2 September 2021

Douglas Shire Council Planning Department

Via email: enquires@douglas.qld.gov.au

Dear Sir/Madam,

RE: Early Concurrence Agency Response 147 Ponzo Road Shannonvale, QLD 4873

I have commenced a building application for a shed on my property with GMA Certification Group-Port Douglas. They have informed me that due to the proposed location, the Hillslope Overlay requirements of the Douglas Shire Planning Scheme will be triggered.

I am therefore seeking an early concurrence agency response in regard to this hillslope overlay requirement and provide the following supporting documentation:

- 1. Development Form 2
- 2. Shed location on block
- 3. Shed drawings
- 4. Proposed earthworks pad
- 5. Hillslope response schedule
- 6. Hillslope Affected area of block

I trust this will be sufficient to process my request and understand that there are fees involved

Please do not hesitate to contact me should you require and further information.

Regards

Scott Hahne

0475 833 947

scott.hahne2@gmail.com

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (*DA Form 2*) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* **and** parts 4 to 6 of this form (*DA Form 2*).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 - APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Scott Hahne
Contact name (only applicable for companies)	N/A
Postal address (PO Box or street address)	PO Box 341
Suburb	Mossman
State	QLD
Postcode	4873
Country	Australia
Contact number	0475 833 947
Email address (non-mandatory)	scott.hahne2@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)
Note : Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <u>DA Forms Guide</u> : Relevant plans.
2.1) Street address and lot on plan
Street address AND lot on plan (all lots must be listed), or
Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).



Unit No.	Street No.	Street Name and Type	Suburb		
	147 Ponzo Road		Shannonvale	Shannonvale	
Postcode	Lot No.	. Plan Type and Number (e.g. RP, SP)		Local Government Area(s)	
4873	4	SP259954	Douglas Shire		
2.2) Additional p	oremises				
		ant to this development applicat	ion and the details of the	ese premises have been	
	schedule to this	s development application			
Not required					
2) Are there are	, existing easem	anta over the promises?			
Note: Easement us	es vary throughout (ents over the premises? Queensland and are to be identified corre lopment, see the <u>DA Forms Guide</u>	ectly and accurately. For furthe	r information on easements and	
Yes – All eas		s, types and dimensions are inclu	ided in plans submitted v	vith this development	
application					
⊠ No					
PART 3 – FL	IDTUED DE	TAILC			
ANISTI		IAILO			
4) Is the applica	tion only for buil	ding work assessable against the	e huilding assessment n	rovisions?	
Yes − proces		ang work assessable against the	s building assessment pr	041310113:	
□ No	5G 10 0)				
5) Identify the as	ssessment man	ager(s) who will be assessing this	s development application	on	
		eed to apply a superseded planr		elopment application?	
		notice is attached to this develop	• • • • • • • • • • • • • • • • • • • •		
attached	vernment is take	en to have agreed to the superse	ded planning scheme re	quest – relevant documents	
□No					
7) Information re	7) Information request under Part 3 of the DA Rules				
I agree to receive an information request if determined necessary for this development application					
I do not agree to accept an information request for this development application					
Note: By not agreeing to accept an information request I, the applicant, acknowledge: that this development application will be assessed and decided based on the information provided when making this development					
application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant					
parties.					
 Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the <u>DA Forms Guide</u>. 					
runner auvice about information requests is contained in the <u>DA Porms Guide</u> .					
8) Are there any	associated dev	elopment applications or current	approvals?		
 ✓ Yes – provide details below or include details in a schedule to this development application ✓ No 					
List of approval/	development	Reference	Date	Assessment manager	
Approval		Building Work excluding	Danding this	GMA Certification Group	
□ I I I I I I I I I I I I I I I I I	t application	Hillslope Overlay compliance	Pending this application	- Port Douglas	

Approval

Development application				
9) Has the portable long serv		· · ·		
☐ Yes – a copy of the receip☐ No – I, the applicant will perform the complex of the complex o				
assessment manager dec				
give a development appro	val only if I prov	ide evidence that the por	table long service l	eave levy has been paid
Not applicable (e.g. buildir	ng and construc	tion work is less than \$15	50,000 excluding G	ST)
Amount paid	Date paid (dd/	mm/yy)	QLeave levy numbe	er (A, B or E)
\$				
10) Is this development applic notice?	cation in respon	se to a show cause notic	e or required as a r	esult of an enforcement
Yes – show cause or enfo	rcement notice i	s attached		
No Since suggested the si		o allaonoa		
11) Identify any of the following	ng further legisla	ative requirements that ap	oply to any aspect o	of this development
application				
The proposed developmen government's Local Herita				
requirements in relation to				ov.au about the
Name of the heritage place:		Plac	e ID:	
PART 4 – REFERRAL	DETAILS			
12) Does this development a	onlication includ	e any huilding work aspe	cts that have any r	eferral requirements?
12) Does this development approximately Yes – the Referral checkli		<u> </u>	•	<u> </u>
Yes – the Referral checkli		<u> </u>	•	<u> </u>
		<u> </u>	•	<u> </u>
Yes – the Referral checkli	st for building w	ork is attached to this dev	velopment applicati	on
 ∑ Yes – the Referral checkling ☐ No – proceed to Part 5 	st for building w	ork is attached to this deve	velopment applicati	on n?
 ✓ Yes – the Referral checkli ✓ No – proceed to Part 5 13) Has any referral agency page 1 	st for building w	ork is attached to this deve	velopment applicati	on n?
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State			
Postcode			
Country			
Contact number			
Email address (non-mandatory)			
Mobile number (non-mandatory)			
Fax number (non-mandatory)			
, , , , , , , , , , , , , , , , , , , ,			
15) Builder's details			
☐ Tick if a builder has not yet be following information.	een engaged to undertake th	ne work and proceed to 16).	Otherwise provide the
Name(s) (individual or company full n	ame)		
Contact name (applicable for compa	nnies)		
QBCC licence or owner – builde	er number		
Postal address (P.O. Box or street a	address)		
Suburb			
State			
Postcode			
Contact number			
Email address (non-mandatory)			
Mobile number (non-mandatory)			
Fax number (non-mandatory)			
16) Provide details about the pro	oposed building work		
16) Provide details about the pro- What type of approval is being s			
What type of approval is being s ☑ Development permit			
What type of approval is being s ☐ Development permit ☐ Preliminary approval	sought?		
What type of approval is being s Development permit Preliminary approval b) What is the level of assessment	sought?		
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What type of approval is being so Development permit Preliminary approval b) What is the level of assessment Code assessment Impact assessment (requires point of the proposed building New building or structure Change of building classificated Demolition d) Provide a description of the work Construction of new shed — Hills e) Proposed construction material	ent? sought? sought? soublic notification) ng work (tick all applicable bout tion (involving building work) york below or in an attached solope Overlay approval requirials Double brick	Repairs, alter Swimming po Relocation or schedule.	ool and/or pool fence removal Curtain glass
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What type of approval is being s Development permit Preliminary approval b) What is the level of assessment Code assessment Impact assessment (requires percent) c) Nature of the proposed building New building or structure Change of building classification Demolition d) Provide a description of the west construction of new shed – Hills e) Proposed construction material External walls Frame	ent? bublic notification) Ing work (tick all applicable botton (involving building work) by ork below or in an attached solope Overlay approval requirials Double brick Brick veneer Stone/concrete Timber Other Concrete	Repairs, alter Swimming po Relocation or schedule. Steel Timber Fibre cement Steel Timber Timber	Curtain glass Aluminium Other Other

g) New building use/classificat	on? (if applicable)	
Class 10		
h) Relevant plans		
Note: Relevant plans are required to be Relevant plans.	e submitted for all aspects of this developme	nt application. For further information, see <u>DA Forms Guide:</u>
Relevant plans of the propo	sed works are attached to the devel	opment application
17) What is the monetary value	e of the proposed building work?	
\$80,000.00		
18) Has Queensland Home Wa	arranty Scheme Insurance been paid	1?
☐ Yes – provide details below		
⊠ No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		
·		

PART 6 - CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of Form 2 – Building work details have been completed	⊠ Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	☐ Yes☒ Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	⊠ Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	☐ Yes ☑ Not applicable

20) Applicant declaration
\boxtimes By making this development application, I declare that all information in this development application is true and
correct
☑ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications
from the assessment manager and any referral agency for the development application where written
information is required or permitted pursuant to sections 11 and 12 of the Electronic Transactions Act 2001
Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

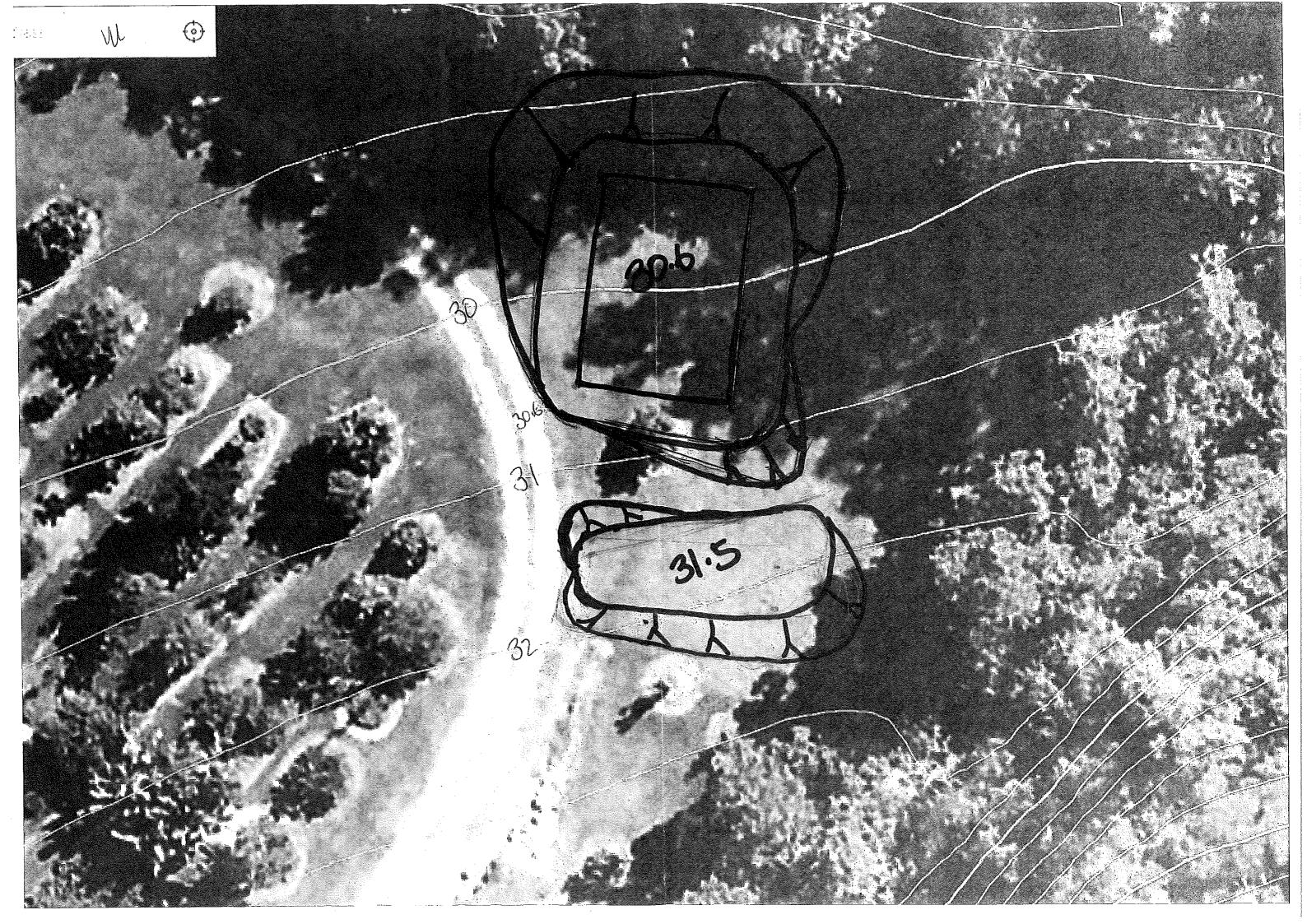
Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the Right to Information Act 2009); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002.*

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:	Reference r	numbers:	
Date received.	Reference	iumbers.	
For completion by the bu			
Classification(s) of appro	ved building work		
Name		QBCC Certification Licence number	QBCC Insurance receipt number
Notification of engageme	ent of alternative assessmo	ent manager	
Prescribed assessment r	manager		
Name of chosen assessr	ment manager		
Date chosen assessmen	t manager engaged		
Contact number of chose	en assessment manager		
Relevant licence number manager	r(s) of chosen assessment	t	
Additional information red	quired by the local govern	ment	
Confirm proposed constr	·	mont	
External walls	☐ Double brick☐ Brick veneer☐ Stone/concret	Steel Timber Fibre cement	☐ Curtain glass☐ Aluminium☐ Other
Frame	☐ Timber☐ Other	☐ Steel	☐ Aluminium
Floor	☐ Concrete	☐ Timber	☐ Other
Roof covering	☐ Slate/concrete	e	☐ Fibre cement ☐ Other
QLeave notification and p			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
	ted by assessment manag	ger	
Name of officer who sigh	ted the form		
Additional building details	s required for the Australia	an Bureau of Statistics	
Existing building use/class			
New building use/classific	cation?		
Site area (m²)		Floor area (m²)	



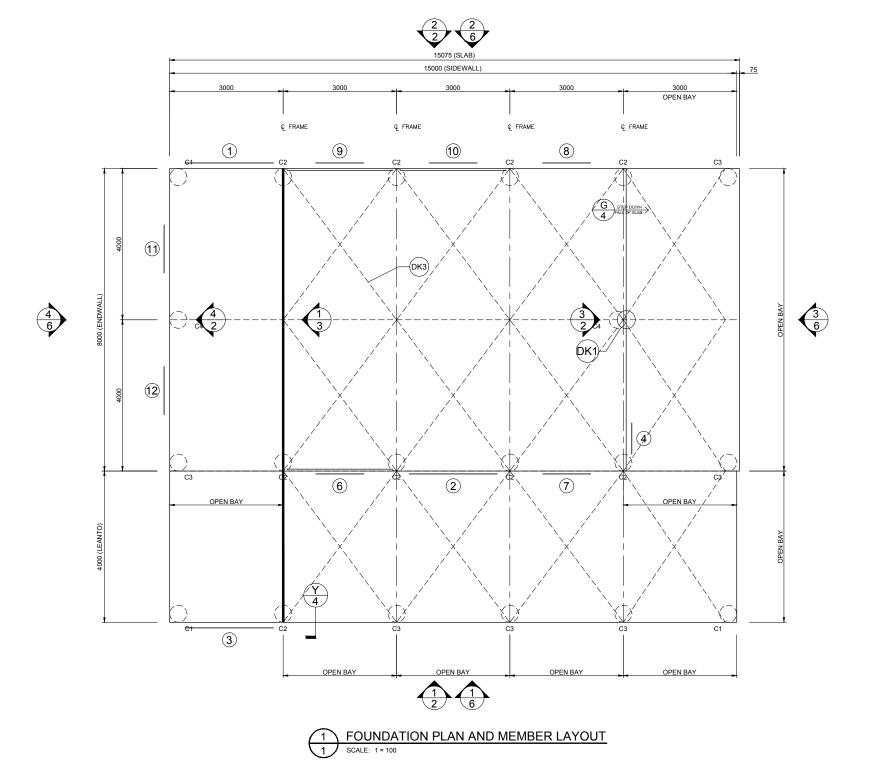


Selected Property

Land Parcels

Area Affected by Hillslopes

IF IN DOUBT, ASK.



ROOF STRAP BRACING TO BE CONNECTED TO THE PURLIN CLOSEST TO THE LINE OF THE END WALL MULLION FOR INTERNAL WALLS USE MULLION SPECIFICATIONS SEE MULTIBUILD LAYOUT SCREEN FOR INTERNAL OPENING POSITIONS

MEMBER LEGEND

ALL DIMENSIONS TO BE VERIFIED ON SITE

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY.

C1	C20015
C2	2C20019
C3	C20019
C4	C20024

CARDINAL ROOFING AND SHEDS
07 42319696
SCOTT HAHNE FOR FDS M 147 PONZON ROAD SHANNONVALE

fairdinkum SHEDS



Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812

Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56

tered Professional Engineer tered Professional Engineer (Civil & Structural) QLD tered Certifying Engineer (Structural) N.T. tered Engineer - (Civil) VIC ered Engineer - (Civil) TAS

Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. EC36692 Regn. No. CC5648M

Registered on the NPER in the areas of practice of Civil & Structural National Professional **Engineers Register**

Mr Timothy Roy Messer BE MIEAust RPEQ

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2 SCALE: 1 = 100 4 ENDWALL INTERIOR ELEVATION X BRACING IS REQUIRED IN 3 SIDE BAY(S) AND 2 ROOF BAY(S) (BOTH SIDES). BRACING IS NEEDED ON THE ROOFS ON BOTH SIDES OF THE GARAPORT ENDWALL. FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS. CARDINAL ROOFING AND SHEDS
07 42319696
SCOTT HAHNE Mr Timothy Roy Messer BE MIEAust RPEQ Civil & Structural Engineers NORTHERN CONSULTING 50 Punari Street Currajong, Qld 4812 FOR Fax: 07 4725 5850 FDS Μ Email: design@nceng.com.au ABN 341 008 173 56 Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. EC36692 Regn. No. CC5648M 147 PONZON ROAD SHANNONVALE stered Professional Engineer (Civil & Structural) QLD stered Professional Engineer (Civil & Structural) QLD stered Certifying Engineer (Structural) N.T. stered Engineer - (Civil) VIC stered Engineer - (Civil) TAS Registered on the NPER in the areas of practice of Civil & Structural National Professional **Engineers Register**

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3 SCALE: 1 = 50 Refer to Sheet #4 for concrete specification. CARDINAL ROOFING AND SHEDS
07 42319696 Mr Timothy Roy Messer BE MIEAust RPEQ Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 NORTHERN CONSULTING fairdinkum SHEDS FOR Fax: 07 4725 5850 FDS TM SCOTT HAHNE Email: design@nceng.com.au ABN 341 008 173 56 Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. EC36692 Regn. No. CC5648M stered Chartered Professional Engineer stered Professional Engineer (Civil & Structural) QLD stered Certifying Engineer (Structural) N.T. stered Engineer - (Civil) VIC stered Engineer - (Civil) TAS 147 PONZON ROAD SHANNONVALE Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register

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STRUCTURAL GENERAL NOTES

> CLADDING HOLD DOWN REINFORCING BRACKET MESH N.G.L -- NATURAL DIAMETER 450 x 1100 Diameter x Depth (mm) N.G.I. - NATURAL GROUNDLINE BORED LOCAL THICKENING DETAIL SBOHDB END COLUMN SHOWN BEYOND DOTTED REINFORCING MESH LAP TO MESH FALL OF SLAB 400 LOCAL THICKENING SHOWN BEYOND DOTTED G GARAPORT SLAB STEP DOWN DETAIL

- 1. GOVERNING CODE : NATIONAL CONSTRUCTION CODE (NCC), LOADING TO AS1170 ALL SECTIONS. BUILDING SUITABLE AS EITHER A PRIVATE CARACE CLASS 10A, OR A FARM SHED (CLASS 7 OR 8), UNLESS OTHERWISE SPECIFICALLY NOTED. FOR USE AS A FARM SHED, IT MUST MEET THE FOLLOWING REQUIREMENTS:

 BE LESS THAN 2000 SQM IN AFRA (INCLUSIVE OF ANY MEZZANINE FLOOR AREA).

 MUST BE LOCATED ON A FARM AND USED IN CONNECTION WITH FARMING PURPOSES BY PROPIE, WITH A MAXIMUM OF 1 FERSON PER 200 SQM OR 2 PERSONS MAXIMUM IN TOTAL WHICHEVER IS THE LESSER.

DRAWTING ONDERSHIP:
THESE DRAWINGS REMAIN THE PROPERTY OF FEHS (AUST) PTY LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF FBHS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM FBHS.

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CONCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.

CONTRACTOR RESPONSIBILITIES:

CERTIFIER AND CONTRACTOR TO CONFIRM [ON SITE] THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE
AND CORRECT FOR THE ADDRESS STATED IN THE TITLE BLOCK.

CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED
OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK.

CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST DETRAINING WRITTEN APPROVAL

PROMICANE THE INTERECTATION PROVIDEDS. THE ENVINEED OF DRAW TO DESPONDED THY PRO
CURRENT THE INTERECTATION OF THE ENVINEEDS. FROM ONE THE UNDERSIGNING ENGINEERS. THE ENGINEER / FBHS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL.

CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING

CONSTRUCTION.

BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS
COMPLETED IN ACCORDANCE WITH THESE DRAWINGS.
THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES.
FOR FUTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.

THE ENGINEER / FBHS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT

DURING CONSTRUCTION.
THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN FORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT.
THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY FBHS. IT IS THE RESPONSIBILITY OF THE

THESE DOUMENTS ARE STAMPLED ONLY AS TO THE COMPONENTS SUPPLIED BY HERS. IT'S THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY FHES WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY FEHS SHALL GOVERN. NO ALTERATIONS TO THIS STRUCTURE (INCLUDING REMOVAL OF CLADDING) ARE TO BE UNDERTAKEN WITHOUT THE CONSENT OF THE CERTIFYING ENGINEER.

OPENINGS SUCH AS WINDOWS AND DOORS NEED TO BE INSTALLED AS PER THE PRODUCT MANUFACTURER'S INFORMATION/DETAILS.

6. INSPECTIONS:
NO SPECIAL INSPECTIONS ARE REQUIRED BY THE COVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED NO SPECIAL INSPECTIONS ARE REQUIRED BY THE COMMENTS FXPENSE.

SOIL REQUIREMENTS : SITE CLASSIFICATION TO BE A, S OR M ONLY. SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 SITE CLASSIFICATION TO BE A, S OR M ONLY. SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, OR FARED, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE MALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE.

CLASS 10a or Class 7 FOOTING DESIGNS:

CLASS 10a or Class 7 FOOTING DESIGNS:
THE FOUNDATION DOCUMENTED IS ALSO APPROPRIATE FOR CLASS 10a or CLASS 7 BUILDING DESIGNS ON 'M-D', 'H',
'H-D' OR 'E' CLASS SOILS, IF TOTAL SLAB AREA IS UNDER 100m SQUARE AND THE MAXIMUM SLAB DIMENSION (LENGTH
AND WIDTH) IS LESS THAN OR EQUAL TO 12m.
PLEASE BE AWARE THAT THE SLAB DESIGN FOR H & E CLASS SOILS IN THESE INSTANCES ARE DESIGNED TO
EXPERIENCE SOME CRACKING. THIS CRACKING IS NOT CONSIDERED A STRUCTURAL FLAW OR DESIGN ISSUE, AND IS
SIMPLY COMMENTED IN NATURE. IF THIS IS A CONCENT TO THE CLIENT IT IS ADVISED THEY DISCUSS OTHER OPTIONS
WITH THE RELEVANT DISTRIBUTOR FRIOR TO THE POURING OF THE SLAB.

CONCERTE REQUIREMENTS:

WITH THE RELEVANT DISTRIBUTOR PRIOR TO THE POURING OF THE SLAB.

CONCRETE REQUIREMENTS:

ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH AS2870 AND AS3600.

CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPA FOR EXPOSURE A1 & B1, 25MPA FOR EXPOSURE A2 & B2 AND 32MPA FOR EXPOSURE C, IN ACCORDANCE WITH SECTION 4, AS3600. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLIMP TO BE 80mm +-15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES 1 LAVER OF SL72 REINFORCING WESH IS TO BE INSTALLED ON STANDARD SLABS WITH A MINIMUM 30MM COVER FROM CONCRETE SURFACE. CONCRETE REINFORCING TO CONFORM TO AS 1302, AS1303 & AS 1304. ALL REINFORCING COVER TO BE A MINIMUM OF 30mm.

STRUCTURAL STEEL RECUIREMENTS:

10. STRUCTURAL STEEL REQUIREMENTS:

ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm fy = 550MPa, GAUGE >= 1.5mm fy = 450MPa).

NO WELDING IS TO BE PERFORMED ON THIS BUILDING.

ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO AS4600. ALL BOLT HOLE DIAMETERS TO STRAMIT GENERAL

- 11. FOOT TRAFFIC:
 FOR ERECTION AND MAINTENANCE PLEASE NOTE THE FOLLOWING DEFINED FOOT TRAFFIC ZONES:
 CORRUGATED: WALK ONLY WITHIN 200MM OF SCREW LINES, FEET SPREAD OVER AT LEAST TWO RIBS.
 MONOCLAD: WALK ONLY IN PANS, OR ON RIBS AT SCREW LINES.

PROJECT DESIGN CRITERIA

ROOF LIVE LOAD: 0.25 kPa

BASIC WIND SPEED: VR 69.3 m/s

PRIMARY SITE WIND SPEED: VsitB 59 m/s

SECONDARY WIND SPEED: VsitB 62.1 m/s

WIND REGION: Reg C

TOPOGRAPHY FACTOR, Mt: 1 SHIELDING FACTOR, Ms: 1

MAX GROUND SNOW LOAD: N/A MAX ROOF SNOW LOAD: N/A

SITE ALTITUDE: N/A

TERRAIN CATEGORY: TCat 2.06

SOIL SAFE BEARING CAPACITY: 100 kPa

RETURN PERIOD: 1:500 LIMITING CPI 1: -0.65 LIMITING CPI 2: 0.7 IMPORTANCE LEVEL: 2

NOTES:
PRIMARY SITE WIND SPEED FOR THE DESIGN OF FRAME MEMBERS (MD = 0.95)
SECONDARY SITE WIND SPEED FOR THE DESIGN OF SHEETING, PURLIN & GIRTS (MD = 1)

DETAIL KEYS

(DK1) ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)

(DK2) FLYBRACING PER DETAIL L/5

(DK3) X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

(DK4) DOUBLE X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

DOOR SCHEDULE HEADER OPENING WIND GIRT JAMBS RATED DOOR | WIDTH | HEIGHT (1) 2.50H X 2.44 CB *SERIES A # 2340 SINGLE YES Z20024U 2480* 2.50H X 2.44 CE *SERIES A # 2340 2480* SINGLE 72002411 YES (3) 2.50H X 2.44 CB *SERIES A # 2340 YES 2400* SINGLE 72002411 (4) 820 NO 2040 SINGLE INTERNAL PA DOOR NO SILL LHH (5) 820 NO 2040 SINGLE **(6)** 1270 790 SINGLE YES (7) 1270 790 WINDOW SINGLE YES (8) 1270 790 YES 9 1270 YES 790 WINDOW SINGLE 10) 1270 790 SINGLE YES (11) 1270 790 WINDOW SINGLE YES 12 1270 790

* ROLLER DOOR OPENING HEIGHT DEPENDENT ON FINAL BUILD LOCATION







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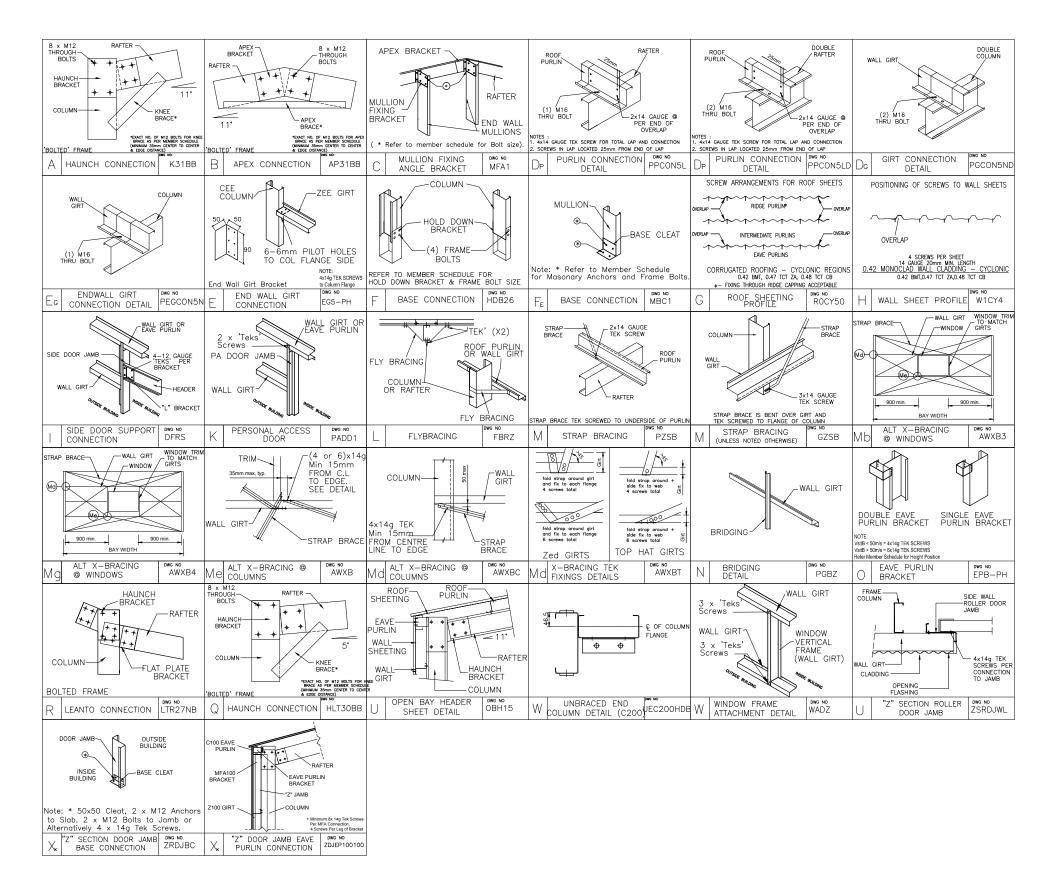
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SHANNONVALE

MEMBER AND MATERIAL SCHEDULE

1	END WALL RAFTER	Single C20015
2	C.S. FRAME RAFTER	Single C20024
3	END FRAME COLUMN (C1)	Single C20015
_	END FRAME OPEN BAY COLUMN (C3)	Single C20019
	END FRAME OPEN CORNER COLUMN (C3)	Single C20019
	C.S. FRAME COLUMN (C2)	Double C20019
	MULLION (C4)	Single C20024
		•
_	RL END FRAME COLUMN (C1)	Single C20015
-	RL END FRAME OPEN CORNER COLUMN (C1)	Single C20015
	RL OPEN BAY COLUMN (C2)	Double C20019
	RL OPEN BAY COLUMN (C3)	Single C20019
12	DOOR (#1) JAMB	Z20024
_	DOOR (#2) JAMB	Z20024
14	DOOR (#3) JAMB	Z20024
15	C.S. FRAME KNEE BRACE	Single C15015 @ 1.95 LONG 4 bolts each end
16	KNEE BRACE HEIGHT UP COLUMN	1.85m
17	KNEE BRACE LENGTH UP RAFTER	1.02m
18	C.S. FRAME APEX BRACE	Single C15015 @ 2.63 LONG 3 bolts each end
19	APEX POSITION FROM RAFTER END	1.30m
20	END WALL RL RAFTER	Single C20024
_	C.S. RL RAFTER	Double C20024
	C.S. RL KNEE BRACE	Single C15015 @ 1.39 LONG 6 bolts each end
	RL KNEE BRACE HEIGHT UP COLUMN	1.61m
	RL KNEE BRACE LENGTH UP RAFTER	0.45m
	END ANCHOR BRACKETS (# PER DETS.)	
		HOLD DOWN BRKTS 200 X 50 X 5-400 DEEP GAL FLAT
	MAIN DBL ANCHOR BRACKETS (# PER DETS.)	HDB Double 200 X 150 X 5 Gal Flat
	RL END ANCHOR BRACKETS (# PER DETS.)	HOLD DOWN BRKTS 200 X 50 X 5-400 DEEP GAL FLAT
_	RL DBL ANCHOR BRACKETS (# PER DETS.)	HDB Double 200 X 150 X 5 Gal Flat
29	RL SNG ANCHOR BRACKETS (# PER DETS.)	Hold Down Brackets 200 X 50 X 5 Gal Flat
30	MULLION ANCHOR BOLTS (# PER DETS.)	Screw Anchor 16mm x 100 Galv
31	EAVE PURLIN	C10015 (Eave Purlin Bracket 0mm from top of column)
32	RIGHT LEANTO EAVE PURLIN	C10015 (Eave Purlin Bracket 0mm from top of column)
33	TYP. ROOF PURLIN SIZE	Z10010
34	MAIN BLDG. PURLIN SPACING	0.493 m. (8 rows) (Max Allow. 0.532m)
35	MAIN BLDG. PURLIN LENGTH	3.3 m. (0.3m Overlap)
36	RIGHT LEANTO PURLIN SPACING	0.491 m. (8 rows) (Max Allow. 0.532m)
37	TYP. SIDEWALL GIRT SIZE	Z10010 (1 rows of bridging)
	MAIN BLDG. SIDEWALL GIRT SPACING	0.508 m. (6 rows) (Max Allow. 0.603m)
	MAIN BLDG. SIDEWALL GIRT LENGTH	3.3 m. (0.3m Overlap)
	SIDEWALL GIRT BRIDGING	Tophat 64 x 0.75
		0.539 m. (5 rows) (Max Allow. 0.603m)
	RIGHT LEANTO SIDEWALL GIRT SPACING	
	TYP. ENDWALL GIRT SIZE	Z10010 (1 rows of bridging)
	MAIN BLDG. ENDWALL GIRT SPACING	0.433 m. (8 rows) (Max Allow. 0.444m)
_	BAY DIVIDER GIRT SPACING	0.433 m. (8 rows) (Max Allow. 0.444m)
_	MAIN BLDG. ENDWALL GIRT LENGTH	4 m. (0.3m Overlap)
46	ENDWALL GIRT BRIDGING	Tophat 64 x 0.75
47	RIGHT LEANTO ENDWALL GIRT SPACING	0.399 m. (7 rows) (Max Allow. 0.444m)
48	FRAME SCREW FASTENERS	14-13x22 Hex C/S (SP HD 5/16' Hex Drive)
49	FRAME BOLT FASTENERS	Flanged Purlin 12x30 8.8 Z/P
50	PURLIN/GIRT FASTENERS	Purlin Assy M16x30 Z/P
51	X-BRACING STRAP AND FASTENERS	Single Bracing Strap Per Roll Heavy
52	WALL COLOUR	DUNE
53	ROOF COLOUR	WOODLAND_GREY
	ROLLER DOOR COLOUR	WOODLAND_GREY
	P.A. DOOR COLOUR	WOODLAND_GREY
_	WINDOW COLOUR	NIGHT_SKY
_	DOWNPIPE COLOUR	DUNE
		DONE
		WOODI AND GREY
58	GUTTER COLOUR	WOODLAND_GREY
58 59	GUTTER COLOUR CORNER FLASHING COLOUR	DUNE
58 59 60	GUTTER COLOUR CORNER FLASHING COLOUR BARGE FLASHING COLOUR	DUNE WOODLAND_GREY
58 59 60 61	GUTTER COLOUR CORNER FLASHING COLOUR BARGE FLASHING COLOUR OPENING FLASHING COLOUR	DUNE







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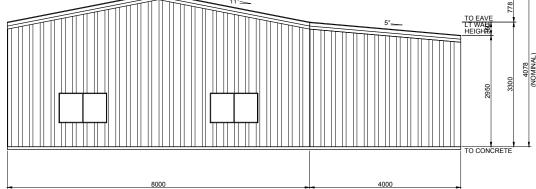
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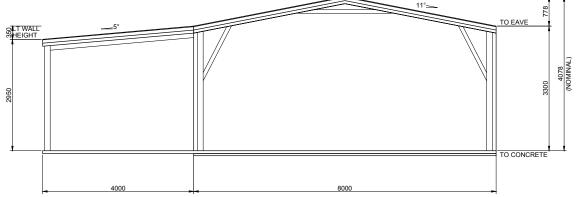
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SCALE: 1 = 100 1 SIDEWALL EXTERIOR ELEVATION SCALE: 1 = 100 TO PEAK



ENDWALL EXTERIOR ELEVATION



3 ENDWALL EXTERIOR ELEVATION
6 SCALE: 1 = 100

BOILDING GOLGONG			
WALL	DUNE		
ROOF	WOODLAND GREY		
ROLLER DOOR	WOODLAND GREY		
P.A. DOOR	WOODLAND GREY		
WINDOW	NIGHT SKY		
DOWNPIPE	DUNE		
GUTTER	WOODLAND GREY		
CORNER FLASHING	DUNE		
BARGE FLASHING	WOODLAND GREY		
OPENING FLASHING	DUNE		

BUILDING COLOURS

(CONTACT) CARDINAL ROOFING AND SHEDS 0 FOR FDS TM SCOTT HAHNE 147 PONZON ROAD SHANNONVALE





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NOTES:

BRACING MATERIALS - THE SHED ERECTOR TO SUPPLY SPECIFIC BRACING. SUITABLE RIGID MEMBERS CAPABLE OF TENSION AND COMPRESSION OR OPPOSING CHAINS OR OPPOSING LOAD RATED RATCHET STRAPS TO BE USED. (RIGID BRACING AS SHOWN ON DIAGRAM) ROPE BRACING SUITABLE ONLY FOR SMALLER STRUCTURES IN IDEAL CONDITIONS.

BRACING LOCATION - TEMPORARY BRACING TO BE ERECTED AS CLOSE TO 45 DEGREE ANGLE AND FIXED TO THE TOP OF THE COLUMN OR MULLION TO ACHIEVE THE OPTIMUM EFFECTIVENESS. IF THERE IS NOT ENOUGH SPACE FOR A 45 DEGREE ANGLE, THEN 20 DEGREE ANGLE IS TO BE THE MINIMUM ANGLE ALLOWED (REFER TO DIAGRAM). RIGID TEMPORARY BRACING MEMBER TO BE BOLTED TO HEAVY ANGLE PEGS HAMMERED INTO THE GROUND OR TO A BRACKET, MASONRY ANCHORED TO THE SLAB.

BRACING REMOVAL - TEMPORARY BRACING TO REMAIN IN PLACE UNTIL CLADDING IS FULLY INSTALLED WHERE POSSIBLE. IN NO CASE SHOULD TEMPORARY BRACING BE REMOVED UNTIL ALL PURLINS, GIRTS (AND PERMANENT CROSS BRACING WHERE USED) ARE FIXED.

SITE SAFETY - DUE CONSIDERATION TO BE GIVEN TO SITE SAFETY IN REGARD TO LOCATIONS OF BRACING AND PEGS.

GUIDE APPLICATION - TEMPORARY BRACING AS DESCRIBED IS A MINIMUM REQUIREMENT FOR AN AVERAGE, STANDARD SITE CONDITION. PROVIDE ADDITIONAL BRACING FOR MORE SEVERE AND/OR HIGH EXPOSURE SITE CONDITIONS. ADDITIONAL BRACING TO BE USED AS AND WHERE NECESSARY TO ENSURE THAT ENTIRE FRAME IS RIGID THROUGHOUT CONSTRUCTION. RESPONSIBILITY FOR ENSURING STABILITY OF STRUCTURE REMAINS WITH THE BUILDER.

TILT UP METHOD

FOR STRUCTURES UNDER 9M SPAN, LESS THAN 3M HIGH AND LESS THAN 12M LONG

- A. ASSEMBLE THE FIRST SIDEWALL FRAME (COMPLETE WITH WALL SHEETING, BRACING AND GUTTER) ON THE GROUND AND LIFT ASSEMBLED SIDEWALL FRAME INTO POSITION. FIX OFF TEMPORARY SIDE BRACING TO EACH END (REFER TO DIAGRAM). FIX BASE CLEATS.
- B. ASSEMBLE THE SECOND SIDEWALL FRAME AS PER FIRST SIDEWALL FRAME. LIFT INTO POSITION. FIX OFF TEMPORARY WALL BRACING TO EACH END (REFER TO DIAGRAM) FIX BASE CLEATS.
- C. FIX GABLE END RAFTERS TO COLUMNS TO TIE WALLS. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- D. INSTALL REMAINING RAFTERS. AS EACH RAFTER PAIR IS INSTALLED, AT LEAST ONE PURLIN PER 3M OF RAFTER LENGTH IS TO BE INSTALLED TO SECURE RAFTERS.
- E. INSTALL REMAINING PURLINS
- F. INSTALL KNEE AND APEX BRACES IF AND WHERE APPLICABLE.
- G. REPEAT FOR LEANTO'S.

FRAME FIRST METHOD

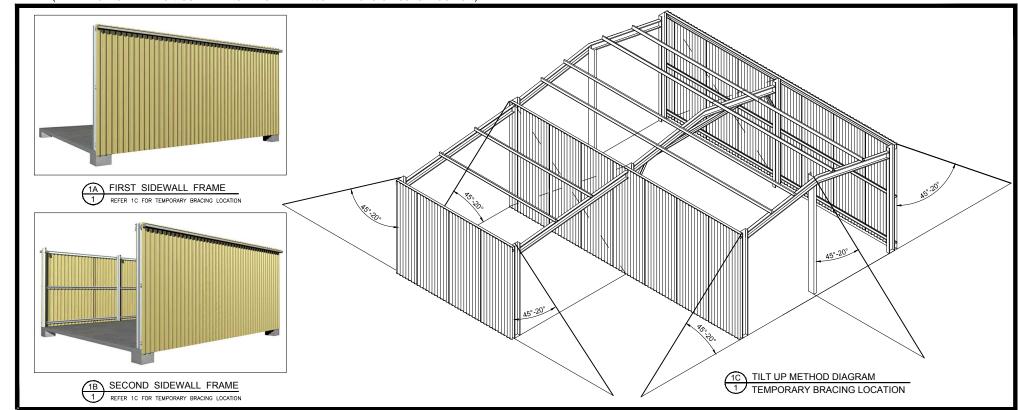
FOR STRUCTURES OVER 9M SPAN, GREATER THAN 3M HIGH AND GREATER THAN 12M LONG

- A. ASSEMBLE PORTAL FRAMES ON THE GROUND (WITH KNEE AND APEX BRACES IF AND WHERE APPLICABLE). LIFT THE FIRST PORTAL FRAME ASSEMBLY INTO POSITION. FIX OFF TEMPORARY END BRACING (REFER TO DIAGRAM). FIX BASE CLEATS.
- B. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- C. THE SECOND PORTAL FRAME ASSEMBLY TO BE LIFTED INTO POSITION. FIX EAVE PURLINS AND AT LEAST ONE PURLIN PER 3M OF RAFTER TO SECURE FRAME ASSEMBLY. FIX BASE CLEATS. FIX TEMPORARY SIDEWALL BRACING.
- D. STAND REMAINING PORTAL FRAME ASSEMBLY AS PER STEP C, FIXING TEMPORARY SIDE WALL BRACING TO EVERY SECOND BAY. BRACE OTHER END PORTAL FRAME AS PER FIRST PORTAL FRAME.

FOR

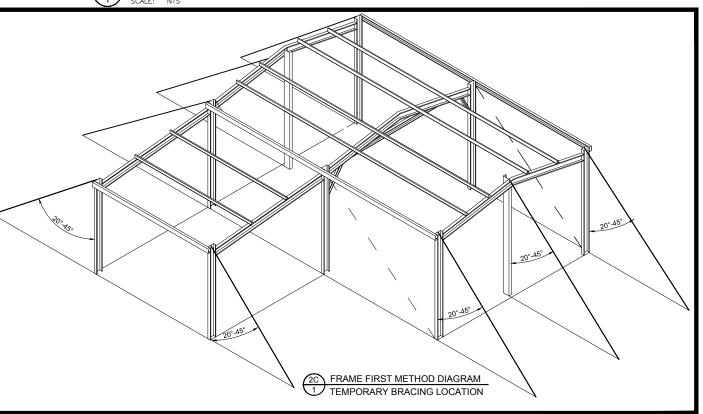
- E. INSTALL REMAINING PURLINS AND GIRTS.
- F. REPEAT FOR LEANTO'S.

GUIDE TO THE INSTALLATION OF TEMPORARY BRACING (REFER TO INSTALLATION GUIDE MANUAL FOR THE TWO METHODS OF CONSTRUCTION)



1 TILT UP METHOD DIAGRAM SCALE: NTS





FRAME FIRST METHOD DIAGRAM SCALE: NTS

 $\overline{\mathsf{M}}$

CARDINAL ROOFING AND SHEDS SCOTT HAHNE

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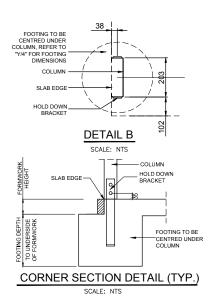
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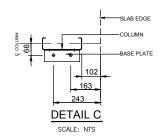
Registered on the NPER in the areas of practice of Civil & Structural National Professional **Engineers Register**

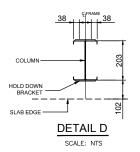


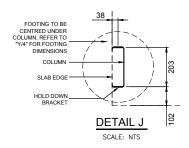
The design and detail shown on these drawings are applicable to this project only and may not be reproduced in whole or any part or be used for any other purpose without the written permission of FBHS (Aust) Pty Limited with whom copyright resides.

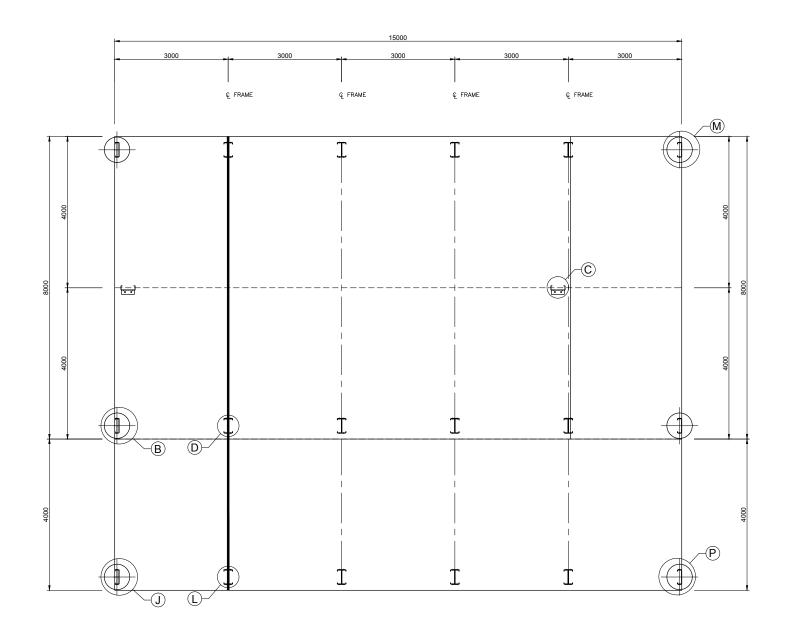
The local distributor you are dealing with is an authorised independent distributor of Fair Dinkum Sheds.

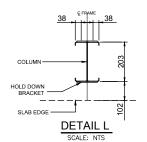


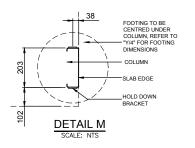


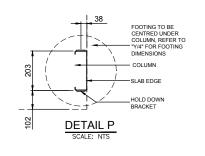












1 HOLD DOWN BRACKET LAYOUT
1 SCALE: 1 = 100

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

DRAWN FDS
CHECKED TM
DATE
30/6/2021
JOB NO.
EDMT17966

CARDINAL ROOFING AND SHEDS
07 42319696
SCOTT HAHNE
147 PONZON ROAD
SHANNONVALE





BRACKET LAYOUT



Department of Housing and Public Works

Form 15 - Compliance Certificate for building Design or **Specification**

Version 4 - July 2017

NOTE: This is to be used for the purposes of section 10 of the Building Act 1975 and/ or section 46 of the Building Regulation 2006.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on the title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details

St	reet	ado	iress (incl	ude	no.,s	treet,	sub	ourb	/	local	ity 8	& pos	tcod	e)
----	------	-----	---------	------	-----	-------	--------	-----	------	---	-------	-------	-------	------	----

147 Ponzon Road

Postcode: 4873 Shannonvale

Lot & plan details (attach list if necessary)

Lot No: SP/RP:

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate. e.g all structural aspects of the steel roof beams.

Steel Portal Frame Structure 8 m Span x 15 m O/A length x 3.3 m eaves

height building, consisting of 5 bays at 3 m x 0 m Left Leanto span

x 4 m Right leanto span

Also Including Foundations / Footings

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Australian Standards (list) AS/NZS 4600-2018, AS/NZS 1170.0,.1,2,3,4-2011, AS2870-2011, AS3600-2018

2019 National Construction Code of Australia NCC Building Classification = Class 10

Region AS1170.2 = Reg C Annual Probability Exceedance wind = 1:500

NCC Importance Level = 2 NCC Equivalent Wind class = N/A

Factor for Region = Fc=1.05

Regional 3 s Gust Wind Speed for annual probability of exceedance V R=

Wind directional multipliers for the 8 cardinal directions Md = 1.00

Terrain/Height multiplier (Mz, Cat) = 0.90 Shielding Multiplier Ms= 1

Topographic multiplier Mt = Design Wind Speed = 62 m/s

External Pressure Coefficent cpe = Roof = -0.90, 0.20; Walls = -0.65, 0.70

Internal Pressure Coefficent cpi = -0.65, 0.7

Design Roof Live Load = 0.25 kPa

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans

Drawing Nos: 'Fair Dinkum' Structural Design Drawing

TO BE READ IN CONJUNCTION WITH PAGES 1 TO 7

FOR JOB NO. EDMT17966 **DATED**: 30/6/2021

Specifications:

Computations:

Test Reports:

Other Documentation: STRAMIT CYCLONIC AREAS ROOF & WALL CLADDING (LHL DATA)

LOCAL GOVERNMENT USE ONLY

Page 1 of 2

Date received Reference Number/s



Department of Housing and Public Works

Form 15 - Compliance Certificate for building Design or Specification

Version 4 - July 2017

me (in full) Timothy Roy Messer		
Northern Consulting Engineer one no. business hours 07) 47 25 55 50 nail address design@nceng.com.au stal address 50 Punari Street, Currajong, 0	Mobile no.	Contact person Timothy Roy Messer Fax no. (07) 47 25 58 50 Postcode: 4812
y referenced documentation, ognature Timothy Roy Messer	will comply with the I	
	mpany name (if applicable) lorthern Consulting Engineer one no. business hours 07) 47 25 55 50 lail address esign@nceng.com.au stal address 0 Punari Street, Currajong, of the content of	Internation (if applicable) Identifier Consulting Engineers Id



Performance outcomes	Acceptable outcomes	Proposed development outcome
For assessable development		
PO2 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	AO2.1 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) or AO2.2 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.	The proposed building location is on land with a 14% maximum gradient
	AO2.3 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to minimise the visual impact of the construction; (c) provided with erosion control measures immediately after construction.	The proposed building is located adjacent to an existing 300m driveway consisting of gravel material. The extension to access will consist of the same materials and be a maximum of 20 meters additional driveway length and hence will have no material effect on the visual amenity
	AO2.4 The clearing or disturbance of vegetation is limited to clearing and disturbance that: (a) is necessary for the construction of driveways; (b) is necessary to contain the proposed development; (c) minimises canopy clearing or disturbance; (d) minimises riparian clearing or disturbance.	No vegetation clearing is required as the building is proposed to be located in already previously cleared land (ex canefield)
	AO2.5 On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).	Not applicable

AO2.6 Development does not alter the sky line.	The proposed building is located at the bottom of a hill in excess of 200m AHD and as such will not impact skyline at all.
AO2.7 Buildings and structures: (a) are finished predominantly in the following exterior colours or surfaces: (i) moderately dark to darker shades of olive	The proposed building is to clad as: Roof: Colorbond Woodland Grey Walls: Colourbond Cove Window frames: Black
green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the	which are all moderately dark shades of brownor black.
surrounding vegetation and landscape; (b) are not finished in the following exterior colours or surfaces: (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces.	The colours replicate, the colour palette of the existing residential house on the Lot
AO2.8 Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features	There is no proposal to use white or light colours in the building
AO2.9 Areas between the first floor (including outdoor deck areas) and ground level are screened from view.	Not applicable as it is a single storey building
AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land: (a) with a gradient of 1 in 6 (16.6%) or more; (b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.	Not applicable as it is only a shed

PO3	AO3	Filling of not more than 1.2 metres in height for
Excavation or filling does not have an adverse	Excavation or fill:	each batter will occur.
impact on the amenity, safety, stability or function	(a) is not more than 1.2 metres in height for each	
of the site or adjoining premises through:	batter or retaining wall;	
(a) loss of privacy;	(b) is setback a minimum of 2 metres from	Filling will occur at least 30 metres from the closest
(b) loss of access to sunlight;	property boundaries;	property boundary.
(c) intrusion of visual or overbearing impacts;	(c) is stepped with a minimum 2 metre wide	Filling will incorporate a minimum 2 meter wide
(d) complex engineering solutions.	berm to incorporate landscaping in	berm to facilitate lawn mowing
	accordance with Planning scheme policy	
	SC6.7 – Landscaping;	
	(d) does not exceed a maximum of 3 batters and	A maximum of 3 batters and berms will be installed.
	3 berms (i.e. not greater than 3.6 metres in	
	height) on any one lot.	