

GMA Certification Group

BUILDING SURVEYORS

ACN 150 435 617

Leaders in Building Certification Services

PORT DOUGLAS

P: 07 4098 5150 **F:** 07 4098 5180 **E:** adminpd@gmacert.com.au

Unit 5, Craiglie Business Park, Owen Street, Craiglie

P.O. Box 831, Port Douglas Qld 4877



3 March 2021

Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

Attention: – Development Services

Dear Sir,

**Re: Application for Hillslopes Referral & Exemption Certificate
Lot 13 SP192599 [no. 70] Thomson Low Drive, Shannonvale**

GMA Certification Group has been engaged to assess an application for the construction of a garage on the abovementioned allotment.

A preliminary assessment of the proposal has revealed the allotment is located within the Environmental Management Zone and is affected by the Hillslopes Overlay. However, for the following reason, Council is requested to exempt the garage from the application process for Material Change of Use.

Construction of the garage would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

Further, the property is located within the Hillslopes Overlay and the proposed garage is to be located on an existing cleared section of the land.

Accordingly, this referral includes:

1. DA Form 2
2. Confirmation Notice
3. Assessment
4. 1 x copy of plans

Assessment

The following table addresses the applicable Performance Outcome PO1 of the Hillslopes Overlay Code.

GOLD COAST

**39-47 Lawrence Drive
Nerang Q 4211**

P.O. Box 2760,

Nerang Q 4211

T. 07 5578 1622

F. 07 5596 1294

E. admin@gmacert.com.au

PORT DOUGLAS

**Craiglie Business
Park Owen Street
Craiglie Q 4877**

T. 07 4098 5150

F. 07 4098 5180

E. adminpd@gmacert.com.au

CAIRNS

**310 Gatton Street
Manunda Q 4870**

PO Box 2760

Nerang Q 4211

T. 07 4041 0111

F. 07 4041 0188

E. admincnd@gmacert.com.au

TOWNSVILLE

**1-3 Smith Street
Hermit Park Q 4814**

PO Box 2760

Nerang Q 4211

T. 07 4771 6532

F. 07 4771 2165

E. admintsv@gmacert.com.au

CHILDERS

**4 Randall St
Childers Q 4660**

PO Box 181

Childers Q 4660

T. 07 4126 3069

F. 07 4126 3950

E. adminwb@gmacert.com.au

CABOOLTURE

**Unit 3, 5 Hasking St
Caboolture Qld 4510**

PO Box 2760

Nerang Q 4211

T. 07 5432 3222

F. 07 5432 3322

E. adminsc@gmacert.com.au

Table 8.2.5.3.a – Hillslopes overlay code – self-assessable development	
Performance outcomes	Compliance
For self-assessable development	
<p>P01</p> <p>The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p>The proposal is for the construction of a garage. The colours of the proposed garage will include:</p> <p>Roof – Colorbond Ironstone Walls – Colorbond Ironstone</p> <p>Therefore, the landscape character and visual quality of the hillslopes area will be retained.</p>

Should you require any further information or wish to discuss the application, please contact me on 4098 5150 or by email adminpd@gmcert.com.au

Kind Regards,



Jeff Evans
GMA Certification Group

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Alan Jenkins & Natalie Gordon
Contact name <i>(only applicable for companies)</i>	Alan Jenkins
Postal address <i>(PO Box or street address)</i>	65 Morrish Road
Suburb	MOSSMAN
State	QLD
Postcode	4871
Country	
Contact number	4094 1016
Email address <i>(non-mandatory)</i>	alcon@westnet.com.au
Mobile number <i>(non-mandatory)</i>	0419 792 710
Fax number <i>(non-mandatory)</i>	4094 1981
Applicant's reference number(s) <i>(if applicable)</i>	

PART 2 – LOCATION DETAILS

2) Location of the premises <i>(complete 2.1 and/or 2.2 if applicable)</i>	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input type="checkbox"/> Street address AND lot on plan <i>(all lots must be listed)</i> , or	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises <i>(appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed)</i> .	

Unit No.	Street No.	Street Name and Type	Suburb
	70	Thomson Low Dr	SHANNONVALE
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	13	SP 192599	Douglas Shire Council

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☐ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☐ Yes – (proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☐ No

7) Information request under Part 3 of the DA Rules

- ☐ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application

<input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid		
<input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached
<input type="checkbox"/> No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application			
<input type="checkbox"/> The proposed development is on a place entered in the Queensland Heritage Register or in a local government's Local Heritage Register . See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place			
Name of the heritage place:		Place ID:	

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?
<input type="checkbox"/> Yes – the Referral checklist for building work is attached to this development application
<input type="checkbox"/> No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input type="checkbox"/> No		
Referral requirement	Referral agency	Date referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)		

PART 5 – BUILDING WORK DETAILS

14) Owner's details	
<input type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) (individual or company full name)	Aoife Conway & Joanie Doran
Contact name (applicable for companies)	Aoife Conway & Joanie Doran
Postal address (P.O. Box or street address)	70 Thomson Low Dr
Suburb	SHANNONVALE
State	QLD
Postcode	4873
Contact number	
Email address (non-mandatory)	aoifeconway2003@hotmail.com
Mobile number (non-mandatory)	0487 810 121
Fax number (non-mandatory)	

15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Alan Jenkins & Natalie Gordon
Contact name <i>(applicable for companies)</i>	Alan Jenkins
QBCC licence or owner – builder number	1057096
Postal address <i>(P.O. Box or street address)</i>	65 Morrish Road
Suburb	MOSSMAN
State	QLD
Postcode	4871
Contact number	4094 1016
Email address <i>(non-mandatory)</i>	alcon@westnet.com.au
Mobile number <i>(non-mandatory)</i>	0419 792 710
Fax number <i>(non-mandatory)</i>	4094 1981

16) Provide details about the proposed building work

a) What type of approvals is being sought?

- ☐ Development permit
☐ Preliminary approval

b) What is the level of assessment?

- ☐ Code assessment
☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---|--|
| <input type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

New Construction of Shed

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

g) New building use/classification? (if applicable)		
10a		
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>		
<input type="checkbox"/> Relevant plans of the proposed works are attached to the development application		
17) What is the monetary value of the proposed building work?		
52,000.00		
18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans</i>	<input type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input type="checkbox"/> Yes <input type="checkbox"/> Not applicable
20) Applicant declaration	
<input type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
10a		
Name	QBCC Certification Licence number	QBCC Insurance receipt number
GMA Certification Group		

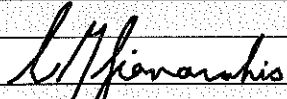
Notification of engagement of alternate chosen assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government				
Confirm proposed construction materials:				
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass	
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other	
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Other			
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other	
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement	
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

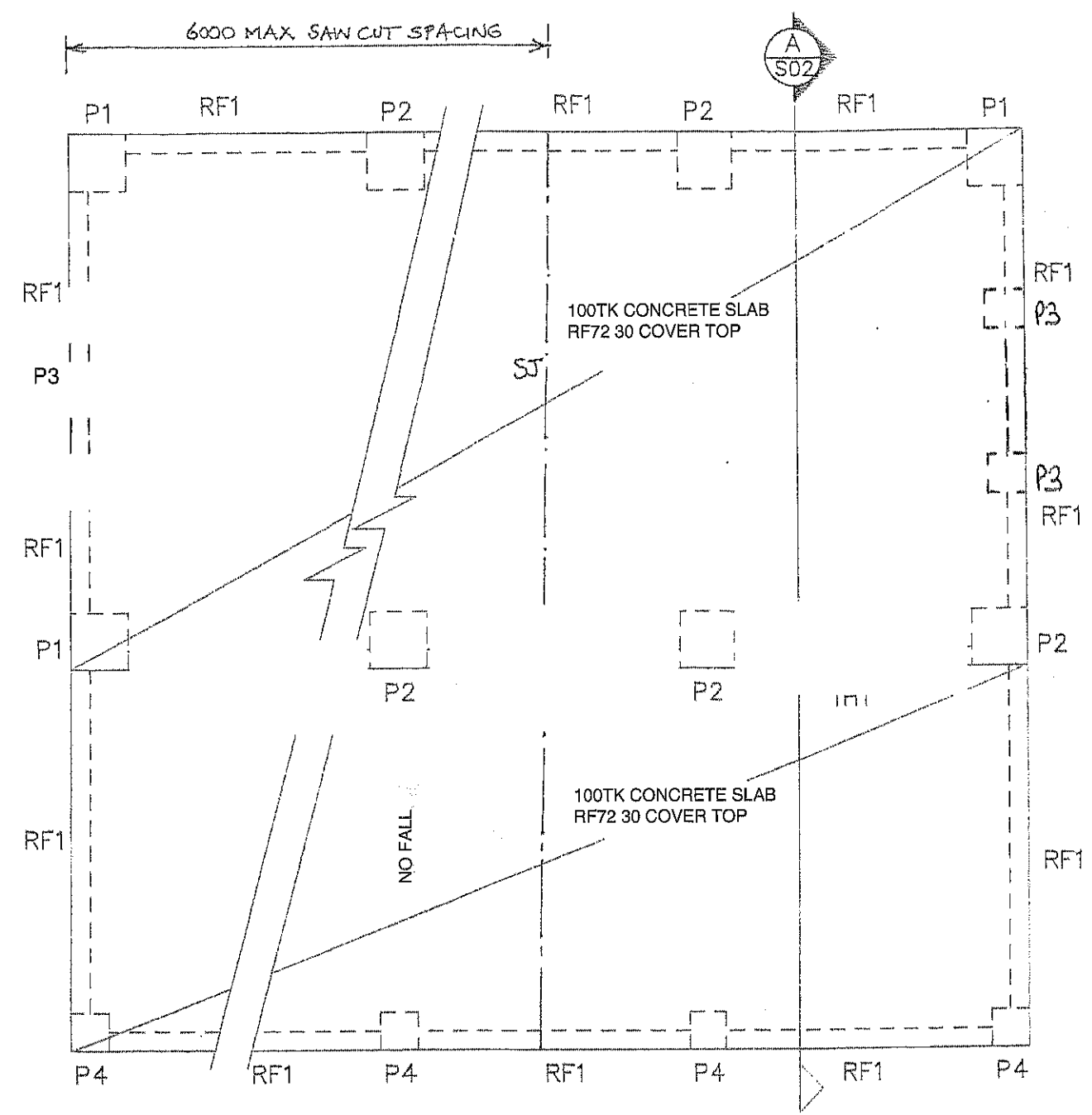
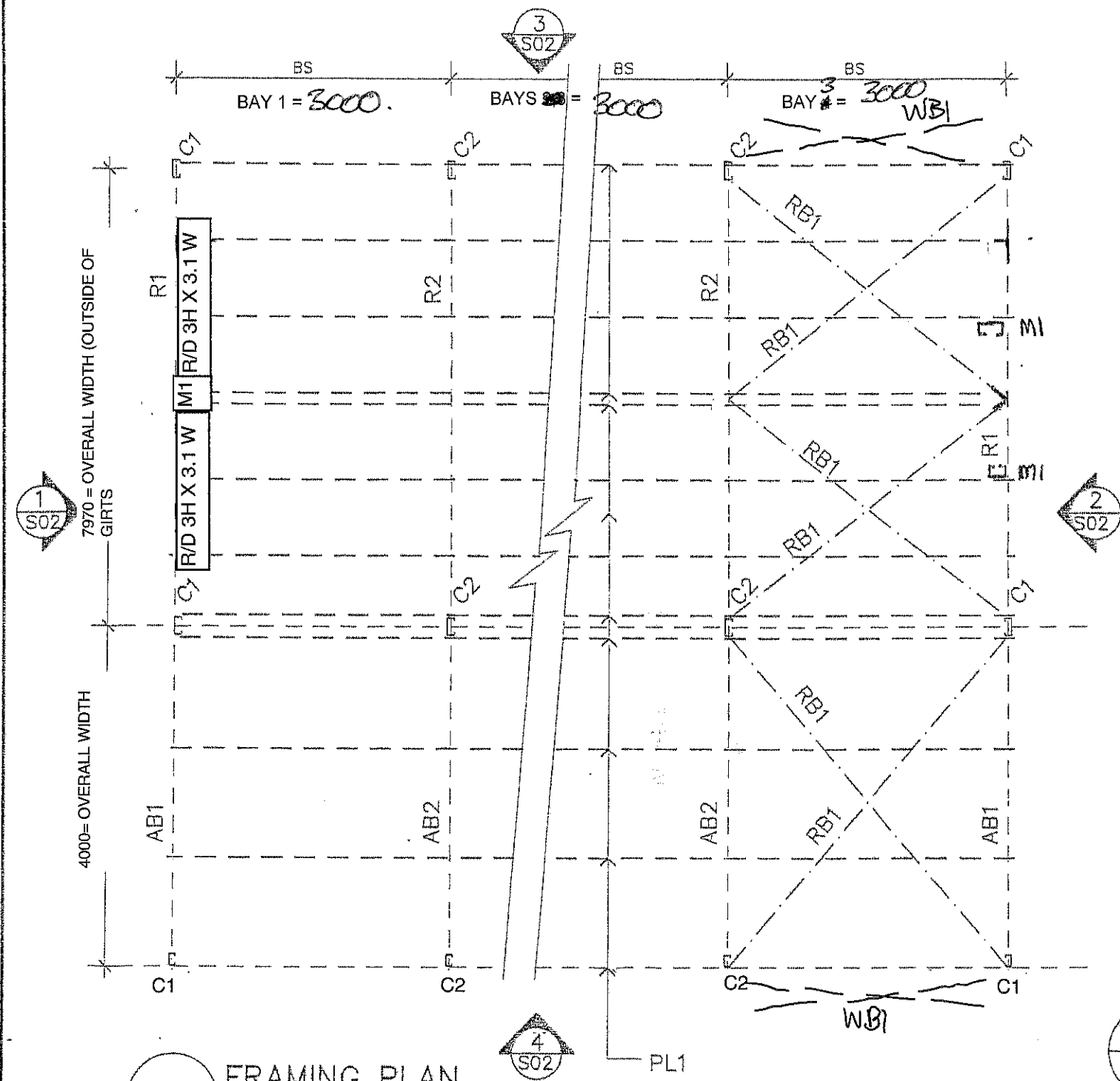
Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m ²)	10040	Floor area (m ²)	0

Form 15 -Compliance Certificate for building Design or Specification Version 4 -July 2017

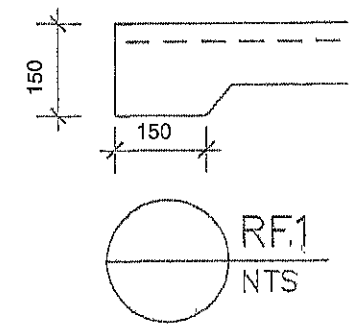
<p>NOTE</p>	<p>NOTE: This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable. The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include no., street, suburb / locality & postcode)</i></p> <p>70 Thomson Low Drive (42942L1)</p> <p>Shannonvale Postcode 4873</p> <p>Lot & plan details <i>(attach list if necessary)</i></p> <p>In which local government area is the land situated?</p> <p>Douglas Shire Council</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Footings/Ground Slab</p> <p>Bracing</p> <p>Tie-Down</p> <p>Structural Steel Framing & Roller Doors x 2</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Terrain Category 2</p> <p>Region C</p> <p>Basic Wind Speed =61m/s (Ultimate)</p> <p>Internal Pressure Coefficient -0.65, +0.7</p> <p>Australian Standard Codes- AS 4100, AS/NZS 1170 Parts 1 & 2 AS/NZS 4600 AS/NZ4505, AS3600</p> <p>Local Authority Regulations</p> <p>Building Importance Level 2</p> <p>Above Engineering is based on "Class M" & "Class S" sites only.</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>Attached Dunnrite Drawing 42942 Sheets 1 & 2</p> <p>Metroll LHL Test Reports/Data & Rollrite Cyclic Test Reports/Data</p>
<p>5. Building certifier reference number</p>	<p>Building certifier reference number</p>
<p>6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</p>	<p>Name <i>(in full)</i></p> <p>Charles Gianarakis RPEQ 1370</p> <p>Company name <i>(if applicable)</i> Contact person</p> <p>CMG Consulting Engineers Pty Ltd Charles Gianarakis</p> <p>Phone no. <i>business hours</i> Mobile no. Fax no.</p> <p>07 40 312775</p> <p>Email address</p> <p>chas@cmgengineers.com.au</p> <p>Postal address</p> <p>P.O. Box 5901, Cairns Qld 4870</p> <p>Licence or registration number <i>(if applicable)</i></p> <p>RPEQ 1370</p>
<p>7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.</p>	<p>Signature</p> <p></p> <p>Date</p> <p>16 February 2021</p>

LOCAL GOVERNMENT USE ONLY

Date received	Reference Number/s	Approved form 15 Version 4 2017
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FOOTING PLAN
N.T.S.



RF1
NTS

MEMBER SCHEDULE	
C1	= C15019
C2	= C15019
R1	= C20024
R2	= C20024
AB1	= C15019
AB2	= C20024
M1	= C15024
RB1	= 30x1.2 GI STRAP
WB1	= 30x1.2 GI STRAP
PL1	= METROLL 64x1.0
WG1	= TOPSPAN BATTENS
BS	= BAY SPACING = 3.00 M
HT	= HEIGHT = 3.50 M

P1 & P2 = 600x600x6000 DEEP MASS CONCRETE FOOTING

P3 = 400x400x400 DEEP MASS CONCRETE FOOTING

RF1 = 150x150 SLAB EDGE THICKENING

SJ = 25mm DEEP SAW CUT WITHIN 24 HRS OF PLACEMENT OF CONCRETE

C.M.G. CONSULTING ENGINEERS PTY.LTD.
A.C.N. 011 065 375 STRUCTURAL AND CIVIL

208 Buchan Street
CAIRNS, 4870.
Phone: (07) 4031 2775

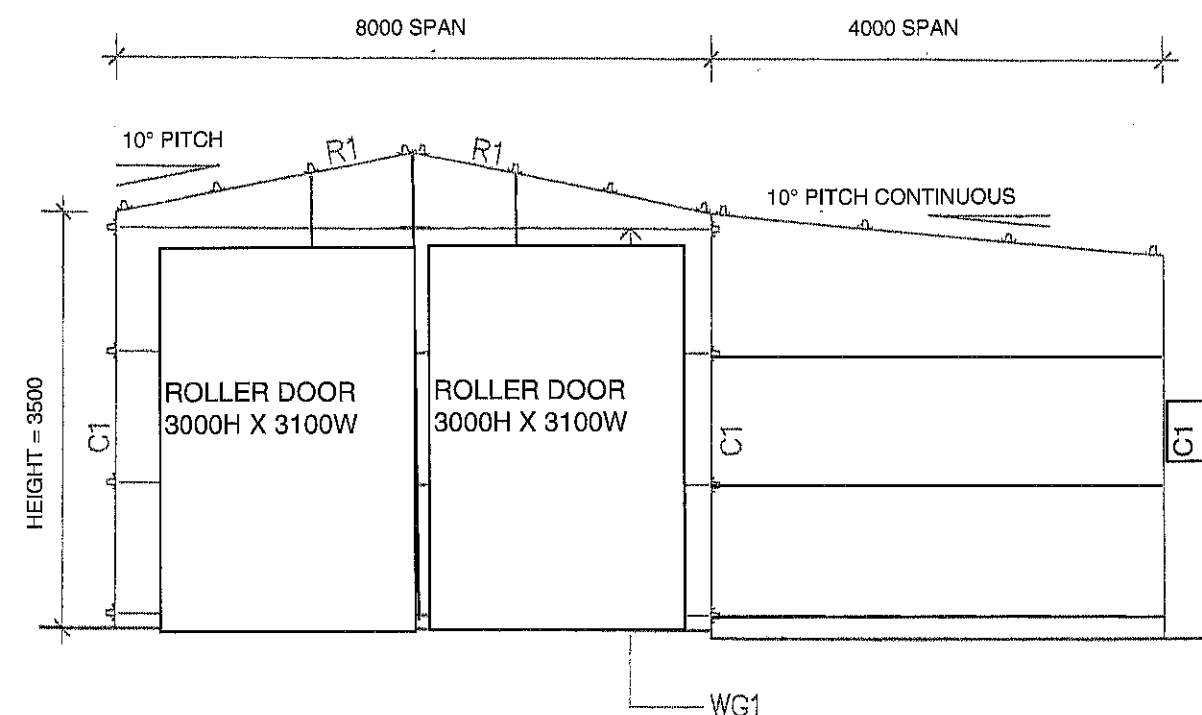
P.O. Box 5901
Cairns Mall Centre
Fax: (07) 4051 9013

PROPOSED GREG JACK SHED
AT:70 THOMSON LOW DRIVE, SHANNONVALE
FOR: J DORAN & A CONWAY

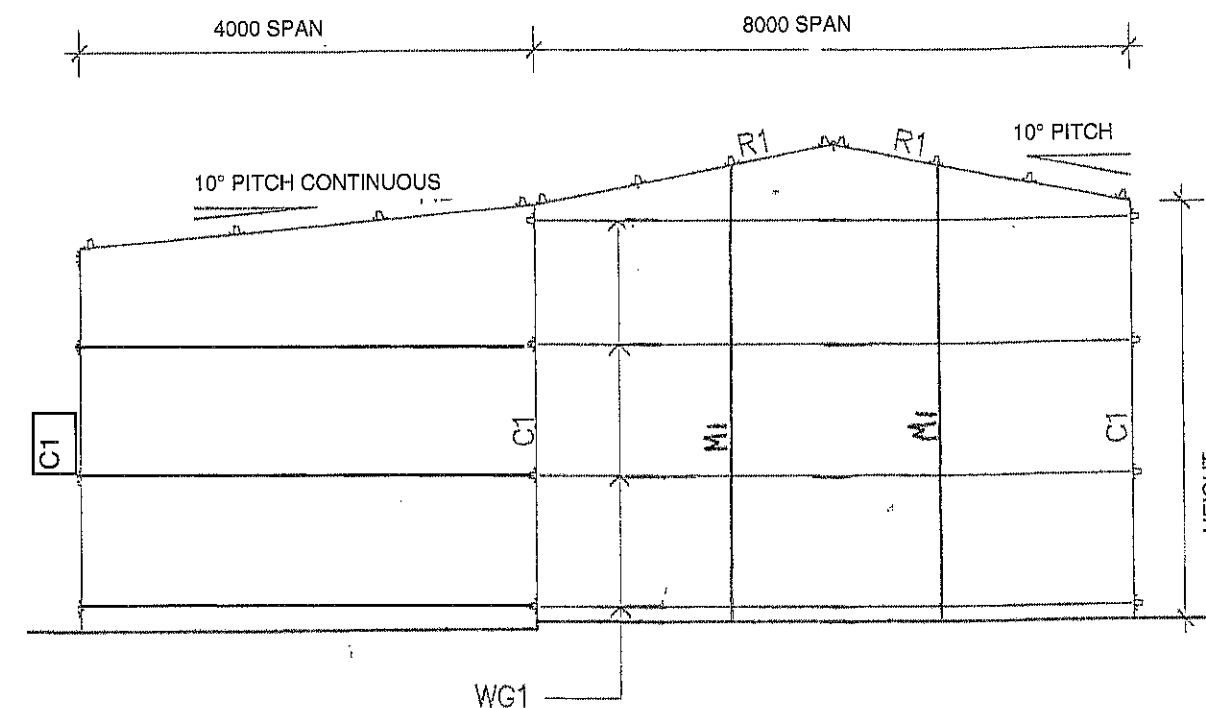
ELEVATIONS & SECTIONS.

SCALE	HOR AS SHOWN	DRAWN	JD
DATE	16/02/21	DESIGNED	CMG
APPROVED	<i>[Signature]</i>		
DWG NUMBER	42942-01	AMDT	B

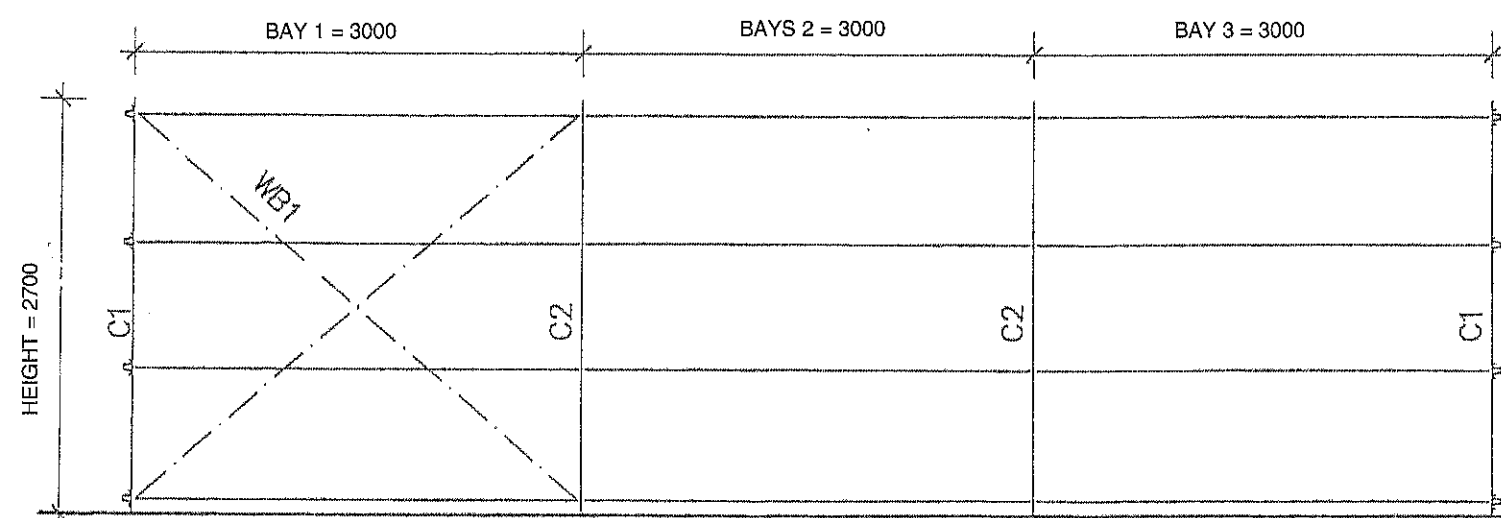
BASED ON "M" OR "S" CLASS SITE ONLY



1 ELEVATION
N.T.S.



2 ELEVATION
N.T.S.



3 ELEVATION
N.T.S.

4 ELEVATION (SIMILAR)
N.T.S.

LOW SIDE OF
AWNING HEIGHT
2700MM

MEMBER SCHEDULE	
C1	= C15019
C2	= C15019
R1	= C20024
R2	= C20024
AB1	= C15019
AB2	= C20024
M1	= C15024
RB1	= 30x1.2 GI STRAP
WB1	= 30x1.2 GI STRAP
PL1	= METROLL 84x1.0
WG1	= TOPSPAN BATTENS
BS	= BAY SPACING = 3.00 M
HT	= HEIGHT = 3.50 M

RB1 & WB1 = MIN 2x NO.14 TEK SCREWS
AT EACH END OF BRACING

P1 & P2 = 600x600x600 DEEP
MASS CONCRETE FOOTING

P3 = 400x400x400 DEEP
MASS CONCRETE FOOTING

RF1 = 150x150 SLAB EDGE
THICKENING

SJ = 25mm DEEP SAW CUT WITHIN 24
HRS OF PLACEMENT OF CONCRETE

BASED ON "M" OR "S" CLASS SITE ONLY

C.M.G. CONSULTING
ENGINEERS PTY.LTD.

A.G.N. 011 055 375 STRUCTURAL AND CIVIL

208 Buchan Street
CAIRNS, 4870.
Phone: (07) 4031 2775

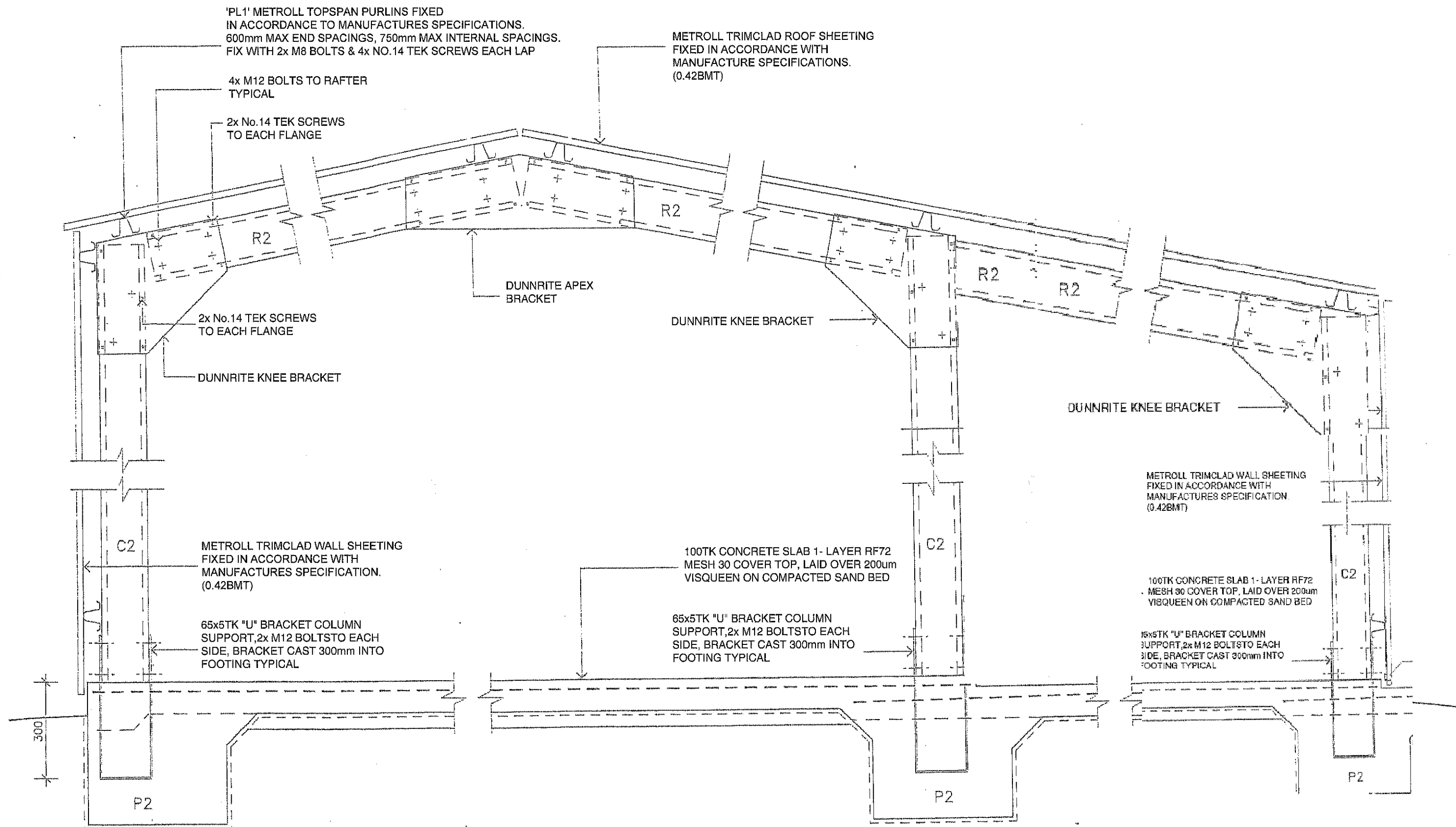
P.O. Box 5901
Cairns Mail Centre
Fax: (07) 4051 9013

PROPOSED GREG JACK SHED

AT:70 THOMSON LOW DRIVE, SHANNONVALE
FOR: J DORAN & A CONWAY

ELEVATIONS

SCALE	HOR AS SHOWN	DRAWN	JD
		DESIGNED	CMG
DATE	16.02.21	CHECKED	CMG
APPROVED	<i>[Signature]</i>		
DWG NUMBER	42942-02	AMDT	A



A SECTION
NOT TO SCALE

BASED ON "M" OR "S" CLASS SITE ONLY

C.M.G. CONSULTING ENGINEERS PTY.LTD.

A.G.N. 011 095 375 STRUCTURAL AND CIVIL

208 Buchan Street
CAIRNS, 4870.
Phone: (07) 4031 2775

P.O. Box 5901
Cairns Mail Centre
Fax: (07) 4051 9013

PROPOSED GREG JACK SHED

AT:70 THOMSON LOW DRIVE, SHANNONVALE
FOR:J DORAN & A CONWAY

ELEVATIONS & SECTIONS.

SCALE	HOR AS SHOWN	DRAWN	JD
		DESIGNED	CMG
DATE		CHECKED	CMG
APPROVED	<i>L. J. J. J.</i>		
DWG NUMBER		AMDT	A

SITE PLAN : JOANIE DORAN + AOFIE CONWAY
NO 70 THOMSON LOW DR
SHANNON VALE.



SITE PLAN... LOT 70 THOMPSON LOW DR.

SHANNON VALLEY



NOTES
 Level Datum: Arbitrary
 Contour Interval: 0.5m
 Index: 1.0m
 Meridian: SP192599
 Field Level Book: N/A

SCALE 1:400 IS APPLICABLE ONLY
 TO THE ORIGINAL SHEET SIZE (A3).

COVE
 SP192599

14
 SP192599

APPROX POSITION OF TREATMENT
 SYSTEM TANK, EXACT LAYOUT AND
 POSITION OF SYSTEM, T.B.C.

13
 SP192599

12
 SP192599

GMA Certification Pty Ltd
 This document has been assessed for
 Compliance with the Building Act 1975
 and is APPROVED
 Subject to the conditions on the Decision Notice
 and the endorsements made hereon
 BA: 20142872

COV D
 SP192599

Top of Bank

LEGEND

**NOTE - EXACT SETOUT OF
 RESIDENCE TBC ON SITE,
 BY CLIENT.**

→ INDICATES 400mm WIDE
 * 75mm DEEP GRADED TABLE DRAIN.

* FILL BATTER @ 1:2 MAX
 * CUT BATTER @ 1:1 MAX

NOTES -
 - ANY RETAINING REQUIRED, BY CLIENT
 - ANY TREE REMOVAL REQUIRED, BY CLIENT
 - POOLS MUST BE 2000mm MIN. FROM ANY
 SLAB EDGE OR PATIO COLUMNS. IF LESS
 THAN 2000mm, ENGINEER TO BE CONSULTED.
 - REFER TO SHEET 10 OF 10 FOR PLUMB. PLAN.

PLATFORM LEVEL APPROX -
 R.L. 103.10 (+/-0.05)
 * PLATFORM SCRAPE
 * STORMWATER TO FALL ON SITE.
 * DISCHARGE WASTE TO SEPTIC
 TREATMENT SYSTEM.

CONTOUR PLAN WIND-'C2'

ABN: 37110349892
 BLN: 1058588
 Address: P.O. BOX 863,
 SHANNON VALLEY

Client:

LOT 13, THOMPSON LOW DRIVE,

Design:

Mod. PARADISE RETREAT

Facade:

TRADITIONAL

Drawn By:

S.C.

Date:

24/07/2014

Amendments:

Job Number:

200NQ

GMA Certification Group

BUILDING SURVEYORS

A.C.N 150 435 617

Leaders in Building Certification Services



Port Douglas Office

P: 07 4098 5150 **F:** 07 4098 5180 **E:** adminpd@gmacert.com.au

Unit 5, Owen Street

Craigie Business Park Craigie

PO Box 831 Port Douglas QLD 4877

03 Mar 2021

Alan Jenkins & Natalie Gordon
65 Morrish Road
MOSSMAN QLD 4871

Dear A Jenkins

Confirmation notice

Re: GMA Certification Group Ref No. 20211148
Lot 13 on SP 192599
70 Thomson Low Dr SHANNONVALE 70 4873
Development Permit for Building Works for New Construction of Shed

The development application described above was properly made to the GMA Certification Group on 02 Mar 2021

Public notification details

Part 4 of the Development Assessment Rules is not applicable to this development application.

Referral details

Part 2 of the Development Assessment Rules is applicable. GMA, as the assessment manager intent to make an information request (where applicable) and the applicant has not indicated that they do not wish to receive an information request.

The development application must be referred to all relevant referral agency(s) within 10 business days starting the day after receiving this notice, or a further period agreed with the assessment manager; otherwise the application will lapse under section 31 of the Development Assessment Rules.

Yours sincerely

Jeff Evans
GMA Certification Group