

## DA Form 1 – Development application details

Approved form (version 1.0 effective 3 July 2017) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development**, use this form (*DA Form 1*) **and** parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

### PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	N D Verri
Contact name (only applicable for companies)	
Postal address (P.O. Box or street address)	c/- PO Box 927
Suburb	Cairns
State	Qld
Postcode	4870
Country	Australia
Contact number	07 4032 0492
Email address (non-mandatory)	euan@kfbeng.com.au
Mobile number (non-mandatory)	0408 772 105
Fax number (non-mandatory)	07 4032 0092
Applicant's reference number(s) (if applicable)	K-3649

2) Owner's consent
2.1) Is written consent of the owner required for this development application? <input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application <input checked="" type="checkbox"/> No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

Street address **AND** lot on plan (all lots must be listed), **or**

Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		24	Mudlo Street	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		60	PTD20911	Douglas Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

Additional premises are relevant to this development application and their details have been attached in a schedule to this application

Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*

EMR site identification:

<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	<input type="text"/>

**5) Are there any existing easements over the premises?**  
*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

Material change of use       Reconfiguring a lot       Operational work       Building work

b) What is the approval type? *(tick only one box)*

Development permit       Preliminary approval       Preliminary approval that includes a variation approval

c) What is the level of assessment?

Code assessment       Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

3 residential unit development, reconfiguration of 1 lot into 3 lots. Sewerage and water services.

e) Relevant plans  
*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

Material change of use       Reconfiguring a lot       Operational work       Building work

b) What is the approval type? *(tick only one box)*

Development permit       Preliminary approval       Preliminary approval that includes a variation approval

c) What is the level of assessment?

Code assessment       Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Construction of 3 residential unit development.

e) Relevant plans  
*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

Not required

**Section 2 – Further development details**

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input checked="" type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
residential	Multi unit housing	3	11011.72

8.2) Does the proposed use involve the use of existing buildings on the premises?	
<input type="checkbox"/> Yes	
<input checked="" type="checkbox"/> No	

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input checked="" type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created	3			
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input checked="" type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment**  
**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?**

**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work**

*Note: This division is only required to be completed if any part of the development application involves operational work.*

**14.1) What is the nature of the operational work?**

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	X Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	X Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify:	Construction of 3 crossovers	

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

Yes – specify number of new lots:

No

**14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)**

\$24,508

**PART 4 – ASSESSMENT MANAGER DETAILS**

**15) Identify the assessment manager(s) who will be assessing this development application**

Douglaas Shire Council

**16) Has the local government agreed to apply a superseded planning scheme for this development application?**

Yes – a copy of the decision notice is attached to this development application

Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

X No

**PART 5 – REFERRAL DETAILS**

**17) Do any aspects of the proposed development require referral for any referral requirements?**

*Note: A development application will require referral if prescribed by the Planning Regulation 2017.*

X No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **chief executive of the Planning Regulation 2017:**

Clearing native vegetation

Contaminated land (unexploded ordnance)

<input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA have not been devolved to a local government)</i> <input type="checkbox"/> Fisheries – aquaculture <input type="checkbox"/> Fisheries – declared fish habitat area <input type="checkbox"/> Fisheries – marine plants <input type="checkbox"/> Fisheries – waterway barrier works <input type="checkbox"/> Hazardous chemical facilities <input type="checkbox"/> Queensland heritage place <i>(on or near a Queensland heritage place)</i> <input type="checkbox"/> Infrastructure – designated premises <input type="checkbox"/> Infrastructure – state transport infrastructure <input type="checkbox"/> Infrastructure – state transport corridors and future state transport corridors <input type="checkbox"/> Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels <input type="checkbox"/> Infrastructure – state-controlled roads <input type="checkbox"/> Land within Port of Brisbane’s port limits <input type="checkbox"/> SEQ development area <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – community activity <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – indoor recreation <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – residential development <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ Rural living area – urban activity <input type="checkbox"/> Tidal works or works in a coastal management district <input type="checkbox"/> Urban design <input type="checkbox"/> Water-related development – taking or interfering with water <input type="checkbox"/> Water-related development – removing quarry material <i>(from a watercourse or lake)</i> <input type="checkbox"/> Water-related development – referable dams <input type="checkbox"/> Water-related development – construction of new levees or modification of existing levees <i>(category 2 or 3 levees only)</i> <input type="checkbox"/> Wetland protection area
<b>Matters requiring referral to the local government:</b> <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA have been devolved to local government)</i> <input type="checkbox"/> Local heritage places
<b>Matters requiring referral to the chief executive of the distribution entity or transmission entity:</b> <input type="checkbox"/> Electricity infrastructure
<b>Matters requiring referral to:</b> <ul style="list-style-type: none"> <li>• The <b>chief executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Oil and gas infrastructure
<b>Matters requiring referral to the Brisbane City Council:</b> <input type="checkbox"/> Brisbane core port land
<b>Matters requiring referral to the Minister under the Transport Infrastructure Act 1994:</b> <input type="checkbox"/> Brisbane core port land <input type="checkbox"/> Strategic port land
<b>Matters requiring referral to the relevant port operator:</b> <input type="checkbox"/> Brisbane core port land <i>(below high-water mark and within port limits)</i>
<b>Matters requiring referral to the chief executive of the relevant port authority:</b> <input type="checkbox"/> Land within limits of another port
<b>Matters requiring referral to the Gold Coast Waterways Authority:</b> <input type="checkbox"/> Tidal works, or development in a coastal management district in Gold Coast waters
<b>Matters requiring referral to the Queensland Fire and Emergency Service:</b> <input type="checkbox"/> Tidal works, or development in a coastal management district

**18) Has any referral agency provided a referral response for this development application?**

Yes – referral response(s) received and listed below are attached to this development application  
 No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable).

## PART 6 – INFORMATION REQUEST

**19) Information request under Part 3 of the DA Rules**

I agree to receive an information request if determined necessary for this development application  
 I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the DA Forms Guide.

## PART 7 – FURTHER DETAILS

**20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)**

Yes – provide details below or include details in a schedule to this development application  
 No

List of approval/development application references	Reference number	Date	Assessment manager
X Approval X Development application	SEDA CA1594/2016	23 November 2016	Douglas Shire Council
X Approval X Development application	CA 1594_2016(823042)	2 August 2017	Douglas Shire Council

**21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)**

Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application  
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
 Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

**22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?**

Yes – show cause or enforcement notice is attached  
 No

## 23) Further legislative requirements

**Environmentally relevant activities**

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

Yes – the required attachment (form EM941) for an application for an environmental authority accompanies this development application, and details are provided in the table below

No

*Note: Application for an environmental authority can be found by searching “EM941” at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.*

Proposed ERA number:

Proposed ERA threshold:

Proposed ERA name:

Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

**Hazardous chemical facilities**

23.2) Is this development application for a **hazardous chemical facility**?

Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application

No

*Note: See [www.justice.qld.gov.au](http://www.justice.qld.gov.au) for further information.*

**Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

Yes – this development application is accompanied by written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

*Note: See [www.qld.gov.au](http://www.qld.gov.au) for further information.*

**Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

*Note: The environmental offset section of the Queensland Government’s website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.*

**Koala conservation**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes

No

*Note: See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.*

**Water resources**

23.6) Does this development application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, taking overland flow water or waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

*Note: DA templates are available from [www.dilgp.qld.gov.au](http://www.dilgp.qld.gov.au).*

23.7) Does this application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water** under the *Water Act 2000*?

Yes – I acknowledge that a relevant water authorisation under the *Water Act 2000* may be required prior to



commencing development

No

*Note: Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.*

**Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

*Note: See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.*

**Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

*Note: Contact the Department of Natural Resources and Mines at [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au) for further information.*

**Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

*Note: Contact the Department of Environment and Heritage Protection at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.*

**Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the ‘Notice Accepting a Failure Impact Assessment’ from the chief executive administering the *Water Supply Act* is attached to this development application

No

*Note: See guidance materials at [www.dews.qld.gov.au](http://www.dews.qld.gov.au) for further information.*

**Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district?**

Yes – the following is included with this development application:

Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)

A certificate of title

No

*Note: See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for further information.*

**Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government’s **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

*Note: See guidance materials at [www.ehp.qld.gov.au](http://www.ehp.qld.gov.au) for information requirements regarding development of Queensland heritage places.*

Name of the heritage place:		Place ID:	
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**Brothels**

23.14) Does this development application involve a **material change of use for a brothel?**

Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

No

**Decision under section 62 of the *Transport Infrastructure Act 1994***

23.15) Does this development application involve new or changed access to a state-controlled road?

Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

**PART 8 – CHECKLIST AND APPLICANT DECLARATION****24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

 Yes*Note: See the Planning Regulation 2017 for referral requirements*If building work is associated with the proposed development, Parts 4 to 6 of *Form 2 – Building work details* have been completed and attached to this development application Yes Not applicable

Supporting information addressing any applicable assessment benchmarks is with development application

*Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).* Yes

Relevant plans of the development are attached to this development application

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).* YesThe portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (*see 21*) Yes Not applicable**25) Applicant declaration**

X By making this development application, I declare that all information in this development application is true and correct

X Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001**Note: It is unlawful to intentionally provide false or misleading information.***Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**PART 9 – FOR OFFICE USE ONLY**

Date received:  Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment	
<i>Note: For completion by assessment manager if applicable</i>	
Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

The *Planning Act 2016*, the *Planning Regulation 2017* and the *DA Rules* are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.

**N D VERRI****UNIT (3) DEVELOPMENT – LOT 60 on PTD 20911**  
**24 MUDLO STREET, PORT DOUGLAS****APPLICATION FOR OPERATIONAL WORKS PERMIT****DESIGN REPORT****1.0 GENERAL – TOWN PLANNING APPROVALS**

1. Douglas Shire Council Decision Notice SEDA CA1594/2016 (796692)  
22 November 2016  
Approved Reconfiguration of a lot (1) & Material Change of Use for Multi-Unit Housing.
2. Douglas Shire Council Decision Notice CA1594\_2016 (823042) 2 August 2017  
Approved Request for Permissible Change.

**2.0 OPERATIONAL WORKS**

1. Reference KFB Engineers Drawing K-3649 Sheet C01 B  
The above drawing details Operational Work as follows:

**Condition 5. Water Supply & Sewerage Works – External**

- a) 40mm dia HPDE class 12 water main, connected to existing 100mm main in Mudlo Street, detailed on 2.8m alignment (from property boundary) on Beryl Street frontage. Location approved by Council.  
Water reticulation is to be constructed in accordance with FNQROC Std Dwgs No's S2000, S2016, S2020, S2038 and FNQROC Specification S5.
- b) 150mm dia uPVC sewer main (Class SN8 RRJ), connected into sewer manhole in Beryl Street at east end of Lot 60 . Alignment of 6.2m from invert of existing kerbing. Location approved by Council.  
Sewerage reticulation is to be constructed in accordance with FNQROC Std Dwgs No's S3005, S3015 and FNQROC Specification S6.

**Condition 6. Vehicle Parking**

Refer CivilWalker Report (attached) 125-004-001L2, 10 May 2018

- a) Report confirms that
  - garaged car parking for the units complies with AS/NZS 2890.1, and

- visitor car parking is available on the street, and service vehicles will collect waste from wheelie bins placed on the verge.

#### Condition 9. External Work

- a) Crossovers to be in accordance with FNQROC Std Dwg No S1015 and widths of crossovers and driveways to be as detailed on architectural drawings
- b) 600mm garden bed shown on the Beryl Street frontage. Detail of planting(s) as shown on Landscape drawing.
- c) 1.5m wide concrete footpath in accordance with FNQROC Std Dwg No S1035 constructed on a 0.7m alignment on the Beryl Street frontage.

#### Condition 18. – Minimum fill and Floor Levels

- a) The minimum floor level for each unit is nominated as 4.27 AHD and the location of Sewerage House Connection branches also detailed.

#### Condition 23. Boundary Fence Height

Refer CivilWalker Report (attached) 125-004-001L2, 10 May 2018.

As the proposed boundary fence does not meet the standard requirements for pedestrian safety sight lines it is proposed to introduce convex mirrors at each driveway ( refer Note 3. on dwg K-3649 Sheet C01 B) on the boundary line so that appropriate visibility is provided.



.....Euan Bruce RPEQ 0491

2 June 2018

Attach: Appendix 1: Priced Schedule of Operational Works

**APPENDIX 1: Priced Schedule of Operational Works**

1. <u>Water reticulation</u>	\$
1.1 54m x 40 dia HDPE class 12	6480
1.2 connect to existing main	1000
2. <u>Sewer Reticulation</u>	
2.1 42m x 150 dia uPVC class SN8 RRJ	6300
2.2 3 x house connection branches	2400
2.3 Connect to existing manhole	1000
3. <u>Crossovers</u>	
3.1 3 x crossovers	3600
4. <u>Mirrors</u>	
4.1 3 x convex mirrors. Supply and Fix	<u>1500</u>
Sub Total	22280
GST	<u>2228</u>
<b><u>TOTAL</u></b>	<b><u>\$24,508</u></b>

## FNQROC DEVELOPMENT MANUAL

Council Douglas Shire Council

(INSERT COUNCIL NAME)

### STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development 19 Lot Residential Development

Location of Development Lot 60 on PTD2911; 24 Mudlo St., Port Douglas

Applicant N D Verri PO Box 1334, Mossman Qld 4873

Designer KFB Engineers, ABN 28 351 246 509

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

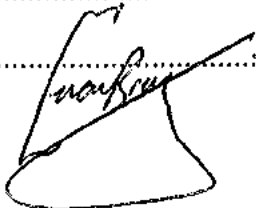
Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	
Geotechnical requirements	
Geometric Road Design	
Pavements	
Structures / Bridges	
Subsurface Drainage	
Stormwater Drainage	
Site Re-grading	
Erosion Control and Stormwater Management	
Pest Plant Management	NA
Cycleway / Pathways	NA

Landscaping	
Water Source and Disinfection/Treatment Infrastructure (if applicable)	NA
Water Reticulation, Pump Stations and water storages	water reticulation only
Sewer Reticulation and Pump Stations	
Electrical Reticulation and Street Lighting	submitted by other consultant
Public Transport	NA
Associated Documentation/ Specification	
Priced Schedule of Quantities	
Referral Agency Conditions	
Supporting Information (AP1.08)	
Other	

Conscientiously believing the above statements to be true and correct, signed on behalf of:

Designer KFB Engineers RPEQ No 0491

Name in Full Euan Fraser BRUCE

Signature  Date 10 May 2018



**N D VERRI**

**MUDLO VILLAS**

**LOT 60 PTD20911, 24 MUDLO ST., PORT DOUGLAS**

**OPERATIONAL WORKS**

## **SPECIFICATION**

**CONSULTING ENGINEERS:**

**KFB ENGINEERS**

**20 SCOTT STREET, CAIRNS**

# **1. WATER RETICULATION**

---

## **1.1 APPLICATION**

1.1.1 The Standard Specification and Drawings for Water Reticulation (S 5) contained in the FNQROC Development Manual shall be read in conjunction with this Section.

1.1.2 The Contractor shall also comply with all relevant Australian Standards and all other Codes, Regulations, Standard Specifications, etc, applicable in the jurisdiction.

1.1.3 If and to the extent that any inconsistency is observed between this Specification generally and the materials specified in this Clause, that inconsistency shall be brought to the attention of the Superintendent who shall make a direction.

## **1.2 LOCAL AUTHORITY INSPECTOR**

1.2.1 The Contractor shall allow the Local Authority's Inspector access to the Works at all times and shall provide him with any facilities he may require for inspecting the work. All necessary instructions will be issued by the Superintendent or his representative.

1.2.2 "As Constructed" record of the water reticulation is to be submitted to the Superintendent.

## **2. SEWERAGE RETICULATION**

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### **2.1 APPLICATION**

2.1.1 The Standard Specification and Drawings for Sewerage (S6) contained in the FNQROC Development Manual shall be read in conjunction with this Section.

2.1.2 The Contractor shall also comply with all relevant Australian Standards and all other Codes, Regulations, Standard Specifications, etc., applicable in this jurisdiction.

2.1.3 If and to the extent that any inconsistency is observed between this Specification generally and the materials specified in this clause, that inconsistency shall be brought to the attention of the Superintendent who shall make a direction.

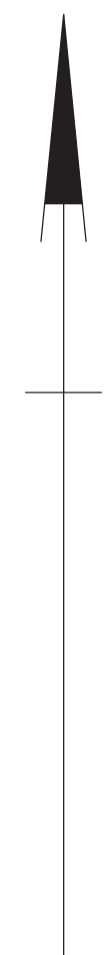
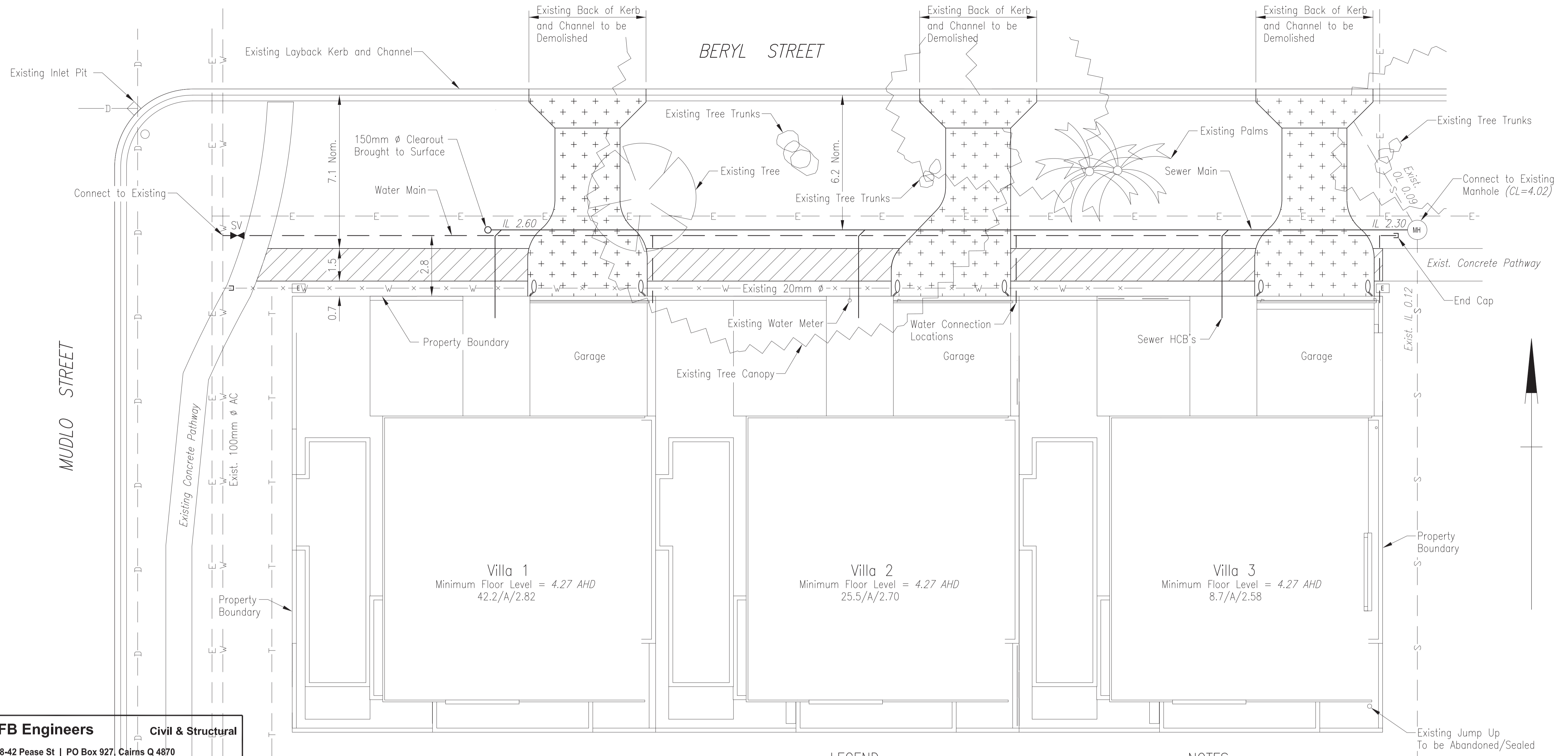
### **2.2 LOCAL AUTHORITY INSPECTOR**

2.2.1 The Contractor shall allow the Local Authority's Inspector access to the orks at all times and shall provide him with any facilities he may require for inspecting the work. All necessary instructions will be issued by the Superintendent or his representative.

### **2.3 CCTV INSPECTION**

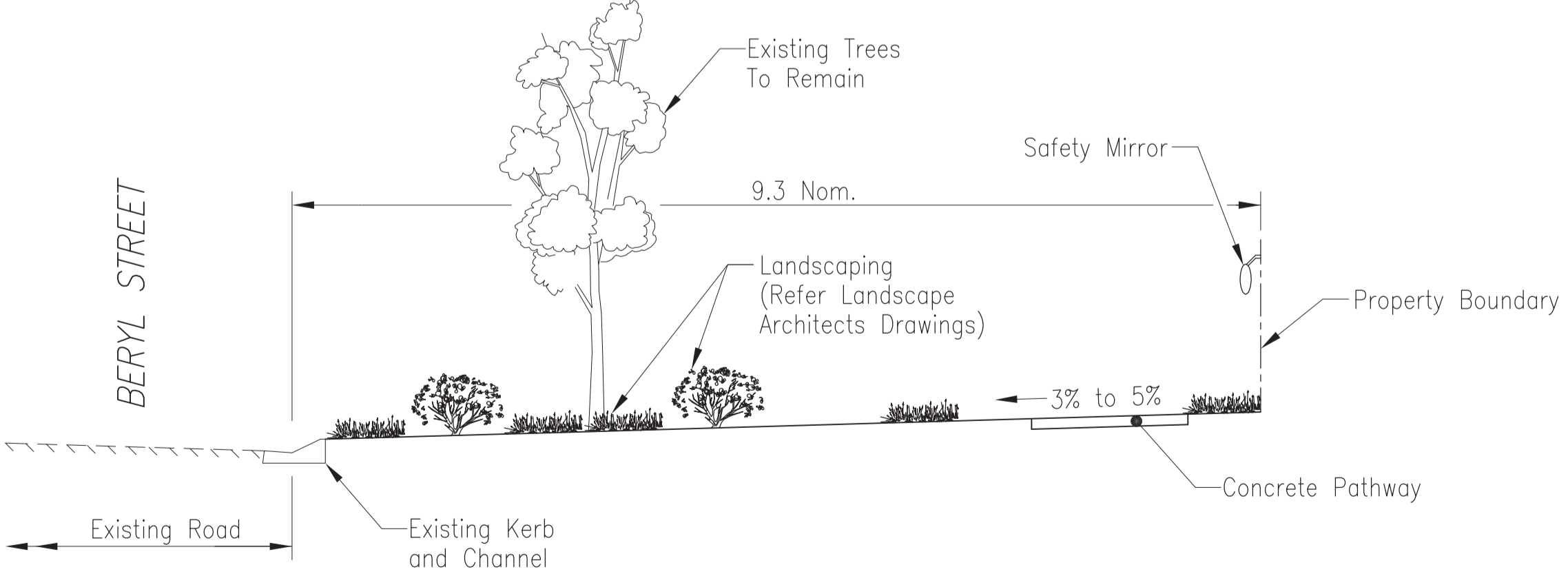
2.3.1 All constructed sewers shall be inspected by CCTV camera in accordance with FNQROC Specification S6.

2.3.2 "As Constructed" record of the sewer construction is to be submitted to the Superintendent.



**KFB Engineers** Civil & Structural  
 1/38-42 Pease St | PO Box 927, Cairns Q 4870  
 P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

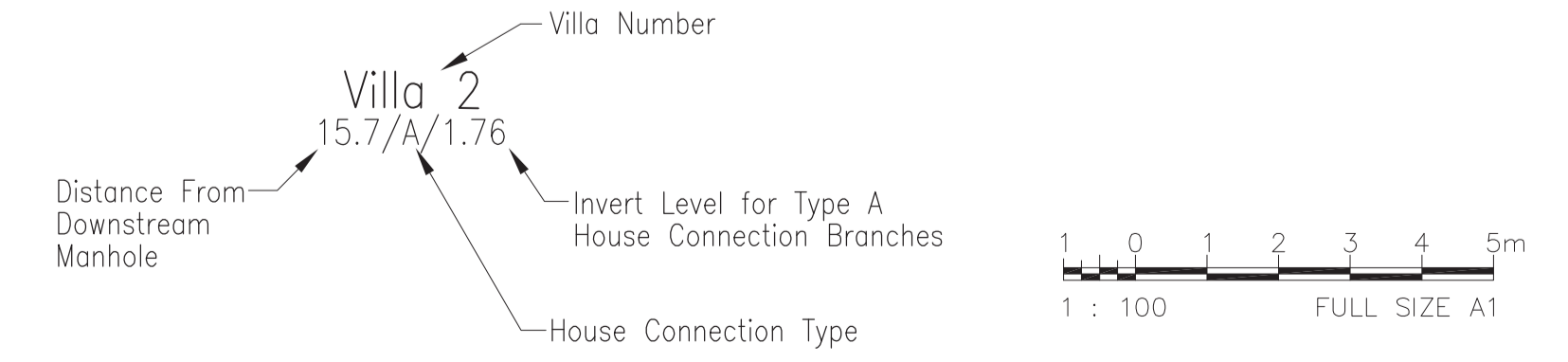
Date: 30/5/18  
 Job No: K-3649 Signed: RPEQ 5711



TYPICAL SECTION ALONG BERYL STREET  
 Not to Scale

- LEGEND**
- Residential Vehicle Crossing (Refer FNQROC Std Drg No. S1015)
  - Concrete Pathway (Refer FNQROC Std Drg No. S1035)
  - Existing Under Ground Electricity Cable
  - Existing Under Ground Telecommunications Cable
  - Existing Under Ground Sewer Main
  - Existing Under Ground Water Main
  - Existing Under Ground Water Main To be Abandoned
  - Existing Under Ground Storm Water Pipe
  - 300mm Diameter Safety Mirror Attached to Property Boundary Wall/Fence
  - 150mm Dia. uPVC Sewer Main (Class SN8 RRJ) and 100mm Dia House Connection Branch
  - 40mm Dia HDPE Water Main Class 12 Solvent Weld Jointed
  - Sluice Valve

- NOTES**
- The Location of Services Shown are Given for Guidance Only. Locations May Not be Accurately Represented and Other Services May Exist on Site. It is the Responsibility of the Contractor to Verify the Position of all Services on Site.
  - Refer Nathan Verri Drawings for Vehicle Crossing Widths.
  - Safety Mirrors to be Installed in Accordance with the Manufacturers Specifications. Mirrors to be Located to Achieve Minimum Sight Lines as Detailed within Figure 3.3 of Australian and New Zealand Standard AS/NZS2890.1: Parking Facilities Part 1 Off-Street Car Parking.
  - Water and Sewer Variations from FNQROC Standards as Agreed with Douglas Shire Council. Additional Variations to be Agreed with Council.
  - Water Reticulation to be Constructed in Accordance with FNQROC Std Drg No's S2000, S2016, S2020, S2038 and FNQROC Specification S5.
  - Sewerage Reticulation to be Constructed in Accordance with FNQROC Std Drg No's S3005, S3015 and FNQROC Specification S6.



B	16/05/18	Water and Sewer Added		
A	04/05/18	For Construction	TWV	KB
No.	DATE	ISSUE / REVISIONS	DRN	CHKD
DRAWING FILE:		XREF FILE:		

**NATHAN VERRI**  
 Mudlo Villas  
 24 Mudlo Street, Port Douglas

**GENERAL ARRANGEMENT**

**KFB ENGINEERS** Civil & Structural  
 ABN 73 618 014 261  
 1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870  
 P: 07 40320492 | F: 07 40320092  
 E: email@kfbeng.com.au

JOB No: **K-3649**  
 SHEET: **C01 | B**  
 SCALE: 1 : 100 (@ A1)