

# IDAS form 1—Application details

(Sustainable Planning Act 2009 version 4.2 effective 3 August 2015)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

## Mandatory requirements

**Applicant details** (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

Mossman Canegrowers Limited

For companies, contact name

C/O RECS Consulting Engineers and Building Design

Postal address

P.O Box 894

Suburb Port Douglas

State QLD

Postcode

4877

Country Australia

Contact phone number

07 4099 6010

Mobile number (non-mandatory requirement)

Fax number (non-mandatory requirement)

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R/N 129776

BRISBANE CITY COUNCIL  
Received  
File No: OPI375/2016  
Docum:   
14 MAR 2016  
Attention: NRB orig ✓  
Information

Email address (non-mandatory requirement)

peter

@ recs.net.au

Applicant's reference number (non-mandatory requirement)

**1. What is the nature of the development proposed and what type of approval is being sought?****Table A**—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

a) What is the nature of the development? (Please only tick one box.)

☐ Material change of use    ☐ Reconfiguring a lot    ☐ Building work    ☒ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA    ☐ Preliminary approval under s241 and s242 of SPA    ☒ Development permit
c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

d) What is the level of assessment? (Please only tick one box.)

☐ Impact assessment    ☒ Code assessment
**Table B**—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

a) What is the nature of development? (Please only tick one box.)

☐ Material change of use    ☐ Reconfiguring a lot    ☐ Building work    ☒ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval under s241 of SPA    ☐ Preliminary approval under s241 and s242 of SPA    ☒ Development permit
c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

d) What is the level of assessment?

☐ Impact assessment    ☒ Code assessment
**Table C**—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)
☐ Refer attached schedule    ☒ Not required

**2. Location of the premises** (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

**Table D**—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water.) (Attach a separate schedule if there is insufficient space in this table.)

- ☒ Street address **and** lot on plan (All lots must be listed.)
- ☐ Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)		2	Mill Street, Mossman	4873	50	RP706250	Douglas Shire
ii)							
iii)							

**Planning scheme details** (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)	Commercial	Mossman and Environs Locality	Landscaping
ii)			Natural & Scenic Amenity
iii)			Design of Advertising Devices
			Vehicle and Parking Access
			Filling & Excavation

**Table E**—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	Douglas Shire

**3. Total area of the premises on which the development is proposed** (indicate square metres)1011m<sup>2</sup>**4. Current use/s of the premises** (e.g. vacant land, house, apartment building, cane farm etc.)

Existing carpark and material storage

**5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non-mandatory requirement)**

☐ No ☐ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

**6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)**

☐ No  
☒ Yes—complete either Table F, Table G or Table H as applicable

**Table F**

Name of owner/s of the land	Mossman Cane Growers Ltd
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	 DIRECTOR E. B. Gladstone COMPANY SECRETARY
Date	7.3.2016

**Table G**

Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

**Table H**

Name of owner/s of the land	
<input type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

**7. Identify if any of the following apply to the premises (Tick applicable box/es.)**

- ☐ Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- ☐ On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- ☐ In a tidal water area—complete Table K
- ☐ On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)
- ☐ Listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* (no table requires completion)

**Table I**

Name of water body, watercourse or aquifer

**Table J**

Lot on plan description for strategic port land	Port authority for the lot

**Table K**

Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

**8. Are there any existing easements on the premises?** (e.g. for vehicular access, electricity, overland flow, water etc)

☒ No ☐ Yes—ensure the type, location and dimension of each easement is included in the plans submitted

**9. Does the proposal include new building work or operational work on the premises?** (Including any services)

☐ No ☒ Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

**10. Is the payment of a portable long service leave levy applicable to this application?** (Refer to notes at the end of this form for more information.)

☒ No—go to question 12 ☐ Yes

**11. Has the portable long service leave levy been paid?** (Refer to notes at the end of this form for more information.)

☒ No  
☐ Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

**Table L**

Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)

**12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the Sustainable Planning Act 2009?**

☒ No  
☐ Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

- 13. List below all of the forms and supporting information that accompany this application** (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application)

Description of attachment or title of attachment	Method of lodgement to assessment manager
IDAS Form 6 Building or Operational Work	By Hand
IDAS Checklist 4 Operational Work	By Hand
IDAS Form 1 Application Details	By Hand

**14. Applicant's declaration**

- ☒ By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

**Notes for completing this form**

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

**Applicant details**

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

**Question 1**

- Schedule 3 of the *Sustainable Planning Regulation 2009* identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

**Question 6**

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

**Question 7**

- If the premises is listed on either the Contaminated Land Register (CLR) or the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* it may be necessary to seek compliance assessment. Schedule 18 of the *Sustainable Planning Regulation 2009* identifies where compliance assessment is required.

**Question 11**

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the *Building and Construction Industry (Portable Long Service Leave) Regulation 2002*.

**Question 12**

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at [www.qleave.qld.gov.au](http://www.qleave.qld.gov.au). For further information contact QLeave on 1800 803 481 or visit [www.qleave.qld.gov.au](http://www.qleave.qld.gov.au).

**Privacy**—The information collected in this form will be used by the Department of Infrastructure, Local Government and Planning (DILGP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**OFFICE USE ONLY**

Date received

Reference numbers

**NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER**

To  Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

**QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)**

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

The *Sustainable Planning Act 2009* is administered by the Department of Infrastructure, Local Government and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

# IDAS form 6—Building or operational work assessable against a planning scheme

(Sustainable Planning Act 2009 version 3.1 effective 3 August 2015)

This form must be used for development applications for building work or operational work assessable against a planning scheme.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form must be used for building work or operational work relating on strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* that requires assessment against the land use plan for that land. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

## Mandatory requirements

1. **What is the nature of the work that requires assessment against a planning scheme?** (Tick all applicable boxes.)

☐ Building work—complete Table A      ☒ Operational work—complete Table B

### Table A

- a) What is the nature of the building work (e.g. building, repairing, altering, underpinning, moving or demolishing a building)?

Construction of a sealed car park and street access

- b) Are there any current approvals associated with this application? (e.g. material change of use.)

☒ No      ☐ Yes— provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

**Table B**

a) What is the nature of the operational work? (Tick all applicable boxes.)

- ☒ Road works      ☒ Stormwater      ☐ Water infrastructure  
☐ Drainage works      ☒ Earthworks      ☐ Sewerage infrastructure  
☒ Landscaping      ☐ Signage      ☐ Clearing vegetation under the planning scheme  
☒ Other—provide details      Street access, on street parking, and carpark sealing as per attached drawings

b) Is the operational work necessary to facilitate the creation of new lots? (E.g. subdivision.)

- ☒ No      ☐ Yes—specify the number of lots being created

c) Are there any current approvals associated with this application? (E.g. material change of use.)

- ☐ No      ☒ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)

**2. What is the dollar value of the proposed building work?**  
(Inc GST, materials and labour.)

**\$0.00**

**3. What is the dollar value of the proposed operational work?**  
(Inc GST, materials and labour.)

**\$145,500.00****Mandatory supporting information**

**4. Confirm that the following mandatory supporting information accompanies this application**

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
<b>All applications involving building work or operational work</b>		
A site plan drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which shows the following: <ul style="list-style-type: none"> <li>the location and site area of the land to which the application relates (<i>relevant land</i>)</li> <li>the north point</li> <li>the boundaries of the relevant land</li> <li>the allotment layout showing existing lots, any proposed lots (including the dimensions of those lots), existing or proposed road reserves, building envelopes and existing or proposed open space (note: numbering is required for all lots)</li> <li>any existing or proposed easements on the relevant land and their function</li> <li>any access limitation strips</li> <li>all existing and proposed roads and access points on the relevant land.</li> </ul>	<input checked="" type="checkbox"/> Confirmed	

A statement about how the proposed development addresses the local government's planning schemes and any other planning documents relevant to the application.	<input checked="" type="checkbox"/> Confirmed	
A statement addressing the relevant part(s) of the State Development Assessment Provisions (SDAP).	<input checked="" type="checkbox"/> Confirmed <input type="checkbox"/> Not applicable	
<b>Applications for building work (including extensions and demolition that is assessable development)</b>		
<p>Floor plans drawn to an appropriate scale (1:50, 1:100 or 1:200 are recommended scales) which show the following:</p> <ul style="list-style-type: none"> <li>the north point</li> <li>the intended use of each area on the floor plan (for commercial, industrial or mixed use developments only)</li> <li>the room layout (for residential development only) with all rooms clearly labelled</li> <li>the existing and the proposed built form (for extensions only)</li> <li>the gross floor area of each proposed floor area.</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Elevations drawn to an appropriate scale (1:100, 1:200 or 1:500 are recommended scales) which show plans of all building elevations and facades, clearly labelled to identify orientation (e.g. north elevation).	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Plans showing the size, location, proposed site cover, proposed maximum number of storeys, and proposed maximum height above natural ground level of the proposed new building work.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
Plans showing the extent of any demolition that is assessable development.	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>Applications for operational work involving earthworks (filling and excavating)</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>existing and proposed contours</li> <li>areas to be cut and filled</li> <li>the location and level of any permanent survey marks or reference stations used as datum for the works</li> <li>the location of any proposed retaining walls on the relevant land and their height</li> <li>the defined flood level (if applicable)</li> <li>the fill level (if applicable).</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>Applications for operational work involving roadworks</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>existing and proposed contours</li> <li>the centreline or construction line showing chainages, bearings, offsets if the construction line is not the centreline of the road and all intersection points</li> <li>information for each curve including tangent point chainages and offsets, curve radii, arc length, tangent length, superelevation (if applicable) and curve widening (if applicable)</li> <li>kerb lines including kerb radii (where not parallel to centreline) and tangent point changes (where not parallel to centreline)</li> <li>edge of pavement where kerb is not constructed</li> <li>position and extent of channelisation</li> <li>location and details of all traffic signs, guideposts, guardrail and other street furniture</li> <li>pavement markings including details on raised pavement markers</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

<ul style="list-style-type: none"> <li>• catchpit, manhole and pipeline locations</li> <li>• drainage details (if applicable)</li> <li>• cross road drainage culverts (if applicable)</li> <li>• concrete footpaths and cycle paths</li> <li>• location and details for access points, ramps and invert crossings</li> <li>• changes in surfacing material.</li> </ul>		
<b>Applications for operational work involving stormwater drainage</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>• existing and proposed contours</li> <li>• drainage locations, diameters and class of pipe, open drains and easements</li> <li>• manhole location, chainage and offset or coordinates and inlet and outlet invert levels</li> <li>• inlet pit locations, chainage and offset or coordinates and invert and kerb levels.</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>Applications for operational work involving water reticulation</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>• kerb lines or edge of pavement where kerb is not constructed</li> <li>• location and levels of other utility services where affected by water reticulation works</li> <li>• pipe diameter, type of pipe and pipe alignment</li> <li>• water main alignments</li> <li>• water supply pump station details (if applicable)</li> <li>• minor reservoir details (if applicable)</li> <li>• conduits</li> <li>• location of valves and fire hydrants</li> <li>• location of house connections (if applicable)</li> <li>• location of bench marks and reference pegs.</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>Applications for operational work involving sewerage reticulation</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>• location of all existing and proposed services</li> <li>• location of all existing and proposed sewer lines and manhole locations</li> <li>• location of all house connection branches</li> <li>• kerb lines or edge of pavement where kerb is not constructed</li> <li>• chainages</li> <li>• design sewer invert levels</li> <li>• design top of manhole levels</li> <li>• type of manhole and manhole cover</li> <li>• pipe diameter, type of pipe and pipe alignment</li> <li>• location of house connections (if applicable)</li> <li>• sewer pump station details (if applicable).</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>Applications for operational work involving street lighting</b>		
<p>Drawings showing:</p> <ul style="list-style-type: none"> <li>• location of all light poles and service conduits</li> <li>• location of all other cross road conduits</li> <li>• type of wattage and lighting</li> <li>• any traffic calming devices</li> <li>• additional plans for roundabouts and major roads (if applicable)</li> <li>• details of any variations to normal alignment</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

<ul style="list-style-type: none"> <li>• details of lighting levels.</li> </ul>		
<b>Applications for operational work involving public utility services</b>		
Drawings showing: <ul style="list-style-type: none"> <li>• any existing light poles and power poles</li> <li>• any existing underground services</li> <li>• details of proposed services</li> <li>• alteration to existing services.</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	
<b>Applications for operational work involving landscaping works</b>		
Drawings showing: <ul style="list-style-type: none"> <li>• the location of proposed plant species</li> <li>• a plant schedule indicating common and botanical names, pot sizes and numbers of plants</li> <li>• planting bed preparation details including topsoil depth, subgrade preparation, mulch type and depth, type of turf, pebble, paving and garden edge</li> <li>• the location and type of any existing trees to be retained</li> <li>• construction details of planter boxes, retaining walls and fences</li> <li>• the proposed maintenance period</li> <li>• irrigation system details.</li> </ul>	<input type="checkbox"/> Confirmed <input checked="" type="checkbox"/> Not applicable	

**Privacy**—Please refer to your assessment manager, referral agency and/or building certifier for further details on the use of information recorded in this form.

#### OFFICE USE ONLY

Date received

Reference numbers

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# Schedule 3 Assessable Development

## Checklist 4—Operational work

(Sustainable Planning Act 2009 version 4.4 effective 6 November 2015)

This checklist only applies when the development application seeks approval for operational work. Before completing this checklist, please complete *Checklist 1—Various aspects of development*.

You may complete this checklist as part of your development application. The checklist will:

- help you identify whether you need to make a development application for the proposed development
- help you identify the relevant Integrated Development Assessment System (IDAS) form you need to complete as part of your application
- assist in identifying the assessment manager or referral agency for development that is assessable development under schedule 3 of the Sustainable Planning Regulation 2009.

If your development involves reconfiguring a lot, building work or material change of use, it is recommended you complete *Checklist 2—Material change of use*, *Checklist 3—Reconfiguring a lot*, or *checklist 5—Building work*, where relevant.

If you are unsure of any answers to questions, phone or visit your local government, or go to the Department of Infrastructure, Local Government and Planning's website at [www.dilgp.qld.gov.au](http://www.dilgp.qld.gov.au).

All terms used in this checklist have the meaning given in the *Sustainable Planning Act 2009* or the Sustainable Planning Regulation 2009.

### Part 1—General questions

#### 1.1 Is the operational work clearing native vegetation on:

- freehold land
- indigenous land
- any of the following under the *Land Act 1994*:
  - land subject to a lease
  - a road
  - trust land, other than indigenous land
  - land subject to a licence or permit?

- |  |                                     |
|--|-------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.2          |
| <input type="checkbox"/> Yes           | • Complete part 2 of this checklist |

#### 1.2 Is any of the proposed operational work associated with reconfiguring a lot and the reconfiguration is also assessable development?

- |  |                                     |
|--|-------------------------------------|
| <input checked="" type="checkbox"/> No | • Continue to question 1.3          |
| <input type="checkbox"/> Yes           | • Complete part 3 of this checklist |

<b>1.3 Does any of the proposed operational work involve taking or interfering with:</b>	
<ul style="list-style-type: none"> <li>• water from a watercourse, lake or spring, or from a dam constructed on a watercourse or lake</li> <li>• artesian water as defined under the <i>Water Act 2000</i>, schedule 4</li> <li>• subartesian water</li> </ul>	
<input checked="" type="checkbox"/> No	• Continue to question 1.4
<input type="checkbox"/> Yes	• Complete part 4 of this checklist
<b>1.4 Is the operational work the construction of a dam, or carried out in relation to a dam, and, because of the works, the dam must be failure impact assessed?</b>	
<input checked="" type="checkbox"/> No	• Continue to question 1.5
<input type="checkbox"/> Yes	• Complete part 5 of this checklist
<b>1.5 Is any of the proposed operational work tidal works?</b>	
<input checked="" type="checkbox"/> No	• Continue to question 1.6
<input type="checkbox"/> Yes	• Complete part 6 of this checklist
<b>1.6 Is any of the operational work proposed to be carried out completely or partly within the coastal management district?</b>	
<input checked="" type="checkbox"/> No	• Continue to question 1.7
<input type="checkbox"/> Yes	• Complete part 7 of this checklist
<b>1.7 Is any of the proposed operational work for constructing or raising waterway barrier works as defined under the <i>Fisheries Act 1994</i>?</b>	
<input checked="" type="checkbox"/> No	• Continue to question 1.8
<input type="checkbox"/> Yes	• Complete part 8 of this checklist
<b>1.8 Is any of the proposed operational work to be carried out completely or partly within a declared fish habitat area as defined under the <i>Fisheries Act 1994</i>?</b>	
<input checked="" type="checkbox"/> No	• Continue to question 1.9
<input type="checkbox"/> Yes	• Complete part 9 of this checklist
<b>1.9 Is any of the proposed operational work removing, destroying or damaging marine plants as defined under the <i>Fisheries Act 1994</i>?</b>	
<input checked="" type="checkbox"/> No	• Continue to question 1.10
<input type="checkbox"/> Yes	• Complete part 10 of this checklist
<b>1.10 Does the proposal involve operational works that are high impact earthworks in the Great Barrier Reef Wetland Protection Area?</b>	
<input checked="" type="checkbox"/> No	• Continue to question 1.11

<input type="checkbox"/>	Yes	• Complete part 11 of this checklist
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**1.11 Does the proposal involve operational works that are the construction or modification of a levee?**

<input checked="" type="checkbox"/>	No	• End of checklist
<input type="checkbox"/>	Yes	• Complete part 12 of this checklist

**Part 2—Clearing native vegetation**
**2.1 Do any of the following apply?**

The clearing is on premises to which structure plan arrangements apply.	<input type="checkbox"/> Yes	<input type="checkbox"/> No
The clearing is clearing, or for another activity or matter, mentioned in schedule 24, part 1 of the Sustainable Planning Regulation 2009.	<input type="checkbox"/> Yes	<input type="checkbox"/> No
The clearing is mentioned in schedule 24, part 2 of the Sustainable Planning Regulation 2009, as clearing for the particular land.	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If you answered **yes** to any of the above, this aspect of your operational work is not assessable development
- If you answered **no** to ALL of the above, continue to question 2.2

**2.2 Is the proposed vegetation clearing for a relevant purpose under the *Vegetation Management Act 1999*, section 22A for one or more of the following?**

A project declared to be a coordinated project under the <i>State Development and Public Works Organisation Act 1971</i> , section 26	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Necessary to control non-native plants or declared pests	<input type="checkbox"/> Yes	<input type="checkbox"/> No
To ensure public safety	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For relevant infrastructure and the clearing cannot reasonably be avoided or minimised	<input type="checkbox"/> Yes	<input type="checkbox"/> No
A natural and ordinary consequence of other assessable development for which a development approval was given under the repealed <i>Integrated Planning Act 1997</i> , or a development application was made under that Act, before 16 May 2003 and is outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i> .	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For fodder harvesting outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i> :	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For thinning	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For clearing of encroachment	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For an extractive industry outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For necessary environmental clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For high value agriculture clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
For irrigated high value agriculture clearing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
The Minister responsible for administering the <i>Vegetation Management Act 1999</i> is satisfied the development applied for is a for special indigenous purpose under the <i>Cape York Peninsula Heritage Act 2007</i> outside an area declared to be a declared area part 2, division 4, subdivision 2 of the <i>Vegetation Management Act 1999</i>	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If you answered **no** to ALL of the above, then the clearing is not for a relevant purpose and this aspect of the development is prohibited development. If this is the only aspect of vegetation clearing then that is the end of part 2 of this checklist, otherwise continue to question 2.3
- If **yes** to any of the above, continue to question 2.3

**2.3 Is the proposed vegetation clearing associated with a material change of use or reconfiguring a lot for which referral is required in relation to clearing vegetation under schedule 7, table 3, item 10 and table 2, item 4 of the Sustainable Planning Regulation 2009?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• The proposed operational work for clearing native vegetation is assessable development and a development permit is required</li> <li>• This application requires assessment by the chief executive of DILGP as assessment manager or concurrence agency against the <i>Queensland vegetation management state code</i> in the State Development Assessment Provisions (SDAP)</li> <li>• You must complete <i>IDAS Form 11—Clearing native vegetation</i></li> <li>• End of part 2 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• This aspect of development is assessable development</li> <li>• The chief executive of DILGP may be a concurrence agency for the application (see schedule 7, table 2, item 4 and table 3, item 10 of the Sustainable Planning Regulation 2009) and will assess the application against the <i>Queensland vegetation management state code</i> in the SDAP</li> <li>• If DILGP is a concurrence agency for the application, you must refer a copy of your application to DILGP</li> <li>• End of part 2 of this checklist</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 1
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 4 and schedule 7, table 3, item 10
- *Vegetation Management Act 1999*, section 22A

**Part 3—Operational work for reconfiguring a lot**

**3.1 Is any part of the operational work for reconfiguring a lot in a priority development area?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• Continue to question 3.2</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• This aspect of the development is not assessable development</li> <li>• End of part 3 of this checklist</li> </ul>

**3.2 Do all of the following apply:**

- **the land is in the area of a local government that, under the *South East Queensland Water (Distribution and Retail Restructuring) Act 2009*, is a participating local government for a distributor–retailer**
- **the participating local government is the assessment manager**
- **the development application is made before 1 March 2014**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• This aspect of the development is assessable development and you will need a development permit</li> <li>• The local government will be the assessment manager for the application</li> <li>• End of part 3 of this checklist</li> </ul>
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<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>This aspect of the development is assessable development and you will need a development permit</li> <li>The local government will be the assessment manager for the application and the distributor–retailer (or SARA) will be a concurrence agency for the application.</li> <li>End of part 3 of this checklist</li> </ul>
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Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 47

#### Part 4—Taking or interfering with water

##### 4.1 Is the proposed operational work to be carried out in a priority development area or on premises to which structure plan arrangements apply?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.2</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>This aspect of development is not assessable development and does not require a development permit</li> <li>End of part 4 of this checklist</li> </ul>

##### 4.2 Does any of the proposed operational work involve taking or interfering with water from a watercourse, lake or spring or from a dam constructed on a watercourse or lake?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>End of part 4 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>Continue to question 4.3</li> </ul>

##### 4.3 Are the proposed works for any of the following purposes?

Taking water from a watercourse, lake or spring in an emergency situation for a public purpose or fighting a fire destroying, or threatening to destroy, a dwelling house	<input type="checkbox"/> Yes <input type="checkbox"/> No
Taking water from a watercourse, lake or spring if: <ul style="list-style-type: none"> <li>the water is taken by the owner of land adjoining the watercourse, lake or spring</li> <li>the water is taken for domestic purposes or stock purposes</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Taking water from a watercourse, lake or spring for camping purposes or for watering travelling stock	<input type="checkbox"/> Yes <input type="checkbox"/> No
Using a water truck to pump water	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 4.4
- If **yes** to any of the above, this aspect of development does not require a development permit.
  - If this is the only aspect of taking or interfering with water proposed then that is the end of part 4 of this checklist
  - If there are other aspects of taking or interfering with water proposed, continue to question 4.4

##### 4.4 Are the proposed works self-assessable development under schedule 3, part 2, table 4, item 1 of the Sustainable Planning Regulation 2009?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Go to question 4.5</li> </ul>
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<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>This aspect of development is self-assessable development and must comply with any relevant self-assessable code</li> <li>If the proposal involves more than one aspect of operational work for taking or interfering with water, and the other aspect is not self-assessable development, then continue to question 4.5</li> </ul>
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#### 4.5 Is the work for taking or interfering with artesian or sub-artesian water?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.6</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by the chief executive of DILGP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP</li> <li>You must complete <i>IDAS form 12—Taking or interfering with artesian or sub-artesian water</i></li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.6</li> </ul>

#### 4.6 Is the work for a water pump?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.7</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by the chief executive of DILGP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP</li> <li>You must complete <i>IDAS form 13—Watercourse pump</i></li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.7</li> </ul>

#### 4.7 Is the work for water storage (other than for a dam requiring failure impact assessment)?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.8</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by the chief executive of DILGP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP</li> <li>You must complete <i>IDAS form 14—Water storage</i></li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.8</li> </ul>

#### 4.8 Is the work for gravity diversion from a watercourse?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.9</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by the chief executive of DILGP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP</li> <li>You must complete <i>IDAS form 15—Gravity diversion from a watercourse</i></li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.9</li> </ul>

#### 4.9 Is the work for a watercourse diversion?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>Continue to question 4.10</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by the chief executive of DILGP as assessment manager or concurrence agency against the <i>Sustainable management of water resources state code</i> in the SDAP</li> <li>You must complete <i>IDAS form 17—Watercourse diversion</i></li> <li>If this is the only aspect of taking or interfering with water proposed, then that is the end of part 4 of this checklist</li> <li>If there are other aspects of taking or interfering with water proposed, then continue to question 4.10</li> </ul>

#### 4.10 Is the work for other work for taking or interfering with water?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>End of part 4 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>A development permit is required and this application will be assessed by the chief executive of DILGP as assessment manager or concurrence against the <i>Sustainable management of water resources state code</i> in the SDAP</li> <li>You must complete <i>IDAS form 21—Other work in a watercourse</i></li> <li>End of part 4 of this checklist</li> </ul>

### Part 5—For particular dams

#### 5.1 Is the proposed operational work for the following?

The construction of a dam more than 10 metres in height and having a storage capacity of more than 1500 megalitres	<input type="checkbox"/> Yes <input type="checkbox"/> No
The construction of a dam more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in relation to an existing non-referable dam that will result in the dam being more than 10 metres in height and having a storage capacity of more than 1500 megalitres	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work to an existing non-referable dam that will result in the dam being more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works that involve the increase of capacity of a non-referable dam by more than 10 per cent if the dam is: <ul style="list-style-type: none"> <li>more than 10 metres in height and having a storage capacity of more than 1500 megalitres, or</li> <li>more than 10 metres in height and having a storage capacity of more than 750 megalitres and a catchment area that is more than three times its maximum surface area at full supply level</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Works carried out in relation to a referable dam if, because of the works, the storage capacity of the dam will increase by more than 10% after the works are carried out.	<input type="checkbox"/> Yes <input type="checkbox"/> No
Constructing a dam for which the chief executive under the <i>Water Supply (Safety and Reliability) Act 2008</i> has given a notice to have the dam failure impact assessed.	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, the proposed operational work is not required to be failure impact assessed and is therefore not assessable development. This is the end of part 5 of this checklist
- If **yes** to any of the above, this application requires assessment by the chief executive of DILGP as assessment manager or concurrence agency against the *Particular dams state code* in the SDAP.
  - You must complete *IDAS form 16—Particular dams*
  - End of part 5 of this checklist

## Part 6—Tidal work

### 6.1 Is the proposed tidal work any of the following:

Excluded work	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work that is self-assessable development under schedule 3, part 2, table 4, item 8 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 6.2.
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required.

### 6.2 Is any of the proposed tidal work prescribed tidal work?

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• This application requires assessment by the chief executive of DILGP as assessment manager or concurrence agency against the <i>Tidal works, or development in the coastal management district state code</i> in the SDAP</li> <li>• You must complete <i>IDAS form 23—Tidal works and development within the coastal management district</i></li> <li>• End of part 6 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• You must complete <i>IDAS form 23—Tidal works and development within the coastal management district</i></li> <li>• This application requires assessment by the local government as assessment manager and the chief executive of DILGP will be a concurrence agency for the application; you must refer a copy of the application to DILGP</li> <li>• End of part 6 of this checklist</li> </ul>

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 5
- Sustainable Planning Regulation 2009, schedule 7, table 2, items 13 to 18

## Part 7—Coastal management

### 7.1 Is the proposed operational work any of the following:

Excluded works	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work that is self-assessable development under schedule 3, part 2, table 4, item 8 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, continue to question 7.2
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required. End of part 7 of this checklist.

## 7.2 Is the proposed operational work for any of the following?

Interfering with quarry material as defined under the <i>Coastal Protection and Management Act 1995</i> on state coastal land above high-water mark	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Disposing of dredge spoil or other solid waste material in tidal water	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Constructing an artificial waterway	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Removing or interfering with coastal dunes on land, other than State coastal land, that is in an erosion prone area as defined in the <i>Coastal Protection and Management Act 1995</i> and above high-water mark	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If you answered **no** to all of the above, a development permit is not required for this aspect of development and that is the end of part 7 of this checklist
- If you answered **yes** to any of the above,
  - This application may require assessment by the chief executive of DILGP as assessment manager or concurrence agency against the *Tidal works, or development in the coastal management district state code* in the SDAP
  - You must complete *IDAS form 23—Tidal works and development within the coastal management district*
  - End of part 7 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 5
- Sustainable Planning Regulation 2009, schedule 7, table 2, items 13 to 18

## Part 8—Waterway barrier works

### 8.1 Is the proposed operational work any of the following:

Work that is self-assessable development under schedule 3, part 2 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Work carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If **no** to all of the above,
  - A development permit is required for this aspect of development. This application requires assessment by the chief executive of DILGP as assessment manager or concurrence agency against the *Constructing or raising waterway barrier works in fish habitats state code* in the SDAP
  - You must complete *IDAS form 27—Waterway barrier works*
  - End of part 8 of this checklist
- If **yes** to any of the above, this aspect of development is not assessable development and a development permit is not required. End of part 8 of this checklist.

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 6
- Sustainable Planning Regulation 2009, schedule 3, part 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 29

## Part 9—Declared fish habitat area

**9.1 Is the operational work reasonably necessary for any of the following?**

The maintenance of existing structures, including for example the following structures, if the structures were constructed in compliance with all the requirements under any Act relating to a structure of that type: <ul style="list-style-type: none"> <li>boat ramps, boardwalks, drains, fences, jetties, roads, safety signs, swimming enclosures and weirs</li> <li>powerlines or associated powerline infrastructure.</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Educational or research purposes relating to the declared fish habitat area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Monitoring the impact of development on the declared fish habitat area	<input type="checkbox"/> Yes <input type="checkbox"/> No
The construction or placement of structures, including for example, safety signs, swimming enclosures and aids to navigation, if: <ul style="list-style-type: none"> <li>the impact on the area is minor</li> <li>the structures are constructed in compliance with all the requirements, under any Act relating to a structure of that type.</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Public benefit works, including, for example, the construction of runnels for mosquito control, the removal of Lyngbya and seed collection for site rehabilitation, if the impact on the area is minor	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **yes** to any of the above, a permit is not required for this aspect of development but the proposed work must comply with any applicable self-assessable codes. End of part 9 of this checklist.
- If **no** to all of the above:
  - A development permit is required and this application requires assessment by the chief executive of DILGP as assessment manager or concurrence agency, against the *Development in or adjacent to a declared fish habitat area state code* in the SDAP
  - You must complete *IDAS form 27—Waterway barrier works*
  - End of part 9 of this checklist

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 7
- Sustainable Planning Regulation 2009, schedule 3, part 2, table 4, item 3
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 26

**Part 10—Removal, destruction or damage of a marine plant****10.1 Is the proposed operational work any of the following?**

For reconfiguring a lot that is assessable development under table 3, item 1, if there is a development permit in effect for the reconfiguration	<input type="checkbox"/> Yes <input type="checkbox"/> No
For a material change of use that is assessable development, if there is a development permit in effect for the change of use	<input type="checkbox"/> Yes <input type="checkbox"/> No
Self-assessable development under schedule 3, part 2 of the Sustainable Planning Regulation 2009	<input type="checkbox"/> Yes <input type="checkbox"/> No
Carried out in a priority development area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Carried out on premises to which structure plan arrangements apply	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **yes** to any of the above, this aspect of development is not assessable development and no development permit is required. End of part 10 of this checklist.
- If **no** to all of the above, continue to question 10.2

**10.2 Is the proposed operational work any of the following?**

Specified works in the area	<input type="checkbox"/> Yes <input type="checkbox"/> No
Operational work that is a necessary and unavoidable part of installing or maintaining works or infrastructure required to support other development for which a development permit or compliance permit is not required or, if a development application or a request for compliance assessment is required, the permit is held or has been applied for.	<input type="checkbox"/> Yes <input type="checkbox"/> No

- If **no** to all of the above, this aspect of development is prohibited development and a development application cannot be made. End of part 10 of this checklist.
- If **yes** to any of the above:
  - A development permit is required and this application requires assessment by the chief executive of DILGP as assessment manager or concurrence agency against the Removal, destruction or damage of marine plants state code in the SDAP
  - You must complete IDAS form 26—Marine plants and declared fish habitat areas
  - End of part 10 of this checklist.

Section reference:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 8
- Sustainable Planning Regulation 2009, schedule 3, part 2
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 30

**Part 11—Great Barrier Reef Wetland Protection Areas****11.1 Is the proposed operational work for a domestic housing activity only?**

<input type="checkbox"/> No	• Continue to question 11.2
<input type="checkbox"/> Yes	• A development permit is not required for this aspect of development and this is the end of the checklist

**11.2 Is the proposed operational work the natural and ordinary consequence of a material change of use or reconfiguring a lot for which the state was a concurrence agency under schedule 7, table 3, item 21A or table 2, item 43A of the Sustainable Planning Regulation 2009?**

<input type="checkbox"/> No	• Continue to question 11.3
<input type="checkbox"/> Yes	• A development permit is not required for this aspect of development and this is the end of the checklist

**11.3 Is the proposed operational work associated with government supported transport infrastructure or electricity infrastructure?**

<input type="checkbox"/> No	<ul style="list-style-type: none"> <li>• A development permit is required and this application requires assessment by the chief executive of DILGP as assessment manager or concurrence agency against the <i>Wetland protection area state code</i> in the SDAP.</li> <li>• You must complete IDAS form 33—Great Barrier Reef Wetland protection area</li> <li>• End of part 11 of this checklist</li> </ul>
<input type="checkbox"/> Yes	<ul style="list-style-type: none"> <li>• A permit is not required for this aspect of development but the proposed work must comply with any applicable self assessable code</li> <li>• End of part 11 of this checklist</li> </ul>

**Part 12—Construction or modification of a levee**

**12.1 Will the proposed operational work result in any of the following off-property impacts:**

A change to the flow path of overland flow water where it enters or exits the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in the velocity of flood flow beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in flooded area beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in flood height beyond the boundaries of the property	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If **no** to all of the above this development is categorised as a Category 1 levee and must comply with any applicable self-assessable code – end of this checklist
- If **yes** to any of the above continue to question 12.2

**12.2 Will the proposed operational work result in any of the following impacts:**

An increase in flood height above the floorboards in an occupied building that results in 3 or more people being affected	<input type="checkbox"/> Yes	<input type="checkbox"/> No
An increase in flood velocity above the floorboards in an occupied building that results in 3 or more people being affected	<input type="checkbox"/> Yes	<input type="checkbox"/> No

- If **no** to all of the above:
  - This is categorised as a Category 2 levee and is subject to code assessment
  - A development permit is required and this application requires assessment by the local government as assessment manager against the applicable code for the construction or modification of a levee
  - You must complete *IDAS form 20—Construction or modification of a levee*.
  - End of this checklist.
- If **yes** to any of the above:
  - This is categorised as a Category 3 levee and is subject to impact assessment
  - A development permit is required and this application requires assessment by the local government as assessment manager against the applicable code for the construction or modification of a levee
  - This application will require assessment by the chief executive of DILGP as concurrence agency against the *Particular levees state code* in the SDAP
  - You must complete *IDAS form 20—Construction or modification of a levee*.
  - End of this checklist.

## Section references:

- Sustainable Planning Regulation 2009, schedule 3, part 1, table 4, item 11
- Sustainable Planning Regulation 2009, schedule 7, table 2, item 48.

**Privacy—please refer to your assessment manager for further details on the use of information recorded in this form**

**Disclaimer:**

While the Department of Infrastructure, Local Government and Planning (DILGP) believes that the information contained on this checklist and provided as part of this process will be of assistance to you, it is provided on the basis that you will not rely on the information. It is your responsibility to make your own enquiries regarding the interpretation and application of the applicable legislation to your circumstances.

To the full extent permitted by law, DILGP expressly disclaims all liability (including but not limited to liability for negligence) for errors or omissions of any kind or for any loss (including direct and indirect losses), damage or other consequence which may arise from your reliance on this process and the information contained on this checklist.

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**OFFICE USE ONLY**

Date received

Reference numbers

*The Sustainable Planning Act 2009* is administered by DILGP. This checklist and all other required application materials should be sent to your assessment manager and any referral agency.

Evelyn Matthews

**From:** Peter Dutailis <peter@recs.net.au>  
**Sent:** Friday, 11 March 2016 3:13 PM  
**To:** Evelyn Matthews  
**Cc:** Owen Dalton - RPS  
**Subject:** FW: Mossman Hardware OWP

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Evelyn  
FYI – pls see below  
Regards  
Peter Dutailis

40.2016.1375.1  
R/N129776

**From:** Neil Beck [mailto:Neil.Beck@douglas.qld.gov.au]  
**Sent:** Friday, 11 March 2016 10:18 AM  
**To:** 'Peter Dutailis'  
**Subject:** RE: Mossman Hardware OWP

Hi Peter,

The applicable fee is \$714.

The DA for the extension to the hardware is currently on foot at the moment, so I would suggest that decision on any associated op works application would follow the decision on the DA.

Cheers

Neil

**From:** Peter Dutailis [mailto:peter@recs.net.au]  
**Sent:** Tuesday, 8 March 2016 8:54 AM  
**To:** Neil Beck  
**Subject:** Mossman Hardware OWP

Neil

Just a reminder re the OWP fees



Owen Dalton was going to give you a ring and explain discussions he had with Jenny E re this matter

Any problems pls call

Regards

Peter Dutailis  
Director

**RECS CONSULTING ENGINEERS & BUILDING DESIGN**  
RPEQ NPER MIEAust CPEng MELANZ

QBCC - Building Design – Builder



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please consider the environment

Shop 22, Level 2 Saltwater Building  
26-30 Macrossan Street  
Port Douglas QLD 4877  
P O Box 894  
Port Douglas QLD 4877  
Australia  
p +61 7 4099 6010  
f +61 7 4099 6020  
m +61 408 866090  
[www.recs.net.au](http://www.recs.net.au)

# **MOSSMAN CANEGROWERS**

## **MOSSMAN HARDWARE CAR PARK**



# **Operational Works Permit Engineering Report**

**March, 2016**

*Prepared by*

Consulting Engineers  
& Building Design  
P O Box 894  
Port Douglas QLD 4877  
0740 996010  
0740 996020  
admin@recs.net.au



*Prepared for*

Mossman Canegrowers Ltd  
P.O. Box 789  
MOSSMAN QLD 4873  
P: (07) 40982377  
F (07) 40983567



**CANEGROWERS**

**MOSSMAN**

## Statement of Limitation

The sole purpose of this report and the associated services performed by RECS Consulting Engineers & Building Designers (RECS Pty Ltd) is to assess the preliminary engineering implications in the proposed development to construct a street entry and hard stand delivery and storage area, surface stormwater drainage and associated street works on existing lands approved for development under Douglas Shire Council's planning scheme, in accordance with the scope of services set out in the agreement between RECS Pty Ltd and its 'Client' ( Mossman Canegrowers Ltd ). The scope of services was defined by the requests of the Client, his agents, by the time and budgetary constraints imposed by the Client, and by the availability of access to the site.

RECS Pty Ltd derived the data in this report from a desktop review of existing and historical data and survey information provided by others & the Client. As far as can be realistically determined, this information was deemed reasonable for development application purposes on the condition that detailed investigation and design would determine detailed solutions to particular site matters. This report is consistent with available information to RECS Pty Ltd and was not subject to detailed, future nor historical analysis.

In preparing this report, RECS Pty Ltd has relied upon and presumed accurate certain information (or absence thereof) information provided by others. Except as otherwise stated in the report, RECS Pty Ltd has not attempted to verify the accuracy or completeness of any such information for the purposes of a development application and prior to detailed design.

The findings, observations and conclusions expressed by RECS Pty Ltd in this report are not, and should not be considered, an opinion concerning the geotechnical considerations. No warranty or guarantee, whether express or implied, is made with respect to the data reported or to the findings, observations and conclusions expressed in this report.

This report has been prepared on behalf of and for the exclusive use of the Client, and is subject to and issued in connection with the provisions of the agreement between RECS Pty Ltd and the Client. RECS Pty Ltd accepts no liability or responsibility whatsoever for, or in respect of, any use of, or reliance upon, this report by any third party.





PTY LTD

**CONSULTING ENGINEERS  
& BUILDING DESIGN**

**DOCUMENT ISSUE RECORD**

Revision Code	Date Revised	Revision Details	Author	Checked	Approved
A	06/03/16	For Council Approval	WMB	PGD	PGD

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## EXECUTIVE SUMMARY

This is the engineering assessment report to support the application for an operational works permit for the construction of a sealed storage and delivery area which is proposed on lands identified within the Douglas Shire Council's Planning Scheme as Mossman & Environs Commercial Zone at cnr of Mill and Mossman Streets and Junction Road ('The Site')

The site is currently cleared and in use as a commercial car park and construction materials storage area. The Site is currently under commercial arrangement with Cairns Hardware. The site contains no existing permanent structures.

The intent of the application by the Property Owners (Mossman Cane Growers Ltd) is to seal the car park which will achieve the following project benefits:

- Improved site drainage; and
- Improved environmental outcomes i.e. water, noise and dust; and
- Improved traffic control within and surrounding the Site; and
- Improved stormwater drainage; and
- Improved workplace health & safety conditions for staff, visitors and clients; and
- Assist in economic development in Douglas Shire

From preliminary investigations the Site contains no significant constraints which would prevent the development from successful delivery.

Final design shall be in accordance with FNQROC development manual requirements.

The proposal provides for the provision of sufficient public open space in accordance with Council's planning scheme policy for park contributions.

Street works shall be constructed in accordance with FNQROC development manual requirements.

Stormwater design will provide for the major and minor drainage network in accordance with Queensland Urban Drainage Manual.

There will be no requirements for additional connections to Council services.

A preliminary discussion with other public utility providers indicates no impediment for the supply of services.

The proposal shall be designed and constructed with appropriate environmental management implemented and effectively monitored at all stages of project development.

It is our view that the development should be permitted subject to reasonable and relevant conditions.



SITE PLAN

## 1. GENERAL

### 1.1 PLANNING OVERVIEW

RECS Pty Ltd (RECS) have been engaged by Mossman Cane Growers Ltd to provide a Preliminary Engineering Assessment Report to accompany a development application associated with an Operational Works Permit application to Douglas Shire Council for the proposed construction of a sealed car park area and associated street access works to Lots 49 & 50 RP706250, situated at Mossman & Mills Sts and Junction Road, Mossman, Queensland.

The proposed sealing works is proposed to formalise and improve site access and commercial conditions associated with the undertaking of the commercial business from the Site.

The works are permitted subject to development approval by the local government determining authority – Douglas Shire Council. The proposed development is Code assessable under the Mossman and Environs Locality – Table 1.

It is understood that the following Planning Scheme Codes apply to the development

CODE	RESPONSE
Landscaping	The proponent will incorporate native landscaping as part of the proposal
Natural & Scenic Amenity	The new car park will not change from the existing amenity of the Site
Design of Advertising Devices	No signs are proposed other than directional traffic signs.

Vehicle Parking and Access	The Site currently enjoys adequate street parking along surrounding Mill and Mossman Sts and Junction Road. Site parking will be available for short term vehicle deliveries and pickups. Two additional spaces will be available adjacent to the Junction Road access.
Filling & Excavation	The proposal will undertake limited filling and excavation within the Site associated only with levelling and stormwater drainage.

This report examines preliminary options for:

- earthworks
- roadworks
- stormwater
- sewer reticulation
- water reticulation
- electricity
- communications
- Road access

Preliminary geotechnical investigations conducted on the site have been reviewed and no testing of materials or finalisation of treatments has been undertaken. It is envisaged that these further investigations will be undertaken during detailed design.

## 1.2 SCOPE

In accordance with our brief, this report addresses the following engineering matters:

- Preliminary site plan; and
- Preliminary Engineering Assessment Report for the proposed development including provision of services; and
- Review of existing documentation including engineering and geotechnical reports.



Figure 1 – Preliminary Development Layout



**PORTMAN LAGOON**

**MOSSMAN STREET**

**FOXTON AVENUE**

**JUNCTION ROAD**

**PORTMAN LAGOON**

**50**  
PORTMAN LAGOON

**51**  
PORTMAN LAGOON

**LEGEND**

- 1. BUILDING
- 2. WALL
- 3. FENCE
- 4. GATE
- 5. ROAD
- 6. RAILWAY
- 7. BRIDGE
- 8. TUNNEL
- 9. TOWER
- 10. LAMP
- 11. SIGN
- 12. MONUMENT
- 13. OBELISK
- 14. CROSS
- 15. ALTAR
- 16. CHURCH
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## **2. GEOTECHNICAL INVESTIGATIONS**

### **2.1 SCOPE**

From our knowledge of developments in the surrounding area there are no known geotechnical constraints affecting the site. However, during preliminary and detailed design stages assumptions may require geotechnical verification.

It is known that the groundwater table seasonally fluctuates and it is likely that groundwater may be encountered in deep excavations.

Based on the results of the investigation and previous experience with similar developments in the Mossman area it is considered that the proposed development is feasible from a geotechnical point of view subject to appropriate investigations and advice during detailed design.

### **2.2 STABILITY ANALYSIS**

No stability analysis has been undertaken on the site. Preliminary investigations indicate there are no apparent areas of instability on the site. There is no known deep excavation or embankments proposed for the development.

## **3. EARTHWORKS**

### **3.1 EXTENT OF EARTHWORKS**

Limited earthworks will be required to be undertaken for the construction of the following activities:

- Road works for local accesses and drives from Junction Road
- Car park levelling
- Stormwater drainage
- Landscaping – confined to garden beds
- Soil erosion and sediment control

Generally it is envisaged that earthworks would be carried out by small excavator and truck operations, spread, trimmed and standard compaction equipment. Minor earthworks would be conducted with backhoe and bobcat operations.

From the geotechnical investigations to date, excavation is possible with conventional digging equipment.

### **3.2 EARTHWORKS MATERIALS**

Preliminary geotechnical investigations and engineering observations indicate that the earth materials required for building and roadwork to be readily available.

Materials required for retaining walls and rock walls for embankments and landscaping if required, would be sourced from local licensed quarries. No quarrying operations would be undertaken on site.

Topsoil from the site would utilise existing surface soils. Any excess materials would be incorporated in landscape mounds or spoilt against embankments to stabilise batters if required.

#### **4. ROADS**

##### **4.1 SITE ACCESS JUNCTION ROAD**

Proposed car park access from Junction Road is detailed on the attached drawings. Egress from the Site is proposed via Mossman Street.

Road design shall be undertaken in accordance with the following standards, as applicable:

- AUSTROADS Guidelines, in particular A Guide to Traffic Engineering Practice Part 5: Intersections at Grade; and
- current Department of Transport & Main Roads standards including the Road Planning and Design Manual; and
- design drawings shall be prepared by a suitably qualified Registered Professional Engineer Queensland (RPEQ) for approval; and
- to the satisfaction of the CEO Douglas Shire Council.

##### **4.2 OTHER PATHWAYS AND WALKWAYS**

No proposed change to existing facilities.

##### **4.5 CAR PARKING**

As previously described, the Site currently enjoys adequate street parking along surrounding Mill and Mossman Sts. and Junction Road. Site parking will be available for short term vehicle deliveries and pickups.

Two additional spaces will be available adjacent to the Junction Road access.

##### **4.6 TURNING AREAS**

Adequate widening for turning of delivery and trade vehicles is available and shall be detailed during the detailed design phase.

##### **4.7 GARBAGE COLLECTION AREAS**

Standard garbage collection services will continue to service the Site. No changes are proposed to existing service provisions.

#### **5. STORMWATER DRAINAGE**

##### **5.1 DESIGN CRITERIA**

The stormwater shall be designed to comply with the Queensland Urban Drainage Manual.

Surface flow will be controlled over hard stand areas and collected for discharge to existing legal points in the existing stormwater system adjacent to the Site.



There is no proposal to alter roadways, common property, allotments or the natural characteristics of the existing surrounding lands.

Consideration during the detailed design will be given to the use of the following structures:

- High and low flow periods
- Secondary drainage paths
- Maintenance of landscaped areas
- Maintenance of water quality

## **6. SEWERAGE RETICULATION**

### **6.1 RETICULATION**

No new connections proposed.

## **7. WATER RETICULATION**

### **7.1 RETICULATION**

No new connections proposed.

## **8. COMMUNICATION SERVICES**

No changes to existing communication services are proposed for this development.

## **9. ENVIRONMENTAL CONSIDERATIONS**

### **9.1 ENVIRONMENTAL ISSUES**

The following environmental issues will require consideration during the design and construction stages of the project:

- Water quality
- Soil erosion and sediment control
- Noise Management
- Traffic Management
- Site establishment
- Construction activities
- Waste minimisation and disposal
- Air quality
- Vegetation management
- Bank Stability
- Protection of Coastal Environments

## **9.2 PRINCIPLES OF CONCEPT SOIL EROSION AND SEDIMENT CONTROL**

1. Control the over land flow of stormwater in and around the site to consider the effect of the volume and velocity of stormwater on the site during and post construction.
2. Divert clean stormwater run-off from upstream and around the site and discharge the water in a controlled manner to natural drainage lines.
3. Establish a stormwater system to capture sediment laden water during construction to be treated prior to discharge to natural drainage lines in a controlled manner.
4. Sequence a staged construction to control stormwater during and post construction with temporary and permanent structures.
5. Apply a progressive landscaping program concurrent with construction works to stabilise the site.
6. Location of the lowest point of stormwater discharge
7. Erecting various soil erosion protective treatments within the site prior to or concurrent with construction activities.
8. Minimise the areas of disturbance.
9. Retain and enhance effective vegetation buffer strips around natural drainage lines.
10. Regular maintenance of constructed works for the control of stormwater, soil erosion and sediment control and slope stability.
11. Regular monitoring and reporting of the site for unusual surface movements and changing subsurface conditions.

These mitigation measures shall be enhanced during the detailed design and documentation.

## **10.3 ADOPTION OF ENVIRONMENTAL AMELIORATIVE MEASURES**

The following ameliorative measures will be incorporated into the detailed design. The list is not exhaustive and subject to further site investigation during detailed design.

1. Incorporation of environmental design principles within detailed engineering design where appropriate.
2. Obtained licences and permits for prescribed activities.
3. Identification of areas of environmental significance for avoidance
4. Restrict development activities to areas previously disturbed where practicable
5. Minimise impact of construction activities on air quality
6. Implement soil erosion and sediment control plan before, during and after construction.
7. Restrict access to the site to designated routes
8. Undertake the works in a staged and controlled manner.
9. Minimise the impact of the development on surrounding properties
10. Control stormwater drainage discharge to natural watercourses
11. Minimise impact on existing water quality
12. Minimise the generation of waste from the development
13. Provided waste collection sites for materials to be collected and disposed of at licensed transfer stations.
14. Promote reduce, reuse and recycle philosophy
15. Purchase construction materials from licensed commercial supplies
16. Utilise machinery with proper exhaust emission treatment devices
17. Promote environmental awareness of construction workers and landowners by site induction and site descriptions.
18. Incorporate environmental design philosophies within and environmental management plan for construction

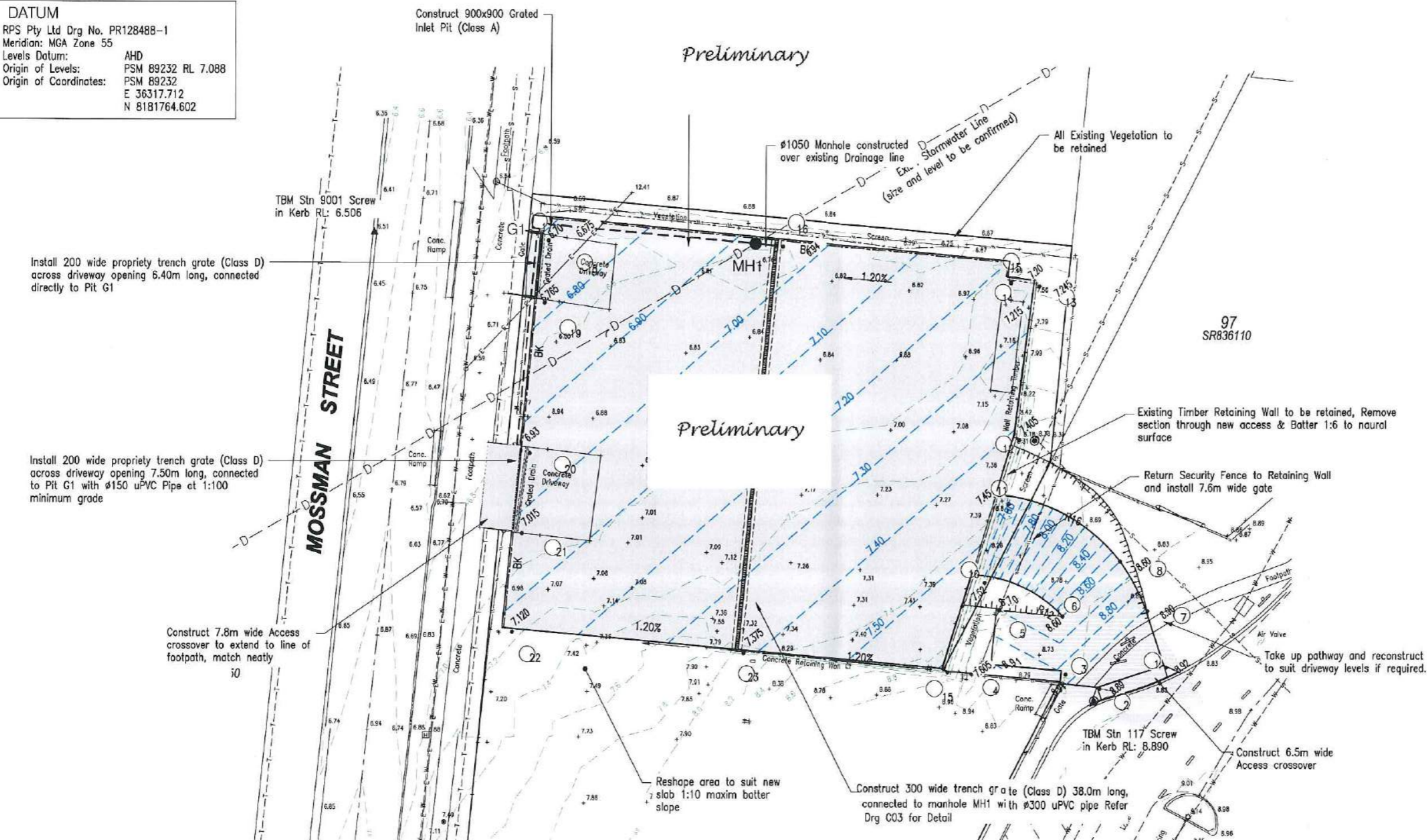


CONSULTING ENGINEERS &  
BUILDING DESIGN

# **APPENDIX A**

*PRELIMINARY ENGINEERING DRAWINGS*

RPS Pty Ltd Drg No. PR128488-1  
Meridian: MGA Zone 55  
Levels Datum: AHD  
Origin of Levels: PSM 89232 RL 7.088  
Origin of Coordinates: PSM 89232  
E 36317.712  
N 8181764.602



	Existing Surface Contour (0.20m Interval)
	Finished Surface Level
	Finished Surface Contour (0.10m Interval)
	Existing Surface Level
	Setout Point
	150 High Barrier Kerb
	Drainage Line
	Trench Grate
	Concrete Paving, Refer Drg C02

1. All earthworks shall be carried out in accordance with AS3798 and accepted building practices.
2. Frequency of field density testing shall be Type 1 in accordance with AS3798.
3. Geotechnical testing shall be undertaken by a NATA registered testing authority to a Level 2 standard in accordance with AS3798.
4. Prior to commencing any earthworks operations the contractor shall prepare and implement an erosion and sediment control plan for the site.
5. All pipe grades shown are minimum grades.
6. All pipes ø225 or less to be uPVC, all pipes greater than ø225 to be RCP, FRC or HDPE.
7. Bedding and backfilling of pipes to be Type H1 in accordance the manufactures recommendations.
8. Proprietary trench grates are to be installed in accordance with manufacturers recommendations.
9. Stormwater Manhole to be constructed in accordance with FNQROC Std Detail S1065.
10. Access crossovers to be industrial crossing constructed in accordance with FNQROC Std Drg S1015.
11. Set points are located at face of kerb or edge of slab if there is no kerb.

POINT	EASTING	NORTHING
1	326435.696	8179667.389
2	326429.511	8179665.391
3	326426.349	8179666.73
4	326419.860	8179667.351
5	326420.351	8179672.528
6	326426.220	8179671.971
7	326433.966	8179672.650
8	326431.561	8179677.077
10	326418.030	8179675.850
11	326420.270	8179683.282
12	326421.878	8179686.625
13	326423.675	8179702.883
14	326421.094	8179703.196
15	326421.261	8179704.523
16	326399.766	8179706.569
17	326377.383	8179708.700
18	326377.931	8179707.130
19	326377.584	8179701.348
20	326376.253	8179687.350
21	326375.545	8179679.883
22	326374.673	8179670.700
23	326396.283	8179668.712

A	Original Issue	2/2/2016
ISSUE	AMENDMENT	DATE

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CONSENT OF THE DESIGNER. CONSTRUCTION CONTRACTORS ARE  
RESPONSIBLE FOR ARRANGING ANY NECESSARY INSPECTIONS OF THE  
WORKS AND OBTAINING ANY NECESSARY COMPLIANCE  
CERTIFICATION DOCUMENTATION.



**RECS Pty Ltd**  
ABN 95 081 197 006

■ Port Douglas  
 PO Box 894 4877 QLD  
 Phone (07) 40996010  
 Fax (07) 40996020  
 E-mail [admin@recs.net.au](mailto:admin@recs.net.au)  
[www.recn.net.au](http://www.recn.net.au)  
 RPEQ 5412

## PROJECT MOSSMAN HARDWARE

FOR  
MOSSMAN CANE GROWERS LIMITED

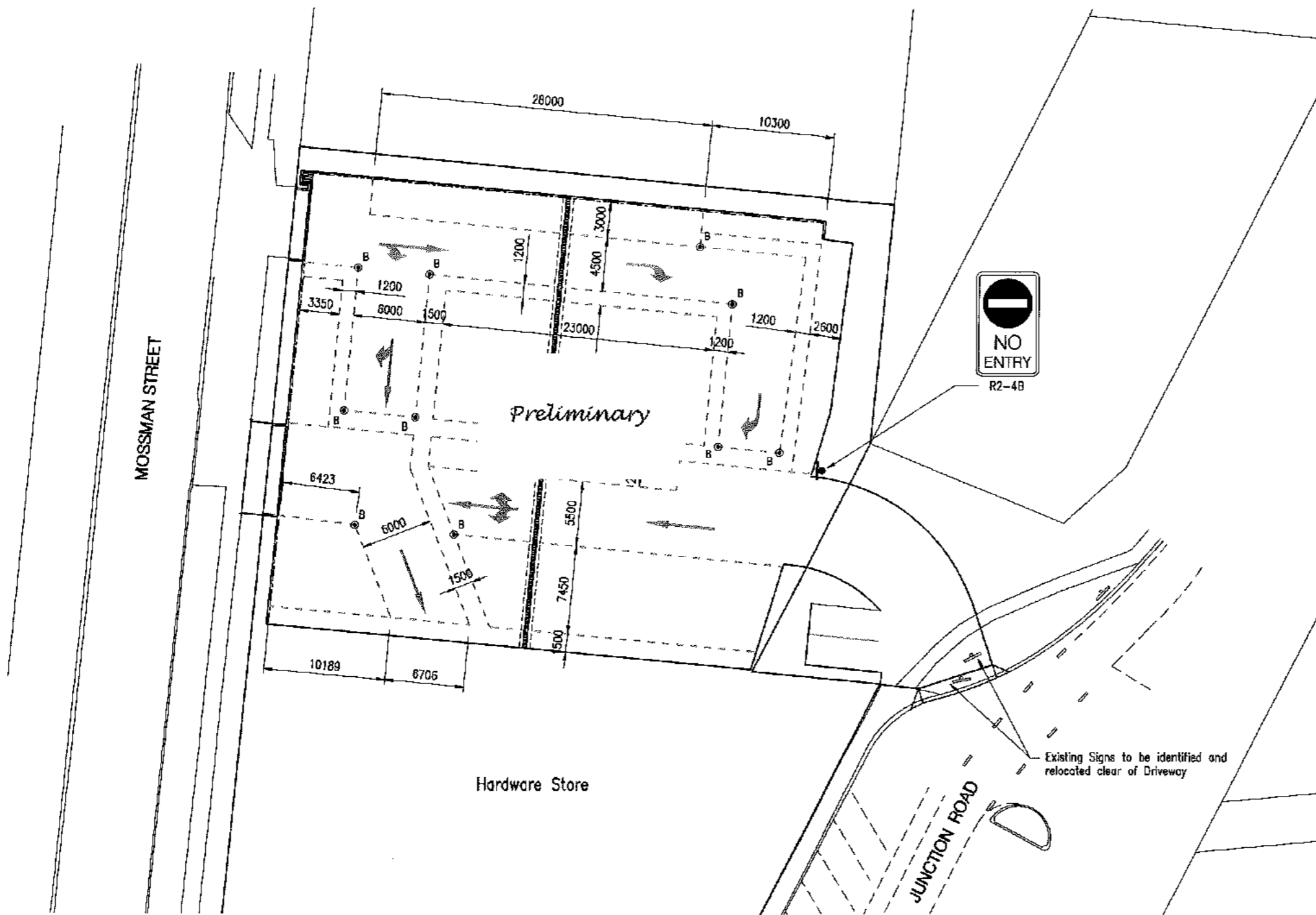
TITLE  
STORAGE YARD  
GENERAL ARRANGEMENT

SCALE (A1 FULL SIZE)  
1:200

PROJECT NO.	DRAWING NO.	ISSUE
81-2015	C01	A



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# LEGEND

- Linemarking 100mm wide  
600/600 Point/Gap
- Directional Traffic Arrows
- Bollard (Refer Drg C03 for Details)

# NOTES

- Linemarking shall be yellow in colour and shall be an approved waterborne road marking paint conforming to the requirements of AS4049.3.
- All street sign and traffic signs to be installed in accordance with Std Drg S1040 and S1041.

ISSUE	AMENDMENT	DATE
A	Original Issue	22/2018

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**RECS Pty Ltd**  
ABN 95 081 197 006

• Port Douglas  
PO Box 894 4877 QLD  
Phone (07) 40996010  
Fax (07) 40996020  
E-mail admin@recs.net.au  
www.recs.net.au  
RPEQ 5412

PROJECT  
MOSSMAN HARDWARE

FOR  
MOSSMAN CANGROWERS LIMITED

TITLE  
PAVEMENT MARKING  
& SIGNAGE

SCALE (AT FULL SIZE)	PROJECT NO.	DRAWING NO.	ISSUE
1:200	81-2015	C04	A



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