of channelisation location and details of all traffic signs, guideposts, guardrail and other street furniture pavement markings including details on raised pavement markers 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	

<ul style="list-style-type: none"> • catchpit, manhole and pipeline locations • drainage details (if applicable) • cross road drainage culverts (if applicable) • concrete footpaths and cycle paths • location and details for access points, ramps and invert crossings • changes in surfacing material. 		
<p>Applications for operational work involving stormwater drainage</p>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> • existing and proposed contours • drainage locations, diameters and class of pipe, open drains and easements • manhole location, chainage and offset or coordinates and inlet and outlet invert levels • inlet pit locations, chainage and offset or coordinates and invert and kerb levels. 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<p>Applications for operational work involving water reticulation</p>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> • kerb lines or edge of pavement where kerb is not constructed • location and levels of other utility services where affected by water reticulation works • pipe diameter, type of pipe and pipe alignment • water main alignments • water supply pump station details (if applicable) • minor reservoir details (if applicable) • conduits • location of valves and fire hydrants • location of house connections (if applicable) • location of bench marks and reference pegs. 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<p>Applications for operational work involving sewerage reticulation</p>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> • location of all existing and proposed services • location of all existing and proposed sewer lines and manhole locations • location of all house connection branches • kerb lines or edge of pavement where kerb is not constructed • chainages • design sewer invert levels • design top of manhole levels • type of manhole and manhole cover • pipe diameter, type of pipe and pipe alignment • location of house connections (if applicable) • sewer pump station details (if applicable). 	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<p>Applications for operational work involving street lighting</p>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> • location of all light poles and service conduits • location of all other cross road conduits • type of wattage and lighting • any traffic calming devices • additional plans for roundabouts and major roads (if applicable) • details of any variations to normal alignment 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

<ul style="list-style-type: none"> • details of lighting levels. 		
Applications for operational work involving public utility services		
Drawings showing: <ul style="list-style-type: none"> • any existing light poles and power poles • any existing underground services • details of proposed services • alteration to existing services. 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Applications for operational work involving landscaping works		
Drawings showing: <ul style="list-style-type: none"> • the location of proposed plant species • a plant schedule indicating common and botanical names, pot sizes and numbers of plants • planting bed preparation details including topsoil depth, subgrade preparation, mulch type and depth, type of turf, pebble, paving and garden edge • the location and type of any existing trees to be retained • construction details of planter boxes, retaining walls and fences • the proposed maintenance period • irrigation system details. 	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

Privacy—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

OFFICE USE ONLY

Date received Reference numbers

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

YOUR REF: HRP15394
OUR REF: CA 1235/2015 (768753)

7 March 2016

The Salvation Army & Douglas Shire Council
C/- Cardno HRP
PO Box 1619
Cairns QLD 4870

Attention: Dominic Hammersly

Dear Sir

**AMENDED DECISION NOTICE UNDER S 335 AND S 241 SUSTAINABLE
PLANNING ACT 2009: DEVELOPMENT APPLICATION FOR JOHNSTON
ROAD MOSSMAN GORGE**

With reference to the abovementioned Development Application, which was determined by Council at the Ordinary Meeting held on 23 February 2016, please find attached an amended Decision Notice. This amended Decision Notice corrects the clerical error in the property description (i.e. SP, not RP), aligns condition 4 in the reconfiguring a lot conditions package with condition 10 of the material change of use (Stage 1) conditions package and attaches the approved subdivision plan to the plans and documents.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

This notice also includes an Infrastructure Charges Notice issued in accordance with section 648F of the *Sustainable Planning Act 2009*.

Should you have any enquiries in relation to this Decision Notice, please contact Simon Clarke of Planning and Environment on telephone number 07 4099 9480.

Yours faithfully

Paul Hoye
General Manager Operations

Att

47.2015.1235
1/29

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

APPLICANT DETAILS

The Salvation Army & Douglas Shire Council
C/- Cardno HRP
PO Box 1619
CAIRNS QLD 4870

ADDRESS

Johnston Road, Mossman Gorge

REAL PROPERTY DESCRIPTION

Lot 1 on SP150474

PROPOSAL

Combined Application for a Retirement Facility (Stage 1), Reconfiguring a Lot & Preliminary Approval for the balance portion for a future Retirement Facility (Stage 2)

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

23 February 2016

TYPE

Material Change of Use (Development Permit Stage 1), Reconfiguration of a lot (Development Permit), Material Change of Use (Preliminary Approval Stage 2).

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works
Development Permit for Operational Works
Development Permit for Material Change of Use for Stage 2

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

A) CONDITIONS APPLICABLE TO RETIREMENT FACILITY (STAGE 1) – DEVELOPMENT PERMIT

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

The term ‘approved drawing(s) and/or document(s)’ or other similar expression means:

Drawing or Document	Reference	Date
Site Plan	15.0285.11 SK02 prepared by Thomson Adsett	17 December 2015
Floor Plan	15.0285.11 SK03 prepared by Thompson Adsett	17 December 2015
Section	15.0285.11 SK09 prepared by Thomson Adsett	17 December 2015
Elevations	15.0285.11 SK15 prepared by Thomson Adsett	17 December 2015

ASSESSMENT MANAGER CONDITIONS:

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
 - b. The following conditions of approval and the requirements of Council’s Planning Scheme and the *FNQROC Development Manual*.

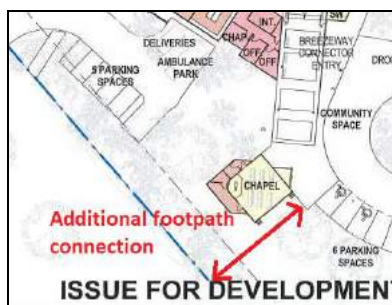
Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Amendment to Design

3. The proposed building / development must be amended to accommodate the following changes:
 - a. Provide a direct footpath to Johnston Road in the vicinity of the Chapel connecting to the Breezeway Connector Entry (see below).



Street Layout and Design

- 4. The street layout and design must be revised to comply with Queensland Streets and the FNQROC Development Manual, to the satisfaction of the Chief Executive Officer. In particular:**
 - a. Provide a design for the new access road that is to service Stage 1 and future Stage 2 which shall have the following minimum dimensions unless otherwise approved by Council:**
 - **Verge width of 4.5m;**
 - **Carriageway width of 4.5m;**
 - **Median width of 4m;**
 - **Reserve width of 22m (Note: the additional 3 metres is to be added to proposed Lot 2 on the north-eastern side of the proposed road reserve).**
 - **2 metre wide footpath along the north-eastern side verge.**
 - b. Provision of appropriate access arrangements for Stage 1 of the development and access to Stage 2 from the proposed new road in the south east corner of the site. The design must seek to locate infrastructure such that access from the new road is readily facilitated for the future development.**
 - c. In particular, the operation of the two accesses from the proposed new road must be considered in determining the road form, median breaks and infrastructure locations (including stormwater and street lighting). The road layout and carriageway alignments must be updated to reflect this requirement.**

An amended plan incorporating the above requirements must be submitted prior to the issue of a Development Permit for Operational Works.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to Commencement of Use.

Water Supply and Sewerage Master Plan

- 5. A Water Supply and Sewerage Master Plan accompanied by supporting calculations must be provided which demonstrates how the current and future development can be serviced.**

Three (3) copies of a plan of the works must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer, prior to the issue of a Development Permit for Operational Works.

Water Supply and Sewerage Infrastructure Plan

- 6. An updated water supply and sewerage infrastructure plan and supporting information including hydraulic network analysis must be submitted demonstrating how the development will be serviced by Council's Infrastructure. In particular the plan must:**
 - a. Identify external catchments that will be connected to the internal sewer or water networks; and**
 - b. Identify any trunk infrastructure external to the site that may require upgrading to accommodate the development.**

The water supply and sewerage infrastructure plan must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works.

Water Supply and Sewerage Works External

- 7. Undertake the following water supply and sewerage works external to the site to connect the site to existing water supply and sewerage infrastructure:**
 - a. Extend the water main to provide a loop main within the section of proposed new road. The minimum size is to be 100mm on one side and 50mm internal diameter on the other side subject to pressure and flow conditions. Road crossings are to be minimum of 100 mm. The water connection for the development is to be provided from the extended water main;**
 - b. Extend the sewer main within the road reserve of Johnston Road to connect to Council's existing system at a point where sufficient capacity exists.**

Three (3) copies of a plan of the works must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer, prior to the Commencement of Use.

Water Supply and Sewerage Works Internal

- 8. Undertake the following water supply and sewerage works internal to the subject land:**
 - a. Provide a single internal sewer connection to proposed lot 1 in accordance with the FNQROC Development Manual;**
 - b. Provide appropriate valves and fittings to enable the Stage 1 connection to the new main;**
 - c. Provide appropriate valves and fittings to enable the future connection of a minimum 100mm service at the northern end of the new road.**

All the above works must be designed and constructed in accordance with the

FNQROC Development Manual.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to the issue of commencement of use.

Damage to Infrastructure

9. In the event that any part of Council's existing sewer / water infrastructure is damaged as a result of construction activities occurring on the site, the applicant / owner must notify Douglas Shire Council immediately of the affected infrastructure and have it repaired or replaced by Douglas Shire Council, at the developer's cost, prior to the Commencement of Use.

General External Works

10. Undertake the following external works:-
 - a. Upgrade the northern side of Johnston Road (eastbound carriageway) for the full frontage of the site to provide a minimum 3.5m wide lane and a 1m sealed shoulder.
 - b. Provide a detail design for the intersection and access with Johnston Road including design for drainage between the existing road and the site boundary.
 - c. The design must include suitable treatment for the intersection of the new access road with Johnston Road generally in accordance with Drawing Ref: Concept Site Access 645-001 Rev.1 prepared by Projex partners dated 17 December 2015;
 - d. The treatment required for the secondary access to the site (utility and staff access) may be a BAR/BAL treatment in accordance with *Austroads Guide to Road design* subject to reconfirming the traffic volumes based on the fully developed traffic conditions for the development approved within the catchment.
 - e. Construct a 2.0 metre wide footpath for the full frontage of the Johnston Road frontage of the site;

Three (3) copies of a plan of the works must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works. All works must be carried out in accordance with the approved plan prior to the Commencement of Use.

Drainage Study of Site

11. Update the local drainage study of the site to determine the works necessary to provide flood immunity to the site to the 1 in 100 year ARI (1% AEP event) including determining the drainage impacts on upstream and downstream properties and the mitigation measures required to minimise such impacts. In particular, the study must address the following:

- a. The contributing catchment boundaries;
- b. The extent of the 100 year ARI flood event in relation to the site both pre- and post-development;
- c. Primary and secondary flow paths for the 5, 10 and 100 year ARI flood events;
- d. The extent of filling and/or levee required to prevent the 100 year ARI (1%AEP) event from entering the site;
- e. The extent of flow and depth of inundation through the site for events above 1 in 100 year ARI and up to 1 in 200 year ARI;
- f. Identify any requirement for drainage easements including along the northern boundary of the site to facilitate drainage from the road back to Marrs Creek;
- g. Information on the proposed works and any impacts proposed at the drainage outlet from the proposed development.
- h. Lawful point of discharge.

The study must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works.

Access Construction

12. Construct a concrete driveway or other approved surface to the nominated utility and Staff parking area as detailed on the architectural drawings for the site.

All works must be carried out in accordance with the approved plans and must be to the requirements and satisfaction of the Chief Executive Officer prior to the issue of a Compliance Certificate for the Plan of Survey.

Service Conduits

13. Provide appropriate service conduits to Stage 2 to the satisfaction of services authorities and Council to ensure that the road reserve constructed and formalised with stage 1 does not need further works to service the later stage. This includes conduits for underground power supply.

All works must be carried out to the requirements and satisfaction of the Chief Executive Officer prior to commencement of use.

Stockpiling and Transportation of Fill Material

14. Soil used for filling or spoil from the excavation is not to be stockpiled in locations that can be viewed from adjoining premises or a road frontage for any longer than one (1) month from the commencement of works.

Transportation of fill or spoil to and from the site must not occur within:

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- a. peak traffic times; or
- b. before 7:00 am or after 6:00 pm Monday to Friday; or
- c. before 7:00 am or after 1:00 pm Saturdays; or
- d. on Sundays or Public Holidays.

15. Dust emissions or other air pollutants must not extend beyond the boundary of the site and cause a nuisance to surrounding properties.

Storage of Machinery and Plant

16. The storage of any machinery, material and vehicles must not cause a nuisance to surrounding properties, to the satisfaction of the Chief Executive Officer.

Construction Access

17. Vehicular access to the site for construction and demolition purposes must be provided from Johnstone Road only, unless authorised by the Chief Executive Officer.

Access Adjacent Creeks and Streams

18. A Access Easement in favour of Council containing all land below the top of the high bank and nominally a minimum 5 metre minimum wide strip adjacent to the top of the bank, relative to the vegetation line that permits practical access along the top of the bank. The drainage easement is to be pegged on-site for Council's approval. A copy of the easement documents must be submitted to Council for the approval of Council's solicitors at no cost to Council. The approved easement documents must be submitted prior to commencement of use.

Existing Creek and Drainage Systems

19. All existing creek systems and drainage areas must be left in their current state, including no channel alterations and no removal of vegetation unless consented to in writing by the Chief Executive Officer.

The applicant / owner must obtain any necessary approvals from the Department of Environment & Resource Management for carrying out works in a watercourse.

Lawful Point of Discharge

20. All stormwater from each lot must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development to the requirements and satisfaction of the Chief Executive Officer.
21. The lawful point of discharge for the new road opened with Stage 1 must be drained to Marrs Creek via an easement within the Stage 1 site or to Johnston Road.

Sediment and Erosion Control

22. A sediment and erosion control plan must be prepared as part of the construction phase of the development. Sediment and erosion control measures must be

installed / implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the Environmental Protection Act 1994, and the FNQROC Development Manual).

Existing Services

23. Written confirmation of the location of existing services for the land must be provided. In any instance where existing services are contained within another lot, the following applies, either:
- a. Relocate the services to comply with this requirement; or
 - b. Arrange registration of necessary easements over services located within another lot prior to, or in conjunction with, the lodgement of a Compliance Certificate for the Plan of Survey creating the lot.

Electricity Supply

24. Written evidence from Ergon Energy advising that the substation required for this development has the ability to be upgraded to accommodate the demand of Stage 2 over the balance of the land. If required, details regarding the location of these facilities must be submitted to the Chief Executive Officer accompanied by written confirmation from Ergon Energy. Details regarding electricity supply must be provided prior to the issue of a Development Permit for Operational Works.

Electricity and Telecommunications

25. Written evidence of negotiations with Ergon Energy and the telecommunication authority must be submitted to Council stating that both an underground electricity supply and telecommunications service will be provided prior to the issue of a Development Permit for Operational Works.

Street Lighting

26. The following arrangements for the installation of street lighting must be provided prior to the Commencement of Use:-
- a. Prior to the issue of a Development Permit for Operational Works a Rate 2 lighting scheme is to be prepared by an Ergon Energy approved consultant and submitted to the Chief Executive Officer for approval. The Rate 2 lighting scheme is to be designed in accordance with the relevant Road Lighting Standard AS/NZS 1158 and the FNQROC Development Manual. The applicable lighting category is to be determined from the Road Hierarchy Table D1.1 and the corresponding applicable Lighting Categories Table D8.1 as identified in the FNQROC Development Manual.

The lighting scheme must show light pole locations that represent the permitted design spacing and must not conflict with stormwater, kerb inlet pits and other services. For lighting associated with the new road, the lighting is to be located within the landscaped median.

The design must provide the applicable illumination level specified in the

Road Lighting Standard AS/NZS 1158 and must be submitted in accordance with Ergon Energy's latest Distribution Design Drafting Standard for the intersections.

- b. Prior to the issue of a Compliance Certificate for the Plan of Survey written confirmation that the relevant capital contribution required by Ergon Energy has been paid must be submitted, to ensure that the street lighting will be constructed.
- c. Where a new intersection is formed on an existing roadway for the purpose of accessing a new development, the intersection and existing road approaches must be provided with street lighting for a distance equivalent to at least two (2) spans either side of the intersection to the relevant Lighting Category. This applies for the new access road and Johnston Road intersection.

Vehicle Parking

- 27. The amount of vehicle parking must be as specified on the approved plan which is a minimum of fifteen (15) spaces of which 10 must be provided as visitor spaces. The car parking layout must comply with the Australian Standard AS2890.1 2004 Parking Facilities – off-street car parking and be constructed in accordance with Austroads and good engineering design. In addition, all parking, driveway and vehicular manoeuvring areas must be imperviously sealed, drained and line marked.

Bicycle Parking

- 28. Provide secured, on-site bicycle parking in accordance with Table 10-1 of *AUSTROADS Guide to Traffic Engineering Practice Part 14 – Bicycles*. The bicycle parking area must be constructed prior to Commencement of Use.

Lighting

- 29. All lighting installed upon the premises including car parking areas must be certified by Ergon Energy (or such other suitably qualified person). The vertical illumination at a distance of 1.5 metres outside the boundary of the subject land must not exceed eight (8) lux measured at any level upwards from ground level.

Air-Conditioning Screens

- 30. Air-conditioning units located above ground level and visible from external properties and the street must be screened with appropriate materials to improve the appearance of the building. Such screening must be completed prior to the Commencement of Use.

Landscaping Plan

- 31. The site must be landscaped in accordance with details included on a Landscaping Plan. The Landscaping Plan must show:**

Planting Design

- a. Species to have regard to Council's Planning Scheme Policy No.7 Landscaping.**
- b. A planting design that does not include any species that are identified as Declared or Environmental Weeds or constitute an Invasive Species;**
- c. Provide a hierarchy of planting, which includes shade trees, shrubs and groundcovers.**

Hard Landscaping Works

- a. Details of location and design of proposed artworks;**
- b. Natural and finished ground levels including details of all retaining works;**
- c. Details of any perimeter, private yard or street fencing (Note: A 1.8 metre high screen fence will be required to screen the extent of the working farm along the south-western boundary);**
- d. Protection of landscaped areas adjoining parking areas from vehicular encroachment by a 150 mm high vertical concrete kerb or similar obstruction;**

Two (2) A1 copies and one (1) A3 copy of the landscape plan must be endorsed by the Chief Executive Officer. The approval and completion of all landscaping works must be undertaken in accordance with the endorsed plan prior to the Commencement of Use whichever occurs first. Landscaped areas must be maintained at all times to the satisfaction of the Chief Executive Officer.

Street Fencing

- 32. Any proposed fences and/or walls to any road frontage are to be limited to the following:**
- a. 1.2 metres in height if solid; or**
 - b. 1.5 metres in height if at least 25% visually transparent; or**
 - c. 1.8 metres in height if at least 50% visually transparent.**

Details of the street fencing must be detailed in the Landscape Plan and be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Building Work. In principle, the 'horizontal timber effect aluminium fence with random patterns to the street' as shown on the approved section drawings and perspective drawing 15.0285.11 SK11 prepared by Thomson Adsett and dated 17 December 2016 appear to satisfy this requirement.

Construction Signage

33. Prior to the commencement of any construction works associated with the development, a sign detailing the project team must be placed on the road frontage of the site and must be located in a prominent position. The sign must detail the relevant project coordinator for the works being undertaken on the site, and must list the following parties (where relevant) including telephone contacts:
- a. Developer;
 - b. Project Coordinator;
 - c. Architect / Building Designer;
 - d. Builder;
 - e. Civil Engineer;
 - f. Civil Contractor;
 - g. Landscape Architect.

Colours/Materials of Construction

34. The colours, textures and materials of construction are to be generally in accordance with perspective drawings 15.0285.11 SK10 – 12 & 14 prepared by Thomson Adsett and dated 17 December 2016.

Siam Weed Control

35. In order to prevent the spread of Siam Weed {a class 1 declared pest plant under the *Land Protection (Pest and Stock Route Management) Act 2002*}, all machinery working on site must be cleaned down on site prior to leaving. No material / soil is to leave the site wherever possible. Should material need to be carted away it should be taken to council's Drum Sarah quarry and placed under quarantine where it can be monitored for recruitment and treated as required.

Kitchen Facilities

36. An application for the construction or alteration of any food premises must be accompanied by two (2) copies of plans drawn to a scale not smaller than 1:100. Such plans are to include details of ventilation (including mechanical exhaust ventilation systems), finishes to walls, floors and ceilings, details of the proposed layout and materials to be used in the construction of all fixtures, fittings and equipment. The plans should include detailed cross sections of all areas to be included in the construction or alteration. All works must be carried out in accordance with approved and the requirements of the Food Act 2006, Food Safety Standards and AS 4674 – 2004 – Design, construction and fit-out of food premises. Plans must be approved prior to the issue of a Development Permit for Building Work and all works must be completed in accordance with the approved plan prior to the Commencement of Use.

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse 4 years from the day the approval takes effect in accordance with the provisions of the *Sustainable Planning Act 2009*.

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2. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.

Infrastructure Charges Notice

4. A charge levied for the supply of trunk infrastructure is payable to Council towards the provision of trunk infrastructure in accordance with the Adopted Infrastructure Charges Notice, a copy of which is attached for reference purposes only. The original Adopted Infrastructure Charges Notice will be provided under cover of a separate letter.

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

Please note that this Decision Notice and the Adopted Infrastructure Charges Notice are stand-alone documents. *The Sustainable Planning Act 2009* confers rights to make representations and appeals in relation to a Decision Notice and an Adopted Infrastructure Charges Notice separately.

The amount in the Adopted Infrastructure Charges Notice is subject to index adjustments and may be different at the time of payment. Please contact Development and Environment at Council for review of the charge amount prior to payment.

The time when payment is due is contained in the Adopted Infrastructure Charges Notice.

5. For information relating to the *Sustainable Planning Act 2009* log on to www.dilgp.qld.gov.au . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au .

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B] CONDITIONS APPLICABLE TO RECONFIGURATION OF A LOT (1 LOT INTO 2 LOTS)

APPROVED DRAWING(S) AND / OR DOCUMENT(S)

The term 'approved drawing(s) and / or document(s)' or other similar expressions means:

Drawing or Document	Reference	Date
Proposed Subdivision Plan	15.0285.11 SK30 prepared by Thomson Adsett	11 February 2016

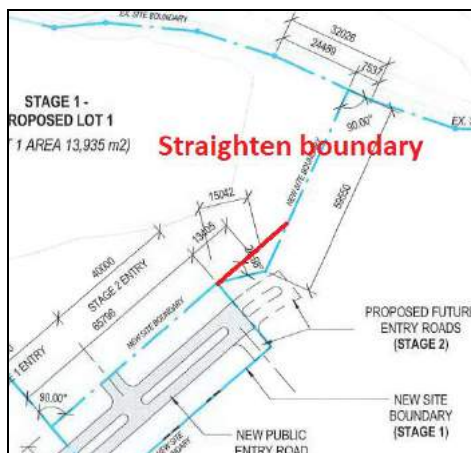
ASSESSMENT MANAGER CONDITIONS

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval

Amendment to Design

2. Straighten the boundary between proposed lots 1 and 2 to remove the kink in the common boundary at the end of the proposed road reserve (see below)



Street Layout and Design

3. The street layout and design must be revised to comply with Queensland Streets and the FNQROC Development Manual, to the satisfaction of the Chief Executive Officer. In particular:
 - a. Provide a design for the new access road that is to service stage 1 and future stage 2 which shall have the following minimum dimensions unless otherwise approved by Council:

- Verge width of 4.5m;
 - Carriageway width of 4.5m;
 - Median width of 4m;
 - Reserve width of 22m (Note: the additional 3 metres is to be added to proposed Lot 2 on the north-eastern side of the proposed road reserve).
 - 2 metre wide footpath along the northern-eastern verge.
- b. Provision of appropriate access arrangements for Stage 1 of the development and access to Stage 2 from the proposed new road in the south east corner of the site. The design must seek to locate infrastructure such that access from the new road is readily facilitated for the future development.
- c. In particular, the operation of the two accesses from the proposed new road must be considered in determining the road form, median breaks and infrastructure locations (including stormwater and street lighting). The road layout and carriageway alignments must be updated to reflect this requirement.

An amended plan incorporating the above requirements must be submitted prior to the issue of a Development Permit for Operational Works.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to the issue of a Compliance Certificate for the Plan of Survey.

General External Works

4. Undertake the following external works:-
- a. Upgrade the northern side of Johnston Road (eastbound carriageway) for the full frontage of the site to provide a minimum 3.5m wide lane and a 1m sealed shoulder.
 - b. Provide a detail design for the intersection and access with Johnston Road including design for drainage between the existing road and the site boundary.
 - c. The design must include suitable treatment for the intersection of the new access road with Johnston Road generally in accordance with Drawing Ref: Concept Site Access 645-001 Rev.1 prepared by Projex partners dated 17 December 2015;
 - d. The treatment required for the secondary access to the site (utility and staff access) may be a BAR/BAL treatment in accordance with *Austroads Guide to Road design* subject to reconfirming the traffic volumes based on the fully developed traffic conditions for the development approved within the catchment.

- e. Construct a 2.0 metre wide footpath for the full frontage of the Johnston Road frontage of the site;

Three (3) copies of a plan of the works must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works. All works must be carried out in accordance with the approved plans prior to the issue of a Compliance Certificate for the Plan of Survey, unless otherwise approved by Council.

Drainage Study of Site

- 5. Update the local drainage study of the site to determine the works necessary to provide flood immunity to the site to the 1 in 100 year ARI (1% AEP event) including determining the drainage impacts on upstream and downstream properties and the mitigation measures required to minimise such impacts. In particular, the study must address the following:
 - a. The contributing catchment boundaries;
 - b. The extent of the 100 year ARI flood event in relation to the site both pre- and post-development;
 - c. Primary and secondary flow paths for the 5, 10 and 100 year ARI flood events;
 - d. The extent of filling and/or levee required to prevent the 100 year ARI (1%AEP) event from entering the site;
 - e. The extent of flow and depth of inundation through the site for events above 1 in 100 year ARI and up to 1 in 200 year ARI;
 - f. Identify any requirement for drainage easements including along the northern boundary of the site to facilitate drainage from the road back to Marrs Creek;
 - g. Information on the proposed works and any impacts proposed at the drainage outlet from the proposed development.
 - h. Lawful point of discharge.

The study must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works.

Access Adjacent Creeks and Streams

- 6. An Access Easement in favour of Council containing all land below the top of the high bank and nominally a minimum 5 metre minimum wide strip adjacent to the top of the bank, relative to the vegetation line that permits practical access along the top of the bank. The drainage easement is to be pegged on-site for Council's approval. A copy of the easement documents must be submitted to Council for the approval of Council's solicitors at no cost to Council. The approved easement documents must be submitted prior to commencement of use.

Drainage Easement

- 7. A Drainage Easement must be granted in favour of Council within proposed Lot 1 providing for any required drainage of stormwater from the end of the new road to Marrs Creek. A copy of the easement documents must be submitted to Council for the approval of Council's solicitors at no cost to Council. The approved easement documents must be submitted prior to the issue of a Compliance Certificate for the Plan of Survey.**

Service Conduits

- 8. Provide appropriate service conduits to Stage 2 to the satisfaction of services authorities and Council to ensure that the road reserve constructed and formalised with stage 1 does not need further works to service the later stage.**

All works must be carried out to the requirements of the Chief Executive Officer prior to the issue of a Compliance Certificate for the Plan of Survey.

Siam Weed Control

- 9. In order to prevent the spread of Siam Weed {a class 1 declared pest plant under the *Land Protection (Pest and Stock Route Management) Act 2002*}, all machinery working on site must be cleaned down on site prior to leaving. No material / soil is to leave the site wherever possible. Should material need to be carted away it should be taken to council's Drum Sarah quarry and placed under quarantine where it can be monitored for recruitment and treated as required.**

ADVICE

- 1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of the *Sustainable Planning Act 2009*.**
- 2. This approval does not negate the requirement for compliance with all relevant Local Laws and statutory requirements.**
- 3. For information relating to the *Sustainable Planning Act 2009*, log on to www.dip.qld.gov.au. To access the FNQROC Development Manual, Local Laws and other applicable Policies log on to www.dsc.qld.gov.au.**

C] CONDITIONS APPLICABLE TO STAGE 2 RETIREMENT FACILITY (PRELIMINARY APPROVAL)

APPROVED DRAWING(S) AND / OR DOCUMENT(S)

The term 'approved drawing(s) and / or document(s)' or other similar expressions means:

Drawing or Document	Reference	Date
Master Plan	Mossman and District Aged Care Precinct prepared by Hunt Design	10 February 2016

ASSESSMENT MANAGER CONDITIONS

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Preliminary Approval must be demonstrated in any future application for a development permit for a Retirement Facility over the land to the extent relevant, unless specified otherwise in these conditions of approval.

Design Parameters (Applicable over proposed Lot 2)

3. The site coverage of the development does not exceed 40%.
4. The gross floor area of the development does not exceed 0.5 x site area.
5. Buildings and structures are setback no less than:
 - a. 6 metres to Johnston Road;
 - b. 4.5 metres to the new road;
 - c. 4 metres to the common boundary with the showgrounds and hospital; and
 - d. 10 metres from the top of the high bank to Marrs Creek; and
 - e. Outside that part of the land included within the Conservation planning area.
6. Buildings and structures are limited to 2 storeys (8.5 metres) in height (Note: height is inclusive of roof height).
7. Future development reduces the appearance of building bulk, ensures a human scale and demonstrates variations in horizontal and vertical profile by incorporating a range of design elements including balconies, verandahs, terraces, recesses and the like.

8. Buildings must exhibit tropical design elements that are appropriate to Douglas Shire's tropical climate, character and lifestyle such as:
- a. pitched roofs;
 - b. wide eaves to shade and protect external walls;
 - c. light colours;
 - d. variations in building colours, materials and texture;
 - e. permeable external building facades;
 - f. well-considered cross-ventilation;
 - g. weather protected external extensions to living spaces;
 - h. verandahs;
 - i. well-insulated roofs;
 - j. low thermal mass construction;
 - k. seamless integration of external and internal spaces.
9. Communal open space is designed to provide for a range of facilities, typically including some, or all, of the following elements:
- a. seating;
 - b. barbecue;
 - c. swimming pool;
 - d. communal gardens.

The proposed development must include an 'activities building' as part of stage 1 of any proposed retirement facility.

10. No development is to occur in that part of the land included within the Conservation Planning Area.

Access

11. Access to Jack Street via the Showgrounds is not part of this approval.

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse 4 years from the day the approval takes effect in accordance with the provisions of the *Sustainable Planning Act 2009*.
- 2.. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
3. For information relating to the *Sustainable Planning Act 2009* log on to www.dilgp.qld.gov.au . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au .

LAND USE DEFINITIONS*

In accordance with the Douglas Shire Planning Scheme 2006, the approved land use of Retirement Facility is defined as:

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The use of premises as an integrated community for permanent residential accommodation for older or retired persons, generally 55 or more years in age.

The use can include:

- dwelling units
- serviced rooms/Private rooms
- nursing home accommodation as well as facilities for the use of residents and staff, such as:
 - indoor and outdoor recreational facilities;
 - meeting rooms;
 - medical consulting rooms;
 - therapy rooms;
 - chapels;
 - meal preparation facilities; and
 - staff accommodation
- a display unit which displays to the general public the type of construction or design offered by builder/developer, for a maximum period of twelve months and which is then demolished, (if freestanding replica), or converts to its intended use within the complex.

*This definition is provided for convenience only. This Development Permit is limited to the specifications, facts and circumstances as set out in the application submitted to Council and is subject to the abovementioned conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

RIGHTS OF APPEAL

Attached

End of Decision Notice

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APPENDIX 1: APPROVED DRAWING(S) & DOCUMENT(S)



PROPOSED LOT 1	13,935 m2
PROPOSED LOT 2	29,845 m2
GFA	3,066 m2
COVERED AREA	1,122 m2
PRIVATE OPEN SPACE	5,976 m2
PUBLIC COMMUNITY SPACE	3,771 m2
RESIDENTIAL UNITS	42 BEDROOMS
CAR PARKING	14 SPACES

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Trading as ThomsonAdsett

ISSUE FOR DEVELOPMENT APPLICATION



Project | **MOSSMAN AGED CARE PLUS CENTRE** Drawing Title | **SITE PLAN**
 Client | **THE SALVATION ARMY** Date | **17.12.2015**

Drawing Number | **15.0295.11 SK02**
 Scale | **1 : 1000** **B**

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ISSUE FOR DEVELOPMENT APPLICATION

thomson adsett	Project	MOSSMAN AGED CARE PLUS CENTRE	Drawing Title	FLOOR PLAN	Drawing Number	15.0285.11 SK03
	Client	THE SALVATION ARMY	Date	17/12/2015	Scale	1 : 500 8

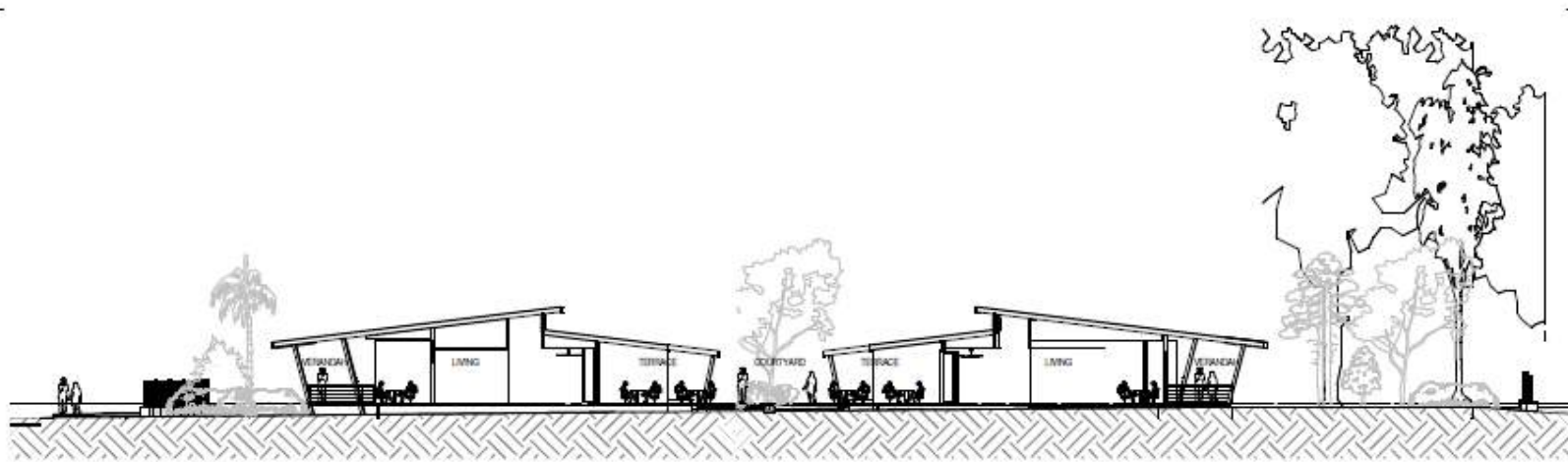
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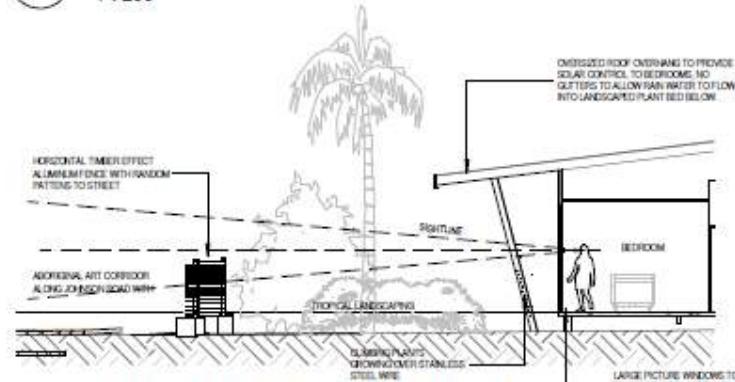
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Original Sheet Size A1 - 201 x 420mm

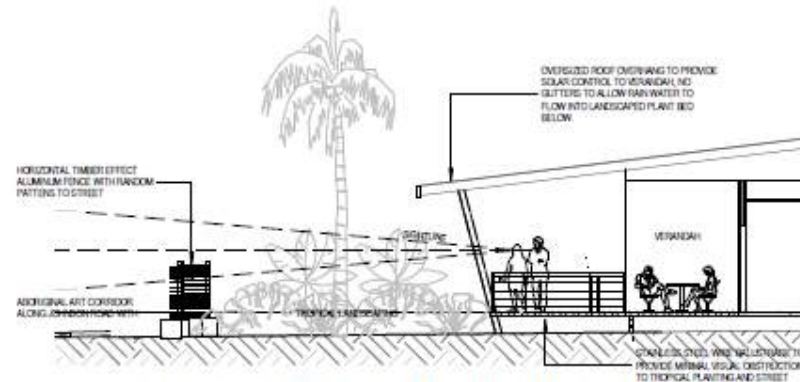
DECISION NOTICE DETAILS
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2 SECTION AA
 1 : 200



3 STREET VIEW FROM BEDROOM
 1 : 100



4 STREET VIEW FROM COMMUNAL VERANDAH
 1 : 100

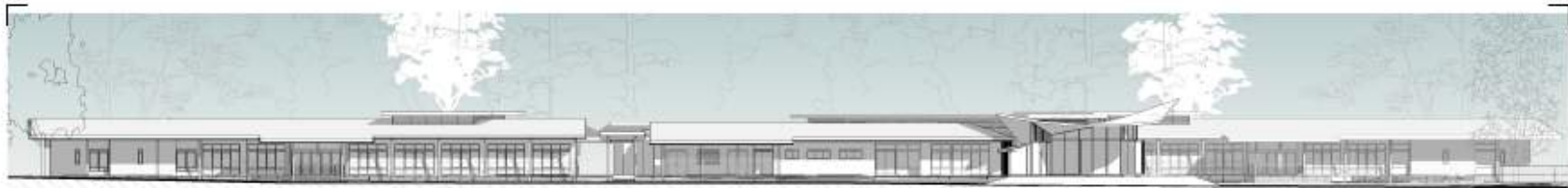
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ISSUE FOR DEVELOPMENT APPLICATION

thomson adsett	Project	MOSSMAN AGED CARE PLUS CENTRE	Drawing Title	SECTION	Drawing Number	15.0285.11 SK09
	Client	THE SALVATION ARMY	Date	17/12/2015	Scale	Indicated 2

47.2015.1235
 23/29

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1 SE ELEVATION
 1 : 350



2 NW ELEVATION
 1 : 350



3 SW ELEVATION
 1 : 350



4 NE ELEVATION
 1 : 350

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 A.S.N. 72 05 214 036.
 Trading as ThomsonAdsett

ISSUE FOR DEVELOPMENT APPLICATION

47.2015.12
 24/29

thomson adsett	Project	MOSSMAN AGED CARE PLUS CENTRE	Drawing Title	ELEVATIONS	Drawing Number	15.0285.11 SK15
	Client	THE SALVATION ARMY	Date	17/12/2015	Scale	1 : 350 1

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009



47.2015.12
25/29

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009



PROPOSED LOT 1	13,935 m2
PROPOSED LOT 2	29,845 m2
GFA	3,066 m2
COVERED AREA	1,122 m2
PRIVATE OPEN SPACE	5,976 m2
PUBLIC COMMUNITY SPACE	3,771 m2
RESIDENTIAL UNITS	42 BEDROOMS
CAR PARKING	14 SPACES

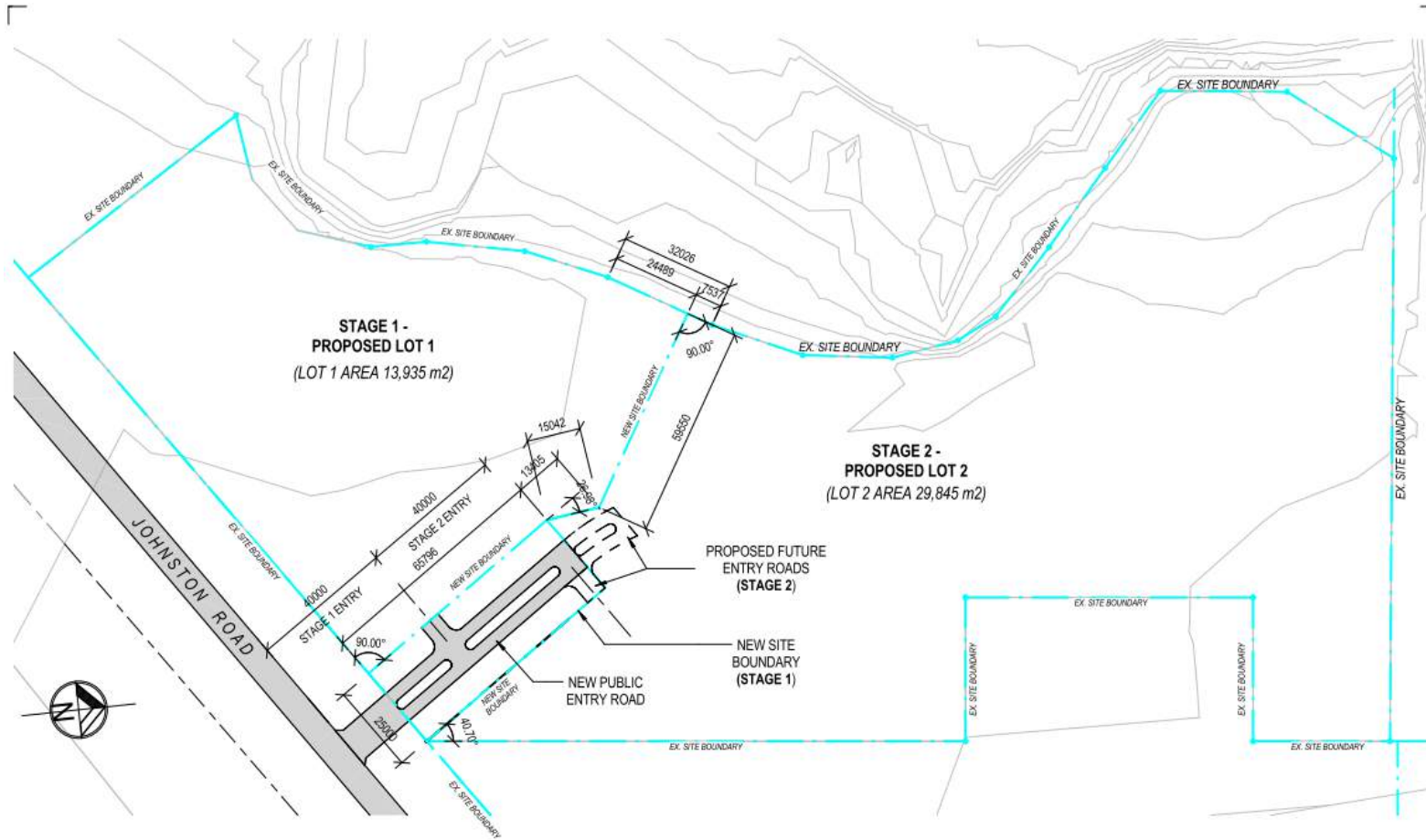
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47.2015
26/29

	Project	MOSSMAN AGED CARE PLUS CENTRE	Drawing Title	SITE PLAN	Drawing Number	15.0285.11 SK02
	Client	THE SALVATION ARMY	Date	11.02.2016	Scale	1 : 1000

© COPYRIGHT 2015 11/02/2016 2:56:20 PM C:\REV\LOCAL\FILES\2015\15.0285.11 Site Plan_new\map.rvt Original Sheet Size A3 - 297 x 420mm

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009



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**thomson
adsett**

Project | MOSSMAN AGED CARE PLUS CENTRE
 Client | THE SALVATION ARMY

Drawing Title | PROPOSED SUBDIVISION PLAN
 Date | 11.02.2016

Drawing Number | 15.0285.11 SK30
 Scale | 1 : 1000 9

© COPYRIGHT 2015 11/02/2016 3:06:03 PM C:\REVIT\LOCALFILES\2015\15.0285.11 Site Plan_newmanp.rvt

Original Sheet Size A3 - 297 x 420mm

47.2015.1235
 27/29

YOUR REF: HRP15394
OUR REF: CA 1235/2015 (767729r)

23 February 2016

The Salvation Army & Douglas Shire Council
C/- Cardno HRP
PO Box 1619
CAIRNS QLD 4870

Dear Sir

**ADOPTED INFRASTRUCTURE CHARGES NOTICE FOR
JOHNSTON ROAD MOSSMAN GORGE**

Please find attached an Adopted Infrastructure Charges Notice issued in accordance with section 648F of the *Sustainable Planning Act 2009* (the Act).

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

The amount in the Adopted Infrastructure Charges Notice is subject to index adjustments and may be different at the time of payment. Please contact Development and Environment at Council for review of the charge amount prior to payment.

These charges are payable prior to the change of use occurring in accordance with section 648H of the Act.

Please also find attached extracts from the Act regarding the following:


- your right to make representations to Council about the Adopted Infrastructure Charges Notice; and
- your Appeal rights with respect to the Adopted Infrastructure Charges Notice.

Should you have any enquiries in relation to this Adopted Infrastructure Charges Notice, please contact Simon Clarke of Planning and Environment on telephone number 4099 9480.

Yours faithfully

Paul Hoye
General Manager Operations

INFRASTRUCTURE CHARGES NOTICE

	2008 & 2008 Douglas Shire Planning Scheme INFRASTRUCTURE CHARGES NOTICE
---	--

The Selection Agency	NA	0
DEVELOPER NAME	ESTATE NAME	STAGE
Johnson Road	Lot 1 SH10674	11812
STREET No. & NAME	SUBURB	LOT & RP No.
Combined Application	CR120000 10	4
DEVELOPMENT TYPE	COUNCIL PU	VALIDITY PERIOD (years)
PL102	1	
DSC Reference Doc. No.	VERSION No.	

	Use	Charge per Use	Amount Due	Amount Paid	Receipt Code & GL Code
Rural Areas - Water Only	proposed	0	0.00		
		0	0.00		
	existing	0	0.00		
	Total			0.00	
Urban Areas - Water only	proposed	0	0.00		
		0	0.00		
	existing	0	0.00		
	Total			0.00	
Urban Areas - Water & Sewer	proposed	42	5,406.15	345,184.30	
		0	0.00	0.00	
	existing	0	0.00	0.00	
	Total			345,184.30	
TOTAL			345,184.30		

Prepared by:	D Latham	18 Feb 18	Amount Paid:	
Checked by:	S Carter	18 Feb 18	Date Paid:	
Date Payable:			Receipt No.:	
Assessment:			Costs:	
Payment required prior to the Commencement of Use				

Note:
 The Infrastructure Charges in this Notice are payable in accordance with Part 2 Division 1 of the Sustainable Planning Act 2009 (SPA).

Charges are payable to: Douglas Shire Council. You can make payment at any of Council's Business Offices or by mail with your cheque or money order to Douglas Shire Council, PO Box 723, Mossman QLD 4873. Cheques must be made payable to Douglas Shire Council and marked "Not Negotiable." Acceptance of a cheque is subject to collection of the proceeds. Post dated cheques will not be accepted.

Any enquiries regarding Infrastructure Charges can be directed to the Development & Environment, Douglas Shire Council on 07 4968 9444 or by email on enquiries@douglas.qld.gov.au

BILL OF QUANTITIES



Project	Mossman Aged Care Plus
Job No.	C16-012
Date	9-Nov-16
Rev.	A

CONSTRUCTION COST SUMMARY

SECTION	ITEM	AMOUNT
1	CLEARING & EARTHWORKS	\$70,550
2	ROADWORKS	\$299,285
3	STORMWATER RETICULATION	\$130,600
4	WATER RETICULATION	\$18,690
5	SEWER RETICULATION	\$62,100
TOTAL (EXCLUSIVE OF GST)		\$581,225

QUANTITIES ILLUSTRATED HEREIN ARE ESTIMATES FOR TENDERERS INFORMATION ONLY. TENDERERS ARE REMINDED THAT THIS IS A LUMP SUM CONTRACT AND ALL QUANTITIES MUST BE CONFIRMED BY THE TENDERER IN THEIR TENDER SUBMISSION.

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
<u>SECTION 1 : CLEARING & EARTHWORKS</u>					
1.1	Selective clearing and grubbing to . (a) Roads and allotments as directed (b) Flood levee	ha ha	0.56 0.09	1500.00 1500.00	\$ 840.00 \$ 135.00
1.2	(1) Strip top soil from roads and allotments 100mm thick, stockpile as directed. (Net solid volume of cut). (Prov Qty). (a) Roads and allotments as directed (b) Flood levee (2) Respread topsoil to footpaths, batters and allotments 100mm thick. (Net solid volume of cut). (Prov Qty). (a) Roads and allotments as directed (b) Flood levee	m ³ m ³ m ³ m ³	560 90 350 100	5.00 5.00 5.00 5.00	\$ 2,800.00 \$ 450.00 \$ 1,750.00 \$ 500.00
1.3	Remove & dispose of redundant infrastructure and surplus material	Item	1	5000.00	\$ 5,000.00
1.4	Excavate, dispose and replace unsuitable material as specified including compaction. (Compacted Volume) (Prov. Qty.)	m ³	50	15.00	\$ 750.00
1.5	Earthworks including compaction:- (Net solid volume of cut) (a) On leads to Roads and allotments (b) Imported Fill to Roads (30% Compaction Loss Allowance Included) (c) Imported Fill to Levee (30% Compaction Loss Allowance Included)	m ³ m ³ m ³	235 855 305	15.00 30.00 30.00	\$ 3,525.00 \$ 25,650.00 \$ 9,150.00
1.6	Hydromulching including seeds to distributed areas as directed PQ	m ²	4500	2.50	\$ 11,250.00
1.7	Turfing supply, install, maintain (a) Behind roadways (b) Disturbed areas	m ² m ²	200 100	5.00 5.00	\$ 1,000.00 \$ 500.00
1.8	Rock in earthworks including ripping to roads (Prov. Qty.)	m ³	50.0	45.00	\$ 2,250.00
1.9	Construction water (Prov. Qty.)	Item	1.0	5000.00	\$ 5,000.00
TOTAL SECTION 1 EARTHWORKS					\$ 70,550.00

QUANTITIES ILLUSTRATED HEREIN ARE ESTIMATES FOR TENDERERS INFORMATION ONLY. TENDERERS ARE REMINDED THAT THIS IS A LUMP SUM CONTRACT AND ALL QUANTITIES MUST BE CONFIRMED BY THE TENDERER IN THEIR TENDER SUBMISSION.

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
SECTION 2 : ROADWORKS					
2.1	Provision for Traffic	Item	1	5,000.00	\$ 5,000.00
2.2	Supply and Erect street name sign posts with name plates (a) Posts and Signs	No	1	500.00	\$ 500.00
2.3	Supply and erect traffic signs and posts (a) Barrier Board (new) (b) R2-3A (Keep Left Sign) (c) No Standing Sign	No	1	1,000.00	\$ 1,000.00
		No	3	500.00	\$ 1,500.00
		No	4	500.00	\$ 2,000.00
2.4	Excavate unsuitable subgrade to spoil and replace with imported material including compaction. (min CBR15) (Compacted Volume) (Prov Qty).	m ³	50	45.00	\$ 2,250.00
2.5	Roll, grade and trim subgrade.	m ²	2230	3.00	\$ 6,690.00
2.6	Paving material complete including compaction (Compacted Volume) (a) Base Course - Class 2.1 (b) Sub-base Course - Class 2.3	m ³	180	90.00	\$ 16,200.00
		m ³	180	85.00	\$ 15,300.00
2.8	Asphaltic concrete surfacing as specified, complete including supply, broom, prime coat, lay, compaction and testing. (a) 30mm average compacted depth (DG10)	m ²	1234	20.00	\$ 24,680.00
2.9	Supply and lay concrete kerb and kerb and channel including compaction of foundation, trim bedding gravel, complete . (a) Semi-mountable Kerb (b) Median kerb (c) Pedestrian ramps (d) Driveway crossover (e) Neatly sawcut existing road edge, remove and dispose of	m	265	50.00	\$ 13,250.00
		m	154	50.00	\$ 7,700.00
		No	5	750.00	\$ 3,750.00
		No	4	1,000.00	\$ 4,000.00
		m	286	2.50	\$ 715.00
2.10	Linemarking as detailed on drawings	Item	1	5,000.00	\$ 5,000.00
2.11	Excavate, supply, joint, lay and backfill subsoil drains, clean out weep holes, connections to manholes, as specified to roads and medians	m	395	90.00	\$ 35,550.00
2.12	Supply and Construct 2.0m wide concrete footpath, 100mm thick N25, SL72 mesh, including excavation, curing and bedding material	m ²	615	120.00	\$ 73,800.00
2.13	Supply and Construct 150mm Thick N32, SL82 mesh, concrete pavement including excavation, curing and bedding.	m ²	430	180.00	\$ 77,400.00
2.14	Supply and install traffic median/island	m ²	25	120.00	\$ 3,000.00
TOTAL SECTION 2 ROADWORKS					\$ 299,285.00

QUANTITIES ILLUSTRATED HEREIN ARE ESTIMATES FOR TENDERERS INFORMATION ONLY. TENDERERS ARE REMINDED THAT THIS IS A LUMP SUM CONTRACT AND ALL QUANTITIES MUST BE CONFIRMED BY THE TENDERER IN THEIR TENDER SUBMISSION.

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
SECTION 3 : STORMWATER DRAINAGE					
3.1	Supply, lay and joint reinforced concrete box culverts complete, including trench excavation, bedding and surround sand, base slabs, backfill, compaction and disposal of spoil as specified:- (a) 1200 x 300 (b) 450 x 300	m m	75 26	1,200.00 650.00	\$ 90,000.00 \$ 16,900.00
3.2	Crusher dust backfill to stormwater pipes under road pavements as specified.	m	40	55.00	\$ 2,200.00
3.3	Construct manholes complete including excavation, covers, etc (a) In accordance with detail drawings	No	2	3,000.00	\$ 6,000.00
3.4	Construct standard pre-cast side inlet pits (Bropits) complete including excavation, galvanised grates and reinforcing. (a) 1 Chamber, 1 Trough	No	2	5,000.00	\$ 10,000.00
3.5	Pre-Cast Headwalls (a) 450 x 300 RCBC (b) 1200x450 RCBC	No No	2 2	750.00 2,000.00	\$ 1,500.00 \$ 4,000.00
TOTAL SECTION 3 STORMWATER DRAINAGE					\$ 130,600.00

QUANTITIES ILLUSTRATED HEREIN ARE ESTIMATES FOR TENDERERS INFORMATION ONLY. TENDERERS ARE REMINDED THAT THIS IS A LUMP SUM CONTRACT AND ALL QUANTITIES MUST BE CONFIRMED BY THE TENDERER IN THEIR TENDER SUBMISSION.

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
<u>SECTION 4 : WATER RETICULATION</u>					
4.1	Supply and lay water mains in accordance with the drawings and specifications and AS/NZS 1477 including sand bedding and surround, backfill, joints, special pipes and fittings and anchor blocks for:- (a) 100mm PVC (b) 63 OD HDPE	m m	77 76	90.00 40.00	\$ 6,930.00 \$ 3,040.00
4.2	Crusher dust backfill for trenches under road pavements.	m	33	40.00	\$ 1,320.00
4.3	Supply and install valves complete including chamber, surface box, margin block and marker:- (a) 100mm dia sluice valve (b) 50mm dia sluice valve	No No	2 1	1,000.00 600.00	\$ 2,000.00 \$ 600.00
4.4	Supply and install spring hydrants complete including chamber, hydrant tee and riser, gaskets and bolts, surface box, margin block and marker (a) 100mm dia	No	1	800.00	\$ 800.00
4.5	Connection of 63OD polymain to uPVC water main	No	1	500.00	\$ 500.00
4.6	Pressure testing and chlorination	Item	1	1,000.00	\$ 1,000.00
4.7	Connect main to existing main by Council at Contractor's cost :- (b) 150mm dia DICL	No	1	2,500.00	\$ 2,500.00
TOTAL SECTION 4 WATER RETICULATION					\$ 18,690.00

QUANTITIES ILLUSTRATED HEREIN ARE ESTIMATES FOR TENDERERS INFORMATION ONLY. TENDERERS ARE REMINDED THAT THIS IS A LUMP SUM CONTRACT AND ALL QUANTITIES MUST BE CONFIRMED BY THE TENDERER IN THEIR TENDER SUBMISSION.

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
SECTION 5 : SEWER RETICULATION					
5.1	Supply and lay sewers to all depths in accordance with drawings and specification complete including sand bedding and 150mm overlay, backfill and compaction:-				
	(a) 100mm dia Class SN10 (1.5-3.0m deep)	m			\$ -
	(b) 150mm dia Class SNB (0-1.5m deep)	m			\$ -
	(c) 150mm dia Class SNB (1.5-3.0m deep)	m	280	150.00	\$ 42,000.00
	(d) 150mm dia Class SNB (>3.0m deep)	m			\$ -
5.2	Crusher dust backfill for trenches under road pavements. (including future roads)	m	30	55.00	\$ 1,650.00
5.3	Construct standard manholes complete including excavation, and covers etc:-				
	(i) Up to 2.0m deep	No	5	3,000.00	\$ 15,000.00
	(ii) 2.0m - 4.0m deep	No			\$ -
	(iii) >4.0m deep	No			\$ -
5.4	Supply and install house connection branches complete including oblique branch where applicable:-				
	(a) Type A (Direct Connection)	No	1	500.00	\$ 500.00
	(b) Type B (Jump up)	No			\$ -
	(c) Type C (MH Direct Connection)	No			\$ -
	(d) Type D (Internal Drop)	No			\$ -
5.5	Construct new stub pipe for future connection:-				
	(a) 150mm dia	No	1	500.00	\$ 500.00
5.6	Rock in trenches (Prov. Qty.)	m ³	10	45.00	\$ 450.00
5.7	Vacuum and ovality testing	Item	1	2,000.00	\$ 2,000.00
TOTAL SECTION 5 SEWERAGE RETICULATION					\$ 62,100.00

QUANTITIES ILLUSTRATED HEREIN ARE ESTIMATES FOR TENDERERS INFORMATION ONLY. TENDERERS ARE REMINDED THAT THIS IS A LUMP SUM CONTRACT AND ALL QUANTITIES MUST BE CONFIRMED BY THE TENDERER IN THEIR TENDER SUBMISSION.



PARTNERS

TREVOR SLOGROVE
STEPHEN TOBIAS
ANTHONY FLORENCE
BRIAN MAYER

5 December 2016
Ref: /to/C16-012

Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

OFFICES

CAIRNS
TOWNSVILLE
BRISBANE
MACKAY

Attention: Sustainable Communities

Dear Sir/Madam,

**Application for Operational Works
associated with a Combined Retirement Facility and Reconfiguring a Lot (1 Lot into 2 Lots)
on Lot 1 on SP7150474, situated at Johnston Road, Mossman Gorge
Council's Ref: CA1235/2015**

CONSULTING CIVIL,
STRUCTURAL,
MECHANICAL
ELECTRICAL AND
HYDRAULIC
ENGINEERS
PROJECT MANAGERS

On behalf of The Salvation Army (Queensland) Property Trust we hereby submit for approval an Operational Works application for the above mentioned development.

Please find enclosed:

- IDAS Form 1
- IDAS Form 6
- Civil Works Drawings
- Amended Decision Notice
- Estimate of Costs
- An application fee of \$14,530.63 on the value of works being \$581,225.00. (Fee to be paid by client).

Should you require any further information in respect to this matter please do not hesitate to contact Ken Miller or Denise Hinneberg on telephone 4724 2626.

Yours faithfully
STP Consultants

Trevor Slogrove
MBA, BE(Hons) MIEAust, CPEng, NPER, RPEQ
Managing Director

TOWNSVILLE

LEVEL 1 MASTER BUILDERS HOUSE
316 STURT STREET TOWNSVILLE
PO BOX 1777 TOWNSVILLE QLD 4810
TELEPHONE 07 4724 2626
FACSIMILE 07 4724 2417

CAIRNS

SUITE 7 FIRST FLOOR
78 MULGRAVE ROAD
CAIRNS QLD 4870
TELEPHONE 07 4031 8777
FACSIMILE 07 4031 8799

BRISBANE

LEVEL 1 99 BRIDGE STREET
FORTITUDE VALLEY QLD 4101
PO BOX 899, FORTITUDE VALLEY QLD 4006
TELEPHONE 07 3257 3883
FACSIMILE 07 3257 0407

MACKAY

104B SYDNEY STREET
MACKAY QLD 4740
TELEPHONE 07 4944 1577
FACSIMILE 07 4944 1588



December 1, 2016.

The Civil Manager,
STP Consultants,
Level 1, Master Builders' House,
316 Sturt Street,
TOWNSVILLE, Qld., 4810.

Attention: Ms D. Hinneberg.

Dear Denise,

Re: Operational Works Application

In accordance with the requirements of Table H of the "IDAS form 1 - Application details", this correspondence confirms that The Salvation Army (Queensland) Property Trust provides its consent for the Operational Works Application to be submitted to Douglas Shire Council.

Yours faithfully,

Rohan McDonald

Rohan McDonald

Territorial Development Manager
The Property Department
261-265 Chalmers Street, Redfern NSW 2016 (PO Box A435, Sydney South NSW 1235)
T 02 9266 9724 T 02 9779 9411 F 02 9266 9657 M 0417 493 536
salvos.org.au
William Booth, Founder · André Cox, General

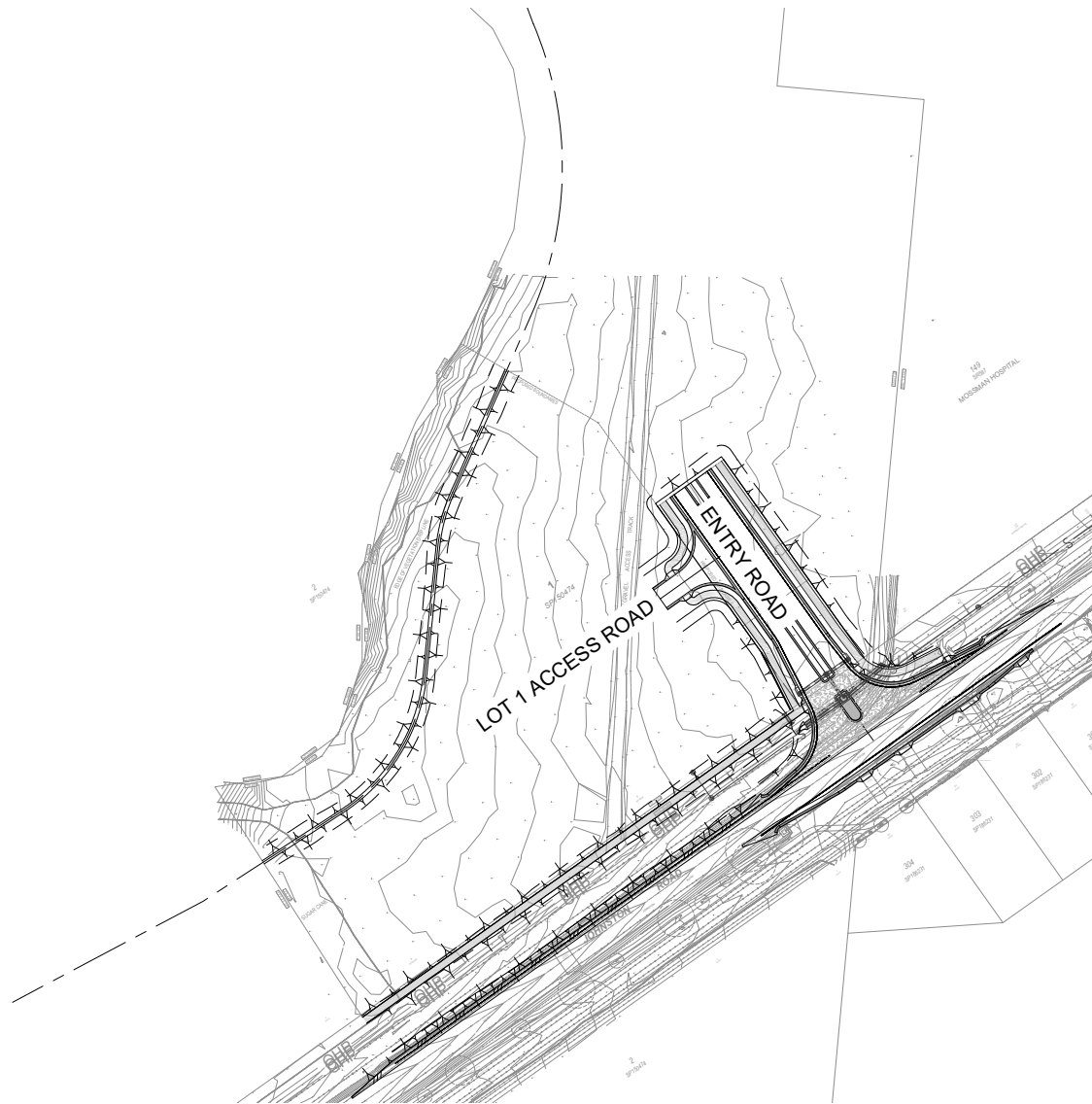


MOSSMAN AGED CARE PLUS CENTRE

JOHNSTON ROAD, MOSSMAN

for

THE SALVATION ARMY AGED CARE PLUS



SITE LAYOUT PLAN
SCALE 1:1000 @ A1



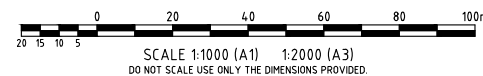
LOCALITY LAYOUT PLAN
NOT TO SCALE

SURVEY INFORMATION:

LOCATION: PART OF LOT 1 ON SP150474
JOHNSTON ROAD,
MOSSMAN

PSM NO. 100497
LEVEL DATUM RL. 10.110 AHD
AMG COORDINATES E:325992.920 N:8179376.360

COUNCIL REFERENCE No. CA 1235/2015 (768753)
MAJOR PROJECT No. MP 06_0243



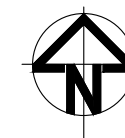
Sheet List Table

Sheet Number	Sheet Title
C100	GENERAL ARRANGEMENT FACE SHEET
C200	EARTHWORKS MANAGEMENT MARRS CREEK LEVEE BANK EARTHWORKS MANAGEMENT PLAN
C201	MARRS CREEK LEVEE BANK LONGITUDINAL AND CROSS SECTIONS
C300	ROADWORKS AND DRAINAGE LAYOUT PLAN
C301	INTERSECTION DETAILS SHEET 1 OF 3
C302	INTERSECTION DETAILS SHEET 2 OF 3
C303	INTERSECTION DETAILS SHEET 3 OF 3
C304	ENTRY ROAD LONGITUDINAL AND CROSS SECTIONS
C305	JOHNSTON ROAD NORTHERN WIDENING LONGITUDINAL AND CROSS SECTIONS
C306	JOHNSTON ROAD SOUTHERN WIDENING LONGITUDINAL AND CROSS SECTIONS
C308	EXTERNAL PATHWAY LONGITUDINAL AND CROSS SECTIONS
C307	LOT 1 ACCESS ROAD LONGITUDINAL AND CROSS SECTIONS
C400	STORMWATER DRAINAGE PLAN STORMWATER DRAINAGE LONGITUDINAL SECTIONS
C500	SERVICES RETICULATION WATER AND SEWER RETICULATION LAYOUT PLAN
C501	SEWER RETICULATION LONGITUDINAL SECTIONS
C600	EROSION AND SEDIMENT CONTROL CONSTRUCTION PHASE EROSION SEDIMENT CONTROL
C601	EROSION SEDIMENT CONTROL PROCEDURES AND NOTES
C602	ON MAINTENANCE EROSION SEDIMENT CONTROL
C603	EROSION SEDIMENT CONTROL DETAILS SHEET 1 OF 2
C604	EROSION SEDIMENT CONTROL DETAILS SHEET 2 OF 2



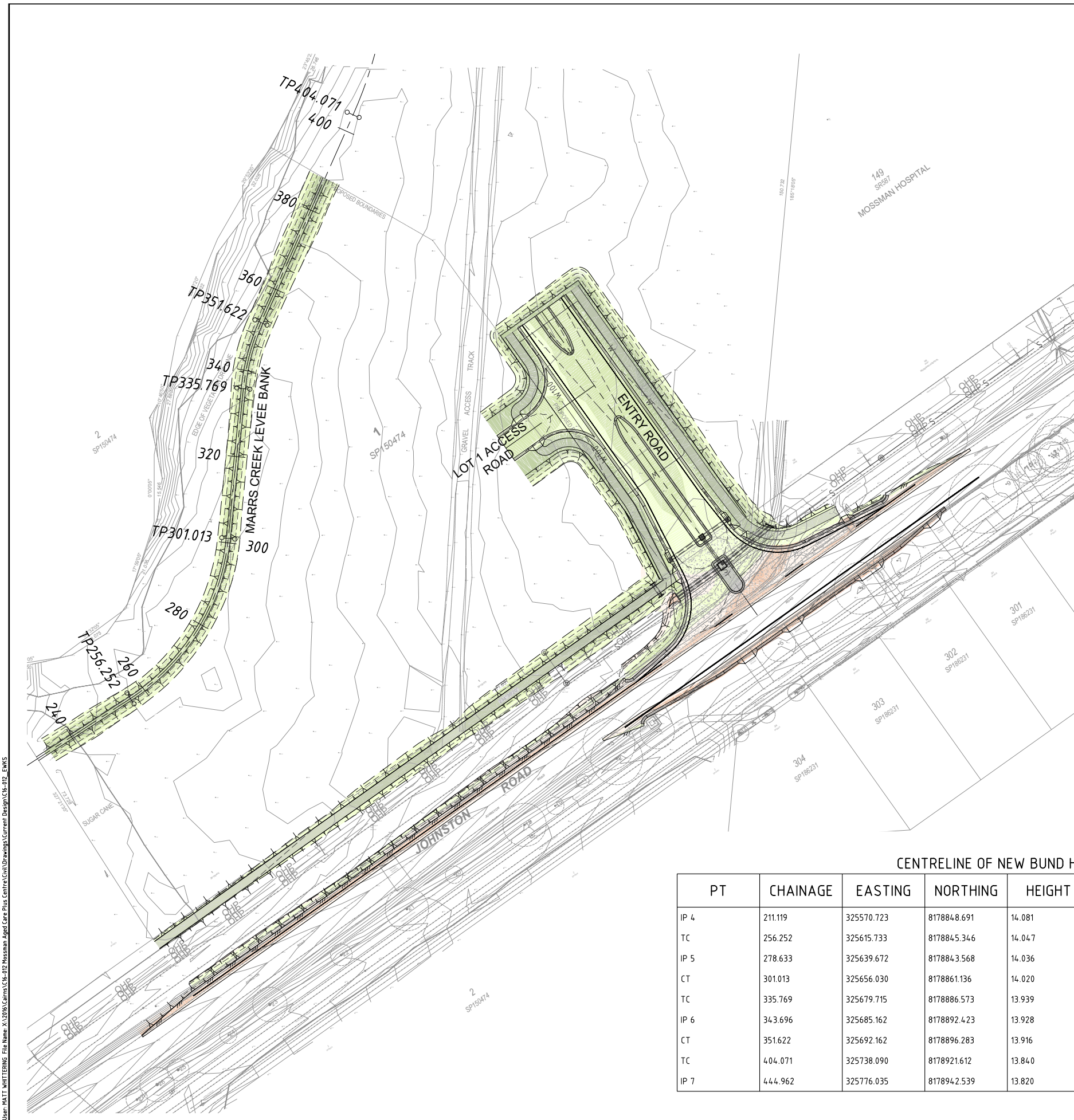
CONSULTANTS

<i>Brisbane Office</i> 2/237 Montague Road, West End, 4104 Phone 07 3255 2122 Facsimile 07 3255 2411	<i>Townsville Office</i> Level 1 Master Builders House 316 Sturt Street, Townsville, 4810 Phone 07 4724 2626 Facsimile 07 4724 2417	<i>Cairns Office</i> Suite 7, Glencorp House 78 Mulgrave Road Cairns, 4870 Phone 07 4031 8777 Facsimile 07 4031 8799	<i>Mackay Office</i> 104B Sydney Street Mackay 4740 Phone 07 4944 1577 Facsimile 07 49441588
--	--	---	---



Date	Design	Checked	Approved	NPER No.	Signed	Drawing No.	Rev
SEPT 2016	MCW	KEM	TJS	9053		C16-012 C100	B

User: HATT WHITEENGINE File Name: X:\2016\Carma\115-012 Mossman Aged Care Plus Centre\Civil Drawings\Current Design\C16-012_EWS



EARTHWORKS NOTES

1. STRIP THE TOPSOIL LAYER TO THE EXTENT SHOWN ON THE DRAWINGS. STOCKPILE SUITABLE MATERIAL FOR LATER RE-USE. DISPOSE OF UNSUITABLE OR SURPLUS MATERIAL OFF-SITE AS DIRECTED.
2. REMOVE ALL STRUCTURES AND SERVICES MARKED FOR DEMOLITION AND DISPOSE OF OFF-SITE AS DIRECTED. DEMOLITION MATERIAL IS NOT TO BE USED AS FILL MATERIAL UNDER ANY CIRCUMSTANCES.
3. ALL EXPOSED SURFACES SHALL BE COMPACTED TO THE REQUIRED DENSITY.
4. ALL ORGANIC, SOFT OR DELETERIOUS MATERIAL THAT IS EXPOSED BY STRIPPING OR CUTTING IS TO BE REMOVED AND REPLACED WITH SUITABLE ENGINEERED FILL.
5. ALL FILL MATERIALS SHALL BE COMPACTED IN LAYERS NO GREATER THAN 200mm TO THE REQUIRED DENSITY. IN NO CASE SHALL THE COMPACTED DENSITY BE LESS THAN 98% S.R.D.D.
6. ALL EXCAVATIONS NECESSARY FOR THE REMOVAL OF VEGETATION OR BURIED SERVICES SHALL BE BACKFILLED WITH MATERIAL THAT IS SIMILAR TO THE RESIDUAL SOIL PROFILE AND COMPACTED AS ABOVE.
7. ALL EARTHWORKS ARE TO BE CONSTRUCTED TO THE APPROPRIATE LEVEL OF SUPERVISION AS REQUIRED BY THE SPECIFICATIONS AND AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS".
8. ALL EXPOSED SURFACES ARE TO BE ADEQUATELY PROTECTED AGAINST SOIL EROSION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES ARE INSTALLED IN ACCORDANCE WITH "HEALTHY WATERS" GUIDELINES.

CUT AND FILL LEGEND

	CUT > 1.25m		FILL 0m - 0.25m
	CUT 1.0m - 1.25m		FILL 0.25m - 0.5m
	CUT 0.75m - 1.0m		FILL 0.5m - 0.75m
	CUT 0.5m - 0.75m		FILL 0.75m - 1.0m
	CUT 0.25m - 0.5m		FILL 1.0m - 1.25m
	CUT 0m - 0.25m		FILL > 1.25m

LEGEND

	Ex.S	EXISTING SEWER MAIN
	Ex.W	EXISTING WATERMAIN
		EXISTING TOE OF BATTER
		EXISTING TOP OF BATTER
		EXISTING ROAD CENTRELINE
		EXISTING EDGE OF BITUMEN
		SUBGRADE EARTHWORKS SURFACE CONTOURS (0.1m CONTOUR INTERVAL)
		PROPOSED TOE OF BATTER
		PROPOSED TOP OF BATTER

VOLUMES (NET)

CUT - 235m³
 FILL - 1390m³
 BALANCE - 1155m³

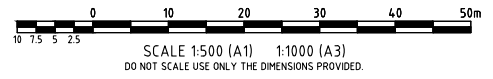
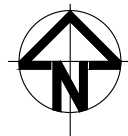
***NOTE: QUANTITIES ARE APPROXIMATELY ONLY, MEASURED FROM EXISTING SURFACE TO SUBGRADE WITH NO ALLOWANCE BEING MADE FOR TOPSOIL, STRIPPING OR BULKING.

EXISTING SERVICES

ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS

CENTRELINE OF NEW BUND HORIZONTAL POINTS

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/ SPIRAL	A.LENGTH	DEFL.ANGLE
IP 4	211.119	325570.723	817884.8691	14.081				
TC	256.252	325615.733	817884.5346	14.047	94°14'57.09"			
IP 5	278.633	325639.672	817884.3568	14.036		R = -50.000	44.761	51°17'31.06"
CT	301.013	325656.030	817886.1136	14.020	42°57'26.03"			
TC	335.769	325679.715	8178886.573	13.939	42°57'26.03"			
IP 6	343.696	325685.162	8178892.423	13.928		R = 50.000	15.853	18°09'58.61"
CT	351.622	325692.162	8178896.283	13.916	61°07'24.64"			
TC	404.071	325738.090	8178921.612	13.840	61°07'24.64"			
IP 7	444.962	325776.035	8178942.539	13.820		R = -100.000	81.782	46°51'27.26"



No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
C	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
B	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					
A	PRELIMINARY ISSUE	MCW	KEM	17.10.16					

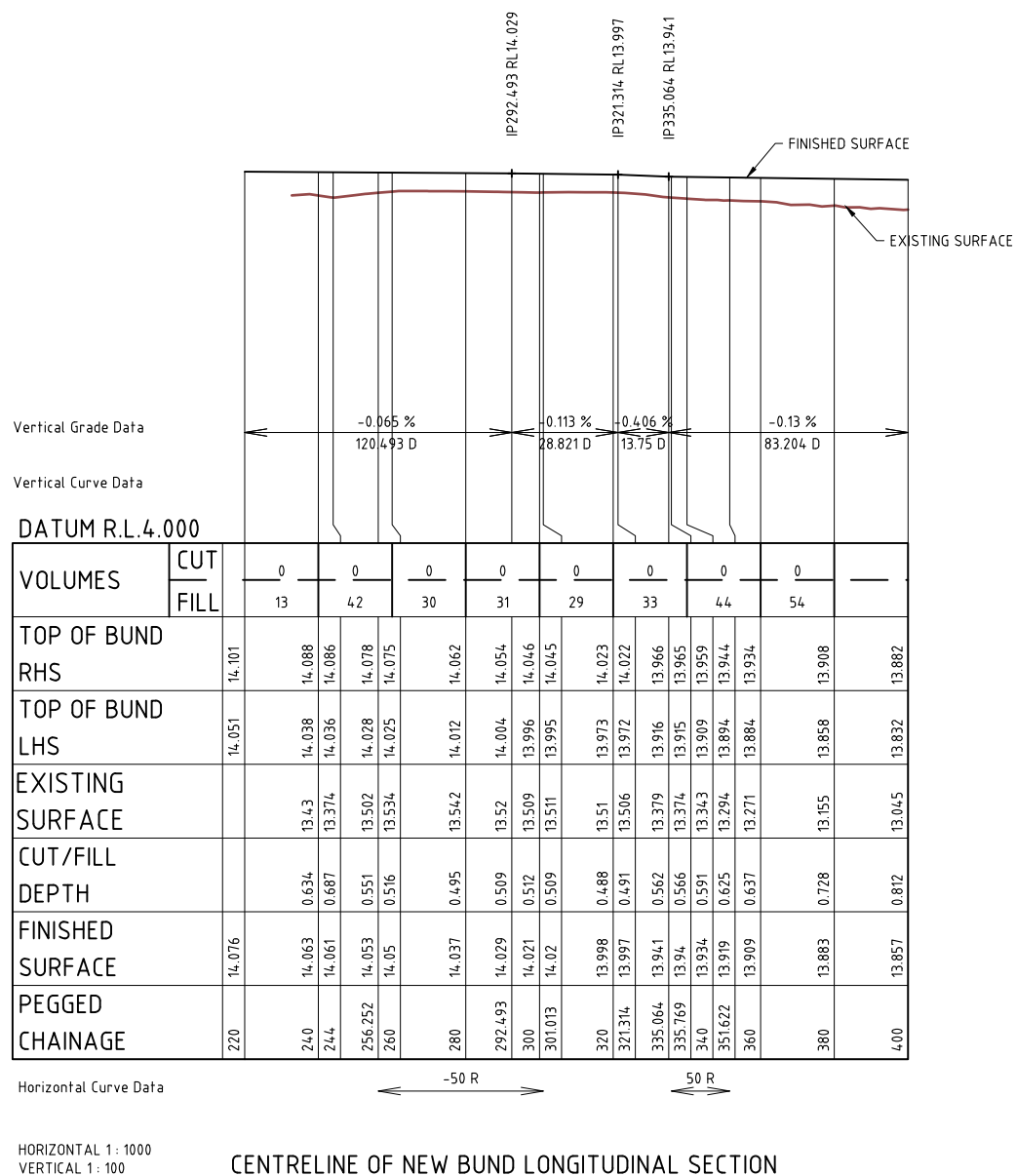
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Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS CENTRE
Title	EARTHWORKS MANAGEMENT PLAN

Townsville Office
 Level 1 Master Builders House
 316 Sturt Street,
 Townsville, 4810
 Phone 07 4724 2626
 Facsimile 07 4724 2417
 ABN 28 860 320 099
 Other Offices:
 Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C200
Checked	KEM	Certified	Rev
Certified	TJS		C
RPEQ No.	9053		

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Datum 12

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EXIST				
offsets				

Datum 12

design 300				
EXIST				
offsets				

Datum 12

design 280				
EXIST				
offsets				

Datum 12

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Datum 12

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Datum 11

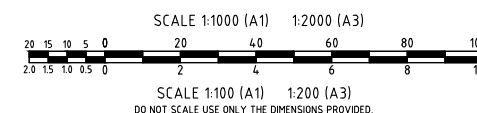
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No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
C	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
B	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					
A	PRELIMINARY ISSUE	MCW	KEM	17.10.16					

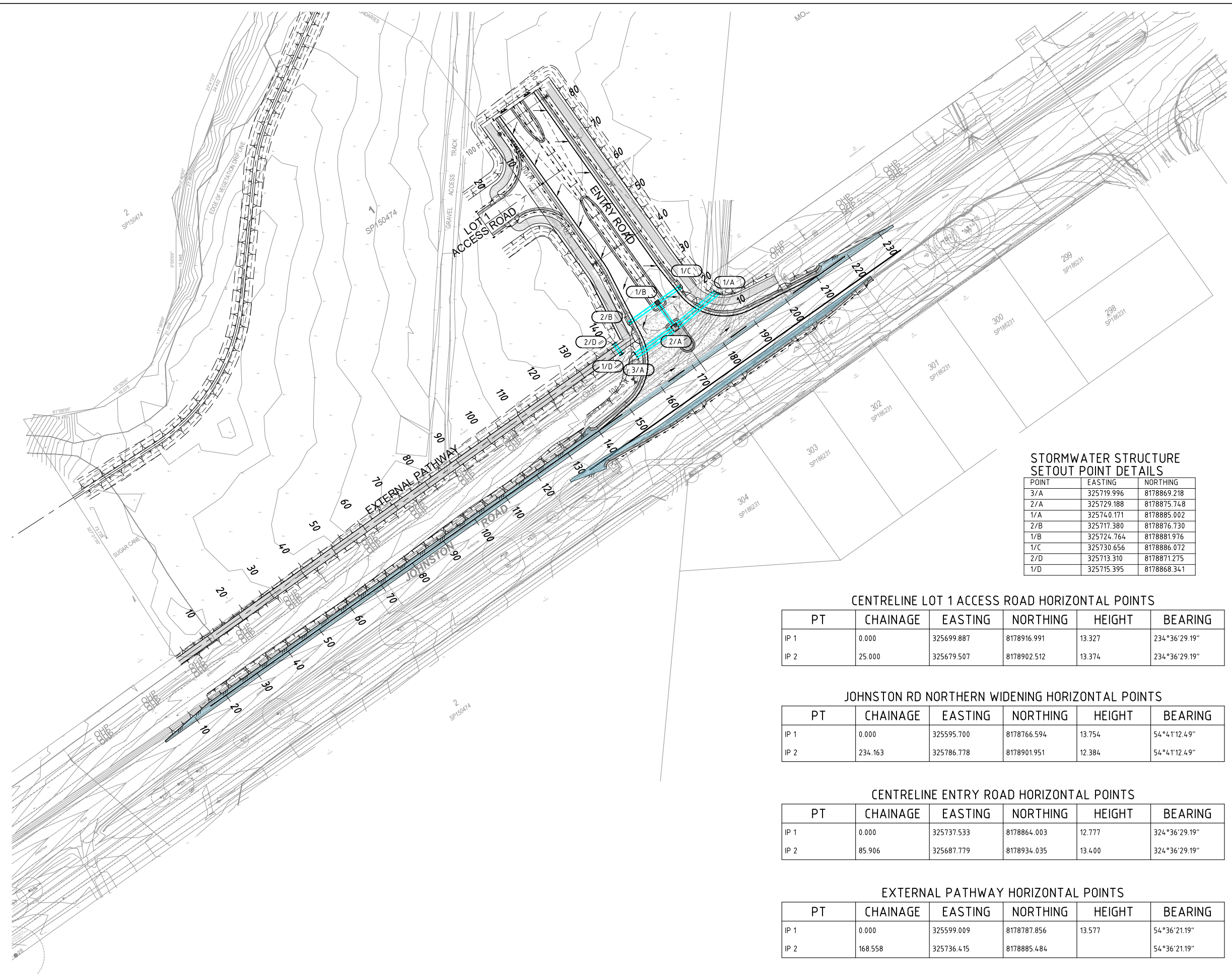
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Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS CENTRE
Title	MARRS CREEK LEVEE BANK LONGITUDINAL AND CROSS SECTIONS

Townsville Office
Level 1 Master Builders House
316 Sturt Street,
Townsville, 4810
Phone 07 4724 2626
Facsimile 07 4724 2417
ABN 28 860 320 099
Other Offices:
Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C201
Checked	KEM	Certified	Rev
Certified	TJS		C
RPEQ No.	9053		

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- ### ROADWORKS NOTES
- FOR ROAD LONGITUDINAL SECTIONS, CROSS SECTIONS & PAVEMENT DETAILS, REFER C16-012-C304 TO C307.
 - FOR INTERSECTION DETAILS, REFER C16-012-C301 TO C303.
 - DOUBLE STREET NAME PLATES REQUIRED AT ALL INTERSECTIONS.

LEVEL DATUM
 PSM NO. 96532-100497
 LEVEL DATUM RL. 10.110 AHD DERIVED
 MGA COORDINATES E:325785.784 N:8179385.049
 SITE COORDINATES E:325992.920 N:8179376.360

EXISTING SERVICES
 ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS

- ### LEGEND
- EXISTING UNDERGROUND ELECTRICITY
 - EXISTING OVERHEAD ELECTRICITY
 - EXISTING UNDERGROUND TELECOMMUNICATIONS
 - EXISTING SEWER MAIN
 - EXISTING WATERMAIN
 - EXISTING TOE OF BATTER
 - EXISTING TOP OF BATTER
 - EXISTING ROAD CENTRELINE
 - EXISTING EDGE OF BITUMEN
 - EXISTING CONTOUR (0.1m CONTOUR INTERVAL)
 - EXISTING FENCE AND GATE
 - SEWER LINE LOCATION
 - STORMWATER MAIN LOCATIONS
 - WATER MAIN LOCATION
 - PROPOSED 100mm DIAMETER SLOTTED PVC SUBSOIL DRAIN WITH FILTER SOCK AND CLEAN OUT POINTS. REFER TCC STD DWG SD-080
 - DIRECTION OF FLOW ARROWS
 - PROPOSED DRAINAGE PIT/LINE NUMBER
 - PROPOSED LOT BOUNDARY
 - PROPOSED LOT EASEMENT
 - PROPOSED FOOTPATH, REFER C16-012-C308 FOR DETAILS

STORMWATER STRUCTURE SETOUT POINT DETAILS

POINT	EASTING	NORTHING
3/A	325719.996	8178869.218
2/A	325729.188	8178875.748
1/A	325740.171	8178885.002
2/B	325717.380	8178876.730
1/B	325724.764	8178881.976
1/C	325730.656	8178886.072
2/D	325713.310	8178871.275
1/D	325715.395	8178868.341

CENTRELINE LOT 1 ACCESS ROAD HORIZONTAL POINTS

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING
IP 1	0.000	325699.887	8178916.991	13.327	234°36'29.19"
IP 2	25.000	325679.507	8178902.512	13.374	234°36'29.19"

JOHNSTON RD NORTHERN WIDENING HORIZONTAL POINTS

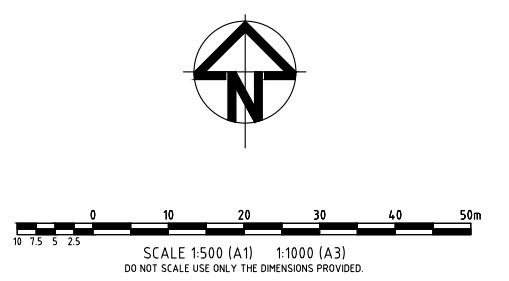
PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING
IP 1	0.000	325595.700	8178766.594	13.754	54°4'12.49"
IP 2	234.163	325786.778	8178901.951	12.384	54°4'12.49"

CENTRELINE ENTRY ROAD HORIZONTAL POINTS

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING
IP 1	0.000	325737.533	8178864.003	12.777	324°36'29.19"
IP 2	85.906	325687.779	8178934.035	13.400	324°36'29.19"

EXTERNAL PATHWAY HORIZONTAL POINTS

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING
IP 1	0.000	325599.009	8178787.856	13.577	54°36'21.19"
IP 2	168.558	325736.415	8178885.484		54°36'21.19"



No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
B	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
A	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					

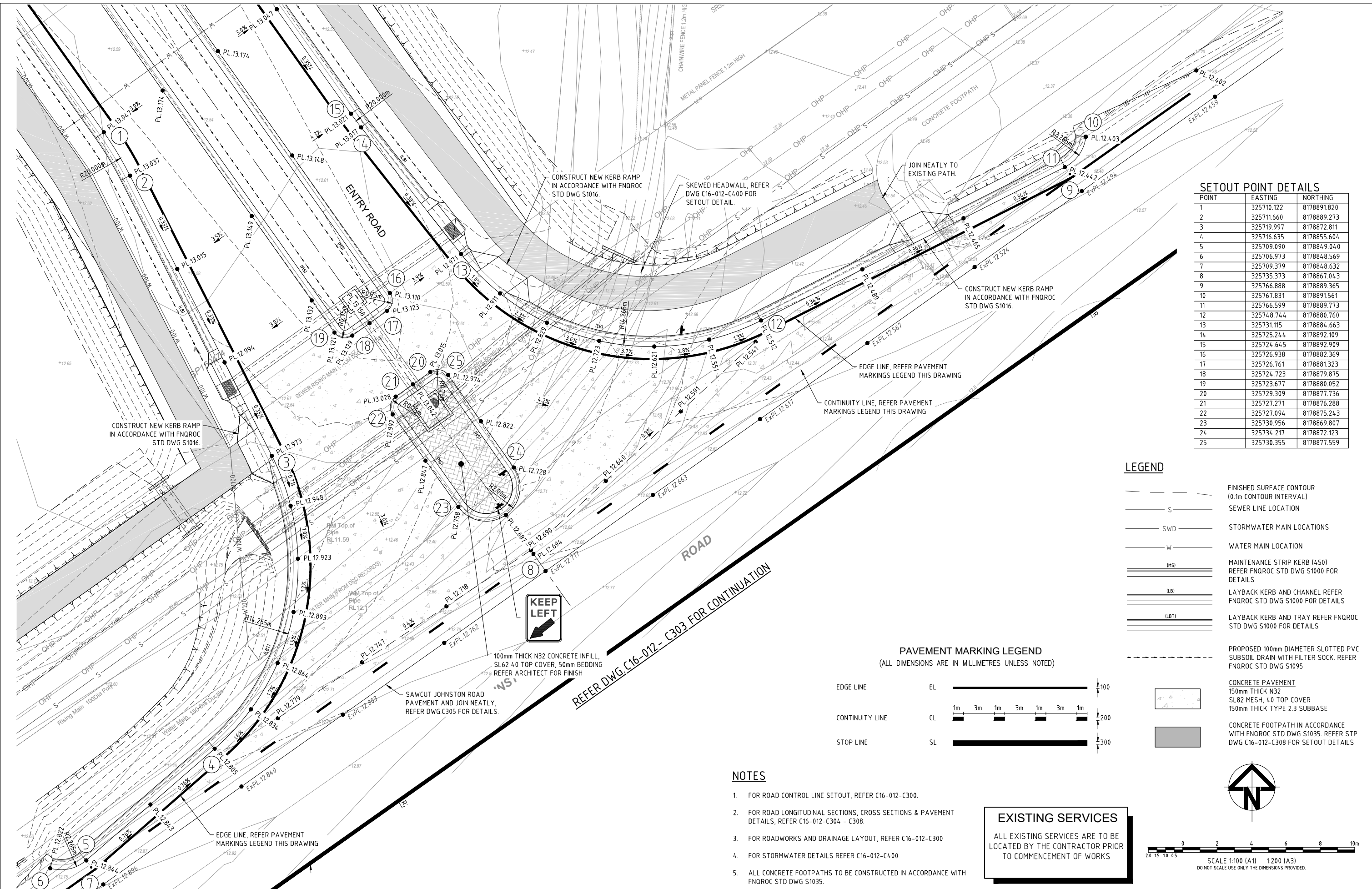
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Client: **THE SALVATION ARMY AGED CARE PLUS**
 Project: **MOSSMAN AGED CARE PLUS CENTRE**
 Title: **ROADWORKS AND DRAINAGE LAYOUT PLAN**

Townsville Office
 Level 1 Master Builders House
 316 Sturt Street,
 Townsville, 4810
 Phone 07 4724 2626
 Facsimile 07 4724 2417
 ABN 28 860 320 099
 Other Offices:
 Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C300
Checked	KEM	Certified	Rev
Certified	TJS		B
RPEQ No.	9053		

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SETOUT POINT DETAILS

POINT	EASTING	NORTHING
1	325710.122	8178891.820
2	325711.660	8178889.273
3	325719.997	8178872.811
4	325716.635	8178855.604
5	325709.090	8178849.040
6	325706.973	8178848.569
7	325709.379	8178848.632
8	325735.373	8178867.043
9	325766.888	8178889.365
10	325767.831	8178891.561
11	325766.599	8178889.773
12	325748.744	8178880.760
13	325731.115	8178884.663
14	325725.244	8178892.109
15	325724.645	8178892.909
16	325726.938	8178882.369
17	325726.761	8178881.323
18	325724.723	8178879.875
19	325723.677	8178880.052
20	325729.309	8178877.736
21	325727.271	8178876.288
22	325727.094	8178875.243
23	325730.956	8178869.807
24	325734.217	8178872.123
25	325730.355	8178877.559

LEGEND

- FINISHED SURFACE CONTOUR (0.1m CONTOUR INTERVAL)
- SEWER LINE LOCATION
- STORMWATER MAIN LOCATIONS
- WATER MAIN LOCATION
- MAINTENANCE STRIP KERB (450) REFER FNQROC STD DWG S1000 FOR DETAILS
- LAYBACK KERB AND CHANNEL REFER FNQROC STD DWG S1000 FOR DETAILS
- LAYBACK KERB AND TRAY REFER FNQROC STD DWG S1000 FOR DETAILS
- PROPOSED 100mm DIAMETER SLOTTED PVC SUBSOIL DRAIN WITH FILTER SOCK. REFER FNQROC STD DWG S1095
- CONCRETE PAVEMENT 150mm THICK N32 SL82 MESH, 40 TOP COVER 150mm THICK TYPE 2.3 SUBBASE
- CONCRETE FOOTPATH IN ACCORDANCE WITH FNQROC STD DWG S1035. REFER STP DWG C16-012-C308 FOR SETOUT DETAILS

PAVEMENT MARKING LEGEND
(ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED)

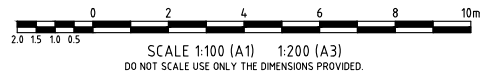
- EDGE LINE EL
- CONTINUITY LINE CL
- STOP LINE SL

NOTES

- FOR ROAD CONTROL LINE SETOUT, REFER C16-012-C300.
- FOR ROAD LONGITUDINAL SECTIONS, CROSS SECTIONS & PAVEMENT DETAILS, REFER C16-012-C304 - C308.
- FOR ROADWORKS AND DRAINAGE LAYOUT, REFER C16-012-C300
- FOR STORMWATER DETAILS REFER C16-012-C400
- ALL CONCRETE FOOTPATHS TO BE CONSTRUCTED IN ACCORDANCE WITH FNQROC STD DWG S1035.

EXISTING SERVICES

ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS



No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
C	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
B	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					
A	ISSUED FOR INFORMATION	MCW	KEM	17.10.16					

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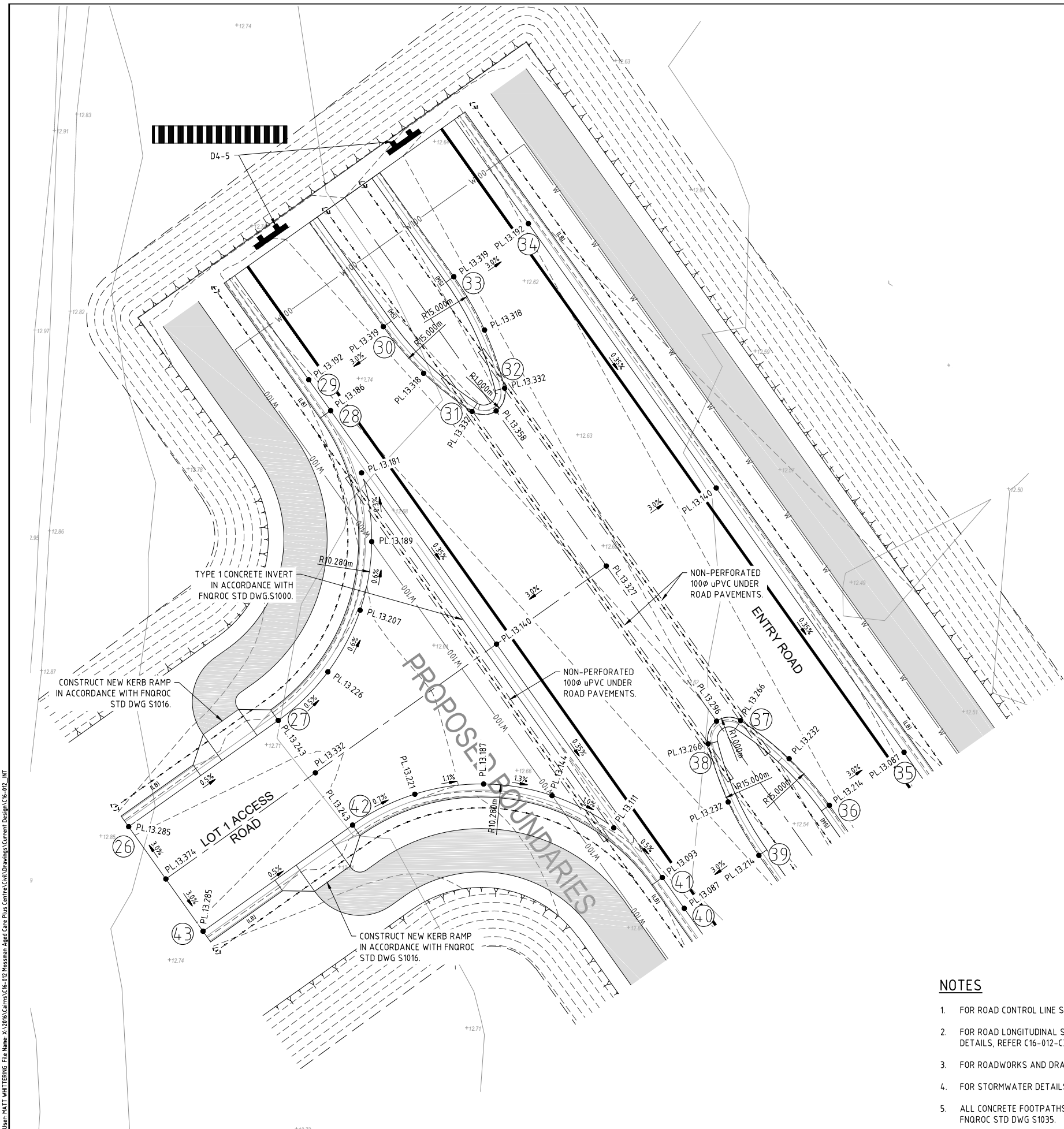
Client **THE SALVATION ARMY AGED CARE PLUS**
 Project **MOSSMAN AGED CARE PLUS CENTRE**
 Title **INTERSECTION DETAIL SHEET 1 OF 3**

Townsville Office
 Level 1 Master Builders House
 316 Sturt Street,
 Townsville, 4810
 Phone 07 4724 2626
 Facsimile 07 4724 2417
 ABN 28 860 320 099
 Other Offices:
 Brisbane-Cairns-Mackay

Design	MCW
Drawn	MCW
Date	SEPT 2016
Checked	KEM
Certified	TJS
RPEQ No.	9053

NOT FOR CONSTRUCTION

Job Number C16-012	Drawing Number C301
Certified	Rev C



SETOUT POINT DETAILS

POINT	EASTING	NORTHING
26	325677.787	8178904.933
27	325684.704	8178909.848
28	325687.130	8178924.182
29	325686.117	8178925.608
30	325689.569	8178928.061
31	325693.667	8178924.143
32	325695.181	8178925.219
33	325692.830	8178930.378
34	325696.282	8178932.831
35	325713.657	8178908.374
36	325710.205	8178905.922
37	325706.107	8178909.840
38	325704.593	8178908.764
39	325706.944	8178903.605
40	325703.492	8178901.152
41	325702.478	8178902.579
42	325688.144	8178905.005
43	325681.227	8178900.091

LEGEND

- FINISHED SURFACE CONTOUR (0.1m CONTOUR INTERVAL)
- SEWER LINE LOCATION
- STORMWATER MAIN LOCATIONS
- WATER MAIN LOCATION
- MAINTENANCE STRIP KERB (450) REFER FNQROC STD DWG S1000 FOR DETAILS
- LAYBACK KERB AND CHANNEL REFER FNQROC STD DWG S1000 FOR DETAILS

PAVEMENT MARKING LEGEND
(ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED)

- EDGE LINE EL
- CONTINUITY LINE CL
- STOP LINE SL

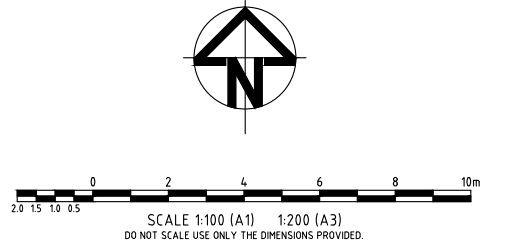
- CONCRETE PAVEMENT
150mm THICK N32
SL82 MESH, 40 TOP COVER
150mm THICK TYPE 2.3 SUBBASE
- CONCRETE FOOTPATH IN ACCORDANCE WITH FNQROC STD DWG S1035. REFER STP DWG C16-012-C308 FOR SETOUT DETAILS

NOTES

- FOR ROAD CONTROL LINE SETOUT, REFER C16-012-C300.
- FOR ROAD LONGITUDINAL SECTIONS, CROSS SECTIONS & PAVEMENT DETAILS, REFER C16-012-C304 TO C308.
- FOR ROADWORKS AND DRAINAGE LAYOUT, REFER C16-012-C300
- FOR STORMWATER DETAILS REFER C16-012-C400
- ALL CONCRETE FOOTPATHS TO BE CONSTRUCTED IN ACCORDANCE WITH FNQROC STD DWG S1035.

EXISTING SERVICES

ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS



User: HAITI WHITTINGTON File Name: X:\2016\Current\Drawings\Current Design\16-012_A1T Plot Date: 17/09/2016 3:42:20 PM

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
A	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					

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Client **THE SALVATION ARMY AGED CARE PLUS**
 Project **MOSSMAN AGED CARE PLUS CENTRE**
 Title **INTERSECTION DETAILS SHEET 2 OF 3**

STP
CONSULTANTS

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Townsville, 4810
Phone 07 4724 2626
Facsimile 07 4724 2417
ABN 28 860 320 099
Other Offices:
Brisbane-Cairns-Mackay

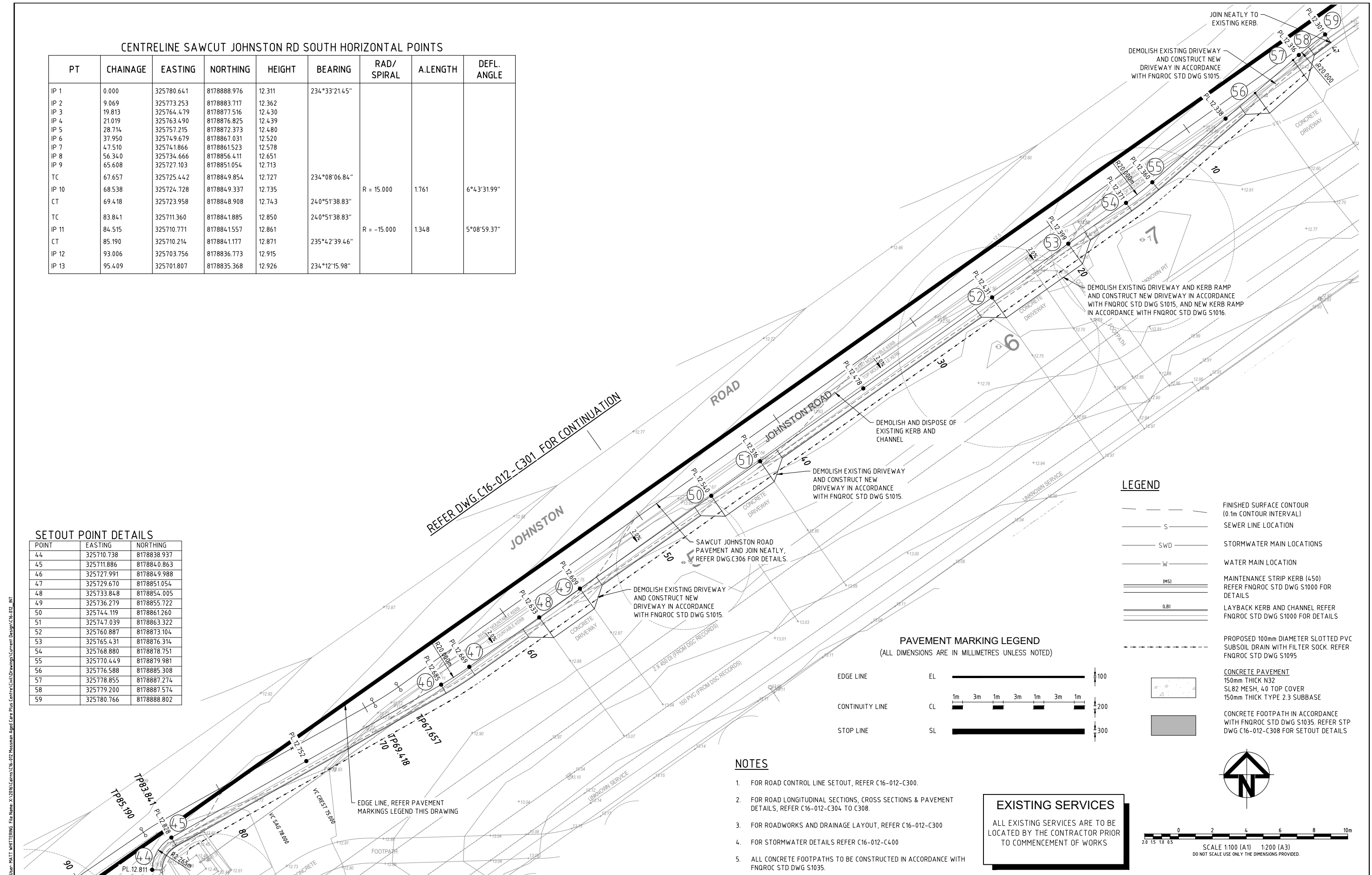
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Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C302
Checked	KEM	Certified	Rev
Certified	TJS		A
RPEQ No.	9053		

CENTRELINE SAWCUT JOHNSTON RD SOUTH HORIZONTAL POINTS

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/ SPIRAL	A.LENGTH	DEFL. ANGLE
IP 1	0.000	325780.641	8178888.976	12.311	234°33'21.45"			
IP 2	9.069	325773.253	8178883.717	12.362				
IP 3	19.813	325764.479	8178877.516	12.430				
IP 4	21.019	325763.490	8178876.825	12.439				
IP 5	28.714	325757.215	8178872.373	12.480				
IP 6	37.950	325749.679	8178867.031	12.520				
IP 7	47.510	325741.866	8178861.523	12.578				
IP 8	56.340	325734.666	8178856.411	12.651				
IP 9	65.608	325727.103	8178851.054	12.713				
TC	67.657	325725.442	8178849.854	12.727	234°08'06.84"			
IP 10	68.538	325724.728	8178849.337	12.735		R = 15.000	1.761	6°43'31.99"
CT	69.418	325723.958	8178848.908	12.743	240°51'38.83"			
TC	83.841	325711.360	8178841.885	12.850	240°51'38.83"			
IP 11	84.515	325710.771	8178841.557	12.861		R = -15.000	1.348	5°08'59.37"
CT	85.190	325710.214	8178841.177	12.871	235°42'39.46"			
IP 12	93.006	325703.756	8178836.773	12.915				
IP 13	95.409	325701.807	8178835.368	12.926	234°12'15.98"			

SETOUT POINT DETAILS

POINT	EASTING	NORTHING
44	325710.738	8178838.937
45	325711.886	8178840.863
46	325727.991	8178849.988
47	325729.670	8178851.054
48	325733.848	8178854.005
49	325736.279	8178855.722
50	325744.119	8178861.260
51	325747.039	8178863.322
52	325760.887	8178873.104
53	325765.431	8178876.314
54	325768.880	8178878.751
55	325770.449	8178879.981
56	325776.588	8178885.308
57	325778.855	8178887.274
58	325779.200	8178887.574
59	325780.766	8178888.802



LEGEND

- FINISHED SURFACE CONTOUR (0.1m CONTOUR INTERVAL)
- SEWER LINE LOCATION
- STORMWATER MAIN LOCATIONS
- WATER MAIN LOCATION
- MAINTENANCE STRIP KERB (450) REFER FNQROC STD DWG S1000 FOR DETAILS
- LAYBACK KERB AND CHANNEL REFER FNQROC STD DWG S1000 FOR DETAILS
- PROPOSED 100mm DIAMETER SLOTTED PVC SUBSOIL DRAIN WITH FILTER SOCK. REFER FNQROC STD DWG S1095

PAVEMENT MARKING LEGEND
(ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED)

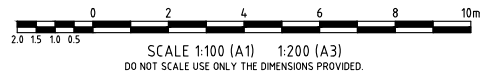
- EDGE LINE EL
- CONTINUITY LINE CL
- STOP LINE SL

NOTES

- FOR ROAD CONTROL LINE SETOUT, REFER C16-012-C300.
- FOR ROAD LONGITUDINAL SECTIONS, CROSS SECTIONS & PAVEMENT DETAILS, REFER C16-012-C304 TO C308.
- FOR ROADWORKS AND DRAINAGE LAYOUT, REFER C16-012-C300
- FOR STORMWATER DETAILS REFER C16-012-C400
- ALL CONCRETE FOOTPATHS TO BE CONSTRUCTED IN ACCORDANCE WITH FNQROC STD DWG S1035.

EXISTING SERVICES

ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS



A ISSUED FOR APPROVAL		MCW	KEM	09.11.16		
No.	Amendments	By	Appd	Date	No.	Amendments
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Client **THE SALVATION ARMY AGED CARE PLUS**
 Project **MOSSMAN AGED CARE PLUS CENTRE**
 Title **INTERSECTION DETAILS SHEET 3 OF 3**

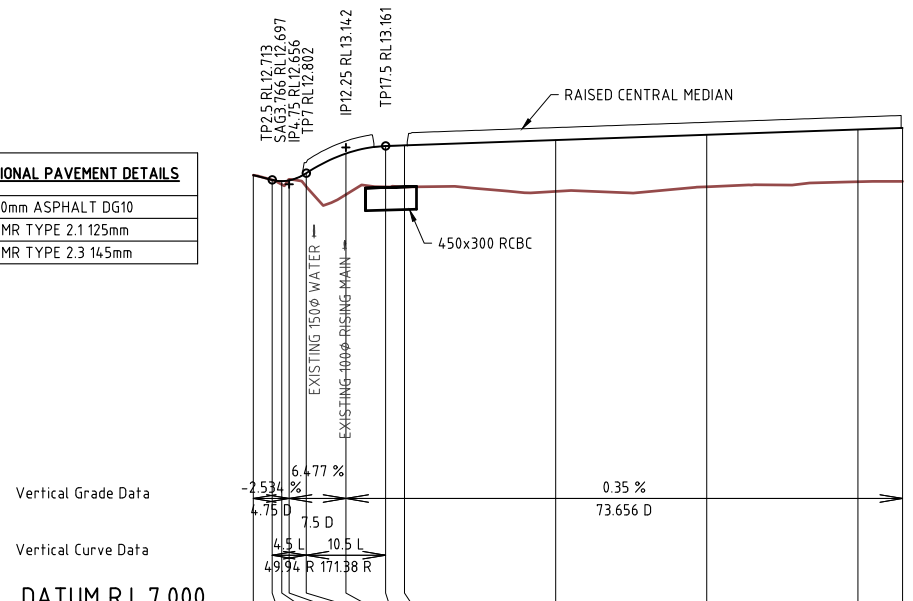
STP
CONSULTANTS

Townsville Office
Level 1 Master Builders House
316 Sturt Street,
Townsville, 4810
Phone 07 4724 2626
Facsimile 07 4724 2417
ABN 28 860 320 099

Other Offices:
Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C303
Checked	KEM	Certified	Rev
Certified	TJS		A
RPEQ No.	9053		

ENTRY ROAD PROVISIONAL PAVEMENT DETAILS	
SURFACING	30mm ASPHALT DG10
BASE	DMR TYPE 2.1 125mm
SUB BASE	DMR TYPE 2.3 145mm

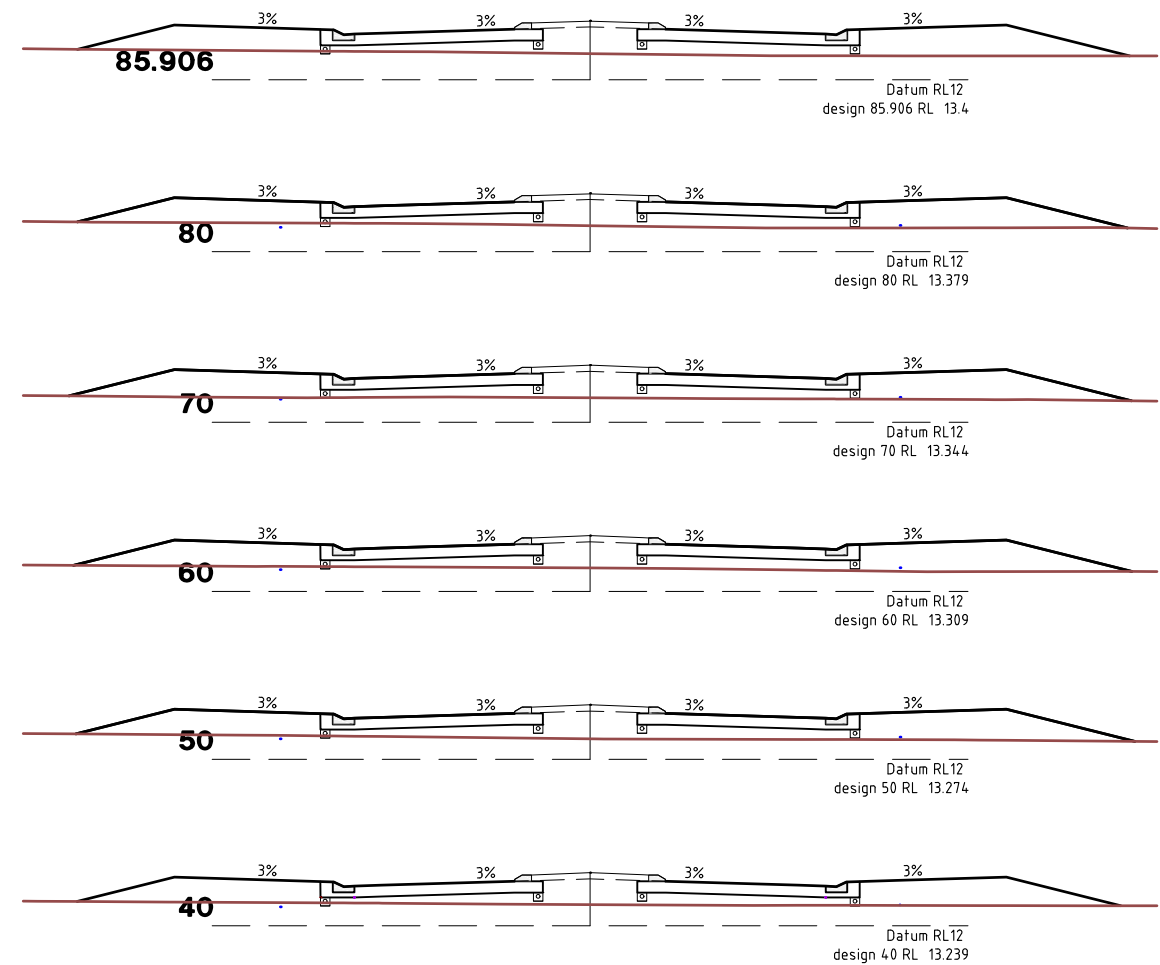


DATUM R.L. 7.000						
LIP OF KERB RHS					13.052	13.122
LIP OF KERB LHS					13.052	13.122
EXISTING SURFACE	12.777	12.713	12.653	12.721	12.627	12.621
FINISHED SURFACE					12.561	12.623
PEGGED CHAINAGE	0	2.5	3.766	4.75	7	12.519
					17.5	20
					4.0	6.0
					8.0	85.906
SUPER ELEVATION						

HORIZONTAL 1 : 500
VERTICAL 1 : 50
Horizontal Curve Data

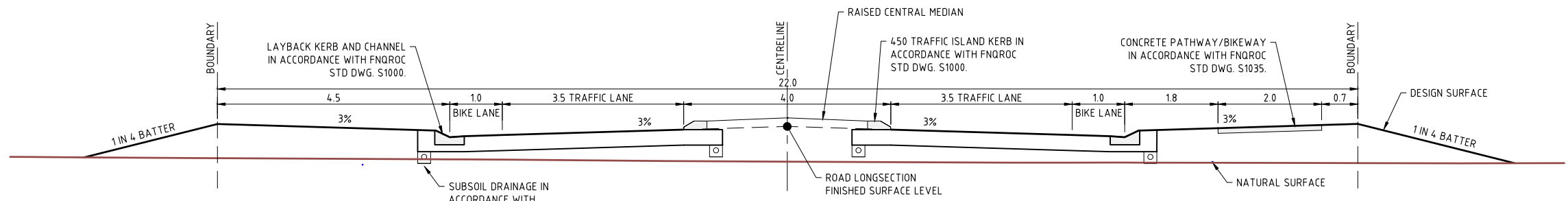
CENTRELINE ENTRY ROAD LONGITUDINAL SECTION

● DENOTES REFER TO INTERSECTION DETAILS



ENTRY ROAD CROSS SECTIONS

SCALE 1 IN 100 FULL SIZE @ A1

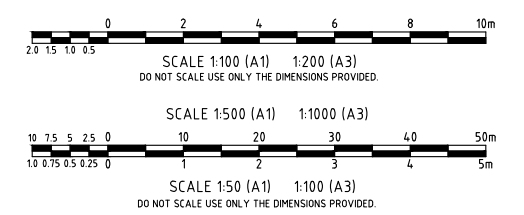


ENTRY ROAD TYPICAL SECTION

SCALE 1 IN 50 FULL SIZE @ A1

NOTES

- FOR ROAD CONTROL LINE SETOUT, REFER C16-012-C300.
- SERVICE CROSSINGS SHOWN ARE APPROXIMATE AND MAY VARY AT DIFFERENT STAGES OF CONSTRUCTION.
- FOR INTERSECTION DETAILS, REFER C16-012-C301 TO C303.



User: HATT_WHTTEBING File Name: X:\2016\Carina\16_012 Mossman Aged Care Plus Centre\Civil Drawings\Current Design\C16-012_RLS

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
B	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
A	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					

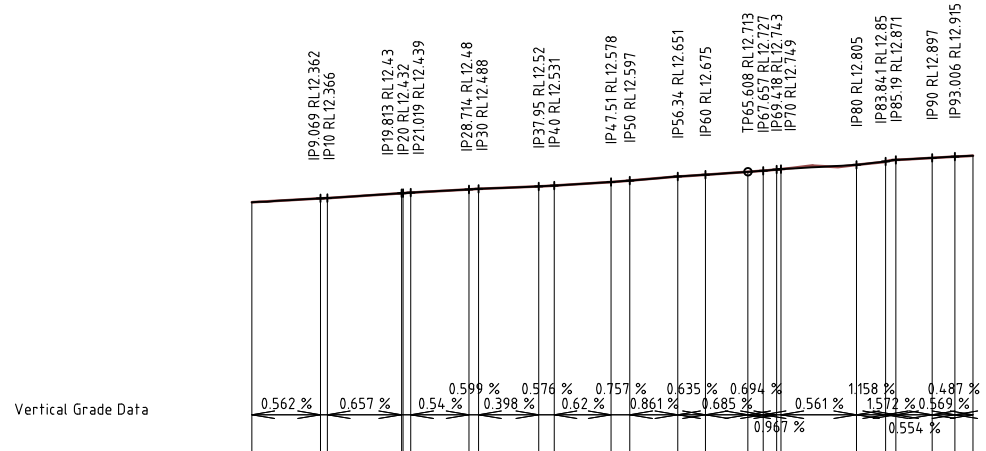
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Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS CENTRE
Title	ENTRY ROAD LONGITUDINAL AND CROSS SECTIONS

STP
CONSULTANTS

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Level 1 Master Builders House
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Townsville, 4810
Phone 07 4724 2626
Facsimile 07 4724 2417
ABN 28 860 320 099
Other Offices:
Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C304
Checked	KEM	Certified	Rev
Certified	TJS		B
RPEQ No.	9053		

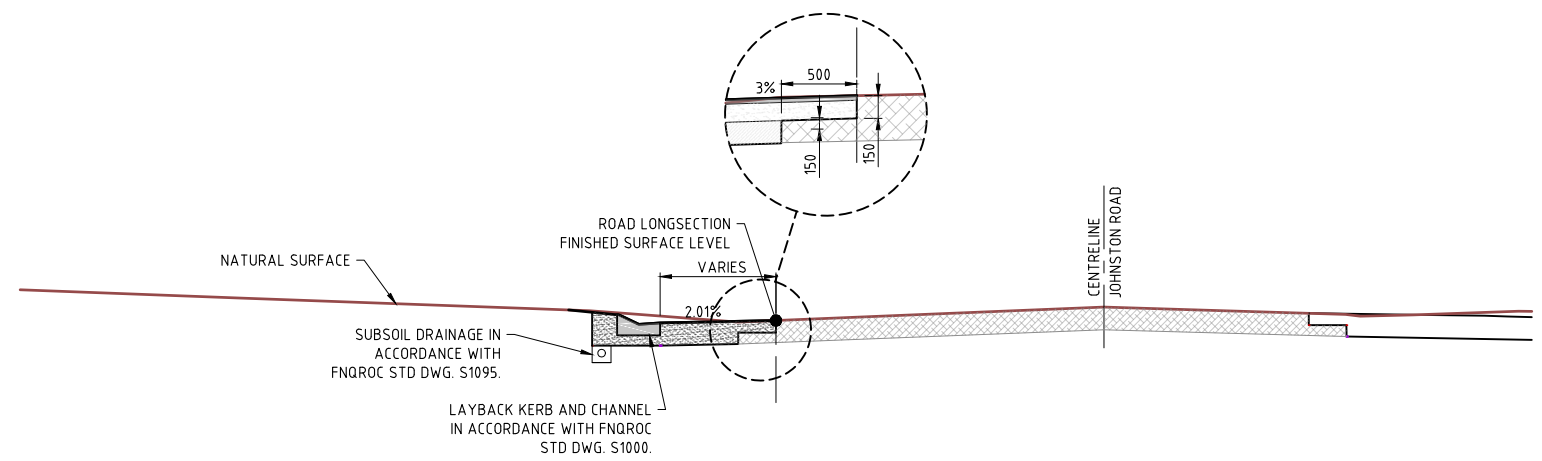


LIP OF KERB LHS	●																								
EXISTING SURFACE	12.311	12.362	12.366	12.43	12.432	12.439	12.48	12.488	12.52	12.531	12.578	12.597	12.651	12.675	12.713	12.727	12.743	12.749	12.805	12.85	12.871	12.897	12.915	12.926	
FINISHED SURFACE	12.311	12.362	12.366	12.43	12.432	12.439	12.48	12.488	12.52	12.531	12.578	12.597	12.651	12.675	12.713	12.727	12.743	12.749	12.805	12.85	12.871	12.897	12.915	12.926	
PEGGED CHAINAGE	0	9.069	10	19.813	20	21.019	28.714	30	37.95	40	47.51	50	56.34	60	65.608	67.657	69.418	70	80	83.841	85.19	90	93.006	95.409	
SUPER ELEVATION	-----																								

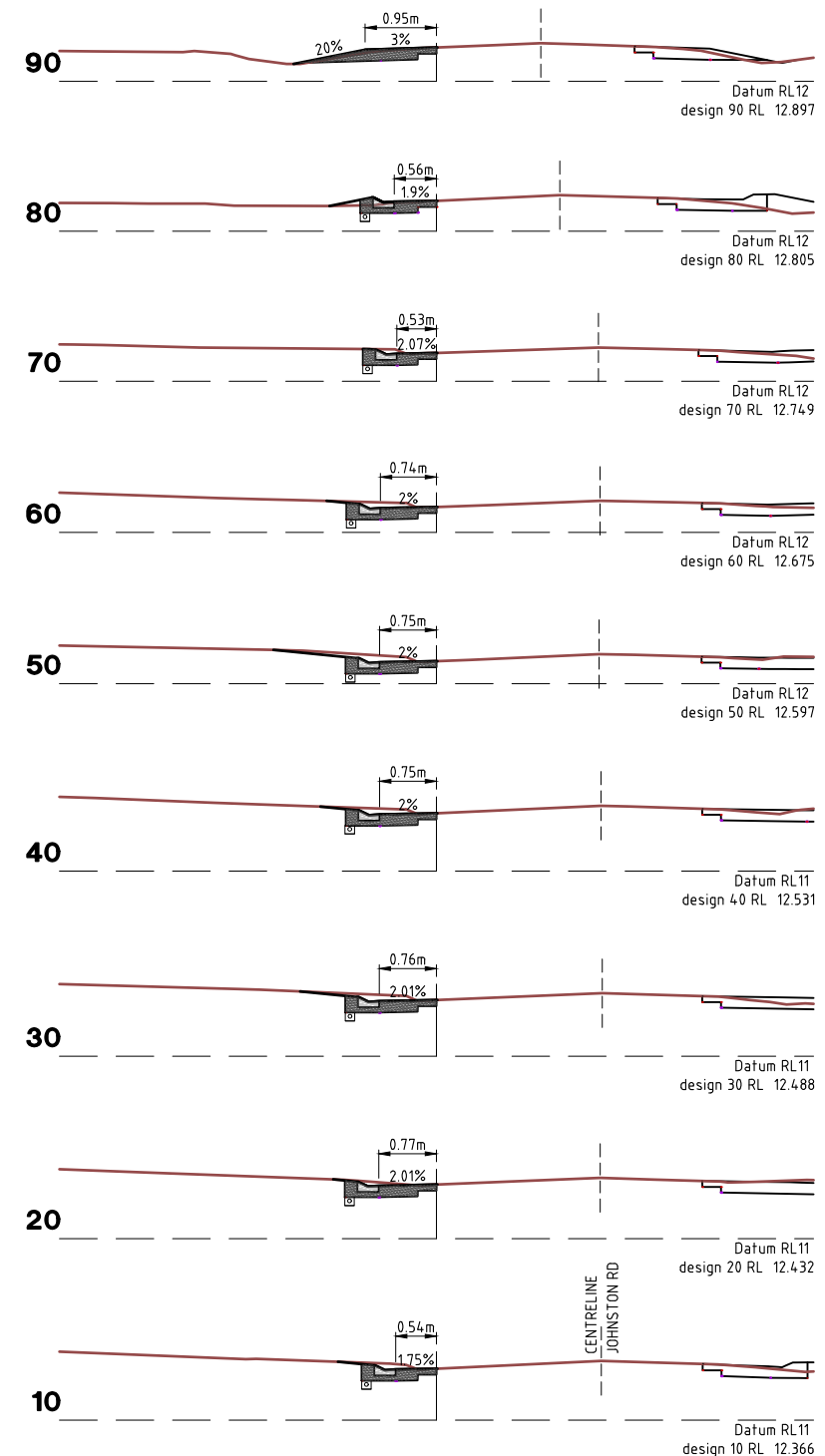
HORIZONTAL 1 : 500
VERTICAL 1 : 50
Horizontal Curve Data

JOHNSTON ROAD PROVISIONAL PAVEMENT DETAILS	
SURFACING	30mm ASPHALT DG10
BASE	DMR TYPE 2.1 120mm
SUB BASE	DMR TYPE 2.3 150mm

SAWCUT LINE JOHNSTON ROAD SOUTH LONGITUDINAL SECTION
● DENOTES REFER TO INTERSECTION DETAILS



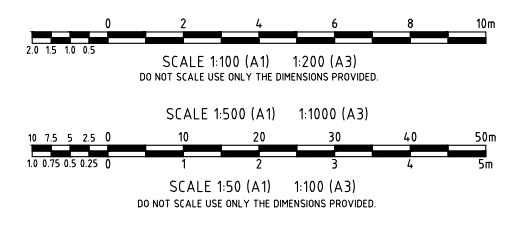
JOHNSTON ROAD SOUTH WIDENING TYPICAL SECTION
SCALE 1 IN 50 FULL SIZE @ A1



JOHNSTON ROAD SOUTH WIDENING CROSS SECTIONS
SCALE 1 IN 100 FULL SIZE @ A1

NOTES

- FOR ROAD CONTROL LINE SETOUT, REFER C16-012-C303.
- SERVICE CROSSINGS SHOWN ARE APPROXIMATE AND MAY VARY AT DIFFERENT STAGES OF CONSTRUCTION.
- FOR INTERSECTION DETAILS, REFER C16-012-C301 TO C303.



User: MATT WHITTING File Name: X:\2016\Current\16-012 Mossman Aged Care Plus Centre\Civil Drawings\Current Design\16-012_RLS Plot Date: 25/07/2016 8:56:08 AM

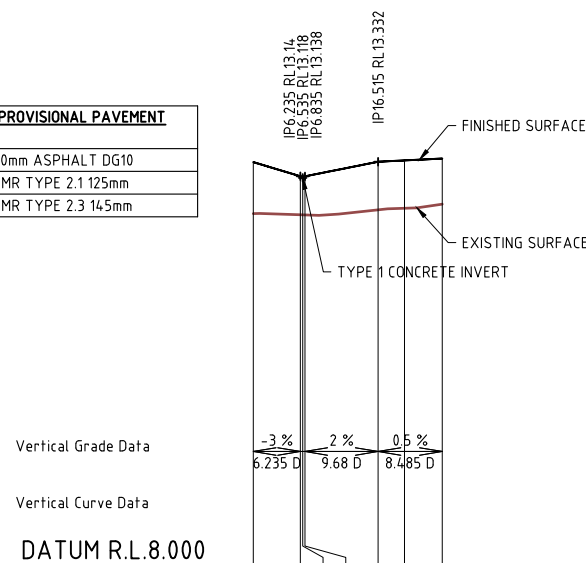
A		ISSUED FOR APPROVAL	MCW	KEM	09.11.16				
No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
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Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS CENTRE
Title	JOHNSTON ROAD SOUTHERN WIDENING LONGITUDINAL AND CROSS SECTIONS

Townsville Office
Level 1 Master Builders House
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Townsville, 4810
Phone 07 4724 2626
Facsimile 07 4724 2417
ABN 28 860 320 099
Other Offices:
Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C306
Checked	KEM	Certified	Rev
Certified	TJS		A
RPEQ No.	9053		

LOT 1 ACCESS ROAD PROVISIONAL PAVEMENT DETAILS	
SURFACING	30mm ASPHALT DG10
BASE	DMR TYPE 2.1 125mm
SUB BASE	DMR TYPE 2.3 145mm



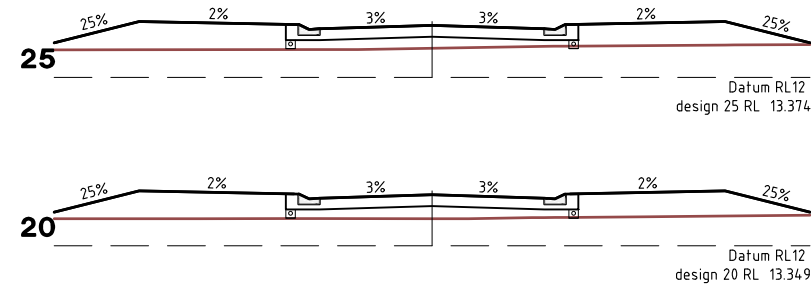
DATUM R.L. 8.000	
LIP OF KERB RHS	●
LIP OF KERB LHS	●
EXISTING SURFACE	12.645, 12.631, 12.63, 12.629, 13.243, 13.26, 13.285
FINISHED SURFACE	13.332, 13.349, 13.374, 13.285
PEGGED CHAINAGE	0, 6.235, 6.535, 6.835, 16.515, 20, 25
SUPER ELEVATION	

HORIZONTAL 1 : 500
VERTICAL 1 : 50

Horizontal Curve Data

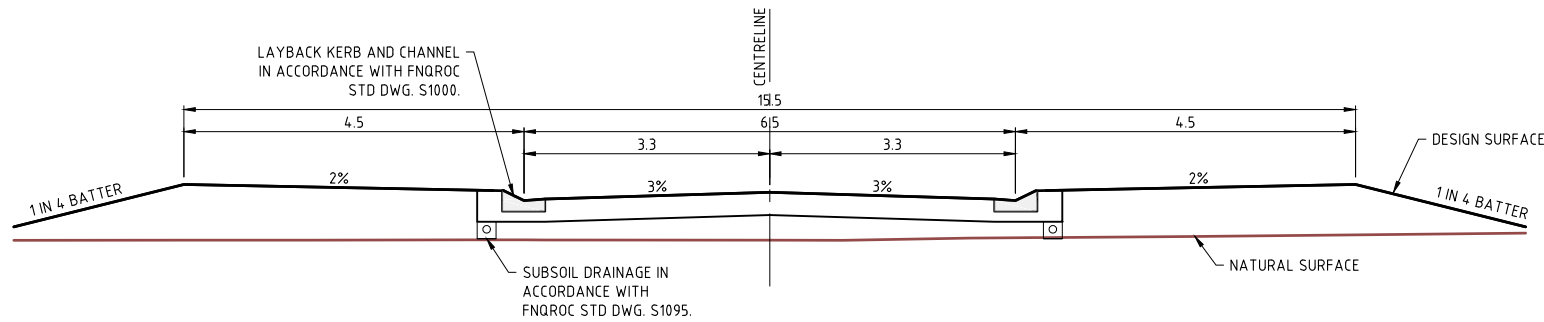
CENTRELINE LOT 1 ACCESS ROAD LONGITUDINAL SECTION

● DENOTES REFER TO INTERSECTION DETAILS



LOT 1 ACCESS ROAD CROSS SECTIONS

SCALE 1 IN 100 FULL SIZE @ A1

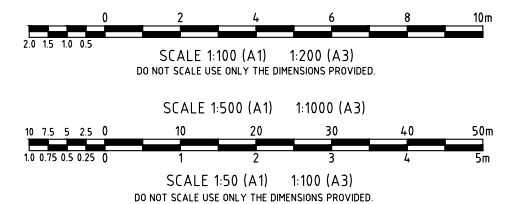


LOT 1 ACCESS ROAD TYPICAL SECTION

SCALE 1 IN 50 FULL SIZE @ A1

NOTES

- FOR ROAD CONTROL LINE SETOUT, REFER C16-012-C300.
- SERVICE CROSSINGS SHOWN ARE APPROXIMATE AND MAY VARY AT DIFFERENT STAGES OF CONSTRUCTION.
- FOR INTERSECTION DETAILS, REFER C16-012-C301 TO C303.



User: HATT_WHTTEING File Name: X:\2016\Carina\16-012 Mossman Aged Care Plus Centre\Drawings\Current Design\16-012_RLS

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
A	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					

Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS CENTRE
Title	LOT 1 ACCESS ROAD LONGITUDINAL AND CROSS SECTIONS

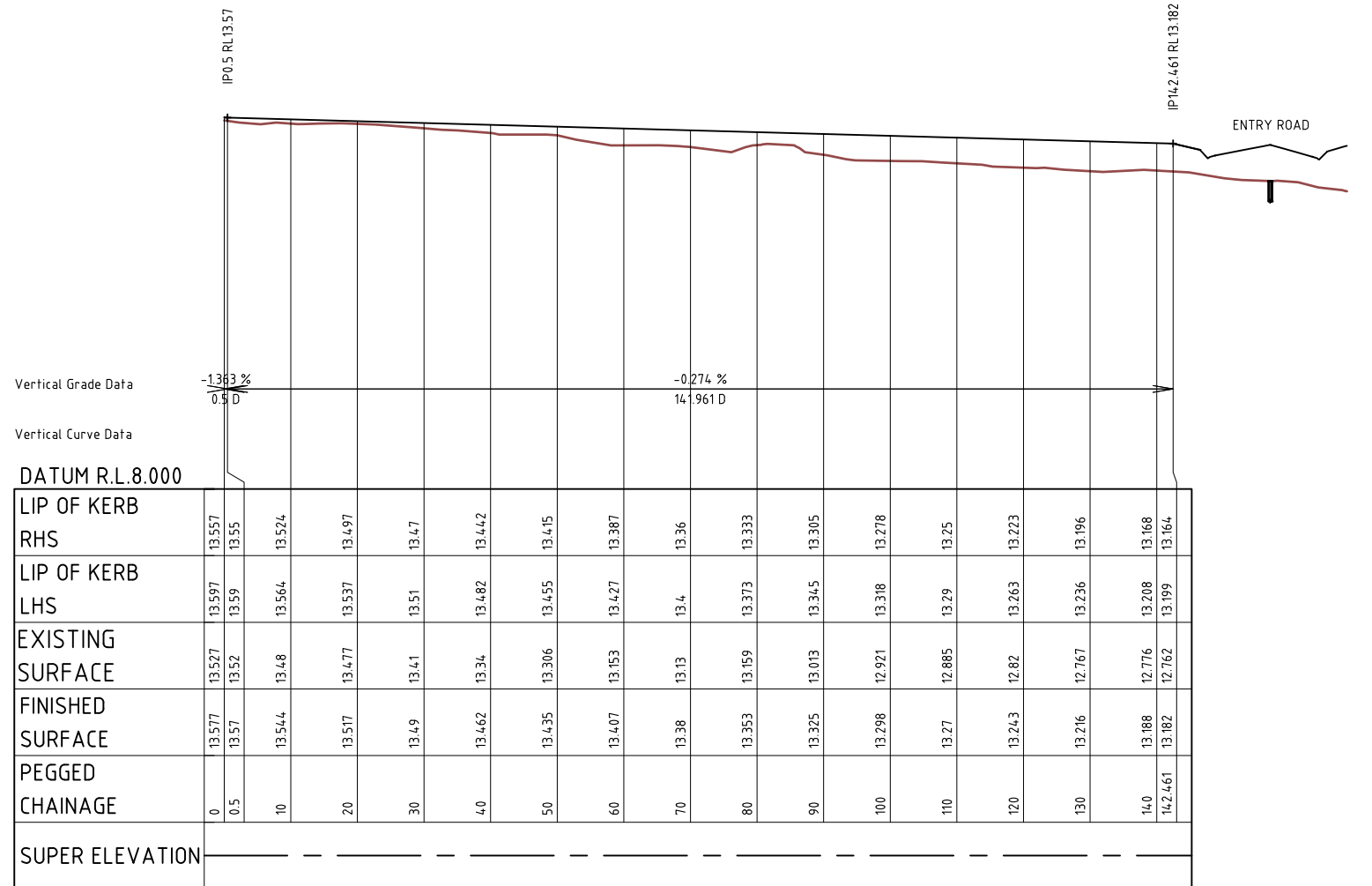
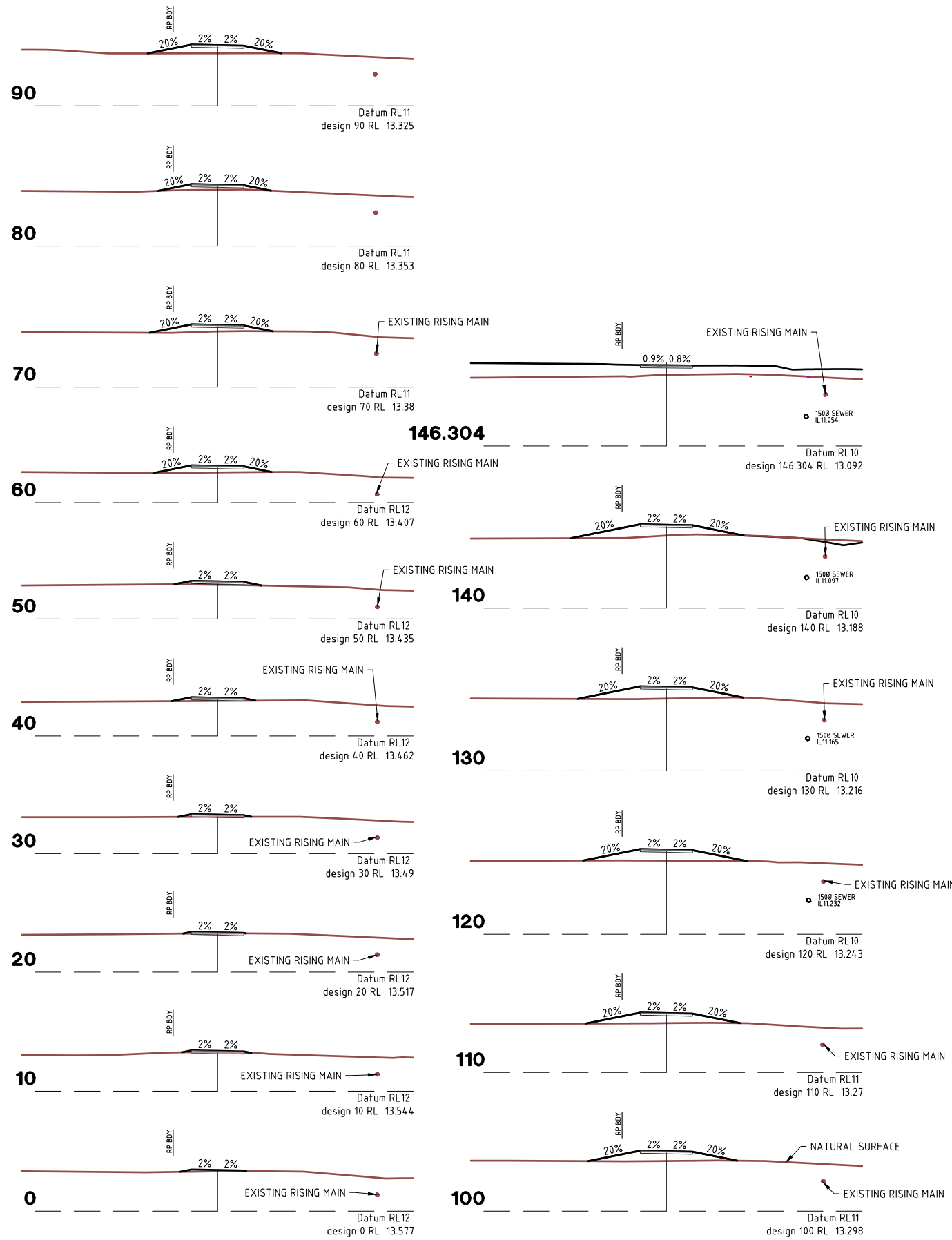
STP CONSULTANTS

Townsville Office
Level 1 Master Builders House
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Townsville, 4810
Phone 07 4724 2626
Facsimile 07 4724 2417
ABN 28 860 320 099

Other Offices:
Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C307
Checked	KEM	Certified	Rev
Certified	TJS		A
RPEQ No.	9053		

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Vertical Grade Data
Vertical Curve Data
DATUM R.L.8.000

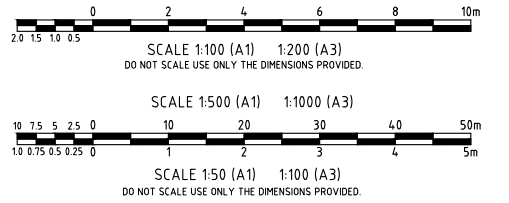
EXTERNAL PATHWAY DETAILS

CONCRETE	100mm N25
MESH	SL72 CENTRALLY PLACED
BEDDING	25mm SAND

EXTERNAL PATHWAY LONGITUDINAL SECTION

NOTES

- FOR ROAD CONTROL LINE SETOUT, REFER C16-012-C300.
- SERVICE CROSSINGS SHOWN ARE APPROXIMATE AND MAY VARY AT DIFFERENT STAGES OF CONSTRUCTION.
- FOR INTERSECTION DETAILS, REFER C16-012-C301 TO C303.



User: HATTI WHITTINGTON File Name: X:\2016\Learn\116-012 Mossman Aged Care Plus Centre\Civil Drawings\Current Design\C16-012_RLS

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
B	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
A	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					

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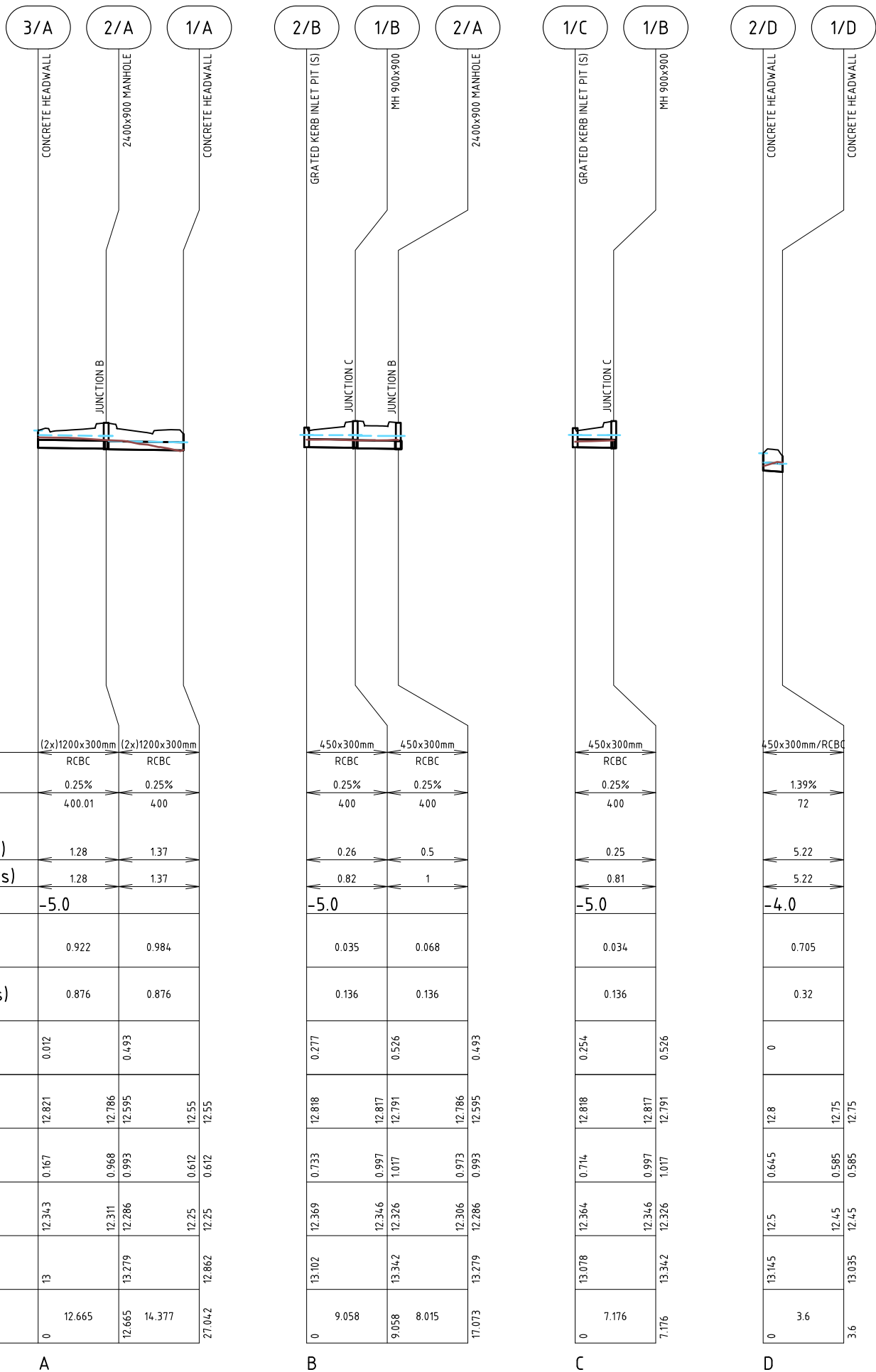
Client
THE SALVATION ARMY AGED CARE PLUS

Project
MOSSMAN AGED CARE PLUS CENTRE

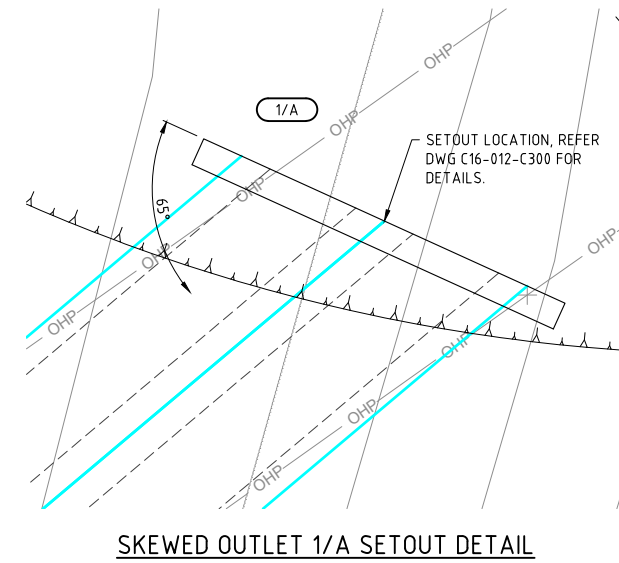
Title
EXTERNAL PATHWAY LONGITUDINAL AND CROSS SECTIONS

Townsville Office
Level 1 Master Builders House
316 Sturt Street,
Townsville, 4810
Phone 07 4724 2626
Facsimile 07 4724 2417
ABN 28 860 320 099
Other Offices:
Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C308
Checked	KEM	Certified	Rev
Certified	TJS		B
RPEQ No.	9053		

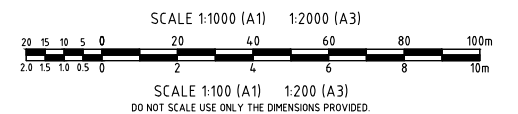


	A		B		C		D	
PIPE SIZE/Class	(2x)1200x300mm	(2x)1200x300mm	450x300mm	450x300mm	450x300mm	450x300mm	450x300mm	450x300mm
PIPE GRADE	RCBC	RCBC	RCBC	RCBC	RCBC	RCBC	RCBC	RCBC
PIPE SLOPE 1 in X	0.25%	0.25%	0.25%	0.25%	0.25%	0.25%	1.39%	0.25%
FULL PIPE FLOW VELOCITY (m/s)	4.00	4.00	4.00	4.00	4.00	4.00	72	4.00
PART FULL FLOW VELOCITY (m/s)	1.28	1.37	0.26	0.5	0.25	0.81	5.22	1.28
DATUM RL	1.28	1.37	0.82	1	0.25	0.81	5.22	1.28
PIPE FLOW (m ³ /s)	-5.0	-5.0	-5.0	-5.0	-5.0	-5.0	-4.0	-5.0
PIPE CAPACITY AT GRADE (m ³ /s)	0.922	0.984	0.035	0.068	0.034	0.136	0.705	0.922
FREEBOARD	0.876	0.876	0.136	0.136	0.136	0.136	0.32	0.876
HYDRAULIC GRADE LEVEL	0.012	0.493	0.277	0.526	0.254	0.526	0	0.012
DEPTH TO INVERT	12.821	12.786	12.818	12.817	12.818	12.817	12.8	12.821
INVERT LEVEL OF DRAIN	0.167	0.968	0.733	0.997	0.714	0.997	0.645	0.167
DESIGN SURFACE LEVEL (LIP LEVEL)	12.343	12.286	12.369	12.326	12.364	12.326	12.5	12.343
RUNNING CHAINAGE	13	13.279	13.102	13.342	13.078	13.342	13.145	13
	27.042	14.377	9.058	8.015	7.176	7.176	3.6	27.042



STORMWATER NOTES

- FOR STORMWATER LAYOUT, REFER C16-012-C300.
- FOR CONCRETE HEADWALL DETAILS REFER FNQROC STD DWG S1080.
- ALL RCBC'S UNDER ROADWAYS ARE TO BE BACKFILLED WITH CRUSHER DUST TO UNDER SIDE OF PAVEMENT.
- FOR MANHOLE TOP SLAB DETAILS AND SIDE ENTRY PIT DETAILS REFER FNQROC STD DWG'S S1050 AND S1066.



User: HAITI_WHTTEING File Name: X:\2016\ Cairns\16-012 Mossman Aged Care Plus Centre\Drawings\Current Design\C16-012_SML Plot Date: 26/09/2016 12:25:26 PM

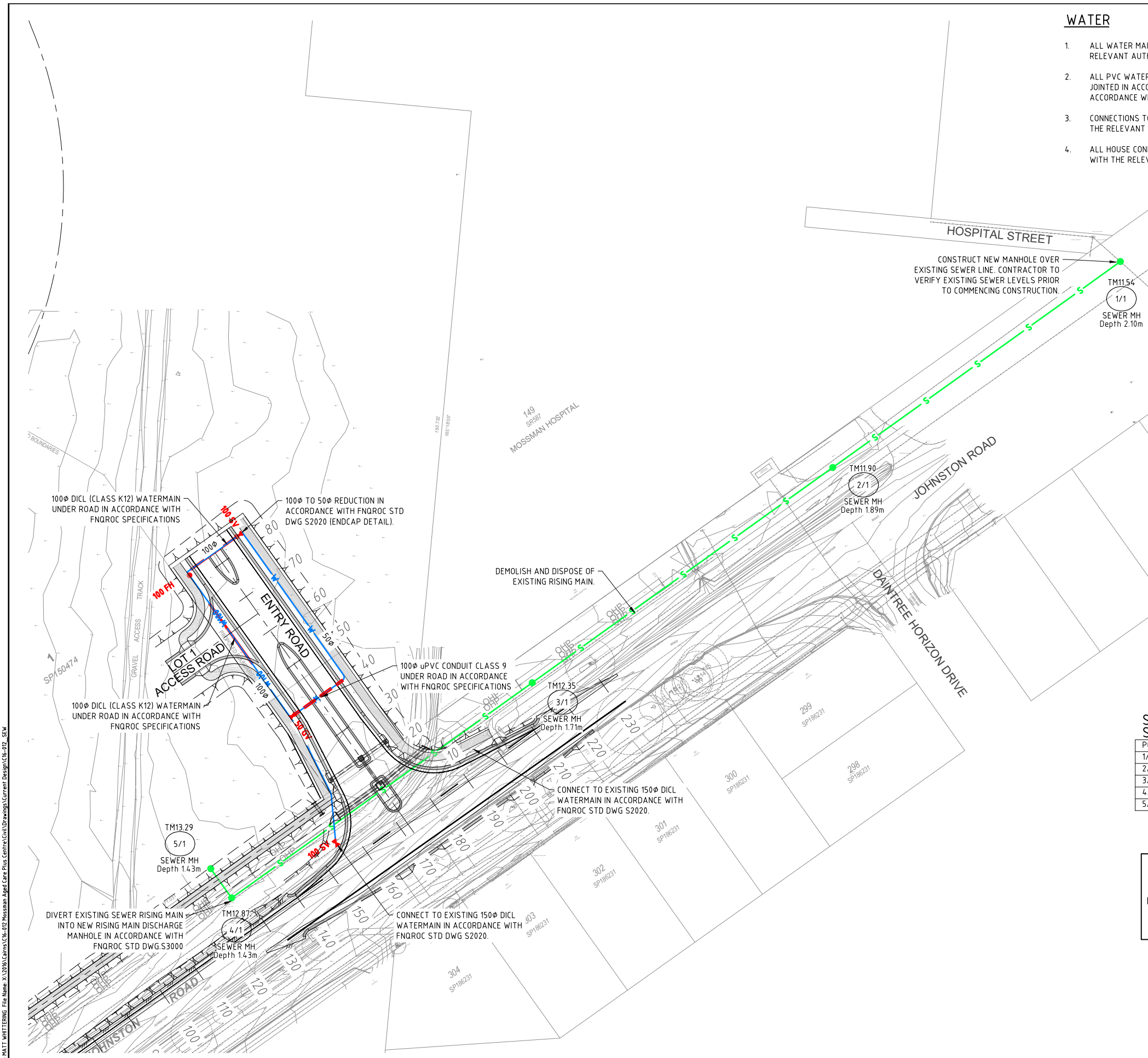
No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
B	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
A	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					

Client: **THE SALVATION ARMY AGED CARE PLUS**
 Project: **MOSSMAN AGED CARE PLUS CENTRE**
 Title: **STORMWATER DRAINAGE LONGITUDINAL SECTIONS**

STP
 CONSULTANTS
 Townsville Office
 Level 1 Master Builders House
 316 Sturt Street,
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 ABN 28 860 320 099
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Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C400
Checked	KEM	Certified	Rev
Certified	TJS		B
RPEQ No.	9053		

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WATER

1. ALL WATER MAINS ARE TO BE LOCATED IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARD DRAWINGS.
2. ALL PVC WATER MAINS ARE TO BE SERIES 2, PN16 RUBBER RING JOINTED IN ACCORDANCE WITH AS1477. ALL FITTINGS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARD DRAWINGS.
3. CONNECTIONS TO EXISTING WATER MAINS ARE TO BE UNDERTAKEN BY THE RELEVANT WATER AUTHORITY AT THE CONTRACTOR'S COST.
4. ALL HOUSE CONNECTIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARD DRAWINGS.

SEWERAGE

1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH ALL SEWER FNQROC STD DWGS AND SPECIFICATIONS
2. ALL DN150mm SEWER MAINS LESS THAN 5.7m DEEP ARE uPVC DWV SN8 IN ACCORDANCE WITH AS 1260-1999 UNLESS SHOWN OTHERWISE..
3. ALL DN100mm SEWER LINES LESS THAN 5.7m DEEP ARE uPVC SN10 IN ACCORDANCE WITH AS1260-1999 UNLESS SHOWN OTHERWISE.
4. THE CONTRACTOR IS TO VERIFY FINISHED SURFACE LEVELS ON SITE PRIOR TO CONSTRUCTION OF SEWERS AND PROPERTY CONNECTION BRANCHES.
5. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARD DRAWINGS.
6. CONNECTION TO THE EXISTING SEWER NETWORK IS TO BE CARRIED OUT BY THE RELEVANT AUTHORITY AT THE CONTRACTOR'S COST.
7. PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY BY A MINIMUM OF 1.0m.
8. TOP OF MANHOLE LEVEL SHALL BE 150mm ABOVE FINISHED SURFACE LEVEL EXCEPT IN ROADS AND PATHS WHERE THE FINISH SHALL BE FLUSH WITH THE PAVEMENT LEVEL.
9. ALL MANHOLES LOCATED IN CARRIAGEWAYS TO HAVE CLASS 4 TRAFFICABLE LIDS
10. SEWER MANHOLES AND SEWER MAINS ARE TO BE LOCATED 1.5m FROM PROPERTY BOUNDARIES UNLESS NOTED OTHERWISE.
11. ROAD CROSSINGS ARE TO BE BACKFILLED WITH CRUSHER DUST COMPACTED TO NOT LESS THAN 95% S.R.D.D. TO AS1289.
12. FOR SEWER LONGITUDINAL SECTIONS REFER C16-012-C501

LEGEND

- E ——— EXISTING UNDERGROUND ELECTRICITY
- OHP ——— EXISTING OVERHEAD ELECTRICITY
- T ——— EXISTING UNDERGROUND TELECOMMUNICATIONS
- Ex.S ——— EXISTING SEWER MAIN
- Ex.W ——— EXISTING WATERMAIN
- ——— EXISTING TOE OF BATTER
- ▲▲▲▲▲ EXISTING TOP OF BATTER
- ——— EXISTING ROAD CENTRELINE
- ——— EXISTING EDGE OF BITUMEN
- 2.6 ——— EXISTING CONTOUR (0.1m CONTOUR INTERVAL)
- W100 ——— 1000Ø WATER MAIN LOCATION
- W ——— 50Ø WATER MAIN LOCATION
- S ——— 150Ø uPVC SEWER MAIN
- SWD ——— STORMWATER MAIN LOCATIONS
- F ——— FIRE HYDRANT AND SLUICE VALVE

SEWER MANHOLE SETOUT POINT DETAILS

POINT	EASTING	NORTHING
1/1	325908.210	8179002.002
2/1	325838.713	8178952.242
3/1	325766.088	8178900.244
4/1	325693.463	8178848.245
5/1	325688.411	8178855.302

EXISTING SERVICES

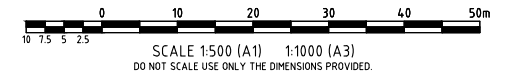
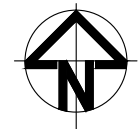
ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS

LEVEL DATUM

PSM NO. 96532-100497
 LEVEL DATUM RL. 10.110 AHD DERIVED
 MGA COORDINATES E:325785.784 N:8179385.049
 SITE COORDINATES E:325992.920 N:8179376.360

TM68.15
 1/F
 SEWER MH
 Depth 1.74m

TOP OF MANHOLE LEVEL
 MANHOLE/LINE NUMBER
 MANHOLE TYPE
 MANHOLE DEPTH



User: HATT WHITEPENG File Name: X:\2016\Carina\16-012 Mossman Aged Care Plus Centre\Civil\Drawings\Current Design\C16-012_SEW

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
B	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
A	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					

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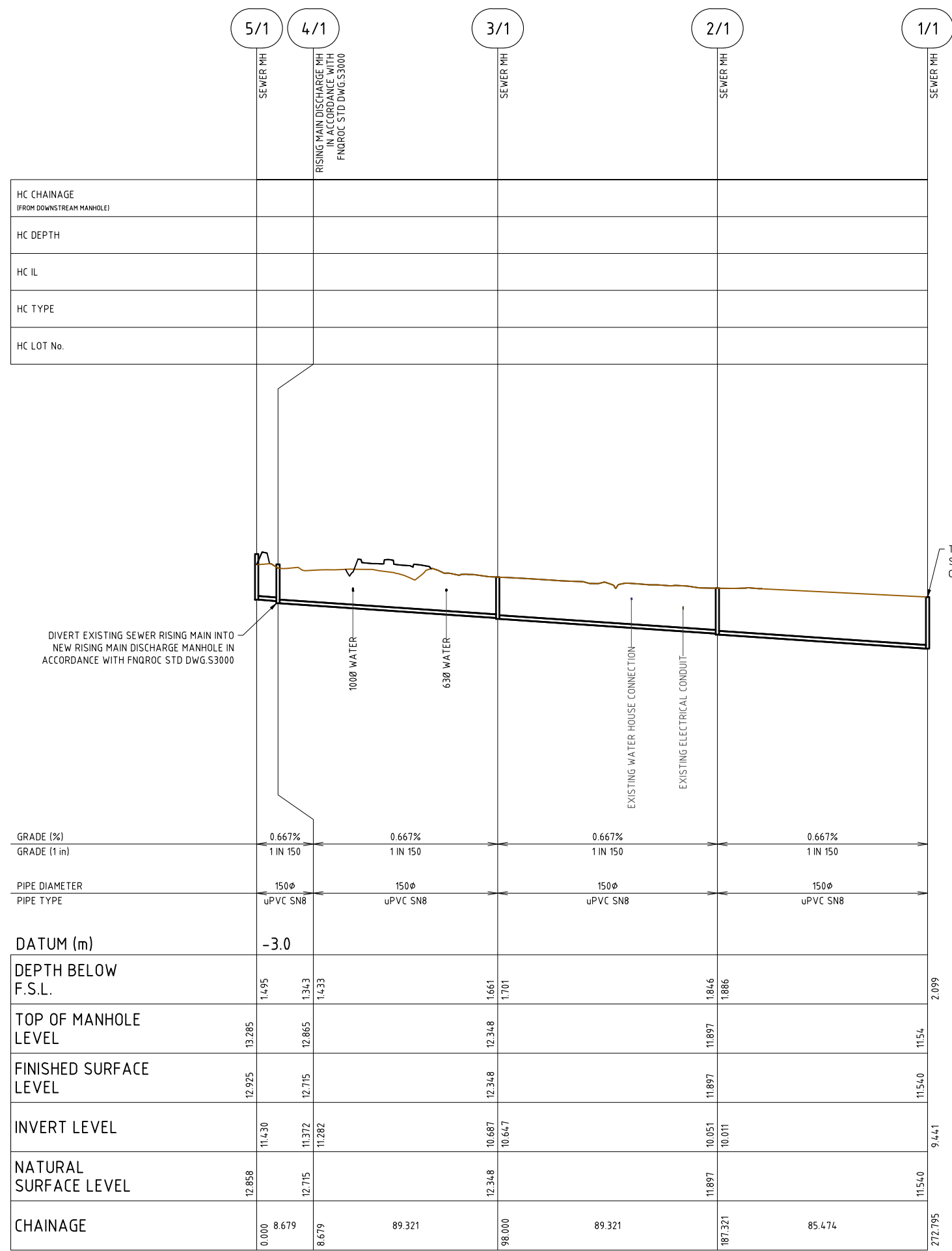
Client **THE SALVATION ARMY AGED CARE PLUS**
 Project **MOSSMAN AGED CARE PLUS CENTRE**
 Title **WATER AND SEWER RETICULATION LAYOUT PLAN**

STP
 CONSULTANTS

Townsville Office
 Level 1 Master Builders House
 316 Sturt Street,
 Townsville, 4810
 Phone 07 4724 2626
 Facsimile 07 4724 2417
 ABN 28 860 320 099

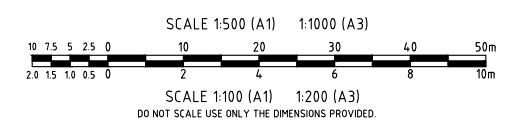
Other Offices:
 Brisbane-Cairns-Mackay

Design	MCW	NOT FOR CONSTRUCTION	
Drawn	MCW	Job Number	Drawing Number
Date	SEPT 2016	C16-012	C500
Checked	KEM	Certified	Rev
Certified	TJS		B
RPEQ No.	9053		



EXISTING SERVICES
 ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS

LEVEL DATUM
 PSM NO. 96532-1004.97
 LEVEL DATUM RL. 10.110 AHD DERIVED
 MGA COORDINATES E:325785.784 N:8179385.049
 SITE COORDINATES E:325992.920 N:8179376.360



HC CHAINAGE	5/1	4/1	3/1	2/1	1/1
HC CHAINAGE (FROM DOWNSTREAM MANHOLE)					
HC DEPTH					
HC IL					
HC TYPE					
HC LOT No.					
GRADE (%)	0.667%	0.667%	0.667%	0.667%	
GRADE (1 in)	1 IN 150	1 IN 150	1 IN 150	1 IN 150	
PIPE DIAMETER	150ø	150ø	150ø	150ø	
PIPE TYPE	uPVC SN8	uPVC SN8	uPVC SN8	uPVC SN8	
DATUM (m)	-3.0				
DEPTH BELOW F.S.L.	1.495	1.343	1.433	1.661	1.701
TOP OF MANHOLE LEVEL	13.285	12.865	12.348	11.897	11.54
FINISHED SURFACE LEVEL	12.925	12.715	12.348	11.897	11.540
INVERT LEVEL	11.430	11.372	10.687	10.051	10.011
NATURAL SURFACE LEVEL	12.858	12.715	12.348	11.897	11.540
CHAINAGE	0.000	8.679	89.321	89.321	85.474

User: HATT_WHTTEING File Name: X:\2016\Carina\116_072 Mossman Aged Care Plus Centre\Civil Drawings\Civil Design\116_072_SEW

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
B	ISSUED FOR APPROVAL	MCW	KEM	09.11.16					
A	ISSUED FOR APPROVAL	MCW	KEM	27.10.16					

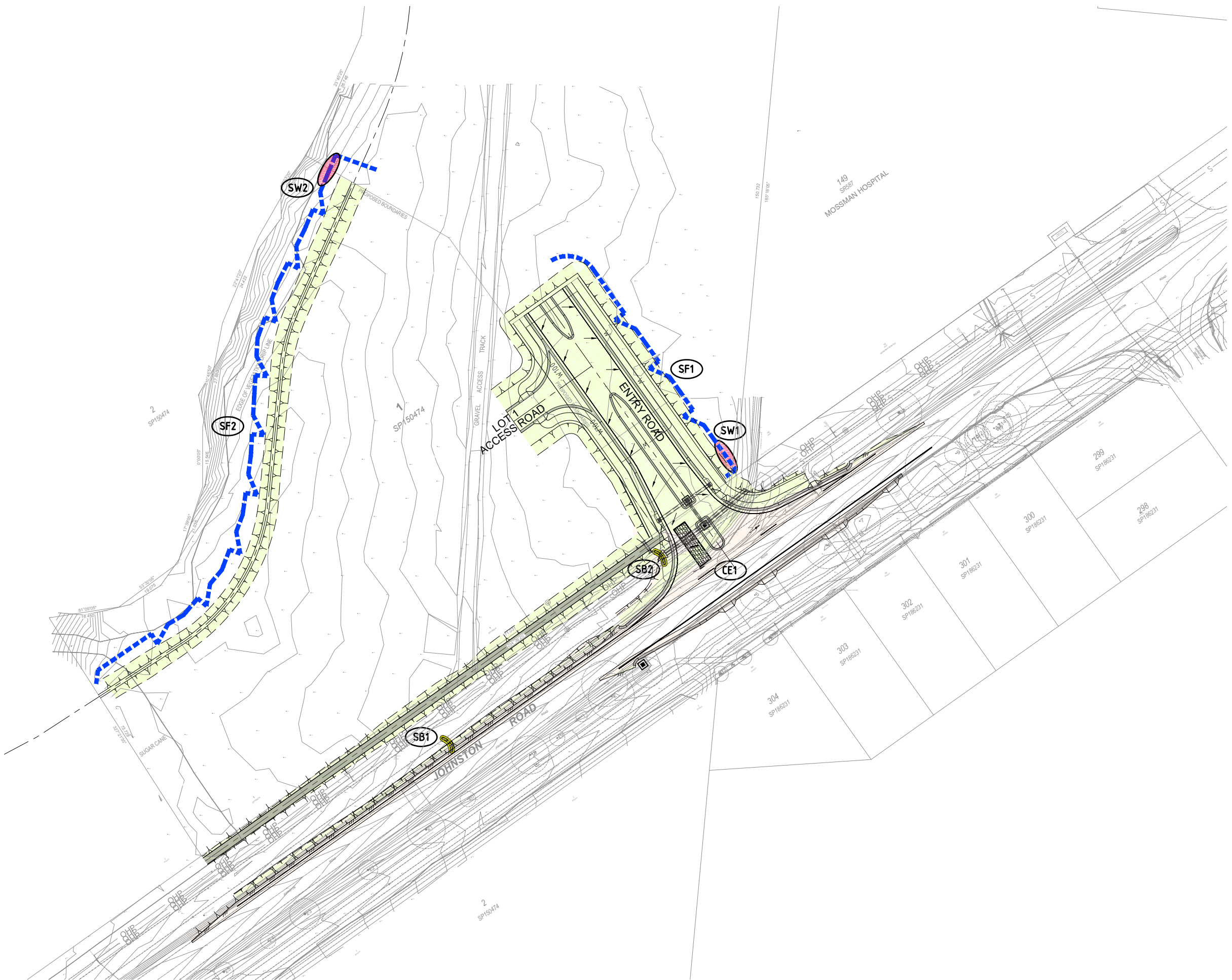
Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS CENTRE
Title	SEWER RETICULATION LONGITUDINAL SECTIONS

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LEGEND:

	EXISTING EDGE OF BUILDING
	EXISTING UNDERGROUND ELECTRICITY
	EXISTING OVERHEAD ELECTRICITY
	EXISTING SEWER MAIN
	EXISTING WATERMAIN
	EXISTING SUBSOIL

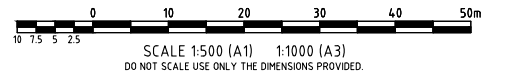
NOTE:
ACTUAL LOCATIONS OF SEDIMENT CONTROL DEVICES
MAY VARY ACCORDING TO SITE CONDITIONS

EROSION AND SEDIMENT CONTROL LEGEND

	STRUCTURE NAME		
	CONSTRUCTION ENTRY/EXIT. REFER DWG. C604 FOR DETAILS.		MANHOLE PROTECTION REFER DWG. REFER DWG. C603 FOR DETAILS.
	SAND BAG CHECK DAM		
	SEDIMENT FENCE WITH RETURNS @ 20m CENTRES. REFER DWG. REFER DWG. C603 FOR DETAILS.		SEDIMENT FENCE SPILL THROUGH WIER REFER DWG. C603 FOR DETAILS.
	TEMPORARY DRAIN		

HATCHING LEGEND

	FILL AREA--
	CUT AREA-- ALL AREAS OF CUT WITHIN THE PROJECT TO BE OVER-EXCAVATED BY A MINIMUM OF 50mm



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Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS CENTRE
Title	CONSTRUCTION PHASE EROSION SEDIMENT CONTROL

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Certified	TJS		B
RPEQ No.	9053		

WATER QUALITY MONITORING TABLE	
NO OCCURRENCE OF GULLY EROSION OR EXCESSIVE SEDIMENT DEPOSITS	MONTHLY
NO RELEASE OF CONSTRUCTION MATERIAL AND SILT TO THE MAIN WATERWAY	WEEKLY
INSPECTION SEDIMENT FENCES	WEEKLY / AFTER HEAVY RAIN EVENTS

EROSION CONTROL MEASURE TIMING TABLE

STRUCTURE NAME	TYPE	PROCEDURE/TIMING
CE1	CONSTRUCTION ENTRY/EXIT	<ul style="list-style-type: none"> INSTALL PRIOR TO COMMENCING CLEARING REMOVE ON COMPLETION OF ALL EARTHWORKS
SB1	SAND BAG CHECK DAM	<ul style="list-style-type: none"> INSTALL IMMEDIATELY ON COMPLETION OF JOHNSTON RD TABLE DRAIN REMOVE AT ON-MAINTENANCE.
SB2	SAND BAG CHECK DAM	<ul style="list-style-type: none"> INSTALL IMMEDIATELY ON COMPLETION OF JOHNSTON RD TABLE DRAIN REMOVE AT ON-MAINTENANCE.
SF1	SEDIMENT FENCE	<ul style="list-style-type: none"> INSTALL PRIOR TO COMMENCING CLEARING OF ENTRY ROAD REMOVE AT ON-MAINTENANCE.
SF2	SEDIMENT FENCE	<ul style="list-style-type: none"> INSTALL PRIOR TO COMMENCING CLEARING OF NEW BUND LOCATION REMOVE AT ON-MAINTENANCE.
SW1	SEDIMENT FENCE S/THROUGH WIER	<ul style="list-style-type: none"> INSTALL WITH SEDIMENT FENCE SF1 REMOVE AT ON-MAINTENANCE.
SW2	SEDIMENT FENCE S/THROUGH WIER	<ul style="list-style-type: none"> INSTALL WITH SEDIMENT FENCE SF2 REMOVE AT ON-MAINTENANCE.

DEVICE	CONSTRUCTION REQUIREMENTS	MAINTENANCE REQUIREMENTS
CONSTRUCTION EXITS - USED TO PREVENT THE TRACKING OF DEBRIS FROM TYRES OF VEHICLES ONTO PUBLIC ROAD.	- REFER TO DETAIL ON STP DWG ##### - SURFACE WATER FLOWING TO THE CONSTRUCTION EXIT SEDIMENT TRAP MUST BE PIPED UNDER THE TRAP OR A PERIMETER BANK SHOULD BE CONSTRUCTED TO DIRECT SURFACE FLOW AWAY FROM THE TRAP. - WASH-OFF TO BE DIRECTED TO A SEDIMENT TRAP OR BUFFER ZONE. - ONLY PROVIDE ONE CONSTRUCTION EXIT FOR THE SITE UNLESS SITE ACCESS OR TOPOGRAPHY REQUIRE MORE. - ENSURE THAT CONTAMINATED VEHICLES CANNOT BYPASS IT WHEN EXITING THE SITE.	- REMOVAL OF SEDIMENT AND/OR ADDING EXTRA AGGREGATE. - REMOVE SEDIMENT TRANSPORTED ONTO ROADWAYS. AND APPLY CORRECTIVE MEASURES TO ENSURE NO RE-OCCURRENCE. - EXTEND THE LENGTH OF THE GRAVEL PAD IF EXCESSIVE SEDIMENT IS STILL BEING TRANSPORTED OFF THE SITE.
ROCK CHECK DAMS - USED TO INTERCEPT CONCENTRATED FLOW.	- REFER TO DETAIL ON STP DWG ##### - PROVIDE DOWNSTREAM OF ALL OUTLETS AND AT 20M MAX ALONG OPEN CHANNELS AND AROUND FIELD INLETS. - SHOULD BE EMBEDDED AT LEAST 200MM INTO THE SOIL TO PREVENT WATER TUNNELING BENEATH THEM. - ACCESS WILL BE REQUIRED FOR MAINTENANCE.	- EXCESSIVE SEDIMENT SHOULD BE REMOVED FROM UPSTREAM OF THE DAM. - THE UPSTREAM GRAVEL FILTER LAYER SHOULD BE REESTABLISHED WHEN SEDIMENT BEGINS TO FLOW THROUGH THE STRUCTURE OR WHEN PERMEABILITY IS EXCESSIVELY REDUCED.
SEDIMENT FENCES - USED TO TEMPORARILY REDUCE THE VELOCITY OF CONTAMINATED SHEET FLOW AND TO INDUCE GRAVITATIONAL SETTLEMENT OF THE ENTRAINED SEDIMENT.	- REFER TO DETAIL ON STP DWG ##### - ALL SEDIMENT FENCES TO BE INSTALLED PARALLEL TO CONTOURS. - REGULAR TURN-BACKS AND A FIRM WIRE MESH BACKING ARE REQUIRED TO PREVENT THE FURTHER CONCENTRATION OF FLOW. - THE FENCE SHOULD BE SEGMENTED INTO A SERIES OF L-SHAPED FENCES TO AVOID THE CONCENTRATION OF FLOW ALONG THE FENCE.	- REGULAR INSPECTIONS AND MAINTENANCE ARE REQUIRED TO REPAIR DAMAGE CAUSED BY ON-SITE VEHICLES OR THE MOVEMENT OF STOCKPILE MATERIAL. - INSPECT AFTER EACH STORM EVENT THAT RESULTS IN RUN-OFF. - REMOVE EXCESSIVE SEDIMENT DEPOSITS. - INVESTIGATE THE SOURCE OF EXCESSIVE SEDIMENT. AND APPLY REMEDIAL ACTION IMMEDIATELY. - IF THE FENCE IS REGULARLY DAMAGED, INSTALL A SECOND FENCE AT LEAST 1 METRE DOWNSLOPE OF THE EXISTING FENCE.
TEMPORARY DRAIN - USED TO DIVERT FLOW AROUND DISTURBED AREAS OR USED WITHIN DISTURBED AREAS TO DIRECT CONTAMINATED FLOW TO SEDIMENT TRAPS.	- REFER TO DETAIL ON STP DWG ##### - CHANNELS MUST HAVE A STABLE OUTLET. - DRAINS AND BANKS SHOULD BE SEEDED AND MULCHED IF THEIR WORKING LIFE IS EXPECTED TO EXCEED 30 DAYS.	- REGULARLY INSPECT BANKS AND REPAIR ANY SLUMPS, WHEEL TRACK DAMAGE OR LOSS OF FREEBOARD. - SEDIMENT SHOULD BE REMOVED TO AVOID PONDING.

SEQUENCE OF ACTIONS TO BE UNDERTAKEN BY CONTRACTOR	
1. SITE POSSESSION	- ERECTION OF BARRIER FENCING TO BUFFER AREAS AND DRAINAGE RESERVES AS DIRECTED BY SUPERINTENDENT. - INSTALLATION OF CONSTRUCTION EXIT. - CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCING AND DIVERSION BANKS.
2. CONSTRUCTION	- TOPSOIL TO BE STRIPPED AND STOCKPILED IN LOCATIONS AGREED WITH THE SUPERINTENDENT. A SEDIMENT FENCE IS TO BE CONSTRUCTED ON THE DOWNHILL SIDE OF THE STOCKPILE TO TRAP SEDIMENT. A DIVERSION DRAIN IS TO BE INSTALLED UPSTREAM OF THE STOCKPILE. - SEDIMENT CONTROL DEVICES REQUIRED TO BE REMOVED TO ALLOW CONSTRUCTION ACCESS ARE TO BE REINSTATED AT THE COMPLETION OF EACH WORKDAY. - MOVEMENT OF CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THE AREA OF WORK AND EXISTING ROADS. - DISTURBED AREAS ARE TO BE GRASSED FOLLOWING FINAL TRIMMING IN ACCORDANCE WITH DRAWING. - AREAS ARE TO BE DISTURBED AND RESTORED PROGRESSIVELY. - TURF STRIPS (1000MM WIDE) SHALL BE LAID TO THE BASE OF ALL DOWNSTREAM EARTHWORKS BATTERS STEEPER THAN 1 IN 4. BATTERS SHALL BE TOPSOILED AND GRASS SEEDED IMMEDIATELY UPON COMPLETION OF EARTHWORKS. - MULCH PILES ARE TO BE RESPREAD ONTO LANDSCAPED AREAS. - KERB SEDIMENT TRAPS ARE TO BE PROVIDED AT EACH DRAINAGE PIT ADJACENT DISTURBED AREAS.
3. MAINTENANCE	- REGULARLY CHECK CAPACITY OF EROSION CONTROL DEVICES ON A WEEKLY BASIS OR AFTER SIGNIFICANT RAIN EVENT.
GENERAL	- PLANS TO BE READ IN CONJUNCTION WITH STORMWATER QUALITY MANAGEMENT PLAN FOR THE SITE. - THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES FROM THE POSSESSION OF THE SITE UNTIL THE SITE IS ACCEPTED BY THE LOCAL AUTHORITY "OFF MAINTENANCE" OR UNTIL STABILISATION HAS OCCURRED TO THE SATISFACTION OF THE SUPERINTENDENT. - ADDITIONAL CONTROL DEVICES MAY BE REQUIRED BY THE SUPERINTENDENT. - ALTERNATIVE DESIGNS ARE TO BE APPROVED BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.

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Project	MOSSMAN AGED CARE PLUS CENTRE
Title	EROSION SEDIMENT CONTROL PROCEDURES AND NOTES

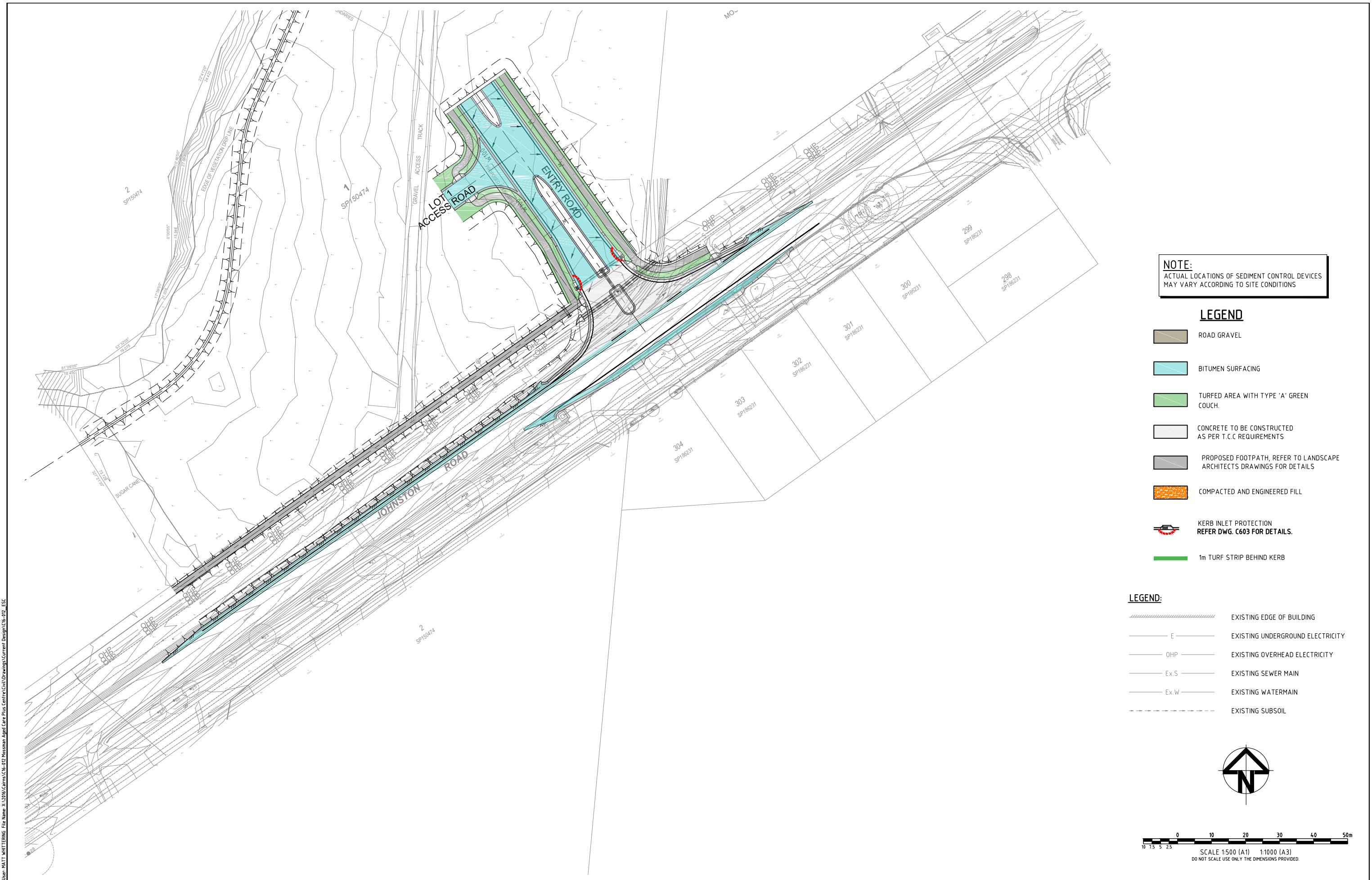


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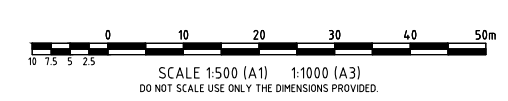
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NOTE:
ACTUAL LOCATIONS OF SEDIMENT CONTROL DEVICES
MAY VARY ACCORDING TO SITE CONDITIONS

- LEGEND**
- ROAD GRAVEL
 - BITUMEN SURFACING
 - TURFED AREA WITH TYPE 'A' GREEN COUCH
 - CONCRETE TO BE CONSTRUCTED AS PER T.C.C REQUIREMENTS
 - PROPOSED FOOTPATH, REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS
 - COMPACTED AND ENGINEERED FILL
 - KERB INLET PROTECTION REFER DWG. C603 FOR DETAILS.
 - 1m TURF STRIP BEHIND KERB

- LEGEND:**
- EXISTING EDGE OF BUILDING
 - EXISTING UNDERGROUND ELECTRICITY
 - EXISTING OVERHEAD ELECTRICITY
 - EXISTING SEWER MAIN
 - EXISTING WATERMAIN
 - EXISTING SUBSOIL



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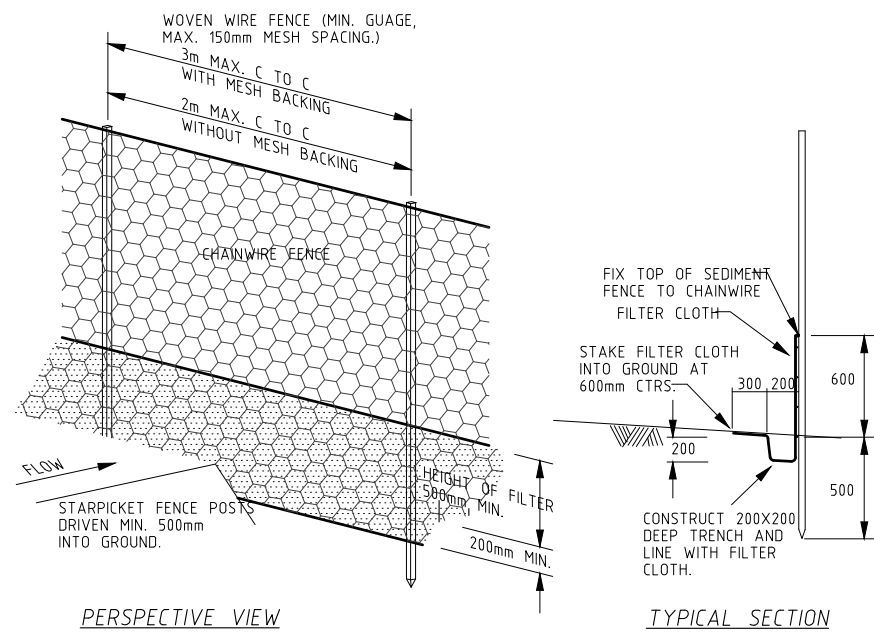
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Project	MOSSMAN AGED CARE PLUS CENTRE
Title	ON MAINTENANCE EROSION SEDIMENT CONTROL

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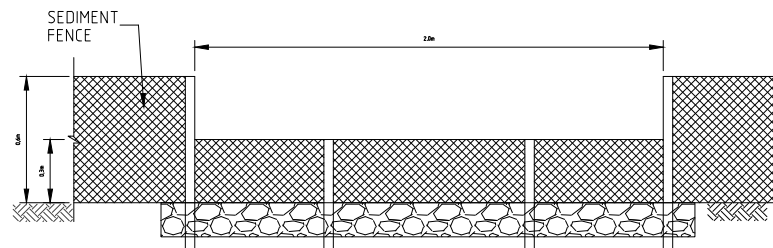
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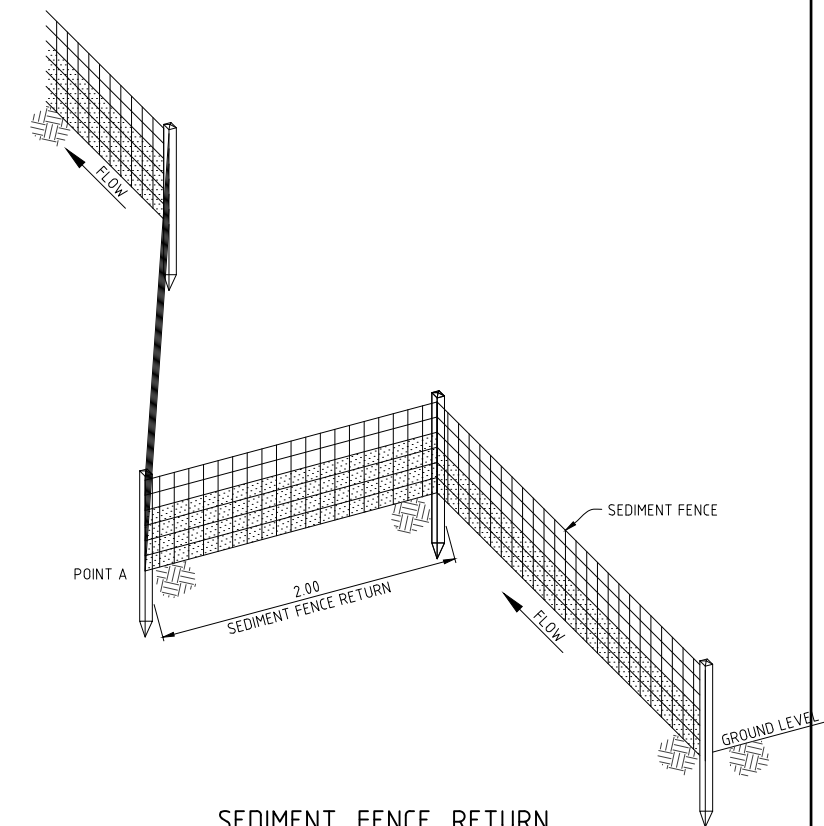
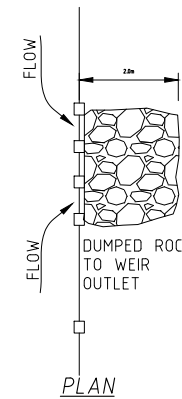
SEDIMENT FENCE DETAIL
NOT TO SCALE

SEDIMENT FENCE NOTES

WOVEN WIRE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 600MM AT TOP OF MID SECTION.
 WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150MM AND FOLDED.
 MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

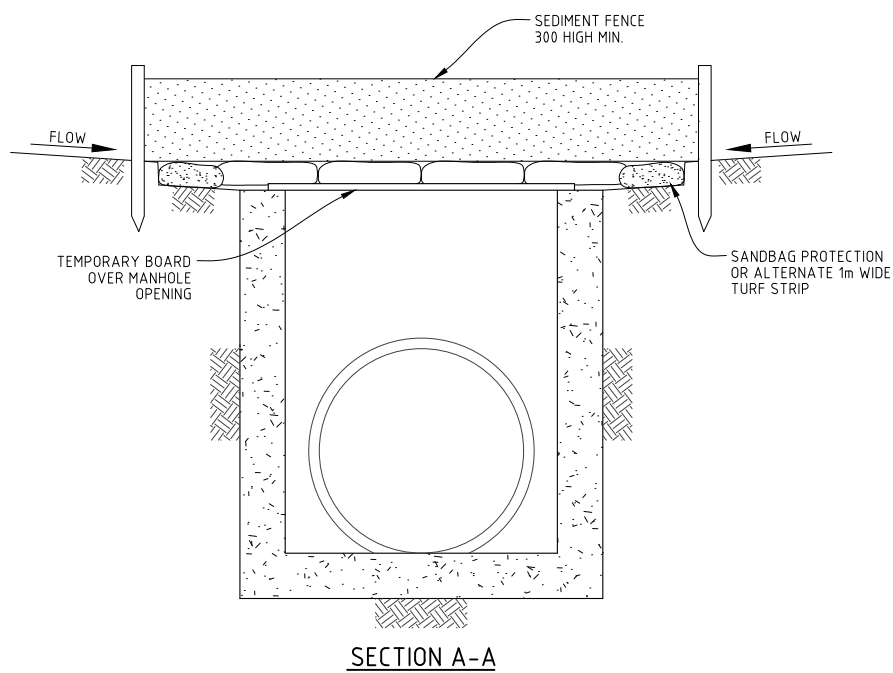


TYPICAL ELEVATION
SPILL THROUGH WEIR
NOT TO SCALE

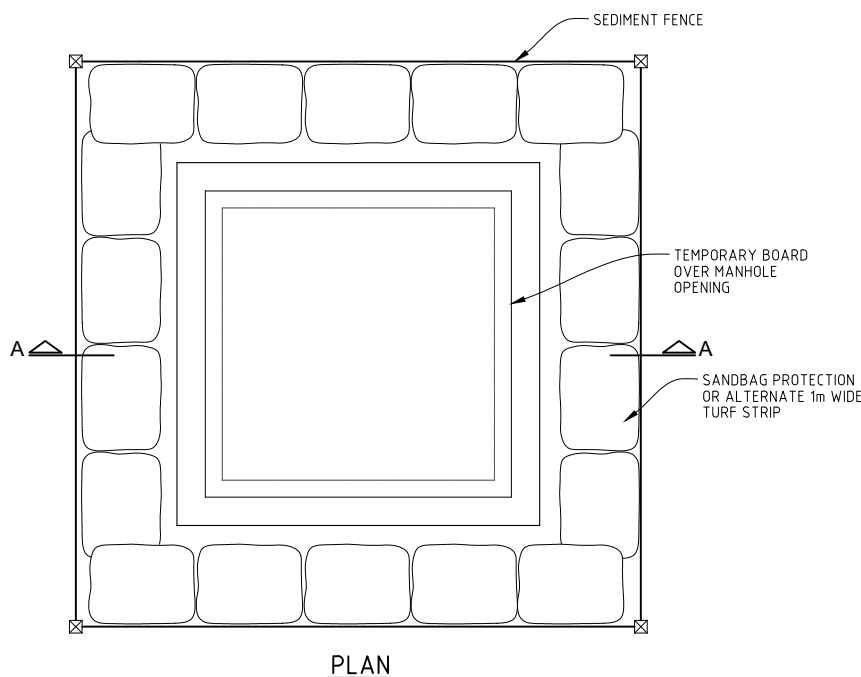


SEDIMENT FENCE RETURN
REQUIRED AT MAXIMUM 20m INTERVALS
NOT TO SCALE

SEDIMENT FENCE DETAILS

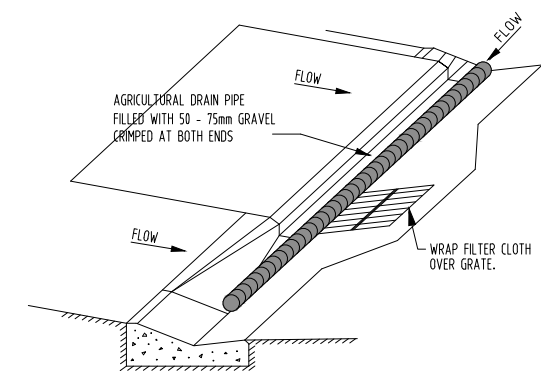


SECTION A-A



PLAN

MANHOLE PROTECTION DETAILS
TO BE INSTALLED IMMEDIATELY AFTER COMPLETION OF MANHOLE



KERB INLET PROTECTION DETAIL
TO BE INSTALLED IMMEDIATELY AFTER COMPLETION OF KERB INLET

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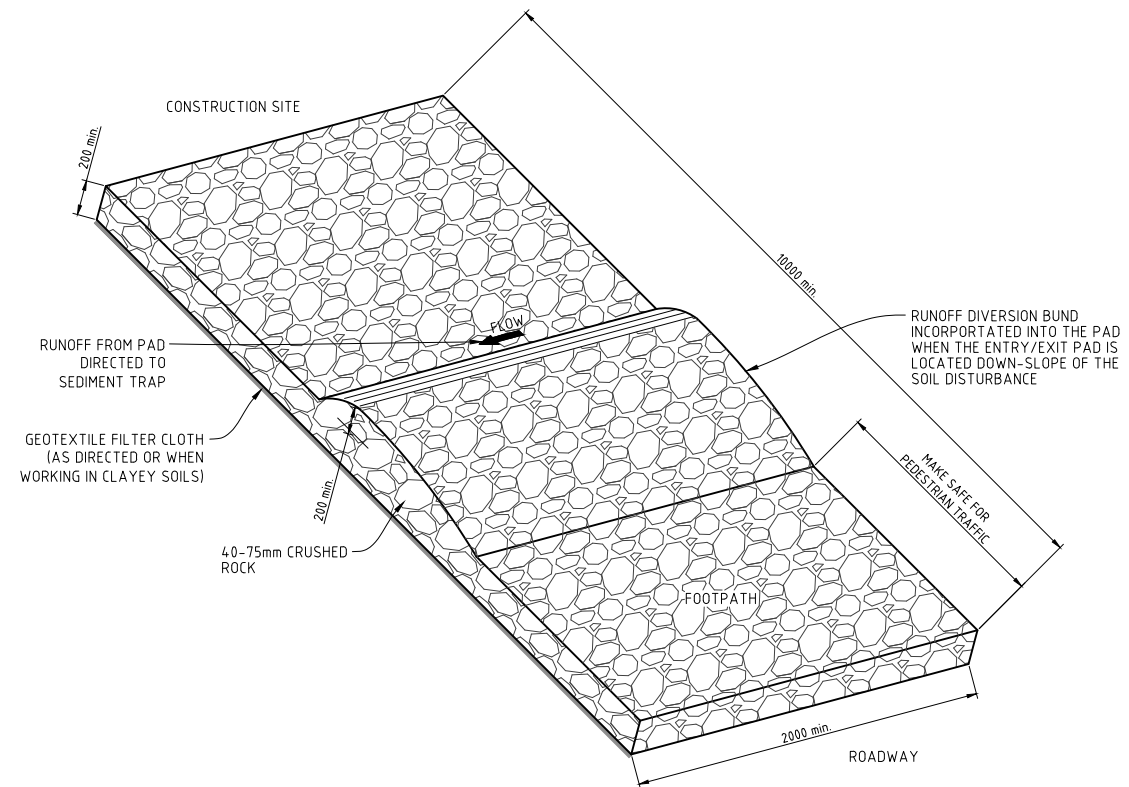
Client	THE SALVATION ARMY AGED CARE PLUS
Project	MOSSMAN AGED CARE PLUS CENTRE
Title	EROSION SEDIMENT CONTROL DETAILS
	SHEET 1 OF 2

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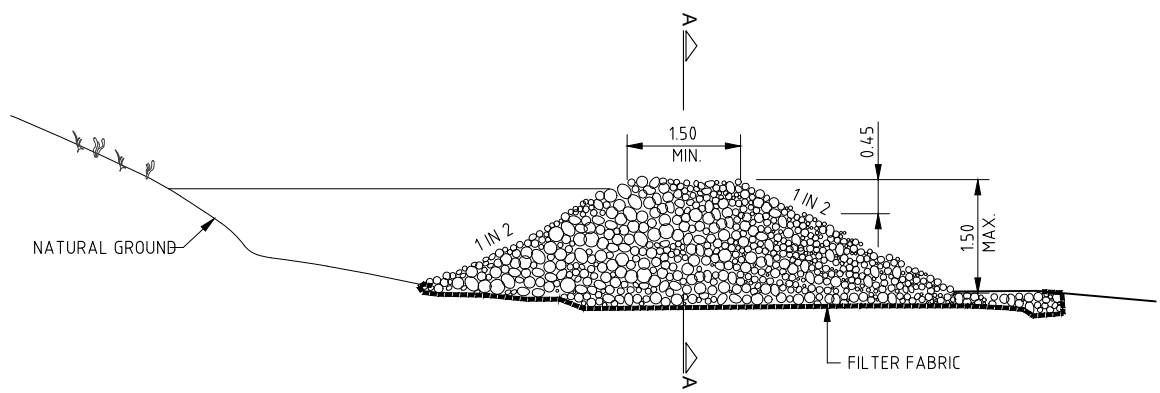
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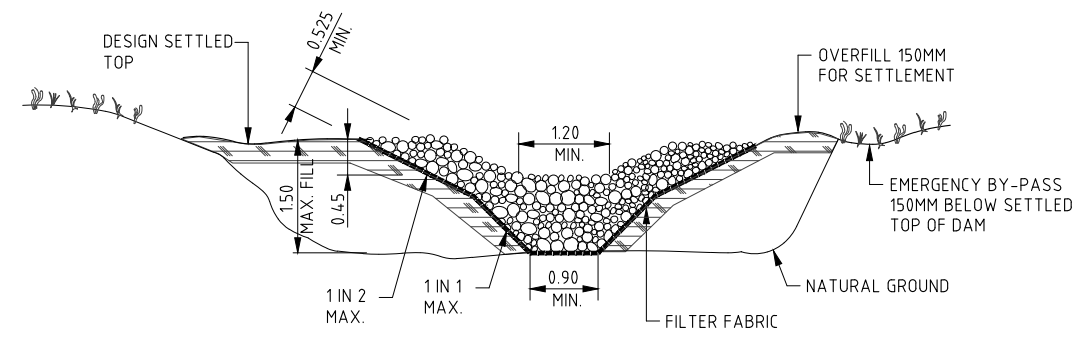
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Certified	TJS		B
RPEQ No.	9053		



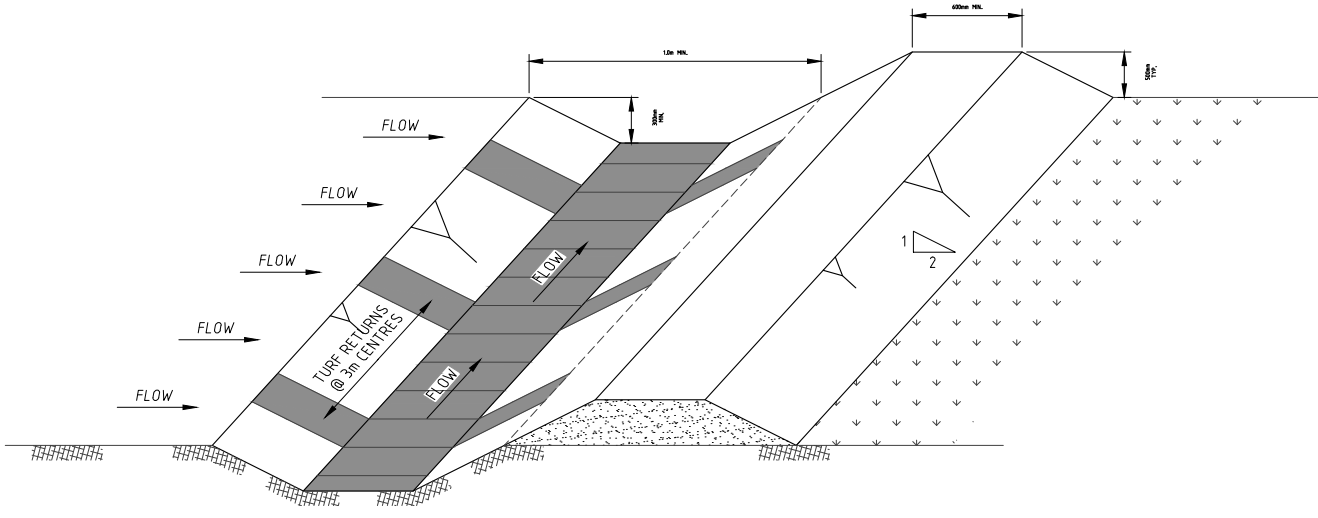
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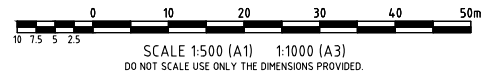
ELEVATION



SECTION A-A
ROCK FILTER DAM DETAILS
NOT TO SCALE



TEMPORARY DRAIN DETAIL
NOT TO SCALE



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Project	MOSSMAN AGED CARE PLUS CENTRE
Title	EROSION SEDIMENT CONTROL DETAILS
	SHEET 2 OF 2

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Certified	TJS		B
RPEQ No.	9053		



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DOCUMENT REGISTER AND TRANSMITTAL ADVICE

Client :
Project :

Salvation Army
Mossman Aged Care Plus Centre
Marrs Creek Levee Bank

Project No. : C16-012

CIVIL

Revision Date : 9 November 2016

Table with 2 columns: Dwg, Drawing Title. Lists drawing numbers (C100-C604) and their corresponding titles such as FACE SHEET, EARTHWORKS MANAGEMENT PLAN, etc.

Revision History table with columns for dates (17.10.16, 27.10.16, 09.11.16) and revision details (A, B, C).

Distribution table with header 'Distribution' and content 'Hanna Newman Associates Pty Ltd'.

Table with 3 columns containing the number '1'.

Table with sections: Distribution (P-Print, F-pdf, G-dwg, T-plt, W.dwf, R-.rvt), Purpose For Distribution (1-Preliminary, 2-Coordination, 3-Approval, 4-Tender, 5-Construction, 6-Council Submission), Method Of Distribution (C-Courier, P-Collected, M-Mail, D-Deliver, E-Email).

Table with sections: Format (F, F, F), Purpose For Distribution (1, 2, 3), Method Of Distribution (E, E, E).

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