

14 May 2021

Chief Executive Officer  
Douglas Shire Council  
PO Box 723  
MOSSMAN QLD 4873

Attention: Development Assessment

Dear Sir/Madam

**RE: APPLICATION FOR Preliminary Approval – Building Works Assessable against the Planning Scheme (Shed) – Lot 5, Mahogany Road Diwan, Lot 5 on RP738674**

Rapid Building Approvals acting on behalf of the owners of the abovementioned land (Graeme Stevenson) We seek a **preliminary approval for building works assessable against the planning scheme** over land at Lot 5, Mahogany Road Diwan, Lot 5 on RP738674.

The property is zoned Conservation under the Douglas Shire Planning Scheme and requires a code assessable application for building work. The proposed shed is consistent with outcomes of the

Applicable Code	Compliance	Comment
Conservation Zone Code	<input checked="" type="checkbox"/>	Complies. See below code assessment.
Local Plan Diwan - Cow Bay Precinct 2	<input checked="" type="checkbox"/>	Complies with the code. The proposal is for a domestic outbuilding (shed) and is consistent with the outcomes of the precinct 2 area. There is no clearing required and the proposal and it does not result in any adverse impacts on the local Daintree area.
Natural Areas Overlay	<input checked="" type="checkbox"/>	Complies. The proposed shed is outside of the mapped area. The location of the proposed shed is already cleared.
Hillslopes Overlay	<input checked="" type="checkbox"/>	Complies. The proposed shed is outside of the mapped hillslopes area.
Landslide Hazard (High & Medium Hazard Risk)	<input checked="" type="checkbox"/>	Complies with the code. The proposed shed is outside of the mapped landslide hazard area and the proposed site for the shed is cleared and does not require further earthworks.

In support of this Development Application, the following material has been provided:

1. DA Form 1 and 2
2. Owners Consent
3. Response to relevant planning criteria
4. Plans
5. Application fee \$333.00

Should you require any further information or assistance in relation to this manner please don't hesitate to contact Ryan Bird on 07 4229 0835 or via email at [approvals@rapidapprovals.com.au](mailto:approvals@rapidapprovals.com.au)

Regards,  
Ryan Bird

**Conservation Zone Code**

Performance outcomes	Acceptable outcomes	Applicant response
<b>For assessable development</b>		
<p><b>PO1</b> The establishment of uses is consistent with the outcomes sought for the Conservation zone and protects the zone from the intrusion of inconsistent uses.</p>	<p><b>AO1</b> Uses identified in Table 6.2.3.3.b are not established in the Conservation zone.</p>	<p><b>Complies.</b> The proposal is for a domestic outbuilding (shed) which is consistent with the zoning outcomes.</p>
<p><b>PO2</b> The height of buildings is compatible with the character of the area and does not adversely affect the amenity of the area.</p>	<p><b>AO2</b> Buildings and structures are not more than 8.5 metres in height and two storeys. Note - Height is inclusive of roof height.</p>	<p><b>Complies.</b> The maximum height is 3.623 metres.</p>
<p><b>PO3</b> Development is setback from site boundaries so they are screened from view from the boundaries of adjoining properties and adjoining roads to maintain the scenic values of the area.</p>	<p><b>AO3</b> Buildings and structures are setback not less than: (a) 40 metres from the frontage of a State-controlled road, existing or proposed arterial road, existing or proposed sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2; (b) 25 metres from Cape Tribulation Road frontage; (c) 20 metres from any other road frontage (d) 10 metres from side and rear boundaries.</p>	<p><b>Complies with all setbacks.</b></p>
<p><b>PO4</b> The site coverage of all buildings and structures does not have an adverse effect on the conservation or scenic amenity values of the site and surrounding area and buildings are subservient to the natural environment.</p>	<p><b>AO4</b> Development is sited in an existing cleared area or an area approved for clearing, but which is not yet cleared until a development permit to carry out Building Works is issued. Any clearing is limited to a maximum area of 700m<sup>2</sup> and is sited clear of the high bank of any watercourse.</p> <p>Note – The 700m<sup>2</sup> area of clearing does not include an access driveway.</p>	<p><b>Complies.</b> The area for the shed is located adjacent to the dwelling house on a cleared pad.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO5</b> Development is consistent with the overall outcomes sought for the Conservation zone.</p>	<p><b>AO5</b> No acceptable outcomes are prescribed.</p>	<p><b>Complies.</b> Domestic outbuildings are consistent with the overall outcomes of the Conservation Zone.</p>

# DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Phill & Gina David
Contact name <i>(only applicable for companies)</i>	Scott Wheeler C/- RAPID Building Approvals
Postal address <i>(P.O. Box or street address)</i>	82 Suite 2, Level 2, Grafton Street
Suburb	Cairns
State	QLD
Postcode	4870
Country	Australia
Contact number	
Email address <i>(non-mandatory)</i>	approvals@rapidapprovals.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	0894/21
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

Street address **AND** lot on plan (all lots must be listed), **or**

Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Mahogany Road	Diwan
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	5	RP738674	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**  
*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

<b>6.1) Provide details about the first development aspect</b>
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input checked="" type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input checked="" type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Shed
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms guide: Relevant plans</a>.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
<b>6.2) Provide details about the second development aspect</b>
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
<b>6.3) Additional aspects of development</b>
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input checked="" type="checkbox"/> Not required

## Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m <sup>2</sup> ) <i>(if applicable)</i>

8.2) Does the proposed use involve the use of existing buildings on the premises?	
<input type="checkbox"/> Yes	
<input type="checkbox"/> No	

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	

9.2) What is the nature of the lot reconfiguration? <i>(tick all applicable boxes)</i>	
<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below	
<input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

**11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?**

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment**

**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?**

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**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work**

*Note: This division is only required to be completed if any part of the development application involves operational work.*

**14.1) What is the nature of the operational work?**

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

<input type="checkbox"/> Yes – specify number of new lots: _____
<input type="checkbox"/> No

**14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)**

\$ _____
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**PART 4 – ASSESSMENT MANAGER DETAILS**

**15) Identify the assessment manager(s) who will be assessing this development application**

Douglas Shire Council
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**16) Has the local government agreed to apply a superseded planning scheme for this development application?**

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No



## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the <b>Chief Executive of the distribution entity or transmission entity:</b> <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> <li>• The <b>Chief Executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the <b>Brisbane City Council:</b> <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the <b>Minister responsible for administering the Transport Infrastructure Act 1994:</b> <input type="checkbox"/> Ports – Brisbane core port land ( <i>where inconsistent with the Brisbane port LUP for transport reasons</i> ) <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the <b>relevant port operator</b> , if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits ( <i>below high-water mark</i> )
Matters requiring referral to the <b>Chief Executive of the relevant port authority:</b> <input type="checkbox"/> Ports – Land within limits of another port ( <i>below high-water mark</i> )
Matters requiring referral to the <b>Gold Coast Waterways Authority:</b> <input type="checkbox"/> Tidal works or work in a coastal management district ( <i>in Gold Coast waters</i> )
Matters requiring referral to the <b>Queensland Fire and Emergency Service:</b> <input type="checkbox"/> Tidal works or work in a coastal management district ( <i>involving a marina (more than six vessel berths)</i> )

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application , or include details in a schedule to this development application ( <i>if applicable</i> ).		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i>
<ul style="list-style-type: none"> <li>• <i>that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</i></li> <li>• <i>Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</i></li> </ul>
<i>Further advice about information requests is contained in the <a href="#">DA Forms Guide</a>.</i>

## PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$ 0.00		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No

23) Further legislative requirements			
<b>Environmentally relevant activities</b>			
23.1) Is this development application also taken to be an application for an environmental authority for an <b>Environmentally Relevant Activity (ERA)</b> under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <i>Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at <a href="http://www.qld.gov.au">www.qld.gov.au</a>. An ERA requires an environmental authority to operate. See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information.</i>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
<b>Hazardous chemical facilities</b>			
23.2) Is this development application for a <b>hazardous chemical facility</b> ?			
<input type="checkbox"/> Yes – <i>Form 69: Notification of a facility exceeding 10% of schedule 15 threshold</i> is attached to this development application <input checked="" type="checkbox"/> No <i>Note: See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information about hazardous chemical notifications.</i>			

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

**Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

**Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

**Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the ‘Notice Accepting a Failure Impact Assessment’ from the chief executive administering the *Water Supply Act* is attached to this development application
- No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

**Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
  - Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - A certificate of title
- No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

**Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government’s **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
- No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

**Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
- No

**Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- No

### Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- No

**Note:** See guidance materials at [www.planning.dsdmip.qld.gov.au](http://www.planning.dsdmip.qld.gov.au) for further information.

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <b>Note:</b> See the <i>Planning Regulation 2017</i> for referral requirements	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <a href="#">DA Form 2 – Building work details</a> have been completed and attached to this development application	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application <b>Note:</b> This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see <a href="#">DA Forms Guide: Planning Report Template</a> .	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <b>Note:</b> Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a> .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

### 25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*
- Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

# PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

Notification of engagement of alternative assessment manager			
Prescribed assessment manager			
Name of chosen assessment manager			
Date chosen assessment manager engaged			
Contact number of chosen assessment manager			
Relevant licence number(s) of chosen assessment manager			
QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work		Shed	
QLeave project number			
Amount paid (\$)	\$ 0.00	Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager		05/07/2021	
Name of officer who sighted the form		Scott Wheeler	

# DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Totalspan Cairns C/- Rapid Building Approvals
Contact name (only applicable for companies)	Scott Wheeler
Postal address (PO Box or street address)	610 Bruce Highway
Suburb	Woree
State	QLD
Postcode	4868
Country	
Contact number	0740546122
Email address (non-mandatory)	cairns@totalspan.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	0894/21

## PART 2 – LOCATION DETAILS

### 2) Location of the premises (complete 2.1 and 2.2 if applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 2.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

Unit No.	Street No.	Street Name and Type	Suburb
		Mahogany Road	Diwan



Queensland  
Government



Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	5	RP738674	Douglas Shire Council

**2.2) Additional premises**

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

**3) Are there any existing easements over the premises?**

**Note:** Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – FURTHER DETAILS

**4) Is the application only for building work assessable against the building assessment provisions?**

- Yes – proceed to 8)
- No

**5) Identify the assessment manager(s) who will be assessing this development application**

*Douglas Shire Council*

**6) Has the local government agreed to apply a superseded planning scheme for this development application?**

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

**7) Information request under Part 3 of the DA Rules**

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

**8) Are there any associated development applications or current approvals?**

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

**9) Has the portable long service leave levy been paid?**

- Yes – a copy of the receipted QLeave form is attached to this development application

<input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLLeave levy number (A, B or E)
\$ 0.00		
<b>10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?</b>		
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input type="checkbox"/> No		

<b>11) Identify any of the following further legislative requirements that apply to any aspect of this development application</b>		
<input type="checkbox"/> The proposed development is on a place entered in the <b>Queensland Heritage Register</b> or in a local government's <b>Local Heritage Register</b> . See the guidance provided at <a href="http://www.des.qld.gov.au">www.des.qld.gov.au</a> about the requirements in relation to the development of a Queensland heritage place		
Name of the heritage place:		Place ID:

## PART 4 – REFERRAL DETAILS

<b>12) Does this development application include any building work aspects that have any referral requirements?</b>	
<input type="checkbox"/> Yes – the <i>Referral checklist for building work</i> is attached to this development application <input checked="" type="checkbox"/> No – proceed to Part 5	

<b>13) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)		

## PART 5 – BUILDING WORK DETAILS

<b>14) Owner's details</b>	
<input type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) (individual or company full name)	Phill & Gina David
Contact name (applicable for companies)	Phill & Gina David
Postal address (P.O. Box or street address)	PO Box 7888
Suburb	Cairns
State	Queensland
Postcode	4870
Country	
Contact number	
Email address (non-mandatory)	pg.davis@hotmail.com

Mobile number <i>(non-mandatory)</i>	0438899985		
Fax number <i>(non-mandatory)</i>			
<b>15) Builder's details</b>			
<input type="checkbox"/> Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.			
Name(s) <i>(individual or company full name)</i>	Totalspan Cairns		
Contact name <i>(applicable for companies)</i>			
QBCC licence or owner – builder number	1034551		
Postal address <i>(P.O. Box or street address)</i>	PO Box 723		
Suburb	Edge Hill		
State	QLD		
Postcode	4870		
Contact number	0740546122		
Email address <i>(non-mandatory)</i>	cairns@totalspan.com.au		
Mobile number <i>(non-mandatory)</i>			
Fax number <i>(non-mandatory)</i>			
<b>16) Provide details about the proposed building work</b>			
What type of approval is being sought?			
<input type="checkbox"/> Development permit <input checked="" type="checkbox"/> Preliminary approval			
b) What is the level of assessment?			
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>			
c) Nature of the proposed building work (tick all applicable boxes)			
<input checked="" type="checkbox"/> New building or structure <input type="checkbox"/> Change of building classification <i>(involving building work)</i> <input type="checkbox"/> Demolition			
<input type="checkbox"/> Repairs, alterations or additions <input type="checkbox"/> Swimming pool and/or pool fence <input type="checkbox"/> Relocation or removal			
d) Provide a description of the work below or in an attached schedule.			
Shed			
e) Proposed construction materials			
External walls	<input type="checkbox"/> Double Brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick Veener	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other
f) Existing building use/classification? <i>(if applicable)</i>			
Vacant Land			
g) New building use/classification? <i>(if applicable)</i>			
10a			
h) Relevant plans			

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Relevant plans of the proposed works are attached to the development application

**17) What is the monetary value of the proposed building work?**

**\$51,396.00**

**18) Has Queensland Home Warranty Scheme Insurance been paid?**

Yes – provide details below

No

Amount paid	Date paid (dd/mm/yy)	Reference number
\$557.40	29/04/21	14248991

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

**19) Development application checklist**

The relevant parts of *Form 2 – Building work details* have been completed  Yes

This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed *Form 1 – Development application details*  Yes  
 Not applicable

Relevant plans of the development are attached to this development application  
**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).  Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (*see 9*)  Yes  
 Not applicable

**20) Applicant declaration**

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:

Reference numbers:

For completion by the building certifier

Classification(s) of approved building work		
10a		
Name	QBCC Certification Licence number	QBCC Insurance receipt number
Scott Wheeler	A15149770	14248991

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

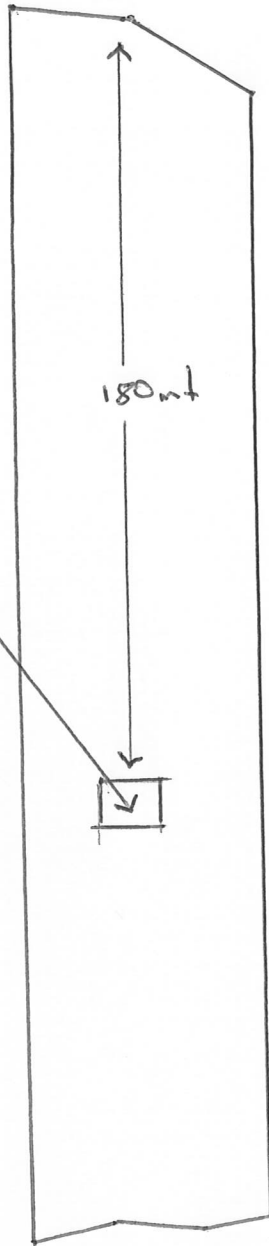
Additional information required by the local government			
Confirm proposed construction materials:			
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work		Shed	
QLeave project number			
Amount paid (\$)	0.0000	Date paid (dd/mm/yy)	
Date received form sighted by assessment manager			
Name of officer who sighted the form		Scott Wheeler	

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? (if applicable)		Vacant Land	
New building use/classification?		10a	
Site area (m <sup>2</sup> )	16290m <sup>2</sup>	Floor area (m <sup>2</sup> )	84m <sup>2</sup>

# TOTALSPAN BUILDING PLAN

Maghogany Road.



Proposed  
12 x 7 x 2.7  
Shed.

Note The site is flat & cleared there are no trees or vegetation to be removed.

x 20 mt x  
x 25 mt x

\*Construction to be in accordance with Engineering plans Attached. \*Storm Water to be connected to approved system by owner.

Owner : P & G Davis  
Site Add : Lot 5 Maghogany Road  
: Diwan QLD 4870  
Postal Add :  
Contact No: 0438 899 985

Lot No: 5  
Reg Plan: RP738674  
I/we agree with siting as shown:  
Client Signature: \_\_\_\_\_

Builder : Steven Capocchi  
QBCC No : 1034551  
Address : Po Box 723, Edge Hill,  
: Qld. 4870  
Drawn By : Alan Mosley  
Contact No: Office: 40 546 122

# ENGINEERING

## CONTENTS

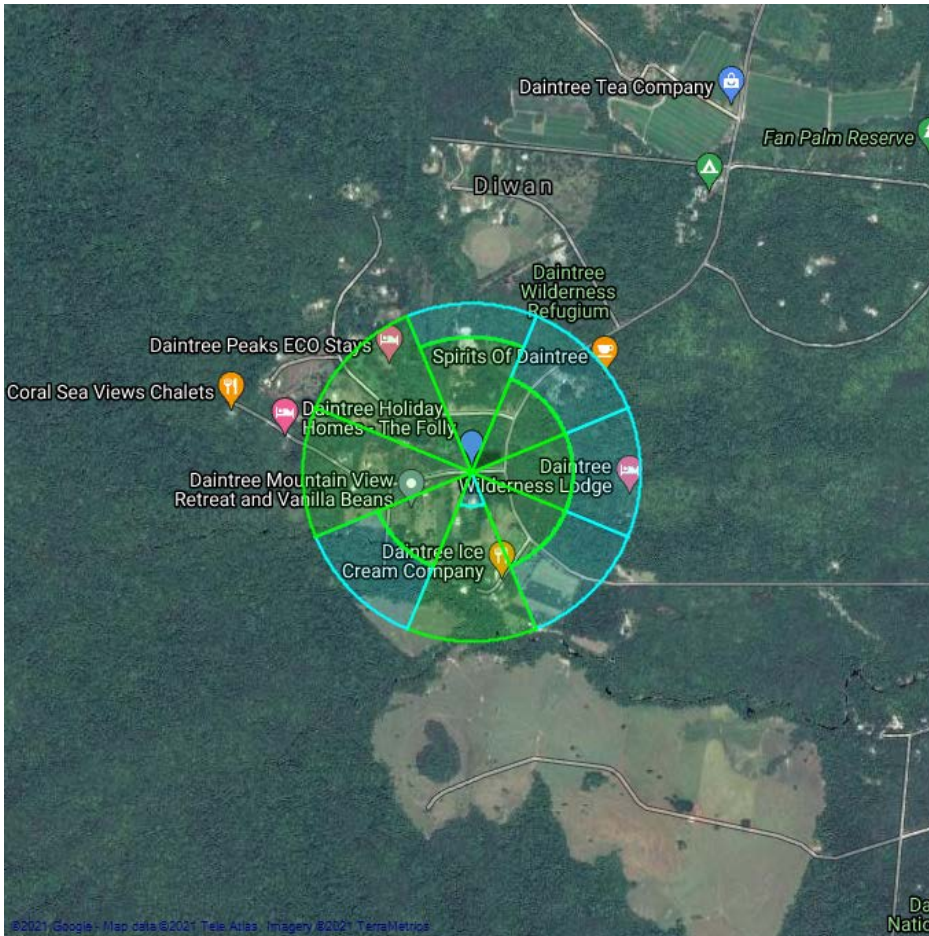
Cover Sheet	1
Site Plan	2
Plans and Elevations	3
SBP-S1 Rev.A Engineering Table	6
SBP-S2 Rev.A General Notes and Specs	7
SBP-S3 Rev.A Typical Connection Details	8
SBP-S4 Rev.A Intermediate Portal Connection Details	9
SBP-S5-S6 Rev.A Gable and Side Wall Openings	10
SBP-S7 Rev.A Hold Down and Misc	12
SBP-S8 Rev.A Uprights/Bracing	13
SBP-S10 Rev.A Garaports	14
SBP-S11-S12-S13 Rev.A Slabs	15



# Site Specific Windspeed Report



		Major Structural Elements	Cladding and Immediate Supporting Elements
<b>Wind Region:</b>	<b>C</b>	<b>Terrain Category (TC):</b>	<b>2.0</b>
Latitude:	-16.2103552	Critical Direction:	WEST Wind
Longitude:	145.4036251	Md:	0.95
Elevation:	29.50	Mz, cat:	0.91
Importance Level:	2	Ms:	1.00
Average Height:	3.16	Mt:	1.00
<b>ULTIMATE VR:</b>	<b>69 m/s</b>	<b>WIND SPEED (V<sub>sit</sub>, β):</b>	<b>59.65 m/s</b>
<b>ULTIMATE ARI:</b>	<b>vr_500</b>	<b>WIND PRESSURE (q<sub>sit</sub>, β):</b>	<b>2.1349 kPa</b>
			<b>62.79 m/s</b>
			<b>2.3656 kPa</b>



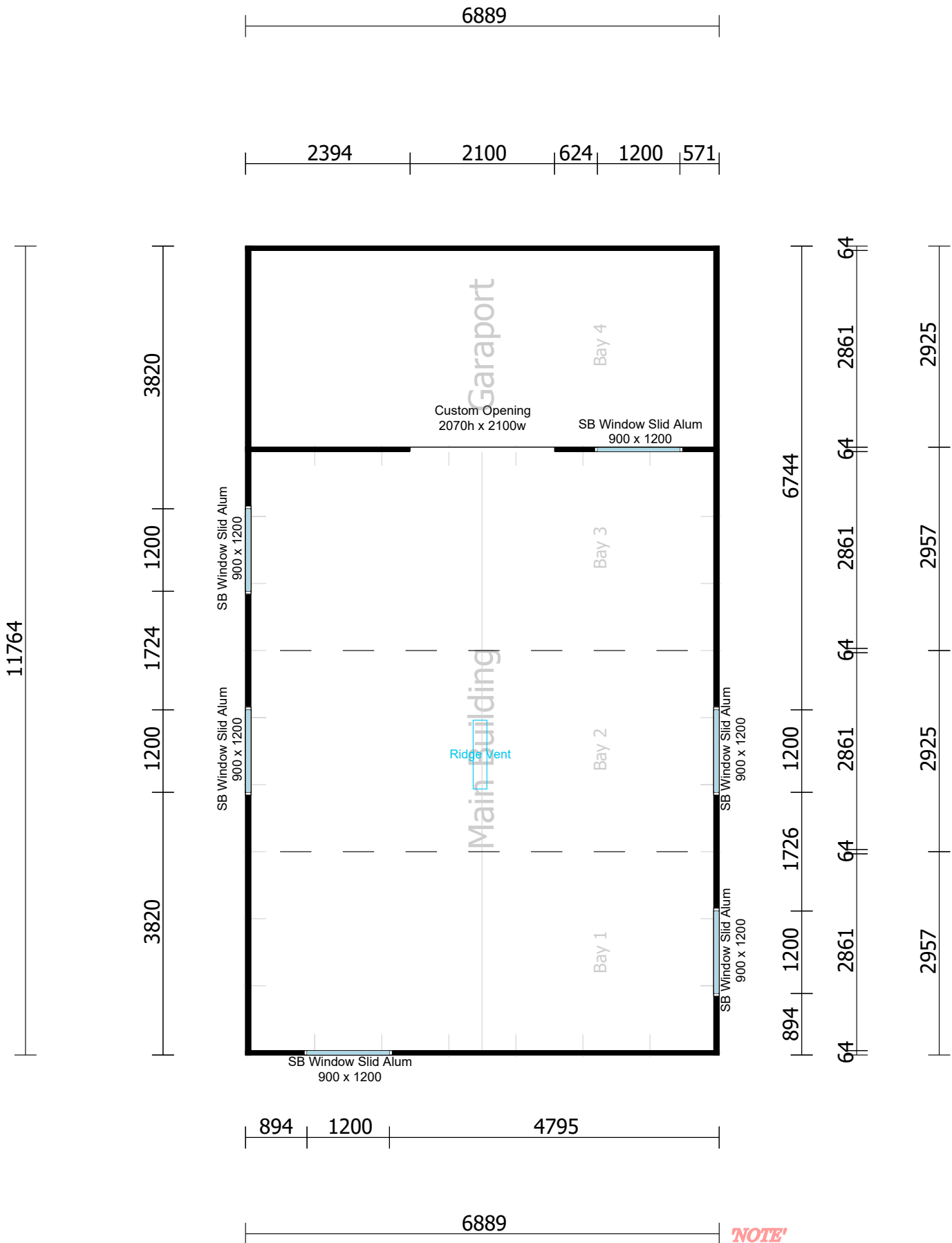
Legend	
	T.C.1
	T.C.1.5
	T.C.2
	T.C.2.5
	T.C.3
	T.C.4

Customer Name: \_\_\_\_\_ Phill Davies  
 Site Address: \_\_\_\_\_ Lot 5 Maghogany Road DIWAN 4873 QLD Australia  
 Project Reference: \_\_\_\_\_ 247960









**NOTE'**  
 Drawings are not construction issue.  
 Shop drawings (For Construction) will  
 be detailed prior to fabrication.

Scale 1:76

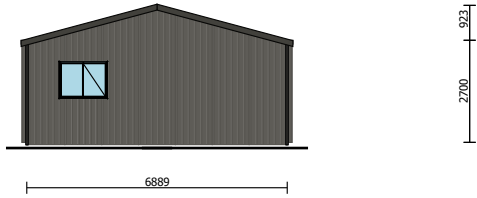
\* All Dimensions in mm. Colours shown are examples only. For exact colour samples see your local Totalspan AUS representative.

SC & GS Family Trust  
 610 Bruce High Way, Woree, CAIRNS, QLD, 4868, Australia  
 Phone: 07 4054 6122  
 Fax: 07 4054 6133  
 Email: cairns@totalspan.com.au

For: Phill & Gina Davis  
 Lot 5 Maghogany Road  
 Cowbay  
 DIWAN, QLD  
 Australia, 4873

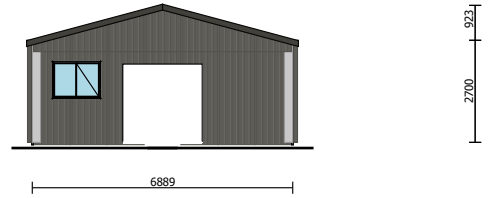
Portal Building Platinum  
 Project Number: 2479-247960J1.5  
 DP Number:  
 29/04/2021  
 Page 1 of 2





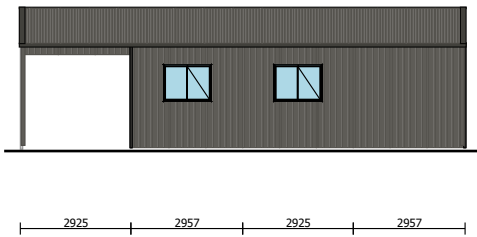
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\* All Dimensions in mm. Colours shown are examples only. For exact colour samples see your local Totalspan AUS representative



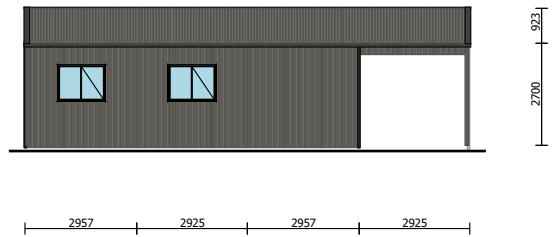
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\* All Dimensions in mm. Colours shown are examples only. For exact colour samples see your local Totalspan AUS representative



Scale 1:200

\* All Dimensions in mm. Colours shown are examples only. For exact colour samples see your local Totalspan AUS representative



Scale 1:200

\* All Dimensions in mm. Colours shown are examples only. For exact colour samples see your local Totalspan AUS representative

***NOTE***  
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 be detailed prior to fabrication.*

SC & GS Family Trust  
 610 Bruce High Way, Woree, CAIRNS, QLD, 4868, Australia  
 Phone: 07 4054 6122  
 Fax: 07 4054 6133  
 Email: cairns@totalspan.com.au

For: Phill & Gina Davis  
 Lot 5 Maghogany Road  
 Cowbay  
 DIWAN, QLD  
 Australia, 4873

Portal Building Platinum  
 Project Number: 2479-247960J1.5  
 DP Number:

29/04/2021  
 Page 2 of 2



# Form 15—Compliance certificate for building design or specification

Version 4 – July 2017

**NOTE:** This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.  
**RESTRICTION:** A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

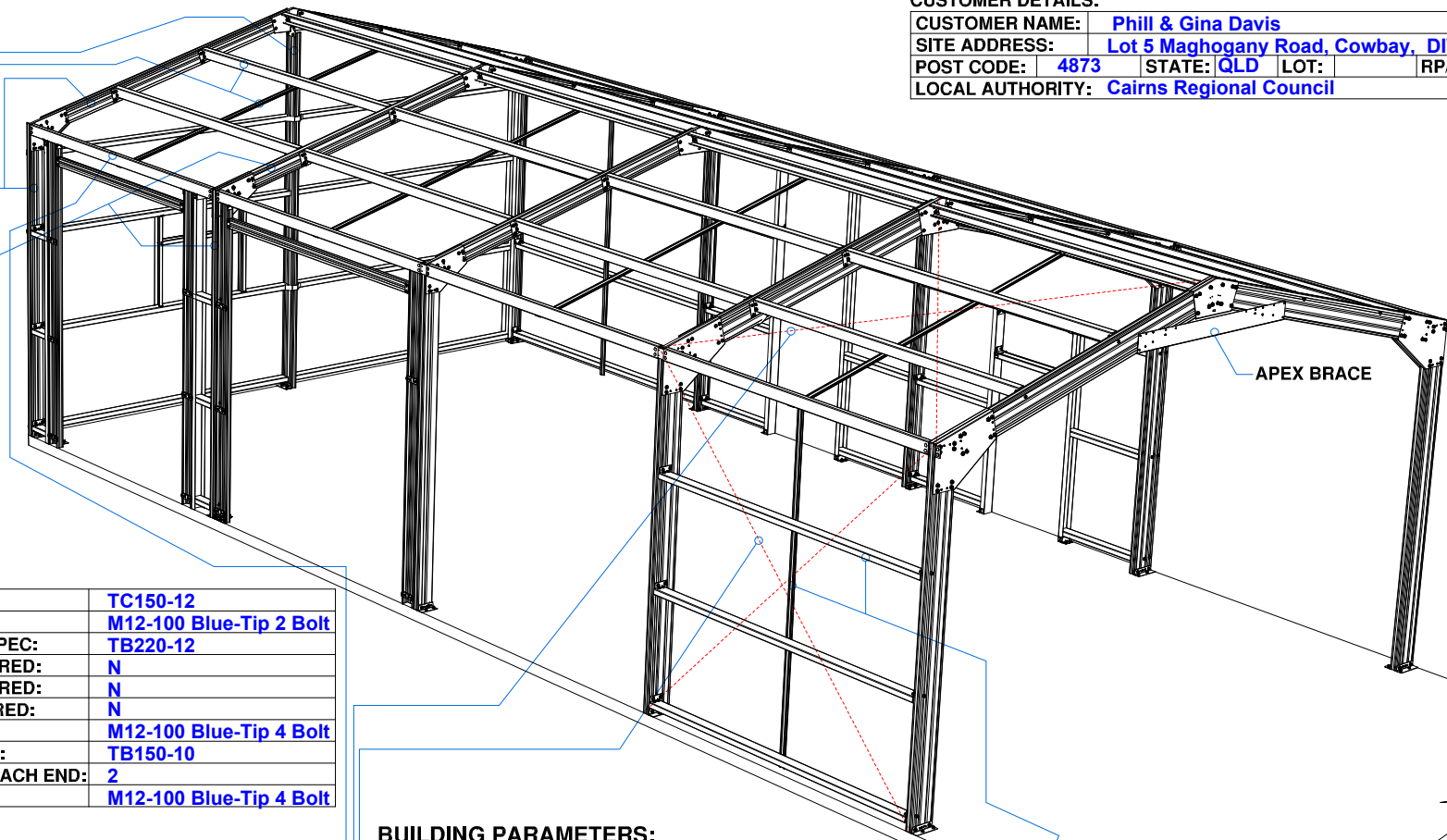
<p><b>1. Property description</b> This section need only be completed if details of street address and property description are applicable.</p>	<p><b>Street address</b> (include no., street, suburb/locality and postcode)  <input type="text" value="Lot 5 Maghogany Road, Cowboy, DIWAN"/></p> <p><b>Lot and plan details</b> (attach list if necessary)  <input type="text" value="Lot SP/RP"/></p> <p><b>In which local government area is the land situated?</b>  <input type="text" value="Cairns Regional Council"/></p>														
<p><b>2. Description of component/s certified</b></p>	<p><input type="text" value="Summermore Pty Ltd confirm that we have designed the Cold Formed Steel Portal Framed Shed as detailed on the attached drawing sheets."/></p>														
<p><b>3. Basis of certification</b></p>	<p><input type="text" value="AS/NZS1170.0, AS/NZS1170.1, AS/NZS1170.2, AS3600, AS2870, AS4100, AS/NZS4600, AS4505."/></p>														
<p><b>4. Reference documentation</b></p>	<table border="0"> <tr> <td>SBP-S1 Rev.A Engineering Table</td> <td>SBP-S10 Rev.A Garaports</td> </tr> <tr> <td>SBP-S2 Rev.A General Notes and Specs</td> <td>SBP-S11-S12-S13 Rev.A Slabs</td> </tr> <tr> <td>SBP-S3 Rev.A Typical Connection Details</td> <td>LHL Compliance Report TS1100</td> </tr> <tr> <td>SBP-S4 Rev.A Intermediate Portal Connection Details</td> <td></td> </tr> <tr> <td>SBP-S5-S6 Rev.A Gable and Side Wall Openings</td> <td></td> </tr> <tr> <td>SBP-S7 Rev.A Hold Down and Misc</td> <td></td> </tr> <tr> <td>SBP-S8 Rev.A Uprights/Bracing</td> <td></td> </tr> </table>	SBP-S1 Rev.A Engineering Table	SBP-S10 Rev.A Garaports	SBP-S2 Rev.A General Notes and Specs	SBP-S11-S12-S13 Rev.A Slabs	SBP-S3 Rev.A Typical Connection Details	LHL Compliance Report TS1100	SBP-S4 Rev.A Intermediate Portal Connection Details		SBP-S5-S6 Rev.A Gable and Side Wall Openings		SBP-S7 Rev.A Hold Down and Misc		SBP-S8 Rev.A Uprights/Bracing	
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SBP-S5-S6 Rev.A Gable and Side Wall Openings															
SBP-S7 Rev.A Hold Down and Misc															
SBP-S8 Rev.A Uprights/Bracing															
<p><b>5. Building certifier reference number</b></p>	<p><b>Building certifier reference number</b>  <input type="text"/></p>														
<p><b>6. Competent person details</b></p>	<p><b>Name</b> (in full)  <input type="text" value="Ronald Albert BELL"/></p> <p><b>Company name</b> (if applicable) <input type="text" value="Summermore Pty Ltd"/> <b>Contact person</b> <input type="text" value="Ronald Bell"/></p> <p><b>Phone no.</b> (business hours) <input type="text" value="07 3800 0973"/> <b>Mobile no.</b> <input type="text" value="0438 288 116"/> <b>Fax no.</b> <input type="text" value="07 3800 1860"/></p> <p><b>Email address</b>  <input type="text" value="ron@summermore.com.au"/></p> <p><b>Postal address</b>  <input type="text" value="PO Box 1671, Browns Plains BC, Queensland, 4118."/></p> <p><b>Licence or registration number</b> (if applicable)  <input type="text" value="RPEQ 6715"/></p>														
<p><b>7. Signature of competent person</b></p>	<table border="0"> <tr> <td data-bbox="442 1664 1002 1975"> <p><b>Signature</b></p> <div style="border: 1px solid black; padding: 5px;"> <p style="text-align: center;"><b>Ronald A. Bell</b> Registered Professional Engineer Grad Cert (Tech Mgt), BEng Civil (Hons), PEng, MIEAust (891940), CMEngNZ (1027605)</p> <p style="text-align: center;"><b>05-05-2021</b></p> <p>Signed _____ RPEQ (6715), RBP(NT) (60596ES), RBP(Wig) (EC27967), RBP(Tas)(CC5556), MAIB (9225), JP(Qual).</p> <p style="text-align: center; border-top: 1px solid black;"><b>STRUCTURAL DETAILS CONCURRED</b></p> </div> </td> <td data-bbox="1002 1664 1517 1975"> <p><b>Date</b></p> <p style="text-align: center; font-size: 24pt;"><b>05-05-2021</b></p> </td> </tr> </table>	<p><b>Signature</b></p> <div style="border: 1px solid black; padding: 5px;"> <p style="text-align: center;"><b>Ronald A. Bell</b> Registered Professional Engineer Grad Cert (Tech Mgt), BEng Civil (Hons), PEng, MIEAust (891940), CMEngNZ (1027605)</p> <p style="text-align: center;"><b>05-05-2021</b></p> <p>Signed _____ RPEQ (6715), RBP(NT) (60596ES), RBP(Wig) (EC27967), RBP(Tas)(CC5556), MAIB (9225), JP(Qual).</p> <p style="text-align: center; border-top: 1px solid black;"><b>STRUCTURAL DETAILS CONCURRED</b></p> </div>	<p><b>Date</b></p> <p style="text-align: center; font-size: 24pt;"><b>05-05-2021</b></p>												
<p><b>Signature</b></p> <div style="border: 1px solid black; padding: 5px;"> <p style="text-align: center;"><b>Ronald A. Bell</b> Registered Professional Engineer Grad Cert (Tech Mgt), BEng Civil (Hons), PEng, MIEAust (891940), CMEngNZ (1027605)</p> <p style="text-align: center;"><b>05-05-2021</b></p> <p>Signed _____ RPEQ (6715), RBP(NT) (60596ES), RBP(Wig) (EC27967), RBP(Tas)(CC5556), MAIB (9225), JP(Qual).</p> <p style="text-align: center; border-top: 1px solid black;"><b>STRUCTURAL DETAILS CONCURRED</b></p> </div>	<p><b>Date</b></p> <p style="text-align: center; font-size: 24pt;"><b>05-05-2021</b></p>														

LOCAL GOVERNMENT USE ONLY

<p><b>Date received</b></p>	<p><b>Reference Number/s</b></p>
-----------------------------	----------------------------------

**CUSTOMER DETAILS:**

CUSTOMER NAME:	Phill & Gina Davis				
SITE ADDRESS:	Lot 5 Maghogany Road, Cowbay, DIWAN				
POST CODE:	4873	STATE:	QLD	LOT:	RP/SP:
LOCAL AUTHORITY: Cairns Regional Council					



**MEMBER SCHEDULE:**

**PORTAL FRAMING:**

END PORTAL SPEC:	TC150-12
- HOLD DOWN SPEC:	M12-100 Blue-Tip 2 Bolt
INTERMEDIATE PORTAL SPEC:	TB220-12
- APEX BRACE REQUIRED:	N
- KNEE BRACE REQUIRED:	N
- STIFFENERS REQUIRED:	N
- HOLD DOWN SPEC:	M12-100 Blue-Tip 4 Bolt
END WALL UPRIGHT SPEC:	TB150-10
- QTY OF UPRIGHTS EACH END:	2
- HOLD DOWN SPEC:	M12-100 Blue-Tip 4 Bolt

**OTHER ELEMENTS:**

MAX. GIRT SPACING (m):	0.85333333333
END GIRT SPEC:	C100-12
- QTY OF BRIDGING:	1
SIDE GIRT SPEC:	C100-12
- QTY OF BRIDGING:	1
MAX. ROOF PURLIN SPACING (m):	0.9
ROOF PURLIN SPEC:	C100-15
- QTY OF BRIDGING:	1
GUTTER PURLIN SPEC:	G100-15
ROOF BRACING SPEC:	50x1.0 Strap
SIDE WALL BRACING SPEC:	50x1.0 Strap
- QTY OF BRACES:	4
END WALL BRACING SPEC:	50x1.0 Strap
- QTY OF BRACES:	4

**BUILDING PARAMETERS:**


SPAN:	6.889 m
LENGTH:	8.839 m
EAVE HEIGHT:	2.7 m
ROOF PITCH:	15°
BAY SIZE:	2.957 m
QTY OF BAYS:	3
ROOF CLADDING PROFILE:	Corrugated 0.42mm
WALL CLADDING PROFILE:	7rib 0.42mm

**DESIGN PARAMETERS:**

OPENED/CLOSED DESIGN:	Open
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Please refer to attached windspeed calculations

Summermore Pty Ltd  
Consulting Engineers  
ACN: 108 898 433  
ABN: 42 108 898 433  
info@summermore.com.au  
www.summermore.com.au  
PO Box 1671  
Browns Plains BC, QLD 4111  
Phone: 07 3500 0973  
Fax: 07 3500 1850



I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.  
Ronald A Bell

Ronald A Bell  
Registered Professional Engineer  
Civil/Gen/Earth/Mech/Struct/Steel/Struct  
REGAuss (891940), CMEM(Q) (1027670), CPEng, NER, APEC Engineer, InfPE(Qld)  
**06JUL2020**  
Signed  
RPTC 67170, BRPNT 609948, BRVVA 6C27967, BRTHAUC63556MAMB 0529, 070248  
STRUCTURAL DETAILS CONCURRED

**STEEL SHEDS**  
AUSTRALIA  
ACN 635 514 304  
74 Platinum St Crestmead  
Brisbane QLD 4132  
PH: (07) 3827 8000 FAX: (07) 3803 2315

GENERIC PORTAL BUILDINGS

MEMBER SCHEDULE

SPANBILD NO:  
**SBP-S1**  
**REV A**

REVISION SUFFIX



# GENERAL NOTES:

**CERTIFICATION**  
 1. THESE DRAWINGS ARE VALID ONLY WHEN ENDORSED BY A SEPARATE DESIGN CERTIFICATE THAT IS VALID FOR THE DATE OF ISSUE AND CONSTRUCTION.

**GENERAL**  
 1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, ANY DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.  
 2. ALL DIMENSIONS TO BE CHECKED BY THE CONTRACTOR BEFORE COMMENCING WORK.  
 3. WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH RELEVANT CURRENT AUSTRALIAN STANDARDS, BCA AND LOCAL AUTHORITY BYLAW  
 4. DRAWINGS SHALL NOT BE SCALED FOR ANY FABRICATION OR ERECTION DETAILS.  
 5. AT SETOUT, DIAGONALS MUST BE CAREFULLY CHECKED TO ENSURE BUILDING IS SQUARE.  
 6. OBTAIN NECESSARY PERMITS AND APPROVALS FROM RELEVANT AUTHORITIES BEFORE COMMENCING WORK ON SITE.  
 7. THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION DURING ERECTION AND NO COMPONENT SHALL BE OVERSTRESSED. TEMPORARY ROOF &/OR WALL BRACING MAY BE REQUIRED DURING CONSTRUCTION.

**LOADINGS**  
 1. THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LOADS:  
 1.1 LIVE LOAD-0.25kpa IN ACCORDANCE WITH AS/NZS 1170.1  
 1.2 WIND LOAD CALCULATED IN ACCORDANCE WITH AS/NZS 1170.2:2011  
 2. A WIND SPEED CALCULATOR HAS BEEN USED TO DETERMINE THE SITE WIND SPEED FOR THE FOLLOWING VARIABLES.  
 - IMPORTANCE LEVEL  
 - REGIONAL WIND SPEED - (Vr)  
 - CYCLONIC FACTOR - (Fc Fd)  
 - DIRECTIONAL MULTIPLIER - (Md)  
 - TERRAIN HEIGHT MULTIPLIER - (Mz CAT)  
 - TOPOGRAPHIC MULTIPLIER - (Mt)  
 - SITE SHIELDING - (Ms)

PLEASE REFER TO WIND SPEED SITE REPORT PROVIDED WITH THIS DOCUMENT.

**STEELWORK**  
 1. ALL STRUCTURAL FRAMING MEMBERS SHALL BE G550 - G450 GRADE STEEL U.N.O. AND ALL CLEATS SHALL BE G450 GRADE STEEL GALVANISED TO MIN Z275. POSTS SHALL BE G450, REFER DRAWING.  
 2. ROOF AND WALL SHEETING SHALL BE G550 GRADE STEEL PROTECTED WITH ZINCALUME AZ150.  
 3. ROOF SHEETING CAN BE REPLACED WITH CLEAR ROOF 2400GSM PANEL FIXED TO MANUFACTURERS SPECIFICATIONS. A HIGHER GSM RATE MAY BE REQUIRED FOR SNOW AREA'S.  
 4. PURLINS & BRIDGING TO BE EX. C100 LIPPED CRIMPED CHANNELS 0.95mm B.M.T, 1.2mm, 1.5mm OR 1.9mm B.M.T.  
 5. ROOF CLADDING SHEET IS TO BE FIXED AS FOLLOWS:  
 NOTE: MAXIMUM SPAN OF CLADDING, AND TEK SCREW LOCATIONS FOR EACH CLADDING TYPE SHOWN ON THIS SHEET.

**REGION A & B ROOFING:**  
**CORRUGATED 0.42 B.M.T:**  
 FIXED WITH #12-14x35 TEKS AT EVERY SECOND CREST TO EAVE AND RIDGE PURLINS AND 2-3-3-2 PATTERN FOR INTERMEDIATE FASTENERS.  
**7 RIB 0.35/0.42 B.M.T:**  
 (0.35mm B.M.T APPROVED FOR REGION A ONLY)  
 FIXED WITH #12-14x35 TEKS AT EAVE AND RIDGE PURLINS WITH 1 SCREW EVERY RIB AND ALTERNATE RIBS FOR ALL INTERMEDIATE PURLINS.  
**SPANCLAD 0.42mm B.M.T:**  
 FIXED WITH #12-14x48 TEKS AT ALL PURLINS WITH 1 SCREW EVERY RIB.

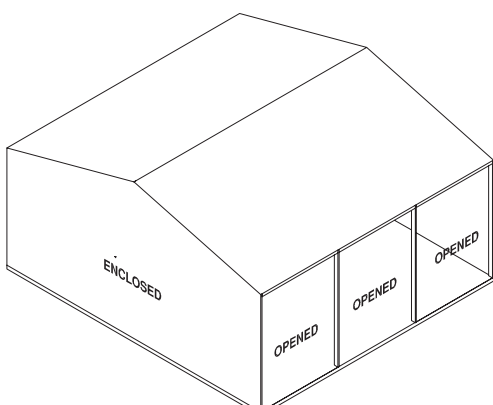
**REGION C ROOFING:**  
**CORRUGATED 0.42 B.M.T:**  
 FIXED WITH #14-12x55 CYCLONIC ROOF ZIPS W. BONDED CYCLONE WASHERS AT EVERY SECOND CREST TO ALL PURLINS.  
**SPANCLAD 0.42 B.M.T:**  
 FIXED WITH #14-12x55 CYCLONIC ROOF ZIPS W. BONDED CYCLONE WASHERS AT EVERY CREST TO ALL PURLINS.  
 6. WALL CLADDING SHEET IS TO BE FIXED AS FOLLOWS:  
 NOTE: MAXIMUM SPAN OF CLADDING, AND TEK SCREW LOCATIONS FOR EACH CLADDING TYPE SHOWN THIS SHEET.

**REGION A & B WALL CLADDING:**  
**CORRUGATED 0.42 B.M.T:**  
 FIXED WITH #10-16x16 NEO TEKS AT EVERY SECOND VALLEY TO ALL GIRTS  
**7 RIB 0.35/0.42 B.M.T:**  
 FIXED WITH #10-16x16 TEKS AT EVERY VALLEY TO TOP AND BOTTOM GIRT AND EVERY SECOND VALLEY FOR ALL INTERMEDIATE GIRTS

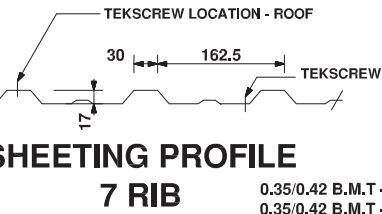
**WALL CLADDING CONT.**  
**SPANCLAD 0.35 / 0.42 B.M.T:**  
 FIXED WITH #10-16x16 TEKS AT EVERY VALLEY TO TOP AND BOTTOM GIRT AND EVERY SECOND VALLEY FOR ALL INTERMEDIATE GIRTS  
**TOTALCLAD 0.35/0.42 B.M.T:**  
 FIXED WITH #10-16x16 TEKS AT EVERY VALLEY TO TOP AND BOTTOM GIRT AND EVERY SECOND VALLEY FOR ALL INTERMEDIATE GIRTS  
**REGION C WALL CLADDING:**  
**CORRUGATED 0.42 B.M.T:**  
 FIXED WITH #14-10x20 NEO TEKS AT EVERY SECOND VALLEY TO ALL GIRTS  
**7 RIB 0.42 B.M.T (0.35 B.M.T NOT AVAILABLE):**  
 FIXED WITH #14-10x20 NEO TEKS AT EVERY VALLEY TO ALL GIRTS.  
**SPANCLAD 0.35/0.42 B.M.T:**  
 FIXED WITH #14-10x20 NEO TEKS AT EVERY VALLEY TO ALL GIRTS.  
 NOTE: OTHER ROOF AND WALL CLADDING PROFILES MAY BE USED. REFER MANUFACTURERS SPECIFICATIONS FOR FIXING DETAILS.

7. PURLINS / GIRTS FIXED TO RAFTERS/ COLUMNS/ UPRIGHTS WITH 2 M12 BOLTS W. WASHERS EACH END U.N.O. REFER RELEVANT JOINT DETAILS.  
 8. SCREWS CONNECTING STRUCTURAL MEMBERS TO BE WAFERTEKS No. 10/12 U.N.O MANUFACTURED BY BUILDEX (OR EQUIVALENT) WITH MIN. EDGE DISTANCE OF 9mm AND MIN. PITCH OF 18mm.  
 1. ALL STRUCTURAL BOLTS TO BE M12 G.R.4.6 U.N.O. WASHERS MUST BE USED (TYP.). WHERE BOLTS ARE USED FOR BOXED MEMBERS, BOXING SPACERS MUST BE USED. BOXING SPACERS ARE OPTIONAL AT PURLIN AND GIRT CONNECTIONS TO RAFTERS/COLUMNS/UPRIGHTS  
 2. RIDGES, BARGES AND ALL PENETRATIONS TO BE FLASHED WITH 0.4mm ZINCALUME FINISHED STEEL.  
 3. GUTTER AND DOWNPIPES TO BE FITTED AND DISCHARGED TO A LEGAL POINT OF DISCHARGE. SPLICE GUTTER AT CENTRE OF BUILDING. PROVIDE TWO SCREWS/RIVETS INTO EACH WEB AND SEAL WITH SILICONE.  
 4. SERVICE HOLES  
 SERVICE HOLES ARE PERMITTED IN WEBS OF ALL STRUCTURAL MEMBERS. MAXIMUM SIZE AND LOCATION OUTLINED THIS SHEET. SPACING BETWEEN SERVICE HOLES FOR BE AT LEAST 100mm.  
 9. STEELWORK SHALL ALL COMPLY WITH THE REQUIREMENTS OF:-  
 AS/NZS 1170.0, 1 & 2 : 2002/2011 LOADING CODES  
 AS 4100 STEEL STRUCTURE CODES  
 AS 3600 : CONCRETE STRUCTURES  
 AS/NZS 4600 : 2005 COLD FORMED STEEL STRUCTURE CODE  
 AS 1562 DESIGN AND INSTALLATION OF METAL ROOFING  
 AS 1111/1112 METRIC HEXAGON COMMERCIAL BOLTS AND SCREWS  
 AS 2313 GUIDE TO THE PROTECTION OF IRON AND STEEL  
 AS 3566 SELF DRILLING SCREWS FOR BUILDING & CONSTRUCTION INDS  
 AS/NZS 4505:2012 GARAGE DOORS AND OTHER LARGE ACCESS DOORS

**CONCRETE**  
 1. REFER SLAB DRAWINGS FOR CONCRETE DETAILS, NOTES, SITE CONDITIONS ETC.



**DOMINANT OPENING**  
 ANY BUILDINGS THAT ARE 3 SIDED AND HAVE PERMANENT OPENINGS ARE CONSIDERED TO HAVE A DOMINANT OPENING  
 BUILDINGS WITH 2 ADJACENT SIDE/END WALLS ENCLOSED ALSO FALL INTO THIS CATEGORY  
 REGION A, B & C - Cpe/Cpi = +0.7, -0.65

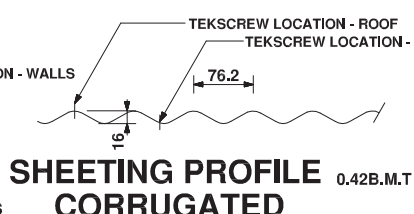


**SHEETING PROFILE 7 RIB**  
 0.35/0.42 B.M.T - ROOF  
 0.35/0.42 B.M.T - WALLS

MAXIMUM SPAN OF CLADDING:

	ROOF	WALLS
REGION A:	1200mm (900)	1200mm
REGION B:	1200mm (900)	1200mm
REGION C:	N/A	1200mm (0.42)

1200mm (900) REPRESENTS 1200 INTERNAL SPANS, 900 END SPANS AT EAVE AND RIDGE.

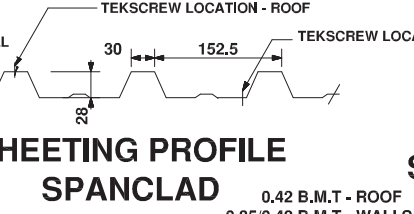


**SHEETING PROFILE CORRUGATED**  
 0.42B.M.T

MAXIMUM SPAN OF CLADDING:

	ROOF	WALLS
REGION A:	1200mm (900)	1200mm
REGION B:	1200mm (900)	1200mm
REGION C:	1100mm (880)	1200mm

1200mm (900) REPRESENTS 1200 INTERNAL SPANS, 900 END SPANS AT EAVE AND RIDGE.

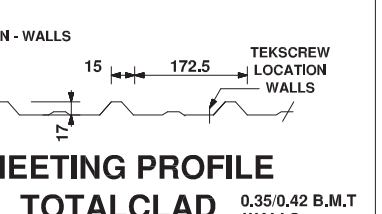


**SHEETING PROFILE SPANCLAD**  
 0.42 B.M.T - ROOF  
 0.35/0.42 B.M.T - WALLS

MAXIMUM SPAN OF CLADDING:

	ROOF	WALLS
REGION A:	1200mm (900)	1200mm
REGION B:	1200mm (900)	1200mm
REGION C:	1100mm (880)	1200mm

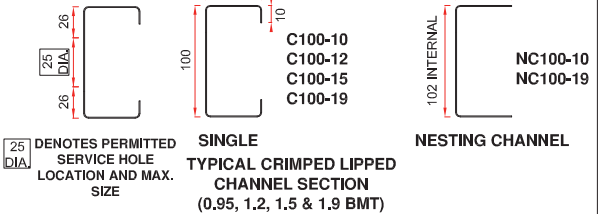
1200mm (900) REPRESENTS 1200 INTERNAL SPANS, 900 END SPANS AT EAVE AND RIDGE.



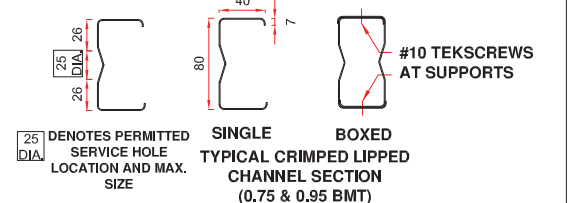
**SHEETING PROFILE TOTALCLAD**  
 0.35/0.42 B.M.T WALLS

MAXIMUM SPAN OF CLADDING:

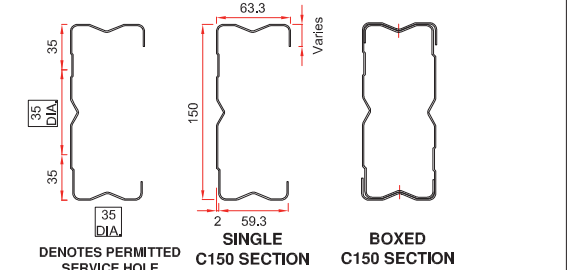
	ROOF	WALLS
REGION A:	N/A	1200mm
REGION B:	N/A	1200mm
REGION C:	N/A	N/A



**C100 SECTION NC100 SECTION**



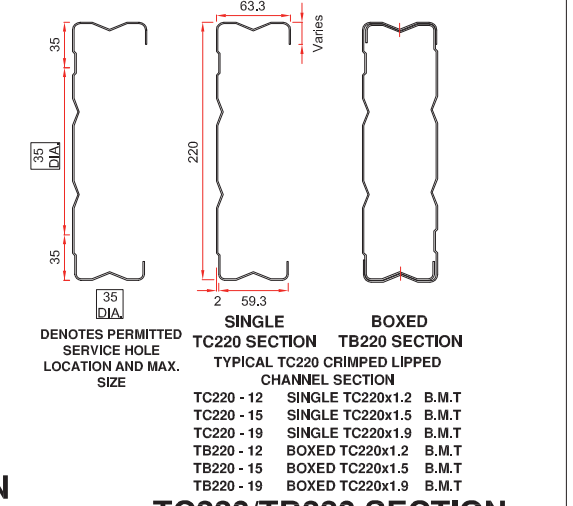
**C80x40 SECTION**



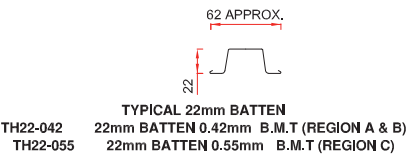
TYPICAL TC150 CRIMPED LIPPED CHANNEL SECTION

TC150 - 10	SINGLE TC150x1.0 B.M.T
TC150 - 12	SINGLE TC150x1.2 B.M.T
TC150 - 15	SINGLE TC150x1.5 B.M.T
TB150 - 10	BOXED TC150x1.0 B.M.T
TB150 - 12	BOXED TC150x1.2 B.M.T
TB150 - 15	BOXED TC150x1.5 B.M.T

**TC150/TB150 SECTION**



**TC220/TB220 SECTION**



**22mm BRIDGING BATTEN**

**Summermore Pty Ltd**  
 Consulting Engineers  
 ACN: 108 898 433  
 ABN: 42 108 898 433  
 ron@summermore.com.au  
 www.summermore.com.au  
 PO Box 1671  
 Browns Plains BC, QLD, 4118  
 Phone: 07 3800 0973  
 Fax: 07 3800 1860

I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.  
**Ronald A Bell**

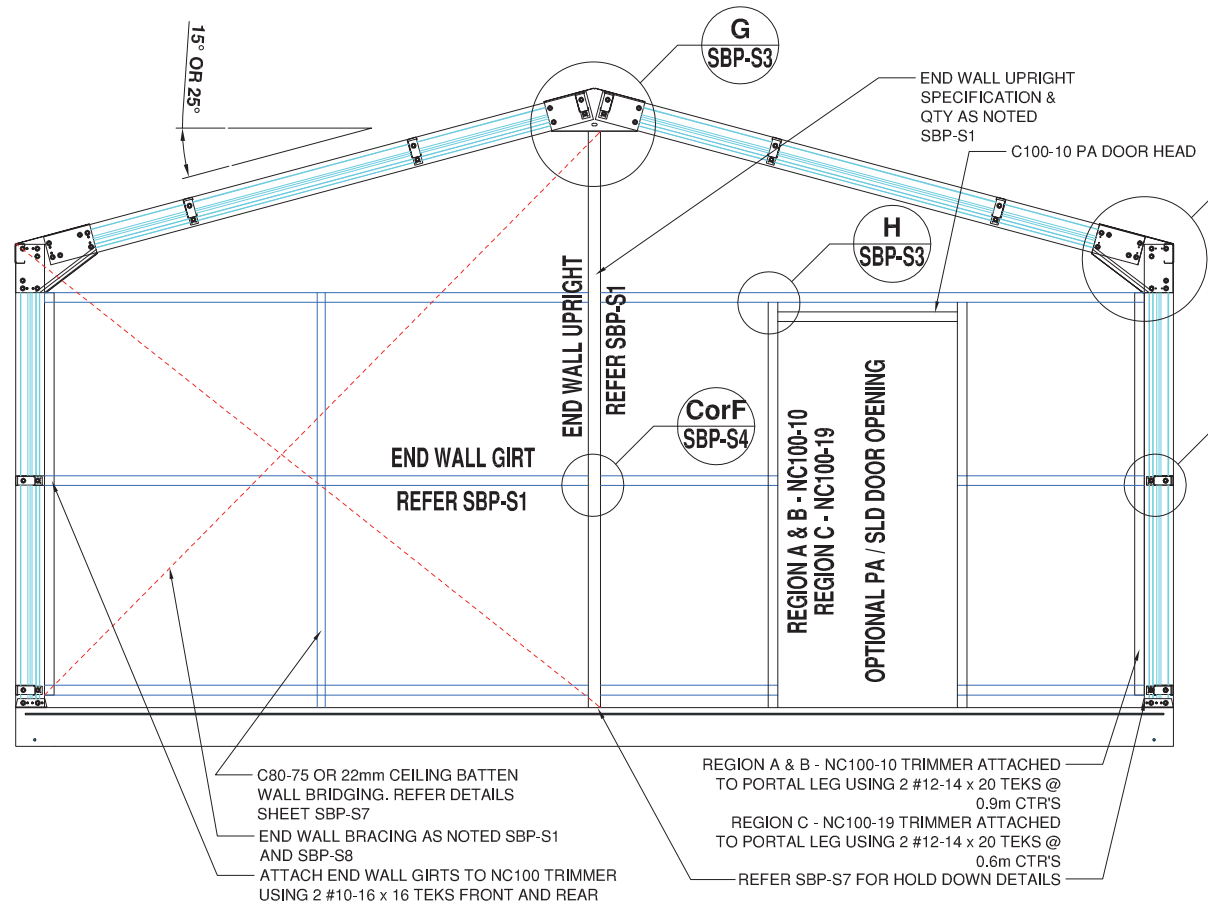
Ronald A. Bell  
 Registered Professional Engineer  
 Grad Cert (Tech Mgt), BEng Civil (Hons),  
 FIEAust (891940), CMEngNZ (1027605), CPEng, NER,  
 APEC Engineer, IntPE(Aust)  
**06 JUL 2020**  
 Signed: RPEQ (6715), RBPNT (60396ES), RBPVQ (EC2796T),  
 RBPNTas (CC5550), MAIB (9225), JPQual.  
**STRUCTURAL DETAILS CONCURRED**

**STEEL SHEDS AUSTRALIA**  
 ACN 635 514 304  
 74 Platinum St Crestmead  
 Brisbane QLD 4132  
 PH: (07) 3827 8000 FAX: (07) 3803 2315

**GENERIC PORTAL BUILDINGS**

**GENERAL NOTES AND SPECIFICATIONS**

SPANBILD NO:  
**SBP-S2**  
**REV A**  
 REVISION SUFFIX

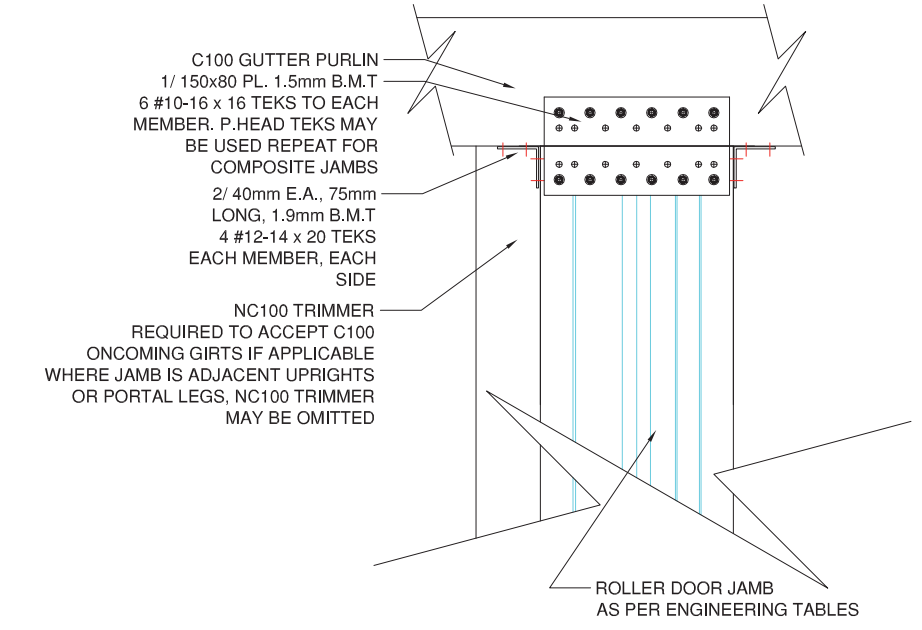


**TYPICAL END PORTAL**

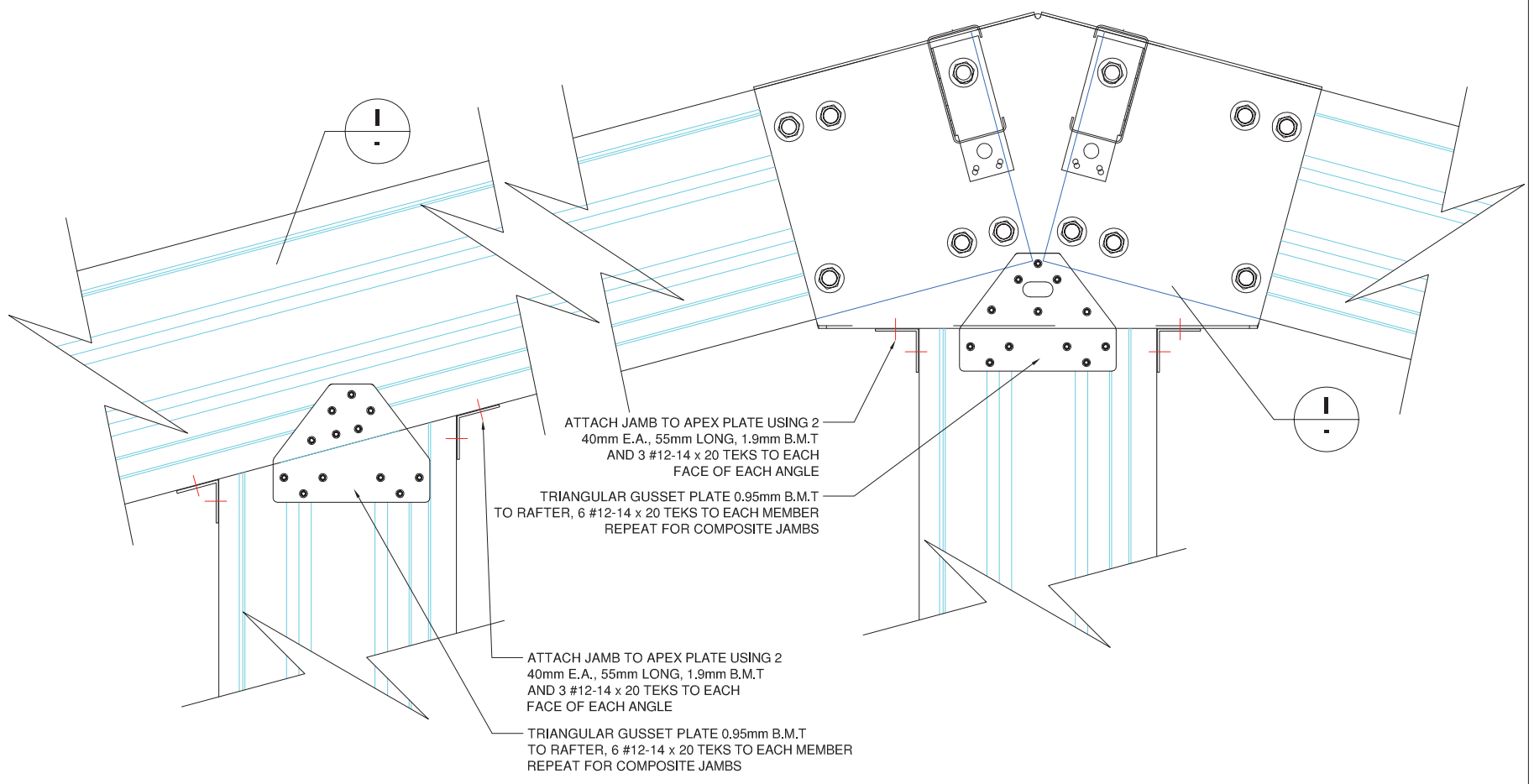
**TYP. NC100/NC100 TO C100/NC100 CONNECTION**

**TYP. UPRIGHT TO APEX PLATE CONNECTION**

**TYP. UPRIGHT TO RAFTER CONNECTION**



**TYP. ROLLER DOOR JAMB TO GUTTER PURLIN CONNECTION**



**Summermore Pty Ltd**  
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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.  
**Ronald A Bell**

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APEC Engineer, IntPE(Aust)  
**06JUL2020**  
Signed: RPEQ (6715), RBPNT (60396ES), RBPVA (EC2796T),  
RBPV (CC5550), MAIB (9225), JPQuab.  
**STRUCTURAL DETAILS CONCURRED**

**STEEL SHEDS AUSTRALIA**  
ACN 635 514 304  
74 Platinum St Crestmead  
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PH: (07) 3827 8000 FAX: (07) 3803 2315

**GENERIC PORTAL BUILDINGS**

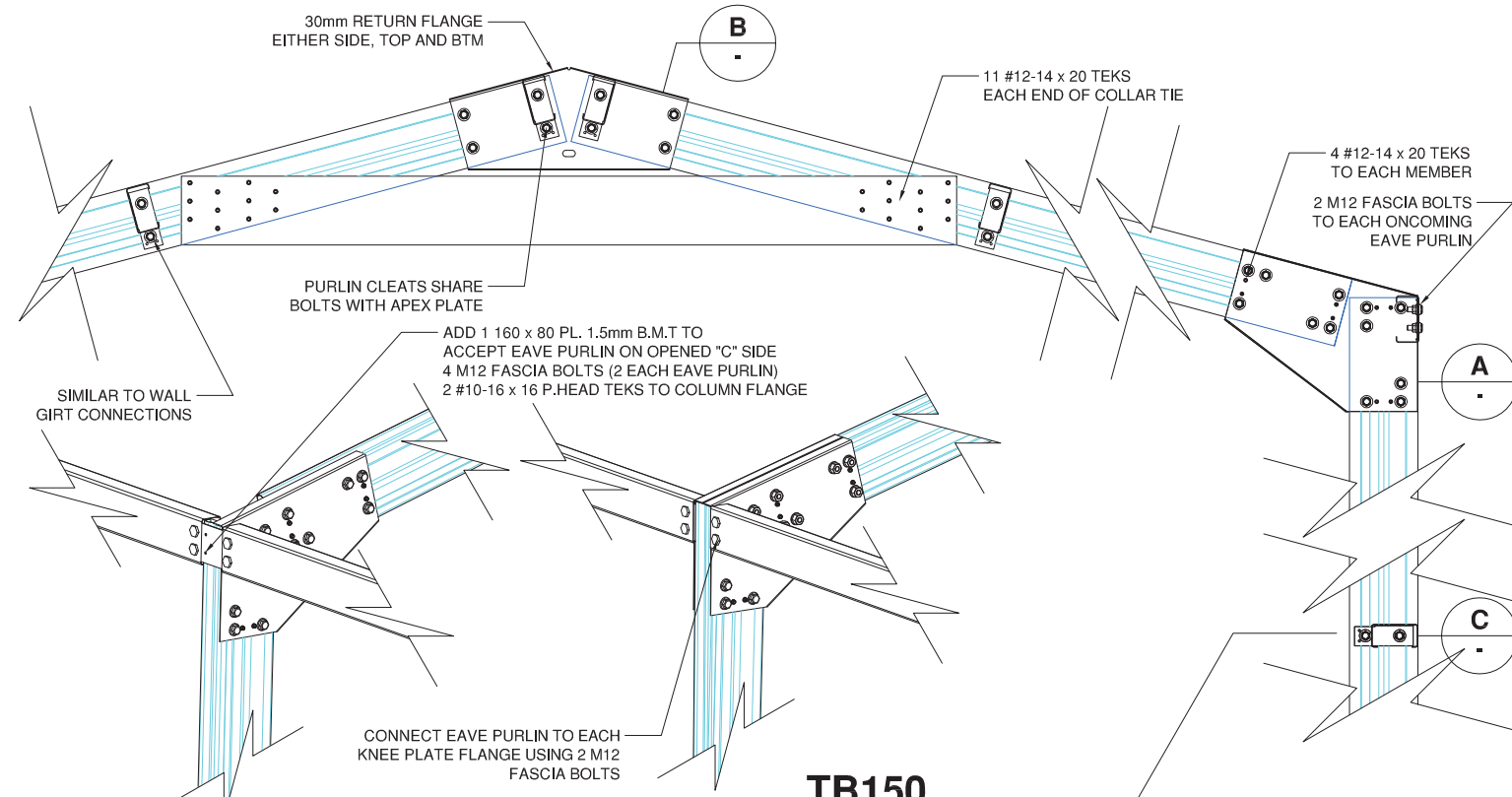
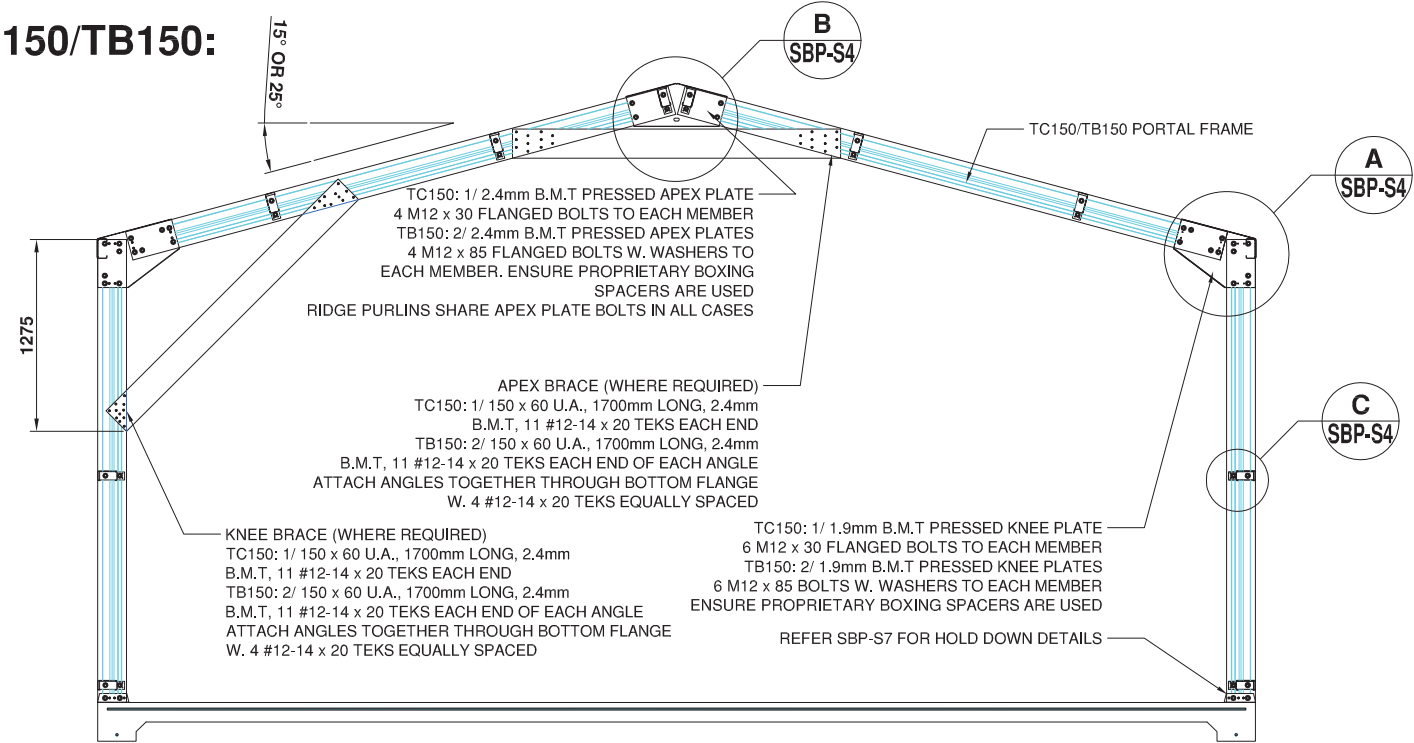
**TYPICAL CONNECTION DETAILS**

**SBP-S3 REV A**  
REVISION SUFFIX

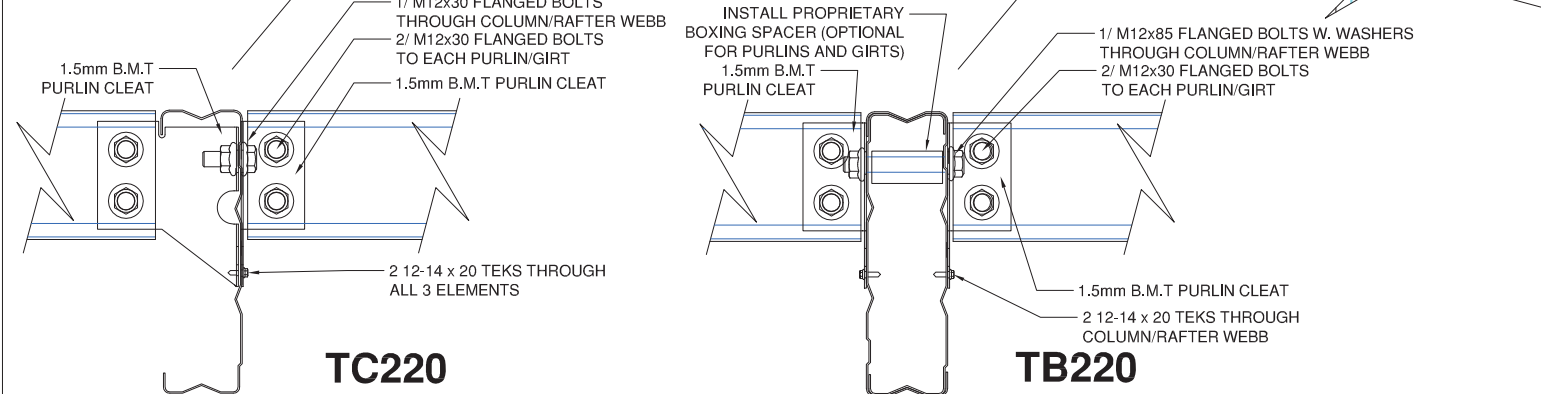
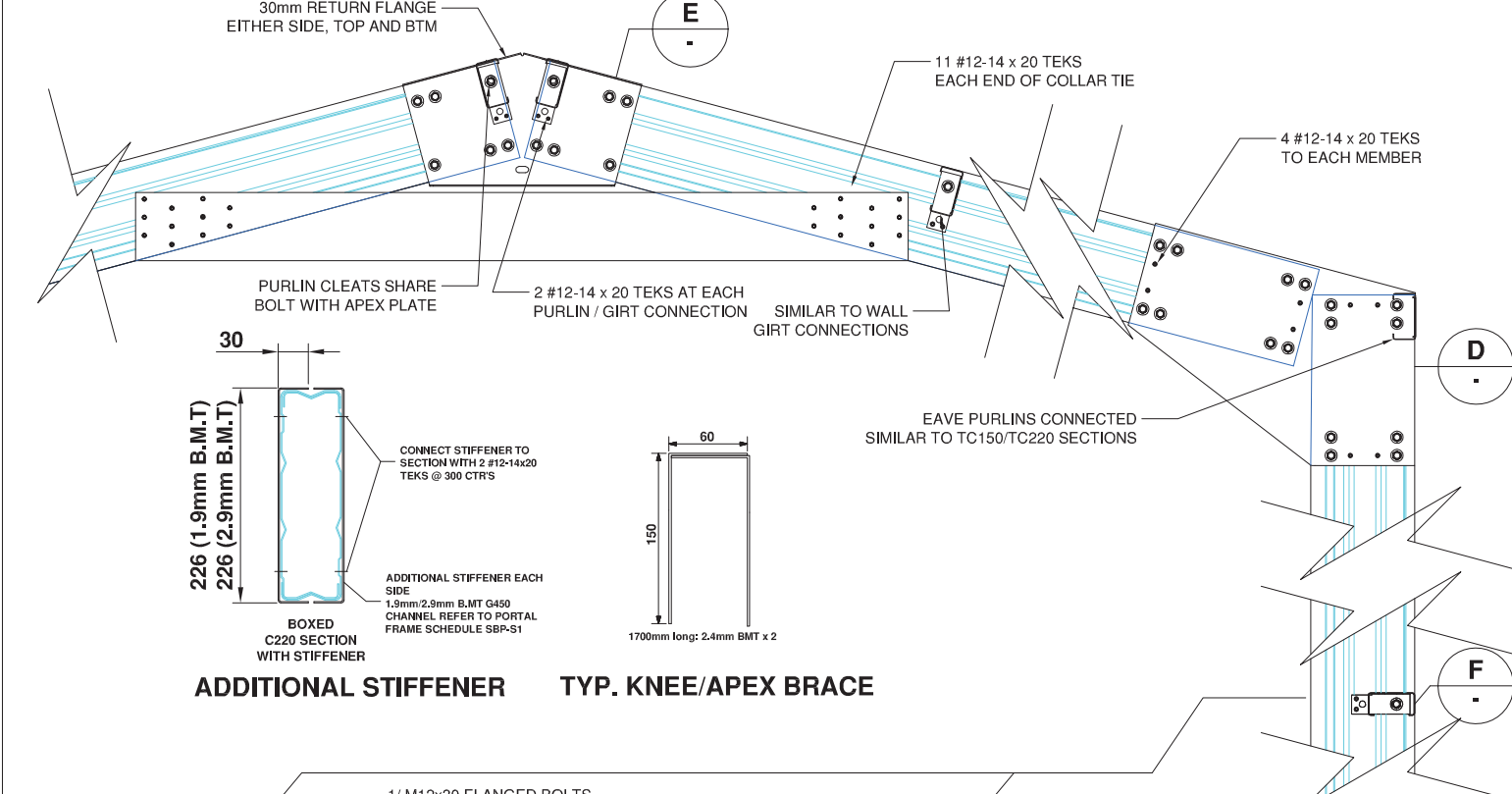
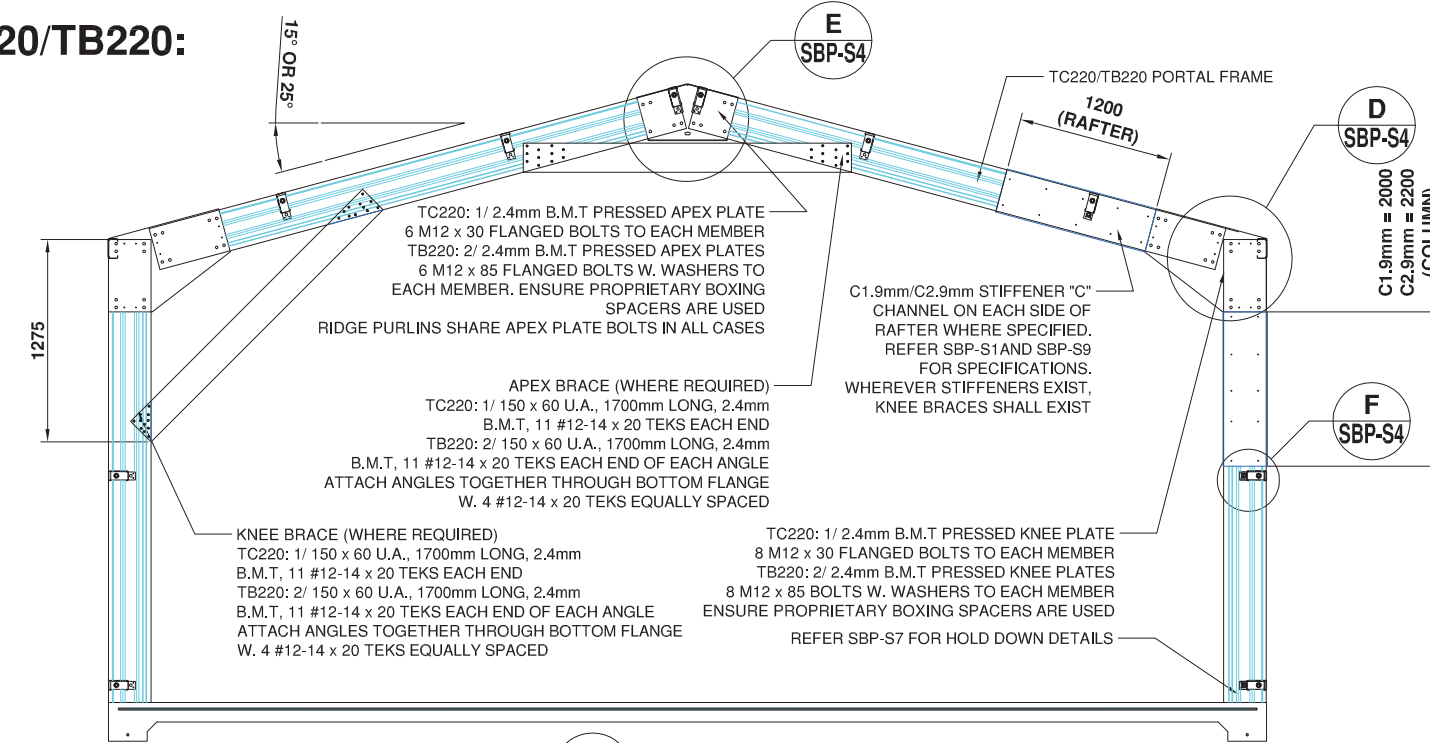
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# TC150/TB150:



# TC220/TB220:



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I certify that buildings  
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Code of Australia.  
Ronald A Bell

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06JUL2020

Signed  
RPEQ (6715), RBYNT (60396ES), RBPVA (EC2796T),  
RBPY (CC5550), MAIB (9225), JPK (Qua)

STRUCTURAL DETAILS CONCURRED

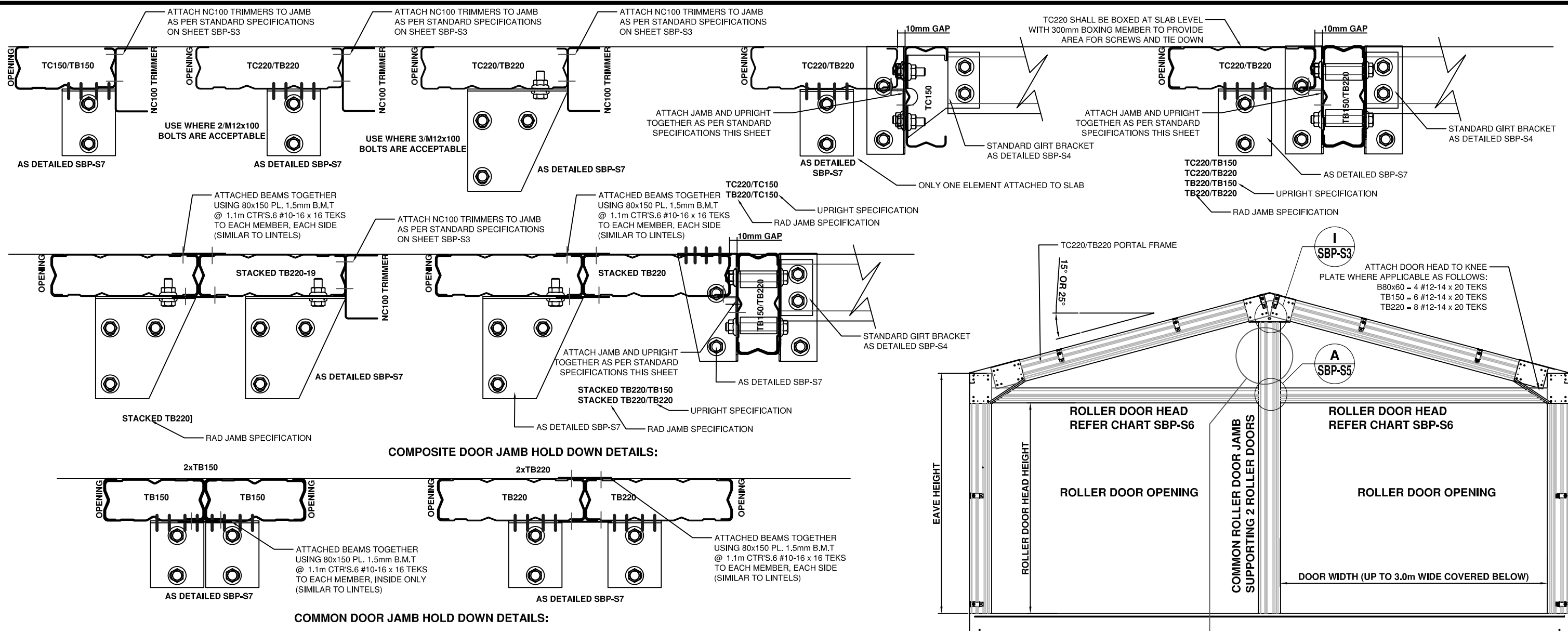
STEEL SHEDS  
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GENERIC  
PORTAL BUILDINGS

INTERMEDIATE PORTAL  
CONNECTION DETAILS

SBP-S4  
REV A  
REVISION SUFFIX

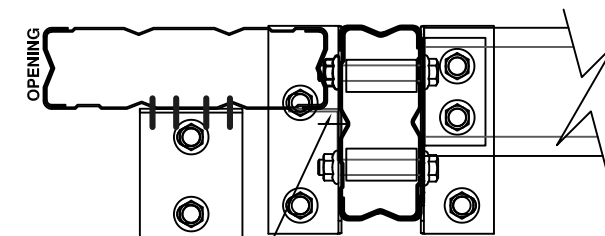




**COMPOSITE DOOR JAMB HOLD DOWN DETAILS:**

**COMMON DOOR JAMB HOLD DOWN DETAILS:**

**NOTE: 2 ADJACENT DOORS SHOWN. REPEAT FOR 3 OR 4 ADJACENT DOORS. COMMON JAMB - 2 RADS SUPPORTED FROM 1 JAMB:**



**TYPICAL JAMB/UPRIGHT CONNECTION:**

**JAMBS NOT SUPPORTED WITHIN THESE SPECIAL CASES SHALL USE ROLLER DOOR A PAIR OF ROLLER DOOR JAMBS WITH END WALL UPRIGHTS BETWEEN JAMBS AS SPECIFIED SHEET SBP-S6 & SBP-S8.**

Region A T.C.2/B.T.C.3		Eave Height / Roller door Head heights:									
Door width (x2)		2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	T3220-12	T8220-12	T8220-12	T8220-12	T8220-12	T3220-12	T8220-12	T8220-15	T8220-15	T8220-15	T8220-15
3000	T3220-12	T8220-12	T8220-12	T8220-12	T8220-15	T3220-15	T8220-15	T8220-19	T8220-19	T8220-19	T8220-19

Region A T.C.2/B.T.C.3		Eave Height / Roller door Head heights:									
Door width (x2)		2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	T3220-12	T8220-12	T8220-12	T8220-12	T8220-12	T3220-12	T8220-12	T8220-15	T8220-19	T8220-19	T8220-19
3000	T3220-12	T8220-12	T8220-12	T8220-12	T8220-15	T3220-15	T8220-15	T8220-19	T8220-19	T8220-19	T8220-19

Region B T.C.2		Eave Height / Roller door Head heights:									
Door width (x2)		2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	T3220-12	T8220-12	T8220-12	T8220-12	T8220-12	T3220-12	T8220-12	T8220-15	T8220-19	T8220-19	T8220-19
3000	T3220-12	T8220-12	T8220-12	T8220-12	T8220-15	T3220-15	T8220-15	T8220-19	T8220-19	T8220-19	T8220-19

Region C T.C.3		Eave Height / Roller door Head heights:									
Door width (x2)		2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	2xTB150-15	2xTB150-15	2xTB150-15	2xTB150-15	2xTB150-15	2xTB150-15	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19
3000	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	N/A	N/A	N/A	N/A	N/A

Region C T.C.2.5/T.C.2		Eave Height / Roller door Head heights:									
Door width (x2)		2400/2100	2700/2100	2700/2400	3000/2100	3000/2400	3000/2700	3600/2100	3600/2400	3600/2700	3600/3000
2625	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	N/A	N/A	N/A	N/A
3000	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	2xTB220-19	N/A	N/A	N/A	N/A	N/A

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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.  
**Ronald A Bell**  
Grad Cert (Tech Mgt), BEng Civil (Hons), PEng, MIEAust (891940), CMEngNZ (1027605), RPEQ (6715), RBP(Vic)(EC27967), RBP(NT)(60596ES), RBP(Tas)(CC5556C), MAIB (9225), JP(Qual).

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**GENERIC PORTAL BUILDINGS**

**GABLE & SIDE WALL OPENINGS**

**SBP-S5**  
**REV B**  
REVISION SUFFIX

GABLE WALL

Region A.T.C.3

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

Region A.T.C.2 / Reg on B.T.C.3 (ps)

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

Region B.T.C.2

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

Region C.T.C.3

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

Region C.T.C.2.5 & T.C.2

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

GABLE WALL

ROLLER DOOR HEAD BEAM SPECIFICATIONS:

Table mapping Region A.T.C.2/B.T.C.3, Region B.T.C.2, Region C.T.C.3, and Region C.T.C.2.5/T.C.2 to RAD Head Height and Door width.

MIN. QTY OF ANCHORS TO SLAB (RAD JAMBS):

Table mapping Region A.T.C.2/B.T.C.3, Region B.T.C.2, Region C.T.C.3, and Region C.T.C.2.5/T.C.2 to RAD Head Height, Door width, and anchor quantities.

SIDE WALL

Region A.T.C.3

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

Region A.T.C.2 / Reg on B.T.C.3 (ps)

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

Region B.T.C.2

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

Region C.T.C.3

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

Region C.T.C.2.5 & T.C.2

Table with 10 columns: Door width (2100-5100) and 10 corresponding roller door head heights (4200-5120).

SIDE WALL

Summermore Pty Ltd logo and contact information.

certified that buildings erected in accordance with these drawings will comply with the Building Code of Australia. Ronald A Bell, Grad Cert (Tech Mgt), BEng Civil (Hons), PEng, MIEAust (891940), RPEQ (6715), RBP(Vic)(EC27967), RBP(NT)(60596E5), RBP(Tas)(CC5556C), MAIB (9225), JP(Qual).

SPANBILD PTY LIMITED, 74 Platinum St Crestmead Brisbane QLD 4132, PH: (07) 3827 8000 FAX: (07) 3803 2315

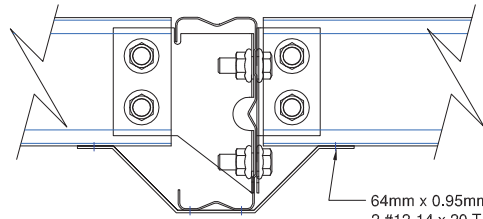
GENERIC PORTAL BUILDINGS

ROLLER DOOR JAMB TABLES

SBP-S6 REV B REVISION SUFFIX



# FLY BRACING DETAILS:



64mm x 0.95mm PRESSED FLY BRACE  
2 #12-14 x 20 TEKS TO EACH PURLIN  
2 #12-14 x 20 TEKS TO RAFTER/COLUMN FLANGE

### FLY BRACING RULES:

1. FLY BRACING SHALL BE PROVIDED ON ALL GABLE END UPRIGHTS & INTERMEDIATE PORTAL FRAMES (COLUMNS & RAFTERS).
2. MAXIMUM SPACING BETWEEN FLYBRACING IS 2.4m OR EVERY SECOND PURLIN / GIRT. FLYBRACING IS NOT REQUIRED AT KNEE AND APEX PLATE LOCATIONS OR HOLD DOWN / BOTTOM GIRT LOCATIONS. ONE EXCEPTION TO THIS RULE IS 4.8m HIGH COLUMNS SHALL HAVE 2 FLY BRACES PER COLUMN.

## TC150/TB150/TC220/TB220 SIMILAR

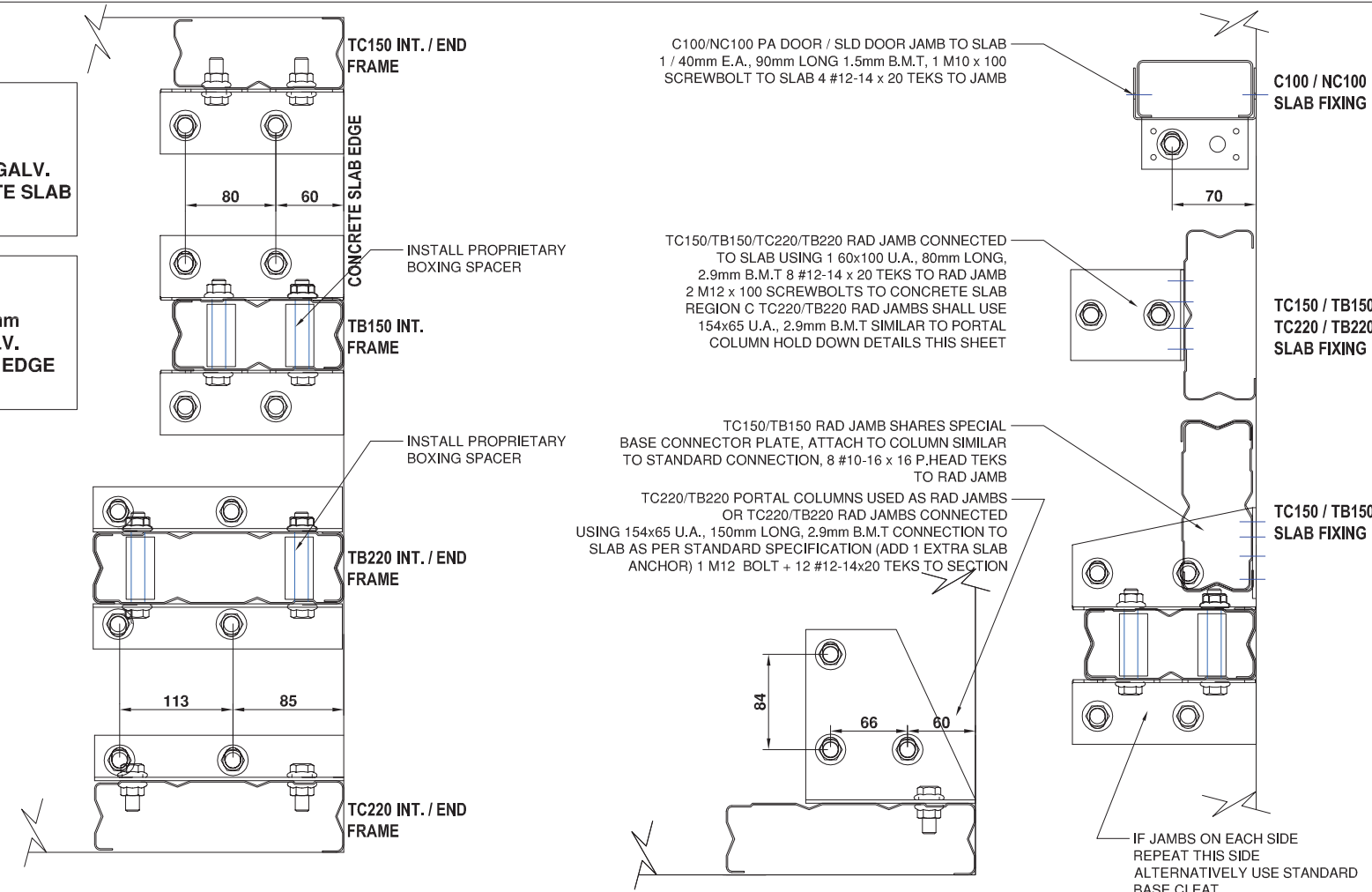
# HOLD DOWN DETAILS:

## CHEMSET NOTE

- 1 EMBEDMENT DEPTH OF CHEMSETS = 120mm
- 2 THREADED ROD MUST BE M12 HOT DIPPED GALV. G.R. 8.8 14DIA. HOLES 130 DEEP IN CONCRETE SLAB EDGE THICKENING.

## SCREWBOLT NOTE

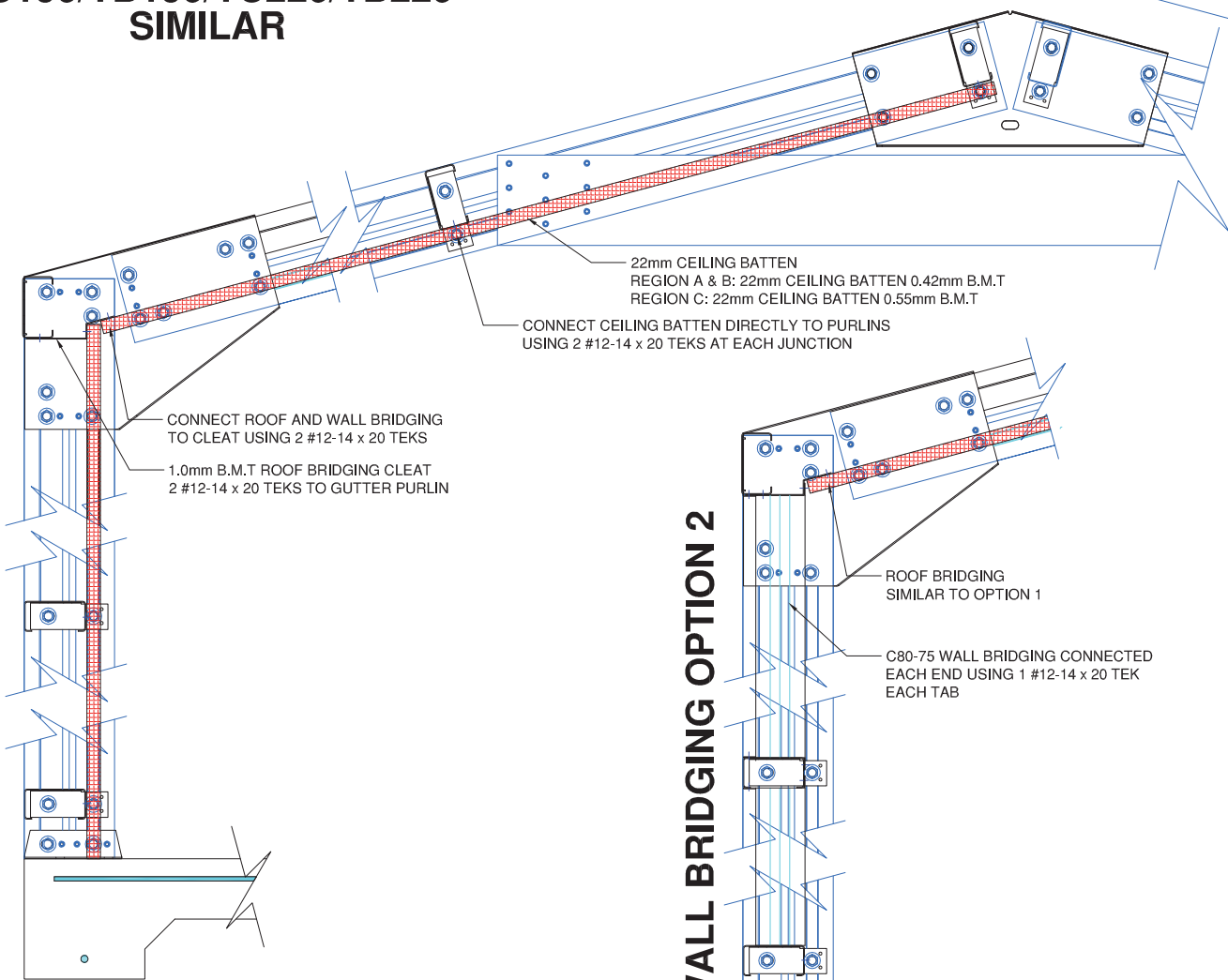
- 1 EMBEDMENT DEPTH OF SCREWBOLTS = 90mm
- 2 SCREWBOLT MUST BE M12 HOT DIPPED GALV. 12DIA. HOLES 100 DEEP IN CONCRETE SLAB EDGE THICKENING.



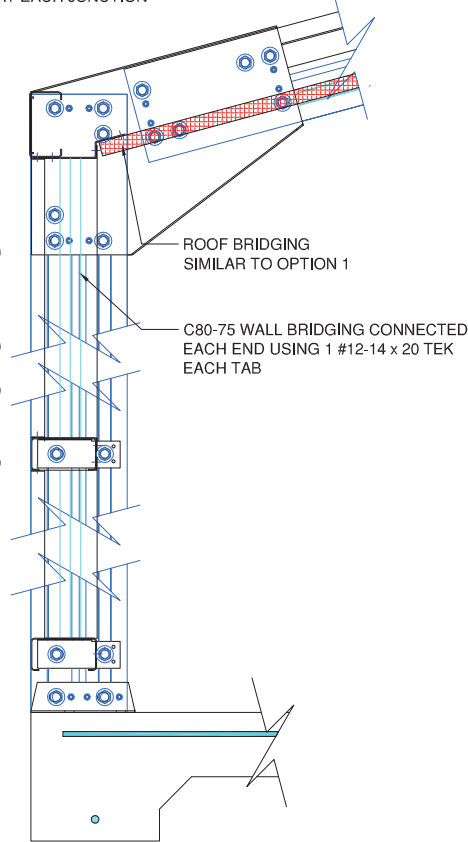
### PORTAL FRAME HOLD DOWN:

PORTAL SPEC:	BASE PLATE:	CONCRETE ANCHORS:	CONNECTION TO SECTION:
TC150	1/ 40mm E.A., 160mm LONG 1.9mm B.M.T	AS NOTED SBP-S1	2 M12 BOLTS + 3 #12-14 x 20 TEKS
TB150	2/ 40mm E.A., 160mm LONG 1.9mm B.M.T	AS NOTED SBP-S1	2 M12 BOLTS + 6 #12-14 x 20 TEKS
TC220	1/ 40mm E.A., 220mm LONG 2.4mm B.M.T	AS NOTED SBP-S1	2 M12 BOLTS + 4 #12-14 x 20 TEKS
TB220	2/ 40mm E.A., 220mm LONG 2.4mm B.M.T	AS NOTED SBP-S1	2 M12 BOLTS + 8 #12-14 x 20 TEKS

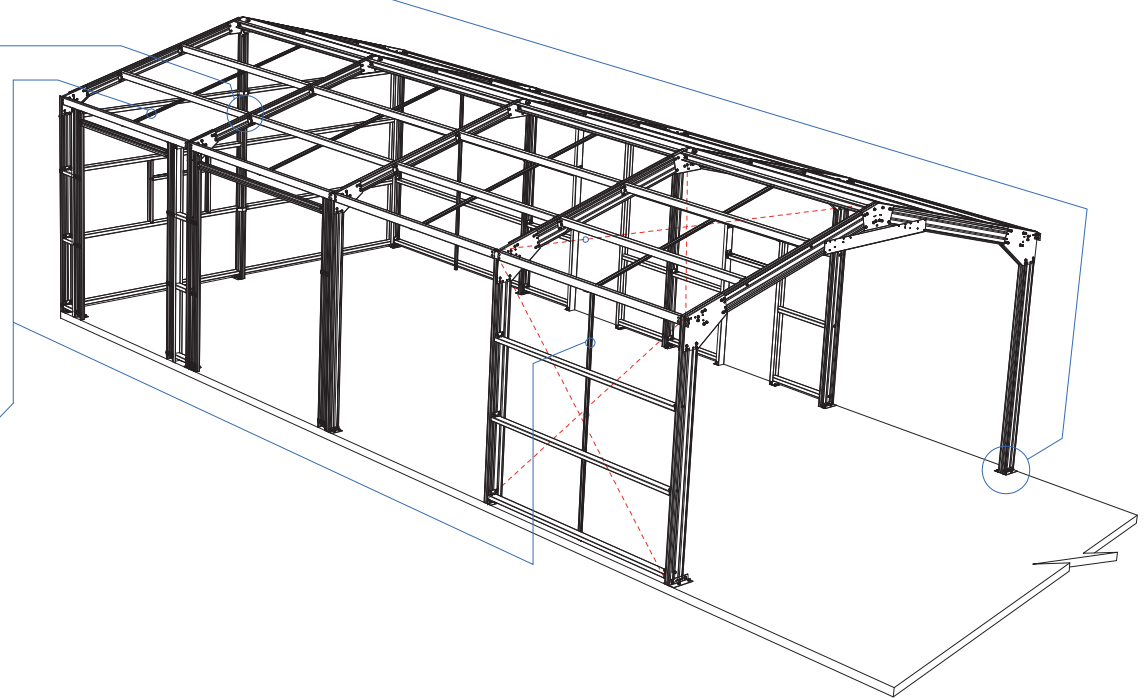
## WALL BRIDGING OPTION 1



## WALL BRIDGING OPTION 2



# WALL/ROOF BRIDGING DETAILS:



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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.

Ronald A Bell

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FIEAust (891940), CMEngNZ (1027605), CPEng, NER,  
APEC Engineer, IntPE(Aust)

**06JUL2020**

Signed:  
RPEQ (6715), RBPNT (60396ES), RBPVA (EC27967),  
RBPNTas (CC5550), MAIB (9225), JPQua.

STRUCTURAL DETAILS CONCURRED

# STEEL SHEDS

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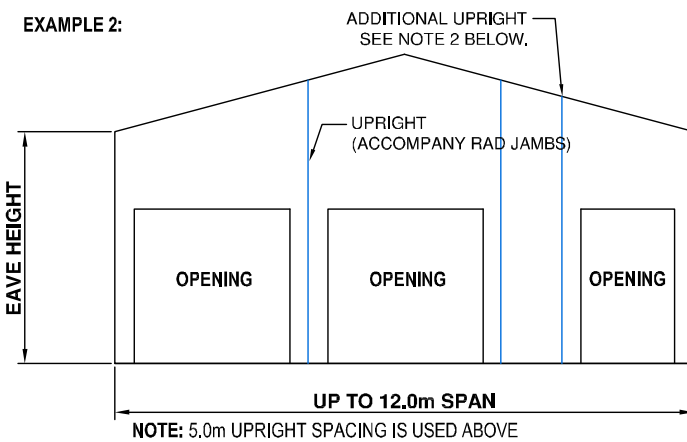
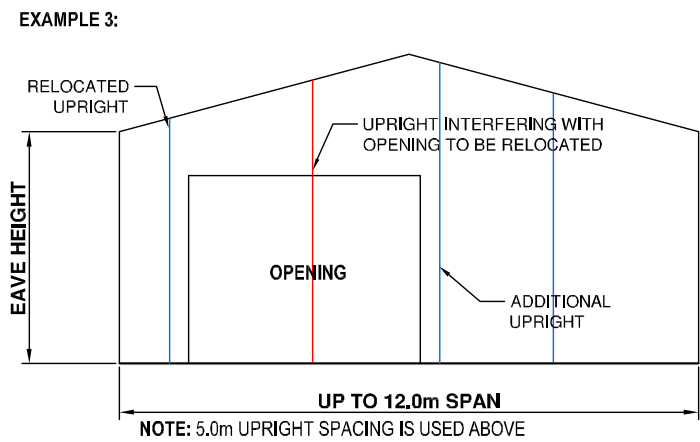
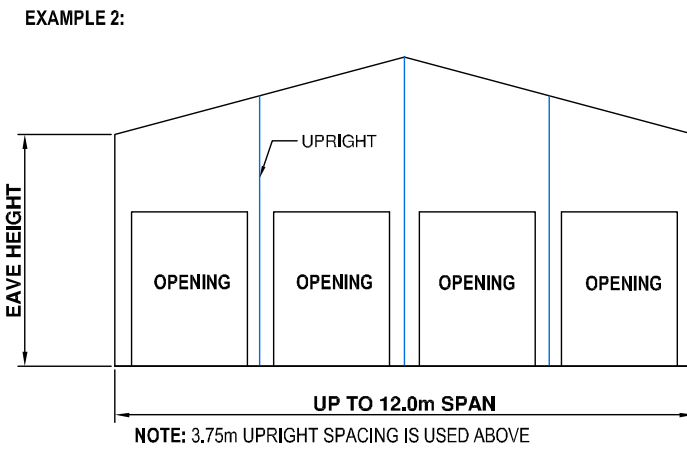
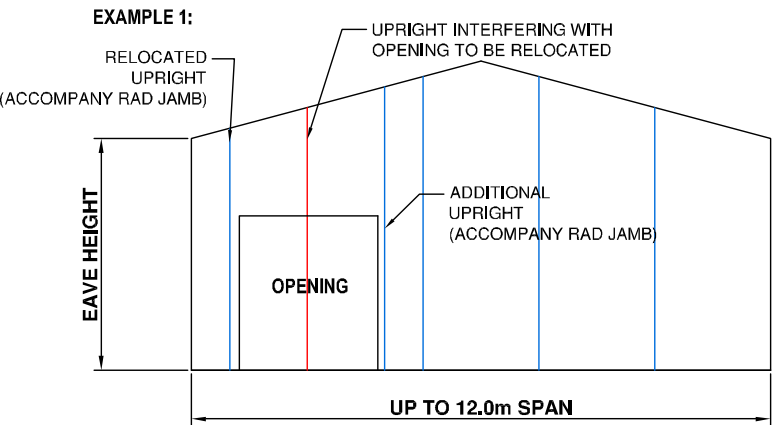
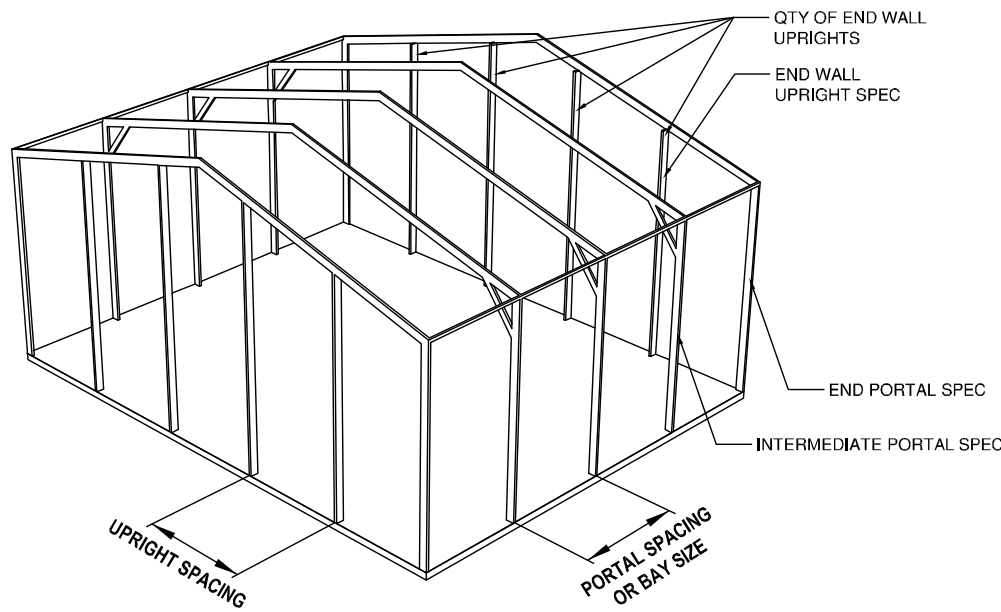
GENERIC  
PORTAL BUILDINGS

HOLD DOWN DETAILS  
& MISCELLANEOUS

SBP-S7  
REV A

REVISION SUFFIX

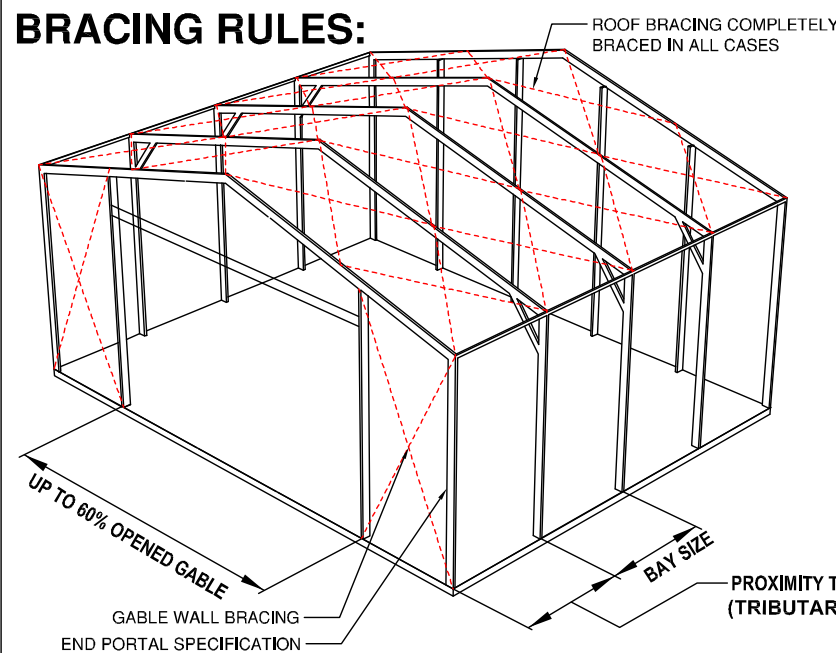
# END WALL UPRIGHT RULES:



**OPENING INTERFERING WITH UPRIGHT:**  
 1. WHERE AN OPENING INTERFERES WITH AN UPRIGHT, THE UPRIGHT MUST BE RELOCATED, AND AN ADDITIONAL UPRIGHT IS TO BE ADDED. THE UPRIGHTS MUST NOT BE MORE THAN 1000mm AWAY FROM THE OPENING.

**OPENING BETWEEN UPRIGHTS:**  
 1. WHERE AN OPENING EXISTS BETWEEN UPRIGHTS, THE UPRIGHTS MUST NOT BE MORE THAN 1000mm AWAY FROM THE OPENING.  
 2. IF THE UPRIGHTS ARE MORE THAN 1000mm AWAY FROM THE OPENING, PLACE ADDITIONAL UPRIGHTS WITHIN 1000mm OF THE OPENING.

# BRACING RULES:



- BRACING CONNECTIONS:**
- REFER SBP-S1 FOR BRACING SPECIFICATIONS FOR ROOF, GABLE WALLS AND SIDE WALLS.
  - THE SPECIFICATION OF THE STRAP WILL DETERMINE THE QTY OF SCREWS TO ATTACH THE BRACING TO THE FRAME. THE TABLE BELOW SHALL BE USED FOR SCREW QTYS AT EACH END OF THE BRACING.
  - ALL BRACING SHALL TERMINATE ON PRIMARY ELEMENTS OF THE BUILDING (IE, PORTAL LEGS, PORTAL RAFTERS, END WALL UPRIGHTS). ATTACHMENT TO SECONDARY ELEMENTS IS NOT APPROVED (IE PURLINS, GIRTS) U.N.O

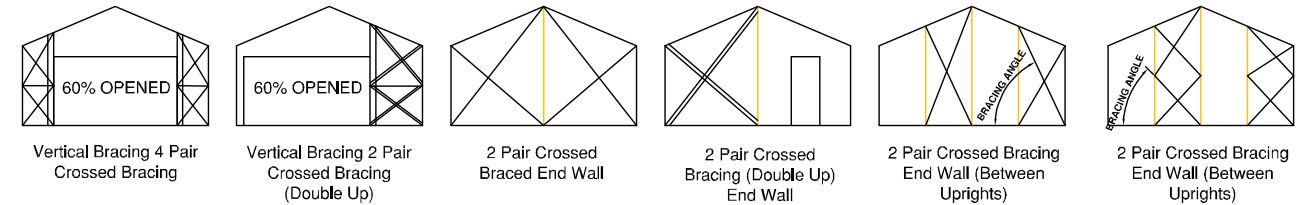
BRACING SPECIFICATION:	QTY OF SCREWS EACH END:
30x0.95mm G550	4 #10-16 x 16 P.HEAD TEKS
38x1.2mm G500	5 #10-16 x 16 P.HEAD TEKS
50 x 0.95mm G550	6 #10-16 x 16 P.HEAD TEKS

SCREW SPECIFICATION FOR STRAPPING SHALL BE #10-16 x 16 P.HEAD TEKS TO PROVIDE FLUSH FINISH

- BRACING TO BE INSTALLED TAUT. BRACING TENSIONERS ARE OPTIONAL.

## GABLE WALL BRACING:

- GABLE WALL BRACING QTY AND GAUGE IS SPECIFIED ON SHEET SBP-S1. THE FOLLOWING RULES SHALL BE ADHERED TO.
  - PROVIDE BRACING IN THE CONFIGURATION/PATTERN PROVIDED BELOW. SELECT ONE OF THESE OPTIONS. THESE BRACING OPTIONS APPLY TO GABLE WALLS WITH UP TO 60% OF THE TOTAL WIDTH CONFIGURED WITH DOORS, WINDOWS ECT.



NOTE: Bracing angle must be between 35° & 55°

- WHERE OPENINGS / CONFIGURATIONS EXCEED 60% OF THE TOTAL WIDTH, THE END PORTAL FRAME SHALL BE UPGRADED USING ONE OF THE FOLLOWING 3 OPTIONS:
 

NOTE: RULES MAY BE APPLIED TO ONE OR BOTH ENDS. IF APPLIED TO ONE END, THE QTY OF BRACES STATED ON SBP-S1 MAY BE HALVED. IS APPLIED TO EITHER END, THE GABLE BRACING MAY BE OMITTED ENTIRELY.

- UPGRADE END PORTAL FRAMING TO INTERMEDIATE PORTAL FRAMING SPECIFICATIONS WHEN CONFIGURATIONS EXCEED 60% OF TOTAL WIDTH
- USING THIS UPGRADE SELECTION TABLE FOR THE RELEVANT CHANNELS:

STD. END PORTAL SPEC:	UPGRADED END PORTAL SPEC:
TC150-10	TC220-12
TC150-12	TC220-12
TC150-15	TC220-15
TC220-12	TC220-19

NOTE: SELECTING ONE OF THESE 3 RULES WILL REMOVE THE NEED FOR GABLE WALL BRACING ON THE RELEVANT END WALL

- REDUCING THE TRIBUTARY AREA ASSOCIATED WITH THE STANDARD END PORTAL FRAME BY PROVIDING AN INTERMEDIATE PORTAL FRAME IN CLOSE PROXIMITY TO THE END FRAME.

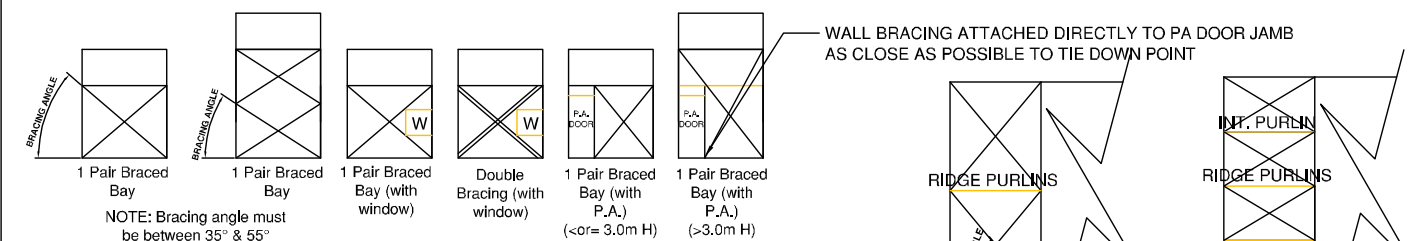
BAY SPACING:	MAXIMUM ALLOWABLE TRIBUTARY BAY SIZE WITHOUT UPGRADE:
3.0m BAYS	REDUCED TO 1.5m ON END BAYS
3.5m BAYS	REDUCED TO 1.75m ON END BAYS
4.0m BAYS	REDUCED TO 2.0m ON END BAYS

NOTE: MAXIMUM ALLOWABLE TRIBUTARY AREA REPRESENTS THE LARGEST POSSIBLE BAY SIZE FOR THE ADJACENT BAY CLOSEST TO THE END FRAMING WITH THE BRACING SHORTAGE.

## SIDE WALL BRACING:

- SIDE WALL BRACING QTY AND GAUGE IS SPECIFIED ON SHEET SBP-S1. WHERE EVER POSSIBLE, DISTRIBUTE THE WALL BRACING EVENLY ALONG THE LENGTH OF THE BUILDING. WHEREVER POSSIBLE, DISTRIBUTE EQUAL AMOUNTS OF BRACING IN EACH SIDE WALL. THE FOLLOWING RULES SHALL BE ADHERED TO.

- PROVIDE BRACING IN THE CONFIGURATION/PATTERN PROVIDED BELOW. SELECT ONE OF THESE OPTIONS.



## ROOF BRACING:

- ENTIRE ROOF SHALL BE BRACED IN ALL BAYS AS PER THE SPECIFICATIONS PROVIDED ON SHEET SBP-S1. BRACING PATTERN SHALL BE CONSIDERATE OF EFFECTIVE BRACING ANGLES. "STACKED BRACING" SHALL BE USED WHERE ANGLES DO NOT FALL INTO RANGE OF EFFECTIVE ANGLES.

NOTE: Bracing angle must be between 35° & 55°

NOTE: Bracing angle must be between 35° & 55°

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 STRUCTURAL DETAILS CONCURRED

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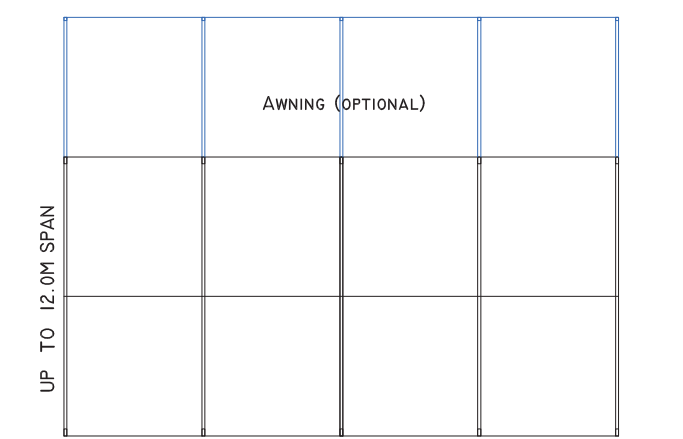
**GENERIC PORTAL BUILDINGS**

**END WALL UPRIGHTS / BRACING RULES**

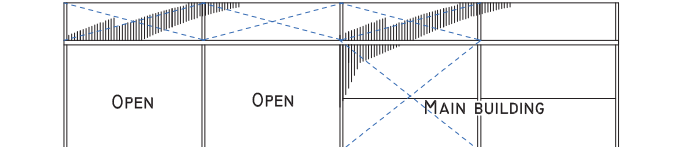
**SBP-S8 REV A**

REVISION SUFFIX					
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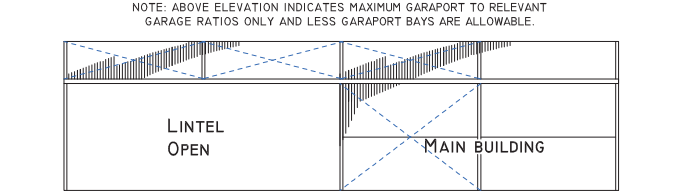




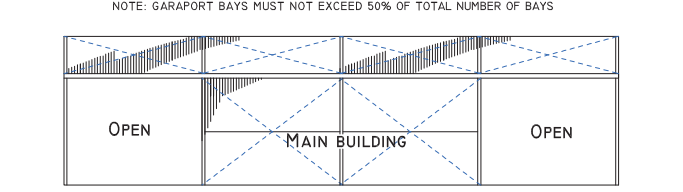
PLAN VIEW



GARAPORT BAYS UP TO 50% OF TOTAL BUILDING LENGTH

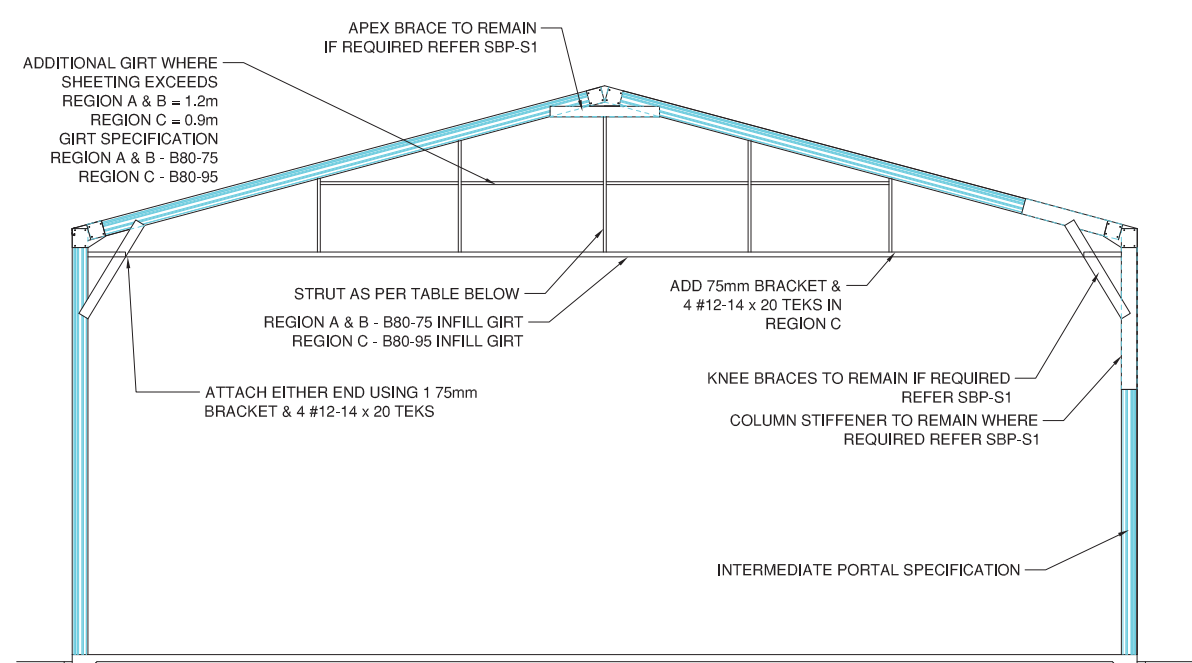


LINTEL OPENING GARAPORT

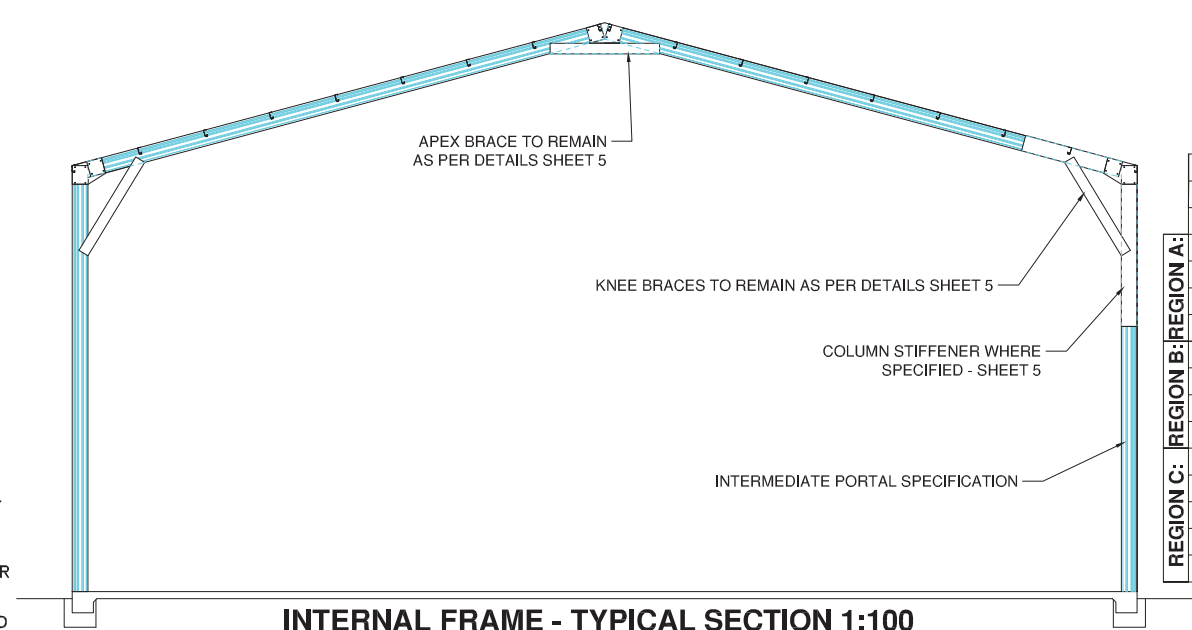


GARAPORT AT EACH END

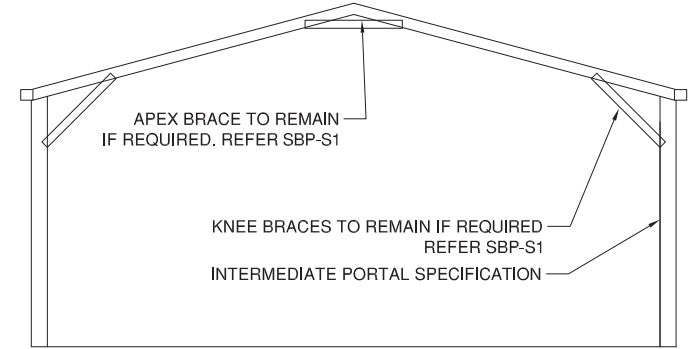
1. GARAPORTS MAY BE ERECTED AT FRAME SPANS UP TO 12.0M & BAY SPACINGS UP TO 4.0M.
2. WHERE THE GARAPORT IS TO BE ERECTED WITHOUT A CONCRETE SLAB CONSTRUCT PIERS AS DETAILED ON SBP-S13 WITH THE TOP SURFACE LEVEL TO THE SLAB OF THE MAIN BUILDING.
3. MASONRY ANCHORS SHALL BE THE SAME SPECIFICATION TO WHAT IS SPECIFIED FOR INTERMEDIATE PORTAL FRAMES. REFER SBP-S1 & SBP-S6 FOR DETAILS.
4. FOR CONSTRUCTION DETAILS REFER TO THE RELEVANT STANDARD SPANBILD DRAWINGS CONTAINED WITHIN.
5. THE GARAPORT FRAME SIZE SHALL BE THE SAME AS THE INTERNAL ROOF PORTAL FRAME OF THE MAIN BUILDING
6. FORM A THICKENED EDGE CONCRETE SLAB AS PER THE ADJACENT BUILDING 30MM STEP DOWN BETWEEN THE FLOOR SLABS AND A 1:100 FALL ACROSS THE GARAPORT SLAB
7. GARAPORT BAYS MUST NOT EXCEED 50% OF TOTAL NUMBER OF BAYS. MAXIMUM GARAPORT LENGTH = 3 BAYS.
8. LINTEL OPENINGS IN GARAPORTS ARE ALLOWABLE OPPOSITE EACHOTHER



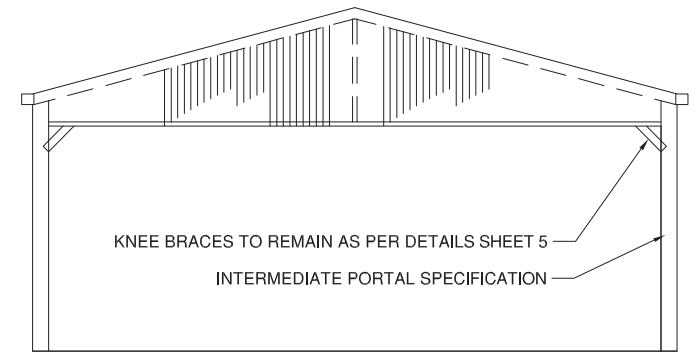
EXTERNAL FRAME - TYPICAL SECTION 1:100



INTERNAL FRAME - TYPICAL SECTION 1:100

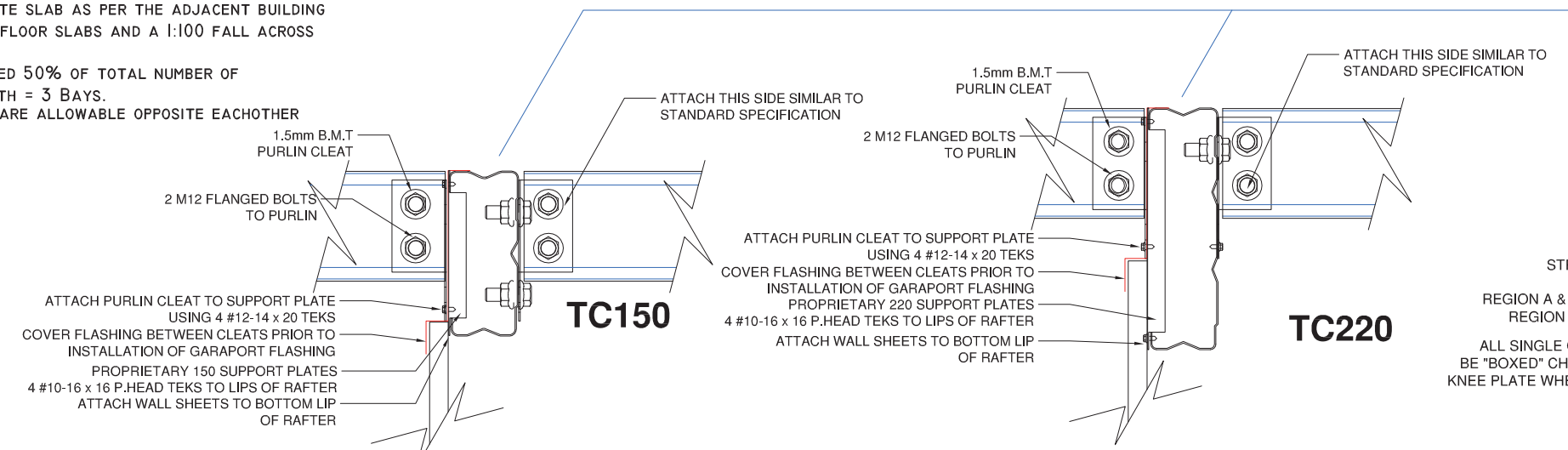
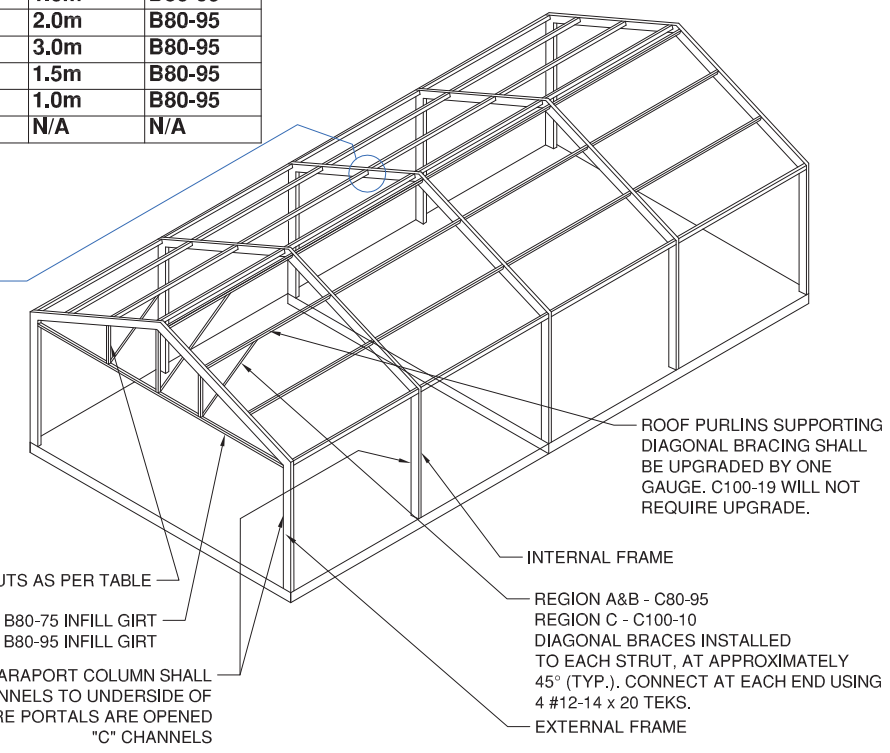


OPEN GABLE END



CLAD GABLE END

STRUTT SPECIFICATION & SPACING					
		15° ROOF PITCH		25° ROOF PITCH	
SPAN:	SPACING:	GAUGE:	SPACING:	GAUGE:	
REGION A:	4.0m	2.0m	B80-75	2.0m	B80-95
	6.0m	3.0m	B80-75	3.0m	B80-95
	9.0m	3.0m	B80-75	1.5m	B80-95
	12.0m	3.0m	B80-75	1.5m	B80-95
REGION B:	4.0m	2.0m	B80-95	2.0m	B80-95
	6.0m	3.0m	B80-95	3.0m	B80-95
	9.0m	3.0m	B80-95	1.5m	B80-95
	12.0m	3.0m	B80-95	1.0m	B80-95
REGION C:	4.0m	2.0m	B80-95	2.0m	B80-95
	6.0m	3.0m	B80-95	3.0m	B80-95
	9.0m	3.0m	B80-95	1.5m	B80-95
	11.0	2.0m	B80-95	1.0m	B80-95
	12.0m	2.0m	B80-95	N/A	N/A



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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.

**Ronald A Bell**

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Registered Professional Engineer  
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APEC Engineer, IntPE(Aust)

**06 JUL 2020**

Signed: RPEQ (6715), RBPNT (60396ES), RBPVA (EC27967),  
RBPVAs (CC5550), MAIB (9225), JPCQua.

**STRUCTURAL DETAILS CONCURRED**

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**GENERIC PORTAL BUILDINGS**

**GARAPORTS**

**SBP-S10**  
**REV A**

REVISION SUFFIX

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**GENERAL NOTES**

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, ANY DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS TO BE CHECKED BY THE CONTRACTOR BEFORE COMMENCING WORK.
3. WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH RELEVANT CURRENT AUSTRALIAN STANDARDS, BCA AND LOCAL AUTHORITY BY LAW.
4. DRAWINGS SHALL NOT BE SCALED FOR ANY FABRICATION OR ERECTION DETAILS.
5. AT SETOUT, DIAGONALS MUST BE CAREFULLY CHECKED TO ENSURE BUILDING IS SQUARE.
6. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT PLANS RELATING TO THE BUILDING.
7. DESIGNS SHOWN HEREIN ARE APPROPRIATE TO CLASS 6, 7, 8 & 10 BUILDINGS IN ACCORDANCE WITH THE BCA.
8. 200um POLYTHENE LAYER SHALL BE PROVIDED UNDER CONCRETE SLABS. (OPTIONAL BUT RECOMMENDED REFERS TO CLASS 10a STRUCTURES ONLY).

**FOUNDATIONS:**

1. SERVICES OF AN EXPERIENCED CONSULTING ENGINEER SHOULD BE ENGAGED TO ADVISE ON SUITABILITY OF SOIL CONDITIONS.
2. SLAB DESIGNS SHOWN HEREIN, ARE APPROPRIATE TO THE FOLLOWING SOIL CONDITIONS:  
 "A" - SAND AND ROCK SITES WITH NO MOVEMENT EFFECTS FROM MOISTURE CHANGES  
 "S" - SLIGHTLY REACTIVE CLAY SITES  
 "M" - MODERATELY REACTIVE CLAY SITES  
 "M-D" - MODERATELY REACTIVE CLAY SITES WITH DEEP MOVEMENTS IN SOIL DUE TO DEEP MOISTURE VARIANCE
3. THESE DESIGNS ARE ALSO SUITABLE FOR "CONTROLLED FILL" SITES. FOUNDING MATERIAL SHALL BE CLASS 1 COMPACTED SOIL (95% COMPACTION) - APPLICABLE TO CONTROLLED FILL SITES ONLY.
4. FOUNDING MATERIAL SHALL HAVE SAFE BEARING CAPACITY OF 100 kPa.
5. SERVICES OF AN EXPERIENCED CONSULTING ENGINEER SHOULD BE ENGAGED AT CLIENT'S EXPENSE TO CONFIRM THE ABOVE SAFE BEARING PRESSURE HAS BEEN ACHIVED AT THE BASE OF ALL FOOTINGS
6. ALL TOPSOIL AT BASE OF FOUNDATIONS TO BE CLEARED OF ALL DELETERIOUS MATERIAL.

**LOADINGS**

1. VEHICULAR LOADING:  
 100mm THICK SLAB  
 DEAD AND POINT U.D.L - 3.0kPa (UNIFORMLY DISTRIBUTED LOAD)  
 POINT LIVE LOAD = 7.5kN  
 TYP. FOR LIGHT VEHICLE TRAFFIC AREAS (LESS THAN 3.0T G.V.M.)  
 125mm THICK SLAB  
 DEAD AND POINT U.D.L - 5.0kPa (UNIFORMLY DISTRIBUTED LOAD)  
 POINT LIVE LOAD = 12.5kN  
 TYP. FOR MEDIUM TRAFFIC AREAS (LESS THAN 5.0T G.V.M.)

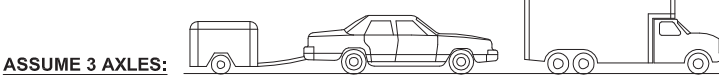
**NOTES::**

- POINT LIVE LOAD OF 7.5kN OR 12.5kN - REPRESENTS LOAD AT EACH WHEEL (DUAL WHEELS ARE TO BE ASSUMED AS ONE)
- THE MORE AXLES THERE IS, THE HIGHER THE MAX. G.V.M
- PNEUMATIC WHEELS ARE ASSUMED. CONSULT ENGINEERING ADVICE FOR APPLICATIONS USING SOLID WHEELS (E.G. FORKLIFTS, PALLET JACKS, ETC)
- CONVERSION FROM kN TO KG ~ 1kN = 100KG
- G.V.M ~ GROSS VEHICLE MASS

**SOME EXAMPLES AS FOLLOWS:**



ASSUME 2 AXLES:  
 100mm THICK SLAB = 3.0T G.V.M  
 125mm THICK SLAB = 5.0 T G.V.M



ASSUME 3 AXLES:  
 100mm THICK SLAB = 4.5 T G.V.M  
 125mm THICK SLAB = 7.5 T G.V.M

- POINT LOADING FROM PALLET RACKING HAS NOT BEEN COVERED BY THESE DESIGNS. CONSULT PROFESSIONAL ENGINEERING ADVICE FOR THESE APPLICATIONS.

**1.2 WIND LOAD CALCULATED IN ACCORDANCE WITH AS/NZS 1170.2:2011**

**ABNORMAL SITE CONDITIONS**  
 FOOTING AND SLAB DESIGNS SHOWN HEREIN, DO NOT COVER THE FOLLOWING SITE CONDITIONS:

1. RECENT REMOVAL OF AN EXISTING BUILDING LIKELY TO HAVE SIGNIFICANTLY MODIFIED THE SOIL MOISTURE CONDITIONS UNDER THE PROPOSED PLAN OF THE BUILDING.
2. UNUSUAL MOISTURE CONDITIONS CAUSED BY DRAINS, CHANNELS, PONDS DAMS OR TANKS.
3. RECENT REMOVAL OF LARGE TREES PRIOR TO CONSTRUCTION.
4. GROWTH OF TREES TO CLOSE TO A FOOTING.

**CONCRETE**

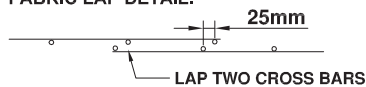
1. CONCRETE SHALL HAVE MAXIMUM AGGREGATE SIZE OF 20mm, SLUMP OF 80+/-20 AND ULTIMATE COMPRESSION STRENGTH AT 28 DAYS OF 20 MPa.
2. CONCRETE SHALL BE PLACED IN ONE CONTINUOUS OPERATION AND BE COMPACTED BY EXTERNAL VIBRATION OR HAND TAMPING.
3. POUR SLAB ON 50mm COMPACTED SAND OR 100mm LAYER OF CRUSHER DUST DEPENDING ON LOAD REQUIREMENTS AND 200um POLYTHENE WATERPROOF MEMBRANE (LAPPED 200 AND SEALED WITH APPROPRIATE TAPE). - OPTIONAL BUT RECOMMENDED.
4. ALL REINFORCEMENT SHALL BE HELD IN POSITION WITH THE USE OF BAR CHAIRS.
5. REINFORCEMENT QUALITY AND NOTATION:

SYMBOL:	BAR SHAPE:	GRADE:	STANDARD:
S	STRUCTURAL GRADE DEFORMED RIB BAR	250 (Mpa)	AS 1302
N	HOT ROLLED DEFORMED RIB BAR	500 (Mpa)	AS 4671
R	PLAIN ROUND BAR	250 (Mpa)	AS 4671
SL	SQUARE MESH OF DEFORMED RIB BAR	500 (Mpa)	AS 4671
L-TM	TRENCH MESH	500 (Mpa)	AS 4671

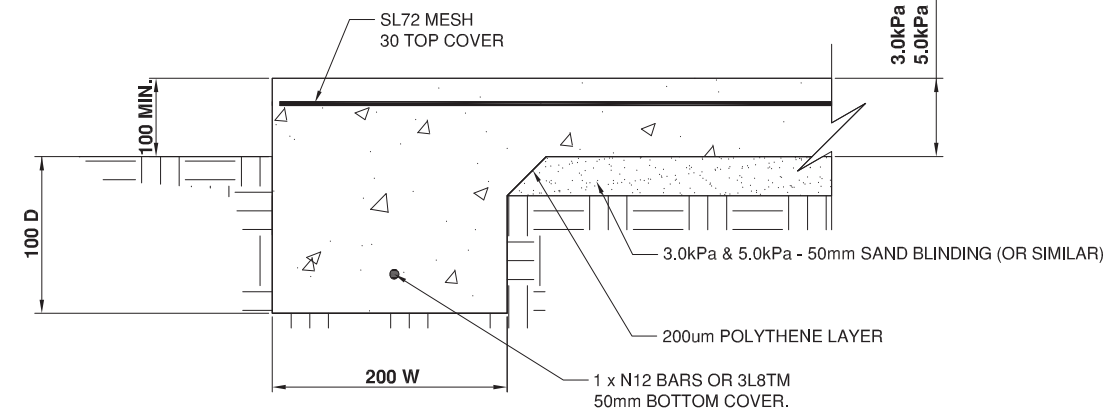
**6. SPLICES IN REINFORCEMENT TO OVERLAP AS FOLLOWS:**

BAR SIZE:	LAP LENGTH:
N10	375
N12	500
N16	600
3L8-TM	500
3L11-TM	500

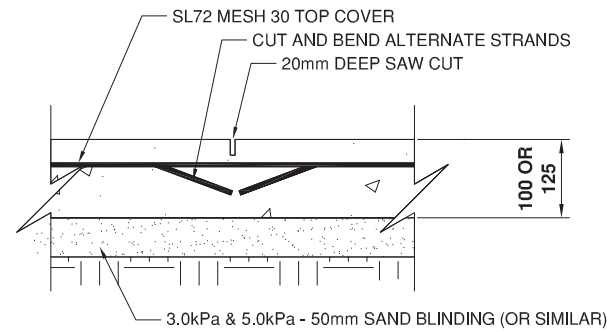
7. WELDING OF THE REINFORCEMENT IS NOT PERMITTED U.N.O.
8. FABRIC LAP DETAIL:



9. PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF AN ENGINEER. PIPES OR CONDUITS CAST WITHIN THE SLAB SHALL BE PLACED IN THE MIDDLE THIRD OF THE CONCRETE. PIPES/CONDUITS SHALL NOT BE BUNDLED.
10. CONTROL JOINTS ARE TO BE PLACED AT INTERVALS OF NO GREATER THAN 50m2.
11. ALL SLABS TO BE POURED AT THE SAME TIME AS THE BEAMS WHICH THEY FORM PART OF.
12. CONSTRUCTION JOINTS ARE TO BE USED WHERE REQUIRED, GENERALLY THIS IS GOVERNED BY THE AMOUNT OF CONCRETE THAT CAN BE POURED IN ONE DAY.
9. CONCRETE WORK SHALL ALL COMPLY WITH THE REQUIREMENTS OF:- AS 2870 RESIDENTIAL SLAB AND FOOTINGS

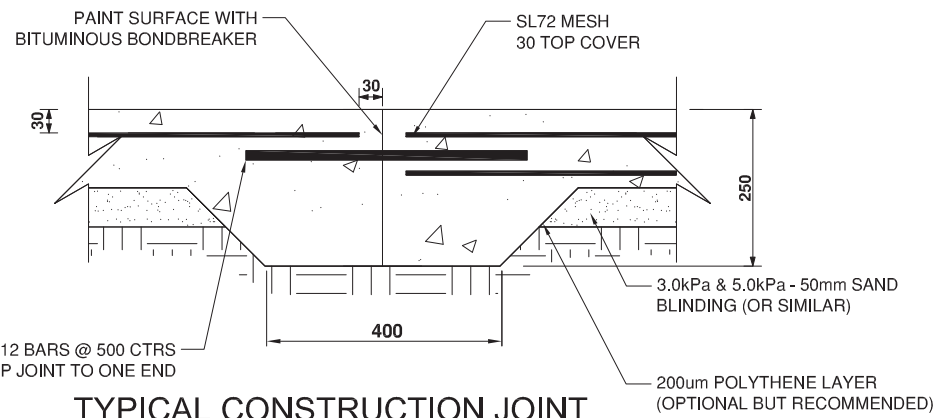


**TYPICAL EDGE BEAM**



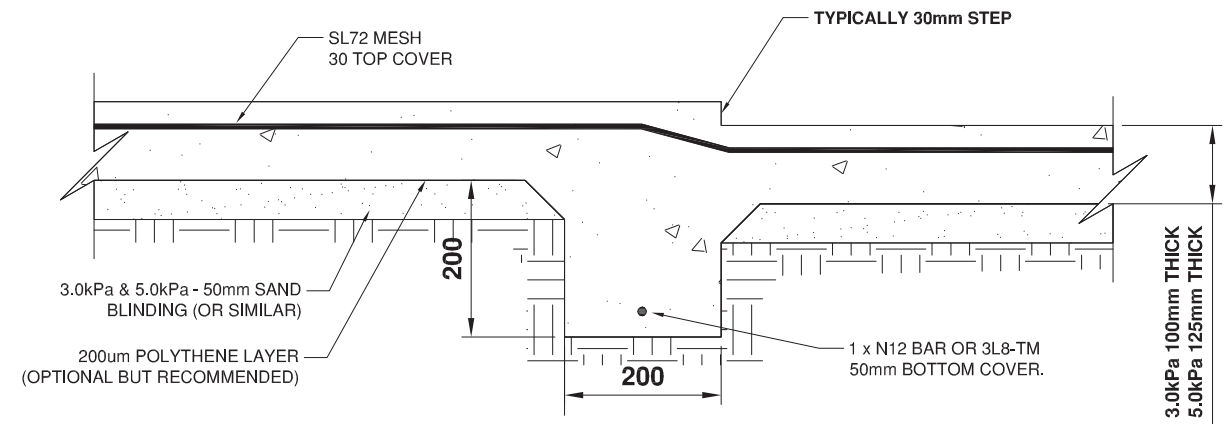
**TYPICAL CONTROL JOINT**

NOTE: PLACE AT NO GREATER THAN 50m² SEGMENTS



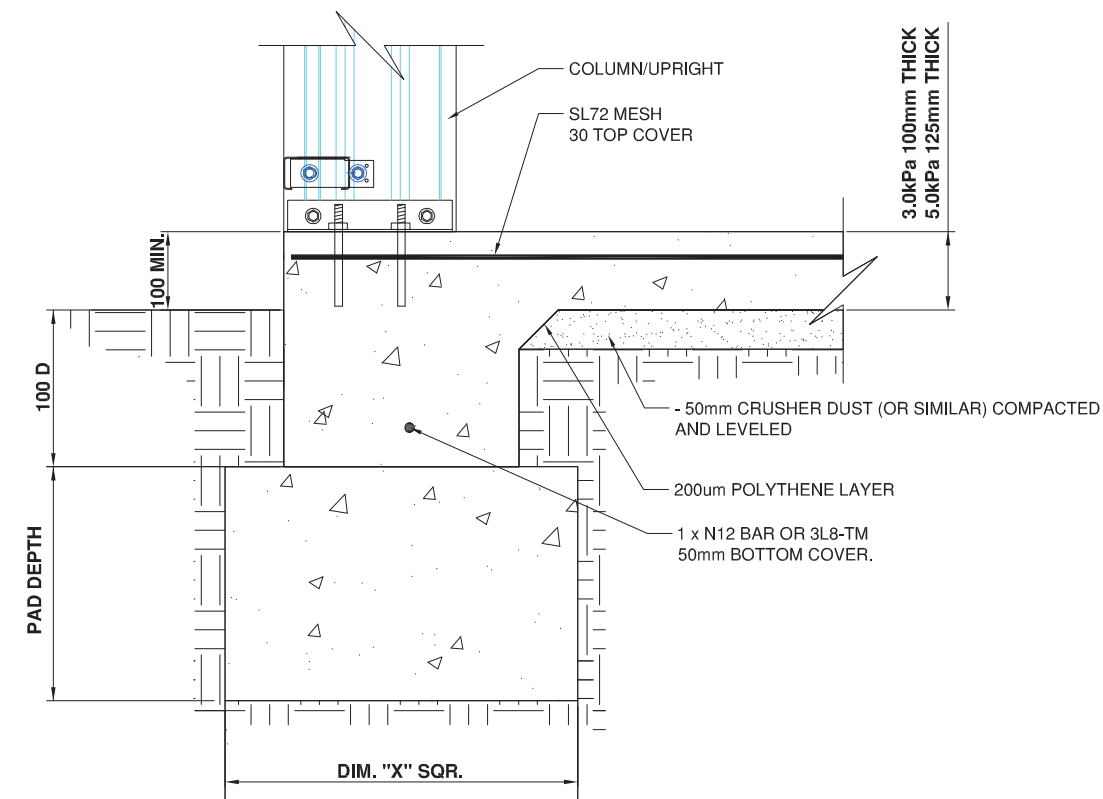
**TYPICAL CONSTRUCTION JOINT**

ALTERNATIVELY - USE PROPRIETARY JOINTING SYSTEM



**TYPICAL STEP DOWN DETAIL**

TYPICALLY USED FOR GARAPORTS AND AWNINGS



**TYPICAL PAD FOOTING DETAIL**

USED WHERE REQUIRED - REFER DRAWING SBP-S13

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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.  
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 APEC Engineer, IntPE(Aust)  
 06 JUL 2020  
 Signed: RPEQ (6715), RBPNTD (60396ES), RBPVAC (EC27967),  
 RBPNTA (CC5550), MAIB (9225), JPQuab.  
 STRUCTURAL DETAILS CONCURRED

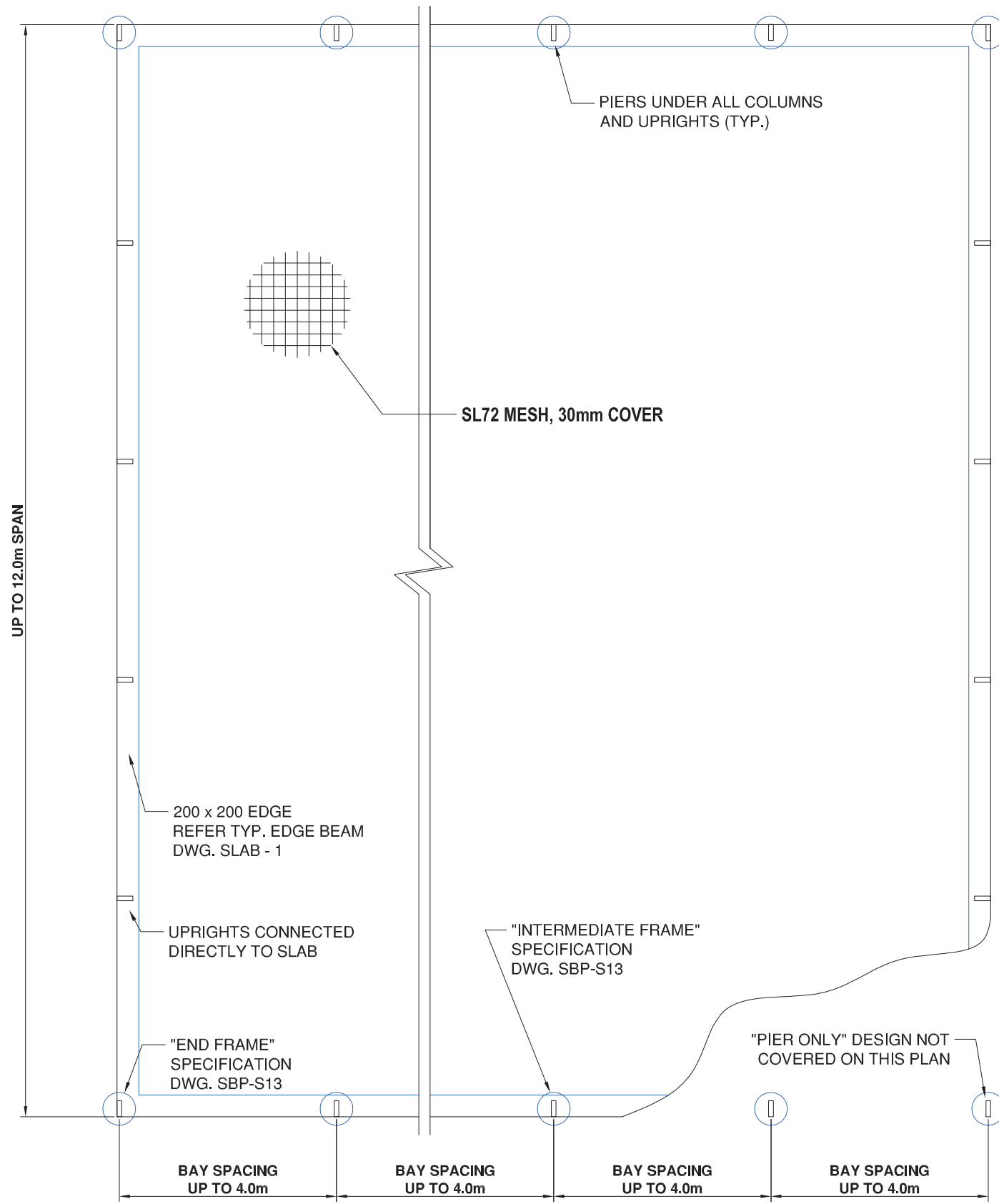
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**GENERIC PORTAL BUILDINGS**

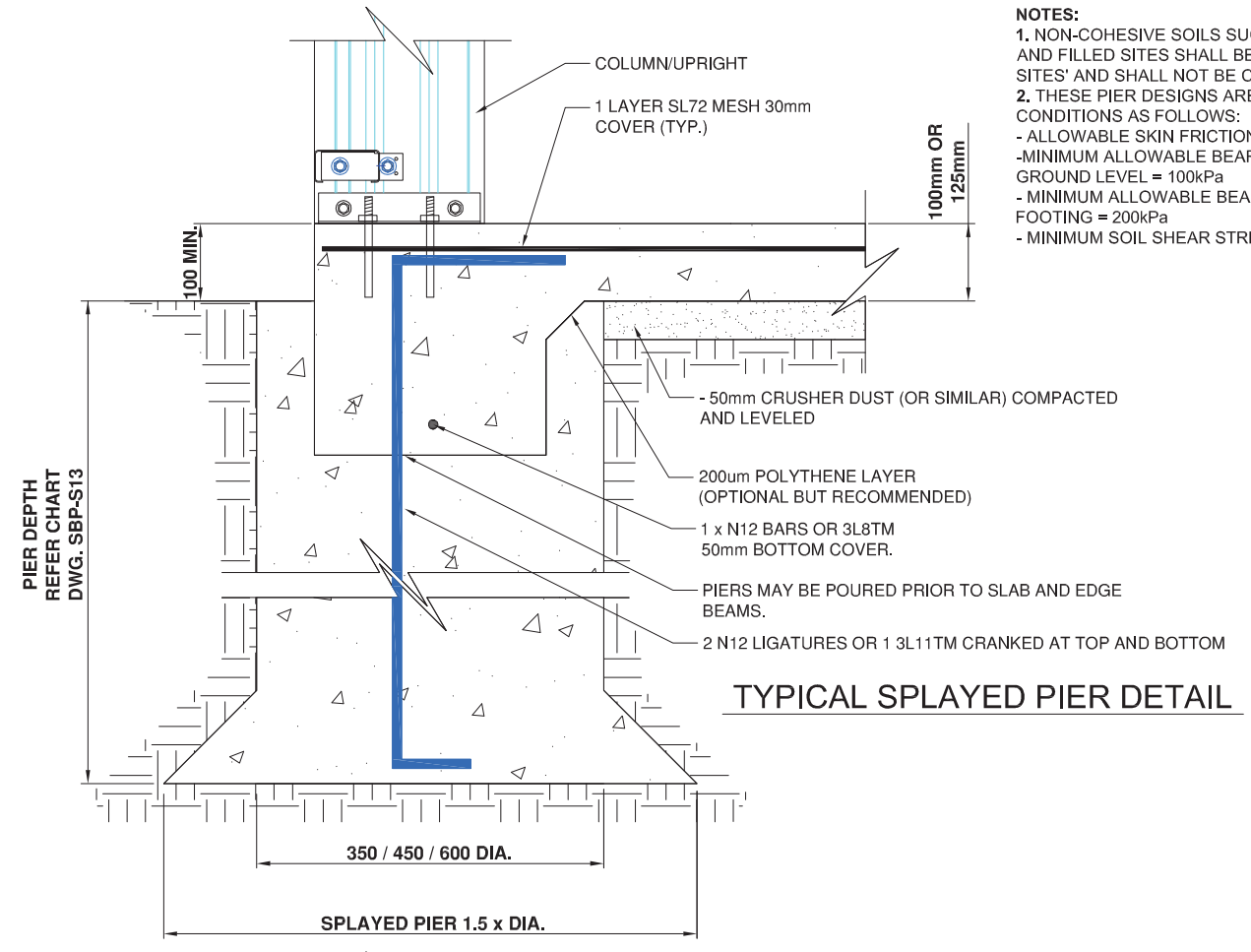
**CONCRETE SLAB DETAILS 1**

**SBP-S11**  
**REV A**

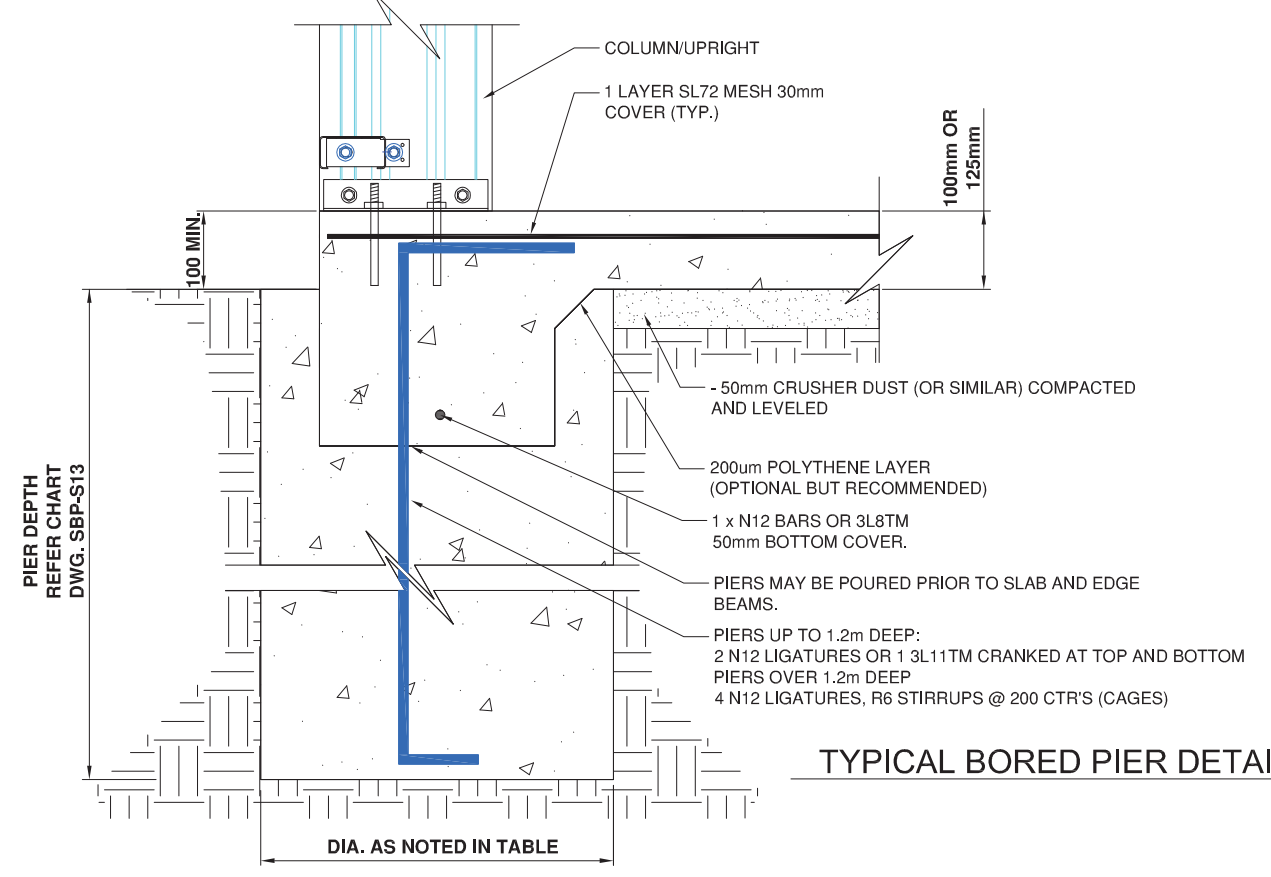
REVISION SUFFIX



TYPICAL CONCRETE SLAB PLAN



TYPICAL SPLAYED PIER DETAIL



TYPICAL BORED PIER DETAIL

- NOTES:
- NON-COHESIVE SOILS SUCH AS SANDS, LOOSE SILTS AND FILLED SITES SHALL BE TREATED AS 'PROBLEM SITES' AND SHALL NOT BE COVERED BY THIS DESIGN
  - THESE PIER DESIGNS ARE APPROPRIATE TO SOIL CONDITIONS AS FOLLOWS:
    - ALLOWABLE SKIN FRICTION = 15kPa
    - MINIMUM ALLOWABLE BEARING CAPACITY AT NATURAL GROUND LEVEL = 100kPa
    - MINIMUM ALLOWABLE BEARING CAPACITY AT BASE OF FOOTING = 200kPa
    - MINIMUM SOIL SHEAR STRESS OF 25kPa.

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STRUCTURAL DETAILS CONCURRED

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GENERIC PORTAL BUILDINGS

CONCRETE SLAB DETAILS 2

**SBP-S12**  
**REV A**

REVISION SUFFIX

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**Footings End frames All heights**


		Wind Zone and Terrain Category														
Pressure coefficient		Enclosed Pressure					Opened Pressure									
Bay Space	Span	A3	A2.5	A2	B3	B2.5	B2	A3	A2.5	A2	B3	B2.5	B2	C3	C2.5	C2
3.0	3.0															
3.0	4.0														Pad 3	Pier 1
3.0	5.0														Pad 3	Pier 1
3.0	6.0											Pad 3	Pad 3	Pad 3	Pier 1	Pier 1
3.0	7.0					Pad 1	Pad 3				Pad 2	Pad 3	Pier 1	Pad 3	Pier 1	Pier 1
3.0	8.0					Pad 3	Pad 3				Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.0	9.0				Pad 3	Pad 3	Pier 1		Pad 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.0	10.0				Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3.0	11.0			Pad 2	Pad 3	Pier 1	Pier 1		Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3.0	12.0		Pad 2	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
3.5	3.0															
3.5	4.0														Pad 3	Pad 3
3.5	5.0											Pad 2	Pad 3	Pad 2	Pier 1	Pier 1
3.5	6.0					Pad 1	Pad 3				Pad 2	Pad 3	Pier 1	Pad 3	Pier 1	Pier 1
3.5	7.0					Pad 3	Pad 3				Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.5	8.0				Pad 3	Pad 3	Pier 1		Pad 2	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.5	9.0			Pad 1	Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3.5	10.0		Pad 1	Pad 3	Pad 3	Pier 1	Pier 1	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2
3.5	11.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
3.5	12.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 3	Pier 3
4.0	3.0															Pad 3
4.0	4.0														Pad 3	Pier 1
4.0	5.0						Pad 2					Pad 3	Pad 3	Pad 3	Pier 1	Pier 1
4.0	6.0					Pad 3	Pad 3				Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
4.0	7.0				Pad 3	Pad 3	Pier 1		Pad 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
4.0	8.0			Pad 1	Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
4.0	9.0		Pad 1	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
4.0	10.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
4.0	11.0		Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 1	Pier 3	Pier 3
4.0	12.0	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2	Pier 3	Pier 3

**Footings Intermediate frames All heights**

		Wind Zone and Terrain Category														
Pressure coefficient:		Enclosed Pressure					Opened Pressure									
Bay Space	Span	A3	A2.5	A2	B3	B2.5	B2	A3	A2.5	A2	B3	B2.5	B2	C3	C2.5	C2
3	3.0															Pad 3
3	4.0															Pad 3
3	5.0												Pad 3			Pier 1
3	6.0											Pad 3	Pier 1		Pad 2	Pier 1
3	7.0										Pad 3	Pier 1	Pier 1		Pad 3	Pier 1
3	8.0										Pad 3	Pier 1	Pier 1	Pier 1	Pad 2	Pier 1
3	9.0										Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1
3	10.0										Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1
3	11.0										Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1
3	12.0										Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1
3.5	3.0															Pad 3
3.5	4.0														Pad 3	Pad 3
3.5	5.0											Pad 2	Pad 3	Pad 2	Pier 1	Pier 1
3.5	6.0					Pad 1	Pad 3				Pad 2	Pad 3	Pier 1	Pad 3	Pier 1	Pier 1
3.5	7.0					Pad 3	Pad 3				Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.5	8.0				Pad 3	Pad 3	Pier 1		Pad 2	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1
3.5	9.0			Pad 1	Pad 3	Pier 1	Pier 1		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2
3.5	10.0		Pad 1	Pad 3	Pad 3	Pier 1	Pier 1	Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 2
3.5	11.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 2	Pier 3
3.5	12.0		Pad 3	Pad 3	Pier 1	Pier 1	Pier 1	Pad 3	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 1	Pier 3	Pier 3
4	3.0															Pad 3
4	4.0														Pad 3	Pier 1
4	5.0											Pad 2	Pier 1	Pier 1		Pad 3
4	6.0											Pad 1	Pier 1	Pier 1	Pad 3	Pier 1
4	7.0											Pad 3	Pier 1	Pier 1	Pad 3	Pier 1
4	8.0											Pad 3	Pier 1	Pier 1	Pad 3	Pier 1
4	9.0											Pad 3	Pier 1	Pier 1	Pad 3	Pier 1
4	10.0											Pad 3	Pier 1	Pier 1	Pad 3	Pier 1
4	11.0											Pad 3	Pier 1	Pier 1	Pad 3	Pier 1
4	12.0											Pad 3	Pier 1	Pier 1	Pad 3	Pier 1

Key	Footings Required
	Cont. Footings 200x200 on all slabs - Below specifications are additional
Pad 1	300 SQR. x 200 deep Pad Footing
Pad 2	300 SQR. x 300 deep Pad Footing
Pad 3	300 SQR. x 450 deep Pad Footing
Pier 1	350 DIA. x 600 Deep Pier Splayed at Base OR 350 DIA. x 1050 Deep Bored Pier
Pier 2	350 DIA. x 800 Deep Pier Splayed at Base OR 350 DIA. x 1300 Deep Bored Pier
Pier 3	350 DIA. x 1200 Deep Pier Splayed at Base OR 450 DIA. x 1900 Deep Bored Pier
Pier 4	450 DIA. x 1000 Deep Pier Splayed at Base OR 600 DIA. x 1800 Deep Bored Pier
Pier 5	450 DIA. x 1200 Deep Pier Splayed at Base OR 600 DIA. x 2200 Deep Bored Pier
Pier 6	600 DIA. x 1000 Deep Pier Splayed at Base OR 600 DIA. x 2600 Deep Bored Pier

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PO Box 1671  
Browns Plains BC, QLD, 4118  
Phone: 07 3800 0973  
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I certify that buildings erected in accordance with these drawings will comply with the Building Code of Australia.  
Ronald A Bell

Ronald A. Bell  
Registered Professional Engineer  
Grad Cert (Tech Mgt), BEng Civil (Hons),  
FIEAust (891940), CMEngNZ (1027605), CPEng, NER,  
APEC Engineer, IntPE(Aust)

**06 JUL 2020**

Signed  
RPEQ (6715), RBPNT (603965), RBPVA (EC27967),  
RBPV (CC5550), MAIB (9225), JPQuab.

**STRUCTURAL DETAILS CONCURRED**

**STEEL SHEDS**  
AUSTRALIA  
ACN 635 514 304  
74 Platinum St Crestmead  
Brisbane QLD 4132  
PH: (07) 3827 8000 FAX: (07) 3803 2315

**GENERIC PORTAL BUILDINGS**

**CONCRETE SLAB DETAILS 3**

**SBP-S13**  
**REV A**

REVISION SUFFIX