

# DEVELOPMENT APPLICATION

## DEVELOPMENT PERMIT:

### **MATERIAL CHANGE OF USE**

**Dwelling House (Secondary Dwelling)**

1387 Mossman Daintree Road Rocky Point Qld. 4873  
LOT 2 ON RP748809

NOVEMBER 2021

## CONTENTS

	<b>APPLICATION SUMMARY</b>	<b>3</b>
<b>1</b>	<b>PROPOSAL</b>	<b>4</b>
1.1	Introduction	4
1.2	Proposed Development	4
	Figure 1: Proposed Secondary Dwelling design	4
1.3	Site and Locality	5
	Figure 2: Location of proposed dwelling on the site	5
	Figure 3: Designated construction area	6
	Figure 4: Aerial image of the site and area	7
	Figure 5: Site zoning	8
<b>2</b>	<b>PLANNING CONSIDERATIONS</b>	<b>9</b>
2.1	Compliance with Planning Scheme	9
2.2	SPP - Natural Hazards, Risk and Resilience	9
	Figure 6: Coastal Processes Overlay	10
2.3	PSP - Landscape Values	10
	Figure 7: Landscape Values Overlay	10
2.4	State Agency Referral Items	11
<b>3</b>	<b>PLANNING SUMMARY</b>	<b>11</b>
<b>4</b>	<b>RECOMMENDATION</b>	<b>11</b>
	<b>APPENDIX 1: ASSESSMENT AGAINST THE PLANNING CODES</b>	<b>(attached)</b>
	<b>APPENDIX 2: CONCEPT PLANS (by JB DESIGN Pty Ltd)</b>	<b>(attached)</b>

<b>APPLICATION SUMMARY</b>	
<b>DEVELOPMENT APPLICATION</b>	Material Change of Use
<b>PROPOSED USE</b>	Dwelling House (Secondary Dwelling)
<b>ASSESSMENT LEVEL</b>	Code
<b>STREET ADDRESS</b>	1387 Mossman Daintree Road, Rocky Point
<b>REAL PROPERTY ADDRESS</b>	LOT 2 ON RP748809
<b>APPLICANT</b>	The Building Approval Company c/- Land Owner
<b>LOCAL GOVERNMENT AREA</b>	Douglas Shire Council
<b>PLANNING SCHEME</b>	Douglas Shire Planning Scheme 2018
<b>LOT AREA</b>	12,540m <sup>2</sup>
<b>ZONE</b>	Environmental Management Zone
<b>PRECINCT</b>	n/a
<b>EASEMENTS / RESERVES</b>	Nil
<b>IMPROVEMENTS</b>	Dwelling House
<b>APPLICABLE PLANNING CODES</b>	Environmental Management Zone Code
	Dwelling House Code
	Bushfire Hazard Overlay Code
	Hillslopes Overlay Code
	Coastal Environment Overlay Code
	Landscape Values Overlay Code
	Natural Areas Overlay Code
	Potential Landslide Hazard Overlay Code
	Transport Network Overlay Code
	Access, parking and servicing Code
	Filling and Excavation Code
	Infrastructure works Code
	Vegetation Management Code
<b>APPLICABLE PSP</b>	Landscape Values
<b>APPLICABLE SPP</b>	Natural Hazards, Risk and Resilience
<b>APPLICABLE REFERRALS</b>	The Department of Main Roads

## 1 Proposal

### 1.1 Introduction

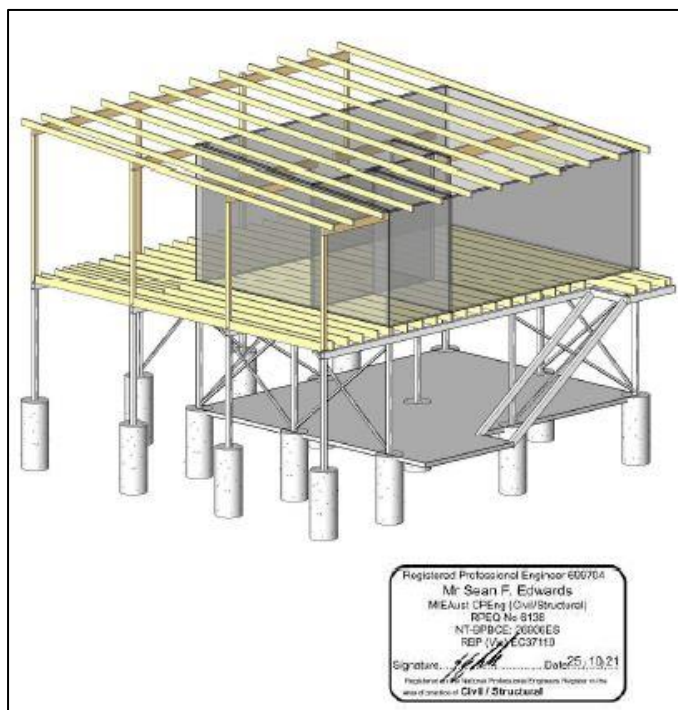
This application is for a Development Permit – Material Change of Use for a Dwelling House (secondary dwelling) over land located at 1387 Mossman Daintree Road Rocky Point Qld. formally known as Lot 2 on RP748809. **The site is located within the Environmental Management Zone.**

As prescribed by Table 5.6.2 – Low Environmental Management Zone, this application for a Dwelling House (secondary dwelling) is classified as Code Assessable Development subject to assessment against the relevant codes of the Douglas Shire Planning Scheme 2018.

The proposal is also assessable against the Landscape Values PSP and Natural Hazards, Risk and Resilience SPP, both of which are addressed in this report.

### 1.2 Proposed Development

The proposed development is the construction of a micro Dwelling House (Secondary Dwelling) on land at 1387 Mossman Daintree Road Rocky Point Qld. The proposed Secondary Dwelling is of single storey (raised) construction (**Figure 1**) on an area on the site cleared of vegetation and is minor in scale, being a single room micro dwelling with a GFA of 44.84m<sup>2</sup> (excluding the patio and stairs). The proposed plans are attached with this Planning Report as **Appendix 2**.



**Figure 1:** Proposed Secondary Dwelling. (TMI Consulting Drawing S01)

### 1.3 Site and Locality

The proposal site is located 1km south of Wonga at the street address of 1387 Mossman Daintree Road Rocky Point Qld. formally known as Lot 2 on RP748809 and is situated in the Environmental Management Zone. The site has an area of 12,540m<sup>2</sup> and is located amongst retained natural vegetation. The site is accessed directly via Mossman Daintree Road.

The area of the site where the proposed Secondary Dwelling is located is identified in the attached plans (**Appendix 1**) and **Figures 2** and **3** below. **Figure 4** provides an aerial image of the site and surrounding area. **Figure 5** provides zone information for the site.



**Figure 2:** Location of proposed development on the site.



**Figure 3:** Area designated for the proposed development on the site.

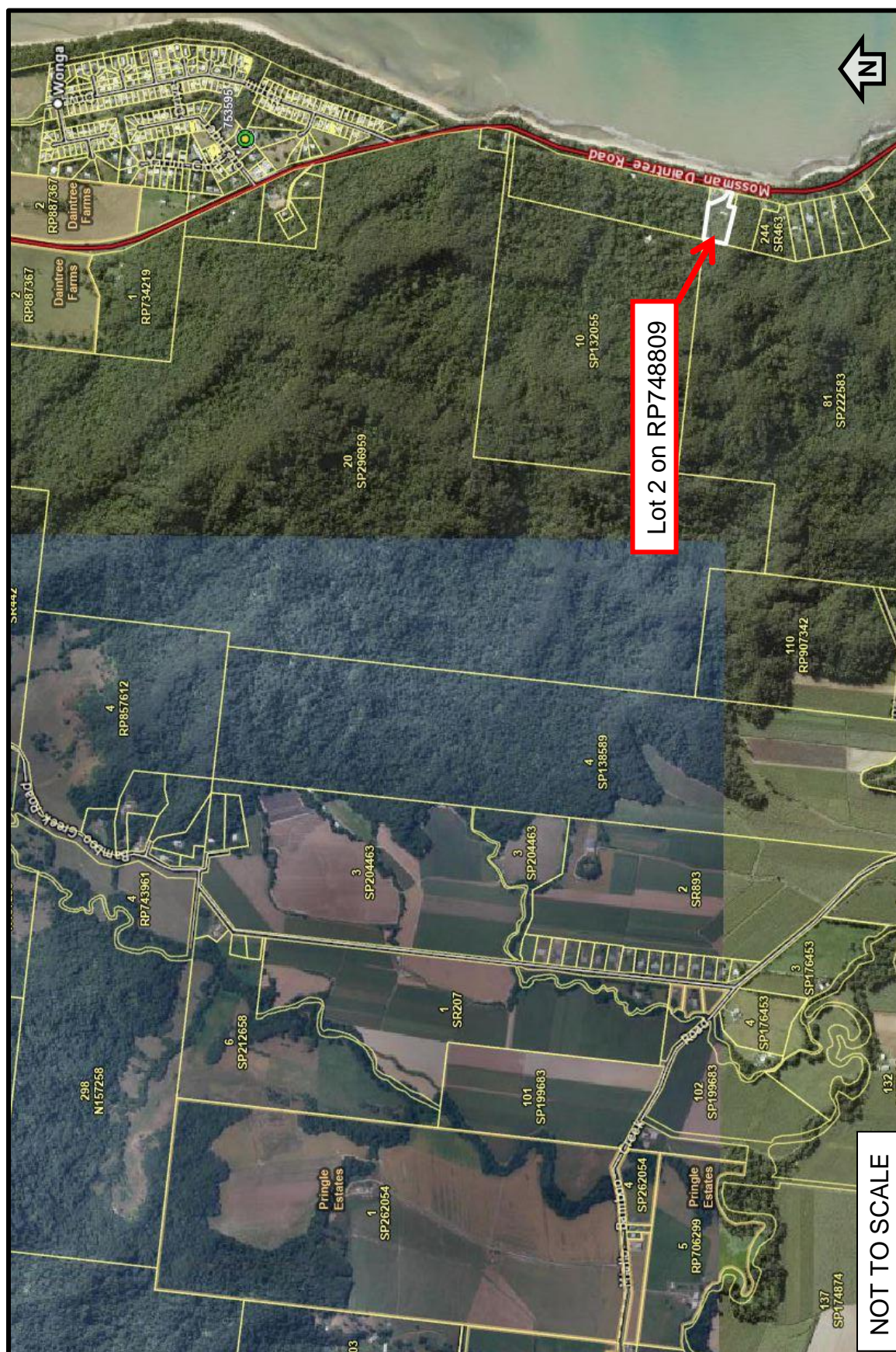


Figure 4: Aerial image of site and surrounding area (Qld. Globe).



**Figure 5:** Site located within the Environmental Management Zone. (DSPS 2018)

## 2 Planning Considerations

### 2.1 Compliance with Planning Scheme

The site is located within the Environmental Management Zone and is subject to compliance with the Douglas Shire Planning Scheme 2018. The proposed Material Change of Use for a Dwelling House (Secondary Dwelling) is Code Assessable development. The following table identifies all Applicable Codes and all Overlay Codes which affect the site.

Environmental Management Zone Code	Applicable Zone code
Dwelling House Code	Applicable Use Code
Acid Sulfate Soils Overlay Code	Applicable Overlay Code
Bushfire Hazard Overlay Code	Applicable Overlay Code
Coastal Environment Overlay Code	Applicable Overlay Code
Hillslopes Overlay Code	Applicable Overlay Code
Landscape Values Overlay Code	Applicable Overlay Code
Natural Areas Overlay Code	Applicable Overlay Code
Potential Landslide Hazard Overlay Code	Applicable Overlay Code
Transport Network Overlay Code	Applicable Overlay Code
Access, parking and servicing Code	Applicable Development Code
Filling and Excavation Code	Applicable Development Code
Infrastructure works Code	Applicable Development Code
Vegetation Management Code	Applicable Development Code

All Code assessments are provided in **Appendix 1**.

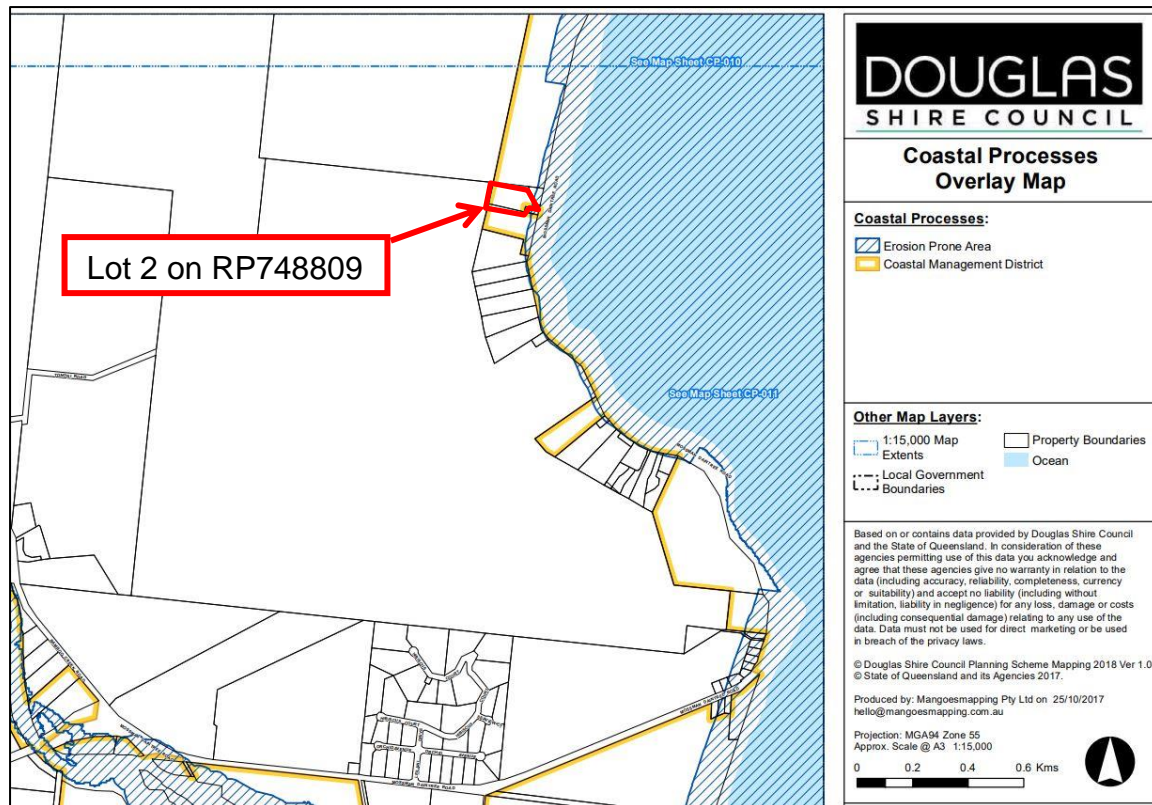
### 2.2 State Planning Policy - Natural Hazards, Risk and Resilience

The site is located adjacent to but not within the Erosion Prone Area mapped on the Coastal Processes Overlay as shown in **Figure 6**. As the State Planning Interest – Coastal Hazards - Erosion Prone Areas element has not been integrated into the Douglas Shire Planning Scheme, the proposed development is hereby addressed.

The site is situated partially within the mapped Erosion Prone Area and Coastal Management District however the area on the site where the proposed Secondary Dwelling is situated is not located within the mapped Erosion Prone Area.

The proposed Secondary Dwelling complies with the Assessment benchmarks of the SPP – Natural hazards, risk and resilience as;

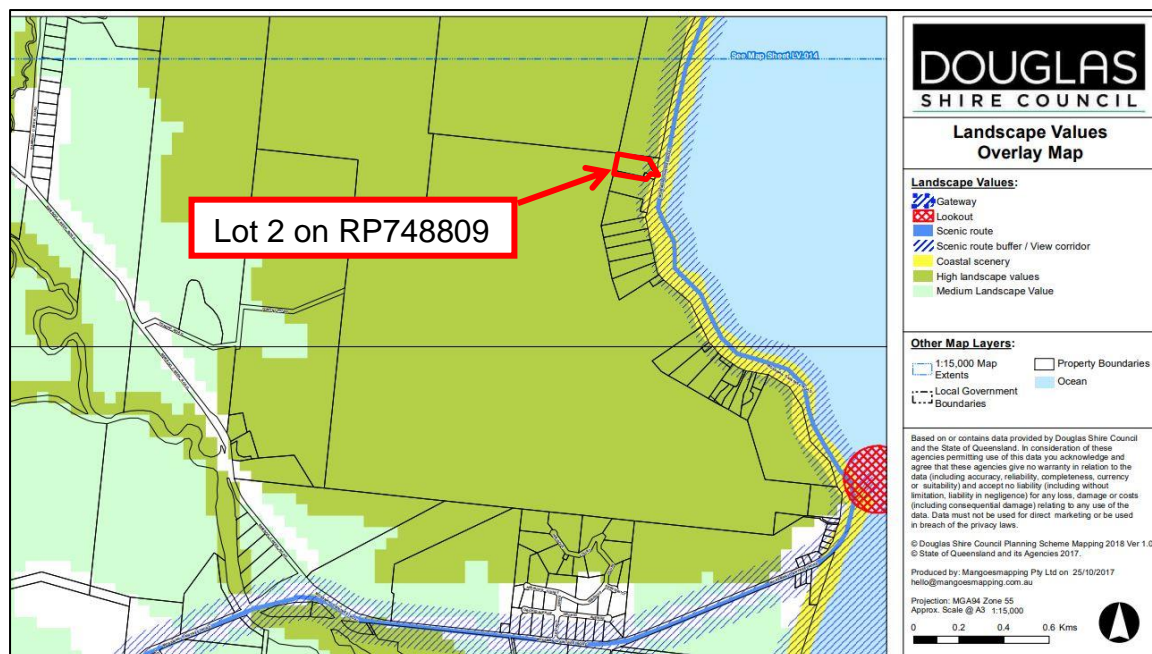
- Development does not occur within the Erosion Prone Area.



**Figure 6:** Coastal Processes Overlay mapping.

## 2.3 Planning Scheme Policy – Landscape Values

The proposed development is located within the Landscape Values – High Landscape Values area mapped by the Landscape Values Overlay as shown in **Figure 7**.



**Figure 7:** Landscape Values Overlay mapping.

The proposed Secondary Dwelling has been designed with a high standard of landscape value which includes a micro scale building which is not visible from the road and is situated within a cleared area on the site. (refer to **Figures 1-3**)

The Landscape Values Overlay Code is addressed in **Appendix 1**.

## 2.4 State agency referral items

This development is located on land fronting Mossman Daintree Road, a State Controlled Road. As such, this Development Application for a Secondary Dwelling over land at 1387 Mossman Daintree Road Rocky Point Qld. formally known as Lot 2 on RP748809 triggers referral to The Department of Main Roads for assessment.

## 3 Planning Summary

The proposed Dwelling House (Secondary Dwelling) is Code Assessable against the requirements of the Douglas Shire Planning Scheme 2018. The proposal has been assessed and found to comply with all applicable Code requirements which have been appropriately addressed in this Planning Report and **Appendix 1**. The development is referable to The Department of Main Roads for assessment for its impact on the State Road network.

As demonstrated within this Planning Report, the proposed development is consistent with the desired outcomes of the Environmental Management Zone Code as well as the Planning Scheme Policy – Landscape Values and the State Planning Policy – Natural Hazards, Risk and Resilience.

## 4 Recommendation

It is the professional opinion of Scope Town Planning as advisory to The Building Approval Company that this proposal for the construction of the Secondary Dwelling as designed and sited on Lot 2 on RP748809 satisfies the desired outcomes and requirements of the Douglas Shire Planning Scheme 2018 and that this application should be fairly assessed and approved by the Douglas Shire Council with fair and reasonable conditions.



Johnathan Burns | Town Planner  
Scope Town Planning for The Building Approval Company

4873 **APPENDIX 1: ASSESSMENT AGAINST THE DOUGLAS SHIRE PLANNING CODES**

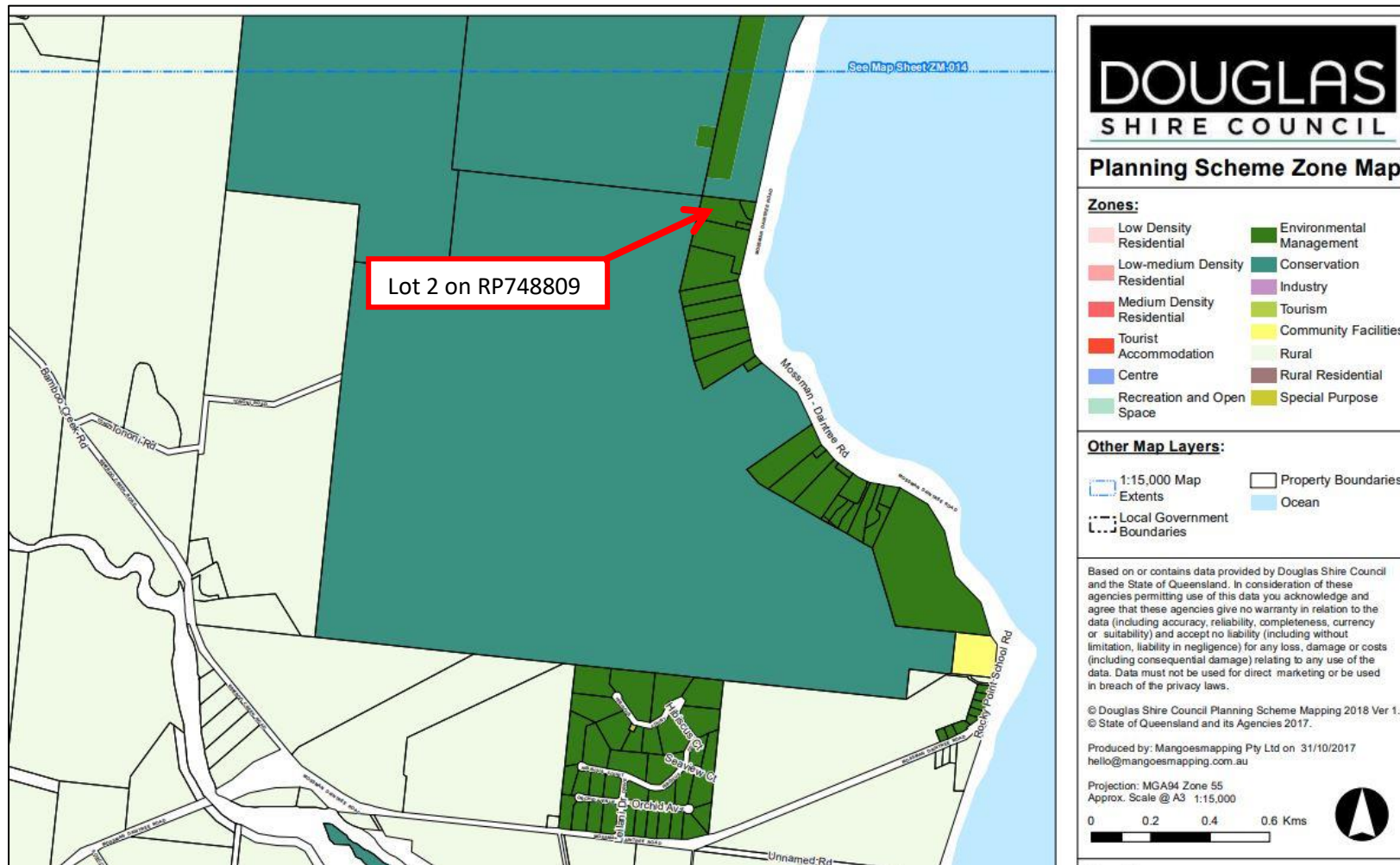
APPLICATION		PREMISES	
FILE NO:	211357	ADDRESS:	1387 Mossman Daintree Road, Rocky Point
APPLICANT:	The Building Approval Company c/- Land Owner	RPD:	LOT 2 ON RP748809
LODGED BY:	The Building Approval Company	AREA:	12,540m <sup>2</sup>
DATE LODGED:	October 2021	OWNER :	Gigi Legenhausen
TYPE OF APPROVAL:	Material Change of Use		
PROPOSED DEVELOPMENT:	Dwelling House (Secondary Dwelling)		
PLANNING SCHEME:	Douglas Shire Planning Scheme 2018		
ZONE:	Environmental Management Zone		
LEVEL OF ASSESSMENT:	Code		
SUBMISSIONS:	N/A		

As identified in Part 5 of the City Plan, this development is required to satisfy the Performance Outcomes of the following Codes:

- |                                       |  |
|---------------------------------------|--|
| 1. Environmental Management Zone Code | 8. Natural Areas Overlay Code              |
| 2. Dwelling House Code                | 9. Potential Landslide Hazard Overlay Code |
| 3. Acid Sulfate Overlay Code          | 10. Transport Network Overlay Code         |
| 4. Bushfire Hazard Overlay Code       | 11. Access, parking and servicing Code     |
| 5. Coastal Environment Overlay Code   | 12. Filling and Excavation Code            |
| 6. Hillslopes Overlay Code            | 13. Infrastructure works Code              |
| 7. Landscape Values Overlay Code      | 14. Vegetation Management Code             |


## 1. 6.2.4 - Environmental Management Zone Code



The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Environmental Management Zone Code of the Douglas Shire Planning Scheme 2018.



**6.2.4.3 Criteria for assessment****Table 6.2.4.3.a – Environmental management zone – assessable development**

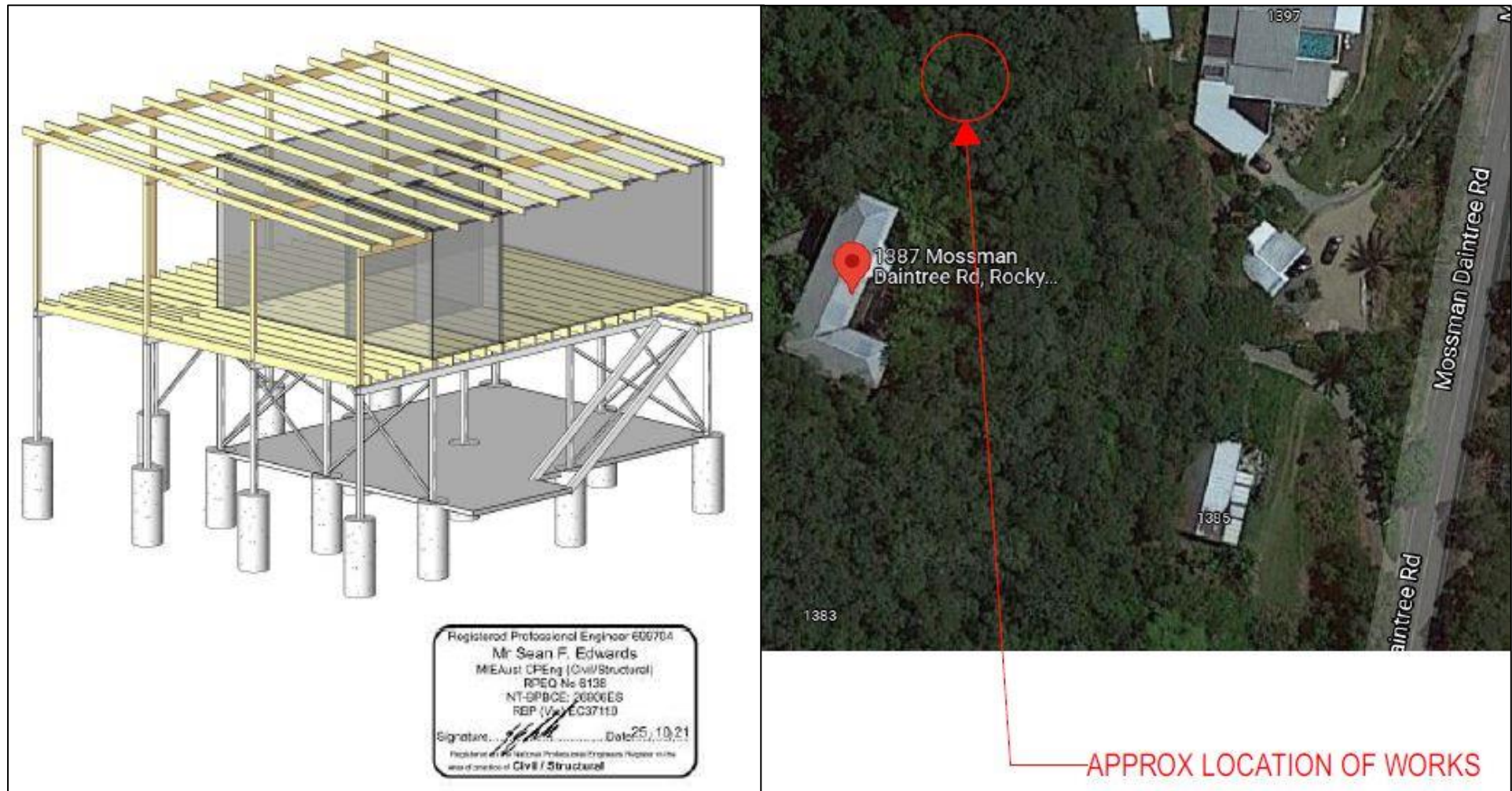
Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>PO1</b> The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites.	<b>AO1.1</b> Buildings and structures are not more than 8.5metres and two storeys in height.  Note – Height is inclusive of the roof height.  <b>AO1.2</b> Buildings have a roof height not less than 2 metres.	<b>COMPLIES</b> <b>The proposed dwelling is single storey with a height of 6m</b>  <b>The proposed dwelling has a roof height greater than 2.</b>
<b>PO2</b> Buildings and structures are set back to: (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages.	<b>AO2</b> Buildings and structures are set back not less than: (a) 40 metres from the frontage of a statecontrolled road; (b) 25 metres from the frontage to CapeTribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries ofthe site.	<b>COMPLIES</b> <b>The site fronts Mossman Daintree Road, a State Controlled Road.</b>  <b>The proposed dwelling is setback from the road by 65m.</b>
<b>For assessable development</b>		
<b>PO3</b> Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses.	<b>AO3</b> Inconsistent uses as identified in Table 6.2.4.3.bare not established in the Environmental management zone.	<b>COMPLIES</b> <b>The proposed dwelling is not an inconsistent use.</b>
<b>PO4</b> The site coverage of all buildings and structures and associated services do not have an adverse effect on the environmental or scenic values of the site.	<b>PO4</b> No acceptable outcomes are prescribed.	<b>COMPLIES</b> <b>The proposed dwelling has a minimal roof area and does not have an adverse effect on the environmental or scenic values of the site.</b>

<p><b>PO5</b> Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p><b>AO5.1</b> Buildings, structures and associated access, infrastructure and private open space are sited: (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; (c) to minimise additional vegetation clearing.</p> <p><b>AO5.2</b> Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling is sited in an already cleared, flat area on the site as pictured below.</b></p> 
<p><b>PO6</b> Buildings and structures are responsive to steep slope through innovative construction techniques so as to: (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; (c) minimise the overall height of development.</p>	<p><b>AO6.1</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised.</p> <p><b>AO6.2</b> Access and vehicle manoeuvring and parking areas are constructed and maintained to: (a) minimise erosion; (b) minimise cut and fill; (c) follow the natural contours of the site.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling is located on flat land. Existing access and vehicle maneuvering and parking areas will be utilized for the dwelling.</b></p>
<p><b>PO7</b> The exterior finishes of buildings and structures are consistent with the surrounding natural environment.</p>	<p><b>PO7</b> The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling is not visible from the road or adjoining lots and has the following colour scheme:</b> <b>Colourbond roof and gutter: Windspray</b> <b>External Weatherboards: Grey Pail</b> <b>Window frames: White</b></p>

		 
<b>PO8</b> Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	<b>AO8</b> No acceptable outcomes are prescribed.	<b>COMPLIES</b> <b>The proposed dwelling is hidden from view from adjoining properties and the road and will have no adverse effects on any physical or environmental site attributes.</b>
<b>PO9</b> The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	<b>AO9</b> The maximum residential density is one dwellinghouse per lot.	<b>COMPLIES</b> <b>The proposed secondary dwelling is hidden from view from adjoining properties and the road.</b> <b>The environmental and scenic amenity values of the site and surrounding area are not adversely affected.</b>
<b>PO10</b> Lot reconfiguration results in no additional lots.  Note - Boundary realignments to resolve encroachments and lot amalgamation are considered appropriate.	<b>AO10</b> No acceptable outcomes are prescribed.	<b>N/A</b> <b>The proposal is not for a ROL.</b>

## 2. 9.3.8 – Dwelling House Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Dwelling House Code of the Douglas Shire Planning Scheme 2018.



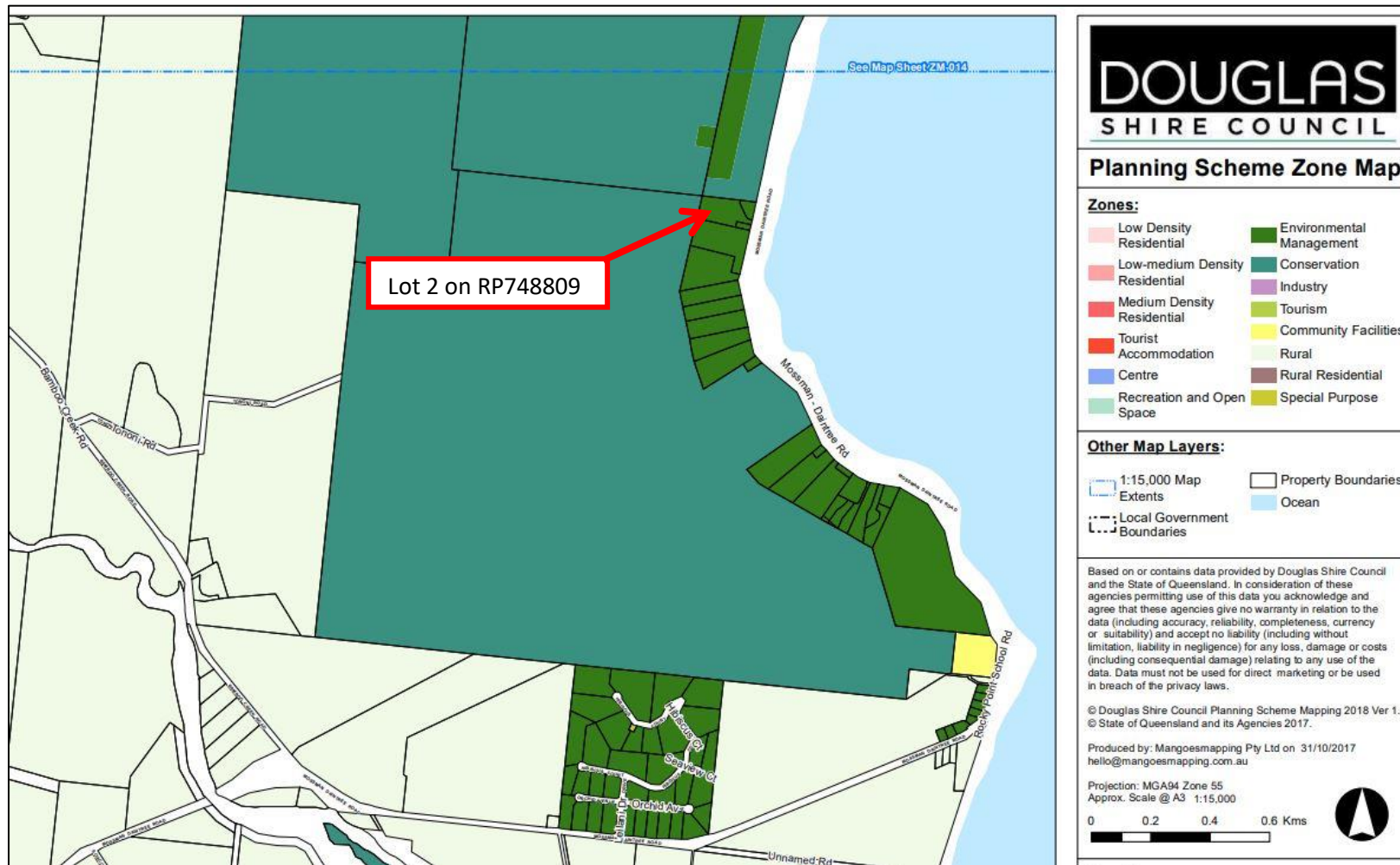
### 9.3.8.3 Criteria for assessment

**Table 9.3.8.3.a – Dwelling house code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>PO1</b> Secondary dwellings: (a) are subordinate, small-scaled dwellings; (b) contribute to a safe and pleasant living environment; (c) are established on appropriate sized lots; (d) do not cause adverse impacts on adjoining properties.	<b>AO1</b> The secondary dwelling: (a) has a total gross floor area of not more than 80m <sup>2</sup> , excluding a single carport or garage; (b) is occupied by 1 or more members of the same household as the dwelling house.	<b>COMPLIES</b> <b>The proposed dwelling has a GFA of 44.84m<sup>2</sup> (excluding the patio and stairs).</b> <b>The occupant will be a family member.</b>
<b>PO2</b> Resident's vehicles are accommodated on-site.	<b>AO2</b> Development provides a minimum number of on-site car parking spaces comprising: (a) 2 car parking spaces which may be in tandem for the dwelling house; (b) 1 car parking space for any secondary dwelling on the same site.	<b>COMPLIES</b> <b>The proposed secondary dwelling will utilize the existing concrete area for car parking (x1).</b>
<b>PO3</b> Development is of a bulk and scale that: (a) is consistent with and complements the built form and front boundary setbacks prevailing in the street and local area; (b) does not create an overbearing development for adjoining dwelling houses and their private open space; (c) does not impact on the amenity and privacy of residents in adjoining dwelling houses; (d) ensures that garages do not dominate the appearance of the street.	<b>AO3</b> Development meets the acceptable outcome for building height in the applicable Zone code associated with the site.	<b>COMPLIES</b> <b>The proposed dwelling complies with the height requirement of the Environmental Management Zone Code.</b>

### 3. 8.2.1 - Acid Sulfate Soils Overlay Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Acid Sulfate Soils Overlay Code of the Douglas Shire Planning Scheme 2018.



### 8.2.1.3 Criteria for assessment

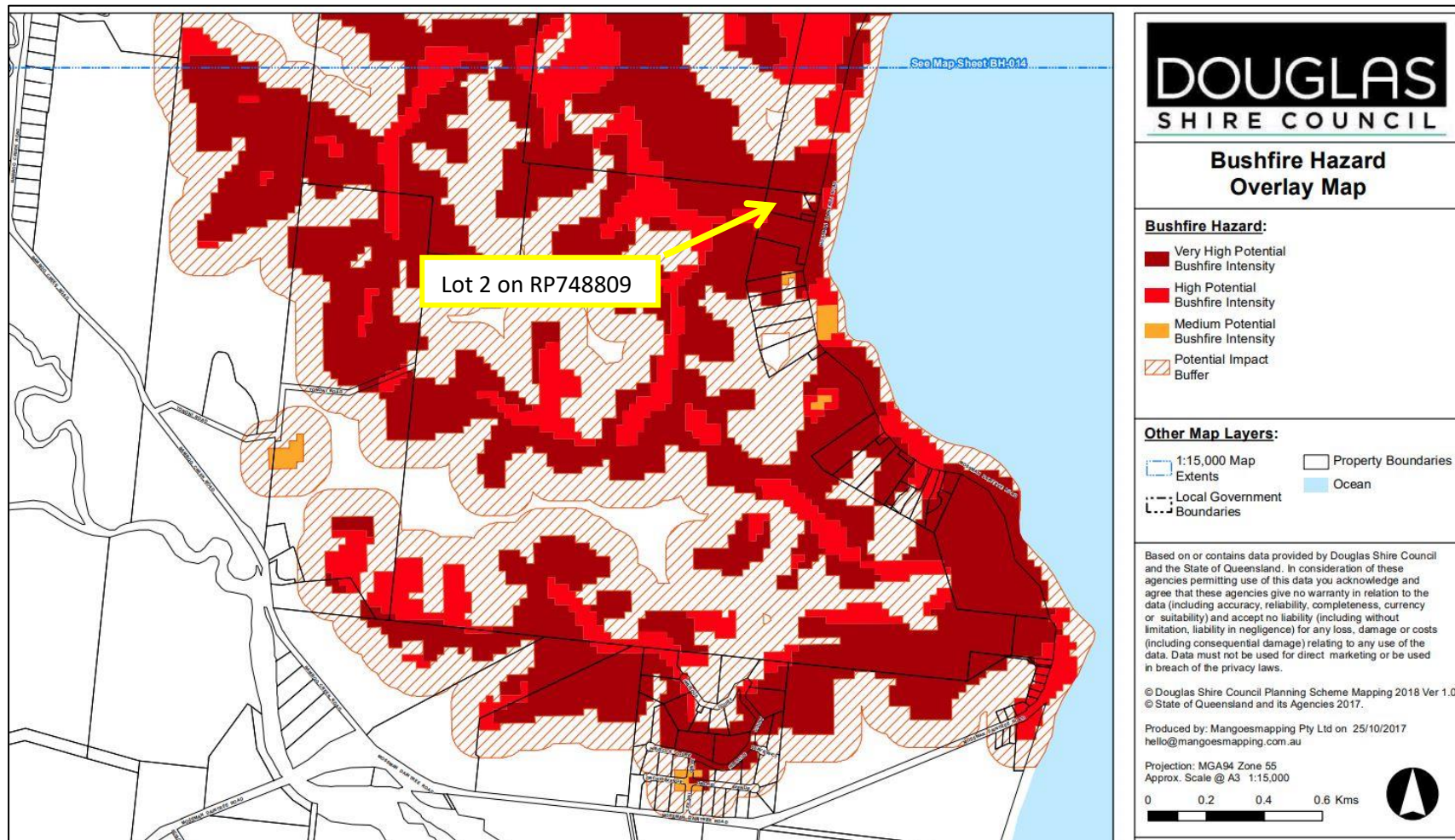
**Table 8.2.1.3.a – Acid sulfate soils overlay code – assessable development**

Performance outcomes	Acceptable outcomes	Compliance
For assessable development		
<b>PO1</b> The extent and location of potential or actual acid sulfate soils is accurately identified.	<b>AO1.1</b> No excavation or filling occurs on the site. or <b>AO1.2</b> An acid sulfate soils investigation is undertaken. Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.	<b>COMPLIES</b> <b>No excavation or filling is required or proposed.</b>
<b>PO2</b> Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants.	<b>AO2.1</b> The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by: (a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils; (b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils; (c) not undertaking filling that results in: (d) actual acid sulfate soils being moved below the water table; (e) previously saturated acid sulfate soils being aerated. or <b>AO2.2</b> The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by: (a) neutralising existing acidity and preventing the generation of acid and metal contaminants;	<b>COMPLIES</b> <b>No excavation or filling is required or proposed.</b>

	<p>(b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment;</p> <p>(c) preventing the in situ oxidation of potential acid sulfate soils and actual acid sulfate soils through ground water level management;</p> <p>(d) appropriately treating acid sulfate soils before disposal occurs on or off site;</p> <p>(e) documenting strategies and reporting requirements in an acid sulfate soils environmental management plan.</p> <p>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p>	
<p><b>PO3</b></p> <p>No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.</p>	<p><b>A03</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>COMPLIES</b></p> <p><b>No excavation or filling is required or proposed.</b></p>

#### 4. 8.2.2 - Bushfire Hazard Overlay Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Bushfire Hazard Overlay Code of the Douglas Shire Planning Scheme 2018.



### 8.2.2.3 Criteria for assessment

Table 8.2.2.3.a – Bushfire hazard overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Compatible development</b>		
<b>PO1</b> A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances. Note - See the end of this code for examples of vulnerable uses.	<b>AO1</b> Vulnerable uses are not established or expanded. Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan. Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected to prepare such a plan. Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.	<b>COMPLIES</b> <b>The proposed dwelling is not a vulnerable use.</b>
<b>PO2</b> Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.	<b>AO2</b> Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.	<b>N/A</b> <b>Does not involve emergency or community uses.</b>
<b>PO3</b> Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.	<b>AO3</b> The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.	<b>N/A</b> <b>Does not involve hazardous materials.</b>

Development design and separation from bushfire hazard – reconfiguration of lots		
<p><b>PO4.1</b> Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m<sup>2</sup> at the edge of the proposed lot(s). Note - "Urban purposes" and "urban area" are defined in the <i>Sustainable Planning Regulations 2009</i>. Reconfiguration will be taken to be for rural residential purposes where proposed lots are between 2000m<sup>2</sup> and 2ha in area. "Smaller scale" rural residential purposes will be taken to be where the average proposed lot size is 6000m<sup>2</sup> or less. Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p> <p><b>PO4.2</b> Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m<sup>2</sup> at any point.</p>	<p><b>AO4.1</b> No new lots are created within a bushfire hazard sub-category. or <b>AO4.2</b> Lots are separated from hazardous vegetation by a distance that: (a) achieves radiant heat flux level of 29kW/m<sup>2</sup> at all boundaries; and (b) is contained wholly within the development site. Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation. For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages. Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p><b>N/A</b> <b>Not an ROL.</b></p>
<p><b>PO5</b> Where reconfiguration is undertaken in an urban area or is for urban purposes, a constructed perimeter road with reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.  The access is available for both fire fighting and maintenance/defensive works.</p>	<p><b>AO5.1</b> Lot boundaries are separated from hazardous vegetation by a public road which: (a) has a two lane sealed carriageway; (b) contains a reticulated water supply; (c) is connected to other public roads at both ends and at intervals of no more than 500m; (d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (e) has a minimum of 4.8m vertical clearance above the road; (f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and (g) incorporates roll-over kerbing. <b>AO5.2</b> Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise specified by the relevant water entity. Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>	<p><b>N/A</b> <b>Not an ROL.</b></p>

<p><b>PO6</b></p> <p>Where reconfiguration is undertaken for smallscale rural residential purposes, either a constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fightingvehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p>	<p><b>AO6</b></p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining wallsadjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed ina planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network atintervals of no more than 500m;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a systemauthorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and QueenslandFire and Emergency Services.</li> </ul>	<p><b>N/A</b></p> <p><b>Not an ROL.</b></p>
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<p><b>PO7</b></p> <p>Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and either the lot boundary or building envelope, and is readily accessible at all times for the type of firefighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<p><b>AO7</b></p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</li> </ul>	<p><b>N/A</b></p> <p><b>Not an ROL.</b></p>
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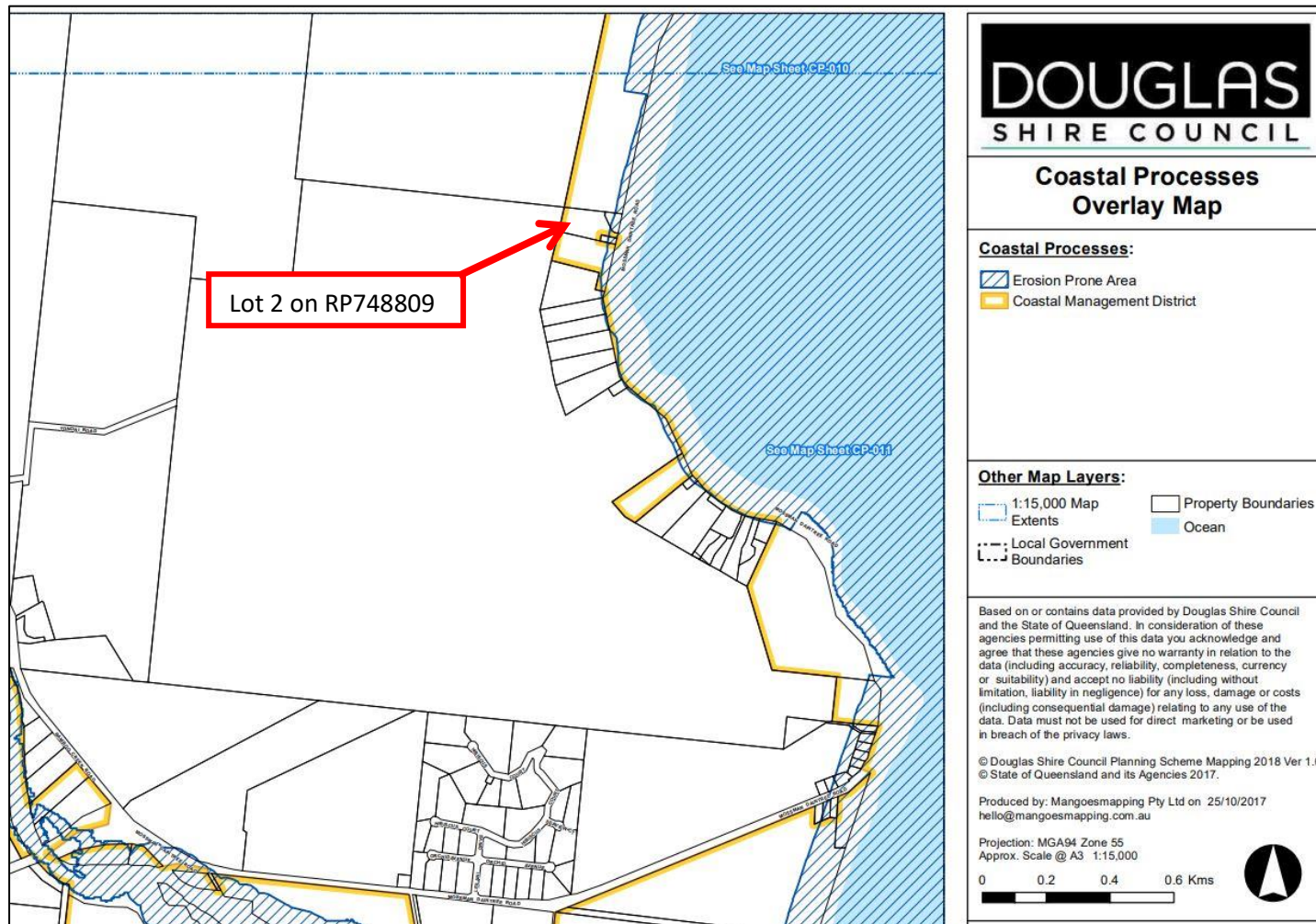
<p><b>PO8</b> The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.</p>	<p><b>AO8</b> The lot layout: (a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation; (b) avoids the creation of potential bottle-neck points in the movement network; (c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; and (d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion.</p> <p>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots. In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan. Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate</p>	<p><b>N/A</b> <b>Not an ROL.</b></p>
<p><b>PO9</b> Critical infrastructure does not increase the potential bushfire hazard.</p>	<p><b>AO9</b> Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.</p>	<p><b>N/A</b> <b>Not an ROL.</b></p>
<p><b>Development design and separation from bushfire hazard – material change of use</b></p>		
<p><b>PO10</b> Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of: (a) 10kW/m<sup>2</sup> where involving a vulnerable use; or (b) 29kW/m<sup>2</sup> otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p><b>AO10</b> Buildings or building envelopes are separated from hazardous vegetation by a distance that: (a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m<sup>2</sup> for a vulnerable use or 29kW/m<sup>2</sup> otherwise; and (b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling is situated on a cleared area separated from vegetation.</b></p>

<p><b>PO11</b></p> <p>A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> <p>Note - Fire trails are unlikely to be required where a development site involves less than 2.5ha</p>	<p><b>AO11</b></p> <p>Development sites are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</li> </ul>	<p><b>COMPLIES</b></p> <p><b>The proposed dwelling is situated on a cleared area separated from vegetation.</b></p>
<p><b>All development</b></p>		
<p><b>PO12</b></p> <p>All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances.</p>	<p><b>AO12</b></p> <p>Private driveways:</p> <ul style="list-style-type: none"> <li>(a) do not exceed a length of 60m from the street to the building;</li> <li>(b) do not exceed a gradient of 12.5%;</li> <li>(c) have a minimum width of 3.5m;</li> <li>(d) have a minimum of 4.8m vertical clearance;</li> <li>(e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and</li> <li>(f) serve no more than 3 dwellings or buildings.</li> </ul>	<p><b>COMPLIES</b></p> <p><b>The proposed dwelling is situated on a cleared area separated from vegetation and is accessible for emergency services and evacuation via the existing site access.</b></p>

<p><b>PO13</b> Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.</p>	<p><b>AO13</b> A water tank is provided within 10m of each building (other than a class 10 building) which:</p> <ul style="list-style-type: none"> <li>(a) is either below ground level or of non-flammable construction;</li> <li>(b) has a take off connection at a level that allows the following dedicated, static water supply to be left available for access by firefighters: <ul style="list-style-type: none"> <li>(i) 10,000l for residential buildings</li> </ul> </li> </ul> <p>Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams.</p> <ul style="list-style-type: none"> <li>(ii) 45,000l for industrial buildings; and</li> <li>(iii) 20,000l for other buildings;</li> <li>(c) includes shielding of tanks and pumps in accordance with the relevant standards;</li> <li>(d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank;</li> <li>(e) is provided with fire brigade tank fittings – 50mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and</li> <li>(f) is clearly identified by directional signage provided at the street frontage.</li> </ul>	<p><b>COMPLIES</b> <b>The proposed secondary dwelling is situated close to the existing dwelling and will utilize the existing fire fighting utilities on the site.</b></p>
<p><b>PO14</b> Landscaping does not increase the potential bushfire risk.</p>	<p><b>AO14</b> Landscaping uses species that are less likely to exacerbate a bushfire event, and does not increase fuel loads within separation areas.</p>	<p><b>COMPLIES</b> <b>No additional landscaping is proposed.</b></p>
<p><b>PO15</b> The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but not limited to, biodiversity or scenic amenity).</p>	<p><b>AO15</b> Bushfire risk mitigation treatments do not have a significant impact on the natural environment or landscape character of the locality where this has value.</p>	<p><b>COMPLIES</b> <b>The proposed secondary dwelling is minor in scale and will not pose a significant risk.</b></p>

## 5. 8.2.3 – Coastal Environment Overlay Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Coastal Environment Overlay Code of the Douglas Shire Planning Scheme 2018.



### 8.2.3.3 Criteria for assessment

**Table 8.2.3.3.a – Coastal environment overlay code – self-assessable and assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>PO1</b> No works other than coastal protection works extend seaward of the coastal building line.	<b>AO1.1</b> Development (including all buildings and other permanent structures such as swimming pools and retaining walls) does not extend seaward of a coastal building line.  Note – Coastal building lines are declared under the Coastal Protection and Management Act 1995 and are administered by the State Department of Environment and Heritage Protection.  <b>AO1.2</b> Coastal protection works are only undertaken as a last resort where coastal erosion presents an immediate threat to public safety or existing buildings or structures and the property cannot be relocated or abandoned.  <b>AO1.3</b> Coastal protection works are as far landward as practicable on the lot containing the property to the maximum extent reasonable.  <b>AO1.4</b> Coastal protection work mitigates any increase in the coastal hazard.	<b>COMPLIES</b> <b>The proposed secondary dwelling is not situated seaward of the coastal building line.</b>
<b>PO2</b> Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development is setback to maintain the amenity and use of the coastal resource.	<b>AO2</b> Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development (including all buildings and structures such as swimming pools) and retaining walls are set back not less than 6 metres from the seaward boundary of the lot.	<b>COMPLIES</b> <b>The proposed secondary dwelling is setback 65m from the front boundary.</b>

For assessable development		
Erosion prone areas		
<b>P03</b> Development identifies erosion prone areas(coastal hazards).	<b>AO3</b> No acceptable outcomes are prescribed.	<b>N/A</b> <b>The proposed secondary dwelling is not situated within the Erosion prone area mapped over the site.</b>
<b>P04</b> Erosion prone areas are free from developmentto allow for natural coastal processes.	<b>AO4.1</b> Development is not located within the Erosion prone area, unless it can be demonstrated thatthe development is for: (a) community infrastructure where no suitablealternative location or site exists for this infrastructure; or (b) development that reflects the preferred development outcomes in accordance with the zoning of the site (i.e. in the Low densityresidential zone, a dwelling house is a preferred development outcome in accordance with the zoning of the site)  <b>AO4.2</b> Development involving existing permanent buildings and structures within an erosion pronearea does not increase in intensity of its use by: (a) adding additional buildings or structures; or (b) incorporating a land use that will result in anincrease in the number of people or employees occupying the site.	<b>N/A</b> <b>The proposed secondary dwelling is not situated within the Erosion prone area mapped over the site.</b>

Coastal management districts		
<p><b>PO5</b> Natural processes and protective functions of landforms and vegetation are maintained.</p>	<p><b>PO5.1</b> Development within the coastal management district:</p> <ul style="list-style-type: none"> <li>(a) maintains vegetation on coastal land forms where its removal or damage may: <ul style="list-style-type: none"> <li>(i) destabilise the area and increase the potential for coastal erosion, or</li> <li>(ii) interrupt the natural sediment trapping processes or dune or land building processes;</li> </ul> </li> <li>(b) maintains sediment volumes of dunes and near-shore coastal landforms, or where a reduction in sediment volumes cannot be avoided, increased risks to development from coastal erosion are mitigated by location, design and construction and operating standards;</li> <li>(c) minimises the need for erosion control structures or riverine hardening through location, design and construction standards;</li> <li>(d) maintains physical coastal processes outside the development footprint for the development, including longshore transport of sediment along the coast;</li> <li>(e) reduces the risk of shoreline erosion for areas adjacent to the development footprint to the maximum extent feasible in the case of erosion control structures.</li> </ul> <p><b>PO5.2</b> Where development proposes the construction of an erosion control structure:</p> <ul style="list-style-type: none"> <li>(a) it is demonstrated that it is the only feasible option for protecting permanent structures from coastal erosion; and</li> <li>(b) those permanent structures cannot be abandoned or relocated in the</li> </ul>	<p><b>COMPLIES</b> <b>The proposed secondary dwelling does not require any additional clearing or filling / excavation and does not interfere with any natural processes.</b></p>

	<p>event of coastal erosion occurring.</p> <p><b>PO5.3</b> Development involving reclamation:</p> <ul style="list-style-type: none"> <li>(a) does not alter, or otherwise minimises impacts on, the physical characteristics of a waterway or the seabed near the reclamation, including flow regimes, hydrodynamic forces, tidal water and riverbank stability;</li> <li>(b) is located outside active sediment transport area, or otherwise maintains sediment transport processes as close as possible to their natural state;</li> <li>(c) ensures activities associated with the operation of the development maintain the structure and condition of vegetation communities and avoid wind and water run-off erosion.</li> </ul>	
<p><b>PO6</b> Development avoids or minimises adverse impacts on coastal resources and their values to the maximum extent reasonable.</p>	<p><b>AO6.1</b> Coastal protection work that is in the form of beach nourishment uses methods of placement suitable for the location that do not interfere with the long-term use of the locality, or natural values within or neighbouring the proposed placement site. and</p> <p><b>AO6.2</b> Marine development is located and designed to expand on or redevelop existing marine infrastructure unless it is demonstrated that it is not practicable to co-locate the development with existing marine infrastructure;  and</p> <p><b>AO6.3</b> Measures are incorporated as part of siting and design of the development to maintain or</p>	<p><b>COMPLIES</b> <b>The proposed secondary dwelling does not require any additional clearing or filling / excavation and does not interfere with any natural processes.</b></p>

	<p>enhance water quality to achieve the environmental values and water quality objectives outlined in the Environmental Protection (Water) Policy 2009.</p> <p>and</p> <p><b>AO6.4</b> Development avoids the disturbance of acid sulfate soils, or where it is demonstrated that this is not possible, the disturbance of acid sulfate soils is carefully managed to minimise and mitigate the adverse effects of disturbance on coastal resources.</p> <p>and</p> <p><b>AO6.4</b> Design and siting of development protects and retains identified ecological values and underlying ecosystem processes within the development site to the greatest extent practicable.</p>	
<p><b>P07</b> Development is to maintain access to and along the foreshore for general public access.</p>	<p><b>AO7.1</b> Development provides for regular access points for pedestrians including approved walking tracks, boardwalks and viewing platforms.</p> <p>and</p> <p><b>AO7.2</b> Development provides for regular access points for vehicles including approved roads and tracks.</p> <p>or</p> <p><b>AO7.3</b> Development demonstrates an alternative solution to achieve an equivalent standard of performance.</p>	<p><b>N/A</b> <b>The site does not have access to the foreshore.</b></p>

<p><b>PO8</b> Public access to the coast is appropriately located, designed and operated.</p>	<p><b>AO8.1</b> Development maintains or enhances public access to the coast. or</p> <p><b>AO8.2</b> Development is located adjacent to state coastal land or tidal water and minimises and offsets any loss of access to and along the foreshore within 500 metres.  or</p> <p><b>AO8.3</b> Development adjacent to state coastal land or tidal water demonstrates an alternative solution to achieve an equivalent standard and quality of access.</p>	<p><b>COMPLIES</b> <b>The proposed secondary dwelling does not interfere with any public access to the coast.</b></p>
<p><b>PO9</b> Development adjacent to state coastal land or tidal water is located, designed and operated to:</p> <ul style="list-style-type: none"> <li>(a) maintain existing access to and along the foreshore;</li> <li>(b) minimise any loss of access to and along the foreshore, or</li> <li>(c) offset any loss of access to and along the foreshore by providing for enhanced alternative access in the general location.</li> </ul>	<p><b>AO9.1</b> Development adjacent to state coastal land or tidal water:</p> <ul style="list-style-type: none"> <li>(a) demonstrates that restrictions to public access are necessary for: <ul style="list-style-type: none"> <li>(i) the safe and secure operation of development;</li> <li>(ii) the maintenance of coastal landforms and coastal habitat; or</li> </ul> </li> <li>(a) maintains public access (including public access infrastructure that has been approved by the local government or relevant authority) through the site to the foreshore for: <ul style="list-style-type: none"> <li>(i) pedestrians via access points including approved walking tracks, boardwalks and viewing platforms;</li> <li>(ii) vehicles via access points including approved roads or tracks.</li> </ul> </li> </ul> <p><b>AO9.2</b> Development adjacent to state coastal land</p>	<p><b>COMPLIES</b> <b>The proposed secondary dwelling does not interfere with any public access to the coast.</b></p>

	<p>ortidal water:</p> <p>(a) is located and designed to:</p> <p>(i) allow safe unimpeded access to, over, under or around built infrastructure located on, over or along the foreshore,for example through the provision of esplanades or easement corridors to preserve future access;</p> <p>(ii) ensure emergency vehicles can accessthe area near the development.</p> <p>or</p> <p>(a) minimises and offsets any loss of access toand along the foreshore within 500m of existing access points and development is located and designed to:</p> <p>(i) allow safe unimpeded access to, over, under or around built infrastructure located on, over or along the foreshore,and</p> <p>(ii) ensure emergency vehicles can access the area near the development.</p>	
<p><b>AO10</b></p> <p>Development that involves reconfiguring a lot for urban purposes adjacent to the coast is designedto ensure public access to the coast in consideration of public access demand from a whole-of-community basis and the maintenance of coastal landforms and coastal habitat.</p>	<p><b>AO10.1</b></p> <p>Development complies if consideration of public access demand from a whole-of-community basisand the maintenance of coastal landforms and coastal habitat is undertaken.</p> <p>or</p> <p><b>AO10.2</b></p> <p>Development demonstrates an alternative solution to achieve an equivalent standard andquality of access.</p>	<p><b>N/A</b></p> <p><b>Not an ROL.</b></p>

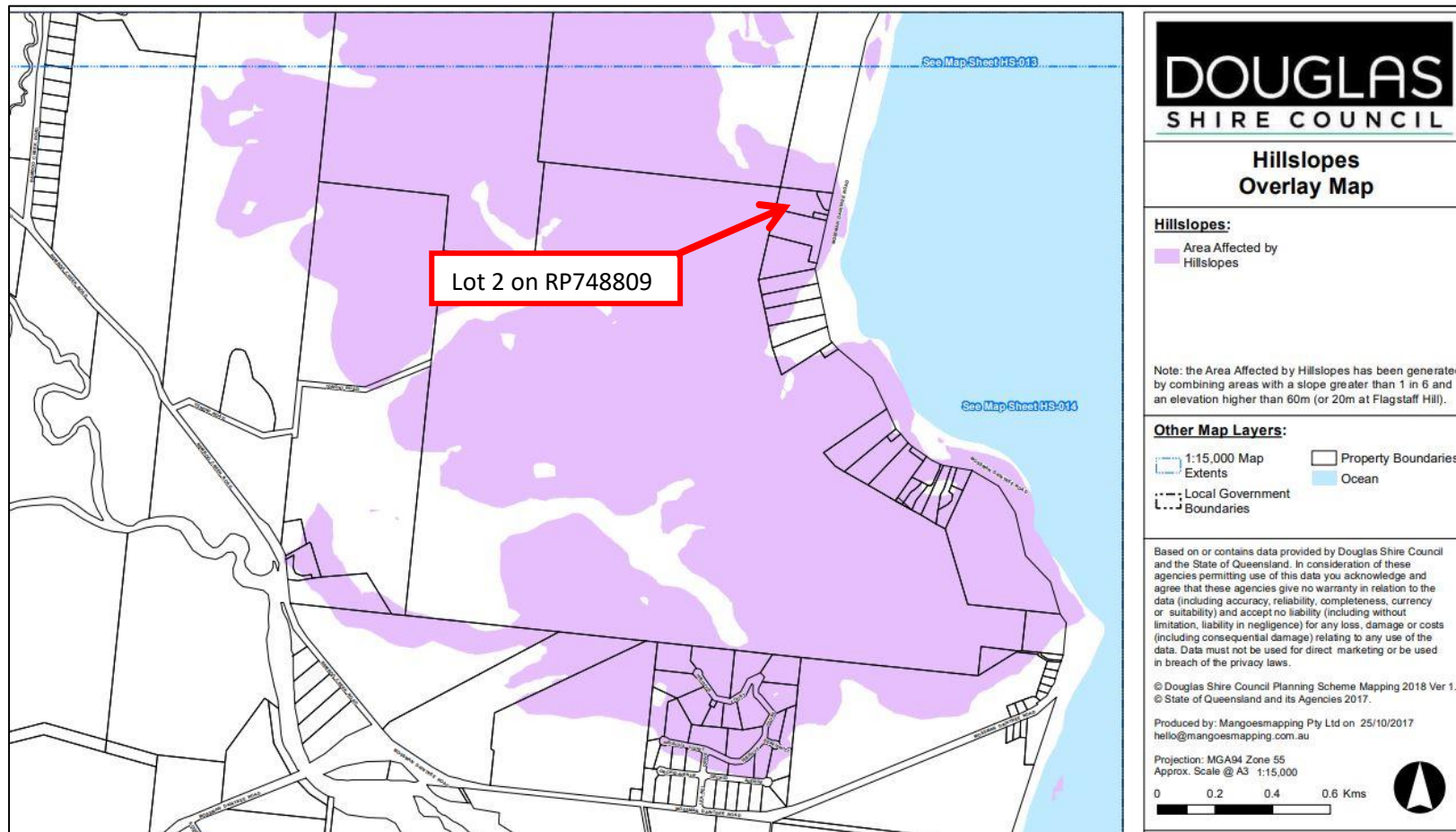
<b>PO11</b> Development maintains public access to Statecoastal land by avoiding private marine development attaching to, or extending across, non-tidal State coastal land.	<b>AO11</b> Private marine access structures and other structures such as decks or boardwalks for private use do not attach to or extend across State coastal land that is situated above highwater mark	<b>COMPLIES</b> <b>The proposed secondary dwelling does not interfere with any public access to the coast.</b>
<b>PO12</b> Development in connection with an artificial waterway enhances public access to coastal waters.	<b>AO12</b> The artificial waterway avoids intersecting with or connection to inundated land or leased land where the passage, use or movement of vessels in water on the land could be restricted or prohibited by the registered proprietor of the inundated land or leased land.	<b>N/A</b> <b>The proposal does not involve any waterways.</b>
<b>Coastal landscapes, views and vistas</b>		
<b>PO13</b> Development maintains and / or enhances natural coastal landscapes, views and vistas.	<b>AO13</b> No acceptable outcomes are prescribed.	<b>COMPLIES</b> <b>The proposed secondary dwelling is not visible from the road or adjoining properties.</b>
<b>PO14</b> Coastal settlements are consolidated through the concentration of development within the existing urban areas through infill and conserving the natural state of the coastal area outside existing urban areas.	<b>AO14</b> No acceptable outcomes are prescribed.	<b>N/A</b> <b>The proposal does not involve any coastal settlements.</b>
<b>Private marine development</b>		
<b>PO15</b> Private marine development is to avoid attaching to, or extending across, non-tidal State coastal land.	<b>AO15</b> Private marine development and other structures such as decks or boardwalks for private use do not attach to, or extend across, State coastal land that is situated above high water mark.  <small>Note – For occupation permits or allocations of State land, refer to the <i>Land Act 1994</i>.</small>	<b>N/A</b> <b>The proposal is not for private marine development.</b>

<p><b>PO16</b> The location and design of private marine development does not adversely affect the safety of members of the public access to the foreshore.</p>	<p><b>AO16</b> Private marine development does not involve the erection or placement of any physical barrier preventing existing access, along a public accessway to the foreshores.</p>	<p><b>N/A</b> <b>The proposal is not for private marine development.</b></p>
<p><b>PO17</b> Private marine development is of a height and scale and size compatible with the character and amenity of the location.</p>	<p><b>AO17</b> Private marine development has regard to: (a) the height, scale and size of the natural features of the immediate surroundings and locality; (b) the height, scale and size of existing buildings or other structures in the immediate surroundings and the locality; (c) if the relevant planning scheme states that desired height, scale or size of buildings or other structures in the immediate surroundings or locality – the stated desired height, scale or size.</p> <p><small>Note – The prescribed tidal works code in the <i>Coastal Protection and Management Regulation 2003</i> outlines design and construction requirements that must be complied with.</small></p>	<p><b>N/A</b> <b>The proposal is not for private marine development.</b></p>
<p><b>PO18</b> Private marine development avoids adverse impacts on coastal landforms and coastal processes.</p>	<p><b>AO18</b> Private marine development does not require the construction of coastal protection works, shoreline or riverbank hardening or dredging for marine access.</p>	<p><b>N/A</b> <b>The proposal is not for private marine development.</b></p>

For dry land marinas and artificial waterways		
<p><b>PO19</b> Dry land marinas and artificial waterways:</p> <ul style="list-style-type: none"> <li>(a) avoid impacts on coastal resources;</li> <li>(b) do not contribute to the degradation of waterquality;</li> <li>(c) do not increase the risk of flooding;</li> <li>(d) do not result in the degradation or loss ofMSES;</li> <li>(e) do not result in an adverse change to the tidalprism of the natural waterway to which development is connected.</li> <li>(f) does not involve reclamation of tidal landother than for the purpose of: <ul style="list-style-type: none"> <li>(i) coastal dependent development, publicmarine development; or</li> <li>(ii) community infrastructure, where there isno feasible alternative; or</li> <li>(iii) strategic ports, boat harbours or strategicairports and aviation facilities in accordance with a statutory land use plan; or</li> <li>(iv) coastal protection works or works necessary to protect coastal resourcesand processes.</li> </ul> </li> </ul>	<p><b>AO19</b> No acceptable solutions are prescribed.</p>	<p><b>N/A</b> <b>The proposal does not involve any dry land marinas and artificial waterways.</b></p>

## 6. 8.2.5 – Hillslopes Overlay Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Hillslopes Overlay Code of the Douglas Shire Planning Scheme 2018.



### 8.2.5.3 Criteria for assessment

Table 8.2.5.3.a – Hillslopes overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable development</b>		
<b>PO1</b> The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	<b>AO1.1</b> Development is located on parts of the site that are not within the Hillslopes constraint sub- category as shown on the Hillslopes overlay Maps contained in schedule 2.	<b>COMPLIES</b> The proposed secondary dwelling is not visible from the road or adjoining properties and will not adversely affect the landscape character and visual amenity quality of hillslopes areas.
<b>PO2</b> The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	<b>AO2.1</b> Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) OR <b>AO2.2</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site. <b>AO2.3</b> Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to minimise the visual impact of the construction; (c) provided with erosion control measures immediately after construction. <b>AO2.4</b> The clearing or disturbance of vegetation is limited to clearing and disturbance that: (a) is necessary for the construction of driveways; (b) is necessary to contain the proposed development; (c) minimises canopy clearing or disturbance; (d) minimises riparian clearing or disturbance. <b>AO2.5</b>	<b>COMPLIES</b> The proposed secondary dwelling is not visible from the road or adjoining properties and will not adversely affect the landscape character and visual amenity quality of hillslopes areas. The proposed secondary dwelling is situated on flat ground. The existing access driveway will be used. No vegetation clearing is required. The colour scheme consists of appropriate colours. The design is low set as shown in the attached plans. Refer to the Planning Report, Plans and Environmental Management Zone Code for further details.

	<p>On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p> <p><b>AO2.6</b> Development does not alter the sky line.</p> <p><b>AO2.7</b> Buildings and structures:</p> <p>(a) are finished predominantly in the following exterior colours or surfaces:</p> <ul style="list-style-type: none"> <li>(i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or</li> <li>(ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape;</li> </ul> <p>(b) are not finished in the following exterior colours or surfaces:</p> <ul style="list-style-type: none"> <li>(i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape;</li> <li>(ii) reflective surfaces.</li> </ul> <p><b>AO2.8</b> Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features</p> <p><b>AO2.9</b> Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p> <p><b>AO2.10</b> Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land:</p> <p>(a) with a gradient of 1 in 6 (16.6%) or more;</p> <p>(b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.</p>	
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<p><b>PO3</b> Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through:</p> <ul style="list-style-type: none"> <li>(a) loss of privacy;</li> <li>(b) loss of access to sunlight;</li> <li>(c) intrusion of visual or overbearing impacts;</li> <li>(d) complex engineering solutions.</li> </ul>	<p><b>AO3</b> Excavation or fill:</p> <ul style="list-style-type: none"> <li>(a) is not more than 1.2 metres in height for each batter or retaining wall;</li> <li>(b) is setback a minimum of 2 metres from property boundaries;</li> <li>(c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping;</li> <li>(d) does not exceed a maximum of 3 batters and 3 berms (i.e. not greater than 3.6 metres in height) on any one lot.</li> </ul>	<p><b>N/A</b> <b>No excavation or filling is required or proposed.</b></p>
<p><b>Lot reconfiguration</b></p>		
<p><b>PO4</b> For development that involves reconfiguring a lot, lot layout and design is responsive to the natural constraints of the land and each lot is capable of being used for its intended purpose.</p>	<p><b>AO4.1</b> The frontage and depth of all lots is of sufficient width to:</p> <ul style="list-style-type: none"> <li>(a) allow driveways to follow the natural contours of the site and not exceed a gradient of 1 in 6 (16.6%);</li> <li>(b) accommodate any changes in gradient between the road and lot within the lot boundary and not within the road reserve.</li> </ul> <p><b>AO4.2</b> Development does not create new lots containing land of greater than 1 in 6 (16.6%), except where a rectangular area of land of lesser grade is contained within the new lots to accommodate the intended land use, with the balance left in its natural state to the greatest extent possible.</p> <p><small>Note – The size of rectangular areas is outlined within each zone code.</small></p> <p><b>AO4.3</b> Development does not alter ridgelines.</p> <p><b>AO4.4</b> Lots are designed to ensure rooflines of future buildings and structures do not protrude above a ridgeline.</p>	<p><b>N/A</b> <b>Not an ROL.</b></p>

## 7. 8.2.6 –Landscape Values Overlay Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Landscape Values Overlay Code of the Douglas Shire Planning Scheme 2018.



### 8.2.6.3 Criteria for assessment

**Table 8.2.6.3.a – Landscape values overlay code – assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For assessable development</b>		
<b>Development in a High landscape value area</b>		
<p><b>PO1</b> Development within High landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <ul style="list-style-type: none"> <li>(a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</li> <li>(b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 3 years of construction;</li> <li>(c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</li> <li>(d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</li> <li>(e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</li> <li>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</li> <li>(g) extractive industry operations are avoided.</li> </ul> <p><small>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</small></p>	<p><b>AO1.1</b> Buildings and structures are not more than 8.5 metres and two storeys in height. <small>Note - Height is inclusive of roof height.</small></p> <p><b>AO1.2</b> Buildings and structures are setback not less than 50 metres from ridgelines or peaks.</p> <p><b>AO1.3</b> Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p> <p><b>AO1.4</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p> <ul style="list-style-type: none"> <li>(a) development follows the natural; contours of the site;</li> <li>(b) buildings are split level or suspended floor construction, or a combination of the two;</li> <li>(c) lightweight materials are used to areas with suspended floors.</li> </ul> <p><small>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</small></p> <p><b>AO1.5</b> The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette. <small>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</small></p> <p><b>AO1.6</b> No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.5%).</p>	<p><b>COMPLIES</b></p> <p><b>The proposed secondary dwelling has a maximum height less than 8.5m.</b></p> <p><b>The building is not located within 50m of a ridgeline or peak.</b></p> <p><b>The proposed dwelling is not visible from the road or adjoining lots.</b></p> <p><b>The proposal siting area is flat ground.</b></p> <p><b>No bright or reflective surfaces are proposed.</b></p> <p><b>No vegetation clearing is required or proposed.</b></p> <p><b>The proposal does not involve an accommodation activity or an ROL.</b></p> <p><b>No advertising devices are proposed.</b></p>

	<p><b>AO1.7</b> Where for accommodation activities or reconfiguration of a lot in a High landscape value area, development demonstrates that the height, design, scale, positioning on-site, proposed construction materials and external finishes are compatible with the landscape values. Note - A visual impact assessment undertaken in accordance with Planning scheme policy SC6.6 – Landscape values may be required.</p> <p><b>AO1.8</b> Advertising devices do not occur.</p>	
<b>Development within the Medium landscape value area</b>		
<p><b>PO2</b> Development within Medium landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <ul style="list-style-type: none"> <li>(a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</li> <li>(b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 5 years of construction;</li> <li>(c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</li> <li>(d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</li> <li>(e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</li> <li>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</li> <li>(g) extractive industry operations are avoided, or where they</li> </ul>	<p><b>AO2.1</b> Buildings and structures are not more than 8.5 metres and two storeys in height. Note - Height is inclusive of the roof height.</p> <p><b>AO2.2</b> Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p> <p><b>AO2.3</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p> <ul style="list-style-type: none"> <li>(a) development follows the natural; contours of the site;</li> <li>(b) buildings are split level or suspended floor construction, or a combination of the two;</li> <li>(c) lightweight materials are used to areas with suspended floors.</li> </ul> <p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p> <p><b>AO2.4</b> The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette. Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p>	<p><b>N/A</b> <b>The proposed development is not located within the Medium landscape value area.</b></p>

<p>cannot be avoided, are screened from view.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p><b>AO2.5</b> No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.6%).</p> <p><b>AO2.6</b> Advertising devices do not occur.</p>	
<p><b>Development within a Scenic route buffer / view corridor area</b></p>		
<p><b>PO3</b> Development within a Scenic route buffer / view corridor area as identified on the Landscape values overlay maps contained in Schedule 2:</p> <ul style="list-style-type: none"> <li>(a) retains visual access to views of the surrounding landscape, the sea and other water bodies;</li> <li>(b) retains existing vegetation and incorporates landscaping to visually screen and soften built form elements whilst not impeding distant views or view corridors;</li> </ul>	<p><b>AO3.1</b> Where within a Scenic route buffer / view corridor area, the height of buildings and structures is not more than identified within the acceptable outcomes of the applicable zone code.</p> <p><b>AO3.2</b> No clearing of native vegetation is undertaken within a Scenic route buffer area.</p> <p><b>AO3.3</b> Where within a Scenic route buffer / view corridor area development is set back and screened from view from a scenic route by existing native vegetation with a width of at least 10 metres and landscaped in accordance with the requirements of the landscaping code.</p>	<p><b>N/A</b> <b>The proposed development is not located within a Scenic route buffer / view corridor area.</b></p>
<ul style="list-style-type: none"> <li>(c) incorporates building materials and external finishes that are compatible with the visual amenity and the landscape character;</li> <li>(d) minimises visual impacts on the setting and views in terms of: <ul style="list-style-type: none"> <li>(i) the scale, height and setback of buildings;</li> <li>(ii) the extent of earthworks and impacts on the landform including the location and configuration of access roads and driveways;</li> <li>(iii) the scale, extent and visual prominence of advertising devices.</li> </ul> </li> </ul> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p><b>AO3.4</b> Development does not result in the replacement of, or creation of new, additional, or enlarged advertising devices.</p>	<p><b>N/A</b> <b>The proposed development is not located within a Scenic route buffer / view corridor area.</b></p>

Development within the Coastal scenery area		
<p><b>PO4</b></p> <p>The landscape values of the Coastal scenery zone as identified on the Landscape values overlay maps contained in Schedule 2 are managed to integrated and limit the visual impact of development.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p><b>AO4.1</b></p> <p>The dominance of the natural character of the coast is maintained or enhanced when viewed from the foreshore.</p> <p><b>AO4.2</b></p> <p>Where located adjacent to the foreshore buildings and structures are setback:</p> <p>(a) Where no adjoining development, a minimum of 50 metres from the coastal high water mark and the setback area is landscaped with native vegetation buffer that has a minimum width of 25 metres; or</p> <p>(b) Where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures, but not less than 10 metres from the coastal high water mark. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p> <p><b>AO4.3</b></p> <p>Where separated from the foreshore by land contained within public ownership (e.g. unallocated State land, esplanade or other public open space), buildings and structures area setback:</p> <p>(a) where no adjoining development, a minimum of 6 metres from the coastward property boundary. The setback area is landscaped in accordance with the requirements of the Landscaping code; or</p> <p>(b) where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p>	<p><b>N/A</b></p> <p><b>The proposed development is not located within the Coastal scenery area.</b></p>

<p><b>P05</b></p> <p>Development is to maximise opportunities to maintain and/or enhance natural landscape values through the maintenance and restoration of vegetated buffers between development and coastal waters, where practical.</p> <p>Note – A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in satisfaction of a performance outcome.</p>	<p><b>A05</b></p> <p>No clearing of native vegetation is undertaken within a Coastal scenery area zone, except for exempt vegetation damage undertaken in accordance with the Vegetation management code</p>	<p><b>N/A</b></p> <p><b>The proposed development is not located within the Coastal scenery area.</b></p>
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## 8. 8.2.7 – Natural Areas Overlay Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Natural Areas Overlay Code of the Douglas Shire Planning Scheme 2018.



### 8.2.7.3 Criteria for assessment

Table 8.2.7.3.a – Natural areas overlay code – assessable development

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Protection of matters of environmental significance</b>		
<b>PO1</b> Development protects matters of environmental significance.	<b>AO1.1</b> Development avoids significant impact on the relevant environmental values.  or <b>AO1.2</b> A report is prepared by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, that the development site does not contain any matters of state and local environmental significance.  or <b>AO1.3</b> Development is located, designed and operated to mitigate significant impacts on environmental values. For example, a report certified by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, how the proposed development mitigates impacts, including on water quality, hydrology and biological processes.	<b>COMPLIES</b>  <b>The proposed dwelling is sited on flat ground, requires no vegetation clearing, is not visible from the road or adjoining lots, is minor in scale and the site does not affect any matters of state and local environmental significance.</b>

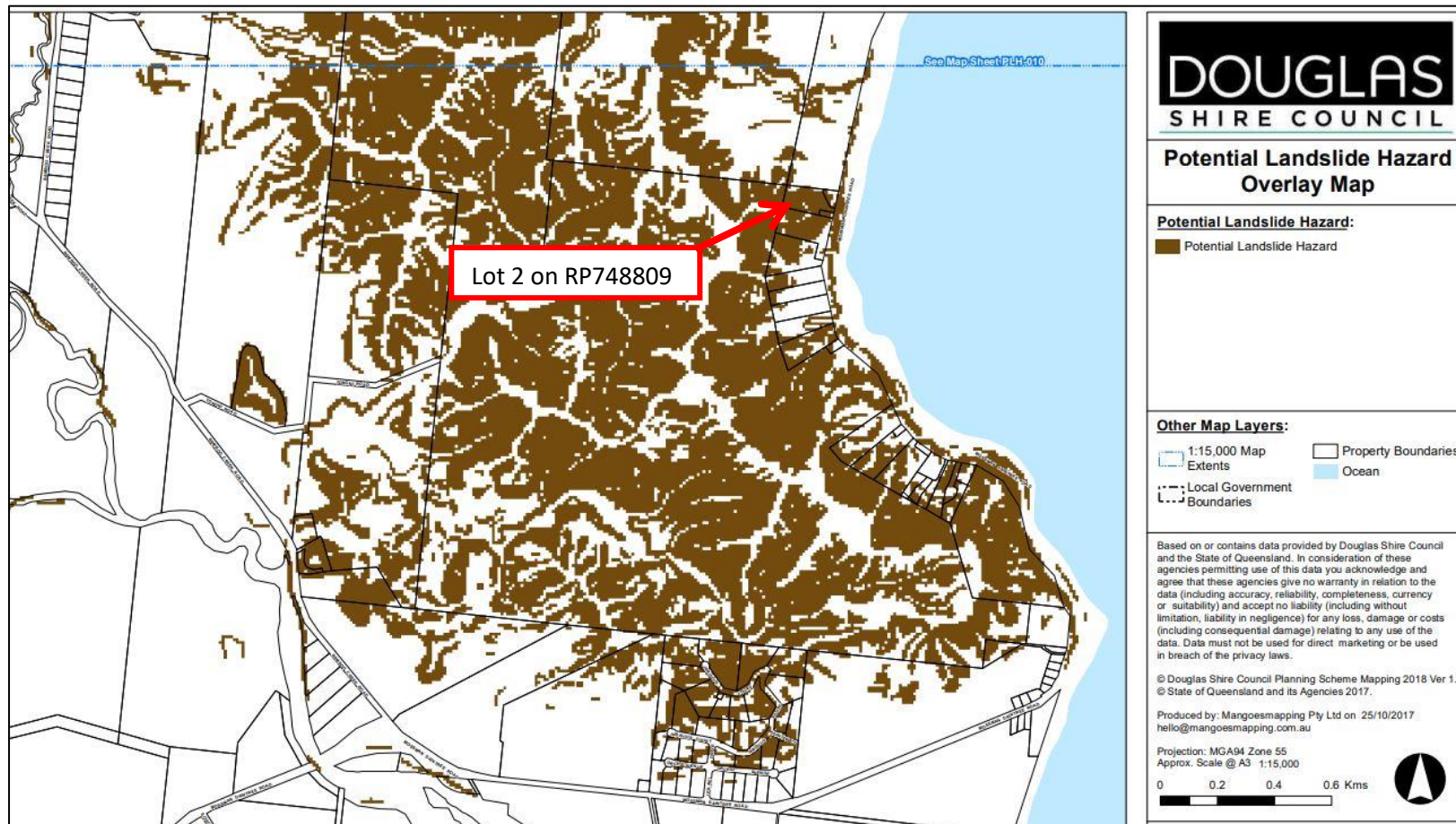
Management of impacts on matters of environmental significance		
<p><b>PO2</b> Development is located, designed and constructed to avoid significant impacts on matters of environmental significance.</p>	<p><b>AO2</b> The design and layout of development minimises adverse impacts on ecologically important areas by:</p> <ul style="list-style-type: none"> <li>(a) focusing development in cleared areas to protect existing habitat;</li> <li>(b) utilising design to consolidate density and preserve existing habitat and native vegetation;</li> <li>(c) aligning new property boundaries to maintain ecologically important areas;</li> <li>(d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas;</li> <li>(e) ensuring that significant fauna habitats are protected in their environmental context; and</li> <li>(f) incorporating measures that allow for the safe movement of fauna through the site.</li> </ul>	<p><b>COMPLIES</b> <b>The proposed dwelling is sited on flat ground, requires no vegetation clearing, is not visible from the road or adjoining lots, is minor in scale and the site does not affect any matters of state and local environmental significance.</b></p>
<p><b>PO3</b> An adequate buffer to areas of state environmental significance is provided and maintained.</p>	<p><b>AO3.1</b> A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of:</p> <ul style="list-style-type: none"> <li>(a) 100 metres where the area is located outside Urban areas; or</li> <li>(b) 50 metres where the area is located within Urban areas.</li> </ul> <p>or</p> <p><b>AO3.2</b> A buffer for an area of state environmental significance is applied and maintained, the width of which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling and site does not affect any matters of state and local environmental significance.</b></p>

<p><b>PO4</b> Wetland and wetland buffer areas are maintained, protected and restored.</p> <p>Note – Wetland buffer areas are identified in AO3.1.</p>	<p><b>AO4.1</b> Native vegetation within wetlands and wetlandbuffer areas is retained.</p> <p><b>AO4.2</b> Degraded sections of wetlands and wetland bufferareas are revegetated with endemic native plants in patterns and densities which emulate the relevant regional ecosystem.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling and site does not affect any Wetlands.</b></p>
<p><b>PO5</b> Development avoids the introduction of non- native pest species (plant or animal), that pose arisk to ecological integrity.</p>	<p><b>AO5.1</b> Development avoids the introduction of non-nativepest species.</p> <p><b>AO5.2</b> The threat of existing pest species is controlled by adopting pest management practices for long-termecological integrity.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling and site does not affect any Wetlands.</b></p>
<p><b>Ecological connectivity</b></p>		
<p><b>PO6</b> Development protects and enhances ecological connectivity and/or habitat extent.</p>	<p><b>AO6.1</b> Development retains native vegetation in areaslarge enough to maintain ecological values, functions and processes.</p> <p>and</p> <p><b>AO6.2</b> Development within an ecological corridorrehabilitates native vegetation.</p> <p>and</p> <p><b>AO6.3</b> Development within a conservation corridor mitigates adverse impacts on native fauna, feeding,nesting, breeding and roosting sites and native fauna movements.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling is sited on flat ground, requires no vegetation clearing, is not visible from the road or adjoining lots, is minor in scale and the site does not affect any ecological or conservation corridors.</b></p>

<p><b>PO7</b> Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).</p>	<p><b>AO7.1</b> Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation.</p> <p>and</p> <p><b>AO7.2</b> Development does not encroach within 10 metres of existing riparian vegetation and watercourses.</p>	<p><b>COMPLIES</b> <b>The proposed dwelling and site does not affect any matters of state and local environmental significance.</b></p>
<p><b>Waterways in an urban area</b></p>		
<p><b>PO8</b> Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> <li>(a) water quality;</li> <li>(b) hydrological functions;</li> <li>(c) ecological processes;</li> <li>(d) biodiversity values;</li> <li>(e) riparian and in-stream habitat values and connectivity;</li> <li>(f) in-stream migration.</li> </ul>	<p><b>AO8.1</b> Where a waterway is contained within an easement or a reserve required for that purpose, development does not occur within the easement or reserve;</p> <p>or</p> <p><b>AO8.2</b> Development does not occur on the part of the site affected by the waterway corridor.</p> <p><small>Note – Waterway corridors are identified within Table 8.2.7.3.b.</small></p>	<p><b>N/A</b> <b>The proposed dwelling and site does not affect any Waterways.</b></p>
<p><b>Waterways in a non-urban area</b></p>		
<p><b>PO9</b> Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> <li>(a) water quality;</li> <li>(b) hydrological functions;</li> <li>(c) ecological processes;</li> <li>(d) biodiversity values;</li> <li>(e) riparian and in-stream habitat values and connectivity;</li> <li>(f) in-stream migration.</li> </ul>	<p><b>AO9</b> Development does not occur on that part of the site affected by a waterway corridor.</p> <p><small>Note – Waterway corridors are identified within Table 8.2.7.3.b.</small></p>	<p><b>N/A</b> <b>The proposed dwelling and site does not affect any Waterways.</b></p>

## 9. 8.2.9 - Potential Landslide Hazard Overlay Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Potential Landslide Hazard Overlay Code of the Douglas Shire Planning Scheme 2018.



### 8.2.9.3 Criteria for assessment

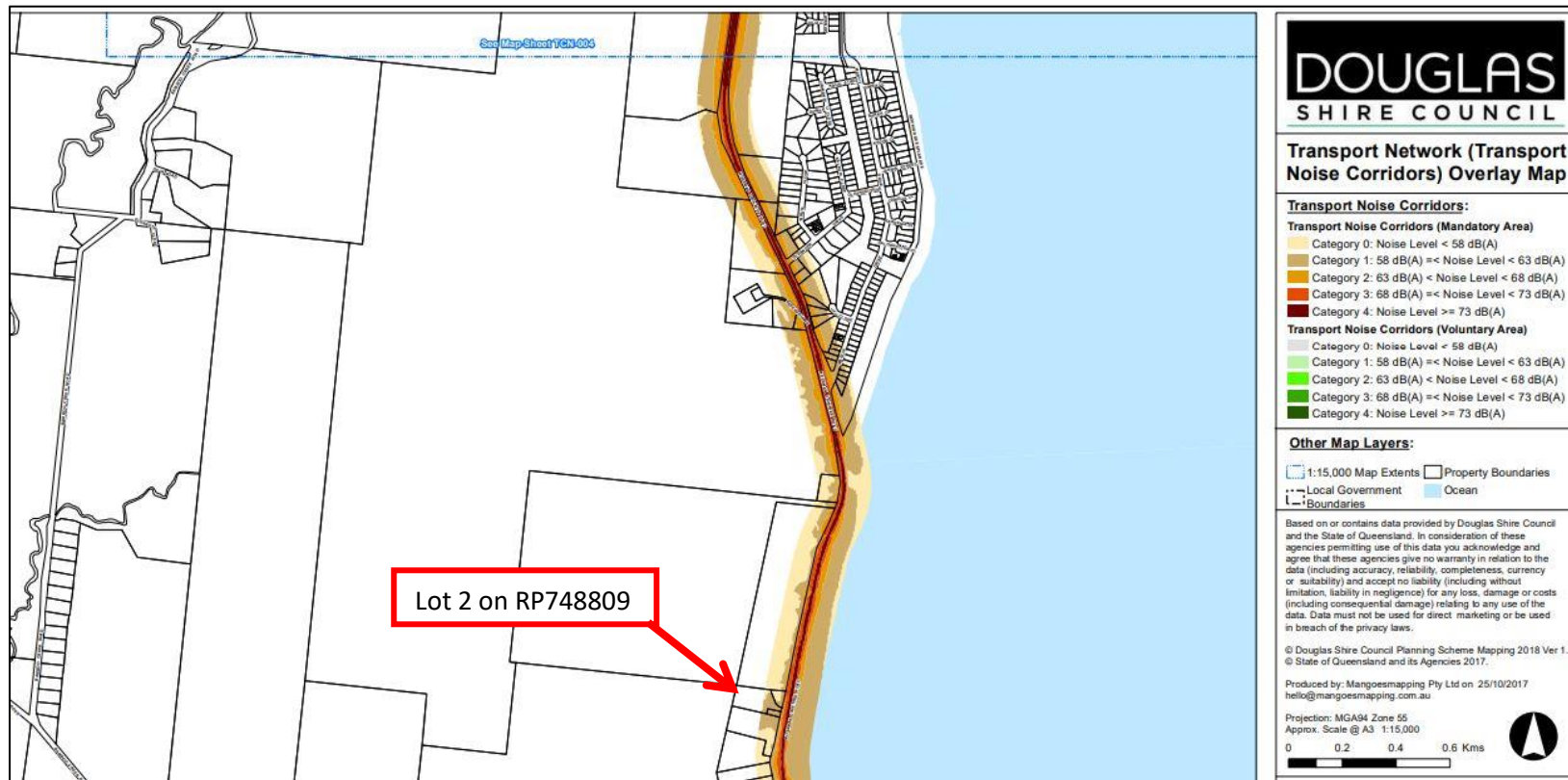
**Table 8.2.9.3.a – Potential landslide hazard overlay code – assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> The siting and design of development does not involve complex engineering solutions and doesnot create or increase the potential landslide hazard risk to the site or adjoining premises through:</p> <ul style="list-style-type: none"> <li>(a) building design;</li> <li>(b) increased slope;</li> <li>(c) removal of vegetation;</li> <li>(d) stability of soil;</li> <li>(e) earthworks;</li> <li>(f) alteration of existing ground water or surfacewater paths;</li> <li>(g) waste disposal areas.</li> </ul>	<p><b>AO1.1</b> Development is located on that part of the site notaffected by the Potential landslide hazard overlay.</p> <p>or</p> <p><b>AO1.2</b> Development is on an existing stable, benchedsite and requires no further earthworks</p> <p>or</p> <p><b>AO1.3</b> A competent person certifies that:</p> <ul style="list-style-type: none"> <li>(a) the stability of the site, including associated buildings and infrastructure, will be maintained during the course of the development and will remain stable for the lifeof the development;</li> <li>(b) development of the site will not increase the risk of landslide hazard activity on other land,including land above the site;</li> <li>(c) the site is not subject to the risk of landslideactivity on other land;</li> <li>(d) any measures identified in a site-specific geotechnical report for stabilising the site ordevelopment have been fully implemented;</li> <li>(e) development does not concentrate existingground water and surface water paths;</li> <li>(f) development does not incorporate on-sitewaste water disposal.</li> </ul> <p><small>Note – Planning scheme policy SC6.9 – Natural hazards provides</small></p>	<p><b>COMPLIES</b> <b>The proposed dwelling is sited on flat ground in an area already cleared of vegetation with an existing concrete pad. No earthworks are required.</b></p>

	guidance on preparing a site specific geo-technical assessment. Note – Development may alter the conditions of ground water and surface water paths in accordance with a site-specific geotechnical report, but should ensure that its final disbursement is as-per pre-developed conditions. Consideration for location, velocity, volume and quality should be given.	
<b>PO2</b> The siting and design of necessary retaining structures does not cause an adverse visual impact on landscape character or scenic amenity quality of the area.	<b>AO2</b> Excavation or fill: (a) is not more than 1.2 metres in height for each batter or retaining wall; (b) is setback a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping; (d) does not exceed a maximum of 3 batters and 3 berms (i.e. Not greater than 3.6 metres in height) on any one lot.	<b>COMPLIES</b> <b>No retaining structures are required or proposed.</b>
<b>Additional requirements for Community infrastructure</b>		
<b>PO3</b> Development for community infrastructure: (a) is not at risk from the potential landslide hazard areas; (b) will function without impediment from a landslide; (c) provides access to the infrastructure without impediment from the effects of a landslide; (d) does not contribute to an elevated risk of a landslide to adjoining properties.	<b>AO3</b> Development is designed in accordance with the recommendations of a site-specific geotechnical assessment which makes reference to the community infrastructure and its needs and function.  Note - A site specific geotechnical assessment will detail requirements that will address the Acceptable Outcomes of this Performance Outcome. Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geotechnical assessment.	<b>N/A</b> <b>Does not involve community infrastructure.</b>

## 10. 8.2.10 – Transport Network Overlay Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Transport Network Overlay Code of the Douglas Shire Planning Scheme 2018.







### 8.2.10.3 Criteria for assessment

**Table 8.2.10.3.a – Transport network overlay code – assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For assessable development</b>		
<p><b>PO1</b> Development supports the road hierarchy for the region.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p><b>AO1.1</b> Development is compatible with the intended role and function of the transport network as identified on the Transport network overlay maps contained in Schedule 2.</p> <p><b>AO1.2</b> Development does not compromise the safety and efficiency of the transport network.</p> <p><b>AO1.3</b> Development is designed to provide access via the lowest order road, where legal and practicable access can be provided to that road.</p>	<p><b>COMPLIES</b> <b>The proposed secondary dwelling utilizes the existing site access to Mossman Daintree Road and does not intensify the existing transport requirements of the established dwelling use.</b></p>
<p><b>PO2</b> Transport infrastructure is provided in an integrated and timely manner.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p><b>AO2</b> Development provides infrastructure (including improvements to existing infrastructure) in accordance with: (e) the Transport network overlay maps contained in Schedule 2; (a) any relevant Local Plan.</p> <p>Note – The Translink Public Transport Infrastructure Manual provides guidance on the design of public transport facilities.</p>	<p><b>N/A</b> <b>No additional transport infrastructure is proposed.</b></p>
<p><b>PO3</b> Development involving sensitive land uses within a major transport corridor buffer area is located, designed and maintained to avoid or mitigate adverse impacts on amenity for the sensitive land use.</p>	<p><b>AO3</b> No acceptable outcomes are prescribed.</p> <p>Note – Part 4.4 of the Queensland Development Code provides requirements for residential building design in a designated transport noise corridor.</p>	<p><b>N/A</b> <b>The proposal does not involve a sensitive land use.</b></p>

<p><b>PO4</b> Development does not compromise the intended role and function or safety and efficiency of major transport corridors.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p><b>AO4.1</b> Development is compatible with the role and function (including the future role and function) of major transport corridors.</p> <p><b>AO4.2</b> Direct access is not provided to a major transport corridor where legal and practical access from another road is available.</p> <p><b>AO4.3</b> Intersection and access points associated with major transport corridors are located in accordance with: (a) the Transport network overlay maps contained in Schedule 2; and (b) any relevant Local Plan.</p> <p><b>AO4.4</b> The layout of development and the design of the associated access is compatible with existing and future boundaries of the major transport corridor or major transport facility.</p>	<p><b>COMPLIES</b> <b>The proposed secondary dwelling utilizes the existing site access to Mossman Daintree Road and does not intensify the existing transport requirements of the established dwelling use.</b></p>
<p><b>PO5</b> Development retains and enhances existing vegetation between a development and a major transport corridor, so as to provide screening to potential noise, dust, odour and visual impacts emanating from the corridor.</p>	<p><b>AO5</b> No acceptable outcomes are prescribed.</p>	<p><b>COMPLIES</b> <b>All existing vegetation will be retained.</b></p>

Pedestrian and cycle network		
<p><b>PO6</b> Lot reconfiguration assists in the implementation of the pedestrian and cycle movement network to achieve safe, attractive and efficient pedestrian and cycle networks.</p>	<p><b>AO6.1</b> Where a lot is subject to, or adjacent to an element of the pedestrian and cycle Movement network (identified on the Transport network overlay maps contained in Schedule 2) the specific location of this element of the pedestrian and cycle network is incorporated in the design of the lot layout.</p> <p><b>AO6.2</b> The element of the pedestrian and cycle network is constructed in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC6.5 – FNQROC Regional Development Manual.</p>	<p><b>N/A</b> <b>Not an ROL.</b></p>

## 11. 9.4.1 - Access, Parking and Servicing Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Access, Parking and Servicing Code of the Douglas Shire Planning Scheme 2018.

### 9.4.1.3 Criteria for assessment

**Table 9.4.1.3.a – Access, parking and servicing code – assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>PO1</b> Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to: <ul style="list-style-type: none"> <li>(a) the desired character of the area;</li> <li>(b) the nature of the particular use and its specific characteristics and scale;</li> <li>(c) the number of employees and the likely number of visitors to the site;</li> <li>(d) the level of local accessibility;</li> <li>(e) the nature and frequency of any public transport serving the area;</li> <li>(f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building</li> <li>(g) whether or not the use involves a heritage building or place of local significance;</li> <li>(h) whether or not the proposed use involves the retention of significant vegetation.</li> </ul>	<b>AO1.1</b> The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses. <small>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</small> <b>AO1.2</b> Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased. <b>AO1.3</b> Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking. <b>AO1.4</b> For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.	<b>COMPLIES</b> <b>The prescribed number (1) of on-site vehicle parking spaces will be provided utilizing the existing concreted area.</b>

<p><b>PO2</b> Vehicle parking areas are designed and constructed in accordance with relevant standards.</p>	<p><b>AO2</b> Vehicle parking areas are designed and constructed in accordance with Australian Standard: (a) AS2890.1; (b) AS2890.3; (c) AS2890.6.</p>	<p><b>COMPLIES</b> <b>The prescribed number (1) of on-site vehicle parking spaces will be provided utilizing the existing concreted area.</b></p>
<p><b>PO3</b> Access points are designed and constructed: (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area; (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements; (f) so that they do not adversely impact current and future on-street parking arrangements; (g) so that they do not adversely impact on existing services within the road reserve adjacent to the site; (h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</p>	<p><b>AO3.1</b> Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with: (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.</p> <p><b>AO3.2</b> Access, including driveways or access crossovers: (a) are not placed over an existing: (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer utility hole; (iv) water valve or hydrant. (b) are designed to accommodate any adjacent footpath; (c) adhere to minimum sight distance requirements in accordance with AS2980.1.</p> <p><b>AO3.3</b> Driveways are: (a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual; (b) constructed such that where there is a gradeshift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres; (c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and</p>	<p><b>COMPLIES</b> <b>The existing site access will be used.</b></p>

	<p>drainage purposes;</p> <p>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</p> <p><b>AO3.4</b></p> <p>(a) Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	
<p><b>PO4</b></p> <p>Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p><b>AO4</b></p> <p>The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	<p><b>COMPLIES</b></p> <p>The prescribed number (1) of on-site vehicle parking spaces will be provided utilizing the existing concreted area which has ample room for disabled access.</p>
<p><b>PO5</b></p> <p>Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p><b>AO5</b></p> <p>Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	<p><b>COMPLIES</b></p> <p>The prescribed number (1) of on-site vehicle parking spaces will be provided utilizing the existing concreted area which has ample room for disabled access.</p>
<p><b>PO6</b></p> <p>Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.</p>	<p><b>AO6</b></p> <p>The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.1.3.b.</p>	<p><b>COMPLIES</b></p> <p>The site contains ample space for bicycle parking.</p>
<p><b>PO7</b></p> <p>Development provides secure and convenient bicycle parking which:</p> <p>(a) for visitors is obvious and located close to the building's main entrance;</p> <p>(b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building;</p> <p>(c) is easily and safely accessible from outside the site.</p>	<p><b>AO7.1</b></p> <p>Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);</p> <p><b>AO7.2</b></p> <p>Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.</p> <p><b>AO7.3</b></p> <p>Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	<p><b>COMPLIES</b></p> <p>The site contains ample space for secure bicycle parking.</p>

<p><b>PO8</b> Development provides walking and cycle routes through the site which:</p> <ul style="list-style-type: none"> <li>(a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes;</li> <li>(b) encourage walking and cycling;</li> <li>(c) ensure pedestrian and cyclist safety.</li> </ul>	<p><b>AO8</b> Development provides walking and cycle routes which are constructed on the carriageway or through the site to:</p> <ul style="list-style-type: none"> <li>(a) create a walking or cycle route along the full frontage of the site;</li> <li>(b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.</li> </ul>	<p><b>N/A</b> <b>No walking or cycle routes are affected by the proposed development.</b></p>
<p><b>PO9</b> Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <ul style="list-style-type: none"> <li>(a) in accordance with relevant standards;</li> <li>(b) so that they do not interfere with the amenity of the surrounding area;</li> <li>(c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.</li> </ul>	<p><b>AO9.1</b> Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.</p> <p><b>AO9.2</b> Service and loading areas are contained fully within the site.</p> <p><b>AO9.3</b> The movement of service vehicles and service operations are designed so they:</p> <ul style="list-style-type: none"> <li>(a) do not impede access to parking spaces;</li> <li>(b) do not impede vehicle or pedestrian traffic movement.</li> </ul>	<p><b>N/A</b> <b>No additional service vehicle facilitation is required or proposed.</b></p>

<p><b>PO10</b> Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p><b>AO10.1</b> Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses: (a) car wash; (b) child care centre; (c) educational establishment where for a school; (d) food and drink outlet, where including a drive-through facility; (e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station. <b>AO10.2</b> Queuing and set-down areas are designed and constructed in accordance with AS2890.1.</p>	<p><b>N/A</b> <b>Not required for this proposed development.</b></p>
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**Table 9.4.1.3.b – Access, parking and servicing requirements**

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Dwelling house	A minimum of 2 spaces which may be in tandem plus <b>1 space for a secondary dwelling</b>	n/a	n/a	n/a

## 12. 9.4.4 Filling and Excavation Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Filling and Excavation Code of the Douglas Shire Planning Scheme 2018.

### 9.4.4.3 Criteria for assessment

**Table 9.4.4.3.a – Filling and excavation code – for self-assessable and assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Filling and excavation - General</b>		
<b>PO1</b> All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.	<b>AO1.1</b> The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height. <b>AND</b> Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting. <b>AO1.2</b> Cuts are supported by batters, retaining or rockwalls and associated benches/terraces are capable of supporting mature vegetation. <b>AO1.3</b> Cuts are screened from view by the siting of the building/structure, wherever possible.	<b>N/A</b> <b>No excavation or filling is required or proposed.</b>

	<p><b>AO1.4</b> Topsoil from the site is retained from cuttings and reused on benches/terraces.</p> <p><b>AO1.5</b> No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.</p> <p><b>AO1.6</b> Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.</p>	
<b>Visual Impact and Site Stability</b>		
<p><b>PO2</b> Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.</p>	<p><b>AO2.1</b> The extent of filling and excavation does not exceed 40% of the site area, or 500m<sup>2</sup> whichever is the lesser, except that AO2.1 does not apply to reconfiguration of 5 lots or more.</p> <p><b>AO2.2</b> Filling and excavation does not occur within 2 metres of the site boundary.</p>	<p><b>N/A</b> <b>No excavation or filling is required or proposed.</b></p>

Flooding and drainage		
<b>PO3</b> Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves.	<b>AO3.1</b> Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves. <b>AO3.2</b> Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves. <b>AO3.3</b> Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths. <b>AO3.4</b> Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	<b>N/A</b> <b>No excavation or filling is required or proposed.</b>
Water quality		
<b>PO4</b> Filling and excavation does not result in a reduction of the water quality of receiving waters.	<b>AO4</b> Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	<b>N/A</b> <b>No excavation or filling is required or proposed.</b>
Infrastructure		
<b>PO5</b> Excavation and filling does not impact on Public Utilities.	<b>AO5</b> Excavation and filling is clear of the zone of influence of public utilities.	<b>N/A</b> <b>No excavation or filling is required or proposed.</b>

### 13. 9.4.5 - Infrastructure Works Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Infrastructure Works Code of the Douglas Shire Planning Scheme 2018.

#### 9.4.5.3 Criteria for assessment

**Table 9.4.5.3.a – Infrastructure works code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Works on a local government road</b>		
<b>PO1</b> Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.	<b>AO1.1</b> Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual. <b>AO1.2</b> Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 –FNQROC Regional Development Manual. <b>AO1.3</b> New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths: (a) are installed via trenchless methods; or (b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed	<b>N/A</b> <b>No such works are required or proposed.</b>

	<p>in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section.</p> <p><b>A01.4</b> Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring:</p> <ul style="list-style-type: none"> <li>(a) similar surface finishes are used;</li> <li>(b) there is no change in level at joins of new and existing sections;</li> <li>(c) new sections are matched to existing in terms of dimension and reinforcement.</li> </ul> <p>Note – Figure 9.4.5.3.a provides guidance on meeting the outcomes.</p> <p><b>A01.5</b> Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>	
<b>Accessibility structures</b>		
<p><b>P02</b> Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p><b>A02.1</b> Accessibility structures are not located within the road reserve.</p> <p><b>A02.2</b> Accessibility structures are designed in accordance with AS1428.3.</p> <p><b>A02.3</b> When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	<p><b>N/A</b> <b>No accessibility structures are required or proposed.</b></p>

Water supply		
<p><b>PO3</b> An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p><b>AO3.1</b> The premises is connected to Council's reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC Regional Development Manual; or <b>AO3.2</b> Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	<p><b>COMPLIES</b> <b>The existing site water supply will be used.</b></p>
Treatment and disposal of effluent		
<p><b>PO4</b> Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.</p>	<p><b>AO4.1</b> The site is connected to Council's sewerage system and the extension of or connection to this sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual; or <b>AO4.2</b> Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i>.</p>	<p><b>COMPLIES</b> <b>The existing site effluent disposal system will be used.</b></p>

Stormwater quality		
<p><b>PO5</b> Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by:</p> <ul style="list-style-type: none"> <li>(a) achieving stormwater quality objectives;</li> <li>(b) protecting water environmental values;</li> <li>(c) maintaining waterway hydrology.</li> </ul>	<p><b>AO5.1</b> A connection is provided from the premises to Council's drainage system; or <b>AO5.2</b> An underground drainage system is constructed to convey stormwater from the premises to Council's drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional Development Manual. <b>AO5.3</b> A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.5.3.b and Table 9.4.5.3.c, reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> <li>(a) erosive, dispersive and/or saline soil types;</li> <li>(b) landscape features (including landform);</li> <li>(c) acid sulfate soil and management of nutrients of concern;</li> <li>(d) rainfall erosivity.</li> </ul> <p><b>AO5.4</b> Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan. <b>AO5.5</b> Development incorporates stormwater flow control measures to achieve the design objectives set out in Table 9.4.5.3.b and Table 9.4.5.3.c, including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the</p>	<p><b>COMPLIES</b> <b>The existing site Stormwater infrastructure will be used.</b></p>

	<p>requirements of the <i>Environmental Protection Act 1994</i>.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	
<b>Non-tidal artificial waterways</b>		
<p><b>PO6</b> Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <ul style="list-style-type: none"> <li>(a) protect water environmental values;</li> <li>(b) be compatible with the land use constraints for the site for protecting water environmental values;</li> <li>(c) be compatible with existing tidal and non-tidal waterways;</li> <li>(d) perform a function in addition to stormwater management;</li> <li>(e) achieve water quality objectives.</li> </ul>	<p><b>AO6.1</b> Development involving non-tidal artificial waterways ensures:</p> <ul style="list-style-type: none"> <li>(a) environmental values in downstream waterways are protected;</li> <li>(b) any ground water recharge areas are not affected;</li> <li>(c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway;</li> <li>(d) existing areas of ponded water are included.</li> </ul> <p><b>AO6.2</b> Non-tidal artificial waterways are located:</p> <ul style="list-style-type: none"> <li>(a) outside natural wetlands and any associated buffer areas;</li> <li>(b) to minimise disturbing soils or sediments;</li> <li>(c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.</li> </ul> <p><b>AO6.3</b> Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures:</p> <ul style="list-style-type: none"> <li>(a) there is sufficient flushing or a tidal range of &gt;0.3 m; or</li> <li>(b) any tidal flow alteration does not adversely impact on the tidal waterway; or</li> <li>(c) there is no introduction of salt water into freshwater environments.</li> </ul> <p><b>AO6.4</b> Non-tidal artificial waterways are designed and managed for any of the following end-</p>	<p><b>N/A</b> <b>Does not involve any non-tidal artificial waterways.</b></p>

	<p>use purposes:</p> <ul style="list-style-type: none"> <li>(a) amenity (including aesthetics), landscaping or recreation; or</li> <li>(b) flood management, in accordance with a drainage catchment management plan; or</li> <li>(c) stormwater harvesting plan as part of an integrated water cycle management plan; or</li> <li>(d) aquatic habitat.</li> </ul> <p><b>AO6.5</b> The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.</p> <p><b>AO6.6</b> Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.</p> <p><b>AO6.7</b> Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.</p>	
<b>Wastewater discharge</b>		
<p><b>P07</b> Discharge of wastewater to waterways, or off site:</p> <ul style="list-style-type: none"> <li>(a) meets best practice environmental management;</li> <li>(b) is treated to: <ul style="list-style-type: none"> <li>(i) meet water quality objectives for its receiving waters;</li> <li>(ii) avoid adverse impact on ecosystem health or waterway health;</li> <li>(iii) maintain ecological processes, riparian vegetation and waterway integrity;</li> <li>(iv) offset impacts on high ecological value waters.</li> </ul> </li> </ul>	<p><b>AO7.1</b> A wastewater management plan is prepared and addresses:</p> <ul style="list-style-type: none"> <li>(a) wastewater type;</li> <li>(b) climatic conditions;</li> <li>(c) water quality objectives;</li> <li>(d) best practice environmental management.</li> </ul> <p><b>AO7.2</b> The waste water management plan is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> <li>(a) avoids wastewater discharge to waterways; or</li> <li>(b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use,</li> </ul>	<p><b>COMPLIES</b> <b>No discharge of wastewater to waterways will occur.</b></p>

	<p>recycling, recovery and treatment for disposal to sewer, surface water and ground water.</p> <p><b>A07.3</b> Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.</p> <p><b>A07.4</b> Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <ul style="list-style-type: none"> <li>(a) avoids lowering ground water levels where potential or actual acid sulfate soils are present;</li> <li>(b) manages wastewater so that: <ul style="list-style-type: none"> <li>(i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals;</li> <li>(ii) holding times of neutralised wastewater ensures the flocculation and removal of any dissolved iron prior to release;</li> <li>(iii) visible iron floc is not present in any discharge;</li> <li>(iv) precipitated iron floc is contained and disposed of;</li> <li>(v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method.</li> </ul> </li> </ul>	
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<b>Electricity supply</b>		
<b>PO8</b> Development is provided with a source of power that will meet its energy needs.	<b>AO8.1</b> A connection is provided from the premises to the electricity distribution network; or <b>AO8.2</b> The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.  Note - Areas north of the Daintree River have a different standard.	<b>COMPLIES</b> <b>The existing site electricity supply will be used.</b>
<b>PO9</b> Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.	<b>AO9.1</b> Pad-mount electricity infrastructure is: (a) not located in land for open space or sport and recreation purposes; (b) screened from view by landscaping or fencing; (c) accessible for maintenance. <b>AO9.2</b> Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage.  Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.	<b>COMPLIES</b> <b>The existing site electricity supply will be used.</b> <b>No electrical infrastructure will cause an adverse effect on amenity.</b>
<b>Telecommunications</b>		
<b>PO10</b> Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.	<b>AO10</b> The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.	<b>COMPLIES</b> <b>The existing site telecommunications infrastructure will be used.</b>
<b>PO11</b> Provision is made for future telecommunications services (e.g. fibre optic cable).	<b>AO11</b> Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	<b>COMPLIES</b> <b>The existing site telecommunications infrastructure will be used.</b>

Road construction		
<p><b>PO12</b> The road to the frontage of the premises is constructed to provide for the safe and efficient movement of:</p> <ul style="list-style-type: none"> <li>(a) pedestrians and cyclists to and from the site;</li> <li>(b) pedestrians and cyclists adjacent to the site;</li> <li>(c) vehicles on the road adjacent to the site;</li> <li>(d) vehicles to and from the site;</li> <li>(e) emergency vehicles.</li> </ul>	<p><b>AO12.1</b> The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.</p> <p><b>AO12.2</b> There is existing road, kerb and channel for the full road frontage of the site.</p> <p><b>AO12.3</b> Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.</p>	<p><b>N/A</b> <b>No additional road construction is required or proposed.</b></p>
Alterations and repairs to public utility services		
<p><b>PO13</b> Infrastructure is integrated with, and efficiently extends, existing networks.</p>	<p><b>AO13</b> Development is designed to allow for efficient connection to existing infrastructure networks.</p>	<p><b>N/A</b> <b>No alterations or repairs to public utility services are required or proposed.</b></p>
<p><b>PO14</b> Development and works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p><b>AO14.1</b> Public utility mains, services and installations are not required to be altered or repaired as a result of the development; or <b>AO14.2</b> Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p><b>N/A</b> <b>No alterations or repairs to public utility services are required or proposed.</b></p>

<b>Construction management</b>		
<b>PO15</b> Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.	<b>AO15</b> Works include, at a minimum: (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory signage; (c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation; (d) removal from the site of all declared noxious weeds.	<b>COMPLIES</b> <b>No vegetation clearing is required or proposed. All necessary precautions will be undertaken during construction.</b>
<b>PO16</b> Existing infrastructure is not damaged by construction activities.	<b>AO16</b> Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual.  Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.	<b>COMPLIES</b> <b>All necessary precautions will be undertaken during construction.</b>
<b>For assessable development</b>		
<b>High speed telecommunication infrastructure</b>		
<b>PO17</b> Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.	<b>AO17</b> No acceptable outcomes are prescribed.	<b>COMPLIES</b> <b>The existing site telecommunications infrastructure will be used.</b>
<b>Trade waste</b>		
<b>PO18</b> Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that: (a) off-site releases of contaminants do not occur; (b) the health and safety of people and the environment are protected; (c) the performance of the wastewater system is not put at risk.	<b>AO18</b> No acceptable outcomes are prescribed.	<b>COMPLIES</b> <b>All necessary precautions and required mitigations will be undertaken during construction.</b>

Fire services in developments accessed by common private title		
<p><b>PO19</b> Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p><b>AO19.1</b> Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.</p> <p><b>AO19.2</b> Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.</p>	<p><b>N/A</b> <b>No additional hydrants are required or proposed.</b></p>
<p><b>PO20</b> Hydrants are suitable identified so that fire services can locate them at all hours.</p> <p>Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.</p>	<p><b>AO20</b> No acceptable outcomes are prescribed.</p>	<p><b>N/A</b> <b>No additional hydrants are required or proposed.</b></p>

## 14. 9.4.9 - Vegetation Management Code

The development proposal, MCU for a Dwelling House (Secondary Dwelling), is Code Assessable and is assessed hereto against the Vegetation Management Code of the Douglas Shire Planning Scheme 2018.

### 9.4.9.3 Criteria for assessment

**Table 9.4.9.3.a – Vegetation management –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>PO1</b> Vegetation is protected to ensure that: (a) the character and amenity of the local area is maintained; (b) vegetation damage does not result in fragmentation of habitats; (c) vegetation damage is undertaken in a sustainable manner; (d) the Shire's biodiversity and ecological values are maintained and protected; (e) vegetation of historical, cultural and / or visual significance is retained; (f) vegetation is retained for erosion prevention and slope stabilisation.	<b>AO1.1</b> Vegetation damage is undertaken by a statutory authority on land other than freehold land that the statutory authority has control over; or <b>AO1.2</b> Vegetation damage is undertaken by or on behalf of the local government on land controlled, owned or operated by the local government; or <b>AO1.3</b> Vegetation damage, other than referenced in AO1.1 or AO1.2 is the damage of: (a) vegetation declared as a pest pursuant to the <i>Land Protection (Pest and Stock Route Management) Act 2002</i> ; or (b) vegetation identified within the local government's register of declared plants pursuant to the local government's local laws; or (c) vegetation is located within a Rural zone and the trunk is located within ten metres of an existing building; or (d) vegetation is located within the Conservation zone or Environmental management zone	<b>COMPLIES</b> <b>No vegetation clearing is required or proposed in association with this development.</b>

and the trunk is located within three metres of an existing or approved structure, not including a boundary fence;.

or

**AO1.4**

Vegetation damage that is reasonably necessary for carrying out work that is:

- (a) authorised or required under legislation or a local law;
- (b) specified in a notice served by the local government or another regulatory authority;

or

**AO1.5**

Vegetation damage for development where the damage is on land the subject of a valid development approval and is necessary to give effect to the development approval;

or

**AO1.6**

Vegetation damage is in accordance with an approved Property Map of Assessable Vegetation issued under the *Vegetation Management Act 1999*;

or

**AO1.7**

Vegetation damage is essential to the maintenance of an existing fire break;

or

**AO1.8**

Vegetation damage is essential to prevent interference to overhead service cabling;

or

**AO1.9**

Vegetation damage is for an approved Forest practice, where the lot is subject to a scheme approved under the *Vegetation Management Act 1999*;

or

**AO1.10**

Vegetation damage is undertaken in accordance with section 584 of the *Sustainable Planning Act*

	<p>2009.</p> <p><b>AO1.11</b> Vegetation damage where it is necessary to remove one tree in order to protect an adjacent more significant tree (where they are growing close to one another).</p> <p><b>AO1.12</b> Private property owners may only remove dead, dying, structurally unsound vegetation following receipt of written advice from, at minimum, a fully qualified Certificate V Arborist. A copy of the written advice is to be submitted to Council for its records, a minimum of seven business days prior to the vegetation damage work commencing.</p>	
<p><b>P02</b> Vegetation damaged on a lot does not result in a nuisance</p>	<p><b>AO2.1</b> Damaged vegetation is removed and disposed of at an approved site; or <b>AO2.2</b> Damaged vegetation is mulched or chipped if used onsite.</p>	<p><b>COMPLIES</b> <b>No vegetation clearing is required or proposed in association with this development.</b></p>
<b>For assessable development</b>		
<p><b>P03</b> Vegetation damage identified on the Places of significance overlay lot does not result in a negative impact on the site's heritage values.</p>	<p><b>AO3</b> No acceptable outcomes are prescribed.</p>	<p><b>COMPLIES</b> <b>No vegetation clearing is required or proposed in association with this development.</b></p>



APPROX LOCATION OF WORKS



## SITE PLAN

1387 MOSSMAN DAINTREE ROAD, ROCKY POINT 4873

# NEW RESIDENCE

## GENERAL NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER SPECIFICATIONS AND WITH SUCH FURTHER DETAILS AND INSTRUCTIONS WHICH MAY BE ISSUED. REFER ALL DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- CONSTRUCTION OF ALL STRUCTURAL AND CIVIL WORK SHALL COMPLY WITH CURRENT EDITIONS OF RELEVANT SAA CODES.
- PLAN SET-OUT DIMENSIONS ARE NOMINAL ONLY, CONFIRM ON SITE. DIMENSIONS SHALL BE VERIFIED BEFORE COMMENCING CONSTRUCTION. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS.
- THROUGHOUT CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.
- PROPRIETARY ITEMS (E.G. PURLINS, ROOF/WALL SHEETING, BOLTS ETC.) SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

## DESIGN CRITERIA

- THE STRUCTURAL ELEMENTS HAVE BEEN DESIGNED FOR LOADS AS NOMINATED:
- WIND LOADS TO AS1170.2 -  $V_{sit} = 65\text{m/s}$
- LIVE LOAD - 2 kPa

## FOOTING NOTES

- SITE CLASSIFICATION: CLASS M TO AS2870.
- SANITARY ARTICULATION REQUIRED, REFER TO DETAILS.
- AN ALLOWABLE BEARING PRESSURE FOR HIGH LEVEL FOOTINGS OF 100kPa HAS BEEN USED IN THE DESIGN OF THE FOOTINGS.
- WHERE REQUIRED FOUNDING MATERIAL IS DEEPER THAN THE UNDERSIDE OF THE HIGH LEVEL FOOTINGS AS DETAILED, ALLOW TO BACKFILL ADDITIONAL EXCAVATION WITH N20 CONCRETE.
- ALL FOOTING EXCAVATIONS SHALL BE FORMED AS NECESSARY WHEN THE EXCAVATED FACE IS NOT STABLE, DEWATERED AND CLEANED OF LOOSE AND SOFT MATERIAL PRIOR TO PLACING CONCRETE.

## CONCRETE

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE CURRENT EDITIONS OF AS1379, AS3600, AS3610 AND AS4671 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- PROJECT ASSESSMENT OF STRENGTH IN ACCORDANCE WITH AS1379 SHALL BE ADOPTED FOR SAMPLING AND TESTING.
- CURE ALL CONCRETE BY AN APPROVED METHOD FOR A MINIMUM OF 3 DAYS AFTER HARDENING, UNLESS NOTED OTHERWISE.
- FORMWORK SHALL REMAIN UNDISTURBED FOR THE MINIMUM STRIPPING TIMES SPECIFIED IN AS3610 UNLESS OTHERWISE APPROVED.

## CHEMSET FIXING NOTES

- CHEMSET REO 502 OR APPROVED EQUIVALENT.
- USE 4.6/S GALVANIZED THREADED ROD WHERE EMBEDMENT EXCEEDS TYPICAL ANCHOR LENGTH.
- EDGE DISTANCE: > 40 CONCRETE, 100 BLOCK, U.N.O.
- N12 EMBEDMENT: 200
- M12 EMBEDMENT: 125
- M16 EMBEDMENT: 150

## STRUCTURAL STEEL

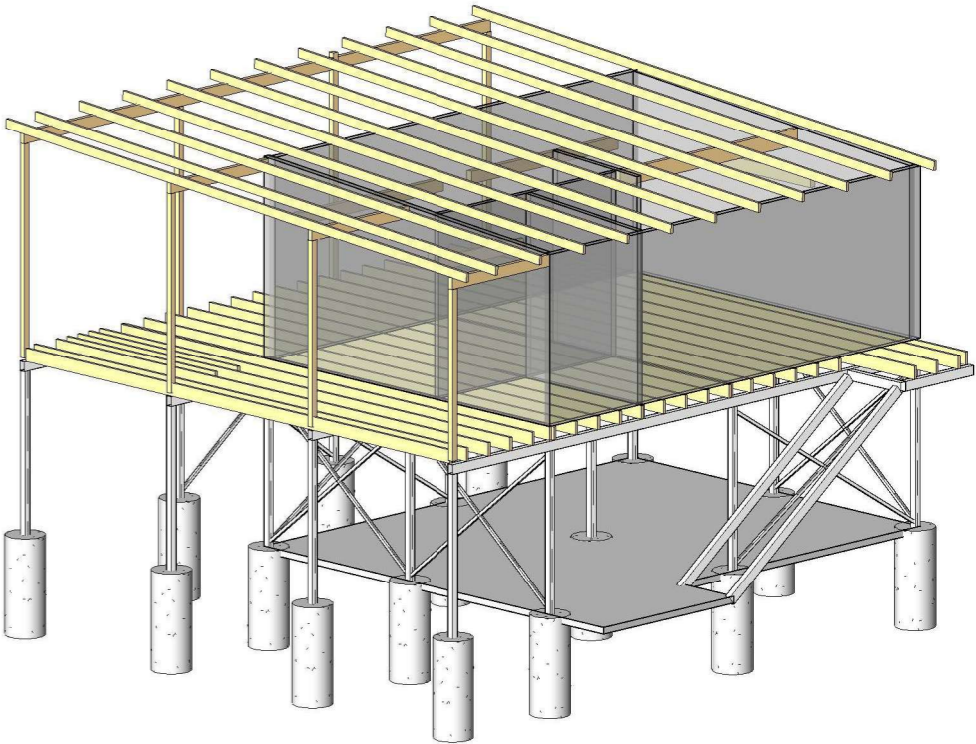
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH CURRENT EDITIONS OF AS4100, AS1554.1 AND 2 AND AS4600 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- ALL STEEL SHALL COMPLY WITH THE FOLLOWING U.N.O. :-  
HOT ROLLED - GRADE 300 TO AS 3679.1  
SHS AND RHS - GRADE 350 TO AS 1163  
CHS - GRADE 250 TO AS 1163  
FLAT PLATE - GRADE 300 TO AS 3679.1
- THE MINIMUM TREATMENT FOR STRUCTURAL SHALL BE AS FOLLOWS U.N.O. :-  
(A) INTERNAL STEELWORK (I.E. PROTECTED FROM CLIMATE) - ABRASIVE BLAST CLEAN TO GRADE Sa2.5 TO AS1627.9, APPLY ONE COAT OF GOOD QUALITY ALKYD PRIMER (ZINC PHOSPHATE) MINIMUM DRY FILM THICKNESS OF 50 MICRONS  
(B) EXTERNAL STEELWORK (I.E. EXPOSED TO CLIMATE) - HOT DIP GALVANIZE TO AS4680, OR DURAGAL WITH APPROVED PAINT SYSTEM TO MANUFACTURER'S RECOMMENDATIONS.
- MINIMUM WELDING REQUIREMENTS IF NOT OTHERWISE SPECIFIED SHALL BE AS FOLLOWS: ALL WELDS CATEGORY S.P 6mm CONTINUOUS FILLET WELDS, OR WHERE NOTED, COMPLETE PENETRATION BUTT WELDS (C.P.B.W.) USING E48XX ELECTRODES WITH CATEGORY S.P. INSPECTION WITH ALL WELDS 100% VISUALLY SCANNED, ALL TO AS1554.1 UNLESS NOTED OTHERWISE. ALL WELDING SHALL BE PERFORMED BY A QUALIFIED WELDER IN ACCORDANCE WITH AS1554.1.
- SITE WELDS WHERE NOTED IN THE DOCUMENTATION SHALL BE THOROUGHLY WIRE BRUSHED, CLEANED AND PAINTED IN WITH AN APPROVED ZINC RICH PAINT SYSTEM.
- ALL BOLTS, NUTS AND WASHERS, INCLUDING HOLD DOWN BOLTS, CAST-IN FERRULES, CAST-IN PLATES AND MASONRY ANCHORS ARE TO BE HOT DIP GALVANISED U.N.O. ALL GALVANISED COMPONENTS TO BE CAST INTO CONCRETE MUST BE PASSIVATED.
- ALL STRUCTURAL STEEL FIXING DETAILS ARE TO BE BASED ON AISC STANDARDIZED STRUCTURAL CONNECTIONS U.N.O.

## TIMBER

- ALL WORKMANSHIP, MATERIALS AND CONSTRUCTION SHALL CONFORM WITH CURRENT EDITIONS OF AS1684, AS1720 AND THE NCC.
- ALL PROPRIETARY ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS.
- ALL MEMBERS ARE TO BE SOLID, UNJOINED TIMBER OF SIZES AND GRADES AS NOMINATED ON THE DRAWINGS.
- PROVIDE TIMBER SIZED WASHERS FOR ALL BOLTED TIMBER CONNECTIONS. WASHER TO BE AGAINST TIMBER.
- ALL FRAMING TO BE MGP12 U.N.O.
- ALL ENCLOSED TIMBER TO BE H2 TREATED UNO.
- EXPOSED TIMBER TO BE MIN H3 TREATED WITH ADDITIONAL DPM AND CAPPING TO MANUFACTURER'S REQUIREMENTS AS REQUIRED.

## DRAWING LIST

SHEET	REVISION	SHEET NAME
S01	A	NOTES
S02	A	GROUND & FLOOR PLANS
S03	A	WALL & ROOF PLANS
S04	A	SECTIONS 1
S05	A	SECTIONS 2
S06	A	DETAILS

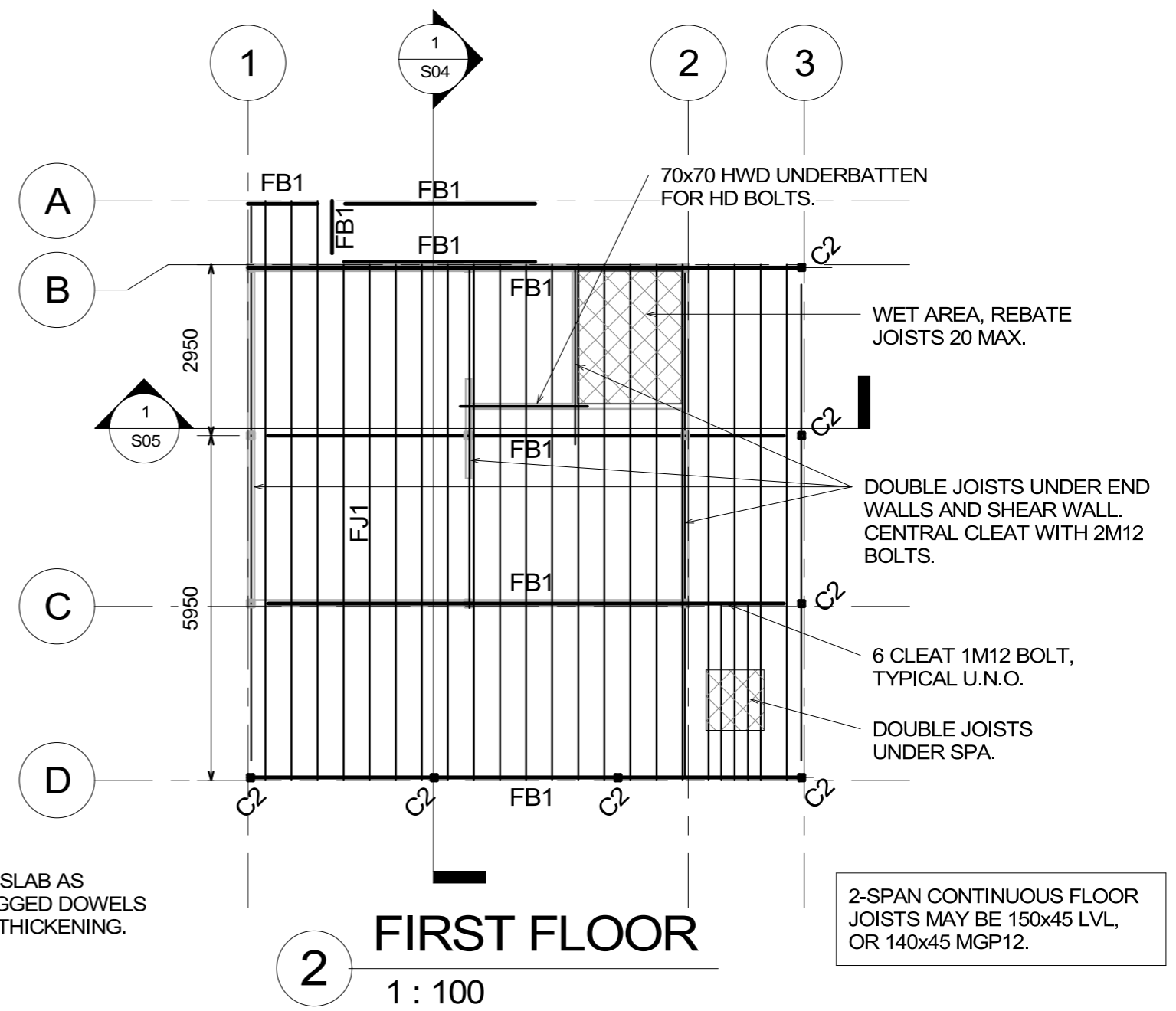
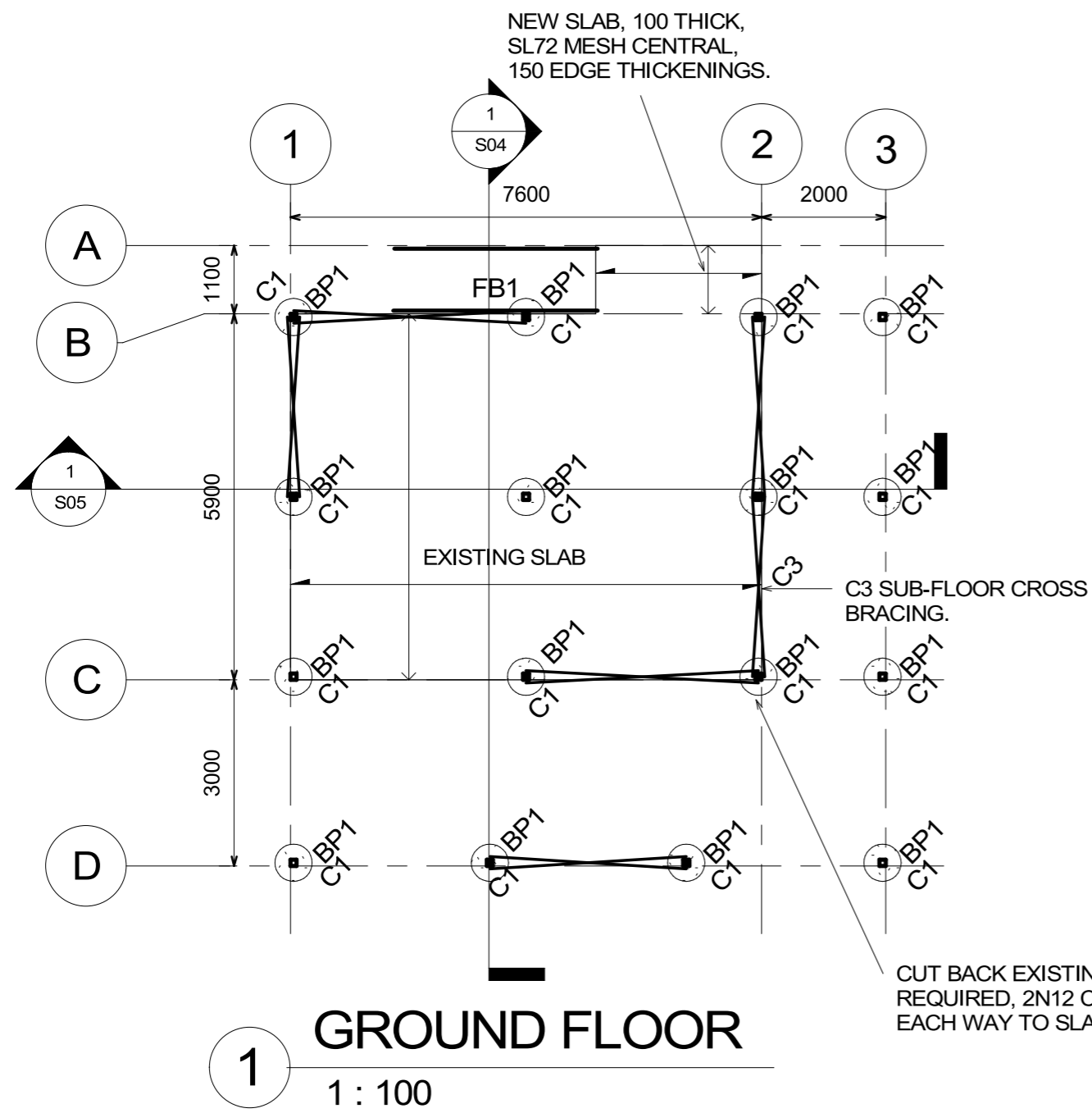


No.	Description	Date
1	PRELIMINARY	20/8/2021
2	SUB-FLOOR FRAMING REVISED	7/9/2021
A	CONSTRUCTION	25/10/2021

1387 MOSSMAN  
DAINTREE RD

## NOTES

Date	25/10/2021	Project	TMI21002-3
Drawn by	RWM	Sheet	S01
Checked by	REM		
A3 Scale			



### FRAMING SCHEDULE

MARK	SECTION	COMMENTS
FB1	150x100x4 RHS	
FJ1	170x45-450	LVL OR 170x45 MGP12
L1	2/240x45	MGP12 OR 240x63 LVL.
L2	190x45	MGP12 OR 150x45 LVL
RB1	175x75 HWD	F14 OR 200x63 LVL.
RB2	250x75 HWD	F14 OR 240x63 LVL.
RJ1	140x45-900	MGP12 OR 130x45 LVL.

### COLUMNS AND PIERS

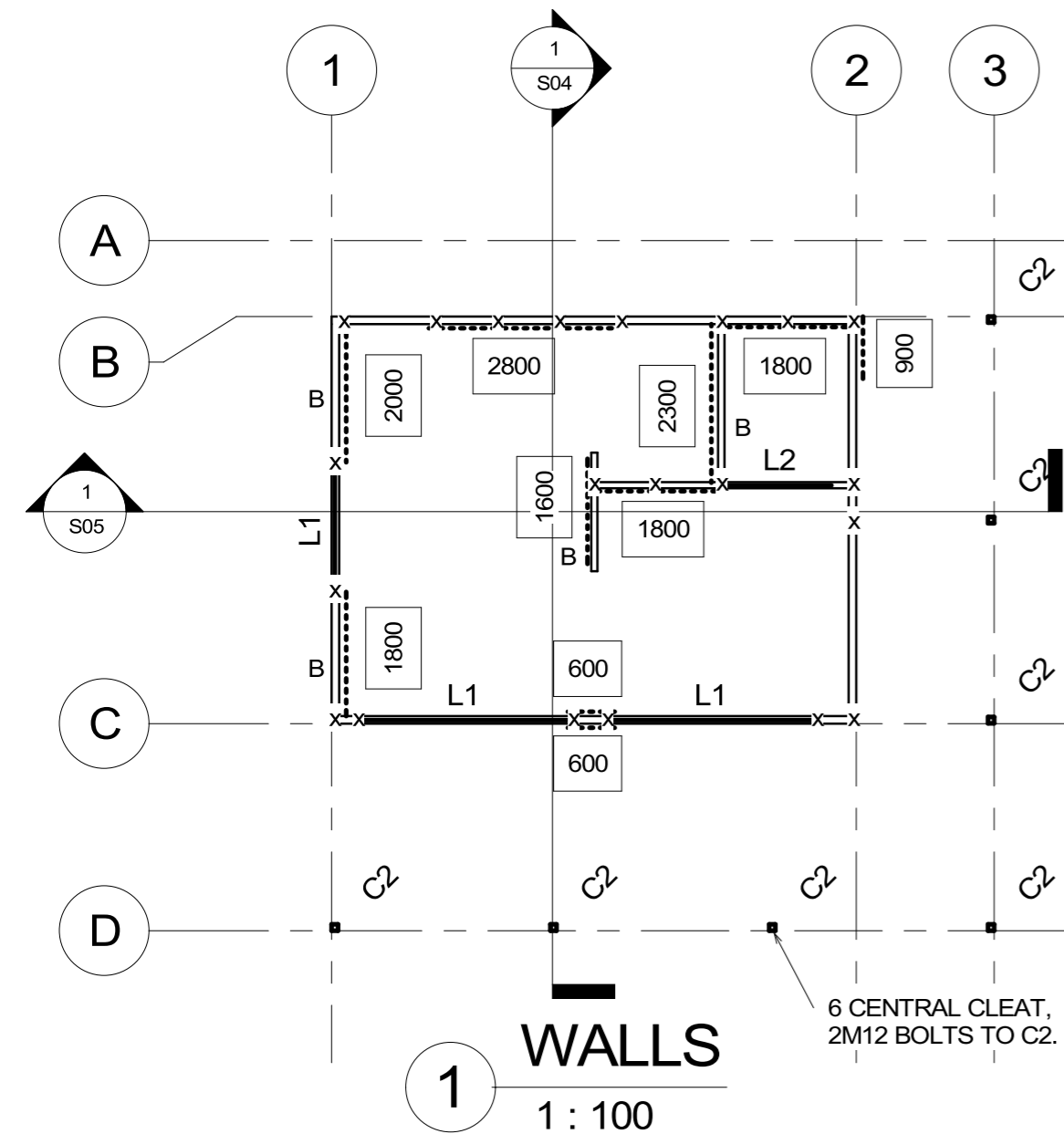
MARK	SECTION	DESCRIPTION
BP1	600 DIA	1500 DEEP, N20 CONCRETE
C1	100x4 SHS	
C2	90x90 HWD	
C3	50x4 SHS	



No.	Description	Date
1	PRELIMINARY	20/8/2021
2	SUB-FLOOR FRAMING REVISED	7/9/2021
A	CONSTRUCTION	25/10/2021

### GROUND & FLOOR PLANS

Date	25/10/2021	Project	TMI21002-3
Drawn by	RWM	Sheet	S02
Checked by	REM		
A3 Scale	1 : 100		

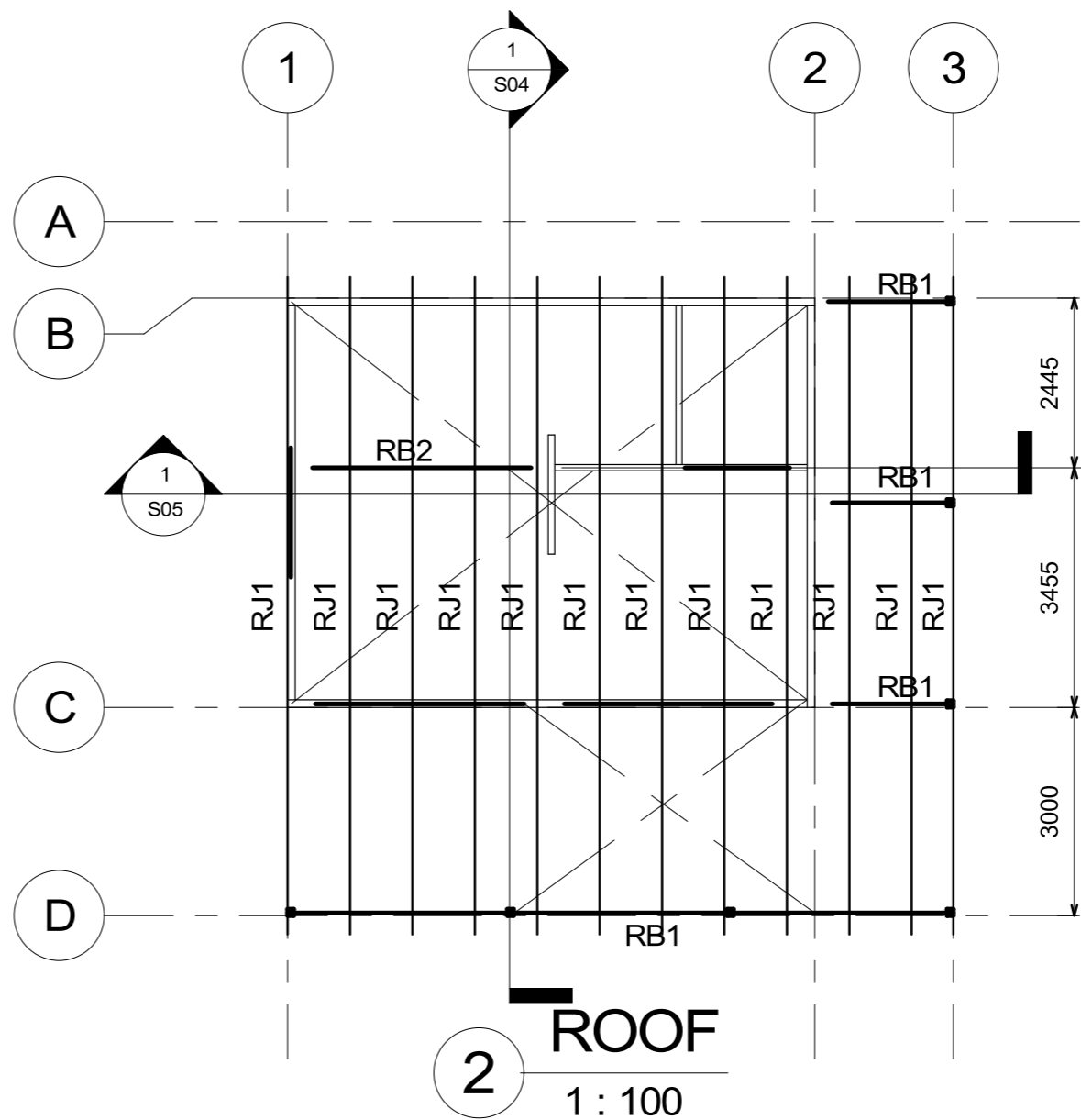


#### TIMBER WALLS

1. COMMON STUDS: 90x35-450
2. TOP PLATE: 2/45x90
3. BOTTOM PLATE: 45x90
4. JAMB STUDS: 2/90x35 UNLESS NOTED.
5. LINTELS: 140x45 UNLESS NOTED.
6. M12-900 HD RODS.

#### WALL DRAWING KEY

	DENOTES 1.2M LONG SHEAR WALL REFER TO DETAIL.
<b>X</b>	DENOTES M12 HD ROD.
<b>O</b>	DENOTES M16 HD ROD.
<b>B</b>	DENOTES BLOCKING TO TOP OF SHEARWALL, OR EQUIVALENT. REFER TO DETAIL.



#### ROOF BATTENS

1. 45x70 MGP12 BATTENS.
2. 325 MAX OVERHANG.
3. SPACE TO SHEETING REQUIREMENTS (1200 MAX).
4. 1/14g-100 BATTEN SCREW, TYPICAL.
5. ADOPT 45x90 BATTENS FOR 600 OVERHANG, DOUBLE BACKSPAN.

RJ1 - CONTINUOUS AS SHOWN.  
IF SINGLE SPAN, INCREASE MEMBERS  
TO 170x45 MGP12 OR 150x45 LVL.



#### FRAMING SCHEDULE

MARK	SECTION	COMMENTS
FB1	150x100x4 RHS	
FJ1	170x45-450	LVL OR 170x45 MGP12
L1	2/240x45	MGP12 OR 240x63 LVL.
L2	190x45	MGP12 OR 150x45 LVL
RB1	175x75 HWD	F14 OR 200x63 LVL.
RB2	250x75 HWD	F14 OR 240x63 LVL.
RJ1	140x45-900	MGP12 OR 130x45 LVL.

#### COLUMNS AND PIERS

MARK	SECTION	DESCRIPTION
BP1	600 DIA	1500 DEEP, N20 CONCRETE
C1	100x4 SHS	
C2	90x90 HWD	
C3	50x4 SHS	

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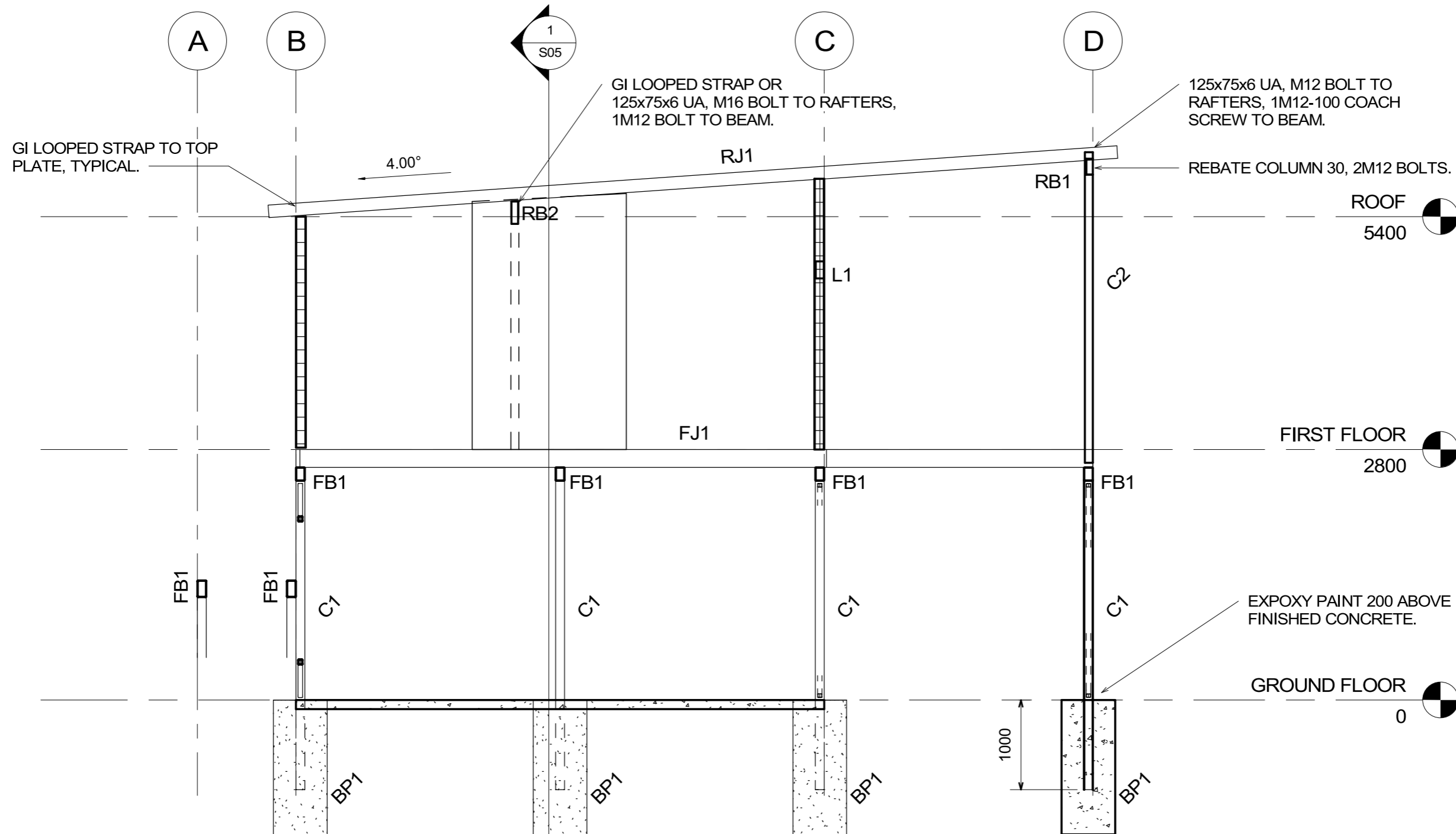
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No.	Description	Date
1	PRELIMINARY	20/8/2021
2	SUB-FLOOR FRAMING REVISED	7/9/2021
A	CONSTRUCTION	25/10/2021

**1387 MOSSMAN  
DAINTREE RD**

#### WALL & ROOF PLANS

Date	25/10/2021	Project	TMI21002-3
Drawn by	RWM	Sheet	S03
Checked by	REM		
A3 Scale	As indicated		



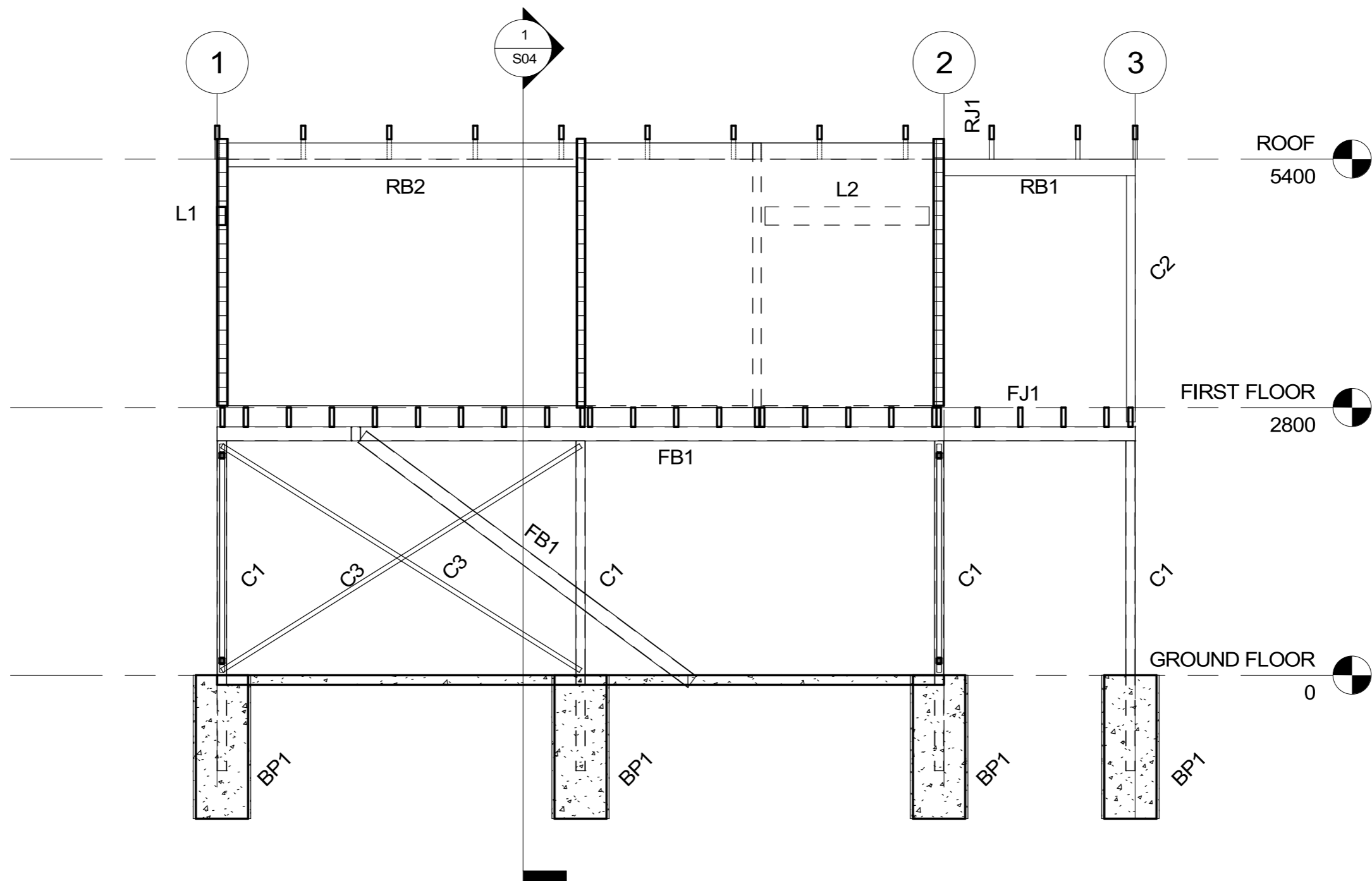
Registered Professional Engineer 699704  
**Mr Sean F. Edwards**  
 MIEAust CPEng (Civil/Structural)  
 RPEQ No 6138  
 NT-BPBC: 26906ES  
 RBP (Vic) EC37110  
 Signature: *[Signature]* Date: 25/10/21  
 Registered in the National Professional Engineers Register in the  
 area of practice of **Civil / Structural**

# **SECTION 1** 1 : 50

No.	Description	Date
1	PRELIMINARY	20/8/2021
2	SUB-FLOOR FRAMING REVISED	7/9/2021
A	CONSTRUCTION	25/10/2021

## **SECTIONS 1**

Date	25/10/2021	Project	<b>TMI21002-3</b>
Drawn by	RWM	Sheet	<b>S04</b>
Checked by	REM		
A3 Scale	1 : 50		



Registered Professional Engineer 699704  
 Mr Sean F. Edwards  
 MIEAust CPENG (Civil/Structural)  
 RPEQ No 6138  
 NT-BPCE: 26906ES  
 RBP (Vic) EC37110  
 Signature: *[Signature]* Date: 25/10/21  
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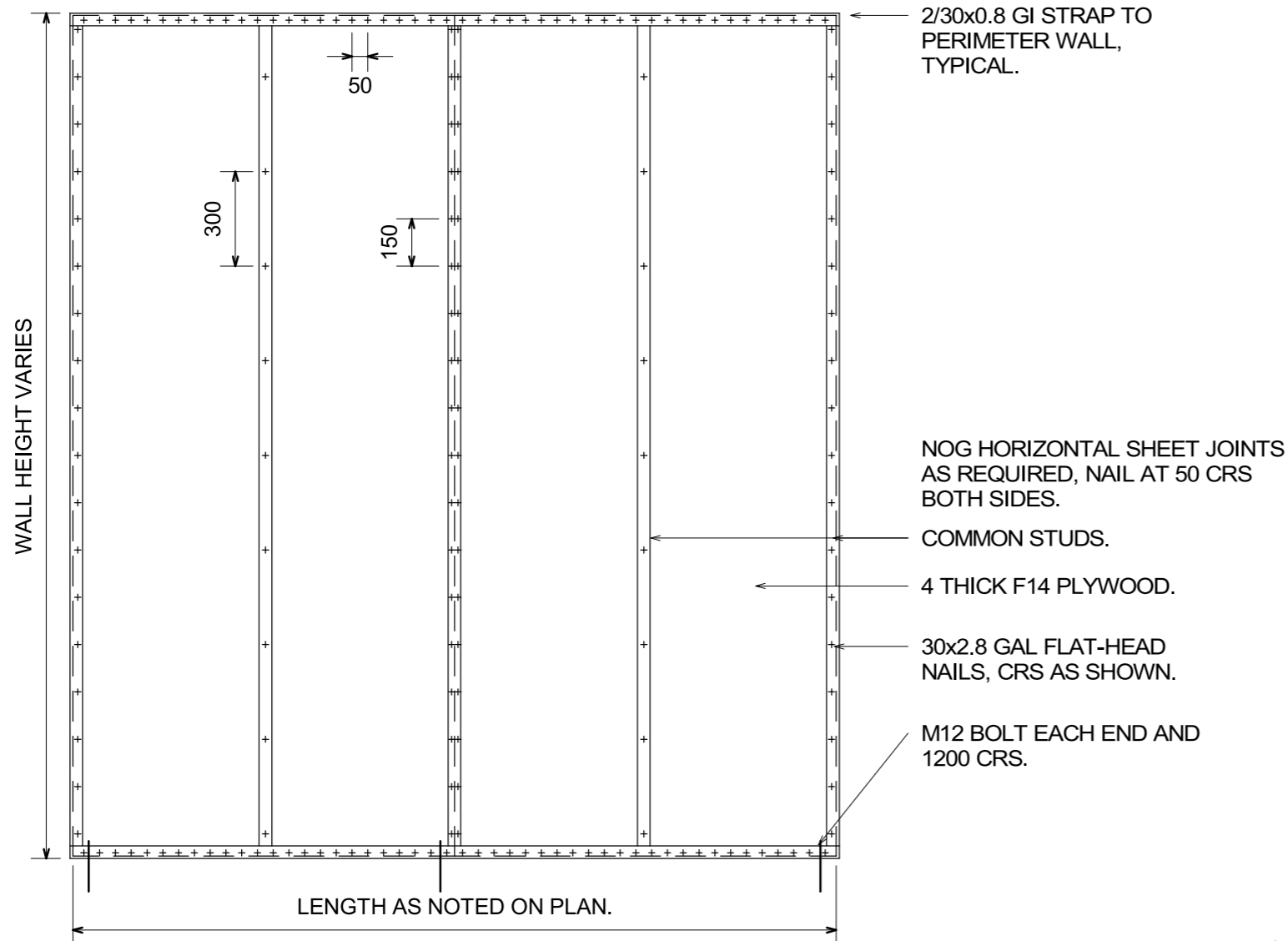
## SECTION 2

1 : 50

No.	Description	Date
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2	SUB-FLOOR FRAMING REVISED	7/9/2021
A	CONSTRUCTION	25/10/2021

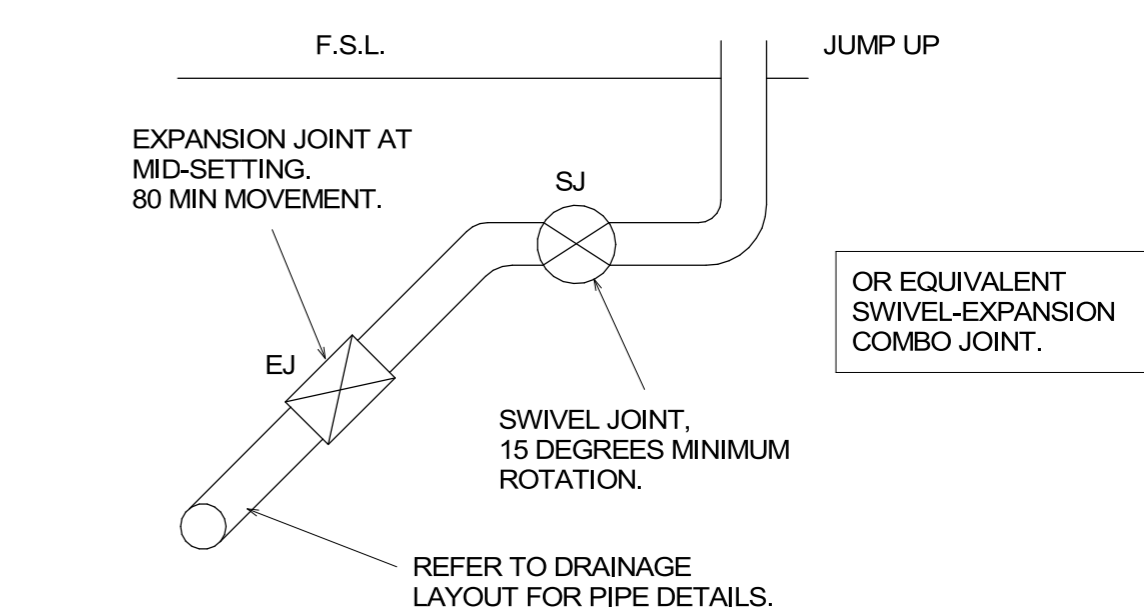
## SECTIONS 2

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Drawn by	RWM	Sheet	S05
Checked by	REM		
A3 Scale	1 : 50		

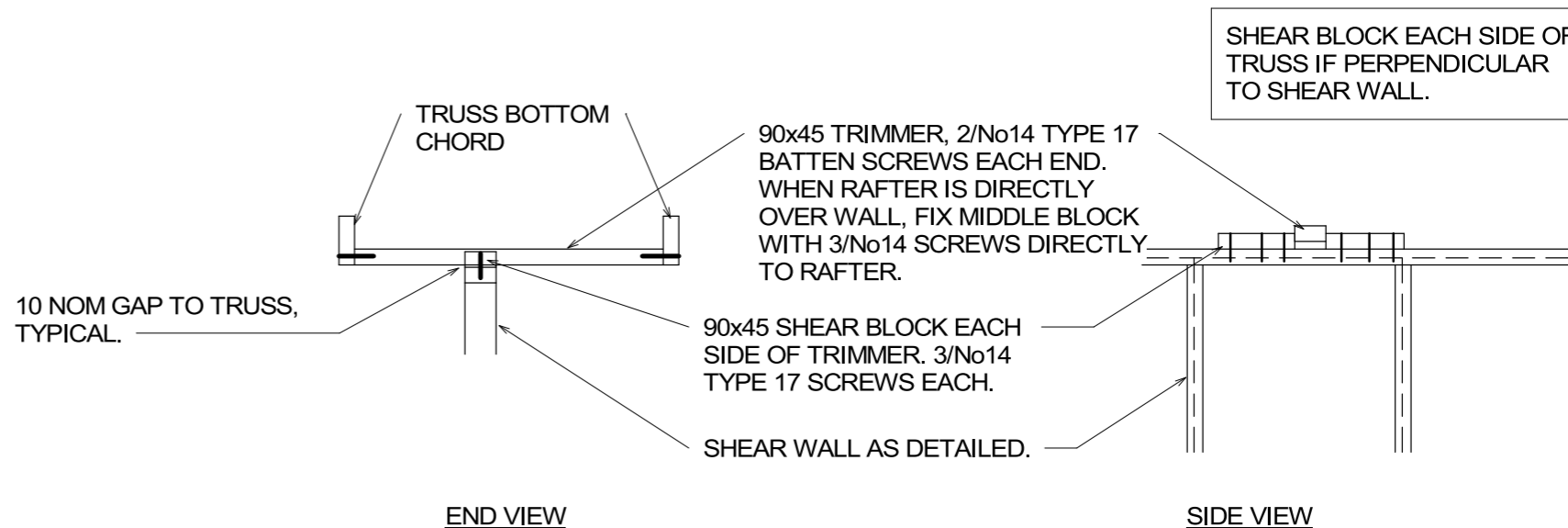


1 **BRACING WALLS**  
1 : 20

Registered Professional Engineer 699704  
Mr Sean F. Edwards  
MIEAust CPEng (Civil/Structural)  
RPEQ No 6138  
NT-BPBC: 26906ES  
RBP (Vic) EC37110  
Signature: *[Signature]* Date: 25/10/21  
Registered in the National Professional Engineers Register in the  
area of practice of Civil / Structural



3 **ARTICULATION DETAILS**  
1 : 20



2 **SHEARWALL BLOCKING**  
1 : 20

No.	Description	Date
A	CONSTRUCTION	25/10/2021

## DETAILS

Date	25/10/2021	Project	TMI21002-3
Drawn by	RWM	Sheet	S06
Checked by	REM		
A3 Scale	1 : 20		



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Legend located on next page



Printed at: A4  
Print date: 26/10/2021

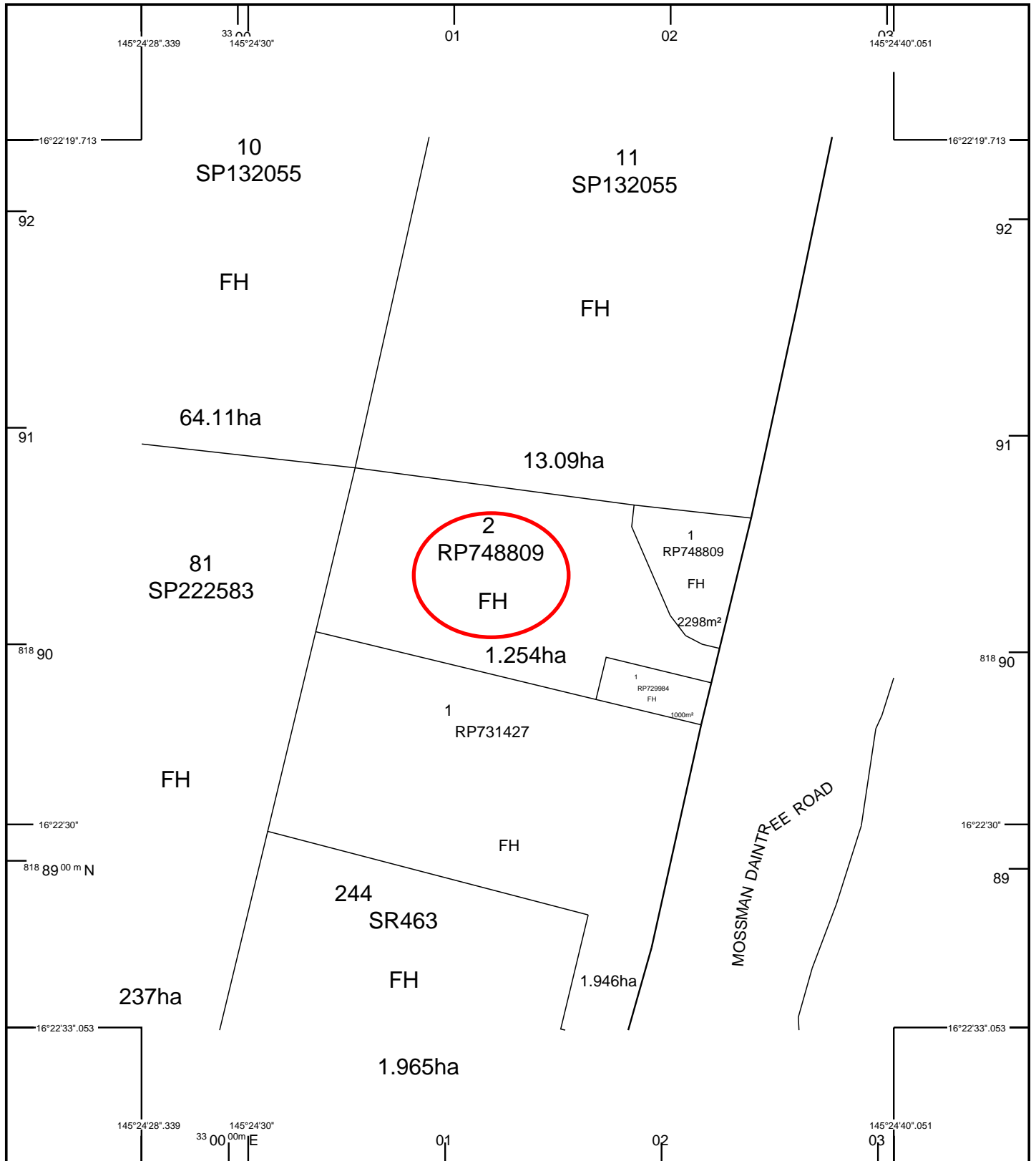
Datum: Geocentric Datum of Australia 1994  
Projection: Web Mercator EPSG 102100

For more information, visit  
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

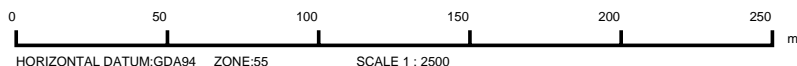


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STANDARD MAP NUMBER  
7965-21323



MAP WINDOW POSITION &  
NEAREST LOCATION

145°24'34\"/>

+



#### SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	2/RP748809
Area/Volume	1.254ha
Tenure	FREEHOLD
Local Government	DOUGLAS SHIRE
Locality	ROCKY POINT
Segment/Parcel	8906/65

#### CLIENT SERVICE STANDARDS

PRINTED 26/10/2021

DCDB 25/10/2021

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**Queensland  
Government**

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# DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Angel Construction C/- The Building Approval Company
Contact name (only applicable for companies)	Johnathan Burns
Postal address (P.O. Box or street address)	PO Box 74
Suburb	Redlynch
State	QLD
Postcode	4870
Country	Australia
Contact number	0450 781 841
Email address (non-mandatory)	planning@tbac.com.au
Mobile number (non-mandatory)	0450 781 841
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	211357/01

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

☒ Street address **AND** lot on plan (all lots must be listed), **or**

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		1387	Mossman Daintree Road	Rocky Point
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4874	2	RP748809	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

#### 3.3) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

☒ Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

**a) What is the type of development? (tick only one box)**

- ☒ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

**b) What is the approval type? (tick only one box)**

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

**c) What is the level of assessment?**

- ☒ Code assessment    ☐ Impact assessment (requires public notification)

**d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):**

Dwelling House (Secondary Dwelling)

**e) Relevant plans**

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

**a) What is the type of development? (tick only one box)**

- ☐ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☒ Building work

**b) What is the approval type? (tick only one box)**

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

**c) What is the level of assessment?**

- ☒ Code assessment    ☐ Impact assessment (requires public notification)

**d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):**

Secondary Dwelling

**e) Relevant plans**

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

## Section 2 – Further development details

### 7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

#### 8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Secondary Dwelling	Dwelling House (Secondary Dwelling)	1	45

#### 8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes
<input checked="" type="checkbox"/> No

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

#### 9.1) What is the total number of existing lots making up the premises?

--

#### 9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

### 10) Subdivision

#### 10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

#### 10.2) Will the subdivision be staged?

<input type="checkbox"/> Yes – provide additional details below	
<input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

### 11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$ 139,900.00	

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Douglas Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

## PART 5 – REFERRAL DETAILS

### 17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

- ☐ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Act 2016**:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☒ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

<b>Matters requiring referral to the local government:</b> <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA has been devolved to local government)</i> <input type="checkbox"/> Heritage places – Local heritage places
<b>Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:</b> <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
<b>Matters requiring referral to:</b> <ul style="list-style-type: none"> <li>• The <b>Chief Executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
<b>Matters requiring referral to the Brisbane City Council:</b> <input type="checkbox"/> Ports – Brisbane core port land
<b>Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:</b> <input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i> <input type="checkbox"/> Ports – Strategic port land
<b>Matters requiring referral to the relevant port operator, if applicant is not port operator:</b> <input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
<b>Matters requiring referral to the Chief Executive of the relevant port authority:</b> <input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
<b>Matters requiring referral to the Gold Coast Waterways Authority:</b> <input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
<b>Matters requiring referral to the Queensland Fire and Emergency Service:</b> <input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge:
<ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul>
Further advice about information requests is contained in the <a href="#">DA Forms Guide</a> .

## PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application  
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☒ Yes – a copy of the receipted QLeave form is attached to this development application  
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached  
☒ No

23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below  
☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application  
☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

#### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application  
☒ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

#### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below  
☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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#### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*  
☒ No

#### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)  
☒ No

#### **Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- ☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- ☒ No

**Note:** See guidance materials at [www.planning.dsdmip.qld.gov.au](http://www.planning.dsdmip.qld.gov.au) for further information.

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

**Note:** See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

### 25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

**Individual owner's consent for making a development application under the *Planning Act 2016***

I, Gigi Legenhausen

as owner of the premises identified as follows:

1387 (Lot 2) RP748809 Mossman Daintree Road, Rocky Point

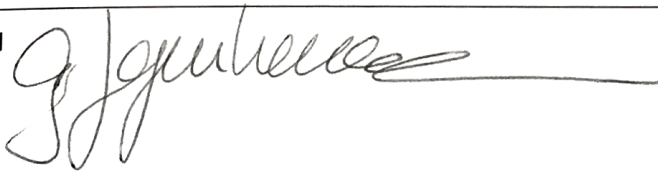
consent to the making of a development application under the *Planning Act 2016* by:

The Building Approval Company

on the premises described above for:

Material change of use (Secondary Dwelling) triggering a Code Assessable Development Application

Signed



date signed

1/11/21

# DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Angel Construction
Contact name (only applicable for companies)	Susan George
Postal address (PO Box or street address)	10/50 Macrossan Street
Suburb	Port Douglas
State	QLD
Postcode	4877
Country	Australia
Contact number	07 4099 4516
Email address (non-mandatory)	admin@angelconstruction.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

## PART 2 – LOCATION DETAILS

### 2) Location of the premises (complete 2.1 and 2.2 if applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 2.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

Unit No.	Street No.	Street Name and Type	Suburb
	1387	Mossman Daintree Road	Rocky Point
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4874	2	RP748809	Douglas Shire Council

## 2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

## 3) Are there any existing easements over the premises?

**Note:** Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

# PART 3 – FURTHER DETAILS

## 4) Is the application only for building work assessable against the building assessment provisions?

- ☒ Yes – proceed to 8)
- ☐ No

## 5) Identify the assessment manager(s) who will be assessing this development application

Michael Kunze – The Building Approval Company

## 6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## 7) Information request under Part 3 of the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

## 8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☒ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid

Date paid (dd/mm/yy)

QLeave levy number (A, B or E)

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:

Place ID:

## PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

## PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☐ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	Gigi Legenhausen
Contact name (applicable for companies)	Susan George
Postal address (P.O. Box or street address)	1387 Mossman Daintree Road
Suburb	Rocky Point
State	QLD
Postcode	4874

Country	Australia
Contact number	07 4098 7137
Email address <i>(non-mandatory)</i>	andreandgigi@gmail.com
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

#### 15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Angel Construction
Contact name <i>(applicable for companies)</i>	Susan George
QBCC licence or owner – builder number	15128072
Postal address <i>(P.O. Box or street address)</i>	10/50 Macrossan Street
Suburb	Port Douglas
State	QLD
Postcode	4877
Contact number	07 4099 4516
Email address <i>(non-mandatory)</i>	admin@angelconstruction.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

#### 16) Provide details about the proposed building work

What type of approval is being sought?

- ☒ Development permit  
☐ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment  
☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> New building or structure                               | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence   |
| <input type="checkbox"/> Demolition   | <input type="checkbox"/> Relocation or removal             |

d) Provide a description of the work below or in an attached schedule.

Secondary Dwelling

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input checked="" type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input checked="" type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

g) New building use/classification? *(if applicable)*

Class 1a
h) Relevant plans <b>Note:</b> <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?
\$139,900.00

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input checked="" type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
1185.2	26/10/2021	014316559

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <b>Note:</b> <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued ( <i>see 9</i> )	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <b>Note:</b> <i>It is unlawful to intentionally provide false or misleading information.</i>
<p><b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> <li>• such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or</li> <li>• required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>• otherwise required by law.</li> </ul> <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

## PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: 8/11/2010

Reference numbers: 211357

### For completion by the building certifier

#### Classification(s) of approved building work

Class 1a

Name	QBCC Certification Licence number	QBCC Insurance receipt number
Michael Kunze	A719002	014316559

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	Michael Kunze
Name of chosen assessment manager	Michael Kunze
Date chosen assessment manager engaged	08/11/2021
Contact number of chosen assessment manager	07 4222 9844
Relevant licence number(s) of chosen assessment manager	A719002

### Additional information required by the local government

#### Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input checked="" type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input checked="" type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	Michael Kunze

### Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)			
New building use/classification?		Class 1a	
Site area (m <sup>2</sup> )	900m <sup>2</sup>	Floor area (m <sup>2</sup> )	