

2 September 2021

Douglas Shire Council
Planning Department

Via email: enquires@douglas.qld.gov.au

Dear Sir/Madam,

RE: Early Concurrence Agency Response
147 Ponzo Road Shannonvale, QLD 4873

I have commenced a building application for a shed on my property with GMA Certification Group-Port Douglas. They have informed me that due to the proposed location, the Hillslope Overlay requirements of the Douglas Shire Planning Scheme will be triggered.

I am therefore seeking an early concurrence agency response in regard to this hillslope overlay requirement and provide the following supporting documentation:

1. Development Form 2
2. Shed location on block
3. Shed drawings
4. Proposed earthworks pad
5. Hillslope response schedule
6. Hillslope Affected area of block

I trust this will be sufficient to process my request and understand that there are fees involved

Please do not hesitate to contact me should you require and further information.

Regards

Scott Hahne

0475 833 947

scott.hahne2@gmail.com

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Scott Hahne
Contact name (only applicable for companies)	N/A
Postal address (PO Box or street address)	PO Box 341
Suburb	Mossman
State	QLD
Postcode	4873
Country	Australia
Contact number	0475 833 947
Email address (non-mandatory)	scott.hahne2@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	147	Ponzo Road	Shannonvale
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	4	SP259954	Douglas Shire

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☒ Yes – proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☐ No

7) Information request under Part 3 of the DA Rules

- ☐ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☒ Yes – provide details below or include details in a schedule to this development application
- ☐ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval	Building Work excluding Hillslope Overlay compliance	Pending this application	GMA Certification Group – Port Douglas
<input checked="" type="checkbox"/> Development application			
<input type="checkbox"/> Approval			

<input type="checkbox"/> Development application			
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9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:		Place ID:	
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PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☒ Yes – the *Referral checklist for building work* is attached to this development application
- ☐ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

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PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	

State	
Postcode	
Country	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

15) Builder's details

☒ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	
Suburb	
State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

16) Provide details about the proposed building work

What type of approval is being sought?

- ☒ Development permit
☐ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment
☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---|--|
| <input checked="" type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

Construction of new shed – Hillslope Overlay approval required

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

g) New building use/classification? (if applicable)
Class 10
h) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?
\$80,000.00

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: It is unlawful to intentionally provide false or misleading information.
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government			
Confirm proposed construction materials:			
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	

W



30

30.6


30.6


31


31.5

32



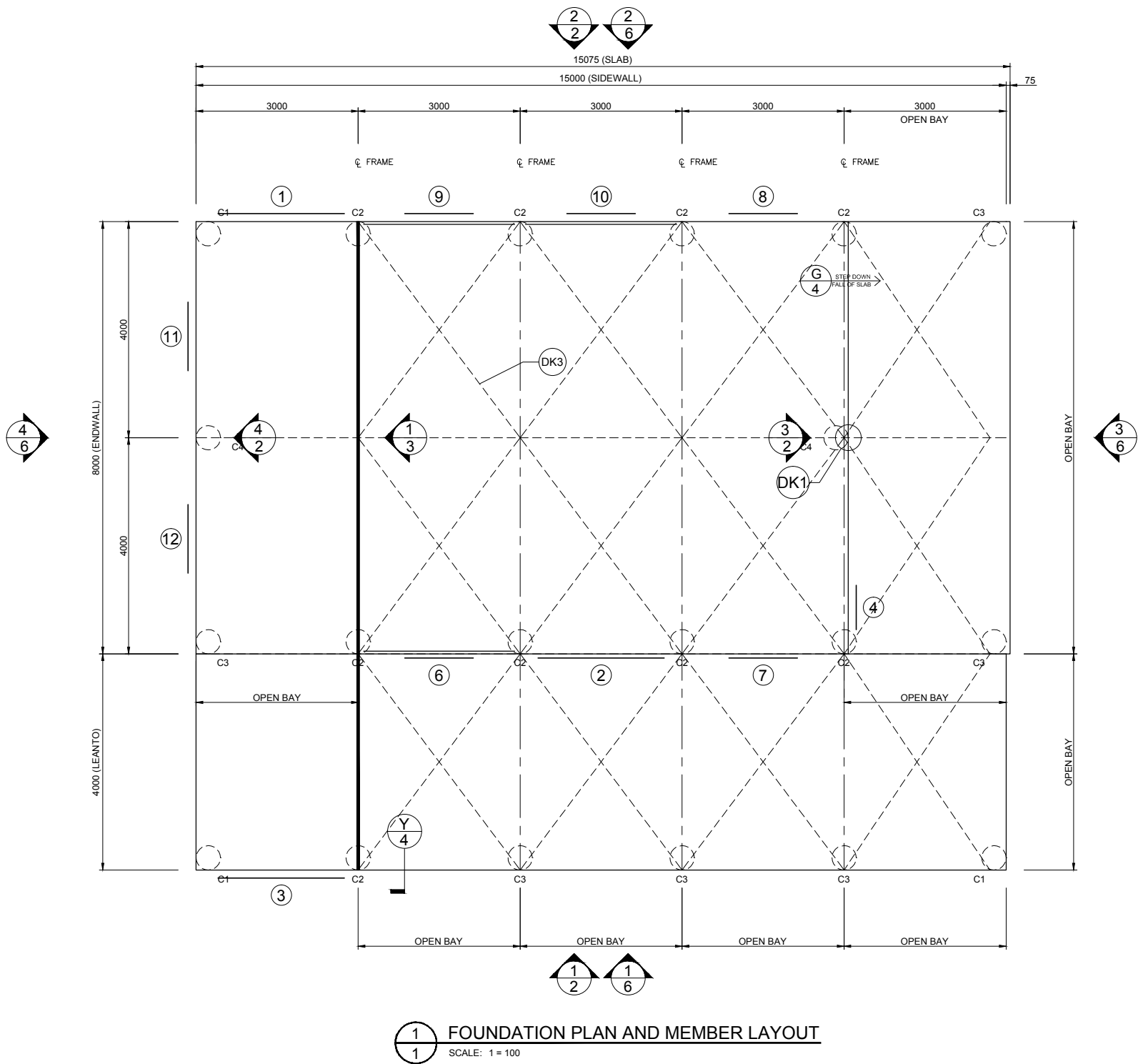
 Selected Property

 Land Parcels

 Area Affected by Hillslopes

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IF IN DOUBT, ASK.



1 FOUNDATION PLAN AND MEMBER LAYOUT
SCALE: 1 = 100

ROOF STRAP BRACING TO BE CONNECTED TO THE PURLIN CLOSEST TO THE LINE OF THE END WALL MULLION
FOR INTERNAL WALLS USE MULLION SPECIFICATIONS
SEE MULTIBUILD LAYOUT SCREEN FOR INTERNAL OPENING POSITIONS

MEMBER LEGEND

C1	C20015
C2	2C20019
C3	C20019
C4	C20024

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

1
OF
7

SHEET

JOB NO.
EDMT 17966

DATE
30/6/2021

CHECKED
TM

DRAWN
FDS

STEEL BUILDING BY
CARDINAL ROOFING AND SHEDS
(CONTACT)
07 42319696
SCOTT HAHNE
147 PONZON ROAD
SHANNONVALE

Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. EC36692
Regn. No. CC5648M

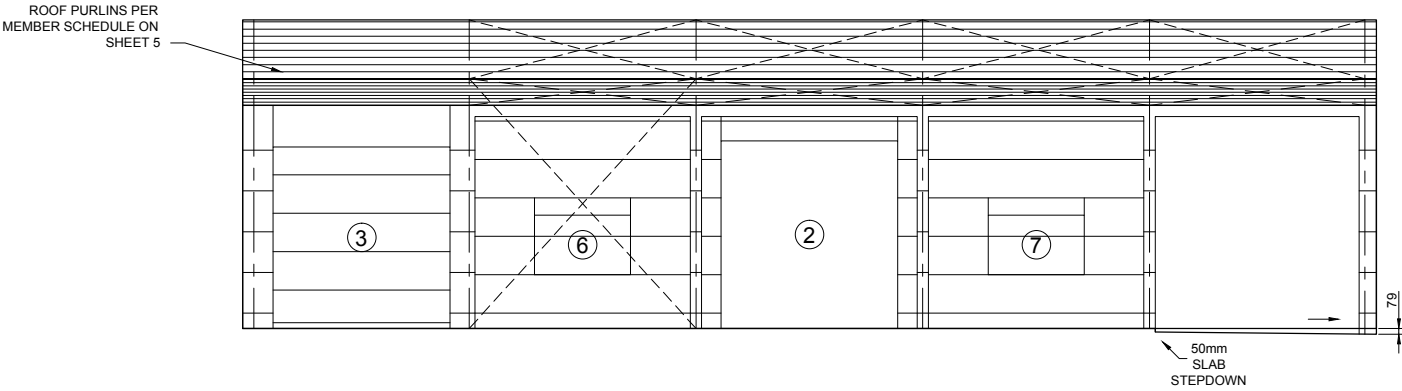
Mr Timothy Roy Messer BE MIEAust RPEQ

Signature

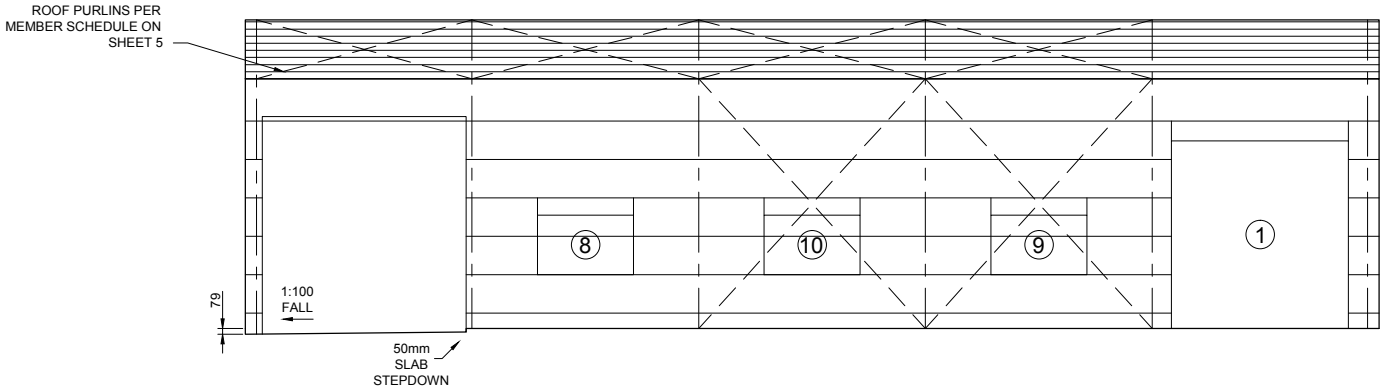
Date 30/6/2021

Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

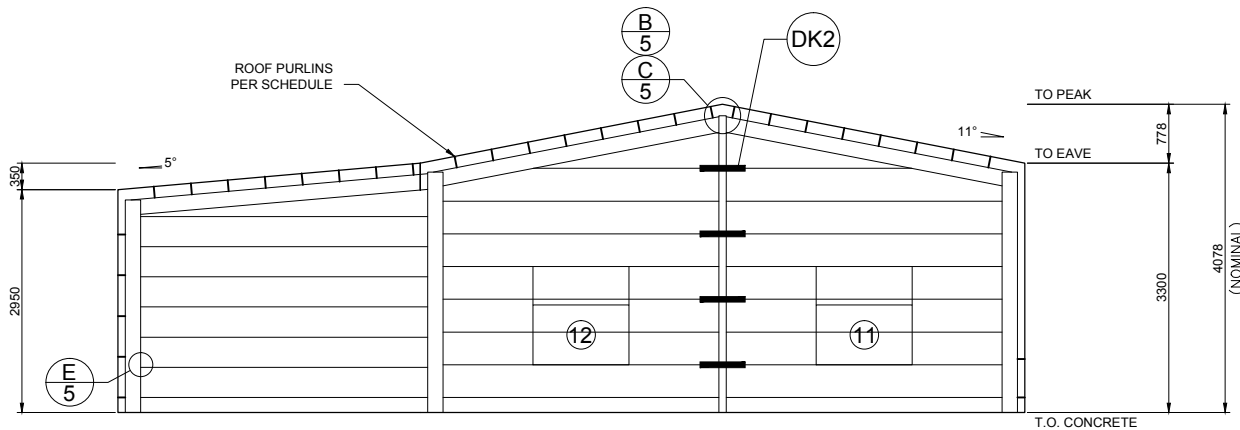
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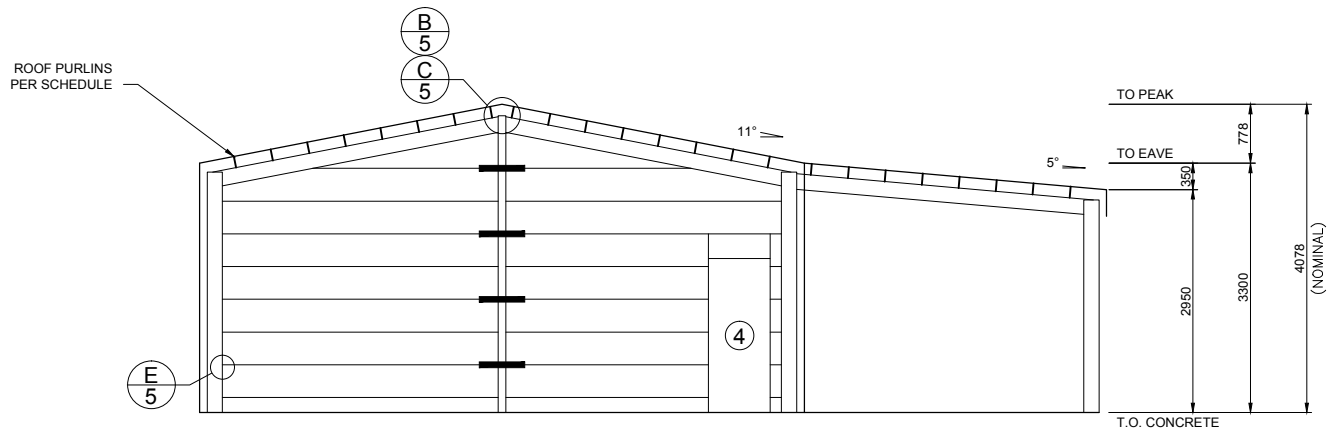
1 SIDEWALL EXTERIOR ELEVATION
2 SCALE: 1 = 100



2 SIDEWALL EXTERIOR ELEVATION
2 SCALE: 1 = 100



4 ENDWALL INTERIOR ELEVATION
2 SCALE: 1 = 100

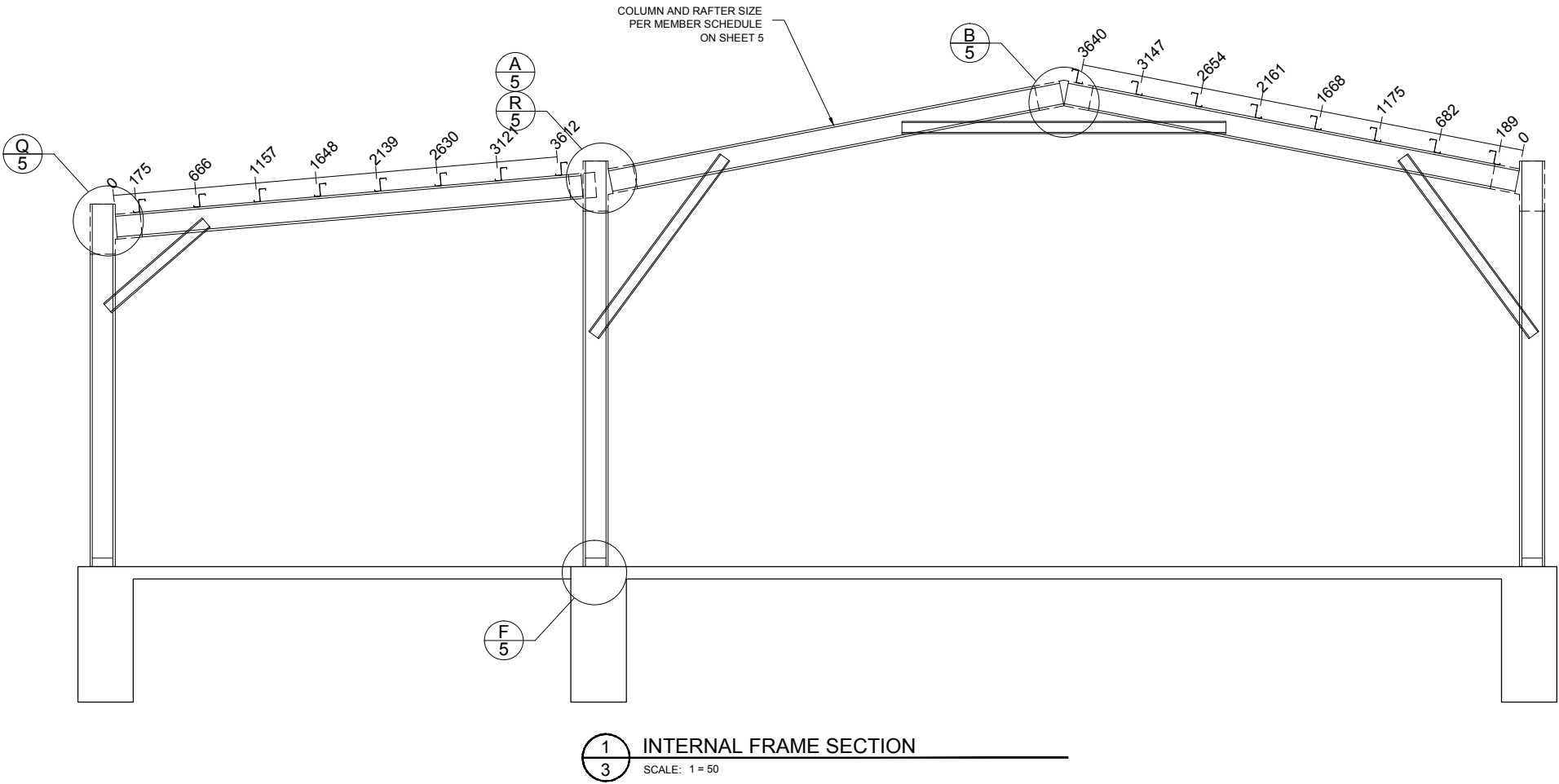


3 ENDWALL INTERIOR ELEVATION
2 SCALE: 1 = 100

X BRACING IS REQUIRED IN 3 SIDE BAY(S) AND 2 ROOF BAY(S) (BOTH SIDES).
BRACING IS NEEDED ON THE ROOFS ON BOTH SIDES OF THE GARAPORT ENDWALL. FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.

2 OF 7	SHEET	JOB NO. EDMT 17966	DATE 30/6/2021	CHECKED TM	DRAWN FDS	STEEL BUILDING BY (CONTACT) CARDINAL ROOFING AND SHEDS 07 42319696 SCOTT HAHNE 147 PONZON ROAD SHANNONVALE	 SHED SAFE ACCREDITED	 NORTHERN CONSULTING engineers Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. EC36692 Regn. No. CC5648M	Mr Timothy Roy Messer BE MIEAust RPEQ Signature Date 30/6/2021 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
		NCC EDMT 17966 2019								

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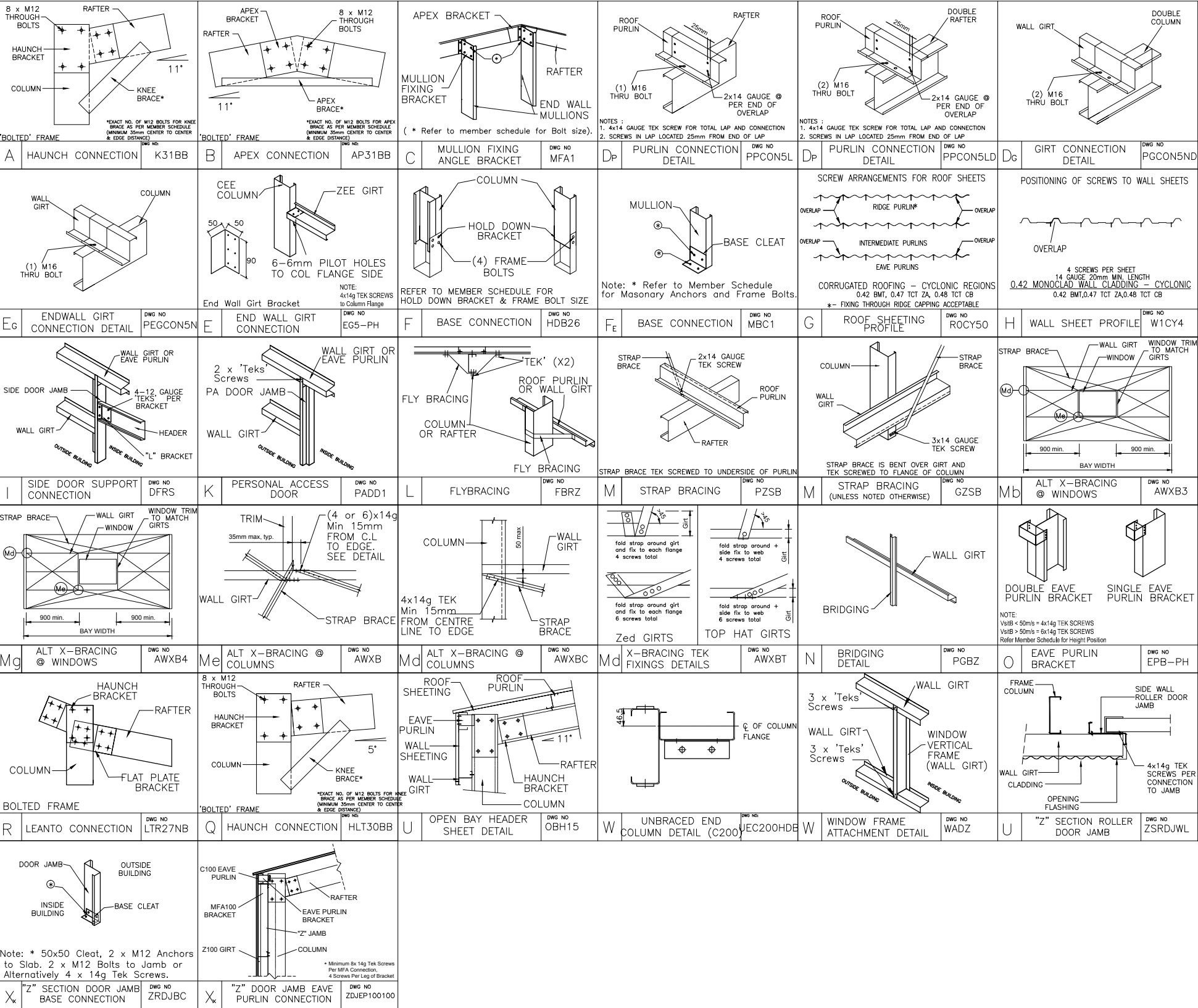
Refer to Sheet #4 for concrete specification.

3 OF 7	SHEET	JOB NO. EDMT 17966	DATE 30/6/2021	CHECKED TM	DRAWN FDS	STEEL BUILDING BY CARDINAL ROOFING AND SHEDS (CONTACT) 07 42319696 SCOTT HAHNE 147 PONZON ROAD SHANNONVALE			 Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ
		NCC 2019	Signature 	Date 30/6/2021	Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register					

Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. EC36692
Regn. No. CC5648M

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

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MEMBER AND MATERIAL SCHEDULE

1	END WALL RAFTER	Single C20015
2	C.S. FRAME RAFTER	Single C20024
3	END FRAME COLUMN (C1)	Single C20015
4	END FRAME OPEN BAY COLUMN (C3)	Single C20019
5	END FRAME OPEN CORNER COLUMN (C3)	Single C20019
6	C.S. FRAME COLUMN (C2)	Double C20019
7	MULLION (C4)	Single C20024
8	RL END FRAME COLUMN (C1)	Single C20015
9	RL END FRAME OPEN CORNER COLUMN (C1)	Single C20015
10	RL OPEN BAY COLUMN (C2)	Double C20019
11	RL OPEN BAY COLUMN (C3)	Single C20019
12	DOOR (#1) JAMB	Z20024
13	DOOR (#2) JAMB	Z20024
14	DOOR (#3) JAMB	Z20024
15	C.S. FRAME KNEE BRACE	Single C15015 @ 1.95 LONG 4 bolts each end
16	KNEE BRACE HEIGHT UP COLUMN	1.85m
17	KNEE BRACE LENGTH UP RAFTER	1.02m
18	C.S. FRAME APEX BRACE	Single C15015 @ 2.63 LONG 3 bolts each end
19	APEX POSITION FROM RAFTER END	1.30m
20	END WALL RL RAFTER	Single C20024
21	C.S. RL RAFTER	Double C20024
22	C.S. RL KNEE BRACE	Single C15015 @ 1.39 LONG 6 bolts each end
23	RL KNEE BRACE HEIGHT UP COLUMN	1.61m
24	RL KNEE BRACE LENGTH UP RAFTER	0.45m
25	END ANCHOR BRACKETS (# PER DETS.)	HOLD DOWN BRKTS 200 X 50 X 5-400 DEEP GAL FLAT
26	MAIN DBL ANCHOR BRACKETS (# PER DETS.)	HDB Double 200 X 150 X 5 Gal Flat
27	RL END ANCHOR BRACKETS (# PER DETS.)	HOLD DOWN BRKTS 200 X 50 X 5-400 DEEP GAL FLAT
28	RL DBL ANCHOR BRACKETS (# PER DETS.)	HDB Double 200 X 150 X 5 Gal Flat
29	RL SNG ANCHOR BRACKETS (# PER DETS.)	Hold Down Brackets 200 X 50 X 5 Gal Flat
30	MULLION ANCHOR BOLTS (# PER DETS.)	Screw Anchor 16mm x 100 Galv
31	EAVE PURLIN	C10015 (Eave Purlin Bracket 0mm from top of column)
32	RIGHT LEANTO EAVE PURLIN	C10015 (Eave Purlin Bracket 0mm from top of column)
33	TYP. ROOF PURLIN SIZE	Z10010
34	MAIN BLDG. PURLIN SPACING	0.493 m. (8 rows) (Max Allow. 0.532m)
35	MAIN BLDG. PURLIN LENGTH	3.3 m. (0.3m Overlap)
36	RIGHT LEANTO PURLIN SPACING	0.491 m. (8 rows) (Max Allow. 0.532m)
37	TYP. SIDEWALL GIRT SIZE	Z10010 (1 rows of bridging)
38	MAIN BLDG. SIDEWALL GIRT SPACING	0.508 m. (6 rows) (Max Allow. 0.603m)
39	MAIN BLDG. SIDEWALL GIRT LENGTH	3.3 m. (0.3m Overlap)
40	SIDEWALL GIRT BRIDGING	Tophat 64 x 0.75
41	RIGHT LEANTO SIDEWALL GIRT SPACING	0.539 m. (5 rows) (Max Allow. 0.603m)
42	TYP. ENDWALL GIRT SIZE	Z10010 (1 rows of bridging)
43	MAIN BLDG. ENDWALL GIRT SPACING	0.433 m. (8 rows) (Max Allow. 0.444m)
44	BAY DIVIDER GIRT SPACING	0.433 m. (8 rows) (Max Allow. 0.444m)
45	MAIN BLDG. ENDWALL GIRT LENGTH	4 m. (0.3m Overlap)
46	ENDWALL GIRT BRIDGING	Tophat 64 x 0.75
47	RIGHT LEANTO ENDWALL GIRT SPACING	0.399 m. (7 rows) (Max Allow. 0.444m)
48	FRAME SCREW FASTENERS	14-13x22 Hex C/S (SP HD 5/16" Hex Drive)
49	FRAME BOLT FASTENERS	Flanged Purlin 12x30 8.8 Z/P
50	PURLIN/GIRT FASTENERS	Purlin Assy M16x30 Z/P
51	X-BRACING STRAP AND FASTENERS	Single Bracing Strap Per Roll Heavy
52	WALL COLOUR	DUNE
53	ROOF COLOUR	WOODLAND_GREY
54	ROLLER DOOR COLOUR	WOODLAND_GREY
55	P.A. DOOR COLOUR	WOODLAND_GREY
56	WINDOW COLOUR	NIGHT_SKY
57	DOWNPIPE COLOUR	DUNE
58	GUTTER COLOUR	WOODLAND_GREY
59	CORNER FLASHING COLOUR	DUNE
60	BARGE FLASHING COLOUR	WOODLAND_GREY
61	OPENING FLASHING COLOUR	DUNE
62	OPEN BAY HEADER HEIGHT	0.5

"C.S." = CLEARSPAN "L." = LEFT "R." = RIGHT

5
OF
7

SHEET

JOB NO.
EDMT17966
NCC
2019

DATE
30/6/2021

CHECKED
TM

DRAWN
FDS

STEEL BUILDING BY
(CONTACT)
CARDINAL ROOFING AND SHEDS
07 42319696
SCOTT HAHNE
147 PONZON ROAD
SHANNONVALE

fairdinkum
SHEDS

SHED SAFE
ACCREDITED

NORTHERN CONSULTING
engineers

Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56

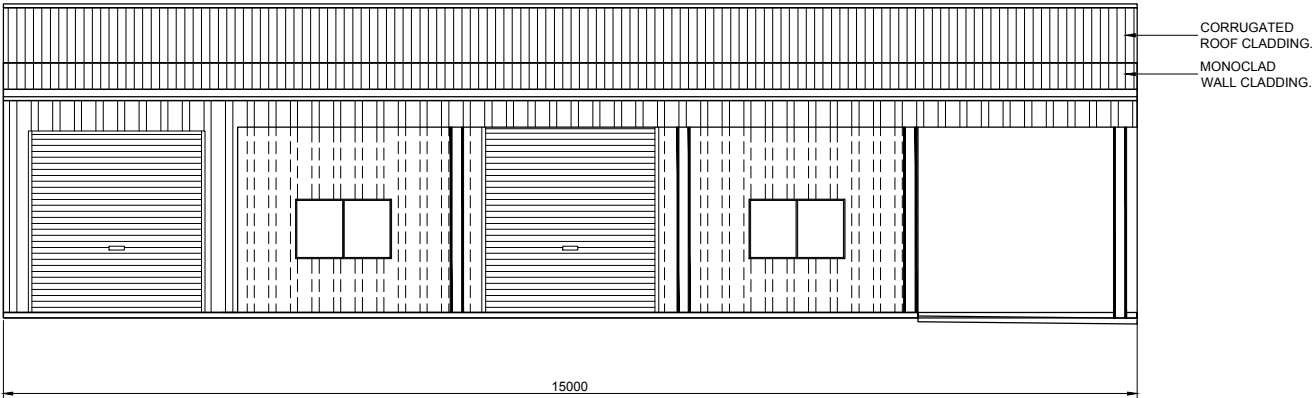
Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. EC36692
Regn. No. CC5648M

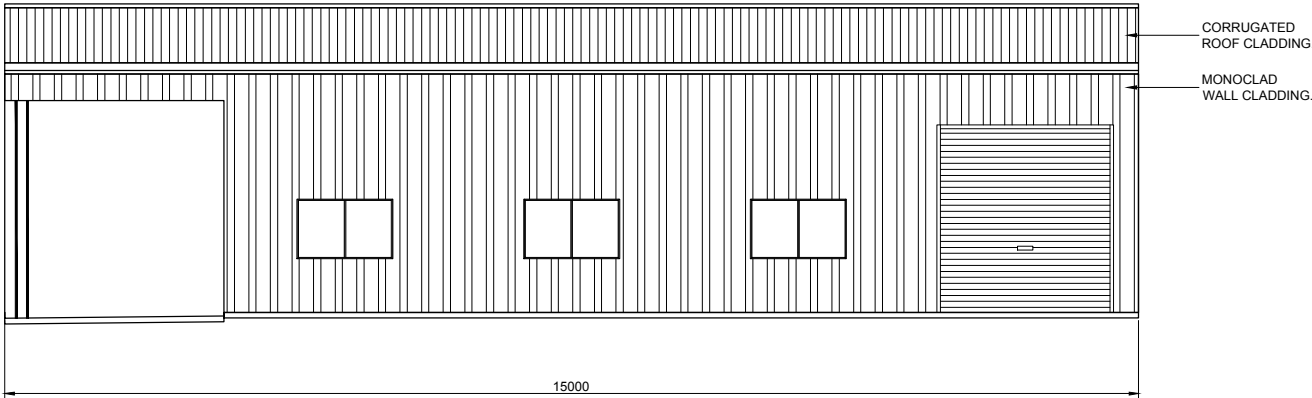
Mr Timothy Roy Messer BE MIEAust RPEQ

Signature
Date 30/6/2021
Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

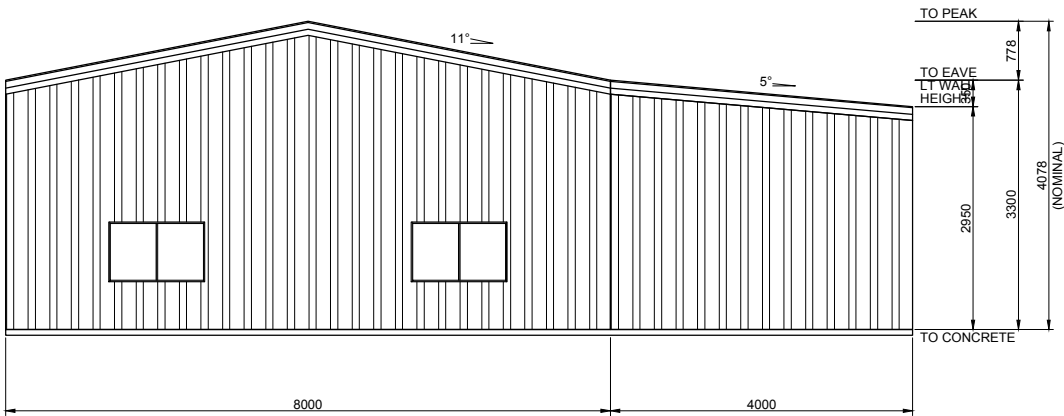
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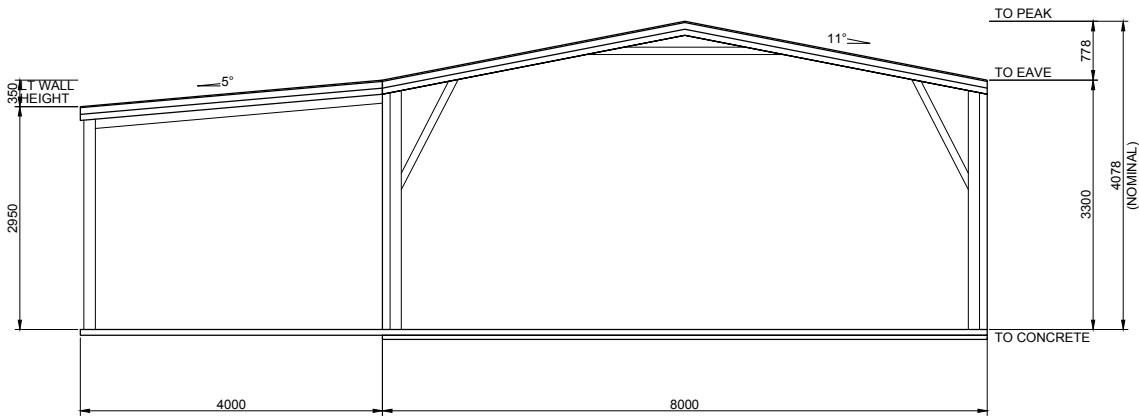
1
6
SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



2
6
SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



4
6
ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100



3
6
ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100

BUILDING COLOURS

WALL	DUNE
ROOF	WOODLAND GREY
ROLLER DOOR	WOODLAND GREY
P.A. DOOR	WOODLAND GREY
WINDOW	NIGHT SKY
DOWNPIPE	DUNE
GUTTER	WOODLAND GREY
CORNER FLASHING	DUNE
BARGE FLASHING	WOODLAND GREY
OPENING FLASHING	DUNE

6
OF
7

SHEET

JOB NO.
EDMT 17966

DATE
30/6/2021

CHECKED
TM

DRAWN
FDS

STEEL BUILDING BY
CARDINAL ROOFING AND SHEDS
(CONTACT)
07 42319696
SCOTT HAHNE
147 PONZON ROAD
SHANNONVALE

Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56
Regn. No. 2558980
Regn. No. 9985
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NOTES:

BRACING MATERIALS - THE SHED ERECTOR TO SUPPLY SPECIFIC BRACING.
SUITABLE RIGID MEMBERS CAPABLE OF TENSION AND COMPRESSION OR OPPOSING CHAINS OR OPPOSING LOAD RATED RATCHET STRAPS TO BE USED. (RIGID BRACING AS SHOWN ON DIAGRAM) ROPE BRACING SUITABLE ONLY FOR SMALLER STRUCTURES IN IDEAL CONDITIONS.

BRACING LOCATION - TEMPORARY BRACING TO BE ERECTED AS CLOSE TO 45 DEGREE ANGLE AND FIXED TO THE TOP OF THE COLUMN OR MULLION TO ACHIEVE THE OPTIMUM EFFECTIVENESS. IF THERE IS NOT ENOUGH SPACE FOR A 45 DEGREE ANGLE, THEN 20 DEGREE ANGLE IS TO BE THE MINIMUM ANGLE ALLOWED (REFER TO DIAGRAM). RIGID TEMPORARY BRACING MEMBER TO BE BOLTED TO HEAVY ANGLE PEGS HAMMERED INTO THE GROUND OR TO A BRACKET, MASONRY ANCHORED TO THE SLAB.

BRACING REMOVAL - TEMPORARY BRACING TO REMAIN IN PLACE UNTIL CLADDING IS FULLY INSTALLED WHERE POSSIBLE. IN NO CASE SHOULD TEMPORARY BRACING BE REMOVED UNTIL ALL PURLINS, GIRTS (AND PERMANENT CROSS BRACING WHERE USED) ARE FIXED.

SITE SAFETY - DUE CONSIDERATION TO BE GIVEN TO SITE SAFETY IN REGARD TO LOCATIONS OF BRACING AND PEGS.

GUIDE APPLICATION - TEMPORARY BRACING AS DESCRIBED IS A MINIMUM REQUIREMENT FOR AN AVERAGE, STANDARD SITE CONDITION. PROVIDE ADDITIONAL BRACING FOR MORE SEVERE AND/OR HIGH EXPOSURE SITE CONDITIONS. ADDITIONAL BRACING TO BE USED AS AND WHERE NECESSARY TO ENSURE THAT ENTIRE FRAME IS RIGID THROUGHOUT CONSTRUCTION. RESPONSIBILITY FOR ENSURING STABILITY OF STRUCTURE REMAINS WITH THE BUILDER.

TILT UP METHOD
FOR STRUCTURES UNDER 9M SPAN, LESS THAN 3M HIGH AND LESS THAN 12M LONG

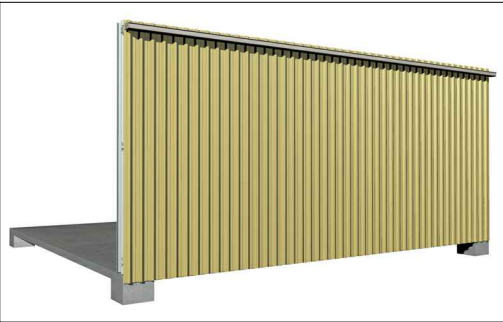
- ASSEMBLE THE FIRST SIDEWALL FRAME (COMPLETE WITH WALL SHEETING, BRACING AND GUTTER) ON THE GROUND AND LIFT ASSEMBLED SIDEWALL FRAME INTO POSITION. FIX OFF TEMPORARY SIDE BRACING TO EACH END (REFER TO DIAGRAM). FIX BASE CLEATS.
- ASSEMBLE THE SECOND SIDEWALL FRAME AS PER FIRST SIDEWALL FRAME. LIFT INTO POSITION. FIX OFF TEMPORARY WALL BRACING TO EACH END (REFER TO DIAGRAM) FIX BASE CLEATS.
- FIX GABLE END RAFTERS TO COLUMNS TO TIE WALLS. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- INSTALL REMAINING RAFTERS. AS EACH RAFTER PAIR IS INSTALLED, AT LEAST ONE PURLIN PER 3M OF RAFTER LENGTH IS TO BE INSTALLED TO SECURE RAFTERS.
- INSTALL REMAINING PURLINS
- INSTALL KNEE AND APEX BRACES IF AND WHERE APPLICABLE.
- REPEAT FOR LEANTO'S.

FRAME FIRST METHOD
FOR STRUCTURES OVER 9M SPAN, GREATER THAN 3M HIGH AND GREATER THAN 12M LONG

- ASSEMBLE PORTAL FRAMES ON THE GROUND (WITH KNEE AND APEX BRACES IF AND WHERE APPLICABLE). LIFT THE FIRST PORTAL FRAME ASSEMBLY INTO POSITION. FIX OFF TEMPORARY END BRACING (REFER TO DIAGRAM). FIX BASE CLEATS.
- PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- THE SECOND PORTAL FRAME ASSEMBLY TO BE LIFTED INTO POSITION. FIX EAVE PURLINS AND AT LEAST ONE PURLIN PER 3M OF RAFTER TO SECURE FRAME ASSEMBLY. FIX BASE CLEATS. FIX TEMPORARY SIDEWALL BRACING.
- STAND REMAINING PORTAL FRAME ASSEMBLY AS PER STEP C, FIXING TEMPORARY SIDE WALL BRACING TO EVERY SECOND BAY. BRACE OTHER END PORTAL FRAME AS PER FIRST PORTAL FRAME.
- INSTALL REMAINING PURLINS AND GIRTS.
- REPEAT FOR LEANTO'S.

GUIDE TO THE INSTALLATION OF TEMPORARY BRACING

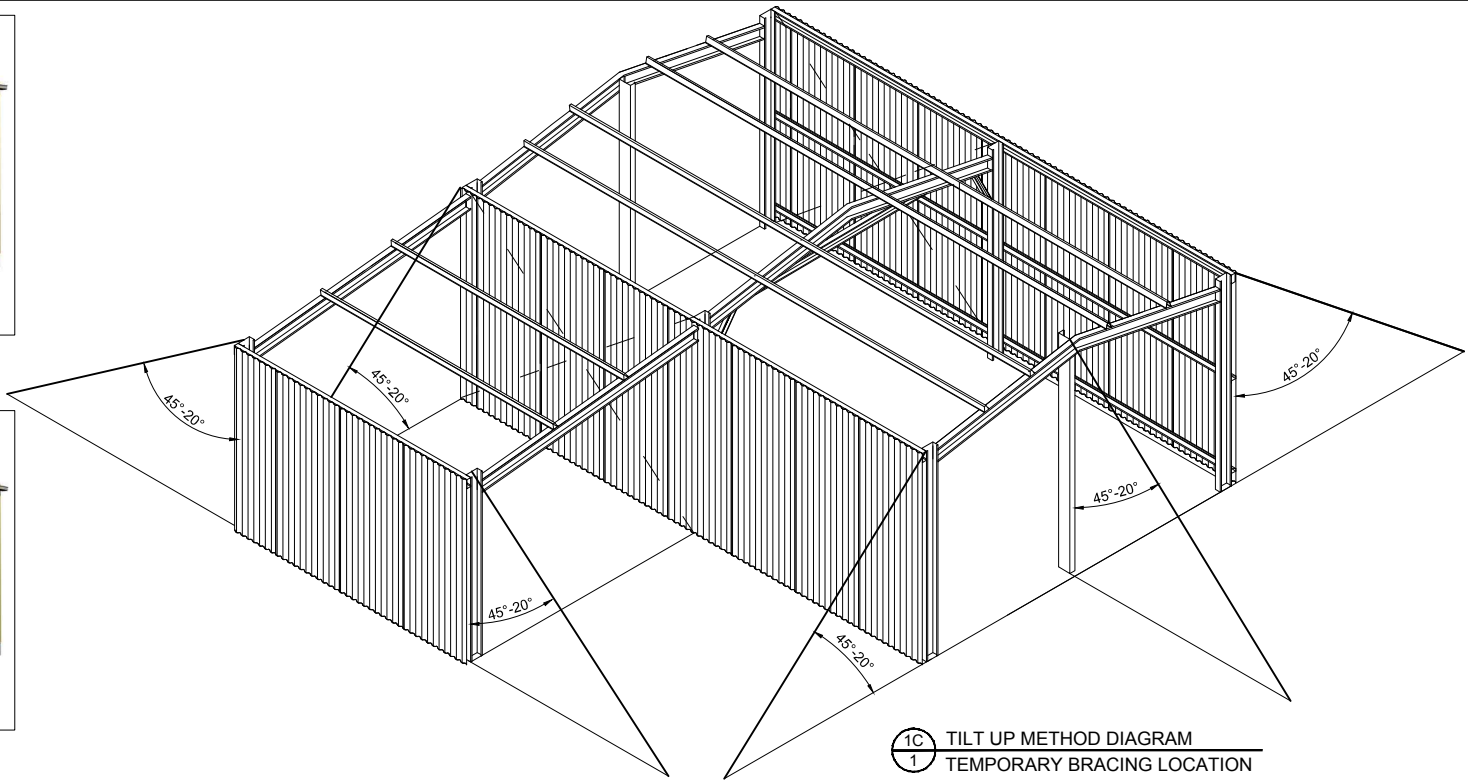
(REFER TO INSTALLATION GUIDE MANUAL FOR THE TWO METHODS OF CONSTRUCTION)



1A FIRST SIDEWALL FRAME
1 REFER 1C FOR TEMPORARY BRACING LOCATION



1B SECOND SIDEWALL FRAME
1 REFER 1C FOR TEMPORARY BRACING LOCATION



1C TILT UP METHOD DIAGRAM
1 TEMPORARY BRACING LOCATION

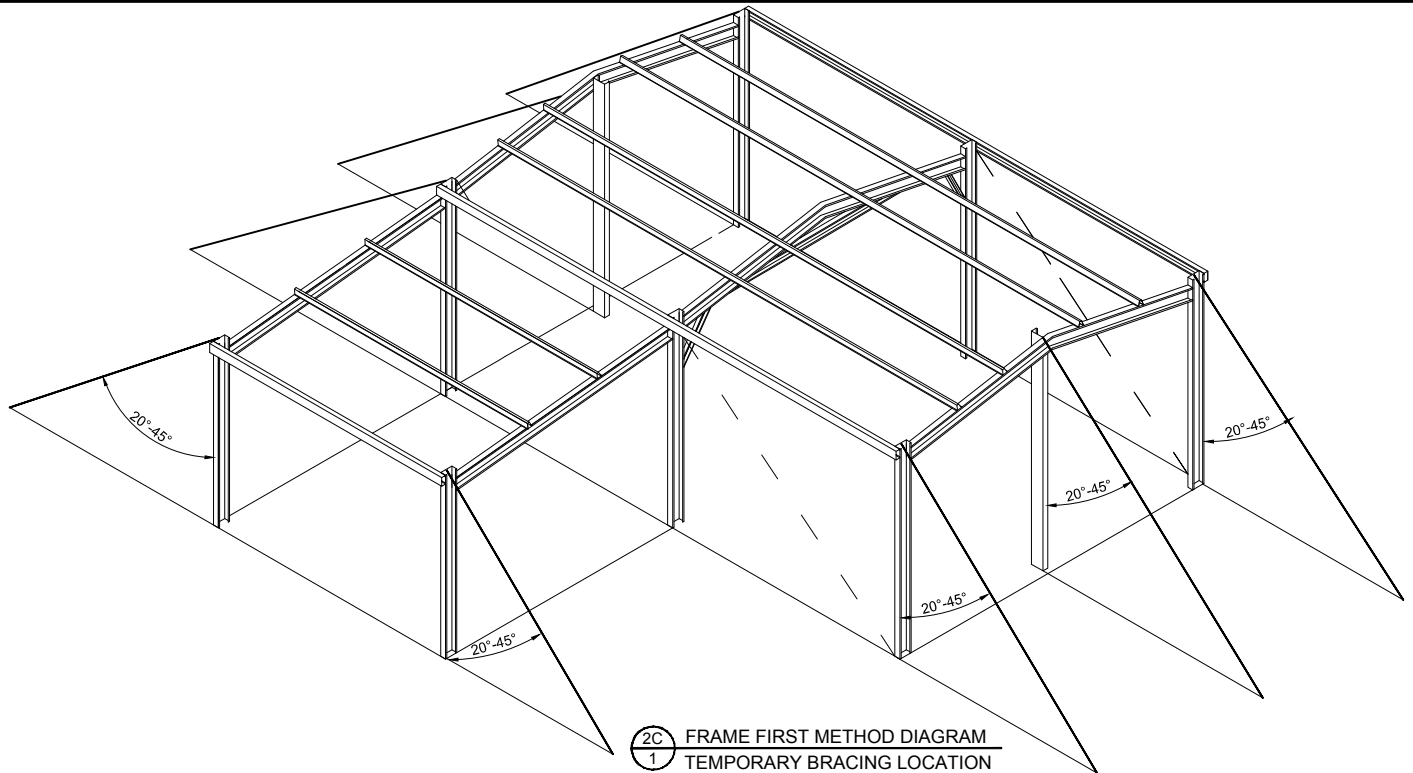
1 TILT UP METHOD DIAGRAM
1 SCALE: NTS



2A FIRST & SECOND PORTAL FRAME ASSEMBLY
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2B COMPLETE PORTAL FRAME ASSEMBLY
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2C FRAME FIRST METHOD DIAGRAM
1 TEMPORARY BRACING LOCATION

2 FRAME FIRST METHOD DIAGRAM
1 SCALE: NTS

OF 7 7	SHEET	JOB NO. EDMT-17966	DATE 30/6/2021	CHECKED TM	DRAWN FDS	STEEL BUILDING BY
		NCC 2019				(CONTACT)
						FOR

FOR
AT

CARDINAL ROOFING AND SHEDS
07 42319696
SCOTT HAHNE
147 PONZON ROAD
SHANNONVALE





Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
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Regn. No. 116373ES
Regn. No. EC36692
Regn. No. CC5648M

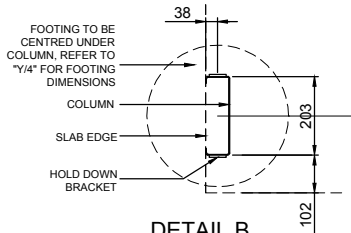
Mr Timothy Roy Messer BE MIEAust RPEQ

Signature 

Date 30/6/2021

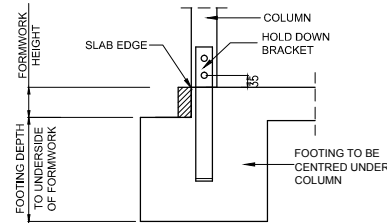
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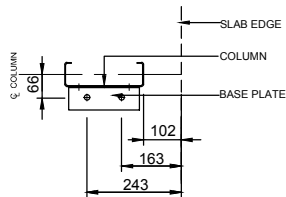
DETAIL B

SCALE: NTS



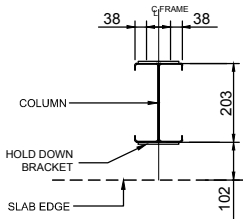
CORNER SECTION DETAIL (TYP.)

SCALE: NTS



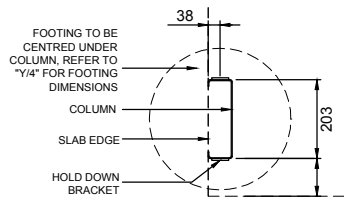
DETAIL C

SCALE: NTS



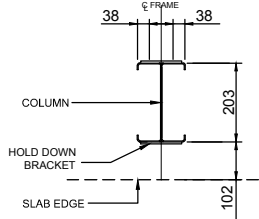
DETAIL D

SCALE: NTS



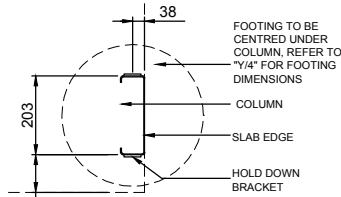
DETAIL J

SCALE: NTS



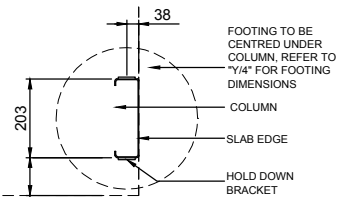
DETAIL L

SCALE: NTS



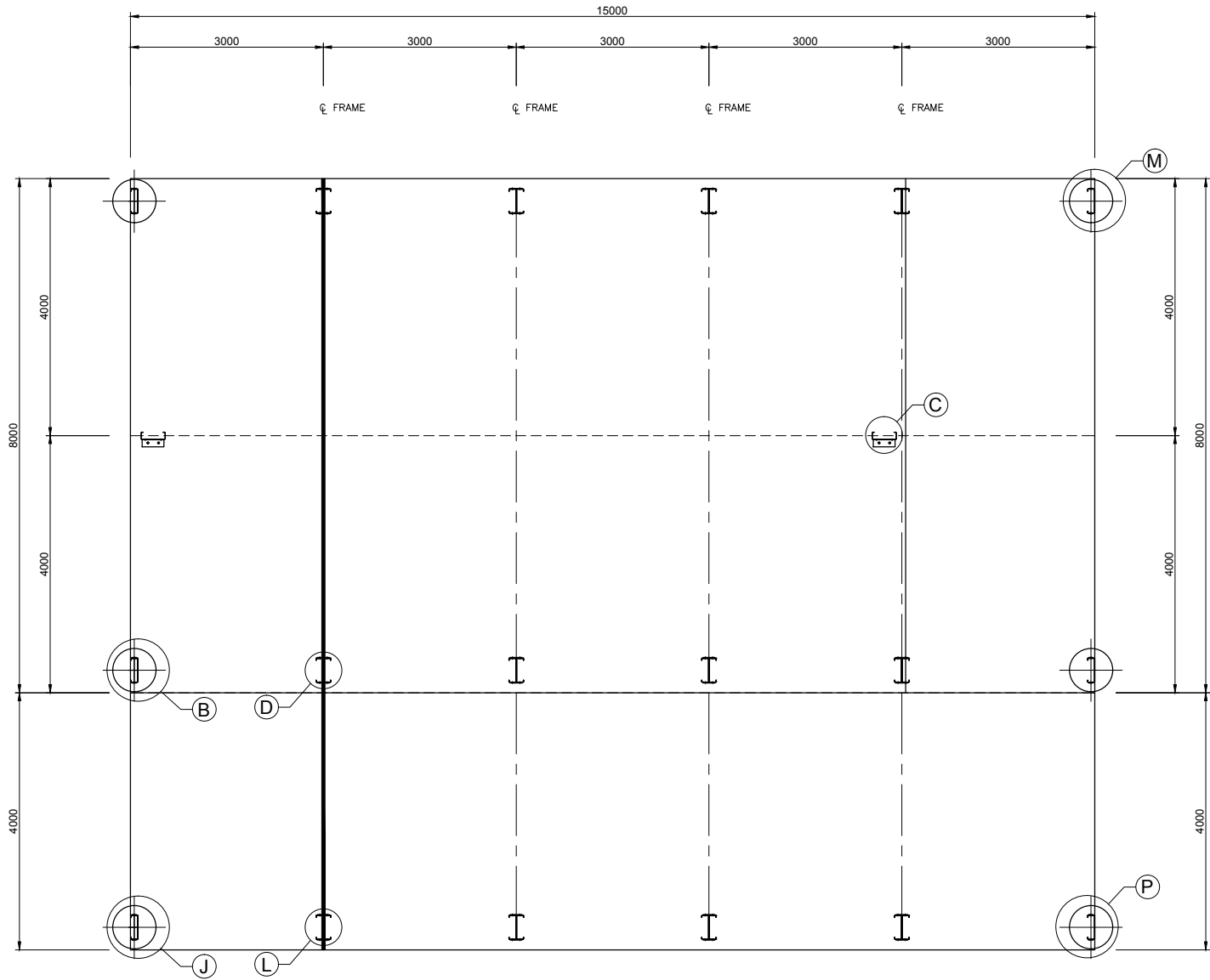
DETAIL M

SCALE: NTS



DETAIL P

SCALE: NTS



1 HOLD DOWN BRACKET LAYOUT
1 SCALE: 1 = 100

IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

JOB NO. EDMT17966	DATE 30/6/2021	CHECKED TM	DRAWN FDS	STEEL BUILDING BY CARDINAL ROOFING AND SHEDS FOR SCOTT HAHNE AT 147 PONZON ROAD SHANNONVALE
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BRACKET LAYOUT



Form 15 - Compliance Certificate for building Design or Specification

Version 4 - July 2017

NOTE: This is to be used for the purposes of section 10 of the Building Act 1975 and/ or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.
The lot & plan details (eg. SP / RP) are shown on the title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no.,street, suburb / locality & postcode)

147 Ponzon Road

Shannonvale

Postcode : 4873

Lot & plan details (attach list if necessary)

Lot No:

SP/RP :

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate. e.g all structural aspects of the steel roof beams.

Steel Portal Frame Structure 8 m Span x 15 m O/A length x 3.3 m eaves

height building, consisting of 5 bays at 3 m x 0 m Left Leanto span

x 4 m Right leanto span

Also Including Foundations / Footings

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Australian Standards (list) AS/NZS 4600-2018, AS/NZS 1170.0,1,2,3,4-2011, AS2870-2011, AS3600-2018

2019 National Construction Code of Australia NCC Building Classification = Class 10

Region AS1170.2 = Reg C

Annual Probability Exceedance wind = 1:500

NCC Importance Level = 2

NCC Equivalent Wind class = N/A

Factor for Region = $F_c=1.05$

Regional 3 s Gust Wind Speed for annual probability of exceedance $V_R= 69$ m/s

Wind directional multipliers for the 8 cardinal directions $M_d = 1.00$

Terrain/Height multiplier (M_z , Cat) = 0.90

Shielding Multiplier $M_s= 1$

Topographic multiplier $M_t = 1$

Design Wind Speed = 62 m/s

External Pressure Coefficient c_{pe} = Roof = -0.90, 0.20; Walls = -0.65, 0.70

Internal Pressure Coefficient c_{pi} = -0.65, 0.7

Design Roof Live Load = 0.25 kPa

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawing Nos: 'Fair Dinkum' Structural Design Drawing

TO BE READ IN CONJUNCTION WITH PAGES 1 TO 7

FOR JOB NO. EDMT17966

DATED : 30/6/2021

Specifications:

Computations:

Test Reports:

Other Documentation: STRAMIT CYCLONIC AREAS ROOF & WALL CLADDING (LHL DATA)



Form 15 - Compliance Certificate
for building Design or
Specification

Version 4 - July 2017

5. Building certifier
reference number

Building certifier reference number

6. Competent person
details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for the assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Timothy Roy Messer

Company name (if applicable)

Northern Consulting Engineers

Contact person

Timothy Roy Messer

Phone no. business hours

(07) 47 25 55 50

Mobile no.

Fax no.

(07) 47 25 58 50

Email address

design@nceng.com.au

Postal address

50 Punari Street, Currajong, QLD

Postcode: 4812

Licence or registration number (if applicable)

RPEQ 9985

7. Signature of competent
person

This certificate must be signed by the individual assessed by the building certifier as competent.

I certify that the item/s described above, if installed or carried out under the certificate, including any referenced documentation, will comply with the *Building Act 1975*.

Signature

Date

30/6/2021

Mr Timothy Roy Messer

Page 2 of 2

The *Building Act 1975* is administered by the Department of House and Public Works



180.01 m²

Performance outcomes	Acceptable outcomes	Proposed development outcome
For assessable development		
<p>PO2</p> <p>The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p>AO2.1</p> <p>Development does not occur on land with a gradient in excess of 1 in 6 (16.6%)</p> <p>or</p> <p>AO2.2</p> <p>Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p>	<p>The proposed building location is on land with a 14% maximum gradient</p>
	<p>AO2.3</p> <p>Access ways and driveways are:</p> <p>(a) constructed with surface materials that blend with the surrounding environment;</p> <p>(b) landscaped with dense planting to minimise the visual impact of the construction;</p> <p>(c) provided with erosion control measures immediately after construction.</p>	<p>The proposed building is located adjacent to an existing 300m driveway consisting of gravel material. The extension to access will consist of the same materials and be a maximum of 20 meters additional driveway length and hence will have no material effect on the visual amenity</p>
	<p>AO2.4</p> <p>The clearing or disturbance of vegetation is limited to clearing and disturbance that:</p> <p>(a) is necessary for the construction of driveways;</p> <p>(b) is necessary to contain the proposed development;</p> <p>(c) minimises canopy clearing or disturbance;</p> <p>(d) minimises riparian clearing or disturbance.</p>	<p>No vegetation clearing is required as the building is proposed to be located in already previously cleared land (ex canefield)</p>
	<p>AO2.5</p> <p>On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p>	<p>Not applicable</p>

	<p>AO2.6 Development does not alter the sky line.</p>	<p>The proposed building is located at the bottom of a hill in excess of 200m AHD and as such will not impact skyline at all.</p>
	<p>AO2.7 Buildings and structures: (a) are finished predominantly in the following exterior colours or surfaces: (i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; (b) are not finished in the following exterior colours or surfaces: (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces.</p>	<p>The proposed building is to clad as: Roof: Colorbond Woodland Grey Walls: Colourbond Cove Window frames: Black</p> <p>which are all moderately dark shades of brown or black.</p> <p>The colours replicate the colour palette of the existing residential house on the Lot</p>
	<p>AO2.8 Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features</p>	<p>There is no proposal to use white or light colours in the building</p>
	<p>AO2.9 Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p>	<p>Not applicable as it is a single storey building</p>
	<p>AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land: (a) with a gradient of 1 in 6 (16.6%) or more; (b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.</p>	<p>Not applicable as it is only a shed</p>

<p>PO3 Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through:</p> <ul style="list-style-type: none"> (a) loss of privacy; (b) loss of access to sunlight; (c) intrusion of visual or overbearing impacts; (d) complex engineering solutions. 	<p>AO3 Excavation or fill:</p> <ul style="list-style-type: none"> (a) is not more than 1.2 metres in height for each batter or retaining wall; (b) is setback a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping; (d) does not exceed a maximum of 3 batters and 3 berms (i.e. not greater than 3.6 metres in height) on any one lot. 	<p>Filling of not more than 1.2 metres in height for each batter will occur.</p> <p>Filling will occur at least 30 metres from the closest property boundary. Filling will incorporate a minimum 2 meter wide berm to facilitate lawn mowing</p> <p>A maximum of 3 batters and berms will be installed.</p>
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