

GMA Certification Group Pty Ltd

BUILDING SURVEYORS

Queensland's leaders in Building Certification Services



PORT DOUGLAS OFFICE

PHONE: (07) 4098 5150
FAX: (07) 4098 5180

Lot 9 Unit 5
Craiglie Business Park
Owen Street
CRAIGLIE QLD 4877

POSTAL:
P.O. Box 831,
PORT DOUGLAS QLD 4877

E-Mail: adminpd@gmacert.com.au
Web: www.gmacert.com.au

16 January 2020

The Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN Q 4873

Attention: Development Assessment

Dear Sir,

Re: Hillslopes Referral
Lot 3 RP898230 [No.] Santacatterina Road, Finlayvale

GMA Certification Group has been engaged to assess an application for the construction of a Dwelling, attached patio and carport on the abovementioned allotment. The subject site is located zone Rural and is subject to the Hillslopes Overlay. The development complies with the zone code; however, it does not comply with Acceptable Outcome AO1.1 of the Hillslopes Overlay Code.

Accordingly, an application for Building Work Assessable Against a Planning Scheme is enclosed for Council's consideration, which includes:

1. DA Form 2
2. Confirmation Notice
3. Assessment
4. 1 x copy of plans

Assessment

The proposal is Self-Assessable Development pursuant to the tables of assessment contained within the Scheme and complies with applicable Codes. The following table addresses Performance Outcome PO1 of the Hillslopes Overlay Code.

BUILDING APPROVALS & INSPECTIONS

Gold Coast
(07) 5578 1622

Sunshine Coast
(07) 5449 0383

BUILDING CERTIFICATION

Cloncurry
(07) 4742 2022

Chinchilla
(07) 4669 1166

FIRE SAFETY AUDITS

Atherton
(07) 4091 4196

Childers
(07) 4126 3069

Table 8.2.5.3.a – Hillslopes overlay code – self-assessable development	
Performance outcomes	Compliance
For self-assessable development	
<p>PO1 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p>The proposal is for the construction of the dwelling. The colours of the proposed dwelling will include: Roof – Exterior Walls – Gutters and trims –</p> <p>Therefore, the landscape character and visual quality of the hillslopes area will be retained.</p>

Should you require any further information or wish to discuss the application, please contact me on 4041 0111 or by email admincons@amacert.com.au

Kind Regards,



Kyall Evans
GMA Certification Group

DA Form 2 – Building work details

Approved form (version 1.1 effective 22 JUNE 2018) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development**, use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	J Dwyer Building and Construction
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	PO Box 1435
Suburb	Mossman
State	Qld
Postcode	4873
Country	
Contact number	0418 941 697
Email address (non-mandatory)	jdwyerbuildingandconstruction@yahpp.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Form Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/>	Street address AND lot on plan (all lots must be listed), or
<input type="checkbox"/>	Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

Unit No.	Street No.	Street Name and Type	Suburb
		Santacatterina Rd	Finlayvale
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	3	RP898230	Douglas Shire Council

2.2) Additional premises

Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- Yes – the yellow local government/private certifier’s copy of the receipted QLeave form is attached to this development application
- No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
- No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government’s **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the *Referral checklist for building work* is attached to this development application
- No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application *(if applicable)*

PART 5 – BUILDING WORK DETAILS

14) Owner’s details

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) <i>(individual or company full name)</i>	Angela Dwyer and Stephen Woodhead
Contact name <i>(applicable for companies)</i>	Jason

Postal address (P.O. Box or street address)	PO Box 649
Suburb	Kununurra
State	WA
Postcode	6743
Contact number	0407 770 482
Email address (non-mandatory)	angelajdwyer@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	J Dwyer Building and Construction
Contact name (applicable for companies)	Jason
QBCC licence or owner – builder number	1047837
Postal address (P.O. Box or street address)	PO Box 1435
Suburb	Mossman
State	QLD
Postcode	4873
Contact number	0418 941 697
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

16) Provide details about the proposed building work

a) What type of approval is being sought?

- Development permit
 Preliminary approval

b) What is the level of assessment?

- Code assessment
 Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|--|--|
| <input checked="" type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification (involving building work) | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

New Dwelling, attached patio and carport

e) Proposed construction materials

External walls	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		

Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)			
g) New building use/classification? (if applicable)			
1a, 10a, 10a			
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>			
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application			

17) What is the monetary value of the proposed building work?	\$600000
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18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the DA Rules except where: <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or

- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternate chosen assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

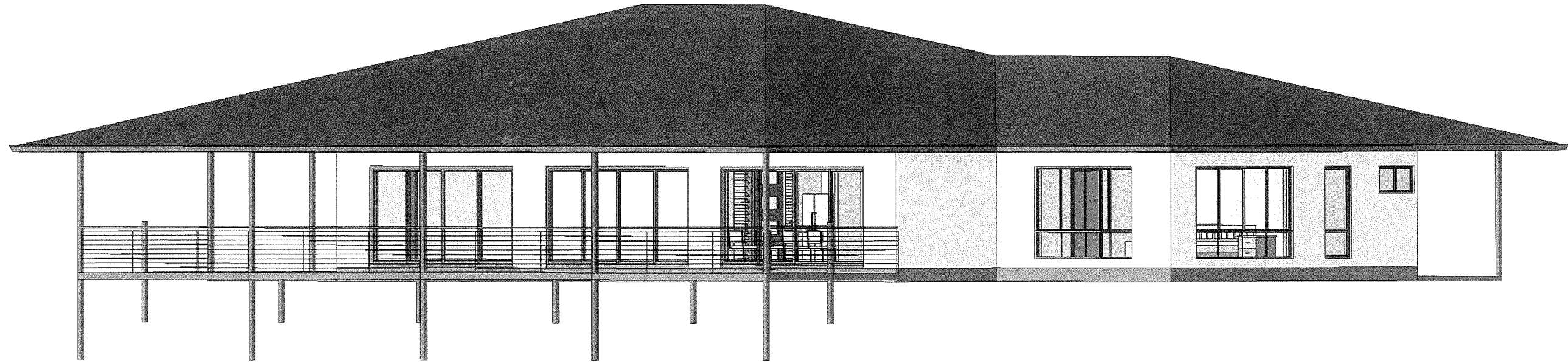
Additional information required by the local government

Confirm proposed construction materials:

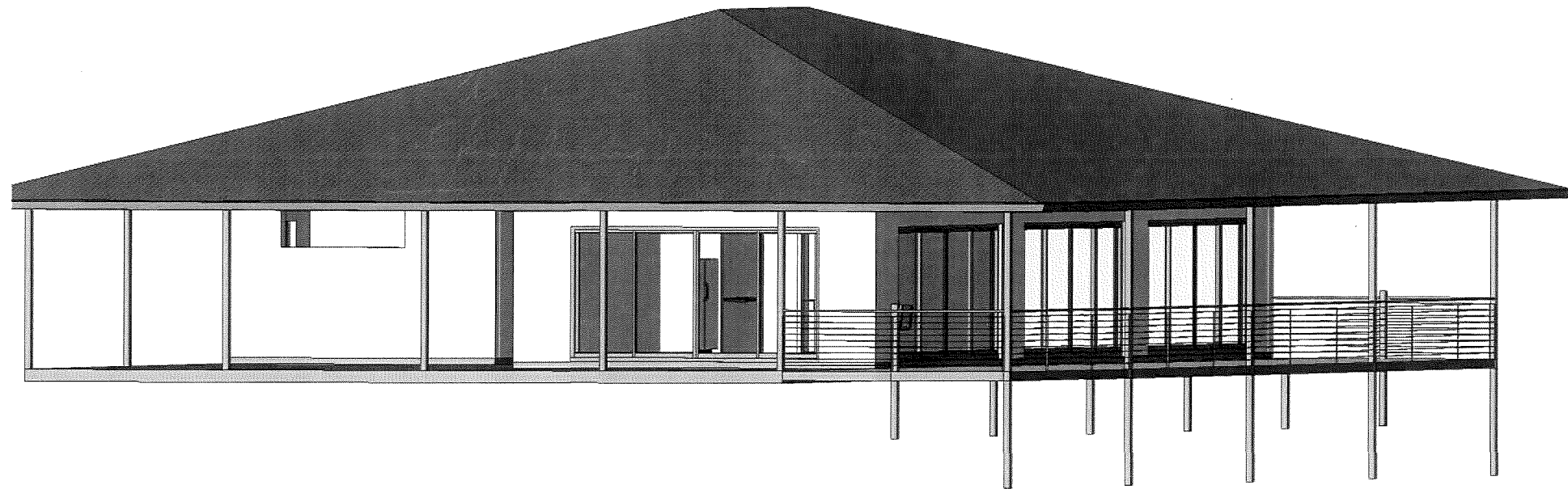
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

Additional building details required for the Australian Bureau of Statistics

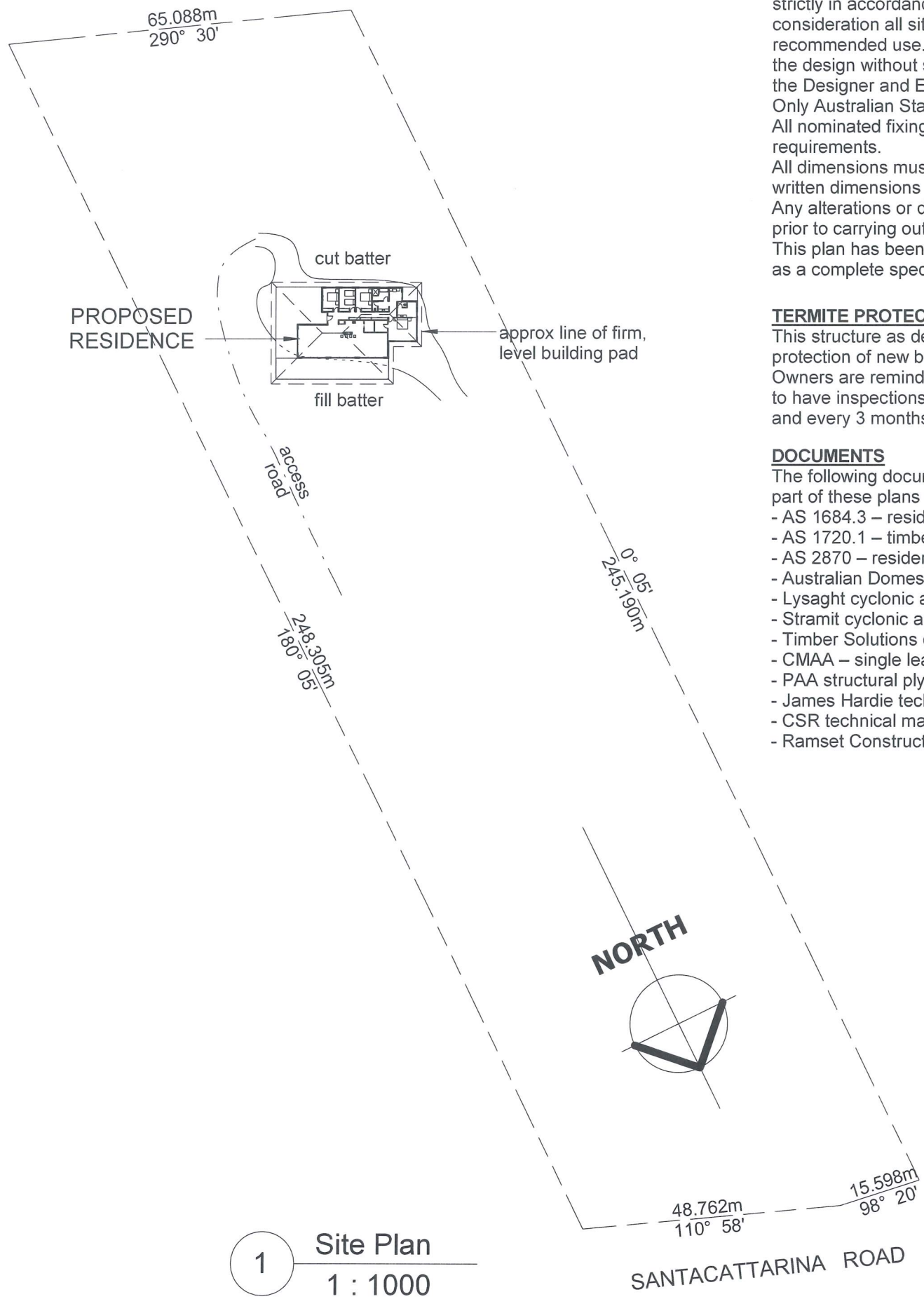
Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	



1 3D - front right



2 3D - rear right



GENERAL

All construction is to comply with **C2** building standards, Building Code of Australia, all relevant legislation, and Council By-Laws. Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building. All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements. All dimensions must be checked by the Builder prior to commencing any work – written dimensions take precedence over scaled. Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work. This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

TERMITE PROTECTION

This structure as detailed complies with the provisions of AS3660.1 for the protection of new buildings from subterranean termites. Owners are reminded that to maintain compliance with AS3660.1 they are advised to have inspections carried out by a qualified person every 12 months generally, and every 3 months if in an area where termite risk is high.

DOCUMENTS

- The following documents have been referenced to produce these plans and form part of these plans where applicable:
- AS 1684.3 – residential timber-framed construction
 - AS 1720.1 – timber structures, design methods
 - AS 2870 – residential slabs and footings, construction
 - Australian Domestic Construction Manual
 - Lysaght cyclonic area design manual
 - Stramit cyclonic area technical supplement
 - Timber Solutions design program
 - CMAA – single leaf masonry design manual
 - PAA structural plywood wall bracing design manual
 - James Hardie technical manuals
 - CSR technical manuals
 - Ramset Construction Industry Catalogue



Sheet List	
Sheet Number	Sheet Name
1 of 11	3D Views
2 of 11	Site Plan, Sheet List, Notes
3 of 11	Floor Plan
4 of 11	Elevations - Sheet 1
5 of 11	Elevations - Sheet 2
6 of 11	Foundation and Floor Framing Plan
7 of 11	Foundation and Floor Framing Details, Notes
8 of 11	Roof Framing and Drainage Plan, Details
9 of 11	Wall and Roof Framing Details
10 of 11	Section 1, Notes
11 of 11	Electrical Plan

INTERNAL BRACING WALLS

WALL FIXING

- Fix top plate to floor frame with 1/M12 at bracing section ends and at 1200 max. crs.
- Fix top plate to crossing or parallel truss framing at M12 wall reinf locations to comply with AS1684.3 Table 8.23 to achieve 7.6 kn.
- Fix end studs to external walls with 1/12Ø dynabolt or No 14-10 Type 17 screw at top, bottom, and at 1200 crs.

SHEETING

- Line one side with 4mm F22 structural ply or equivalent, nail fixed to manufacturers specifications to achieve minimum 6.4 kn/m nominal bracing (2.7m high walls).

FIXINGS

All bolts, screws, nails, brackets, framing anchors and other hardware in contact with preservative treated timber, should be hot dipped galvanised, monel, silicon bronze, or stainless steel. Unless noted otherwise, all bolts are to be hex-head.

WASHERS






Washers as listed below are to be used with all bolted connections involving timber, where bolt is in tension;







- M10 - 38 x 38 x2.0
- M12 - 50 x 50 x 3.0
- M16 - 65 x 65 x 5.0

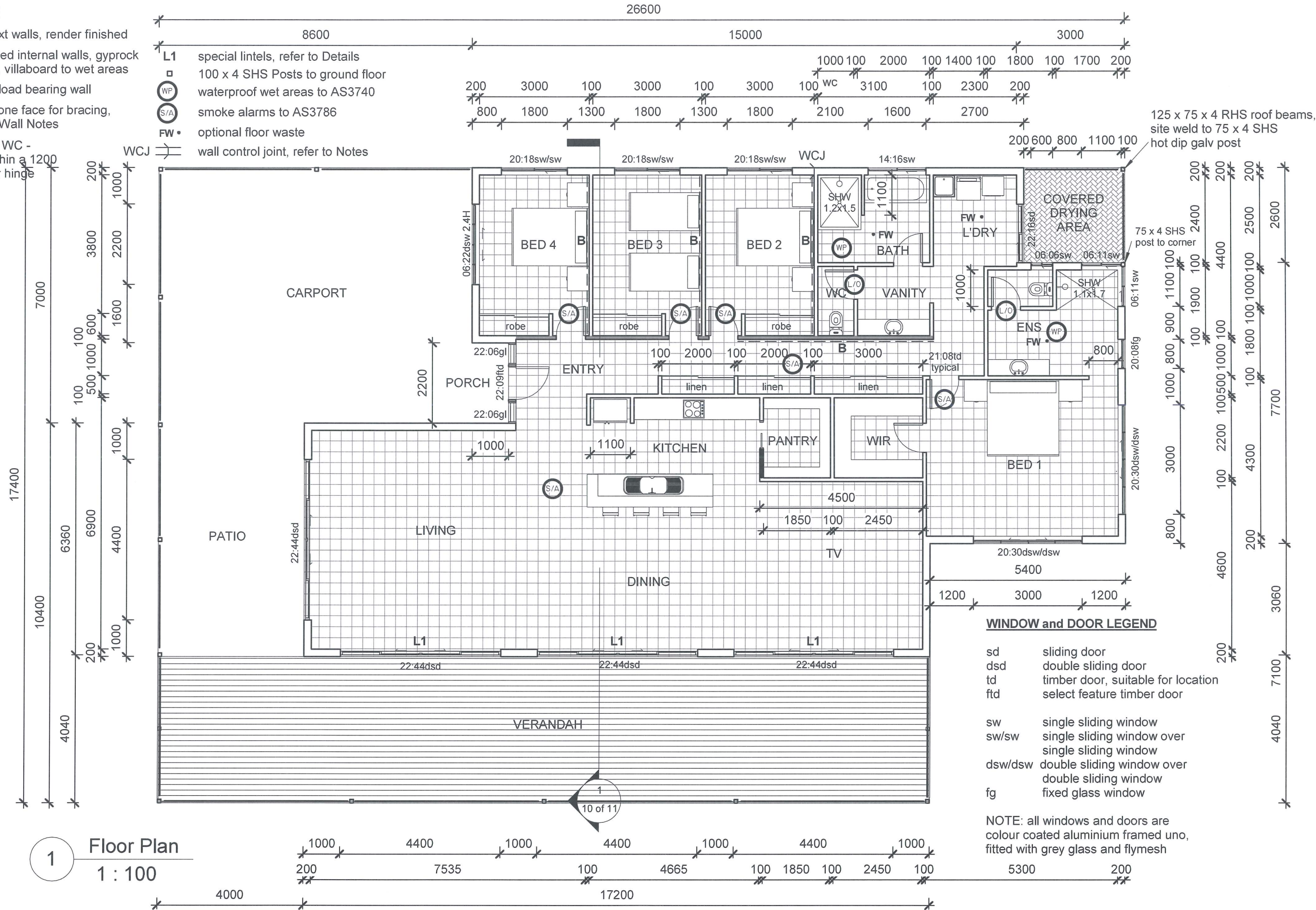
At connections to steel plates, use standard round washers for the bolt diameter used, UNO.

REV	DATE	DESCRIPTION	
GREG SKYRING <i>Design</i> and DRAFTING Pty. Ltd. Lic Under QBSA Act 1991 - No 1040371 11 Noli Close, Mossman Q. 4873 Phone/Fax: (07) 40982061 Mobile: 0419212652 Email: greg@skyringdesign.com.au			
PROJECT			
Proposed Residence, L3 RP898230, Santacattarina Road, FINLAYVALE			
PLAN TITLE			
Site Plan, Sheet List, Notes			
CLIENT			
A. Dwyer			
SCALES	WIND CLASS	PLAN NO	SHEET NO
1 : 1000	C2	101-19	2 of 11
		REV.	A

LEGEND

-  200 conc mas ext walls, render finished
-  timber stud framed internal walls, gyprock lining to internal, villaboard to wet areas
-  as above, truss load bearing wall
-  as above, lined one face for bracing, refer to Bracing Wall Notes
-  Lift-off hinges to WC - where pan is within a 1200 radius from door hinge

-  L1 special lintels, refer to Details
-  100 x 4 SHS Posts to ground floor
-  WP waterproof wet areas to AS3740
-  S/A smoke alarms to AS3786
-  FW optional floor waste
-  WCJ wall control joint, refer to Notes



WINDOW and DOOR LEGEND

- sd sliding door
- dsd double sliding door
- td timber door, suitable for location
- ftd select feature timber door

- sw single sliding window
- sw/sw single sliding window over single sliding window
- dsw/dsw double sliding window over double sliding window
- fg fixed glass window

NOTE: all windows and doors are colour coated aluminium framed uno, fitted with grey glass and flymesh

1 Floor Plan
1 : 100

STRUCTURAL DETAILS
ADEQUATE AS CERTIFIED

[Signature]

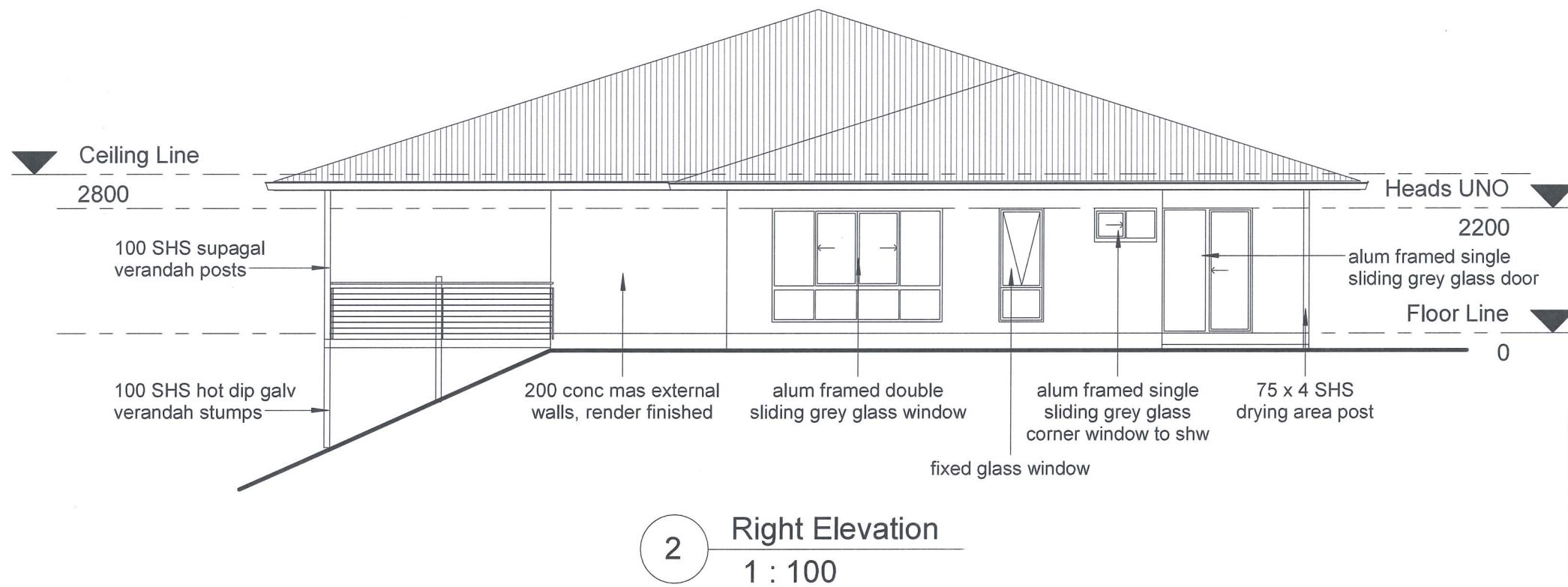
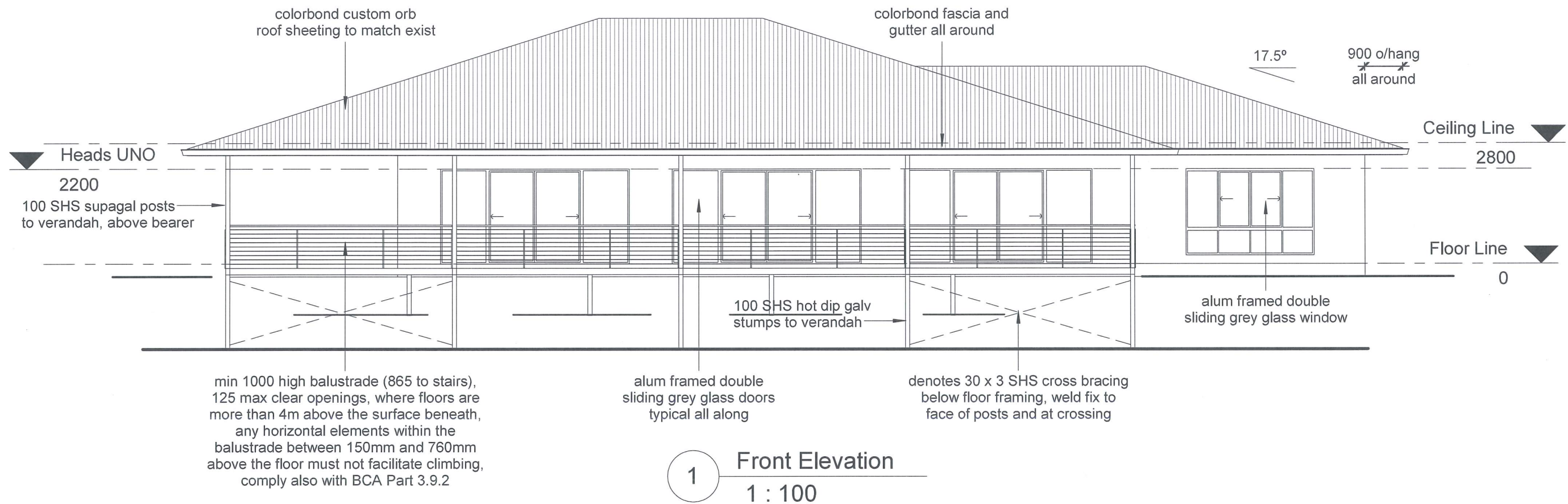
RODGERS
CONSULTING ENGINEERS

JOB NO: 190568 DATE: 12/12/19

GREG SKYRING
Design and DRAFTING Pty. Ltd.
Lic Under QBSA Act 1991 - No 1040371
11 Noli Close, Mossman Q. 4873
Phone/Fax: (07) 40982061
Mobile: 0419212652
Email: greg@skyringdesign.com.au

PROJECT
Proposed Residence,
L3 RP898230,
Santacattarina Road,
FINLAYVALE

CLIENT A. Dwyer	WIND CLASS C2	PLAN NUMBER 101-19	SHEET 3 of 11
SCALES 1 : 100	PLAN TITLE Floor Plan	DATE OF ISSUE 12.12.19	REV A

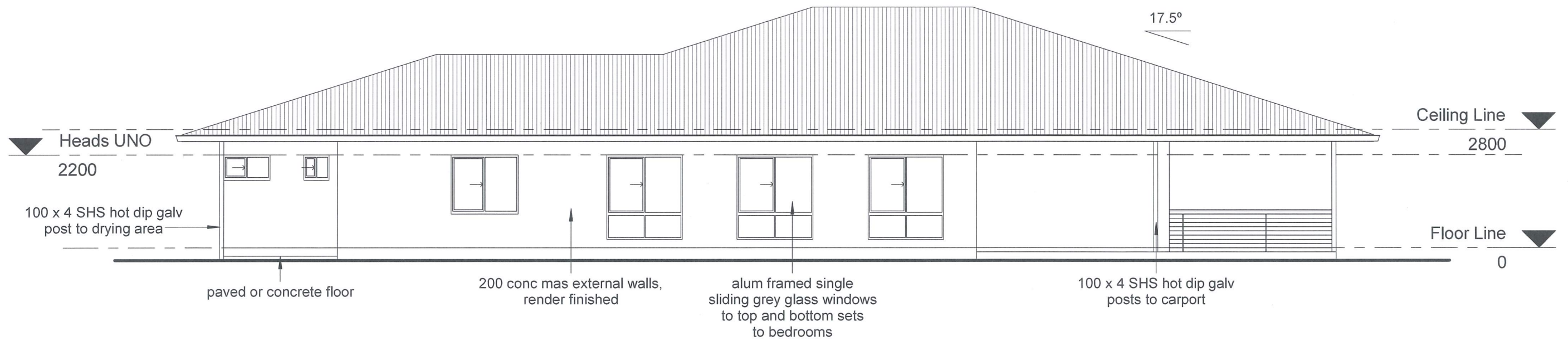


STRUCTURAL DETAILS
ADEQUATE AS CERTIFIED

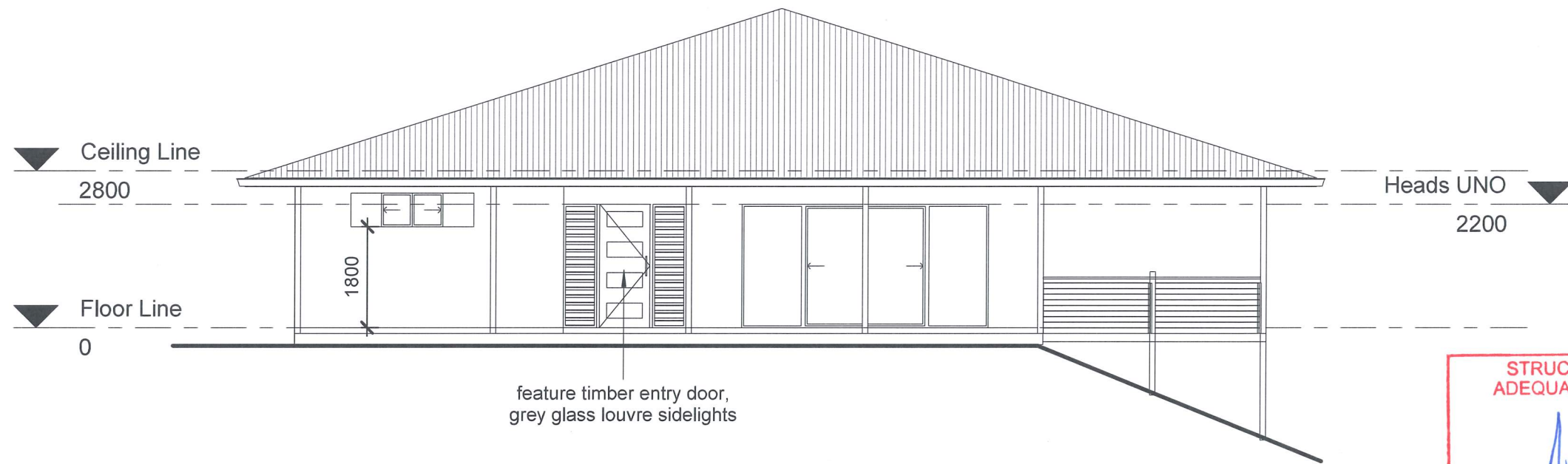
[Signature]

RODGERS
CONSULTING ENGINEERS

JOB NO: 190568 DATE: 12/12/19



1 Rear Elevation
1 : 100

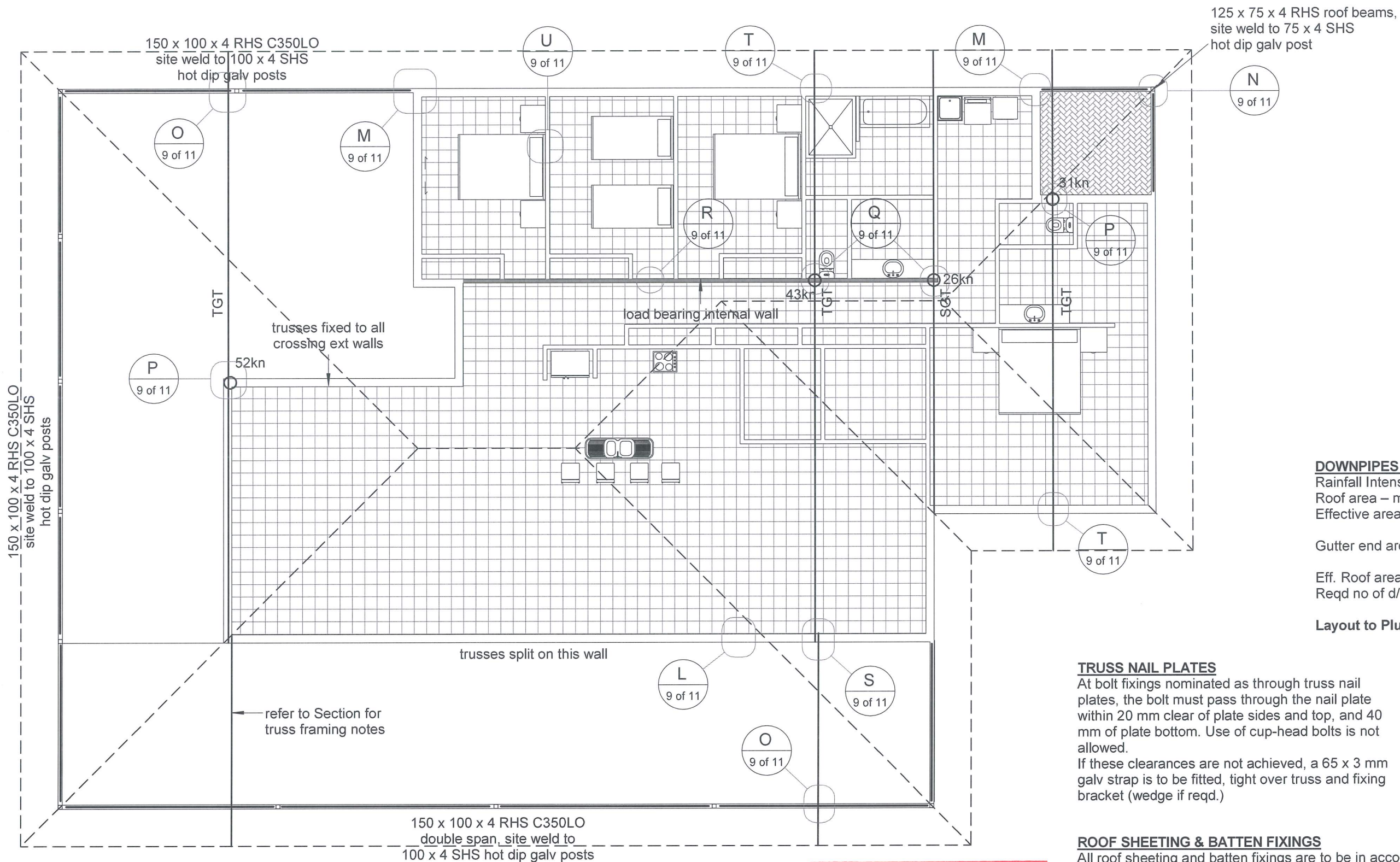


2 Left Elevation
1 : 100

STRUCTURAL DETAILS
ADEQUATE AS CERTIFIED

[Signature]
RODGERS
CONSULTING ENGINEERS

JOB NO: 190568 DATE: 12/12/19



DOWNPIPES to AS3500.3
 Rainfall Intensity = 260mm/hr
 Roof area – main = 506m²
 Effective area = 587m²
 Gutter end area = 7900mm²
 Eff. Roof area per d/pipe = 32.5m²
 Reqd no of d/pipes = 18 min

Layout to Plumbers design

TRUSS NAIL PLATES

At bolt fixings nominated as through truss nail plates, the bolt must pass through the nail plate within 20 mm clear of plate sides and top, and 40 mm of plate bottom. Use of cup-head bolts is not allowed.
 If these clearances are not achieved, a 65 x 3 mm galv strap is to be fitted, tight over truss and fixing bracket (wedge if reqd.)

ROOF SHEETING & BATTEN FIXINGS

All roof sheeting and batten fixings are to be in accordance with the manufacturer's specification for the required wind speed. The fixing systems for metal roof assemblies supplied by the manufacturer, are to comply with the Low-High-Low Cyclic testing requirements of the 'Building Code of Australia' (Specification B1.2 Volume 1 for Class 2 to 9 buildings) or (Section 3.10.1 Volume 2 for Class 1 & 10 buildings). A 'Compliance Certificate' will be requested from the 'Manufacturer' & the 'Installer'.

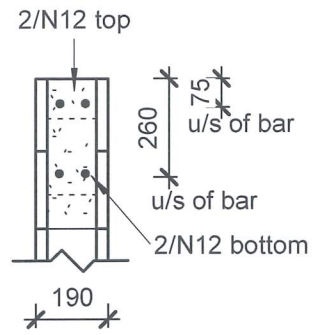
1 Roof Framing Plan
 1 : 100

**STRUCTURAL DETAILS
 ADEQUATE AS CERTIFIED**

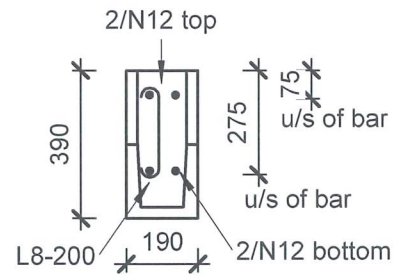
[Signature]
**RODGERS
 CONSULTING ENGINEERS**

JOB NO: 190568 DATE: 12/12/19
 CLIENT

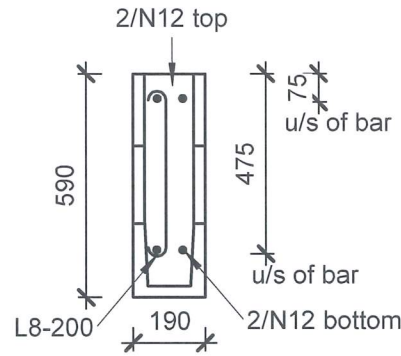
CLIENT	A. Dwyer	WIND CLASS	C2	PLAN NUMBER	101-19	SHEET	8 of 11
SCALES	1 : 100	PLAN TITLE	Roof Framing and Drainage Plan, Details		DATE OF ISSUE	12.12.19	REV
							A



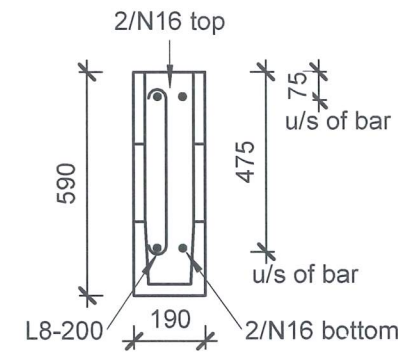
I Typical B/beam
1 : 20



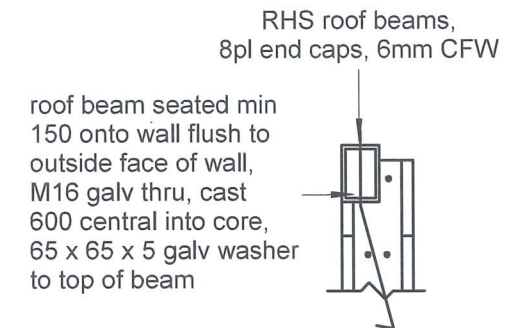
J Typical 400D Lintel
1 : 20



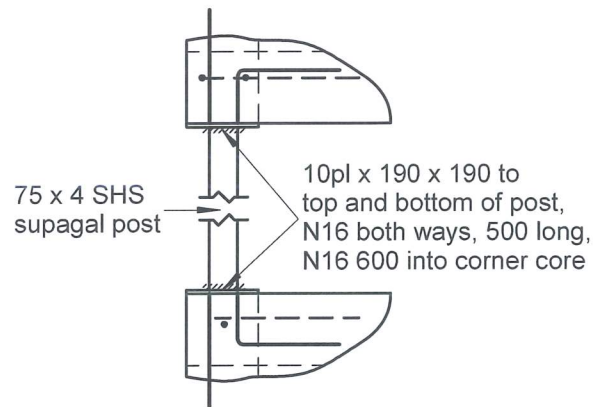
K Typical 600D Lintel
1 : 20



L L1 Lintel
1 : 20

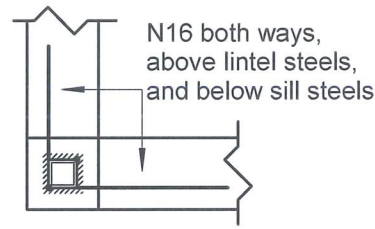


M RHS Beam on C. M. Wall
1 : 20

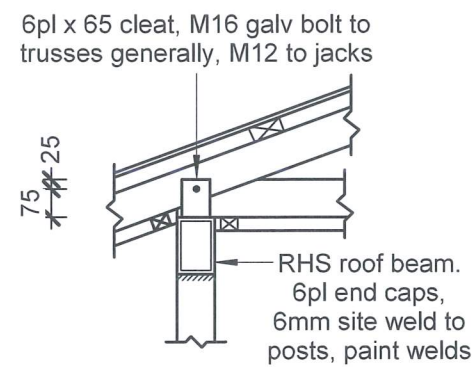


ELEVATION

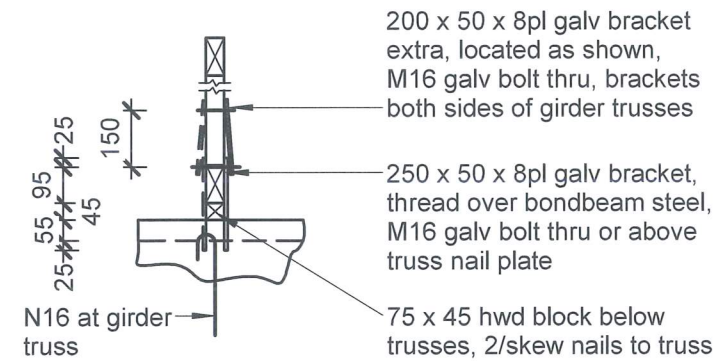
N SHS Corner Post
1 : 20



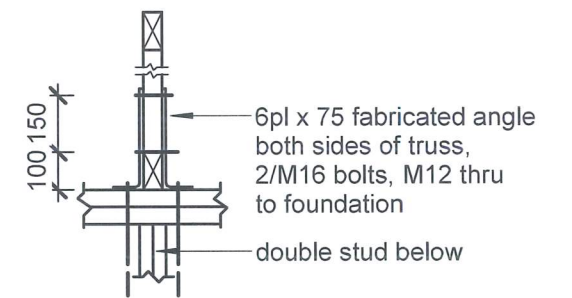
PLAN VIEW



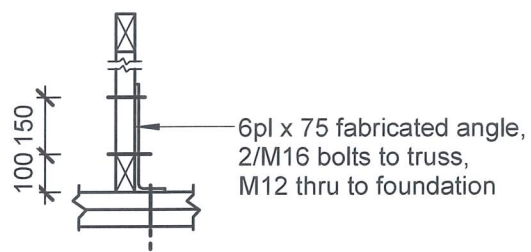
O Truss Heel to RHS Beam
1 : 20



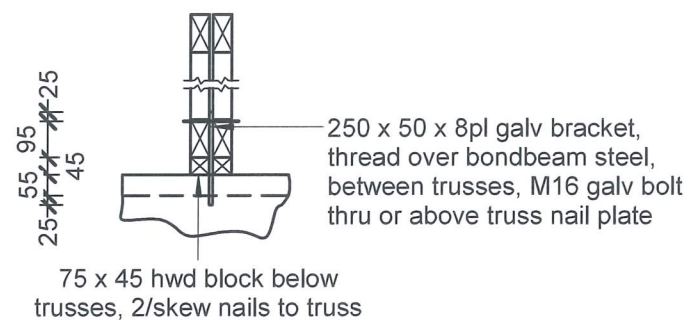
P Truss Mid-Point to CM Wall
1 : 20



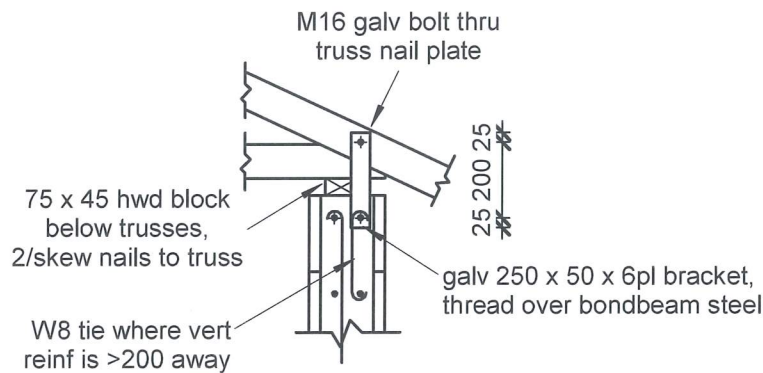
Q Girder Truss Over Stud Wall
1 : 20



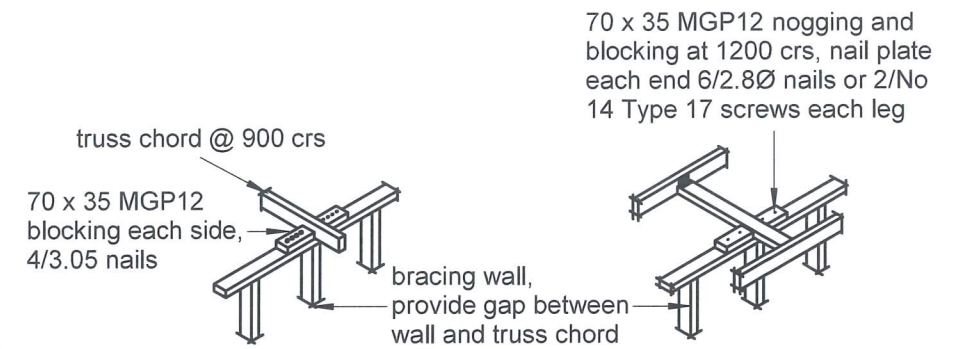
R Truss Over Stud Wall
1 : 20



S Lapped Trusses to CM Wall
1 : 20



T Truss heel to CM Wall
1 : 20



U Bracing Wall Top Fixing
1 : 50

**STRUCTURAL DETAILS
ADEQUATE AS CERTIFIED**

[Signature]
**RODGERS
CONSULTING ENGINEERS**

JOB NO: 190568 DATE: 12/12/19

**GREG SKYRING
Design and DRAFTING** Pty. Ltd.
Lic Under QBSA Act 1991 - No 1040371
11 Noli Close, Mossman Q. 4873
Phone/Fax: (07) 40982061
Mobile: 0419212652
Email: greg@skyringdesign.com.au

PROJECT
Proposed Residence,
L3 RP898230,
Santacattarina Road,
FINLAYVALE

CLIENT A. Dwyer	WIND CLASS C2	PLAN NUMBER 101-19	SHEET 9 of 11
SCALES As indicated	PLAN TITLE Wall and Roof Framing Details	DATE OF ISSUE 12.12.19	REV A

GMA Certification Group

BUILDING SURVEYORS

A.C.N 150 435 617

Leaders in Building Certification Services



Port Douglas Office

P: 07 4098 5150 **F:** 07 4098 5180 **E:** adminpd@gmacert.com.au

Unit 5, Owen Street

Craigie Business Park Craigie

PO Box 831 Port Douglas QLD 4877

16 Jan 2020

J Dwyer Building & Construction
P O Box 1435
MOSSMAN QLD 4873

Dear Jason,

Confirmation notice

**Re: GMA Certification Group Ref No. 20200140
Lot 3 on RP 898230
Santacatterina Rd FINLAYVALE 4873**

The development application described above was properly made to the GMA Certification Group on 14 Jan 2020

Public notification details

Part 4 of the Development Assessment Rules is not applicable to this development application.

Referral details

Part 2 of the Development Assessment Rules is applicable.

The development application must be referred to all relevant referral agency(s) within 10 business days starting the day after receiving this notice, or a further period agreed with the assessment manager; otherwise the application will lapse under section 31 of the Development Assessment Rules.

Yours sincerely,

Kyall Evans
GMA Certification Group