

# IDAS form 1—Application details

(Sustainable Planning Act 2009 version 4.2 effective 3 August 2015)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

## Mandatory requirements

**Applicant details** (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

**NOAH CREEK DEVELOPMENTS PTY LTD**

For companies, contact name

**Andrew Heweston (director)**

Postal address

PO BOX 115

Suburb	EDGE HILL		
State	QLD	Postcode	4870
Country	Australia		

Contact phone number

(07) 40532336

Mobile number (non-mandatory requirement)

Fax number (non-mandatory requirement)

Email address (non-mandatory requirement)

admin

@thirkell.com.au & info@noahcreek.com.au

Applicant's reference number (non-mandatory requirement)

**1. What is the nature of the development proposed and what type of approval is being sought?**

**Table A**—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

- a) What is the nature of the development? (Please only tick one box.)
- Material change of use     Reconfiguring a lot     Building work     Operational work
- b) What is the approval type? (Please only tick one box.)
- Preliminary approval under s241 of SPA     Preliminary approval under s241 and s242 of SPA     Development permit
- c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)
- Application for the development of a 20 site camping ground, amenities and caretaker's facility at Noah Creek.
- d) What is the level of assessment? (Please only tick one box.)
- Impact assessment     Code assessment

**Table B**—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

- a) What is the nature of development? (Please only tick one box.)
- Material change of use     Reconfiguring a lot     Building work     Operational work
- b) What is the approval type? (Please only tick one box.)
- Preliminary approval under s241 of SPA     Preliminary approval under s241 and s242 of SPA     Development permit
- c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)
- 
- d) What is the level of assessment?
- Impact assessment     Code assessment

**Table C**—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

- Refer attached schedule     Not required

**2. Location of the premises** (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

**Table D**—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water.) (Attach a separate schedule if there is insufficient space in this table.)

- Street address **and** lot on plan (All lots must be listed.)  
 Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)		3017	Cape Tribulation Rd Thornton Beach		62 - 64	SP146421	Douglas Shire
ii)							
iii)							

**Planning scheme details** (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

**Table E**—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
145°25'48E	16°8'33S	-16.142478	145.429982		<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	Douglas Shire

**3. Total area of the premises on which the development is proposed** (indicate square metres)

203.6 hectares (Lot 62+64)

**4. Current use/s of the premises** (e.g. vacant land, house, apartment building, cane farm etc.)

Tropical Fruit Orchards, Picnic/ function facilities, walking trails and interpretive centre.

**5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)**

No  Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

**6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)**

No  
 Yes—complete either Table F, Table G or Table H as applicable

Table F	
Name of owner/s of the land	Noah Creek Developments Pty Ltd
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	Andrew Heweston (director)
Date	

Table G	
Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

Table H	
Name of owner/s of the land	
<input checked="" type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

**7. Identify if any of the following apply to the premises (Tick applicable box/es.)**

- Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- In a tidal water area—complete Table K
- On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)
- Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* (no table requires completion)

Table I
Name of water body, watercourse or aquifer
Noah Creek

Table J	
Lot on plan description for strategic port land	Port authority for the lot

Table K	
Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

**8. Are there any existing easements on the premises?** (e.g. for vehicular access, electricity, overland flow, water etc)

- No  Yes—ensure the type, location and dimension of each easement is included in the plans submitted

**9. Does the proposal include new building work or operational work on the premises?** (Including any services)

- No  Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

**10. Is the payment of a portable long service leave levy applicable to this application?** (Refer to notes at the end of this form for more information.)

- No—go to question 12  Yes

**11. Has the portable long service leave levy been paid?** (Refer to notes at the end of this form for more information.)

- No  
 Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L		
Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

**12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the Sustainable Planning Act 2009?**

- No  
 Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

**13. List below all of the forms and supporting information that accompany this application (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application)**

Description of attachment or title of attachment	Method of lodgement to assessment manager
Planning report	electronic
Geotechnical site investigation – Gecko Geotechnics GG0032-001R	electronic
Design Drawings: Thirkell Consulting Engineers Site Plan S.01 & land application system drawings C.01 & C.02	electronic

**14. Applicant's declaration**

By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

**Notes for completing this form**

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

**Applicant details**

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

**Question 1**

- Schedule 3 of the Sustainable Planning Regulation 2009 identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

**Question 6**

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

**Question 7**

- If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the Sustainable Planning Regulation 2009 identifies where compliance assessment is required.

**Question 11**

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the Building and Construction Industry (Portable Long Service Leave) Regulation 2002.

**Question 12**

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at [www.qleave.qld.gov.au](http://www.qleave.qld.gov.au). For further information contact QLeave on 1800 803 481 or visit [www.qleave.qld.gov.au](http://www.qleave.qld.gov.au).

**Privacy**—The information collected in this form will be used by the Department of Infrastructure, Local Government and Planning (DILGP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**OFFICE USE ONLY**

Date received

Reference numbers

**NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER**

To

Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s

**QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)**

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

# IDAS form 5—Material change of use assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.1 effective 3 August 2015)

This form must be used for development applications for a material change of use assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form must also be used for material change of use on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

## Mandatory requirements

**1. Describe the proposed use.** (Note: this is to provide additional detail to the information provided in question 1 of *IDAS form 1—Application details*. Attach a separate schedule if there is insufficient space in this table.)

General explanation of the proposed use	Planning scheme definition (include each definition in a new row) (non-mandatory)	No. of dwelling units (if applicable) or gross floor area (if applicable)	Days and hours of operation (if applicable)	No. of employees (if applicable)
Camp Ground Sites	Undefined Use	20 Sites	24/7	1 to 3 (seasonal)

**2. Are there any current approvals associated with the proposed material change of use?** (e.g. a preliminary approval.)

No  Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)



**3. Does the proposed use involve the following? (Tick all applicable boxes.)**

- |  |                             |   |
|--|-----------------------------|---|
| The reuse of existing buildings on the premises        | <input type="checkbox"/> No | <input checked="" type="checkbox"/> Yes |
| New building work on the premises                      | <input type="checkbox"/> No | <input checked="" type="checkbox"/> Yes |
| The reuse of existing operational work on the premises | <input type="checkbox"/> No | <input checked="" type="checkbox"/> Yes |
| New operational work on the premises                   | <input type="checkbox"/> No | <input checked="" type="checkbox"/> Yes |

**Mandatory supporting information**

**4. Confirm that the following mandatory supporting information accompanies this application**

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
<b>All applications</b>		
<p>A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are <b>recommended</b> scales) which shows the following:</p> <ul style="list-style-type: none"> <li>• the location and site area of the land to which the application relates (<i>relevant land</i>)</li> <li>• the north point</li> <li>• the boundaries of the relevant land</li> <li>• any road frontages of the relevant land, including the name of the road</li> <li>• the location and use of any existing or proposed buildings or structures on the relevant land (note: where extensive demolition or new buildings are proposed, two separate plans [an existing site plan and proposed site plan] may be appropriate)</li> <li>• any existing or proposed easements on the relevant land and their function</li> <li>• the location and use of buildings on land adjoining the relevant land</li> <li>• all vehicle access points and any existing or proposed car parking areas on the relevant land. Car parking spaces for persons with disabilities and any service vehicle access and parking should be clearly marked</li> <li>• for any new building on the relevant land, the location of refuse storage</li> <li>• the location of any proposed retaining walls on the relevant land and their height</li> <li>• the location of any proposed landscaping on the relevant land</li> <li>• the location of any stormwater detention on the relevant land.</li> </ul>	<input checked="" type="checkbox"/> Confirmed	
A statement about how the proposed development addresses the local government's planning scheme and any other planning instruments or documents relevant to the application.	<input checked="" type="checkbox"/> Confirmed	
A statement about the intensity and scale of the proposed use (e.g. number of visitors, number of seats, capacity of storage area etc.).	<input checked="" type="checkbox"/> Confirmed	
<p>Information that states:</p> <ul style="list-style-type: none"> <li>• the existing or proposed floor area, site cover, maximum number of storeys and maximum height above natural ground level for existing or new buildings (e.g. information regarding existing buildings but not being reused)</li> <li>• the existing or proposed number of on-site car parking bays, type of vehicle cross-over (for non-residential uses) and vehicular servicing arrangement (for non-residential uses).</li> </ul>	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	

A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>When the application involves the reuse of existing buildings</b>		
Plans showing the size, location, existing floor area, existing site cover, existing maximum number of storeys and existing maximum height above natural ground level of the buildings to be reused.	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>When the application involves new building work (including extensions)</b>		
Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are <b>recommended</b> scales) which show the following: <ul style="list-style-type: none"> <li>the north point</li> <li>the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only)</li> <li>the room layout (for residential development only) with all rooms clearly labelled</li> <li>the existing and the proposed built form (for extensions only)</li> <li>the gross floor area of each proposed floor area.</li> </ul>	<input checked="" type="checkbox"/> Confirmed	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are <b>recommended</b> scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation)	<input checked="" type="checkbox"/> Confirmed	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>When the application involves reuse of other existing work</b>		
Plans showing the nature, location, number of on-site car parking bays, existing area of landscaping, existing type of vehicular cross-over (non-residential uses), and existing type of vehicular servicing arrangement (non-residential uses) of the work to be reused.	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>When the application involves new operational work</b>		
Plans showing the nature, location, number of new on-site car parking bays, proposed area of new landscaping, proposed type of new vehicle cross-over (non-residential uses), proposed maximum new vehicular servicing arrangement (non-residential uses) of the proposed new operational work.	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	

**Privacy**—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

**OFFICE USE ONLY**

Date received  Reference numbers

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Mr. Andrew Heweston (Director)  
Noah Creek Development Pty Ltd  
PO Box 115 Edge Hill Qld 4870

9 June 2017

Douglas Shire Council  
PO Box 723  
Mossman QLD 4873

Attn: Town Planning

**Development Application - Material Change of Use - Camping Ground at  
Lot 62, 64 Cape Tribulation Road, Thornton Beach.**

Dear Sir / Madam,

This application is being made under the Sustainable Planning Act 2009 (SPA) to facilitate a 'Material Change of Use' (Impact Assessable) for the development of a 20 site camping ground on the land located at "Noah Creek" 3017 Cape Tribulation Road, Thornton Beach. Formally described as Lot 62, 64 - SP146421 (203.6 hectares).

The subject land is in the Conservation Zone –Thornton rainforest residential and conservation precinct.

The property currently provides tourism visitation; providing tour group access to picnic areas, rainforest walking & hiking trails (since 1997). This proposal seeks approvals to extend this activity and allow low-key controlled camping on the property.

The provision of low-key trail camping compliments existing managed use and would continue to be operated in a controlled fashion with forest trail access limited to protect the environment.

A permitted 20 site camp ground and associated infrastructure is proposed.

The proposed development is sited in already cleared areas of the property and no additional clearing would be required. An existing screen of native plants offers screening and privacy from the public road avoiding any negative visual intrusion/impacts.

Further details are provided in the attached planning report.

In support of the above application please find enclosed:

- **Planning Report**
- **Geotechnical Site Investigation - Gecko Geotechnics GG0032-001R**
- **Design Drawings: Thirkell Consulting Engineers site plan A.01 and land application system drawings C.01 & C.02**
- **IDAS forms 1 & 5**
- **Fees (submitted electronically)**

We trust the associated documentation is sufficient to allow Council's assessment of the proposed development, however should you have any further queries or wish to discuss please do not hesitate to contact me.

Yours faithfully,



Andrew Heweston  
Director, Noah Creek Development PL

**Material Change of Use  
Camping Ground & Associated Infrastructure  
Lot 62, 64, Cape Tribulation Road,  
Thornton Beach  
For Noah Creek Development Pty Ltd**

Planning Report  
June 2017

Revision	Date Issued	Author	Approved By	Date Approved	Version
1.1	08/06/2017	AH	ET	08/06/2017	FINAL

1	Table of Contents	
2	<b>APPLICATION DETAILS</b>	<b>3</b>
3	<b>INTRODUCTION</b>	<b>3</b>
3.1	Assessment Manager	3
4	<b>OBJECTIVE</b>	<b>4</b>
5	<b>SITE LOCATION</b>	<b>4</b>
5.1	THE LOCALITY	4
5.2	THE SITE	6
6	<b>THE PROPOSAL</b>	<b>8</b>
6.1	<b>CAMPGROUND</b>	<b>9</b>
6.1.1	Camp Sites (x 8)	9
6.1.2	Large Sheltered (Glamping) Sites (x7)	9
6.1.3	Group (Excursion/Expedition) Sites (x5)	10
6.2	<b>ASSOCIATED INFRASTRUCTURE</b>	<b>11</b>
6.2.1	Large Site Shelters	11
6.2.2	Sheltered camp sites	11
6.2.3	Amenities /Ablution Block	12
6.2.4	Camp Kitchens	12
6.2.5	Seasonal Staff Accommodation	12
6.2.6	Information / Reception hut	13
6.2.7	Signage	14
6.2.8	Material and Colour scheme	14
6.2.9	Car parking and traffic management plan	15
6.3	<b>CONSTRUCTION PLANS</b>	<b>15</b>
7	<b>NON-COMPLIANCE SUMMARY</b>	<b>15</b>
8	<b>ASSESSMENT AGAINST PLANNING SCHEME</b>	<b>15</b>
8.1	<b>ASSESSMENT AGAINST: LOCALITY - SETTLEMENT AREAS NORTH OF THE DAINTREE</b>	<b>16</b>
8.1.1	World Heritage and Environs Locality Code	16
8.2	<b>ASSESSMENT AGAINST: PLANNING AREA CODES</b>	<b>24</b>
8.2.1	Conservation Planning Area Code	24
8.3	<b>ASSESSMENT AGAINST: LAND USE CODES</b>	<b>31</b>
8.3.1	Camping Ground Code	31
8.3.2	Caravan Park Code	35
8.3.3	Caretaker's Residence Code	39
8.4	<b>ASSESSMENT AGAINST: GENERAL CODES</b>	<b>41</b>
8.4.1	Design & Siting of Advertising Devices Code	41
8.4.2	Filling and Excavation Code	47
8.4.3	Landscaping Code	50
8.4.4	Natural Areas and Scenic Amenity Code	59
8.4.5	Vehicle Parking and Access Code	66
8.4.6	Vegetation Management Code	83
8.4.7	Sustainable Development Code	86
8.5	<b>ASSESSMENT AGAINST: DESIRED ENVIRONMENTAL OUTCOMES</b>	<b>96</b>
8.5.1	Ecological Processes and Natural Systems	96
8.5.2	Economic Development	96
8.5.3	Cultural, Economic, Physical and Social Well-being of the Community	97
9	<b>CONCLUSIONS</b>	<b>98</b>

## Appendix

<b>A</b>	Geotechnical Site Investigation - Gecko Geotechnics GG0032-001R
<b>B</b>	Design Drawings: Thirkell Consulting Engineers site plan and land application system drawings S.01; C.01 & C.02
<b>C</b>	IDAS forms 1 & 5

## 2 APPLICATION DETAILS

Applicant	Noah Creek Development Pty Ltd
Registered Owner of Land	Noah Creek Development Pty Ltd
Contact	Andrew Heweston (Director)
Real Property Description	Lot 62,64 SP146421
Location	'Noah Creek' Cape Tribulation Road, Thornton Beach
Tenure	Freehold
Total Area	203.6 Hectares
Present use	Orchards & Picnic ground/Tourism Trails
Contaminated Lands or Environmental Management Registers	Nil
Potential Easements & Encumbrances	Gazetted but unformed road on Lot 62
Proposal	Proposal Development permit for Material Change of use for Camping Ground & Associated Infrastructure
Planning Scheme	Douglas Shire Planning scheme
Planning Area	Conservation Zone
Neighbourhood	Surrounding land is national forest

## 3 INTRODUCTION

This Report has been prepared as Supporting Information for a Development Application for a Material Change of Use for a section of the property to allow a camping ground (impact assessable) at "Noah Creek"- 3017 Cape Tribulation Road, Thornton Beach. Formally described as Lot 62, 64 - SP146421 (203.6 hectares).

The proposal includes the development of a 20 Site (permit) Camping Ground at Noah Creek and associated facilities to provide overnight camping options to walking and hiking guests using the existing Noah Valley Rainforest Trails.

This Report sets out in detail the following:

- The Objective;
- The Locality;
- The Site;
- The Proposal;
- Assessment Against Planning Scheme;
- Compliance to Desired Environmental Outcomes; and
- Recommendations and Conclusions.

### 3.1 Assessment Manager

The assessment manager for this development application is Douglas Shire Council as determined by Schedule 6 of the Sustainable Planning Regulation 2009.

## 4 OBJECTIVE

The property currently provides tourism visitation; providing tour group access to picnic areas, rainforest walking & hiking trails (forest access -since 1997) in parallel with the existing use of the property as horticultural cropping. This proposal seeks approvals to extend this activity and allow the addition of controlled camping on the property.

The provision of trail camping compliments existing managed use and would continue to be operated in a controlled fashion with forest trail access limited to protect the environment.

The objective of this application is to seek approvals to allow trail hiking guests to overnight trail camp within the Noah valley (Lot 62 & 64) utilising existing trails on the property.

Under current planning requirements this calls for a Camping Ground material change of use impact assessable application to be sort.

To meet compliance under the Camping Ground code a dedicated “trail head”camp ground with appropriate amenities/ infrastructure is proposed along with 5 remote expedition/excursion sites.

## 5 SITE LOCATION

### 5.1 THE LOCALITY

The property known as “Noah Creek” is a relatively isolated portion of the Noah valley, surrounded by national park and part of the Thornton rainforest residential and conservation precinct north of the Daintree River. It is situated approximately 60 km north of Mossman, which is the nearest town to the south, via the Daintree River ferry crossing. The area is serviced by a small Service Station/ General store in Diwan to the south and Cape Tribulation to the north.



Figure 1: Noah Creek relative to the Daintree River

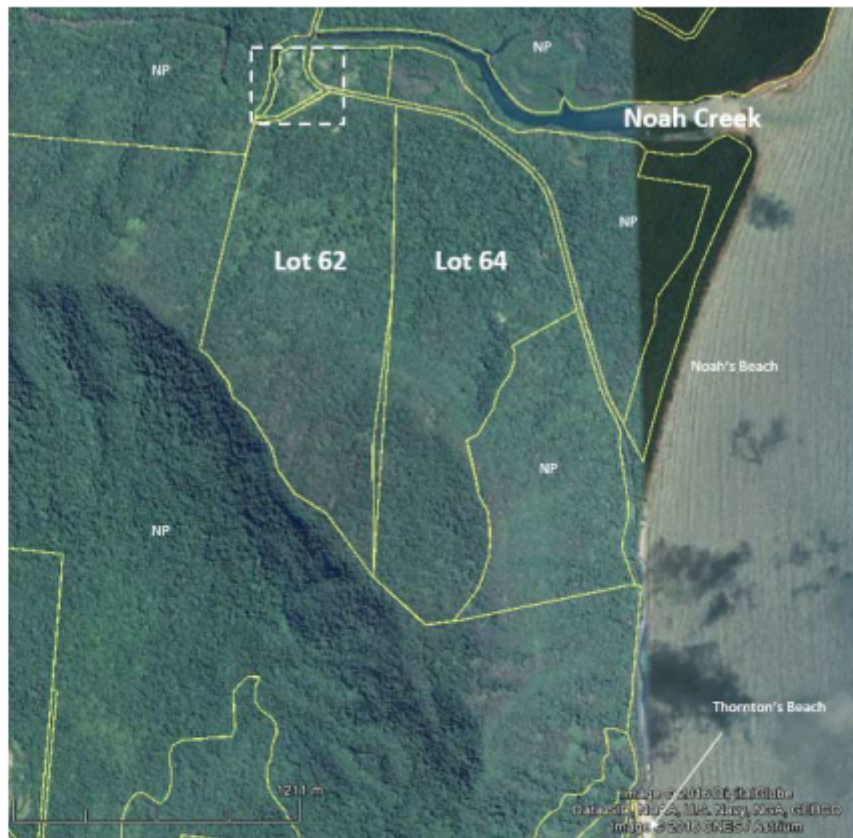


Figure 2: Noah Creek Land Division - Lot 62, 64 Cape Tribulation Road, Thornton Beach

The location of Noah Creek relative to the Daintree River and local precincts is shown in Figure 1. Figure 2 & 3 shows the Noah valley land division lots 62 & 64 SP146421.

The location of the property falls into the Wet Tropics World Heritage Area and both freehold lots back on and are surrounded by Daintree National Park.

The nearest residential neighbours to Noah Creek are at Thornton Beach. Thornton Beach is a small residential enclave located 500 metres south; just outside of Noah Valley. It consists primarily of 13 small residential blocks of land and a beach front Café (CJ's Café) adjacent to Cape Tribulation Road.



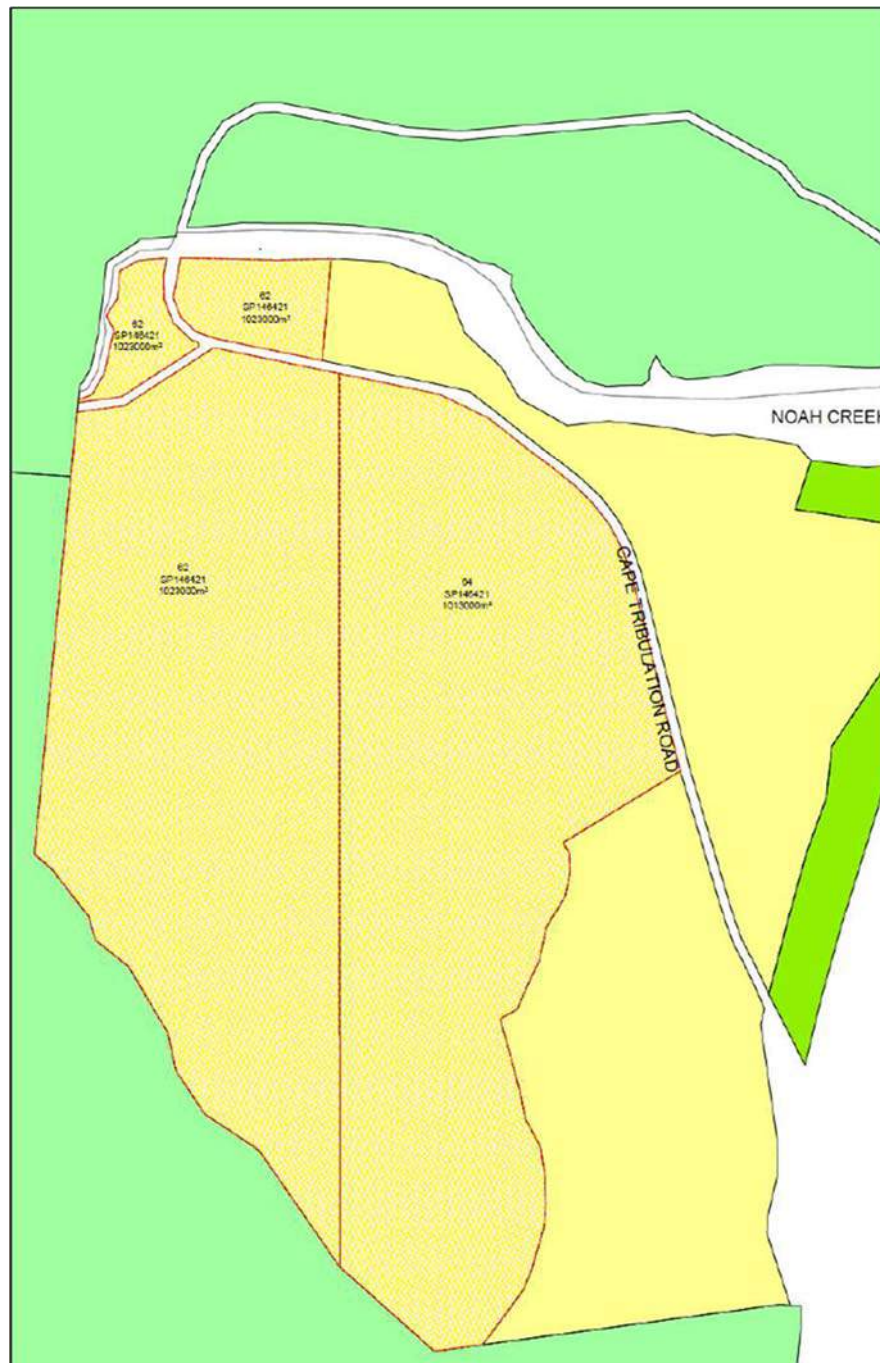


Figure 3: Land Division - Lot 62, 64 Cape Tribulation Road, Thornton Beach

## 5.2 THE SITE

Lot 62 & 64 has a total area of 203.6 hectares. The part of the site to be developed for the camp ground and associated amenities is located on an already cleared portion of Lot 62. This area is approximately 2ha of the 8ha of existing orchards. The approximate site location relative to the larger block is shown as an inset dashed area on figure 2.

Noah Creek is surrounded by National Park, bounded in the north by Noah Creek and fronts onto Cape Tribulation road.

The site is accessed by the fully constructed, sealed Cape Tribulation Road. The property is off-grid and runs on solar power. Water is gravity fed from the creek to the camping site, stored in tanks and made

MCU-Lot 62-64 Cape Tribulation Road, Thornton Beach

potable via UV treatment. On-site septic bio-cycle effluent systems are used for waste disposal purposes. Existing systems have a 26 persons capacity.

Lot 62 & 64 SP146421 is freehold and owned by Noah Creek Development Pty Ltd.

The proposed camp ground site is well drained and situated on a shallow 5 degree sloped, cleared paddock area, adjacent to Cape Tribulation Road and close to Noah Creek. The site is screened from the public road by a thick corridor of existing re-growth rainforest trees and shrubbery. Refer to figures 4 & 5.



Figure 4: Contour Map of Noah Creek showing remote trail camping locations (sites 1-5)

Figure 4 is a contour map of Noah Creek showing the relative location of the proposed trail head camp ground and the remote expedition/excursion sites relative to Mount Emmett and the main Camp Ground area. The inset dashed area is shown in more detail in figure 5.

The majority of the property is uncleared dense rainforest. No clearing is sort as part of this development.

The remote expedition/excursion sites utilise a number of small existing clearings located as shown on figure 4. These clearing sites have been selected as they are away from and not visible from the public road. With the exception of site 5 (Site 5 top of Mt Emmett - refer figure 4) all sites are 4WD/ATV accessible for servicing and monitoring by management.



Figure 5: Location of proposed Trail Head Camp Ground

## 6 THE PROPOSAL

A 20 site camp ground, associated facilities and amenities blocks is proposed. Refer to figure 6 showing the camp ground layout (plan no.1).

The proposed development is sited on cleared areas of the property and no additional clearing would be required. An existing screen of native plants offers screening and privacy from the public road avoiding any negative visual intrusion/impacts.

In order to facilitate trail camping the proposed camp ground would have 15 fixed site locations, vehicle parking and facilities at the beginning of the trail and 5 camping permits to be used; both at the trail head group camp area or on sited trail camping locations.

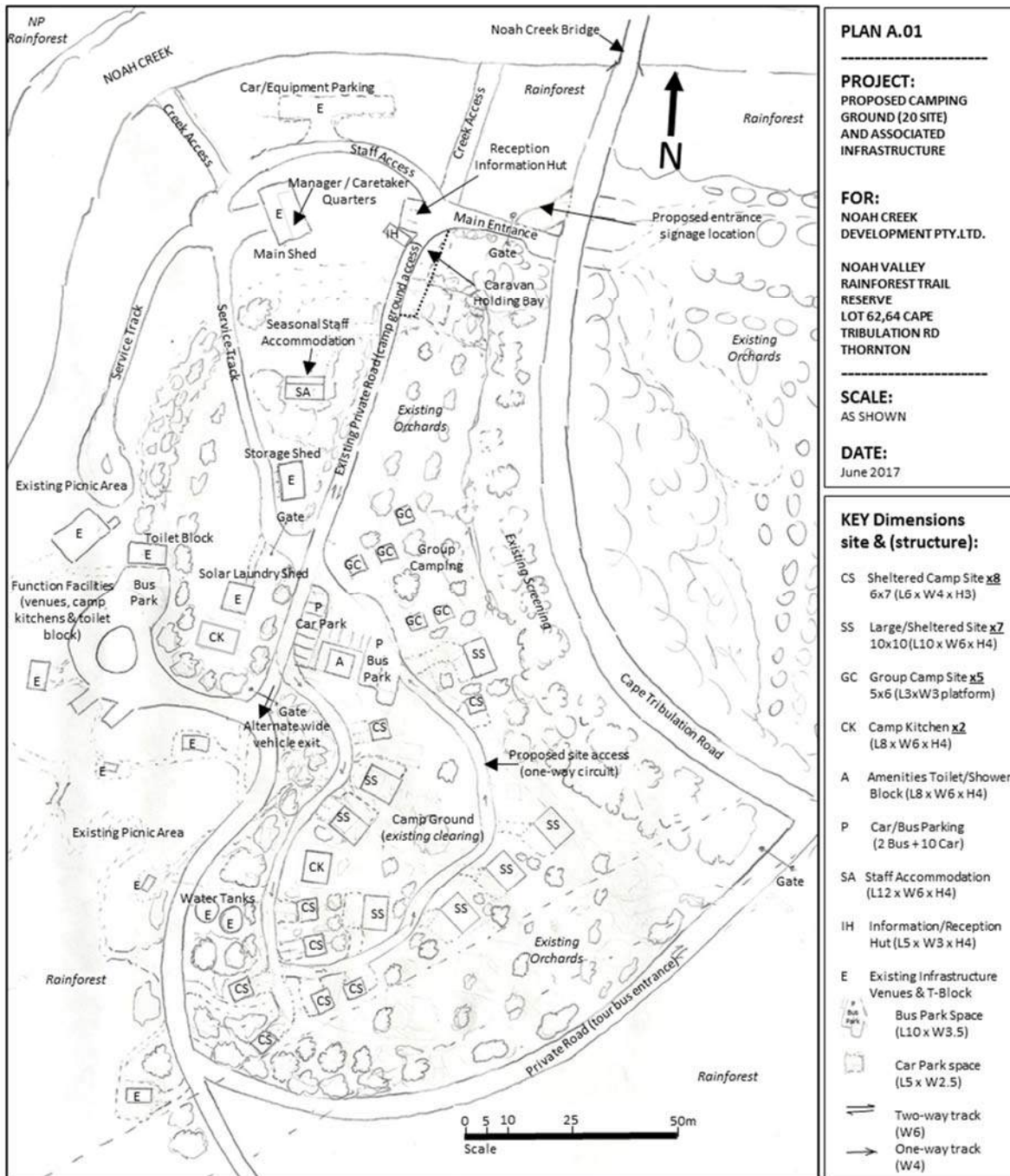


Figure 6: Layout plan No1. Showing the proposed Camp Ground Sites and Infrastructure

## 6.1 CAMPGROUND

Material Change of Use Development 20 Site Camp Ground approval is sort for the following:

### 6.1.1 Camp Sites (x 8)

The site size is 42m<sup>2</sup> (6m x 7m) for tented camping (pre-erected) with additional space for two car parks. It is proposed that sites shall include raised tent platforms and shelter from rain and sun with a shelter size of L6m x W4m x H3m. The site size is greater than 1.5 times the area of the tent.

### 6.1.2 Large Sheltered (Glamping) Sites (x7)

Each site size is 100m<sup>2</sup> (10 x 10m) with the shelter or hut designed to suit camping in the high rainfall environment with year-round use. The shelter size is L10m x W6m x H4m. There is additional room for

either campervans or motorhomes, with a space for two cars. The site size is greater than 1.5 times the area of the tent.

The campervan motorhome sites, denoted on the site plan S.01 as large sheltered sites, are 10m x 10m in area. This includes the site shelter and private ablutions out-house. In this regard, the proposed private ablutions provision is non-conforming. Although any impact is negated, as the modern toilet system technology and design does not require a setback.

### 6.1.3 Group (Excursion/Expedition) Sites (x5)

Each group camp site size minimum is 150m<sup>2</sup>. It is proposed to use camping permits, allowing camping at prescribed group camping locations. There is one location within the main trail head camp area at the "group camp area", and five remote trail sites. It is proposed that the maximum group camping sites are not to exceed five at either the remote or main camp ground areas. Sites use will be moved, rested and temporarily out of use from time to time to manage impacts. Refer to figure 4 for the location of remote expedition sites.

Each of the five sites is sized 5m x 6m with separation distances adhered to in accordance with the rules shown below. It is proposed to install raised tent platforms on wetter areas and the design size is L3m x W3m x height less than 1m. The total site sizes are greater than 1.5 times the area of the tent.

Parking spaces (10 x car, 2 x bus) located at the main camp ground (near the amenities block).

In order to be aware of the physical effects on the environment and help to prevent any detrimental impacts, use of the remote camp sites within the trail reserve would require walkers/hikers adherence to the following rules, to be issued with permits:

#### **Remote Trail Camping Permit Rules:**

- Remote camping by permit only, trail camp plan to be approved by management before departure.
- Camp only in designated assigned camping areas (refer to figure 4 Site 1 to 5).
- Maintain a 3m separation between tents
- Be considerate of other campers by minimising noise.
- Stay on the trail and don't cut corners creating new tracks (prevents erosion and visual scarring and potential to misdirect following hikers).
- Wear low-impact, soft-soled shoes around camp sites.
- At locations where toilet facilities are not provided, a trowel must be used to bury toilet waste and paper, at least 15 cm deep, well away from camp sites, the trail, watercourses and drainage lines (prevents unsightliness, unpleasant odours, pollution of creeks and potentially dangerous hygiene problems).
- Take rubbish off the reserve and pick up rubbish left by others (sanitary pads, tampons and condoms not to be buried and must be wrapped and carried off the reserve).
- All plants and animals are protected. Do not remove plant material, living or dead.
- Feeding wildlife is not allowed as it can affect their health and alter the natural population balance.
- In an effort to reduce the risk of wildfires and lessen environmental damage open camp and cooking fires are not allowed at remote camp sites i.e. fuel stove only areas.
- Avoid the spread of weeds. Regularly check footwear and clothing for seeds. Remove, wrap and carry foreign seeds off the reserve with rubbish.
- Protect water quality by not wearing insect repellents or sunscreen and by not urinating when swimming.

- Wash at least 50 m from creeks and swimming holes. Use gritty sand and a scourer instead of soap to clean dishes, and scatter wash water so that it filters through the soil before returning to the stream.
- Avoid allowing soaps, detergents, toothpaste and cosmetics to come into contact with water sources.
- Inform management upon return.

## 6.2 ASSOCIATED INFRASTRUCTURE

The following associated infrastructure is proposed for construction as part of this material change of use development approval:

### 6.2.1 Large Site Shelters

The proposed size for seven single story shelters is L10 x W6 x H4 as shown on figure 6 'Large sheltered sites' (SS). They are an open design with weather screening and balustrading. A raised platform would be used as a floor for sloped site locations. The proposed height will not exceed 4m, with allowance for slope. Refer to drawing 1 showing a sketch view of the proposed shelter structure.

As shelters would be private, forming part of the associated site a site/building separation has been allowed for in the overall sheltered site size. No Mains power supply is available at Noah Creek and basic solar lighting shall be installed.

Shelters are proposed to have ensuite out-houses located to the rear. These would utilise a combination of serviced porta-loo or installed bio-cycle waste systems as permitted.

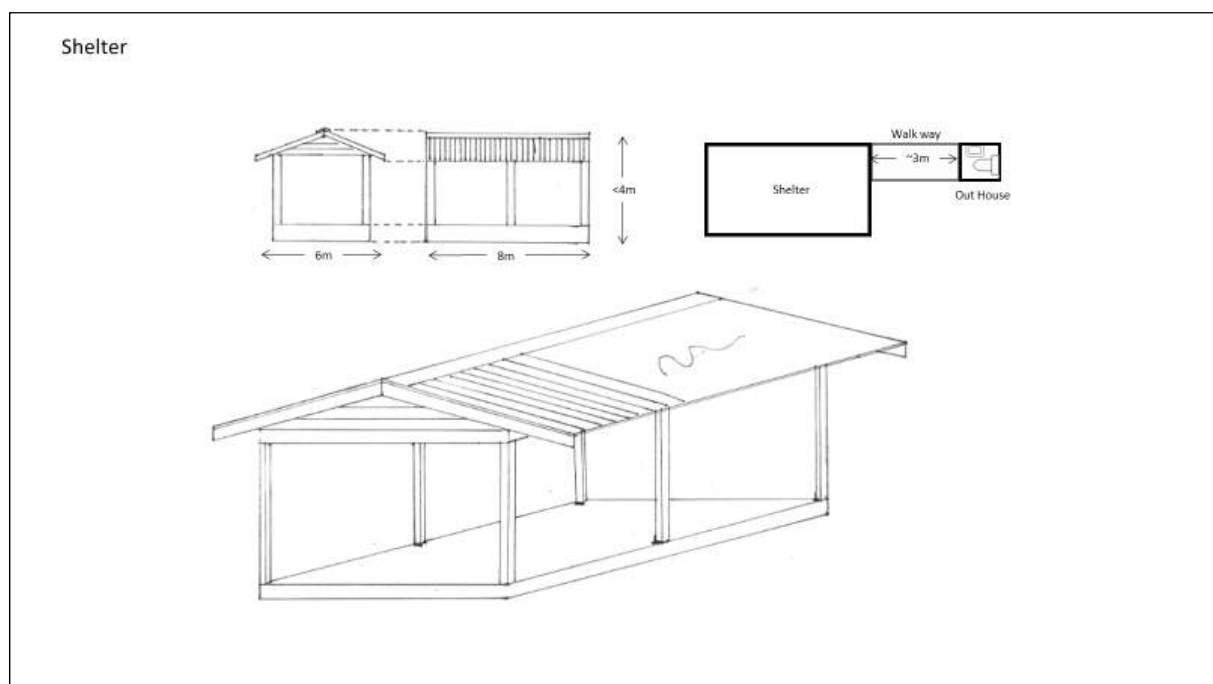


Figure 8: Concept Drawing 1 – Typical Site / Camp Kitchen Shelter Structure

### 6.2.2 Sheltered camp sites

The smaller sheltered camp sites are shown on figure 6 'sheltered camp site' (CS) have a similar structure and the size is L6m x W4m x H3m consisting of a raised deck platform and basic shelter structure. No out-house is included but an out-house is located nearby. Refer to appendix B site plan.

### 6.2.3 Amenities /Ablution Block

The proposed size is L8m x W6m x H4m with two female shower/toilets, two male shower/toilets and covered dump point. An associated plumbing and bio-cycle waste system is to be installed. Refer to drawings in appendix B. Installed lighting shall be powered from the existing solar shed. Figure 9 shows a sketch view of the proposed block. It is proposed that the height does not exceed 4m with allowance for slope. There shall be a covered dump point at the side.

Note existing shared trail/picnic ground facilities will also service the camp ground needs. It includes an existing toilet block (Pedestals: 1x female, 1x male, & 1x Urinal plus 2x unisex m/f). Plus existing laundry with two washers, dryer and clothes lines. This facility has a 26 person capacity.

This proposal includes the addition of four septic systems located at separate sites, to cover the camp grounds and associated facilities. All sites are disconnected and have separate land application areas and required reserves. The waste water management system has been designed to provide a camp ground capacity of 100 persons. Please refer to the design drawings at appendix B.

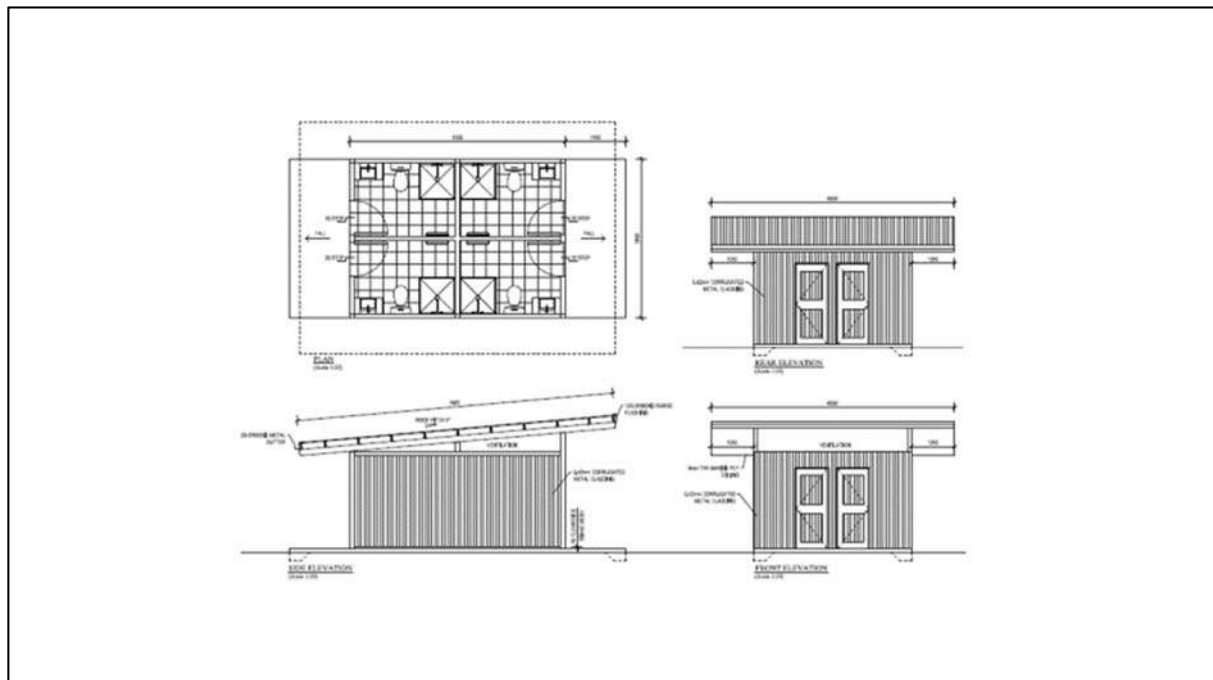


Figure 9: Concept Drawing 2 – Proposed Ablution Block layout

### 6.2.4 Camp Kitchens

Two camp kitchens are proposed. One kitchen is for campers. The other kitchen is similar but intended for group function use and as a caterer's cooking area (located next to the existing solar shed). The caterer's kitchen will have an enclosed food preparation area. Power supply to both kitchens is from the existing solar shed. The kitchens will be fitted with UV sterilised potable water. The proposed structure and design is like the large sheltered site structure. See figure 8. The proposed size L8m x W6m x H4m.

Refer to figure 8 showing a sketch view of the proposed shelter structure. The proposed height shall not exceed 4m with allowance for slope. No out-house structure is proposed for the camp kitchens as amenities are nearby.

### 6.2.5 Seasonal Staff Accommodation

A demountable building with ensuite - is proposed for use as 'seasonal' staff accommodation. The proposed size is L12m x W6m x H4m. Typical floor plan is shown in figure 10. The accommodation is

MCU-Lot 62-64 Cape Tribulation Road, Thornton Beach

situated in an area screened from view of the camp ground. The demountable building will be selected based on having capacity for 1-2 staff and amenities and the internal layout may vary.

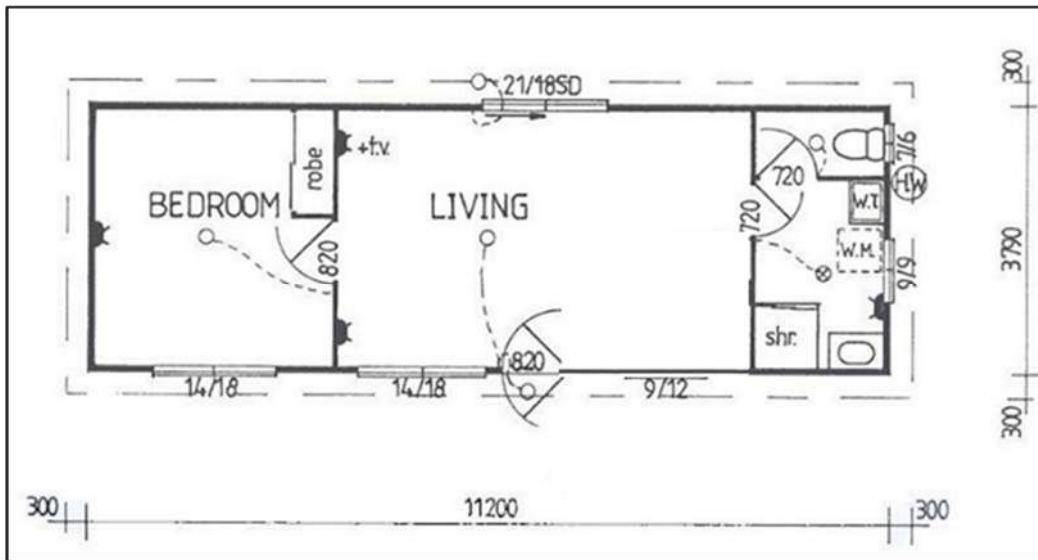


Figure 10 – Typical Flor plan of Staff Accommodation demountable

#### 6.2.6 Information / Reception hut

A small information and reception hut is proposed to be located near the main entrance, with a proposed size of L5m x W3m x H4m; along with 3 visitor arrival parking bays and a large holding bay (20m x 4m) for arrival of trailered vehicles, campervans or motorhomes.

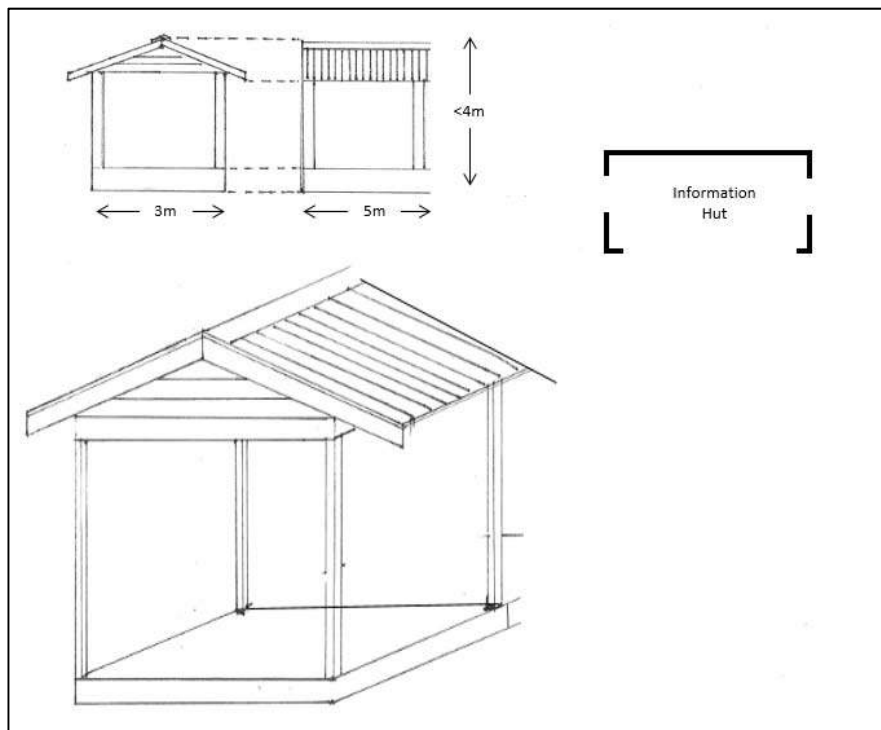


Figure 11: Concept Drawing 3 – Proposed Information / Reception Hut



### 6.2.7 Signage

Proposed signage is to be located at the main entrance gate, 10m from the public road. The proposed size is less than 4m<sup>2</sup>, with a length less than 3m, and a height less than 2m. It is proposed to illuminate the sign for night guest arrivals.

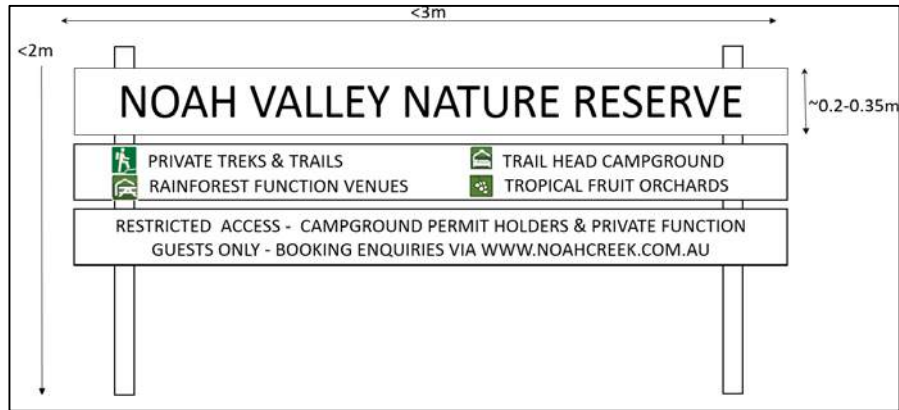


Figure 12: Concept Drawing 4 – Proposed Entrance Signage

### 6.2.8 Material and Colour scheme

It is proposed that the materials and colours match the existing infrastructure scheme i.e. same as the existing picnic ground infrastructure with galvanised roofing iron (suited to environment) and natural oiled woods. Photo 1 shows an example of the existing colour scheme and building style used on the property.



Photo 1 Existing Building Example -Design Style & Colour Scheme

### 6.2.9 Car parking and traffic management plan

There is a total of 20 sites. A minimum of one car space is proposed to be situated with 15 of the sites. In addition, a further eight car parks are provided at the main car park for group camping visitors as shown on drawing S.01 site plan. Therefore, the car parking provisions exceeds requirements in accordance with the tourist and short-term accommodation uses for a camping ground.

It is proposed that group camping guests and visitors use the 10 carparking spaces adjacent to the ablutions block.

Two bus bays and a wash -down area is situated on the eastern side of the ablutions block.

There is also an additional six car parks available at the staff accommodation block (2), the managers quarters (2), information entrance hut (2) and entrance holding bay parking.

The traffic management plan is denoted by the traffic flow direction markers on plan S.01. This proposes to have single one-way traffic in the camp ground area and segregates function facilities traffic from camp ground traffic.

## 6.3 CONSTRUCTION PLANS

Detailed certified structural and engineering drawings will be submitted for building approval

## 7 NON-COMPLIANCE SUMMARY

The campervan motorhome sites, denoted on the site plan S.01 as large sheltered sites, are 10m x 10m in area. This includes the site shelter and private ablutions out-house. In this regard, the siting of the proposed private ablutions provision is non-conforming. Although there is no impact, as the modern toilet system technology and design does not require a setback and the camping site benefits from the privacy and security of the closer location.

## 8 ASSESSMENT AGAINST PLANNING SCHEME

The proposed development for a Material Change of Use for the purpose of a Camping Ground within the Conservation Planning area and associated buildings is considered an 'impact assessable development' under the Douglas Shire Planning Scheme and as defined in the Sustainable Planning Act, 2009 [SPA].

Under the provisions of the SPA and the Douglas Shire Planning Scheme, the following level of Assessment is applicable, in accordance with the IDAS process:

Douglas Shire Council Planning Scheme		Code Applicability
Locality Code	World Heritage & Environs Locality Code	Y
Planning Area Codes	Conservation Planning Area Code	Y
Land Use Code	Camping Ground Code	Y
	Caravan Park Code	Y
	Caretaker's Residence Code	Y

General Codes	Design & Siting of Advertising Devices Code	Y
	Filling & Excavation Code	Y
	Landscaping Code	Y
	Natural Area & Scenic Amenity Code	Y
	Vehicle Parking & Access Code	Y
	Vegetation Management Code	Y
	Sustainable Development Code	Y
DEO's	Desired Environmental Outcomes	Y

Performance criteria of the codes is addressed below in tables, with comments relating to acceptable solutions regarding compliance. A “Compliant” comment infers the ability to meet compliance during and upon completion of the development.

This development application has also addresses the Caravan Park; Caretakers Residence and Sustainable Development Codes, although we understand compliance may not be mandatory.

## 8.1 ASSESSMENT AGAINST: LOCALITY - SETTLEMENT AREAS NORTH OF THE DAINTREE

### 8.1.1 World Heritage and Environs Locality Code

This Code applies to assessable development in the World Heritage Areas and Environs Locality and also applies to assessable development on land which is partially in the World Heritage Areas and Environs Locality and partially within an adjoining Locality.

#### **Purpose**

The purpose of this Code is to facilitate the achievement of the following outcomes for the World Heritage Areas and Environs Locality:

- protect the values of the WTWHA and the GBRWHA;
- ensure that any development is undertaken in a sensitive and sympathetic manner and that future activities associated with any development protect the environmental values of the World Heritage Areas (WHA's);
- ensure that any development occurring immediately adjacent to the WTWHA provides for an effective buffer to the Area to ensure the protection of the high ecological values of the Area and any environmental values of adjacent land;
- facilitate any future land use aspirations of the local Indigenous communities which are compatible with achieving the other planning outcomes for the Locality; and
- ensure that Roads within the WTWHA are retained as scenic drives.

#### **Applicability**

This Code applies to assessable development in the World Heritage Areas and Environs Locality and also applies to assessable development on land which is partially in the World Heritage Areas and Environs Locality and partially within an adjoining Locality, for:

- Material Change of Use;
- Reconfiguring a Lot;
- Operational Work Associated with Reconfiguring a Lot;
- Operational Work – Filling or Excavation not associated with a Material Change of Use;
- Operational Work – Engineering Works not associated with a Material Change of Use;
- Operational Work – Placing an Advertising Device on Premises not associated with a Material Change of Use; and
- Building Work other than Minor Building Work not associated with a Material Change of Use.

**Elements of the Code**

***General Requirements***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P1 Buildings and structures complement the Height of surrounding development and are subservient to the surrounding environment and in keeping with the unique character of the Locality.</p>	<p>A1.1 In the Conservation Planning Area in this Locality the maximum Height of Buildings/structures is 6.5 metres and 2 storeys. In addition, the roof or any ancillary roof features do not exceed a maximum Height of 3.5 metres.</p>	<p>Compliant: The shelters and associated infrastructure has building heights of 3 to 4 m.</p>
<p>P2 Development is connected to sustainable on Site infrastructure services.</p>	<p>A2.1 Water storage tank/s with a capacity to service the proposed use, including firefighting capacity and Access to the tank/s for fire trucks. Tank/s to be fitted with a 50 mm ball valve with a camlock fitting and installed and connected prior to occupation and sited so as to be visually unobtrusive.</p> <p>Water storage tanks are to be fitted with screening at the inlet to prevent the intrusion of leaves and insects.</p> <p>A2.2 On any roof exceeding 100m<sup>2</sup>, gutters are installed and the flow diverted to a storage tank.</p>	<p>Compliant: Tanks are existing and 50mm ball valves to be installed</p>

		A2.3 An environmentally acceptable and energy efficient power supply is constructed and connected prior to occupation and sited so as to be visually unobtrusive.	
P3	Onsite wastewater does not adversely impact on the environmental quality of the water and soil resources or the amenity of residents, through the implementation of best environmental practice.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Compliant: See appendix B.
P4	Landscaping of development Sites complements the existing character of the Locality.	A4.1 Landscaping utilises only native species and complies with the requirements of Planning Scheme Policy No 7 – Landscaping.  AND  All of the existing Landscaping to be retained and all of the proposed Landscaping is 100% endemic or native species and the details are provided on a Landscape Plan.	Compliant: No additional vegetation clearing or new plantings required.
P5	Development Sites are provided, in an ecologically sustainable manner, with efficient and safe vehicle Access and manoeuvring areas on Site.	A5.1 Vehicular Access with a maximum width of 4 metres is sited in an approved location, following the contours of the Site, avoiding large tree specimens or significant vegetation and habitat corridors and is constructed and maintained to a minimum gravel standard of 75 mm of road base on a compacted soil surface.  A5.2 Vehicular Access is constructed prior to the construction of the development. The alignment of the vehicular Access is	Compliant: Existing access complies and one new one-way track is formed, that is 4 metres in width with a minimum gravel standard of 75mm.

		sited clear of significant vegetation, any Watercourse or steep slopes.	
P6	Site Access driveways and Roads within the Locality are retained as safe, slow speed, scenic drives.	A6.1 Site Access driveways and existing or proposed Roads comply with the relevant requirements of Planning Scheme Policy No 6 – FNQROC Development Manual and are maintained as low speed gravel Roads to maintain the scenic drive experience and to discourage the use of Roads by through-traffic.	Compliant
		<p>A6.2 Existing Roads adjacent to a development Site are upgraded and regularly maintained to an all-weather standard in accordance with the relevant requirements of Planning Scheme Policy No 6 – FNQROC Development Manual, to provide for the volumes of traffic now and in the future without compromise to corridors, habitat values, flora and fauna linkages and scenic values.</p> <p>HOWEVER</p> <p>Where existing Roads/tracks are 4 wheel drive only, upgrading to facilitate conventional vehicles and an increase in through-traffic does not occur.</p>	Compliant
P7	Development minimises the loss of native vegetation and has minimal impacts on the habitat of native animals and on the environment <sup>1</sup> .	<p>A7.1 The elements of development and Access to the site are included in a Designated Development Area (DDA).</p> <p>A7.2 Development is sited where a Clearing is limited to a maximum area of 700 m<sup>2</sup> of a Site (The 700m<sup>2</sup> area of Clearing does not include an access driveway.)</p>	Compliant: There are no new clearings and no fences or barriers exist or are proposed.

<sup>1</sup> Vegetation clearing is required to be undertaken in accordance with Local Law – Vegetation Management.

	<p>AND</p> <p>No fences or barriers are Erected which compromise or alienate habitat values, (in particular the Southern Cassowary), or vegetation connectivity and any fences or barriers are constructed with a top wire of plain wire with any barbed wire confined to the lower strands.</p>	
--	--	--

**Protecting the Values of the WTWHA**

*Protection of the Wet Tropics Biodiversity – General*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P8 Any development within the WTWHA is undertaken in accordance with the requirements of the Wet Tropics Management Plan 1998 (WTMP) <sup>2</sup> .	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme 10 – Reports and Information the Council May Request, for code and impact assessable development).	Compliant
P9 Flora which comprises a distinctive plant community is protected in accordance with the WTMP <sup>3</sup> .	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Compliant: No new flora is proposed.
P10 Fauna which comprise unique animal communities is protected in accordance with the WTMP <sup>3</sup> .	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is	Compliant: No fauna is proposed.

<sup>2</sup>Applicants are advised that in accordance with the Wet Tropics World Heritage Protection and Management Act 1993, further permits and/or approvals may be required in accordance with the Wet Tropics Management Plan 1998.

		outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	
P11	Habitat connectivity of forests and other vegetation communities is maintained and protected.	A11.1 Development is sited so as to ensure vegetation/habitat connectivity is maintained and protected.	Compliant
P12	Rehabilitation of natural processes on a disturbed Site is undertaken to improve the environmental integrity of the area.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Compliant
P13	Water quality including groundwater, Watercourses and water catchments are protected and, if necessary, enhanced.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Compliant: No additional water take is required and usage will be within the existing license. Water conserving and reduction fixtures are proposed. All boundary setbacks are adhered to. Refer to appendix B, drawings C.01 & C.02
P14	Building form, materials and colours are compatible with the natural surroundings.	A14.1 The exterior finishes and colours of Building/s are non reflective and complement the colours of the surrounding vegetation and viewshed.  A14.2 The development incorporates building design features and architectural elements detailed in Planning Scheme Policy No 2 – Building Design and Architectural Elements.	Compliant: The existing and proposed colour scheme is neutral and natural colours include oiled wood and zincalume roofing.
P15	Development is subservient to and in harmony with, the environment and low key in character and scale.	A15.1 The development is comprised of a number of small scale Buildings strategically sited to reduce the visual impact of development and to provide	Compliant: The 200ha property has a 2ha site with existing structures. It is proposed to add 20 new small-scale shelters. The site is



	opportunities to appreciate the surrounding environment.	setback and screened from the road. The access tracks around the site facilitate easy manoeuvrability and connectivity.
	A15.2 Connectivity between Buildings is provided to facilitate easy manoeuvrability within the Site for guests and staff.	
P16 Interpretation and education associated with WHA's are encouraged.	A16.1 The scale and character of interpretive facilities and educational facilities reflects the importance of maintaining the environmental values of the area as the dominant feature and not the built environment.  A16.2 Interpretive facilities and educational facilities are of high quality and contribute to the visitor's experience to the area.	Compliant: The low-impact small-scale structures are in keeping with the character of existing buildings and promote the environmental values of the world heritage area.

***Commercial Development – North of the Daintree River to Rykers Creek, Cape Tribulation***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P17 Commercial development north of the Daintree River to Rykers Creek at Cape Tribulation protects the environmental values of the WTWHA and is consistent with the character of the area.	A17.1 No new commercial uses involving Bed Spaces are established.	Not Applicable

**Protecting the Values of the GBRWHA**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	
P18 Development proposed on a Site which interfaces with the GBRWHA minimises impacts.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and	Compliant: The low-impact small-scale nature of the camping ground is in keeping with the character of existing buildings and promotes the

	Information the Council May Request, for code and impact assessable development).	environmental values of the world heritage area.
P19 The critical habitat of species, including migratory species, and ecological communities which are an integral part of the GBRWHA system are protected from adverse impacts associated with development.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Compliant: The low-impact small-scale development of the camping ground is in keeping with the character of existing buildings and promotes the environmental values of the world heritage area.
P20 The environmental values and undeveloped character of Snapper Island and Low Isles are protected and sustained.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Not Applicable
P21 The recreational activities on Snapper Island and Low Isles remain low key and informal.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Not Applicable
P22 The human impacts on Snapper Island and Low Isles are minimised.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Not Applicable

***Protection of Scenic Amenity and Natural Values***

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P23 Development does not adversely impact on areas of sensitive natural vegetation, foreshore areas, Watercourses and areas of tidal inundation which contribute to the Scenic Amenity and natural values of the Locality<sup>3</sup>.</p>	<p>No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).</p>	<p>Compliant: The low-impact small-scale nature of the camping ground development is in keeping with the character of existing buildings and promotes the environmental values of the world heritage area.</p>

**Indigenous Interests**

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P24 The land use aspirations in any Indigenous Land Use Agreement (ILUA) are acknowledged and facilitated.</p>	<p>A24.1 Development is consistent with any ILUA relating to the land and the relevant provisions of the Planning Scheme.</p>	<p>Compliant: The low-impact small-scale nature of the camping ground development is in keeping with the character of existing buildings and promotes the environmental values of the world heritage area.</p>

## 8.2 ASSESSMENT AGAINST: PLANNING AREA CODES

### 8.2.1 Conservation Planning Area Code

**Purpose**

The purpose of this Code is to facilitate the achievement of the following outcomes for the Conservation Planning Area:

- protect biological diversity, ecological integrity and Scenic Amenity;
- ensure that any recreational or other uses of areas within the Planning Area that are in the control of the Crown or the Council, such as Reserves, National Parks and the Wet Tropics World Heritage Area or areas adjacent to these areas, are consistent with the management plans of the controlling authority so that the conservation and scenic values of these areas are not adversely affected;

<sup>3</sup> The Environmental Protection Agency is a Concurrence Agency for assessable development within a Coastal Management District.

- ensure that any use of land in private ownership in the Planning Area does not affect the environmental, habitat, conservation or scenic values of that land or surrounding area; and
- ensure that any low intensity facilities based on an appreciation of the natural environment or nature based recreation only establish when there is a demonstrated need and provided they will have minimal impact on the environmental and Scenic Amenity values of the Site or the surrounding area.

**Elements of the Code**

*Consistent and Inconsistent Uses – General*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P1 The establishment of uses is consistent with the outcomes sought for the Conservation Planning Area.</p>	<p>A1.1 Uses identified as inconsistent uses in the Assessment Tables are not established in the:</p> <ul style="list-style-type: none"> <li>• Conservation Planning Area.</li> </ul> <p style="text-align: center;">OR</p> <ul style="list-style-type: none"> <li>• In the four Precincts included in the Conservation Planning Area in the Settlement Areas North of the Daintree River Locality</li> </ul>	<p>Compliant: The low-intensity small-scale nature of the camping ground will have minimal impact on the environmental and amenity values of the area.</p>

*Site Coverage*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P2 The Site Coverage of all Buildings does not have an adverse effect on the conservation or Scenic Amenity values of the Site and Buildings are subservient to the natural environment.</p>	<p>A2.1 Development is sited in an existing cleared area or in an area approved for Clearing under the Local Law – Vegetation Management but which is not cleared until a Building Permit is issued. Any Clearing is limited to a maximum area of 700 m<sup>2</sup> and is sited clear of the High Bank of any Watercourse.</p>	<p>Compliant: The 200 ha property has 2 ha of proposed low-intensity small-scale camping grounds that will have minimal impact on the environmental and amenity values of the area. The low-impact small-scale structures are subservient to the natural environment. All proposed development is</p>

	(The 700 m <sup>2</sup> area of new Clearing does not include an access driveway.)	situated within existing clearings.
--	--	-------------------------------------

***Building/Structure Setbacks***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	
P3 Buildings/structures are Setback from the boundaries of the Site so they are screened from view from the boundaries of adjoining properties and adjoining Roads and so that the Scenic Amenity values of the area are not adversely affected.	A3.1 Buildings are Setback not less than: <ul style="list-style-type: none"> <li>• a minimum of 40 metres from the Frontage of a State-Controlled Road; or</li> <li>• a minimum of 25 metres from Cape Tribulation Road Frontage; or</li> <li>• 20 metres from the Frontage to any other Road; and</li> <li>• 10 metres from the side and rear boundaries.</li> </ul>	Compliant: The camping ground buildings are setback 25 metres from the Cape Tribulation Road frontage; as shown on drawing S.01. .There are no other gazetted roads and buildings are setback over 10 m from all boundaries.
P4 Buildings/structures are Setback from Watercourses and other sensitive areas to ensure the environmental values of the area are not adversely affected.	No Acceptable Solution  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).	Compliant: All proposed new buildings are setback more than 40 metres from Noah Creek.

***Residential Density***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P5 Residential density of any development is very low to ensure that the conservation and Scenic Amenity values of the Site and the surrounding area are not adversely affected.	No Acceptable Solution.  (Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy	Compliant: Total capacity of the proposed site and land application system is 100 persons for the 200ha property. Refer to drawing C.02.

	No 10 – Reports and Information the Council May Request, for code and impact assessable development).	
--	---	--

**Landscaping**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P6 Landscaping incorporates endemic/native vegetation, is informal in character and complementary to the existing natural environment, provides screening and enhances the visual appearance of the development <sup>4</sup> .	<p>A6.1 For any development, the balance area of the Site not built upon must be landscaped/revegetated, predominantly with native vegetation and in accordance with the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping.</p> <p>A6.2 Landscaping must be informal in character.</p> <p>A6.3 At the time that a Site is developed for any purpose, the Road Frontage Setback areas are landscaped/revegetated so that 10 metres of the Setback area immediately adjacent to any Road Frontage, where the minimum total Setback required is 20 metres or greater, is landscaped with Dense Planting.</p>	Compliant: There is no proposed additional clearing and all existing native vegetation is maintained.

**Environmental Values – General**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
-----------------------------	-----------------------------	-----------------

<sup>4</sup> Vegetation clearing is required to be undertaken in accordance with Local Law – Vegetation Management.

P7	Development does not adversely impact on the natural environment, natural vegetation or Watercourses.	<p>No Acceptable Solution</p> <p>(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).</p>	<p>Compliant:</p> <p>There is no proposed additional clearing and all existing native vegetation is maintained. No additional water take is required and usage will be within the existing license. Water conserving and reduction fixtures are proposed. All boundary setbacks are adhered to. Refer to appendix B, drawings C.01 &amp; C.02</p>
P8	Development is complementary to the surrounding environment.	<p>A8.1 Development harmonises with the surrounding environment, for example, through suspended, light weight construction on sloping Sites, which requires minimal excavation and fill.</p> <p>A8.2 A Development is subservient to the natural landscape in scale and in the use of exterior colours and finishes.</p> <p>A8.3 Any driveway or car park is constructed and maintained to:</p> <ul style="list-style-type: none"> <li>• minimise erosion, particularly in the wet season; and</li> <li>• minimise cut and fill;</li> <li>• follow the natural contours of the Site; and</li> <li>• minimise vegetation Clearing.</li> </ul>	<p>Compliant:</p> <p>The small-scale low-intensity nature of the buildings are designed for light-weight construction with no requirement for excavation or filling. The existing and proposed colour scheme is neutral and natural colours include oiled wood and zincalume roofing. A proposed new section of access track follows the natural contours of the site. No vegetation clearing is proposed.</p>

*Sloping Sites*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P9 Building/structures are designed and sited to be responsive to the constraints of sloping Sites.	<p>A9.1 Building/structures are Erected on land with a maximum slope not exceeding 15%.</p> <p style="text-align: center;">OR</p>	<p>Compliant:</p> <p>The site slopes gently &lt;5° downward to the north-east. See appendix A.</p>

	<p>Development proposed to be Erected on land with a maximum slope between 15% and 33% is accompanied by a Geotechnical Report prepared by a qualified engineer at development application stage.</p> <p style="text-align: center;">OR</p> <p>Development proposed to be Erected on land with a maximum slope above 33% is accompanied by a Specialist Geotechnical Report prepared by a qualified engineer at development application stage which includes sign-off that the Site can be stabilised.</p> <p style="text-align: center;">AND</p> <p>Any Building/structures proposed to be Erected on land with a maximum slope above 15% are accompanied by an additional Geotechnical Report prepared by a qualified engineer at building application stage.</p> <p>(Information that the Council may request as part of the Geotechnical Report are outlined in Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development.)</p>	<p>No buildings are proposed to be erected on a slope exceeding 15%.</p>
<p>P10 The building style and construction methods used for development on sloping Sites are responsive to the Site constraints.</p>	<p>A10.1 A split level building form is utilised.</p> <p>A10.2 A single plane concrete slab is not utilised.</p> <p>A10.3 Any voids between the floor of the Building and Ground Level, or between outdoor decks and Ground Level, are screened from view by using lattice/batten</p>	<p>Not Applicable</p>



		screening and/or Landscaping.	
P11	Development on sloping land minimises any impact on the landscape character of the surrounding area.	A11.1 Buildings/structures are sited below any ridgelines and are sited to avoid protruding above the surrounding tree level.	Compliant: The buildings are single storey and well below the surrounding tree level.
P12	Development on sloping land ensures that the quality and quantity of stormwater traversing the Site does not cause any detrimental impact to the natural environment or to any other Sites.	A12.1 All stormwater drainage discharges to a lawful point of discharge and does not adversely affect downstream, upstream, underground stream or adjacent properties.	Compliant: The proposed camp ground site is well drained and situated on a shallow 5 degree sloped, cleared paddock area, adjacent to Cape Tribulation Road and close to Noah Creek.

***Sustainable Siting and Design of Houses on Sloping Sites***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P13 A House sited on hillside land is sited in an existing cleared area, or in an area approved for Clearing	<p>A13.1 A House is sited in an existing cleared area or in an area approved for Clearing under the Local Law – Vegetation Management but which is not cleared until development occurs. The Clearing is limited to a maximum area of 700 m<sup>2</sup> and is sited clear of the High Bank of any Watercourse.</p> <p>(The 700 m<sup>2</sup> area of Clearing does not include an access driveway.)</p> <p>A13.2 The approved area for the Clearing of the House is not cleared until a Building Permit is issued.</p>	Compliant: No clearing is proposed.
P14 A House sited on hillside land is sited so that it is not clearly visible from any public Road.	A14.1 A House is Setback a minimum of 25 metres from Cape Tribulation Road or 20 metres from any other Road Frontage.	Compliant: The camping ground buildings are setback 25 metres from the Cape Tribulation Road

		frontage; as shown on drawing S.01. There are no other gazetted roads and buildings are setback over 10 m from all boundaries.	
P15	A House sited on hillside land is sited and designed so that it is subservient to the surrounding natural environment.	A15.1 A House is effectively screened from view by existing native trees planted in designated Setback area/s, or by the planting of additional native trees endemic to the local area.	Compliant: The site is screened from the public road by a thick corridor of existing re-growth rainforest trees and shrubbery.
P16	The exterior finishes of a House complements the surrounding natural environment.	A16.1 The exterior finishes and colours of Building/s are non reflective and complement the colours of the surrounding vegetation and viewshed.	Compliant: The existing and proposed colour scheme is neutral and natural colours include oiled wood and zincalume roofing.
P17	A House is designed to be energy efficient and functional in a humid tropical rainforest environment.	A17.1 The development incorporates building design features and architectural elements detailed in Planning Scheme Policy No 2 – Building Design and Architectural Elements.	Compliant: The small-scale low-intensity nature of the buildings are subordinate to the natural environment and designed for light-weight construction with no requirement for excavation or filling.

## 8.3 ASSESSMENT AGAINST: LAND USE CODES

### 8.3.1 Camping Ground Code

To comply with the purpose of the Camping Ground Code, the proposal is required to comply with the Performance Criteria outlined in this Code. The proposed development's compliance with the relevant provisions of the Code is outlined below.

#### **Purpose**

The purpose of this Code is to ensure that Camping Grounds are designed and located to provide adequate facilities and a suitable amenity for short term occupants and are compatible with the amenity of the locality.

#### **Elements of the Code**

***Siting, Area and Design***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P1 The Site of a Camping Ground contains sufficient area to accommodate the accommodation and facilities necessary for the short term occupants and any Buildings/ structures ensure minimal impact on the natural environment.	<p>A1.1 The Site area for a Camping Ground is a minimum of 1 hectare.</p> <p>A1.2 Camping sites are not less than 30 m<sup>2</sup> or 1.5 times the area of the tent, whichever is the greater; and campervan/motorhome sites are not less than 100 m<sup>2</sup> or twice the area of the vehicle, whichever is the greater.</p> <p>A1.3 Camping sites and campervan/motor home sites are located such that they meet the following requirements:</p> <ul style="list-style-type: none"> <li>• 3 metre Setback from any adjoining Buildings (other than toilets/ablution facilities);</li> <li>• 6 metre Setback from toilets/ablution facilities);</li> <li>• 3 metre Setback from an internal Road; and</li> <li>• minimum of 10 metres from the Site Frontage.</li> </ul>	<p>Compliant: The camping ground is 2ha in site area.</p> <p>Camping sites are greater than 1.5 times the areas of the tent.</p> <p>The campervan motorhome sites, denoted on the site plan S.01 as large sheltered sites, are 10m x 10m in area. This includes the site shelter and private site ablutions out-house. In this regard, the proposed private ablutions provision is non-conforming. Although any impact is negated, as the modern toilet system technology and design does not require a setback.</p>

***Facilities***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P2 Sufficient services and ablution facilities are provided to satisfy the short term requirements of the occupants, including disabled Access and facilities <sup>5</sup> .	A2.1 Where there are 40 camping/campervan/motorhome sites or less, 1 pedestal for every 7 Sites is provided for female occupants and 1 pedestal for every 10 sites is provided for male occupants and a 0.6 metre urinal is provided for every 20 sites, or part thereof, for male occupants.	<p>Compliant:</p> <p>There is 3 x female pedestals; 3 x male pedestals; 1 x urinal and 2 x uni-sex pedestals. One of the existing female pedestals has disabled access.</p>

<sup>5</sup> Disabled access and facilities are provided in accordance with the Building Code of Australia and the Australian Standards.

	<p>For every 15 additional sites, or part thereof, exceeding 40 sites an additional pedestal is provided for both male and female occupants and an additional 0.6 metre urinal is provided for every additional 20 sites, or part thereof, for male occupants.</p> <p>A2.2 Toilet/ablution facilities are located at least 6 metres but not more than 100 metres from any camping site.</p> <p>A2.3 A source of artificial light is provided to the ablution facilities to provide illumination, as required, during night time hours.</p> <p>A2.4 Separate male/female bathing facilities are provided at the rate of 1 shower or bath and hand basin for every 15 sites.</p>	<p>In this regard, the proposed private ablutions provision is non-conforming. Although any impact is negated, as the modern toilet system technology and design does not require a setback.</p> <p>Compliant: 2 x female/ family showers and 2 x male showers.</p>
P3 Sufficient refuse disposal facilities are provided for the safe and convenient disposal of refuse by the occupants <sup>6</sup> .	A3.1 Refuse bins are located at least 10 metres from children's play areas, cooking facilities and camping sites.	Compliant

### *Landscaping*

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P4 Adequate Landscaping and Recreation Areas are provided for the recreation requirements of the occupants.	A4.1 A minimum of 10% of the Site is provided as Landscaping and Recreation Areas.	Compliant
P5 Camping Grounds are designed to ensure a suitable buffer is provided to protect the amenity of the locality and the	<p>A5.1 A 10 metre wide landscaped buffer of Dense Planting (excluding all structures) is provided to the Site Frontage.</p> <p>A5.2 A 5 metre wide landscaped buffer of Dense Planting</p>	<p>Compliant:</p> <p>The site is screened from the public road by a thick (greater than 10m) corridor of existing re-growth</p>

<sup>6</sup> The design of refuse bins and waste storage areas may need to meet the requirements of the Environmental Protection Waste Regulation.

amenity of the Camping Ground.	(excluding all structures) is provided to all other Site boundaries.	rainforest trees and shrubbery.
--------------------------------	--	---------------------------------

***Vehicular Access***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P6 An internal vehicular movement network is provided to allow for the safe and convenient Access of vehicles to camping sites.	A6.1 Internal Road widths meet the following criteria: <ul style="list-style-type: none"> <li>• two way Road – 5.5 metres</li> <li>• 1 way Road – 3.5 metres.</li> </ul>	Compliant

***Operation and Maintenance***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P7 The location and number of camping sites and facilities are readily identifiable within the Camping Ground.	A7.1 A permanent sign clearly indicating the type, number and location of camping Sites and the location of facilities is provided at the main entrance to the Camping Ground.  A7.2 Each camping site is clearly identified on the ground by a permanent marker/sign containing the Site type and number.	Compliant: To be located at the information hut near the entrance.
P8 Camping Grounds provide for short term accommodation for the travelling public.	A8.1 The maximum duration of stay by any occupants of a Camping Ground is limited to 14 consecutive days, other than in extended school holiday periods.  A8.2 A Register containing the camping Site number, the name, date of arrival and date of departure of all occupants of the Camping Ground is maintained and is available for inspection	Compliant

	by the Council Officers at all times.	
--	---------------------------------------	--

### 8.3.2 Caravan Park Code

#### Purpose

The purpose of this Code is to ensure that Caravan Parks are located and designed to provide attractive and liveable environments for travellers and longer term residents and are compatible with the amenity of the localities in which they are situated.

#### Applicability

This Code applies to assessable development for a Material Change of Use for a Caravan Park.

#### Elements of the Code

##### *Site Area and Design*

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P1 The Site of the Caravan Park contains sufficient area to accommodate the accommodation and facilities necessary for travellers and the longer term residents.	A1.1 The Site area of a Caravan Park is a minimum of 1 hectare.	Compliant
P2 The layout and design of the Caravan Park are compatible with the locality and the surrounding area in which it is located.	<p>A2.1 Individual sites are regular in shape and have the following minimum areas and widths:</p> <p>Camping sites</p> <ul style="list-style-type: none"> <li>• minimum area of 30 m<sup>2</sup></li> <li>• minimum width 6 metres</li> </ul> <p>Short Term Caravan, Campervan/Motorhome sites</p> <ul style="list-style-type: none"> <li>• minimum area 100 m<sup>2</sup></li> <li>• minimum width 9 metres</li> </ul> <p>Permanent Caravan sites and Cabin sites</p> <ul style="list-style-type: none"> <li>• minimum area 200 m<sup>2</sup></li> <li>• minimum width 10 metres.</li> </ul>	<p>Compliant</p> <p>Not applicable.</p>

	<p>A2.2 Individual sites are designed to meet the following criteria:</p> <ul style="list-style-type: none"> <li>• 10 metre Setback from the Site Frontage;</li> <li>• 5 metre Setback from all other Site boundaries;</li> <li>• 3 metre Setback from any adjacent Building/s (other than toilets/ablution facilities)</li> <li>• 6 metre Setback from toilets/ablution facilities;</li> <li>• 3 metre Setback from an internal Road.</li> </ul>	<p>The campervan motorhome sites, denoted on the site plan S.01 as large sheltered sites, are 10m x 10m in area. This includes the site shelter and private site ablutions out-house. In this regard, the proposed private ablutions provision is non-conforming. Although any impact is negated, as the modern toilet system technology and design does not require a setback.</p>
<p>P3 All sites are designed and located so that caravans can be easily manoeuvred onto or removed from the site.</p>	<p>A3.1 Individual sites are provided with direct Access to an internal Road.</p>	<p>Compliant</p>

**Facilities**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P4 Sufficient services and ablution facilities are provided to satisfy the requirements of travellers and the longer term residents of the Caravan Park, including disabled Access and facilities<sup>7</sup>.</p>	<p>A4.1 Where there are 40 sites or less, 1 pedestal for every 7 sites is provided for female occupants and 1 pedestal for every 10 sites is provided for male occupants and a 0.6 metre urinal is provided for every 20 sites or part thereof for male occupants.</p> <p>For every 15 sites, or part thereof, exceeding 40 sites, an additional pedestal is provided for both male and female occupants and an additional 0.6 metres urinal is provided for every additional 20 sites, or part thereof, for male occupants.</p> <p>A4.2 Toilet and ablution facilities are located at least 6 metres but not</p>	<p>Compliant</p> <p>There is 3 x female pedestals; 3 x male pedestals; 1 x urinal and 2 x uni-sex pedestals. One of the existing female pedestals has disabled access.</p> <p>In this regard, the proposed private</p>

<sup>7</sup> Disabled access and facilities are provided in accordance with the Building Code of Australia and the Australian Standards.

	<p>more than 100 metres from any individual camping, caravan, campervan/motorhome or cabin site (except where private facilities are provided).</p> <p>A4.3 A source of artificial light is provided to the ablution facilities to provide illumination, as required, during night time hours.</p> <p>A4.4 Separate bathing facilities are provided at the rate of 1 shower or bath and 1 hand basin for every 15 sites.</p>	<p>ablutions provision is non-conforming. Although any impact is negated, as the modern toilet system technology and design does not require a setback.</p> <p>Compliant</p> <p>Compliant: 2 x female/ family showers and 2 x male showers.</p>
P5	<p>Sufficient laundry and clothes drying facilities are provided to satisfy the requirements of travellers and long term residents.</p> <p>A5.1 1 laundry tub, 1 washing machine and 1 clothes line are provided for every 20 sites, or part thereof.</p> <p>A5.2 1 mechanical drying facility is provided for every 40 sites.</p> <p>A5.3 1 ironing board and 1 power outlet is provided for every 20 sites.</p>	Compliant - existing
P6	<p>Sufficient refuse disposal facilities are provided for the safe and convenient disposal of refuse by the occupants<sup>8</sup>.</p> <p>A6.1 Refuse bins are located at least 10 metres from children's playing areas, cooking facilities and individual sites.</p> <p>A6.2 A designated dump point is provided on site for holding tanks to be emptied.</p>	<p>Compliant</p> <p>Adjacent to the toilet block and restricted use to bio-cycle friendly toilet chemicals only.</p>

### *Landscaping*

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
----------------------	----------------------	----------

<sup>8</sup> The design of the refuse bins and waste storage area/s satisfies the requirements of the Environmental Protection Waste Regulation.



P7	Adequate Landscaping and Recreation Areas are provided to satisfy the recreational requirements of the occupants.	A7.1 A minimum of 10% of the Site area is provided as Landscaping and Recreation Area.	Compliant
P8	Caravan Parks are designed to ensure a suitable buffer is provided to protect the amenity of the locality of the amenity of the Caravan Park.	A8.1 A 10 metre wide landscaped buffer of Dense Planting (excluding all structures), is provided to the Site Frontage.  A8.2 A 5 metre wide landscape buffer of Dense Planting, (excluding all structure), is provided to all other Site boundaries.	Compliant

***Vehicular Access***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P9 An internal vehicular movement network is provided to allow the safe and convenient Access of vehicles and caravans, campervans/motorhomes on Site.	<p>A9.1 The entrance/exit Road provides all-weather Access and has a width of 7 metres to allow two vehicles towing caravans or two campervans/motorhomes to pass each other.</p> <p>A9.2 A caravan holding bay with dimensions of 4 metres x 20 metres is provided adjacent to the entrance/exit Road.</p> <p>A9.3 Internal Roads meet the following criteria:</p> <ul style="list-style-type: none"> <li>• 1 way – minimum 4 metres wide</li> <li>• two way – minimum 6 metres wide.</li> </ul> <p>A9.4 Speed control devices such as speed bumps are provided at regular intervals on all internal Roads.</p>	<p>Compliant.</p> <p>The entrance verge area is 7 m wide. Wide vehicles can exit the property via an alternate route to the southern boundary of the camping ground.</p> <p>Compliant, refer to site plan S.01.</p> <p>Compliant</p> <p>Compliant</p> <p>Compliant, with exception of internal street lighting of gravel roads – off grid bush location.</p>

	A9.5 Internal street lighting is provided to all internal Roads until 10.00 pm.	
--	---	--

**Operation and Maintenance**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P10 The number, type and location of sites and facilities are readily identifiable within the Caravan Park.	<p>A10.1 A permanent sign clearly indicating the number and location of each type of site and the location of facilities within the Caravan Park is provided at the main entrance to the Caravan Park.</p> <p>A10.2 Each Site is identified on the ground with the number and type of Site clearly displayed on a permanent marker/sign located at the front of the Site.</p>	Compliant
P11 Caravan Parks are predominantly provided for short term accommodation for the travelling public.	<p>A11.1 Cabins (whether for permanent or short term occupation) occupy a maximum of 20% of the total number of sites contained within the Caravan Park.</p> <p>A11.2 A maximum of 20% of the total number of sites contained within a Caravan Park are available for permanent occupation in the form of stationery/permanent caravans and cabins.</p>	<p>Compliant</p> <p>Not applicable as a limit of a 14 day stay will be applied.</p>

8.3.3 Caretaker’s Residence Code

**Purpose**

The purpose of this Code is to:

- facilitate the establishment of a Caretaker’s Residence which is used for genuine caretaking or property management purposes; and
- to ensure that an acceptable level of amenity is provided for the occupants.

**Applicability**

This Code applies to assessable development for a Material Change of Use for a Caretaker’s Residence.

**Elements of the Code**

*Provision of Accommodation for Caretaker*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P1 Only one Caretaker’s Residence is established on one Site and in association with a legitimate caretaking or property management purpose operating on the Site.</p>	<p>A1.1 Only one Caretaker’s Residence is established on one allotment identified on a Standard Format Plan.</p> <p style="text-align: center;">AND</p> <p>The Caretaker’s Residence is located on the same lot as the primary use.</p> <p style="text-align: center;">EXCEPT THAT</p> <p>A Caretaker’s Residence associated with primary production is located on the holding.</p> <p>A1.2 The Caretaker’s Residence is occupied only by the proprietor, manager or caretaker of the primary use established on the Site, together with any immediate family of that person.</p>	<p>Compliant</p>

*Residential Amenity*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P2 A Caretaker’s Residence is provided with an appropriate level of recreation and service facilities and is domestic in Height and scale.</p>	<p>A2.1 The Gross Floor Area of the Caretaker’s Residence is not greater than 120 m<sup>2</sup>.</p> <p>A2.2 The Caretaker’s Residence is provided with a Landscaping and Recreation Area at the rate of 30 m<sup>2</sup> for the first bedroom plus 15 m<sup>2</sup> for each additional bedroom, and</p>	<p>Compliant</p> <p>The caretakers residence is existing as it is also used by the property owners to operate the Orchards.</p>

	<ul style="list-style-type: none"> <li>• at least 35 m<sup>2</sup> is provided as private Recreation Area which is directly accessible from the residence and which has a minimum dimension of 3 metres.</li> </ul> <p>A2.3 The private Recreation Area is fenced or screened to facilitate the private enjoyment of the space by the occupants of the Caretaker's Residence.</p> <p>A2.4 The Caretaker's Residence is provided with:</p> <ul style="list-style-type: none"> <li>• an outdoor service court with a minimum area of 5 m<sup>2</sup> to facilitate clothes drying facilities;</li> <li>• an area for general storage;</li> <li>• an area for the storage of a garbage receptacle; and</li> <li>• a designated covered car parking space.</li> </ul>	
--	---	--

## 8.4 ASSESSMENT AGAINST: GENERAL CODES

### 8.4.1 Design & Siting of Advertising Devices Code

#### **Purpose**

The purpose of this Code is to:

- ensure that Advertising Devices do not adversely impact on the streetscape or detract from the amenity of the locality;
- ensure that Advertising Devices are appropriate to the scale of surrounding Buildings and the locality;
- ensure that any Advertising Devices which are incorporated in the Site design of a development or the architecture of a Building, complement the Building or development;
- limit the number of Advertising Devices to avoid excessive signage throughout the Shire; and
- ensure that Advertising Devices do not dominate the surrounding vegetation, Landscaping or natural features of the environment and scenic amenity values of the Shire.

#### **Applicability**

This Code applies to assessable development for:

- Material Change of Use:

Except for the following Uses in all Localities:

- Caretaker’s Residence
  - Educational Establishment
  - Home Industry
  - House
  - Outstation/Seasonal Camp
  - Primary Industry
  - Private Forestry
  - Public Utilities and Facilities
  - Special Residential Use
- Operational Work – Placing an Advertising Device on Premises not associated with a Material Change of Use.

**Elements of the Code**

*Signage Type*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P1 Advertising Devices are subservient in scale to the primary use of the Site and relate to the use/s carried out on the Site.</p>	<p>A1.1 Where a Balloon, Blimp, Kite, Bunting, Flag, Banner or similar:</p> <ul style="list-style-type: none"> <li>• safely tethered to the ground, Building or structure;</li> <li>• maximum one per business;</li> <li>• displayed for one calendar month;</li> <li>• not located over or attached to the ground of a Council controlled Road or a State-Controlled Road (SCR).</li> </ul> <p>A1.2 Where a Below Awning Sign:</p> <ul style="list-style-type: none"> <li>• maximum one per business, or one per Frontage;</li> <li>• maximum Height of 0.6 metres</li> <li>• ground clearance not less than 2.6 metres</li> <li>• maximum width of 0.3 metres;</li> <li>• maximum length of 2.5 metres and does not project beyond the awning.</li> </ul>	<p>Compliant:</p> <p>Proposed signage is to be located at the main entrance gate, 10m from the public road. The proposed size is less than 4m<sup>2</sup>, with a length less than 3m, and a height less than 2m. It is proposed to illuminate the sign for night guest arrivals. Refer to figure 12 in the report.</p>

	<p>A1.3 Where a Chalk Board or A Frame Sign:</p> <ul style="list-style-type: none"><li>• maximum of one Chalk Board or A Frame Sign per business, or Frontage;</li><li>• maximum Height of 1 metre;</li><li>• maximum width of 0.6 metre;</li><li>• able to be readily relocatable on a daily basis, if located within a Road reserve;</li><li>• do not rotate or spin in the wind;</li><li>• only allowable within a State-controlled Road reserve where the speed limit is 60 km/hr or less;</li><li>• if located within the Road reserve, located a minimum of 1 metre from the kerb;</li></ul> <p style="text-align: center;">OR</p> <ul style="list-style-type: none"><li>• where no kerb, a minimum of 10 metres from the edge of the Road carriageway.</li></ul> <p>A1.4 Where a Directional Sign:</p> <ul style="list-style-type: none"><li>• if attached to a street sign, has the same dimensions as the street sign, unilluminated and advertising the name and distance/direction to the business;</li><li>• maximum of one directional sign per business attached to any street sign;</li><li>• if attached to a property boundary fence or gate, maximum area of 0.3 m<sup>2</sup>, unilluminated and advertising only the name and distance/direction to the business which is carried out on the property;</li><li>• maximum of one directional sign to any property boundary fence or gate for each Road Frontage.</li></ul>	
--	---	--

	<p>A1.5 Where a Fascia Sign located on the fascia of an awning:</p> <ul style="list-style-type: none"> <li>• maximum of one fascia sign per business or one per Frontage;</li> <li>• maximum Height above Ground Level of 2.5 metres;</li> <li>• does not project above or below the fascia of the Building;</li> <li>• does not project within 0.45 metre Setback from the face of the kerb or where no kerb exists, 0.30 metre from the fascia.</li> </ul> <p>A1.6 Where a Home Activity or Home Based Business Sign:</p> <ul style="list-style-type: none"> <li>• maximum of one sign per business;</li> <li>• maximum area of 0.3 m<sup>2</sup>;</li> <li>• located on the same premises as the Home Activity/ Home Based Business;</li> <li>• not illuminated;</li> <li>• advertises only the name and occupation of the operator of the business.</li> </ul> <p>A1.7 Where a Projecting Wall Sign:</p> <ul style="list-style-type: none"> <li>• maximum of one projecting wall sign on any building facade or boundary wall;</li> <li>• does not project further than 0.75 metres from the building line;</li> <li>• minimum vertical clearance of 2.6 metres from the ground;</li> <li>• not located above any awning and located at ground floor level;</li> <li>• maximum surface area of 1 m<sup>2</sup>;</li> <li>• maximum depth of 0.3 metres;</li> <li>• does not project above the roof, parapet, or Building or wall line.</li> </ul>	
--	---	--

	<p>A1.8 Where a Symbol, being any ornamental design or device not otherwise described, whether or not a message is included in the design or device:</p> <ul style="list-style-type: none"><li>• maximum area of 1 m<sup>2</sup>.</li></ul> <p>A1.9 Where a Tenancy Sign:</p> <ul style="list-style-type: none"><li>• maximum of one tenancy sign per Site or development;</li><li>• maximum Height of 5 metres;</li><li>• maximum width of 1.5 metres;</li><li>• maximum depth of 0.3 metres;</li><li>• limited to one double sided sign with one advertising panel on each side of the sign, each advertising panel with a maximum area of 4 m<sup>2</sup>;</li><li>• located on the boundary of a Site or fixed to a wall on the boundary of a Site to a Road Frontage.</li></ul> <p>A1.10 Where a Wall Sign:</p> <ul style="list-style-type: none"><li>• maximum of one wall sign on any building facade or boundary wall;</li><li>• maximum area of 4 m<sup>2</sup>;</li><li>• maximum length of 3 metres;</li><li>• maximum Height of 2 metres and sited at ground floor level of a Building or boundary wall;</li><li>• does not project further than 0.10 metres from the face of the wall.</li></ul> <p>A1.11 Where a Window Sign:</p> <ul style="list-style-type: none"><li>• limited to windows on ground floor level only of any Building, or ground floor level and one level above if the Building is of a commercial nature;<ul style="list-style-type: none"><li>• maximum area of 1.2 m<sup>2</sup>;</li><li>• maximum Height of 1 metre;</li><li>• maximum length of 2.4 metres.</li></ul></li></ul>	
--	--	--



	<p>A1.12 Where an Indirectly Illuminated Sign:</p> <ul style="list-style-type: none"> <li>• artificial light limited to illuminating the face of the sign;</li> <li>• does not cause light spillage from the source of external illumination;</li> <li>• complies with other relevant requirements for the particular type of Advertising Device, which are specified in this Code;</li> <li>• not located within a State-Controlled Road or on a Council Road.</li> </ul>	<p>Compliant</p>
--	--	------------------

**Signage Location**

<p><b>PERFORMANCE CRITERIA</b></p>	<p><b>ACCEPTABLE SOLUTIONS</b></p>	<p><b>COMMENTS</b></p>
<p>P2 Advertising Devices are located in appropriate areas, relative to the land uses in the area and the amenity and character of the area<sup>9</sup>.</p>	<p>A2.1 Particular types of Advertising Devices are considered appropriate in the following locations:</p> <ul style="list-style-type: none"> <li>• Residential, Rural and Rural Settlement Areas: <ul style="list-style-type: none"> <li>- Home Activity/Home Based Business Sign; and</li> <li>- Directional Sign</li> </ul> </li> <li>• Tourist and Residential Areas: <ul style="list-style-type: none"> <li>- Directional Sign;</li> <li>- Projecting Wall Sign;</li> <li>- Symbol;</li> <li>- Wall Sign; and</li> <li>- Indirectly Illuminated Sign.</li> </ul> </li> <li>• Commercial and Tourist Commercial Areas: <ul style="list-style-type: none"> <li>- Balloon, Blimp, Kite, Bunting, Flag, Banner or similar (temporary);</li> <li>- Below Awning Sign; <ul style="list-style-type: none"> <li>- Chalk Board or A Frame Sign;</li> <li>- Directional Sign;</li> <li>- Fascia Sign;</li> <li>- Projecting Wall Sign;</li> <li>- Symbol;</li> <li>- Tenancy Sign;</li> <li>- Wall Sign;</li> <li>- Window Sign; and</li> </ul> </li> <li>- Indirectly Illuminated Sign.</li> </ul> </li> <li>• Industrial Areas:</li> </ul>	<p>Compliant:</p> <p>Proposed signage is to be located at the main entrance gate, 10m from the public road. The proposed size is less than 4m<sup>2</sup>, with a length less than 3m, and a height less than 2m. It is proposed to illuminate the sign for night guest arrivals.</p>

<sup>9</sup> Any Advertising Device located on a State-Controlled Road, must comply with the requirements of the *Transport Infrastructure Act 1994* and in particular the Ancillary Works and Encroachment Notice (No 1) 2001.

	<ul style="list-style-type: none"> <li>- Balloon, Blimp, Kite, Bunting, Flag, Banner or similar (temporary);</li> <li>- Tenancy Sign;</li> <li>- Wall Sign;</li> <li>- Window Sign; and</li> <li>- Indirectly Illuminated Sign.</li> </ul>	
--	--	--

#### 8.4.2 Filling and Excavation Code

##### **Purpose**

The purpose of this Code is to ensure that filling and excavation do not:

- affect visual/scenic amenity values of the Shire;
- cause flooding and drainage problems;
- impact upon the environment of an area;
- cause land instability; or
- adversely impact upon utility services.

##### **Applicability**

This Code applies to assessable development for:

- Material Change of Use:

Except for the following Uses in all Localities:

- Business Facilities – using and existing Building
  - Home Activity
  - Off Premises Advertising Device
  - Primary Industry
  - Private Forestry
  - Restaurant – using and existing Building
  - Shopping Facility – using an existing Building
- Operational Work Associated with Reconfiguring a Lot;
  - Operational Work – Filling or Excavation not associated with a Material Change of Use; and
  - Operational Work – Engineering Works not associated with a Material Change of Use;

##### **Elements of the Code**

##### ***Filling and Excavation – General***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P1 All filling and excavation work does not create a detrimental impact on	A1.1 The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height.	Compliant: No filling or excavation is proposed.

<p>the slope stability, erosion potential or visual amenity of the Site or the surrounding area.</p>	<p style="text-align: center;">AND</p> <p>Cuts in excess of those stated in A1.1 above are separated by benches/terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.</p> <p>A1.2 Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation.</p> <p>A1.3 Cuts are screened from view by the siting of the Building/structure, wherever possible.</p> <p>A1.4 Topsoil from the Site is retained from cuttings and reused on benches/terraces.</p> <p>A1.5 No crest of any cut or toe of any fill, or any part of any retaining wall or structure, is located closer than 600 mm to any boundary of the property, unless the prior written approval of the adjoining landowner and the Council, has been obtained.</p> <p>A1.6 Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, Landscaping or other protective/aesthetic measures.</p>	
--	---	--

***Visual Impact and Site Stability***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P2 Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.</p>	<p>A2.1 The extent of filling or excavation does not exceed 40% of the Site area or 500 m<sup>2</sup> whichever is the lesser.</p> <p style="text-align: center;">EXCEPT THAT</p> <p>A2.1 does not apply to reconfiguration of 5 lots or more.</p>	

	A2.2 Filling and excavation does not occur within 2 metres of the Site boundary.	
--	--	--

***Flooding and Drainage***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P3 Filling and excavation does not result in a change to the run off characteristics of a Site which then have a detrimental impact upon the Site or nearby land or adjacent Road reserves.	<p>A3.1 Filling and excavation does not result in the ponding of water on a Site or adjacent land or Road reserves.</p> <p>A3.2 Filling and excavation does not result in an increase in the flow of water across a Site or any other land or Road reserves.</p> <p>A3.3 Filling and excavation does not result in an increase in the volume of water or concentration of water in a Watercourse and overland flow paths.</p> <p>A3.4 Filling and excavation complies with the specifications set out in the Planning Scheme Policy No 6 – FNQROC Development Manual.</p>	Compliant

***Water Quality***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P4 Filling and excavation does not result in a reduction of the water quality of receiving waters.	A4.1 Water quality is maintained to comply with the specifications set out in the Planning Scheme Policy No 6 – FNQROC Development Manual.	Compliant

### 8.4.3 Landscaping Code

#### Purpose

The purpose of this Code is to:

- ensure that new Landscaping incorporates plants which encourage Biodiversity;
- maintain and strengthen the tropical and native landscape character of the Shire through high quality landscape works;
- ensure that Landscaping enhances the visual quality and unique identity of different parts of the Shire by featuring endemics;
- create attractive streetscapes and public spaces through landscape design and the use of street trees and shade trees;
- ensure that native species are incorporated into Landscaping, as a means of providing continuity between developed and undeveloped areas;
- ensure that existing vegetation on Site is retained, protected during works and integrated with the built environment;
- ensure preferred plant species are selected in accordance with the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping; and
- ensure that Landscaping screens Buildings to reduce their bulk and to enhance the landscape character of the Shire.

#### Applicability

This Code applies to assessable development for:

- Material Change of Use:  
 Except for the following Use:
  - House (other than a House which is Code Assessable and then the Code applies)
- Operational Work Associated with Reconfiguring a Lot;

#### Elements of the Code

##### *Landscape Design*

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P1 Landscape design satisfies the purpose and the detailed requirements of this Code.	A1.1 Landscaping is undertaken in accordance with a Landscape Plan drawn to scale which complies with and illustrates all the relevant requirements of this Code and Planning Scheme Policy No 7 – Landscaping.  AND	Compliant:  No clearing is proposed. All existing landscaping will be maintained.

	Landscaping is maintained in accordance with the requirements specified in this Code and Planning Scheme Policy No 7 – Landscaping.	
--	---	--

***Landscape-Character and Planting***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P2 Landscaping contributes to a sense of place, is functional to the surroundings and provides dominant visual interest and form.	<p>A2.1 A minimum of 80% of the proposed landscape area is open to the sky for sunlight and ventilation.</p> <p>A2.2 The percentage of native or endemic species utilised in the Landscaping is as specified in the Locality Code.</p> <p style="text-align: center;">OR</p> <p>Where not specified in the Locality Code, in accordance with Planning Scheme Policy No. 7 – Landscaping.</p> <p>A2.3 Landscaping includes planting layers comprised of canopy, middle storey, screening and groundcovers, with palm trees used as accent plants only.</p>	Compliant
P3 Landscaping is consistent with the existing landscape character of the area and native vegetation existing on the Site is to be retained wherever possible and integrated with new Landscaping <sup>10</sup> .	<p>A3.1 Existing native vegetation on Site is retained and incorporated into the Site design, wherever possible.</p> <p>A3.2 Any mature vegetation on the Site which is removed or damaged during development of the Site is replaced with advanced native species.</p>	Compliant

<sup>10</sup> Vegetation clearing is required to be undertaken in accordance with Local Law – Vegetation Management.

		<p>A3.3 Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are planted on Site or on the street.</p> <p>A3.4 Street trees are 100% native species which enhance the landscape character of the streetscape, with species chosen from the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping.</p>	
P4	Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.	A4.1 Species are selected in accordance with the Plant Species Schedule in Planning Scheme Policy No 7 – Landscaping.	Compliant
P5	Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal Roadways.	<p>A5.1 Where car parking areas are uncovered or open, shade trees are planted at regular intervals (a minimum of 1 shade tree is provided for every 5 car parks) throughout the car parking areas, and adjacent to driveways and internal Roadways.</p> <p>A5.2 A minimum of 1 shade tree is provided for every 10 metres along a driveway or internal Roadway.</p> <p>A5.3 Landscape beds and trees are protected by garden edging, bollards or wheel stops.</p> <p>A5.4 Trees within car parking areas have a minimum planting area the equivalent of 1 car parking bay, with a minimum topsoil depth of 0.8 metre.</p>	Compliant

**Screening**

<b>PERFORMANCE CRITERIA</b>		<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P6	Fences along street Frontages are articulated with appropriate Landscaping.	<p>A6.1 Perimeter fencing to any street Frontage complies with the relevant Planning Area Code.</p> <p>A6.2 Trees, shrubs and groundcovers are planted within any recessed areas along the fence line.</p>	Compliant
P7	Landscaping within Recreation Areas of residential development are functional, well designed and enhance the residential amenity.	<p>A7.1 One shade tree is provided for each private open space or private Recreation Area.</p> <p>A7.2 Tree species provide 30% shade over the area within 5 years.</p> <p>A7.3 A minimum of 50% of the Landscaping and Recreational Area is landscaped, with trees, shrubs, groundcovers, minimising large expanses of hardstand areas and structures.</p> <p>A7.4 Plants are located to provide shelter and shade to Habitable Rooms and outdoor Recreation Areas from the hot summer sun.</p>	Compliant
P8	Undesirable features are screened with Landscaping.	A8.1 Landscaping of Dense Planting is planted along and near retaining walls, long blank walls of Buildings, mechanical and air-conditioning units, clothes drying areas, bin enclosures and other utility structures with appropriate trees, shrubs and groundcovers.	Compliant
P9	The environmental values of the Site and adjacent land are enhanced.	A9.1 Landscaping using similar endemic or native species, is planted on-Site on land adjoining an area of natural environmental value.	Compliant

*Streetscape and Site Amenity*



PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P10 Landscaping for residential development enhances the streetscape and the visual appearance of the development.</p>	<p>A10.1 Dense Planting along the front of the Site incorporates:</p> <ul style="list-style-type: none"> <li>• shade canopy trees to provide shade to the Frontage of the Site within 5 years of planting;</li> <li>• landscape screening of blank walls;</li> <li>• low shrubs, groundcovers and mulch to completely cover unsealed ground.</li> </ul> <p>A10.2 Dense Planting to the rear of the Site incorporates:</p> <ul style="list-style-type: none"> <li>• 1 shade tree for an average of every 75 m<sup>2</sup>, growing to the Building eave Height within 5 years of planting;</li> <li>• screening shrubs to grow to 3 metres in Height within 2 years of planting;</li> <li>• low shrubs, groundcovers and mulch to completely cover unsealed ground.</li> </ul> <p>A10.3 Dense Planting to the side boundaries incorporates:</p> <ul style="list-style-type: none"> <li>• trees planted for an average of every 10 metres where adjacent to a Building;</li> <li>• low shrubs, groundcovers and mulch to completely cover unsealed ground.</li> </ul>	<p>Compliant as it already exists.</p>
<p>P11 Landscaping for non-residential development enhances the streetscape and the visual appearance of the development.</p>	<p>A11.1 Dense Planting along the front boundary of the Site where a Building is Setback from the front alignment, incorporates:</p> <p>shade canopy trees to provide shade to the Frontage of the Site within 5 years of planting where appropriate;</p> <p>landscape screening of blank walls;</p> <p>low shrubs, groundcovers and mulch to completely cover unsealed ground.</p>	<p>Compliant</p>

	<p>11.2 Dense Planting to the rear of the Site where a Building is Setback from the rear alignment, incorporates:</p> <ul style="list-style-type: none"> <li>• 1 shade tree for an average of every 75 m<sup>2</sup> growing to the Building eave Height within 5 years of planting;</li> <li>• screening shrubs to grow to 3 metres in Height within 2 years of planting;</li> <li>• low shrubs, groundcovers and mulch to completely cover unsealed ground.</li> </ul> <p>A11.3 Dense Planting to the side boundaries where visible from the street or adjoining a boundary to a different Planning Area, and where a Building is Setback from the side boundary, incorporates:</p> <ul style="list-style-type: none"> <li>• trees planted for an average of every 10 metres where adjacent to a Building;</li> <li>• screening shrubs, low shrubs and groundcover appropriate for the amount of space, light and ventilation of the area;</li> <li>• low shrubs, groundcovers and mulch to completely cover unsealed ground.</li> </ul> <p>A11.4 A minimum of 20% of shade trees and shrubs is incorporated in all areas of Landscaping growing to the Building eave Height within 5 years.</p>	
--	--	--

*Maintenance and Drainage*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P12 Landscaped areas are designed in order to be maintained in an efficient manner.	A12.1 A maintenance program is undertaken in accordance with the Maintenance Schedule in Planning Scheme Policy No 7 – Landscaping.	Compliant

	<p>A12.2 A reticulated irrigation system is provided to common Landscaping and Recreation Areas and planter boxes in accordance with Australian Standards, with 1 hose cock within each area.</p> <p>A12.3 Turf areas are accessible by standard lawn maintenance equipment.</p> <p>A12.4 Plant species are selected with long life expectancy and minimal maintenance requirements where on-Site management will be limited.</p> <p>A12.5 Mulching is provided to all garden beds to reduce weed growth and to retain water, and is to be replenished every year in the ongoing maintenance program.</p>	
<p>P13 Stormwater runoff is minimised and re-used in Landscaping through water infiltration, where appropriate.</p>	<p>A13.1 Adequate drainage is provided to all paving, turf and garden beds, including the use of swales, spoon drains, subsurface drainage, field gullies, rock or pebble lined Watercourses and stormwater connections.</p> <p>A13.2 Overland flow paths are not to be restricted by Landscaping works.</p> <p>A13.3 Water runoff is re-used through draining of hard surface areas towards permeable surfaces, turf, garden beds and by minimising impervious surfaces on the Site.</p>	<p>Compliant</p>

*Safety*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P14 Tree species and their location accommodate</p>	<p>A14.1 Trees located near pathways, driveways, Access points,</p>	<p>Compliant</p>

<p>vehicle and pedestrian sight lines.</p>	<p>parking areas and street corners have a minimum 3.0 metres of clear trunk.</p>	
<p>P15 The landscape design enhances personal safety and reduces the potential for crime and vandalism.</p>	<p>A15.1 Security and foot lighting is provided to all common areas, including car parks, entries, driveways and pathways.</p> <p>A15.2 Hard surfaces are stable, non-slippery and useable in all weathers.</p> <p>A15.3 Bushfire hazard is minimised with planting of bushfire resistant species near bushfire prone areas, (refer to the Bushfire Risk Overlay on the relevant Locality Map).</p> <p>A15.4 Lighting for bicycle paths is provided in accordance with the relevant Australian Standards</p>	<p>Compliant</p> <p>Solar lighting along major pathways and facilities.</p> <p>Pathways within the main camp ground will be gravelled.</p> <p>Not in bushfire hazard area.</p> <p>Not applicable.</p>

*Utilities and Services*

<p><b>PERFORMANCE CRITERIA</b></p>	<p><b>ACCEPTABLE SOLUTIONS</b></p>	<p><b>COMMENTS</b></p>
<p>P16 The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.</p>	<p>A16.1 Plant species are selected and sited with consideration to the location of overhead and underground services.</p> <p>A16.2 All underground services are to be located under pathways and below the eaves of the Building.</p> <p>A16.3 Irrigation control devices are located in the common Landscaping and Recreation Area.</p> <p>A16.4 Landscaping is located to enable trade persons to Access and view meters and other mechanical equipment within the Site.</p>	<p>Compliant</p>

	<p>A16.5 Landscaping does not limit Access for service vehicles or rubbish trucks to utility areas, bin enclosures or docking areas.</p> <p>A16.6 Landscaping near electric lines or substations is designed and developed so that any vegetation at maturity or Landscaping structures or works do not exceed 40 metres in Height on land:</p> <ul style="list-style-type: none"> <li>• in an electric line shadow; or</li> <li>• within 5.0 metres of an electric line shadow; or within 5.0 metres of a substation boundary.</li> </ul> <p>A16.7 Elsewhere, vegetation is planted at a distance that is further from the nearest edge of an electric line shadow or substation boundary than the expected maximum Height at maturity of the vegetation.</p> <p>A16.8 On a Site adjoining an electricity substation boundary, the vegetation foliage at maturity is not within 3.0 metres of the substation boundary. However, where a substation has a solid wall along any part of its boundary, foliage may extend to, but not above or beyond, that solid wall.</p>	
--	---	--

#### 8.4.4 Natural Areas and Scenic Amenity Code

### **Purpose**

The purpose of this Code is to ensure that areas of natural value/environmental significance and Scenic Amenity value throughout the Shire are retained and conserved in order to:

- maintain and improve landscape integrity and Scenic Amenity values;
- retain areas in their natural state and protect them from inappropriate, visually obtrusive development;
- protect areas as valuable natural, environmental and scenic areas which are an asset to the Shire;
- maintain areas for their combination of landscape elements which create the dominant landscape character of the Shire;
- protect fauna habitat and linkages;
- maintain and improve the ecosystem functions of aquatic systems;
- maintain essential ecological processes;
- protect Biodiversity; and
- protect the unique environmental values of the Shire which are of International significance.

### **Applicability**

This Code applies to assessable development for:

- Material Change of Use;
- Reconfiguring a Lot;
- Operational Work Associated with Reconfiguring a Lot;
- Operational Work – Filling or Excavation not associated with a Material Change of Use;
- Operational Work – Engineering Works not associated with a Material Change of Use;
- Operational Work – Placing an Advertising Device on Premises not associated with a Material Change of Use in the World Heritage and Environs Locality; and
- Building Work other than Minor Building Work not associated with a Material Change of Use in the World Heritage and Environs Locality

where the Designated Development Area (DDA) is within, or partially within, an area of \*Remnant Vegetation,

OR

the boundary of the DDA is within 50 metres of an area of \*Remnant Vegetation,

OR

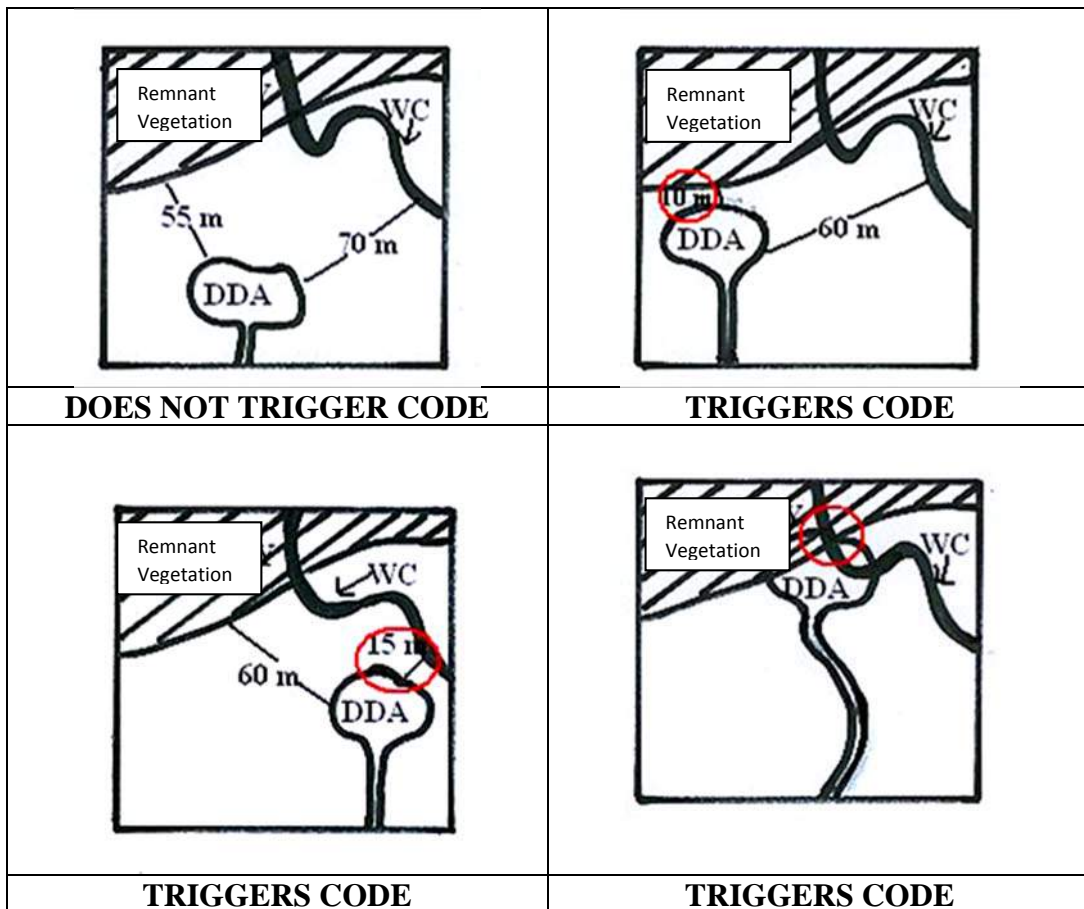
the boundary of the DDA is within 50 metres of a \*Watercourse included in:

- Category 1 - Major Perennial Watercourse;
- Category 2 - Perennial Watercourse; or

- Category 3 – Minor Perennial Watercourse;

*\* as defined in the Administrative Definitions of this Planning Scheme*

SEE DIAGRAMS BELOW:



**NOTE:**

The boundary and the extent of Remnant Vegetation and the boundary of any Watercourse on a development Site is to be ground-truthed by Council prior to an application being made to Council<sup>11</sup>.

The accurate location of a DDA will be determined on a site specific basis to identify the boundary of existing vegetation and the location of any watercourse on the development site.

**Elements of the Code**

*Development in Areas of Natural and Scenic Amenity Value*

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P1 Where a development within a DDA triggers this Code, the natural and	A1.1 Buildings/structures Access Roads/car parking, infrastructure and landscape/recreation facilities	Compliant: Refer to site plan S.01. The proposed

<sup>11</sup> The boundary and the extent of Remnant Vegetation and the boundary of any Watercourse on a development Site will be ground-truthed by Council at no cost to the landowner – refer to Planning Scheme Policy No. 8 – Natural Areas and Scenic Amenity.

<p>environmental values of the areas of Remnant Vegetation and/or Watercourse/s are protected from inappropriate development.</p>	<p>A1.2 Where internal Roads are required to service the development, the Roads are located within a DDA identified on a Site Plan drawn to scale.</p> <p>(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 8 – Natural Areas and Scenic Amenity and Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).</p>	<p>development is within 50 m of remnant vegetation as it is a camping ground. The proposed development is greater than 50 m from a watercourse.</p>
<p>P2 Development does not adversely impact on the natural and environmental values and Scenic Amenity of areas identified as Remnant Vegetation and/or Watercourse/s.</p>	<p>A2.1 Where development occurs, it is located on that part of the Site which poses the least threat to the natural and environmental values and Scenic Amenity, for example:</p> <ul style="list-style-type: none"> <li>• adjacent to existing development;</li> <li>• within an existing cleared area;</li> <li>• within a disturbed area with little potential for rehabilitation;</li> <li>• within an area close to an Access Road;</li> <li>• removed from an identified area of important habitat.</li> </ul> <p>A2.2 Development within the DDA is sited to minimise visual intrusion on the Site and the surrounding landscape.</p> <p>A2.3 No continuous boundary fence lines or barriers are Erected on an approved development Site within a DDA identified on a Site Plan drawn to scale.</p>	<p>Compliant: The proposed camping ground is within an existing cleared area of old existing orchards.</p> <p>Development is screened from the public road</p> <p>No fences are proposed</p>



	<p>A2.4 Infrastructure, such as water mains, sewers, electricity and telecommunication services, is sited underground, wherever reasonable, to protect Scenic Amenity, and is located within a DDA on a Site Plan drawn to scale.</p> <p>A2.5 Internal Roads associated with the development are designed and constructed to achieve a low speed environment.</p> <p>A2.6 Roads and infrastructure services do not cross the Setback area/riparian corridor; or if this is not possible, the number of crossings is minimised.</p> <p>A2.7 Setback areas/riparian corridors are provided in accordance with A4.1, A4.2, A4.3 and A4.4 below;</p> <p style="text-align: center;">AND</p> <p>The lowest intensity of development occurs adjacent to any Setback area/riparian corridor, and in the case of reconfiguration, larger lots are located adjacent to any Setback area/riparian corridor.</p> <p>A2.8 There is no fragmentation or alienation of any Remnant Vegetation.</p> <p>A2.9 Any natural, environmental or Scenic Amenity value of any balance area outside the DDA is protected.</p>	<p>Compliant</p> <p>Compliant: Existing access complies and one new one-way track is formed, that is 4 metres in width with a minimum gravel standard of 75mm.</p> <p>Compliant</p> <p>Compliant</p> <p>Compliant</p> <p>Compliant</p> <p>Compliant</p> <p>Compliant</p>
<p>P3 Any development involving filling and excavation minimises detrimental impacts on any aquatic environment.</p>	<p>No Acceptable Solution.</p> <p>(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 8 – Natural Areas and Scenic Amenity and Planning Scheme Policy No 10 – Reports and Information the Council May</p>	<p>Not applicable.</p>

	Request, for code and impact assessable development).	
--	---	--

***Setback Areas/Riparian Corridors***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P4 Setback areas/riparian corridors adjacent to Watercourses are provided/maintained or re-established and revegetated with species endemic to the local area.</p>	<p>A4.1 For residential reconfiguration (Residential 1, Residential 2 or Rural Settlement Planning Area), Aquaculture, Tourist Activities, Industrial Activities and other large scale developments or development likely to have an impact on water quality of adjacent Watercourse/s any degraded sections of the Setback area/riparian corridor are revegetated with endemic species typical of the riparian corridor in the area.</p> <p>A4.2 Revegetation occurs in accordance with a Landscape Plan prepared by a suitably qualified professional in compliance with the requirements of Planning Scheme Policy No 8 – Natural Areas and Scenic Amenity, Landscaping Code and Planning Scheme Policy No 7 – Landscaping.</p> <p>A4.3 The minimum width of the Setback area/riparian corridor, measured out from the shoulder of each high bank, for the respective categories of Watercourses, where a riparian corridor of vegetation already exists is:</p> <ul style="list-style-type: none"> <li>• Category 1 – Major Perennial Watercourse – 30 metres</li> <li>• Category 2 – Perennial Watercourse – 20 metres</li> <li>• Category 3 –</li> </ul>	<p>Compliant</p>

	<p style="text-align: center;">Minor Perennial – 10 metres,</p> <p style="text-align: center;">AND</p> <p>buildings are sited clear of the Setback area/riparian corridor, in accordance with the relevant Setbacks outlined above.</p> <p style="text-align: center;">OR</p> <p>The minimum width of the Setback area/riparian corridor, measured out from the shoulder of each high bank, for the respective categories of Watercourses, where no riparian corridor of vegetation already exists is:</p> <ul style="list-style-type: none"> <li>• Category 1 – Major Perennial Watercourse – 10 metres</li> <li>• Category 2 – Perennial Watercourse – 5 metres</li> <li>• Category 3 – Minor Perennial – 2.5 metres,</li> </ul> <p style="text-align: center;">AND</p> <p>buildings are sited clear of the Setback area/riparian corridor, in accordance with the relevant Setbacks above.</p> <p>A4.4 Native vegetation within the Setback area/riparian corridor, other than identified noxious and environmental weeds, is retained.</p>	
--	--	--

*Use of Setback Areas/Riparian Corridors*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P5 Any use of a Setback area/riparian corridor does not adversely affect the integrity of the Setback area/riparian corridor.</p>	<p>A5.1 Only low key, passive, low impact recreational facilities, including pedestrian and cycle paths or boardwalks, are located</p>	<p>Compliant: The low-impact small-scale nature of the camping ground is in keeping with the character of existing</p>

	<p>within the Setback area/riparian corridor.</p> <p>A5.2 The location of low key, passive, low impact recreational facilities, including pedestrian and cycle paths or boardwalks within the Setback area/riparian corridor, does not affect the connectivity function and landscape/environmental or Scenic Amenity values of the Setback area/riparian corridor.</p>	<p>buildings and promotes the environmental values of the world heritage area.</p>
--	---	--

***Retaining and Protecting Highly Visible Areas***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P6 Any development sited wholly or partially on land with a slope greater than 15% protects the Scenic Amenity values of the land from inappropriate and visually prominent development.</p>	<p>A6.1 Land with a slope greater than 15% and including Remnant Vegetation remains undeveloped and in its natural state.</p> <p>A6.2 Any development remains unobtrusive and sited below the tree line and ridge line.</p> <p>(Information that the Council may request to demonstrate compliance with the Performance Criteria is outlined in Planning Scheme Policy No 8 – Natural Areas and Scenic Amenity and Planning Scheme Policy No 10 – Reports and Information the Council May Request, for code and impact assessable development).</p>	<p>Not Applicable</p>

#### 8.4.5 Vehicle Parking and Access Code

##### **Purpose**

The purpose of this Code is to ensure that:

- sufficient vehicle parking is provided on-Site to cater for all types of vehicular traffic accessing and parking on the Site, including staff, guests, patrons, residents and short term delivery vehicles;
- sufficient bicycle parking and end of trip facilities are provided on-Site to cater for customer and staff.
- on-Site parking is provided so as to be accessible and convenient, particularly for any short term use;
- the provision of on-Site parking, loading/unloading facilities and the provision of Access to the Site, do not impact on the efficient function of the street network or on the area in which the development is located; and
- new vehicle Access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.

##### **Applicability**

This Code applies to self assessable or assessable development for:

- Material Change of Use.

Except for the following Uses in all Localities:

- Home Industry
- Off Premises Advertising Device

For self assessable development assessed against this Code, the applicable Acceptable Solutions is A1.1.

Self assessable development which does not comply with Acceptable Solution A1.1, will require Code Assessment.

##### **Elements of the Code**

##### *Vehicle Parking Numbers*

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P1 Sufficient parking spaces are provided on the Site to accommodate the amount and type of vehicle traffic	A1.1 The minimum number of vehicle parking spaces provided on the Site is not less than the number prescribed in	There is a total of 20 camping sites. A minimum of one car space is

<p>expected to be generated by the use or uses of the Site, having particular regard to:</p> <ul style="list-style-type: none"> <li>• the desired character of the area in which the Site is located;</li> <li>• the nature of the particular use and its specific characteristics and scale;</li> <li>• the number of employees and the likely number of visitors to the Site;</li> <li>• the level of local accessibility;</li> <li>• the nature and frequency of any public transport serving the area;</li> <li>• whether or not the use involves the retention of an existing Building and the previous requirements for car parking for the Building;</li> <li>• whether or not the use involves an identified Valuable Conservation Feature and Valuable Site; and</li> <li>• whether or not the use involves the retention of significant vegetation.</li> </ul>	<p>Schedule 1 of this Code for the particular use or uses. Where the number of spaces calculated from the Schedule is not a whole number, the number of spaces provided is the next highest whole number.</p>	<p>proposed to be situated with 15 of the sites. In addition, a further eight car parks are provided at the main car park for group camping visitors as shown on drawing S.01 site plan. Therefore, the car parking provisions exceeds requirements in accordance with the tourist and short-term accommodation uses for a camping ground. It is proposed that group camping guests and visitors use the 10 carparking spaces adjacent to the ablutions block. Two bus bays and a wash -down area is situated on the eastern side of the ablutions block. There is also an additional six car parks available at the staff accommodation block (2), the managers quarters (2), information entrance hut (2) and entrance holding bay parking.</p>
--	---	---

***Parking for People with Disabilities***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P2 Parking spaces are provided to meet the needs	A2.1 For parking areas with a total number of ordinary vehicle spaces less than 50, wheelchair	Compliant; One disabled car space is allocated

<p>of vehicle occupants with disabilities<sup>12</sup>.</p>	<p>accessible spaces are provided as follows:</p> <ul style="list-style-type: none"> <li>• Medical, higher education, entertainment facilities and shopping centres – 2 spaces;</li> <li>• All other uses – 1 space.</li> </ul> <p>A2.2 For parking areas with 50 or more ordinary vehicle spaces, wheelchair accessible spaces are provided as follows:</p> <ul style="list-style-type: none"> <li>• Medical, higher education, entertainment facilities and shopping centres – 3% (to the closest whole number) of the total number of spaces required;</li> <li>• All other uses – 2% (to the closest whole number) of the total number of spaces required.</li> </ul>	<p>and situated to the front of the ablutions block.</p> <p>Not applicable</p>
---	---	--

**Motor Cycles**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P3 In recognition that motorcycles are low Road-space transport, a proportion of the parking spaces provided may be for motorcycles. The proportion provided for motor cycles is selected so that:</p> <ul style="list-style-type: none"> <li>• ordinary vehicles do not demand parking in the spaces reserved for motor cycles due to capacity constraints; and,</li> <li>• it is a reflection of the make-up of the</li> </ul>	<p>A3.1 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% per cent of total ordinary parking.</p> <p style="text-align: center;">AND</p> <p>The motorcycle parking complies with other elements of this Code.</p>	<p>Motor cycle car parking is allocated as part of the additional car parking spaces.</p>

<sup>12</sup> Disabled access and facilities are provided in accordance with the Building Code of Australia and the Australian Standards.

<ul style="list-style-type: none"> <li>• likely vehicle fleet that uses the parking; and, it is not a reflection of the lower cost of providing motorcycle parking.</li> </ul>		
--	--	--

**Compact Vehicles**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P4 A proportion of the parking spaces provided may be for compact vehicles. The proportion of total parking provided for compact vehicles is selected considering:</p> <ul style="list-style-type: none"> <li>• compact vehicles spaces are not available to non-compact vehicles; and,</li> <li>• it is a reflection of the proportion of the likely vehicle fleet that uses the parking; and,</li> <li>• compact vehicle spaces are located so as to be proximate to pedestrian destinations such that they present significant inclination for use by users of compact vehicles; and,</li> <li>• the scale of parking spaces, likely users and the likely degree of familiarity with the availability of such spaces.</li> </ul>	<p>A4.1 For parking areas exceeding 100 spaces for short term users or 50 spaces for long-term users, parking is provided for compact vehicles as a substitute for ordinary vehicle parking so that:</p> <ul style="list-style-type: none"> <li>• compact vehicle parking does not exceed 10% of total vehicle parking required; and,</li> <li>• the parking location is proximate to the entry locations for parking users; and,</li> <li>• the parking provided complies with other elements of this Code.</li> </ul>	<p>Not Applicable</p>

**Bicycles Parking**



<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P5 Sufficient bicycle parking spaces with appropriate security and end of trip facilities are provided on-Site to accommodate the amount of bicycles expected to be generated by the use or uses.	A5.1 The minimum number of bicycle parking spaces provided on Site is not less than the number prescribed in Schedule 1 of this Code, for the particular use or uses.	Bicycle parking is allocated as part of the additional car parking spaces.

***Vehicular Access to the Site***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P6 The location of Access points minimises conflicts and is designed to operate efficiently and safely taking into account:</p> <ul style="list-style-type: none"> <li>• the amount and type of vehicular traffic;</li> <li>• the type of use (eg long-stay, short-stay, regular, casual);</li> <li>• Frontage Road traffic conditions;</li> <li>• the nature and extent of future street or intersection improvements;</li> <li>• current and future on-street parking arrangements;</li> <li>• the capacity of the adjacent street system; and</li> <li>• the available sight distance.</li> </ul>	<p>A6.1 The location of the Access points is in accordance with the provisions of the relevant Australian Standards.</p> <p style="text-align: center;">AND</p> <p>Where the Site has Frontage to more than one street, the Access is from the lowest order street.</p> <p>A6.2 All redundant Accesses must be removed and a suitable barrier Erected to prevent further use of the Access.</p> <p>A6.3 Only one Access point is to be provided to each Site unless stated otherwise in another Code.</p>	<p>Compliant: The traffic management plan is denoted by the traffic flow direction markers on plan S.01. This proposes to have single one-way traffic in the camp ground area and segregates function facilities traffic from camp ground traffic.</p>

***Accessibility and Amenity for Users***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P7 On-Site vehicle parking is provided where it is convenient, attractive and	A7.1 Short term visitor parking is provided at the front or on the main approach side of the	Compliant

<p>safe to use, and does not detract from an attractive or existing streetscape character.</p>	<p>Site, with easy Access to the Building entry, where such provision is in keeping with the desired character of the area in which the Site is located.</p> <p style="text-align: center;">AND</p> <p>In mixed use premises that include residential or accommodation uses (excluding, Port Douglas – Tourist Centre), at least 50% of the required number of parking spaces for the non-residential use/s on the Site is provided in an easily accessible location on the premises, so as to be convenient to use for customers and other visitors.</p>	
--	---	--

<p>P8 The layout of parking areas provides a high degree of amenity and accessibility for different users.</p>	<p>A8.1 The layout of the parking area provides for the accessibility and amenity of the following:</p> <ul style="list-style-type: none"> <li>• People with Disabilities</li> <li>• Cyclists</li> <li>• Motorcyclists</li> <li>• Compact Vehicles</li> <li>• Ordinary Vehicles</li> <li>• Service Delivery Vehicles.</li> </ul> <p>A8.2 Where covered parking areas are required in accordance with Schedule 1 of this Code, sails or other secure structural forms of covering provide shade and weather protection for vehicles and passengers.</p>	<p>Compliant</p>
--	--	------------------

**Access Driveways**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P9 The dimensions of Access driveways cater for all vehicles likely to enter the Site and minimises the disruption</p>	<p>A9.1 Access driveways are designed in accordance with the provisions of the relevant Australian Standards.</p>	<p>Compliant</p>

	of vehicular, cyclist and pedestrian traffic.			
P10	The surface construction materials of Access driveways within the Road reserve contribute to the streetscape and alerts pedestrians to the location of the driveway.	A10.1	Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.	Compliant

***Access for People with Disabilities<sup>13</sup>***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>		
P11	Access for people with disabilities is provided to the Building from the parking area and from the street.	A11.1	Access for people with disabilities is provided in accordance with the relevant provisions of the Australian Standards.	Compliant

***Access for Pedestrians***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>		
P12	Access for pedestrians is provided to the Building from the parking area and from the street.	A12.1	Defined, safe pedestrian pathways are provided to the Building entry from the parking area and from the street.	Compliant

***Access for Cyclists***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>		
P13	Access for cyclists is provided to the Building or to bicycle parking area from the street.	A13.1	Access pathways for cyclists are provided in accordance with the relevant provisions of the Australian Standards.  AND  Where Access for cyclists is shared with Access for pedestrians and vehicles, the shared use is identified by signage and linemarking.	Compliant

***Dimensions of Parking Spaces***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
-----------------------------	-----------------------------	-----------------

<sup>13</sup> Disabled access and facilities are provided in accordance with the Building Code of Australia and the Australian Standards.

<p>P14 Parking spaces have adequate areas and dimensions to meet user requirements.</p>	<p>A14.1 Car parking for the disabled, ordinary car parking spaces and motorcycle parking spaces meet the requirements of the relevant Australian Standards.</p> <p style="text-align: center;">AND</p> <p>Parking spaces for special vehicles that are classified in accordance with the relevant Australian Standards meet the requirements of that Standard.</p> <p style="text-align: center;">AND</p> <p>Parking spaces for standard sized buses have the following minimum dimensions:</p> <ul style="list-style-type: none"> <li>• width: 4 metres</li> <li>• length: 20 metres</li> <li>• clear Height: 4 metres.</li> </ul> <p style="text-align: center;">AND</p> <p>Parking spaces for compact vehicles have the following minimum dimensions:</p> <ul style="list-style-type: none"> <li>• 15 per cent less in width measurements than required by Australian Standards for any ordinary vehicle; and,</li> <li>• 20 per cent less in length measurements than required by Australian Standards for any ordinary vehicle.</li> </ul> <p style="text-align: center;">AND</p> <p>Parking spaces for special vehicles meet the requirements dictated by the vehicle dimensions and manoeuvring characteristics and provide sufficient clearance to obstructions and adjacent vehicles to achieve a level of</p>	<p>Compliant: Noting this is a non-urban area and it is proposed to have an unmarked gravel surface..</p>
---	--	---

	<p>service to users equivalent to that specified by the relevant Australian Standards.</p> <p>A14.2 Parking spaces for bicycles meet the requirement of the relevant Australian Standard.</p>	
--	---	--

***On-Site Driveways, Manoeuvring Areas and Parking/Standing Areas***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P15 On-Site driveways, manoeuvring areas and vehicle parking/standing areas are designed, constructed and maintained such that they:</p> <ul style="list-style-type: none"> <li>• are at gradients suitable for intended vehicle use;</li> <li>• consider the shared movements of pedestrians and cyclists;</li> <li>• are effectively drained and surfaced; and</li> <li>• are available at all times they are required.</li> </ul>	<p>A15.1 On-Site driveways, vehicle manoeuvring and loading/unloading areas:</p> <ul style="list-style-type: none"> <li>• are sealed in urban areas:</li> </ul> <p style="text-align: center;">AND</p> <ul style="list-style-type: none"> <li>• upgraded to minimise noise, dust and runoff in other areas of the Shire in accordance with the relevant Locality Code;</li> <li>• have gradients and other design features in accordance with the provisions of the relevant Australian Standards; and</li> <li>• drain adequately and in such a way that adjoining and downstream land is not adversely affected.</li> </ul> <p>A15.2 Parking areas are kept and used exclusively for parking and are maintained in a suitable condition for parking.</p>	<p>Compliant</p> <p>Noting this is a non-urban area and it is proposed to have an unmarked gravel surface.</p>

***Vehicle Circulation, Queuing and Set Down Areas***

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P16 Sufficient area or appropriate circulation arrangements are provided to enable all vehicles expected to use the Site to drive on and off the Site in forward gear.</p>	<p>A16.1 Circulation and turning areas comply with the provisions of the relevant Australian Standards.</p>	<p>Compliant</p>

<p>P17 An on-Site circulation system provides safe and practical Access to all parking, loading/unloading and manoeuvring areas.</p>	<p>A17.1 Circulation driveways comply with the provisions of the relevant Australian Standards.</p>	<p>Compliant The traffic management plan is denoted by the traffic flow direction markers on plan S.01. This proposes to have single one-way traffic in the camp ground area and segregates function facilities traffic from camp ground traffic</p>
<p>P18 Where vehicle queuing, set down or special vehicle parking is expected, sufficient queuing or parking area is provided to enable vehicles to stand without obstructing the free flow of moving traffic or pedestrian movement.</p>	<p>A18.1 Queuing and set down areas comply with the relevant Australian Standard and any relevant AUSTRROAD Guidelines.</p>	<p>Compliant There are 2 x reception car parks located at the camp ground entrance plus a long vehicle holding bay for caravan trailers.</p>

**Schedule 1 – Car Parking Requirements**

LAND USE	MINIMUM NUMBER OF SPACES	COMMENTS
<b>Residential Uses</b>		
Caretaker’s Residence	1 car space.	Compliant
Home Activity	The parking required for a House plus 1 car space.	Not Applicable
Home Based Business	<p>The parking required for a House plus 1 car space per 25 m<sup>2</sup> of Net Lettable Area used for the Home Based Business.</p> <p><u>Bed &amp; Breakfast Accommodation.</u></p> <p>The parking required for a House plus 1 car space per bedroom/2 Bed Spaces.</p> <p><u>Forest Stay Accommodation.</u></p> <p>The parking required for a House plus 1 car space per bedroom/2 Bed Spaces and/or 1 car space per 2 Bed Spaces in a</p>	Not Applicable

	communal bunkhouse and 2 car spaces for 6 staff or 1 car space for 4 staff.  <u>Host Farm Accommodation.</u>  The parking required for a House plus 1 car space per bedroom/2 Bed Spaces and/or 1 car space per 2 Bed Spaces in a communal bunkhouse.	
House	2 spaces which may be in tandem.	Not Applicable
Multi-Unit Housing	Within the Port Douglas Tourist Centre – 1 car space per Dwelling Unit  Outside the Port Douglas Tourist Centre and elsewhere in the Shire – 1.5 car spaces per Dwelling Unit  In all cases, 60% of the car parking area is to be covered.  Plus 1 bicycle space per 3 units and 1 visitor bicycle space per 12 units.	Not Applicable
Outstation/Seasonal Camp	1 car space per 2 bedrooms.	Compliant
Retirement Facility	1 car space per Dwelling Unit; plus 1 visitor car space per 5 Dwelling Units; plus 1 visitor car space per 10 hostel, nursing home or similar beds; plus 1 car space per 2 staff members; plus 1 car space for ambulance parking, designated accordingly.	
Special Residential Use	1 visitor car space per 5 bedrooms plus 1 car space per 2 staff members.	Not Applicable

<b>Tourist and Short Term Accommodation Uses</b>		
Caravan Park/Camping Ground	1 car space per caravan Site, tent Site or cabin plus- 1 visitor car space per 10 caravan Sites, tent Sites or cabins; plus- 1 vehicle washing space per 20 caravan Sites, tent Sites or cabins; plus- 1 car space for an on-Site manager.	Compliant: There is a total of 20 camping sites. A minimum of one car space is proposed to be situated with 15 of the sites. In addition, a further eight car parks are provided at the main car park for group camping

		<p>visitors as shown on drawing S.01 site plan. Therefore, the car parking provisions exceeds requirements in accordance with the tourist and short-term accommodation uses for a camping ground. It is proposed that group camping guests and visitors use the 10 carparking spaces adjacent to the ablutions block. Two bus bays and a wash - down area is situated on the eastern side of the ablutions block. There is also an additional six car parks available at the staff accommodation block (2), the managers quarters (2), information entrance hut (2) and entrance holding bay parking.</p>
<p>Holiday Accommodation</p>	<p><u>Non-Self Contained Rooms (motel or hotel):</u>  1 car space per room for the first ten rooms plus 1 car space for every 3 rooms for the remainder of rooms.</p>	<p>Not Applicable</p>



	<p><u>Self Contained:</u></p> <p>Within the Port Douglas Tourist Centre – 1 car space per Dwelling Unit</p> <p>Outside the Port Douglas Tourist Centre and elsewhere in the Shire – 1.5 car spaces per Dwelling Unit</p> <p><u>Dual Key:</u></p> <p>1 car space for the self-contained element of the Dual Key Units; and</p> <p>30% of a car space for the non-Self Contained element of the Dual Key apartment.</p> <p>A parking bay for the loading and unloading of buses where thirty rooms/Dwelling Units or more.</p> <p>In all cases, 60% of car spaces are to be covered</p> <p>Plus 1 bicycle space per 10 rooms.</p>	
Short Term Accommodation	<p>1 car space per Private Room for the first ten rooms, plus 1 car space for every 3 rooms for the remainder of rooms.</p> <p>1 car space per 10 beds where dormitory accommodation.</p> <p>A parking bay for the loading and unloading of buses where thirty rooms or more, or where 30 beds in the dormitory accommodation.</p> <p>In all cases, 60% of car parking spaces are to be covered.</p> <p>Plus 1 bicycle space per 4 rooms/4 beds and 1 visitor bicycle space per 16 rooms/16 beds.</p>	Not Applicable
Staff Quarters	1 car space per 2 Bed Spaces	Compliant
<b>Retail Uses</b>		
Shopping Facility	1 car space per 25 m <sup>2</sup> of Net Lettable Area.	Not Applicable

	<p>Plus 1 bicycle space per 200 m<sup>2</sup> of Net Lettable Area and 1 visitor bicycle space per 500 m<sup>2</sup> over 1000 m<sup>2</sup></p> <p><u>In a Local Centre:</u></p> <p>1 car space per 50 m<sup>2</sup> of Net Lettable Area.</p> <p><u>In the Tourist Centre of Port Douglas:</u></p> <p>1 car space per 30 m<sup>2</sup> of Net Lettable Area.</p>	
<b>Business and Commercial Uses</b>		
Aircraft Landing Facility – Commercial	1 car space per 20 m <sup>2</sup> of covered reception area, plus 1 car space per 2 staff, plus a covered bus setdown area adjacent to the entry to the reception area and 2 bus parking spaces.	Not Applicable
Business Facilities	<p>1 car space per 25 m<sup>2</sup> of Net Lettable Area.</p> <p>Plus 1 bicycle space per 200 m<sup>2</sup> Net Lettable Area and 1 visitor bicycle space per 750 m<sup>2</sup> over 1000 m<sup>2</sup></p> <p><u>In a Local Centre:</u></p> <p>1 car space per 50 m<sup>2</sup> of Net Lettable Area.</p> <p><u>In the Tourist Centre of Port Douglas:</u></p> <p>1 car space per 30 m<sup>2</sup> of Net Lettable Area.</p>	Not Applicable
Child Care Centre	1 car space per full time staff member, plus 1 car space per 10 children to be used for setting down and picking up of children, with a minimum of 3 car spaces to be provided for set down/collection. Any drive-through facility can provide tandem short term parking for 3 car spaces for the setting down and picking up of children, on the basis that a passing lane is provided and linemarked to be kept clear of standing vehicles at all times.	Not Applicable
Display Facilities	<p>For garden supplies, hardware &amp; the like:</p> <p>1 car space per 50 m<sup>2</sup> Net Lettable Area.</p>	Not Applicable

	<p>For boats, caravans, machinery, motor vehicles and the like: 1 car space per 100 m<sup>2</sup> Net Lettable Area.</p> <p style="text-align: center;">EXCEPT THAT</p> <p><u>When located in the Town Centre and in the Mossman and Environs Locality</u></p> <p>All Display Facilities provide 1 car space per 25 m<sup>2</sup> of Net Lettable Area.</p>	
Restaurant	<p>1 car space per 25 m<sup>2</sup> of Net Lettable Area.</p> <p>Plus 1 bicycle space per 100 m<sup>2</sup> Net Lettable Area.</p> <p><u>In a Local Centre:</u></p> <p>1 car space per 50 m<sup>2</sup> of Net Lettable Area.</p> <p><u>In the Tourist Centre of Port Douglas:</u></p> <p>1 car space per 30 m<sup>2</sup> of Net Lettable Area.</p>	Not Applicable
Service Station	<p>1 car space per 15 m<sup>2</sup> of the floor area of any Shopping Facility, Restaurant or take-away food facilities. Staff parking at the rate of 1 car space per full time or part time staff member.</p>	Not Applicable
Tavern	<p>Licensed Facilities</p> <p>1 space per 10 m<sup>2</sup> of bar, lounge, beer garden, and other public area; plus 1 space per 50 m<sup>2</sup> of floor area of liquor barn or bulk liquor sales area; plus if drive in bottle shop is provided queuing lane/s on site for 12 vehicles; plus parking for other uses incorporated in the Tavern, as listed in this Table.</p>	Not Applicable
Tourist Attraction	<p>Sufficient car spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.</p> <p>Plus 1 bicycle space per 200 m<sup>2</sup> Net Lettable Area.</p>	Compliant
Veterinary Facilities	<p>1 car space per 50 m<sup>2</sup> of Net Lettable Area.</p>	Not Applicable

<b>Industry and Associated Uses</b>		
Aquaculture	1 car space per 2 staff members.	Not Applicable
Extractive Industry	1 car space per 2 staff members.	Not Applicable
Industry Class A and Class B	1 car space per 90 m <sup>2</sup> of Net Lettable Area.	Not Applicable
Intensive Animal Husbandry	1 car space per 2 staff members.	Not Applicable
Primary Industry	1 car space per 2 staff members.	Compliant
Private Forestry	1 car space per 2 staff members.	Compliant
Service Industry	1 car space per 90 m <sup>2</sup> of Net Lettable Area	Not Applicable
<b>Community Facilities</b>		
Cemetery and Crematorium	Sufficient car spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	Not Applicable
Educational Establishment	<ul style="list-style-type: none"> <li>• primary and secondary school: 1 car space per 2 staff members</li> <li>• tertiary and further education: 1 car space per 2 staff members plus 1 car space per 10 students</li> <li>• for all other establishments :</li> <li>• Designated area on Site for the short term setdown of students, in addition to the requirements above.</li> </ul> <p>School – 1 bicycle space per 5 pupils over year 4</p> <p>University/TAFE – 2 bicycle spaces per 10 full time students</p>	Not Applicable
Health Facility	1 car space per 4 beds, plus 1 car space per 2 staff members, plus 1 car space for ambulance parking, designated accordingly, 1 bicycle space per 200 m <sup>2</sup> Net Lettable Area.	Not Applicable
Interpretive Facility	Sufficient car spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	Compliant: Existing.
Park and Open Space	Sufficient car spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	Compliant: Existing
Place of Assembly	1 car space per 15 m <sup>2</sup> of Net Lettable Area.  Plus 1 bicycle space per 200 m <sup>2</sup> Net Lettable Area	Not Applicable
Public Utilities and Facilities	1 car space per 2 staff members.	Not Applicable
Telecommunication Facilities	1 car space per 2 staff members.	Not Applicable
<b>Recreation Uses</b>		
Indoor Sports and Entertainment	<ul style="list-style-type: none"> <li>• Squash Court or another court game:</li> </ul>	Not Applicable

	<p>4 car spaces per court.</p> <ul style="list-style-type: none"> <li>• Indoor Cricket</li> </ul> <p>25 car spaces per cricket pitch.</p> <ul style="list-style-type: none"> <li>• Ten Pin bowling</li> </ul> <p>3 car spaces per bowling lane.</p> <ul style="list-style-type: none"> <li>• Gymnasium</li> </ul> <p>1 car space per 15 m<sup>2</sup> of Net Lettable Area.</p> <ul style="list-style-type: none"> <li>• Places where people congregate including Cinemas, Theatres, Convention Centre or Function Centre or the like.</li> </ul> <p>1 car space per 15 m<sup>2</sup> of Net Lettable Area.</p> <ul style="list-style-type: none"> <li>• Unlicensed Clubrooms</li> </ul> <p>1 car space per 45 m<sup>2</sup> of Net Lettable Area.</p> <ul style="list-style-type: none"> <li>• Licensed Clubrooms</li> </ul> <p>1 car space per 15 m<sup>2</sup> of Net Lettable Area.</p> <p>Plus 1 bicycle space per 4 employees</p>	
<p>Outdoor Sport and Recreation</p>	<ul style="list-style-type: none"> <li>• Coursing, horse racing, pacing or trotting</li> </ul> <p>1 car space per 5 seated spectators plus, 1 car space per 5 m<sup>2</sup> of other spectator areas.</p> <ul style="list-style-type: none"> <li>• Football</li> </ul> <p>50 car spaces per field.</p> <ul style="list-style-type: none"> <li>• Lawn Bowls</li> </ul> <p>30 car spaces per green.</p> <ul style="list-style-type: none"> <li>• Swimming Pool</li> </ul> <p>15 car spaces plus 1 car space per 100 m<sup>2</sup> of useable Site area.</p> <ul style="list-style-type: none"> <li>• Tennis or other Court game</li> </ul> <p>4 car spaces per court.</p> <ul style="list-style-type: none"> <li>• Golf Course</li> </ul> <p>4 car spaces per tee on the course, plus parking for club as per Indoor Entertainment.</p> <ul style="list-style-type: none"> <li>• Outdoor Cinema</li> </ul> <p>1 car space per 5 m<sup>2</sup> of designated viewing area, plus 1 car space per 2 staff members.</p> <p>Plus 1 bicycle space per 20 spectator places</p>	<p>Not Applicable</p>

**Note:** A contribution may be required by Council if the car parking rate is different, where a new use is proposed in an existing Building.

8.4.6 Vegetation Management Code

▪ Vegetation Management Code

**Purpose**

The purpose of this Code is to provide for the protection and management of vegetation within the planning scheme area to facilitate sustainable development and to ensure the Region's biodiversity and ecological values, landscape character and amenity are maintained.

The purpose of the code will be achieved through the following overall outcomes:

- Vegetation will be protected from inappropriate damage; and
- Vegetation damage will be undertaken in a sustainable manner; and
- Significant trees are maintained and protected; and
- The biodiversity and ecological values are protected and maintained; and
- Habitats for rare, threatened and endemic species of flora and fauna are protected and maintained; and
- The landscape character and amenity is protected and maintained; and
- Cultural heritage values are protected and maintained.

**Applicability**

This code applies to development that is operational work for vegetation damage which is identified as self-assessable or assessable in the table of assessment other than works undertaken by or on-behalf of Council.

For self assessable development assessed against this Code, the applicable Acceptable Solutions are A1.1 – A3.2 (Inclusive).

Self assessable development which does not comply with Acceptable Solutions A1.1 – A3.2 (Inclusive), will require Code Assessment.

**Elements of the Code**

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS
<p>P1 Vegetation must be protected to ensure that -</p> <ul style="list-style-type: none"> <li>a) The character and amenity of the local area is maintained; and</li> <li>b) Vegetation damage does not result in fragmentation of habitats; and</li> <li>c) Vegetation damage is undertaken in a sustainable manner; and</li> <li>d) The regions biodiversity and ecological values are maintained and protected; and</li> <li>e) Vegetation of historical, cultural and / or visual significance is retained;</li> <li>f) Vegetation is retained for erosion prevention and slope stabilisation.</li> </ul>	<p><b>A1.1</b> The vegetation damage occurs on a lot, other than a lot in the Flagstaff Hill Special Management Area, and has a lot size equal to or less than 800m<sup>2</sup>. OR</p> <p><b>A1.2</b> The lot is within an Urban Area or Rural Settlement Planning Area, other than the Flagstaff Hill Special Management Area, and the vegetation damage is within six (6) metres (measured from the centre of the tree's trunk, at ground level, to the nearest edge of the structure) of an existing or approved building or structure or within three (3) metres of a boundary fence. OR</p> <p><b>A1.3</b> The lot is within a Conservation Planning Area or the Flagstaff Hill Special Management Area and the vegetation damage is within three (3) metres (measured from the centre of the tree's trunk, at ground level, to the nearest edge of the structure) of an existing or approved building or structure. OR</p>



COMMENTS:

P1 - P4 Compliant – All existing vegetation to be retained. No clearing required.



## Purpose

The purpose of this Code is to enhance the sustainability of development by increasing the extent to which it:

- protects the environment, including reducing greenhouse gas emissions, saving energy, conserving water and minimising waste; and
- enhances the economic, physical and social wellbeing of Shire’s residents and communities, including lifecycle affordability, accessibility, safety and security.

## Applicability

This Code applies to all assessable Material Change of Use, involving new Building Work other than minor alterations to an existing building, excluding the following uses:

- Caretaker’s Residence,
- Car Park,
- Outstation/Seasonal Camp

## Elements of the Code

### *Energy Efficiency*

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
<p>P1 Buildings are designed and sited to:</p> <ul style="list-style-type: none"> <li>▪ maximise the thermal comfort achieved within the building using passive design measures; and</li> <li>▪ minimise the need for energy reliant cooling appliances to achieve accepted levels of thermal comfort.</li> </ul>	<p>A1.1 For residential buildings, each dwelling unit achieves a minimum 5 star BERS™ or NatHERS™ (or equivalent) energy rating.</p> <p style="text-align: center;">OR</p> <p>A1.2 For residential buildings:</p> <ul style="list-style-type: none"> <li>(a) all door openings and windows in habitable rooms that face between north and south east and south west and north are fully shaded by adjustable external shutters or blinds, and</li> <li>(b) glazed windows or door assemblies have a minimum WERS<sup>14</sup> Rating of 3 stars for cooling, and</li> <li>(c) all external walls (excluding windows and other glazing) achieve an overall R-value not less than R1.5, and</li> <li>(d) all ceilings (excluding</li> </ul>	<p>Compliant</p>

<sup>14</sup> “WERS” means the Window Energy Rating Scheme®. For details about WERS, see [www.wers.net](http://www.wers.net).

	<p>garages, open verandas and carports) achieve an overall R-value of R3.0, and</p> <p>(e) all habitable rooms have:</p> <ul style="list-style-type: none"> <li>• have a window or door in opposite walls that are open-able to the outside;</li> <li>or</li> <li>• have a direct flow path from an open-able window through the doorways or other openings within the dwelling unit to another window or opening to the outside;</li> <li>Or</li> <li>• open directly onto an unobstructed breezeway that is a minimum of 900 mm wide and open-able at both ends with a minimum 1.5m<sup>2</sup> opening;</li> </ul>	
	<p>Or</p> <ul style="list-style-type: none"> <li>• have a minimum ceiling height of 2.7m and at least one ceiling fan.</li> </ul> <p>A1.3 For non-residential buildings:</p> <p>(a) glazed windows or door assemblies have a minimum WERS<sup>15</sup> Rating of 3 stars for cooling, and</p> <p>(b) all external walls (excluding windows and other glazing) achieve an overall R-value not less than R1.5, and</p> <p>(c) all ceilings (excluding garages, open verandas and carports) achieve an overall R-value of R3.0.</p>	
<p>P2 Hot water systems support the efficient</p>	<p>A2.1 For all buildings with individual hot water systems installed in</p>	<p>Compliant</p>

<sup>15</sup> “WERS” means the Window Energy Rating Scheme®. For details about WERS, see [www.wers.net](http://www.wers.net).

<p>use of natural resources and minimise consequent pollution such as greenhouse gas emissions.</p>	<p>each dwelling unit or tenancy, all hot water systems installed comprise:</p> <ul style="list-style-type: none"> <li>(a) a system with a minimum of 24 Renewable Energy Certificates, or</li> <li>(b) a natural gas system, or</li> <li>(c) a liquid petroleum gas (LPG) system with a 5 star AGA Energy Rating Label.</li> </ul> <p>A2.2 For all buildings with centrally installed hot water systems:</p> <ul style="list-style-type: none"> <li>(a) a low NO<sub>x</sub> gas water heating system/s supply hot water to all dwelling units or tenancies, or</li> <li>(b) solar water heaters supply hot water to all dwelling units or tenancies where less than 25% of water heating is provided by booster units,</li> </ul>	<p>On-demand instantaneous gas hot water in shower block.</p>
	<ul style="list-style-type: none"> <li>or</li> <li>(c) electric heat pump water heaters supply hot water to all dwelling units or tenancies, or</li> <li>(d) a gas-fired cogeneration or fuel cell unit is installed which supplies electricity and uses waste heat for cooling/heating and hot water.</li> </ul>	

P3	<p>Where practicable, and consistent with density and design provisions, residents should have access to a non-mechanical clothes drying area:</p> <p>(a) taking advantage of natural ventilation; and</p> <p>(b) receiving ample sunlight,</p> <p>in a manner that does not impair visual amenity.</p>	No Acceptable Solution	Compliant
P4	<p>Cooking appliances are energy efficient.</p>	<p>A4.1 For residential buildings, each dwelling unit has:</p> <p>(a) a gas cook-top installed with a range hood; and</p> <p>(b) a gas oven with appropriate ventilation; or</p> <p>(c) a fan-forced electric oven</p>	Compliant
P5	<p>All electrical appliances intended to be installed as standard into any residential building shall meet a minimum standard of 4 stars in accordance with the Australian Energy Rating Label.</p>	<p>A5.1 All:</p> <ul style="list-style-type: none"> <li>• Dishwashers;</li> <li>• Clothes dryers;</li> <li>• Clothes washers;</li> <li>• Airconditioners; and</li> <li>• Refrigerators/freezers</li> </ul> <p>where installed with the development, shall meet a minimum 4 star rating in accordance with the Australian Energy Rating Label.</p>	Not Applicable: Existing

P6	Lighting is energy efficient.	<p>A6.1 For residential buildings:</p> <ul style="list-style-type: none"> <li>(a) The minimum circuit efficacy for all common area lighting is 75 lumens per watt.</li> <li>(b) All common area lighting is fitted with automatic controllers.</li> <li>(c) Kitchens and living areas are fitted with energy efficient light fixtures such as fluorescent lighting.</li> </ul> <p>A6.2 For Business Facilities, the average lighting power density does not exceed 10 watts per square metre.</p> <p>A6.3 For Shops and Shopping Facilities, the average lighting power density does not exceed 23 watts per square metre.</p> <p>A6.4 Individual tenancies within non-residential buildings are fitted with energy efficient light fixtures such as fluorescent lighting.</p>	Compliant: Solar power
P7	Air conditioning, where not covered by an Australian Energy Rating Label, is energy efficient.	A7.1 Air conditioning units or systems comply with the minimum energy performance requirements specified in the Australian/New Zealand Standard AS/NZS 3823.2.2003.	Compliant

**Water Conservation and Reuse**

PERFORMANCE CRITERIA	ACCEPTABLE SOLUTIONS	COMMENTS
P8 Rainwater harvesting systems are incorporated into residential and non-residential buildings to ensure collection, treatment and reuse of rainwater on-site to reduce run-off and demand on the potable	<p>A8.1 All residential buildings provide rainwater storage tank/s on-site fitted with a first flush device and vermin-proof mesh strainer on the inlet and that has a capacity of:</p> <ul style="list-style-type: none"> <li>(a) 30,000 litres per dwelling unit where located in the Rural</li> </ul>	Compliant: All water is harvested from the site location. As per drawing C.01 water saving devices will be in use.

<p>water supply. Internal fixtures supplied from a rainwater tank must have a continuous supply of water.</p>	<p>Planning Area or the Rural Settlement Planning Area, or</p> <p>(b) 5,000 litres per dwelling unit where located in any other Planning Area.</p> <p>All non-residential buildings provide rainwater storage tank/s on-site fitted with a first flush device and vermin-proof mesh strainer on the inlet and that has a capacity of 5,000 litres per toilet/urinal unit.</p> <p>A8.2 The rainwater tank is plumbed for external use for irrigation and pool top up and internal use for toilet cisterns and washing machine cold water taps.</p> <p>A8.3 A rainwater tank has –</p> <p>(a) An automatic switching device providing supplementary water from the reticulated town water supply; or</p> <p>(b) A trickle top up system, providing supplementary water from the reticulated town water supply with –</p> <p>(i) A minimum flow rate of 2 litres per minute and a maximum flow rate of 4 litres per minute; and</p> <p>(ii) Top up valves installed in an accessible location; and</p>	
---	---	--

		(iii) A storage volume of the reticulated town water supply top up shall be no more than and no less than 1000 litres	
		A8.4 A backflow prevention device is installed to protect the potable water within the reticulated town water supply system in accordance with AS/NZS 3500:2003 Plumbing and Drainage.	
P9	Plumbing fittings must support the efficient use of water.	<p>A9.1 All sink, tub or basin taps or mixers have a certified AAA Water Conservation Rating.</p> <p>A9.2 All toilets have:</p> <p>(a) 4 litre or less average flush cisterns (when calculated in accordance with Australian/New Zealand Standard AS/NZS 6400:2003), and</p> <p>(b) matched pans.</p> <p>A9.3 All showers have thermostatic mixers.</p>	Compliant: All water is harvested from the site location. As per drawing C.01 water saving devices will be in use.

**Waste Minimisation**

<b>PERFORMANCE CRITERIA</b>		<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P10	Site and building design must facilitate efficient sorting and disposal to maximise recycling opportunities.	A10.1 For residential buildings, each dwelling unit has separated, built-in temporary storage for recyclable materials and general waste.	Compliant

	<p>A10.2 All buildings include a refuse bin storage area:</p> <ul style="list-style-type: none"><li>(a) with sufficient capacity for the collection of recyclable materials and general refuse, and</li><li>(b) located for convenient use by all residents/tenants and readily accessible to waste management contractors, and</li><li>(c) screened from view from public roads, is roofed and drained to sewer and includes a hose cock to provide for cleaning of refuse bins.</li></ul>	
--	---	--



**Landscaping and Irrigation**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P11 Landscaping must facilitate sustainable tropical design by:</p> <ul style="list-style-type: none"> <li>• providing sufficient space for the retention and/or establishment of significant substantial vegetation,</li> <li>• using locally appropriate plant species,</li> <li>• using paving design and materials that minimise heat reflection and site run-off,</li> <li>• providing appropriate seasonal shade and passive cooling/heating of outdoor spaces throughout the year,</li> <li>• providing private open space located to maximise indoor/outdoor connections, and</li> <li>• design and plant selection to minimise water use and contribute to stormwater management.</li> </ul>	<p>A11.1 Impervious paving is limited to:</p> <ul style="list-style-type: none"> <li>(a) vehicle manoeuvring areas,</li> <li>(b) vehicle hard-stand areas, and</li> <li>(c) pedestrian movement paths.</li> </ul> <p>A11.2 Landscape and recreation areas are planted to:</p> <ul style="list-style-type: none"> <li>(a) ensure the penetration of prevailing north-east and south summer breezes and north-east winter morning sun, and</li> <li>(b) minimise exposure to the prevailing west and south-west winter winds, and</li> <li>(c) shade the western walls of buildings.</li> </ul>	<p>Compliant Noting this is a non-urban area and it is proposed to have an unmarked gravel surface..</p>

	<p>A11.3 Opportunities for water infiltration on-site are maximised through:</p> <ul style="list-style-type: none"> <li>(a) minimising the extent of impervious surfaces,</li> <li>(b) use of porous paving in low traffic areas,</li> <li>(c) draining hard surfaces towards permeable surfaces, and</li> <li>(d) inclusion of turf and garden beds.</li> </ul>	
--	--	--

**Solar Panels**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
P12 Solar hot water systems are located for optimum performance.	A12.1 Solar hot water systems are located on the roof of a building and the panels face solar north.	Not applicable: Gas instantaneous systems existing.

**Private Swimming Pools**

<b>PERFORMANCE CRITERIA</b>	<b>ACCEPTABLE SOLUTIONS</b>	<b>COMMENTS</b>
<p>P13 A swimming pool for recreational use by residents of a residential building is designed and constructed to minimise its resource needs by consideration of:</p> <ul style="list-style-type: none"> <li>• potential usage in terms of number of swimmers;</li> <li>• purpose (e.g, lap swimming, plunging, etc);</li> <li>• siting issues; and</li> <li>• filtration systems.</li> </ul>	A13.1 No Acceptable Solution.	Not Applicable

## 8.5 ASSESSMENT AGAINST: DESIRED ENVIRONMENTAL OUTCOMES

The Douglas Shire Council Planning Scheme desired environmental outcomes (DEOs) required to be achieved relevant to the Application, and the proposal's compliance with them, are outlined below.

### 8.5.1 Ecological Processes and Natural Systems

***DEO 1 – the unique environmental values of the Shire, which result from its location within the Wet Tropics Bioregion, are maintained and protected for current and future generations.***

The proposed development is being located entirely within existing cleared areas. The unique environmental values of the Shire will not be impacted by the proposed development.

***DEO 2- those parts of the Shire located within the Wet Tropics and Great Barrier Reef World Heritage Areas and other adjacent areas of environmental value and ecological significance, are preserved and protected for nature conservation, landscape/scenic quality, Biodiversity and habitat values, in particular the protection of the Sothern Cassowary and its habitat and to ensure the integrity of natural processes.***

The proposed development aims to showcase the Wet Tropics and Great Barrier Reef World Heritage Area. Accordingly, areas of environmental value and ecological significance will not be impacted by the proposed development. This development will likely also assist in reducing the issue of illegal uncontrolled camping within the Daintree – Cape Tribulation area. No clearing (or habit destruction) is proposed.

***DEO 3 – natural waterways such as the Daintree River, the Mossman River , the Mowbray Rover and Dicksons Inlet, all wetlands but particularly those on the Directory of Wetlands of Importance in Australia, being the Lower Daintree River, Alexandra Bay and Hilda Creek Headwater; and all catchments located in coastal areas within the Shire, are managed to protect their ecological processes, enhance water quality, conserve riparian ecological values and landscape/scenic quality, while acknowledging nature based recreation opportunities.***

The proposed development is being located wholly within the Alexandra Bay area. The natural waterways of the Shire as listed above will not be impacted by the proposed development. The development aims to provide environmentally managed nature based recreational opportunities.

***DEO 4 – the unique environmental character of the Shire comprised of internationally renowned landscapes, ecologically significant rainforest systems, sensitive coastal systems and areas of unsurpassed natural beauty, are maintained in association with sustainable development practices, which seek to minimise the effects of development on the natural environment.***

The proposed development is to be located wholly within the existing cleared areas. The proposed development of a 20 site camp ground will have no significant impact to the natural environment. Effectively the development will provide sustainability; funding to be fed back into the environmental maintenance of the property, ensuring ongoing sustainable forest access.

### 8.5.2 Economic Development

***DEO 5 – a prosperous community with a strong rural sector, a dynamic tourism industry and commercial and industrial activities offering a diverse range of employment opportunities, is supported by the sustainable use and management of the natural resources of the Shire.***

The proposed establishment of a 20 site camp ground for hikers and campers within the existing trail reserve/picnic ground provides a camping solution for tourist to the Cape Tribulation area. The proposed use is considered to be sustainable and will not impact on the management of the natural resources of the Shire.

MCU-Lot 62-64 Cape Tribulation Road, Thornton Beach

***DEO 6 – the natural resources of the Shire, such as GQAL, extractive resources, water and forestry resources, are protected and managed in a manner that ensures their ecological and economic values are assured for present and future generations.***

The development will not impact on the natural resources of the Shire.

***DEO 7 – the values of the Shire are protected by a preferred pattern of development through identifying GQAL which sustains productive primary industries, particularly the sugar, horticultural and cattle grazing industries, and consolidate growth and employment opportunities, primarily in the identified locations of Mossman and Port Douglas.***

The development is in a conservation area of the Shire. The development will not impact on the above industries or natural resources of the Shire.

***DEO 8 – the economic development of the Shire is facilitated by the provision of infrastructure which contemplates the conservation economy of the Shire with 82% of its lands within the WTWHA in an efficient, equitable and environmentally safe manner, as well as circulation networks which provide for the efficient movement of people and goods, without compromising the Captain Cook Highway as the scenic entry corridor to the Shire.***

The proposed development is able to be provided with an onsite potable water supply and access to an electricity without additional cost imposed on the Council. The proposed onsite effluent disposal systems have sufficient capacity to cater for the additional demand generated by the proposed development. The development fronts onto Cape Tribulation Road and will not compromise the associated scenic corridor nor that of the Captain Cook Highway.

#### 8.5.3 Cultural, Economic, Physical and Social Well-being of the Community

***DEO 9 – places of cultural and heritage significance, both Indigenous and European, are identified, protected and retained for their significance and importance to the history and identity of the Shire.***

The subject land has not been identified as being a place of cultural or heritage significance to either Indigenous or European cultures.

***DEO 10 – a range of housing options, which provide a high standard of living and a variety of different residential lifestyle opportunities, are available in the Shire and are provided in a sustainable manner with regard to the environment, including its people and communities and the provision of services and facilities.***

The proposed development does not represent a residential development.

***DEO 11 – the distinctive character and unique sense of place of the towns, villages and other settlement areas in the Shire including the Daintree Lowlands Community, are maintained, promoting community pride and well-being and community safety and prosperity.***

The proposed development is sufficiently removed from the towns, villages and other settlement areas of the Shire so as to not cause any direct adverse impacts. However, it is noted that these same towns, villages and settlement areas in the vicinity of the proposed development may also benefit from additional tourist trade as a result of the proposed development.

***DEO 12 – residential communities, particularly communities within the major tourism areas of Port Douglas, Daintree Village and the Daintree Lowlands maintain a prosperous economy, a sense of community with the natural features, character of those areas and community values and cohesion, promoting harmony between residents and visitors.***

MCU-Lot 62-64 Cape Tribulation Road, Thornton Beach

The proposed development aims to further showcase the natural features of the area, enhancing visitor experience via facilities that offer managed over-night hiking options complimenting existing walks within the area; whilst ensuring sustainable ongoing environmentally sensitive management of the Noah Creek Property.

## 9 CONCLUSIONS

The proposal is considered compliant with the Douglas Shire Planning Scheme. It is consistent with the scheme's Desired Environmental Outcomes and has been directly assessed against the relevant planning scheme documents.

The following conclusions can be drawn:

- The proposed material change of use development and associated structures are sensitive to the surroundings, low key, low impact recreational facilities and in keeping with the area and sites existing usage.
- The proposed associated structures are compliant to all applicable elements of the scheme.
- Construction does not remove vegetation, significantly re-contour land or have any detrimental impact to the function of the road frontage.
- The proposed use is of scale and nature that is ecologically sustainable, gives consideration to the natural environment but contributes to the orderly development of the Thornton locality and compliments existing tourism facilities within and nearby the area.

On balance this development is considered an appropriate response to the existing cleared site and will be complementary to the surrounding environment. As such, subject to reasonable and relevant conditions, we request Councils consent to issue an approval for this development.

**NOTES:**

1. Provide reserve area for future trench adjacent to and within LAA. Provide signage & bollards to protect LAA from vehicle wheel loads.
2. Boundaries of land application areas should be positioned at least 2.0m down slope, 4.0m upslope from the footings of buildings or where the site is flat, 2.0m from any point of the building footing.
3. Boundaries of land application areas should be positioned at least 2.0m down slope, 4.0m upslope from the property boundaries, pedestrian paths and walkways recreation areas or where the site is flat, 2.0m from any point of the property boundaries, pedestrian paths and walkways recreation.
4. Primary effluent in ground potable water tanks - 15m from the boundary of the land application area.
5. Primary effluent top of bank of permanent water course: 50m (Horizontal).
6. Primary effluent bore or a dam used or likely to be used for human and or domestic consumption: 50m (Horizontal).
7. Also check above distances with Authority's development conditions.
8. All work to be carried out by a QBCC licenced plumber.

**SYSTEM SIZING FACTORS:**

The water supply for the site will be on-site rainwater tanks.

Standard water-reduction fixtures must be used to ensure the integrity of the system.  
They include:-

- Dual flush 6/3 Litre water closets.
- Shower-flow restrictors.
- Aerator faucets (taps).
- Water-conserving automatic washing machines.

Note:- Garbage grinders are not permitted.

NOT FOR CONSTRUCTION

ABN 35144589426 MEDIUM RISE RPEQ 7279 MIEAust BSA 1211127 PO BOX 952 EDGE HILL CAIRNS QLD 4870 TEL 40325335 MOB 04 0417 1090 FAX 40325431 E-MAIL ADMIN@THIRKELL.COM.AU	<b>REV</b>	<b>DESCRIPTION</b>	<b>DATE</b>	<b>CLIENT</b>	<b>PROJECT</b>	<b>Scale</b>	<b>Date</b>	<b>Drawn</b>	<b>Checked</b>
	A	DEVELOPMENT APPROVAL	09.06.17	A. Heweston	Noah Creek Eco-Huts Cape Tribulation Road, Daintree	AS SHOWN @A3	MAY 2017	SL	
	P1	CLIENT TO SET-OUT ON SITE & ADVISE ENGINEER	01.06.17	CLIENT APPROVED SIGNATURE		DATE	DRAWING TITLE	Project No.	Dwg. No.
						SITE PLAN & LAND APPLICATION SYSTEM	17-023-E	C.01	A



NOT FOR CONSTRUCTION

ABN 35144589426 MEDIUM RISE RPEQ 7279 MIEAust BSA 1211127 PO BOX 952 EDGE HILL CAIRNS QLD 4870 TEL 40325335 MOB 04 0417 1090 FAX 40325431 E-MAIL ADMIN@THIRKELL.COM.AU	REV	DESCRIPTION	DATE	CLIENT	PROJECT	Scale	Date	Drawn	Checked
	A	DEVELOPMENT APPROVAL	09.06.17	A. Heweston	Noah Creek Eco-Huts Cape Tribulation Road, Daintree	AS SHOWN @A3	MAY 2017	SL	
				CLIENT APPROVED	DATE	DRAWING TITLE	Project No.	Dwg. No.	Rev
				SIGNATURE		SITE PLAN	17-023-E	S.01	A