# DA Form 1 – Development application details

***Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.***

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) **and** parts 4 to 6 of *DA Form 2 – Building work details.*

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008.* For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

***Note:*** *All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).*

## PART 1 – APPLICANT DETAILS

| 1) Applicant details | |
|---|---|
| Applicant name(s) (*individual or company full name*) | Rebecca and Royce Scomazzon |
| Contact name *(only applicable for companies)* | c/- Patrick Clifton, GMA Certification |
| Postal address *(P.O. Box or street address)* | Po Box 831 |
| Suburb | Port Douglas |
| State | QLD |
| Postcode | 4877 |
| Country | Australia |
| Contact number | 0438 755 374 |
| Email address *(non-mandatory)* | Patrick.c@gmacert.com.au |
| Mobile number *(non-mandatory)* | 0438 755 374 |
| Fax number *(non-mandatory)* | |
| Applicant's reference number(s) *(if applicable)* | 20205111 |

| 2) Owner's consent |
|---|
| 2.1) Is written consent of the owner required for this development application? |
| ☒ Yes – the written consent of the owner(s) is attached to this development application<br>☐ No – proceed to 3) |

# PART 2 – LOCATION DETAILS

**3) Location of the premises** *(complete 3.1) or 3.2), and 3.3) as applicable)*

***Note**: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.*

**3.1) Street address and lot on plan**

☒ Street address **AND** lot on plan (a*ll lots must be listed*), ***or***

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises *(appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).*

| | | | | |
|---|---|---|---|---|
| a) | Unit No. | Street No. | Street Name and Type | Suburb |
| | | | Mossman Daintree Road | Miallo |
| | Postcode | Lot No. | Plan Type and Number *(e.g. RP, SP)* | Local Government Area(s) |
| | 4877 | 255 | SR364 | Douglas Shire Council |
| b) | Unit No. | Street No. | Street Name and Type | Suburb |
| | | | | |
| | Postcode | Lot No. | Plan Type and Number *(e.g. RP, SP)* | Local Government Area(s) |
| | | | | |

**3.2) Coordinates of premises** *(appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)*

***Note**: Place each set of coordinates in a separate row.*

☐ Coordinates of premises by longitude and latitude

| Longitude(s) | Latitude(s) | Datum | Local Government Area(s) *(if applicable)* |
|---|---|---|---|
| | | ☐ WGS84<br>☐ GDA94<br>☐ Other: | |

☐ Coordinates of premises by easting and northing

| Easting(s) | Northing(s) | Zone Ref. | Datum | Local Government Area(s) *(if applicable)* |
|---|---|---|---|---|
| | | ☐ 54<br>☐ 55<br>☐ 56 | ☐ WGS84<br>☐ GDA94<br>☐ Other: | |

**3.3) Additional premises**

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

☒ Not required

**4) Identify any of the following that apply to the premises and provide any relevant details**

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area *(if applicable)*:

Name of port authority for tidal area *(if applicable)*:

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

| | |
|---|---|
| ☐ Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994* | |
| EMR site identification: | |
| ☐ Listed on the Contaminated Land Register (CLR) under the *Environmental Protection Act 1994* | |
| CLR site identification: | |

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.*

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

# PART 3 – DEVELOPMENT DETAILS

## Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

Dwelling House

e) Relevant plans

***Note**: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.*

☒ Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

e) Relevant plans

***Note**: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.*

☐ Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

☒ Not required

## Section 2 – Further development details

| 7) Does the proposed development application involve any of the following? | |
|---|---|
| Material change of use | ☒ Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot | ☐ Yes – complete division 2 |
| Operational work | ☐ Yes – complete division 3 |
| Building work | ☐ Yes – complete *DA Form 2 – Building work details* |

### Division 1 – Material change of use

***Note**: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.*

| 8.1) Describe the proposed material change of use | | | |
|---|---|---|---|
| Provide a general description of the proposed use | Provide the planning scheme definition *(include each definition in a new row)* | Number of dwelling units *(if applicable)* | Gross floor area ($m^2$) *(if applicable)* |
| Dwelling House | Dwelling House | 1 | n/A |
| | | | |
| | | | |

| 8.2) Does the proposed use involve the use of existing buildings on the premises? |
|---|
| ☐ Yes |
| ☒ No |

### Division 2 – Reconfiguring a lot

***Note**: This division is only required to be completed if any part of the development application involves reconfiguring a lot.*

| 9.1) What is the total number of existing lots making up the premises? |
|---|
| |

| 9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)* | |
|---|---|
| ☐ Subdivision *(complete 10))* | ☐ Dividing land into parts by agreement *(complete 11))* |
| ☐ Boundary realignment *(complete 12))* | ☐ Creating or changing an easement giving access to a lot from a constructed road *(complete 13))* |

| 10) Subdivision | | | | |
|---|---|---|---|---|
| 10.1) For this development, how many lots are being created and what is the intended use of those lots: | | | | |
| Intended use of lots created | Residential | Commercial | Industrial | Other, please specify: |
| Number of lots created | | | | |

| 10.2) Will the subdivision be staged? | |
|---|---|
| ☐ Yes – provide additional details below<br>☐ No | |
| How many stages will the works include? | |
| What stage(s) will this development application apply to? | |

| 11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts? | | | | |
|---|---|---|---|---|
| Intended use of parts created | Residential | Commercial | Industrial | Other, please specify: |
| Number of parts created | | | | |

| 12) Boundary realignment | | | |
|---|---|---|---|
| 12.1) What are the current and proposed areas for each lot comprising the premises? | | | |
| Current lot | | Proposed lot | |
| Lot on plan description | Area ($m^2$) | Lot on plan description | Area ($m^2$) |
| | | | |
| | | | |

| 12.2) What is the reason for the boundary realignment? |
|---|
| |

| 13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? *(attach schedule if there are more than two easements)* | | | | |
|---|---|---|---|---|
| Existing or proposed? | Width (m) | Length (m) | Purpose of the easement? *(e.g. pedestrian access)* | Identify the land/lot(s) benefitted by the easement |
| | | | | |
| | | | | |

## Division 3 – Operational work

***Note**: This division is only required to be completed if any part of the development application involves operational work.*

| 14.1) What is the nature of the operational work? | | |
|---|---|---|
| ☐ Road work | ☐ Stormwater | ☐ Water infrastructure |
| ☐ Drainage work | ☐ Earthworks | ☐ Sewage infrastructure |
| ☐ Landscaping | ☐ Signage | ☐ Clearing vegetation |
| ☐ Other – please specify: | | |

| 14.2) Is the operational work necessary to facilitate the creation of new lots? *(e.g. subdivision)* | |
|---|---|
| ☐ Yes – specify number of new lots: | |
| ☐ No | |

| 14.3) What is the monetary value of the proposed operational work? *(include GST, materials and labour)* |
|---|
| $ |

# PART 4 – ASSESSMENT MANAGER DETAILS

| 15) Identify the assessment manager(s) who will be assessing this development application |
|---|
| Douglas Shire Council |

| 16) Has the local government agreed to apply a superseded planning scheme for this development application? |
|---|
| ☐ Yes – a copy of the decision notice is attached to this development application |
| ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached |
| ☒ No |

# PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?
***Note**: A development application will require referral if prescribed by the* Planning Regulation 2017.

☐ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016*:**

☐ Clearing native vegetation
☐ Contaminated land *(unexploded ordnance)*
☐ Environmentally relevant activities (ERA) *(only if the ERA has not been devolved to a local government)*
☐ Fisheries – aquaculture
☐ Fisheries – declared fish habitat area
☐ Fisheries – marine plants
☐ Fisheries – waterway barrier works
☐ Hazardous chemical facilities
☐ Heritage places – Queensland heritage place *(on or near a Queensland heritage place)*
☐ Infrastructure-related referrals – designated premises
☒ Infrastructure-related referrals – state transport infrastructure
☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
☐ Infrastructure-related referrals – near a state-controlled road intersection
☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
☐ Koala habitat in SEQ region – key resource areas
☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
☐ Ports – Brisbane core port land – hazardous chemical facility
☐ Ports – Brisbane core port land – taking or interfering with water
☐ Ports – Brisbane core port land – referable dams
☐ Ports – Brisbane core port land – fisheries
☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*
☐ SEQ development area
☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
☐ Tidal works or works in a coastal management district
☐ Reconfiguring a lot in a coastal management district or for a canal
☐ Erosion prone area in a coastal management district
☐ Urban design
☐ Water-related development – taking or interfering with water
☐ Water-related development – removing quarry material *(from a watercourse or lake)*
☐ Water-related development – referable dams
☐ Water-related development –levees *(category 3 levees only)*
☐ Wetland protection area

Matters requiring referral to the **local government:**

☐ Airport land
☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government)*

☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity:**
☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:
- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual

☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council:**
☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the *Transport Infrastructure Act 1994*:**
☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator**:**
☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority:**
☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority:**
☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service:**
☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

**18) Has any referral agency provided a referral response for this development application?**

☐ Yes – referral response(s) received and listed below are attached to this development application
☒ No

| Referral requirement | Referral agency | Date of referral response |
|---|---|---|
| | | |
| | | |

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable).*

# PART 6 – INFORMATION REQUEST

**19) Information request under Part 3 of the DA Rules**

☒ I agree to receive an information request if determined necessary for this development application
☐ I do not agree to accept an information request for this development application

***Note**: By not agreeing to accept an information request I, the applicant, acknowledge:*

- *that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties*
- *Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.*

*Further advice about information requests is contained in the DA Forms Guide.*

# PART 7 – FURTHER DETAILS

| 20) Are there any associated development applications or current approvals? *(e.g. a preliminary approval)* | | | |
|---|---|---|---|
| ☐ Yes – provide details below or include details in a schedule to this development application<br>☒ No | | | |
| List of approval/development application references | Reference number | Date | Assessment manager |
| ☐ Approval<br>☐ Development application | | | |
| ☐ Approval<br>☐ Development application | | | |

| 21) Has the portable long service leave levy been paid? *(only applicable to development applications involving building work or operational work)* | | |
|---|---|---|
| ☐ Yes – a copy of the receipted QLeave form is attached to this development application<br>☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid<br>☒ Not applicable *(e.g. building and construction work is less than $150,000 excluding GST)* | | |
| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
| $ | | |

| 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice? |
|---|
| ☐ Yes – show cause or enforcement notice is attached<br>☒ No |

| 23) Further legislative requirements | | | |
|---|---|---|---|
| **Environmentally relevant activities** | | | |
| 23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*? | | | |
| ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below<br>☒ No<br>***Note**: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.* | | | |
| Proposed ERA number: | | Proposed ERA threshold: | |
| Proposed ERA name: | | | |
| ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application. | | | |
| **Hazardous chemical facilities** | | | |
| 23.2) Is this development application for a **hazardous chemical facility**? | | | |
| ☐ Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application<br>☒ No<br>***Note**: See www.business.qld.gov.au for further information about hazardous chemical notifications.* | | | |

**Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

***Note**: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.*

*2. See https://www.qld.gov.au/environment/land/vegetation/applying for further information on how to obtain a s22A determination.*

**Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

***Note**: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.*

**Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☐ No

***Note**: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.*

**Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

***Note**: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.*

*DA templates are available from https://planning.dsdmip.qld.gov.au/. If the development application involves:*

- *Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1*
- *Taking or interfering with water in a watercourse, lake or spring: complete DA Form1 Template 2*
- *Taking overland flow water: complete DA Form 1 Template 3.*

**Waterway barrier works**

23.7) Does this application involve **waterway barrier works?**

☐ Yes – the relevant template is completed and attached to this development application

☒ No

*DA templates are available from https://planning.dsdmip.qld.gov.au/. For a development application involving waterway barrier works, complete DA Form 1 Template 4.*

**Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

☐ Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

***Note**: See guidance materials at www.daf.qld.gov.au for further information.*

**Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000?*

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

***Note**: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.*

**Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995?*

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

***Note**: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.*

**Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

***Note**: See guidance materials at www.dnrme.qld.gov.au for further information.*

**Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work *(only required if application involves prescribed tidal work)*
- ☐ A certificate of title

☒ No

***Note**: See guidance materials at www.des.qld.gov.au for further information.*

**Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below
☒ No

***Note**: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.*

| Name of the heritage place: | | Place ID: | |
|---|---|---|---|

**Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

**Decision under section 62 of the *Transport Infrastructure Act 1994***

23.15) Does this development application involve new or changed access to a state-controlled road?

☒ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☐ No

**Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

***Note**: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.*

# PART 8 – CHECKLIST AND APPLICANT DECLARATION

| 24) Development application checklist | |
|---|---|
| I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17<br>***Note**: See the Planning Regulation 2017 for referral requirements* | ☒ Yes |
| If building work is associated with the proposed development, Parts 4 to 6 of *DA Form 2 – Building work details* have been completed and attached to this development application | ☐ Yes<br>☒ Not applicable |
| Supporting information addressing any applicable assessment benchmarks is with the development application<br>***Note**: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.* | ☒ Yes |
| Relevant plans of the development are attached to this development application<br>***Note**: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.* | ☒ Yes |
| The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (*see 21*) | ☐ Yes<br>☒ Not applicable |

**25) Applicant declaration**

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

***Note**: It is unlawful to intentionally provide false or misleading information.*

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002.*

# PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

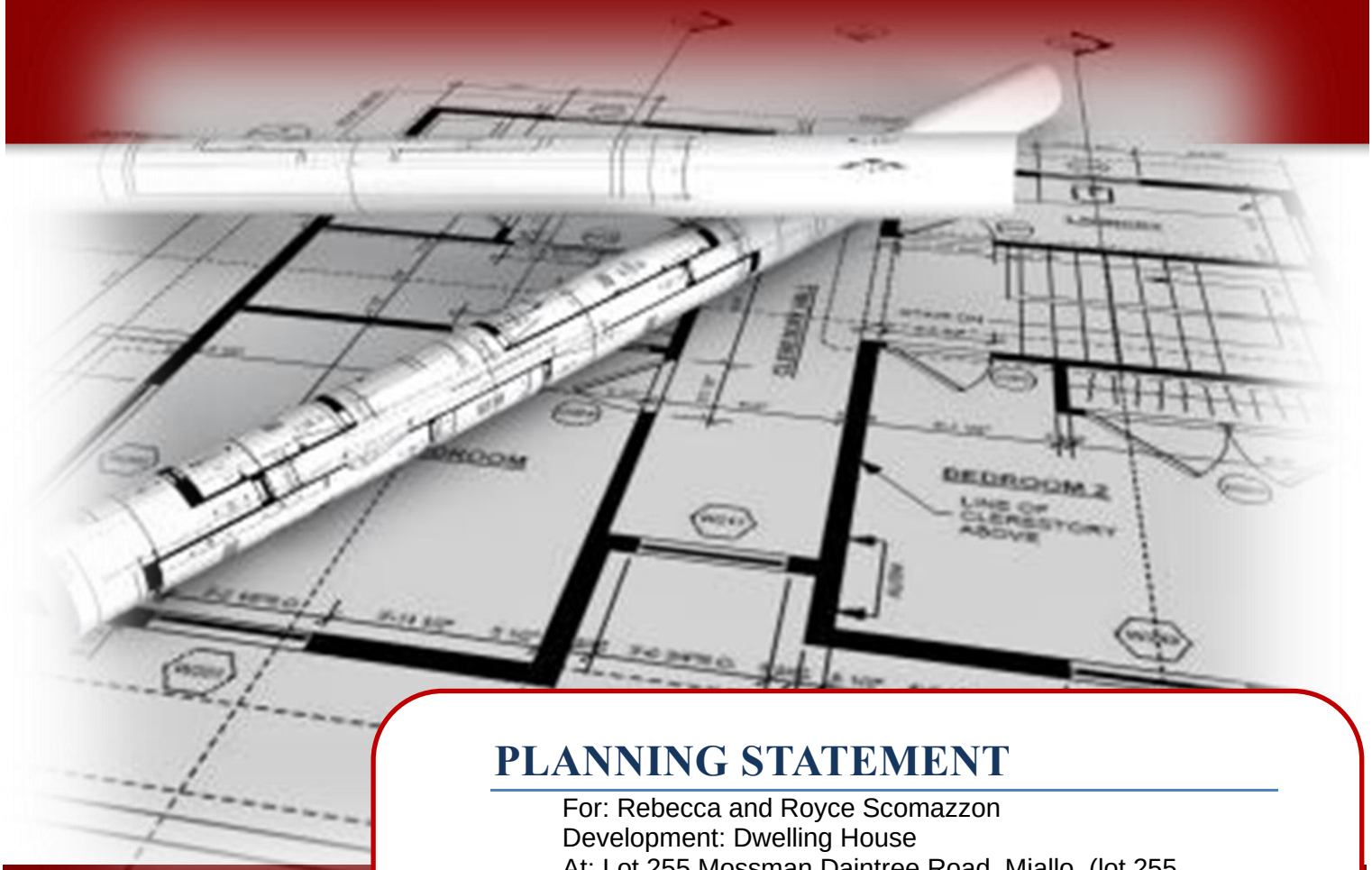
Date received: | Reference number(s):

| Notification of engagement of alternative assessment manager | |
|---|---|
| Prescribed assessment manager | |
| Name of chosen assessment manager | |
| Date chosen assessment manager engaged | |
| Contact number of chosen assessment manager | |
| Relevant licence number(s) of chosen assessment manager | |

| QLeave notification and payment<br>*Note: For completion by assessment manager if applicable* | | | |
|---|---|---|---|
| Description of the work | | | |
| QLeave project number | | | |
| Amount paid ($) | | Date paid (dd/mm/yy) | |
| Date receipted form sighted by assessment manager | | | |
| Name of officer who sighted the form | | | |

GMA Certification Group

*Leader's in Building Certification Services*




# PLANNING STATEMENT

For: Rebecca and Royce Scomazzon
Development: Dwelling House
At: Lot 255 Mossman Daintree Road, Miallo, (lot 255 SR364)
Prepared by: GMA Certification Group
File Ref: 20205111
Revision: A

# Table of Contents

## 1.0 Introduction

This report has been prepared on behalf of Rebecca and Royce Scomazzon in support of a Development Application to Douglas Shire Council for a Development Permit for Material Change of Use for the purpose of a Dwelling House on land located at Lot 255 Mossman Daintree Road, Miallo, and described as Lot 255 on SR364.

The site contains an area of 16.66 hectares and has frontage to Mossman Daintree Road of approximately 322 metres. The site is currently cleared and is used for the cultivation of sugar cane. To the rear of the site is what appears to be a detention basis for stormwater.

The locality containing the site is generally characterised by land under cultivation for sugar cane. The Mossman Gold Course is the only non-rural development and is located to the south east of the site.

It is proposed to develop the site for the purpose of a dwelling house. The house would contain three bedrooms and have a floor area of in the order of 297.9m$^2$ including verandah and garage. It would be setback approximately 65 metres from the road frontage and a minimum of 100 meters form side and rear boundaries.

The application is identified as being Accepted subject to requirements. Where the development can satisfy the requirements a planning application is not required. However, where the requirements cannot be satisfied a code assessable application is required to be submitted to Council for approval. In this instance an application is required on the basis of the proposed siting of the dwelling within the flood and storm tide hazard overlay maps.

The proposed development is considered to be consistent with the Codes contained within the Planning Scheme and is considered to be a suitable use of the site. The development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the use without adverse impact on the amenity of the area.

The application is submitted for approval, subject to reasonable and relevant conditions.

## 2.0 Development Summary

| | |
|---|---|
| **Address:** | Lot 255 Mossman Daintree Road, Miallo |
| **Real Property Description:** | Lot 255 SR364 |
| **Easements & Encumbrances:** | Nil |
| **Site Area/Frontage:** | Area: 16.66 hectares<br>Frontage: 322 metres to Mossman Daintree Road. |
| **Registered Owner:** | Luigi and Angela Scomazzon |
| **Proposal:** | Dwelling House |
| **Approval Sought:** | Development Permit |
| **Level of Assessment:** | Code Assessment |
| **State Interests – State Planning Policy** | • Economic Growth – Agricultural land classification – class A or B;<br>• Safety and Resilience to Hazards:<br>• Flood Hazard Level 1 – Queensland floodplain assessment overlay;<br>• Erosion Prone Area (part);<br>• Medium storm tide inundation area;<br>• High storm tide inundation area (part).<br>• Infrastructure – State-controlled road. |
| **State Interests – SARA Mapping:** | • Coastal Protection:<br>• Erosion Prone Area (part);<br>• Medium storm tide inundation area;<br>• High storm tide inundation area (part).<br>• Fish Habitat Areas – Queensland Waterway for waterway barrier works (moderate);<br>• Native Vegetation Clearing – Category X on the regulated vegetation management map;<br>• State Transport – state-controlled road. |

| | |
|---|---|
| **Referral Agencies:** | State Assessment and Referral Agency |
| **State Development Assessment Provisions:** | State Code 1: Development in a state controlled road environment. |
| **Regional Plan Designation:** | Regional Landscape and Rural Production Area |
| **Zone:** | Rural |
| **Local Plan Designation:** | N/A |
| **Overlays:** | • Acid Sulfate Soils - 5m AHD;<br>• Coastal Environment – Erosion Prone Area (part);<br>• Flood and Storm Tide Hazard – medium and high storm tide hazard and floodplain assessment;<br>• Landscape Values – Medium Landscape Value; and,<br>• Natural Areas – MSES Regulated Vegetation Intersecting a watercourse. |

## 3.0 Site and Locality

The application site is a single rural allotment located at lot 255 Mossman Daintree Road, Miallo, and described as Lot 255 on SR364. The site is currently vacant and has been cleared of all native vegetation. It is currently used for the cultivation of sugar cane and is reasonably flat towards the site frontage with a ground level varying between 3.25 metres and 3.75 metres AHD. To the rear the site contains the beginning of sloping land associated with the hillsides to the west.

The most only notable feature on the site is an existing stormwater detention basin to the rear of the site and at the foot of the hillside.

The locality containing the site is generally characterised by land under cultivation for sugar cane, the exception being the Mossman Golf Course to the South east.

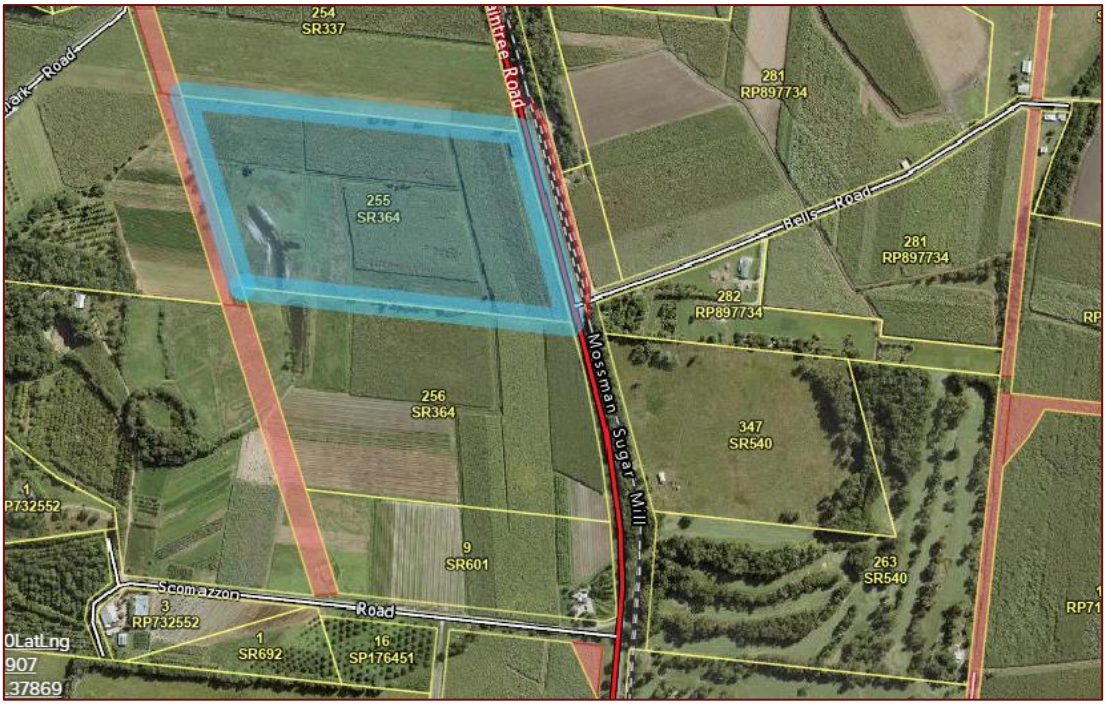



Photo 1 – Site Location (Source Queensland Globe)

## 4.0 Proposal

It is proposed to develop the site for the purpose of a Dwelling House. The house would contain three bedrooms and have a floor area of in the order of 297.9m$^2$ including verandah and garage. It would be setback approximately 65 metres from the road frontage and a minimum of 100 meters from side and rear boundaries.

The proposed Dwelling House would be a single storey building and would be accessed from a single driveway off Mossman Daintree Road. The Dwelling house would have a minimum finished floor level of 3.4m AHD.

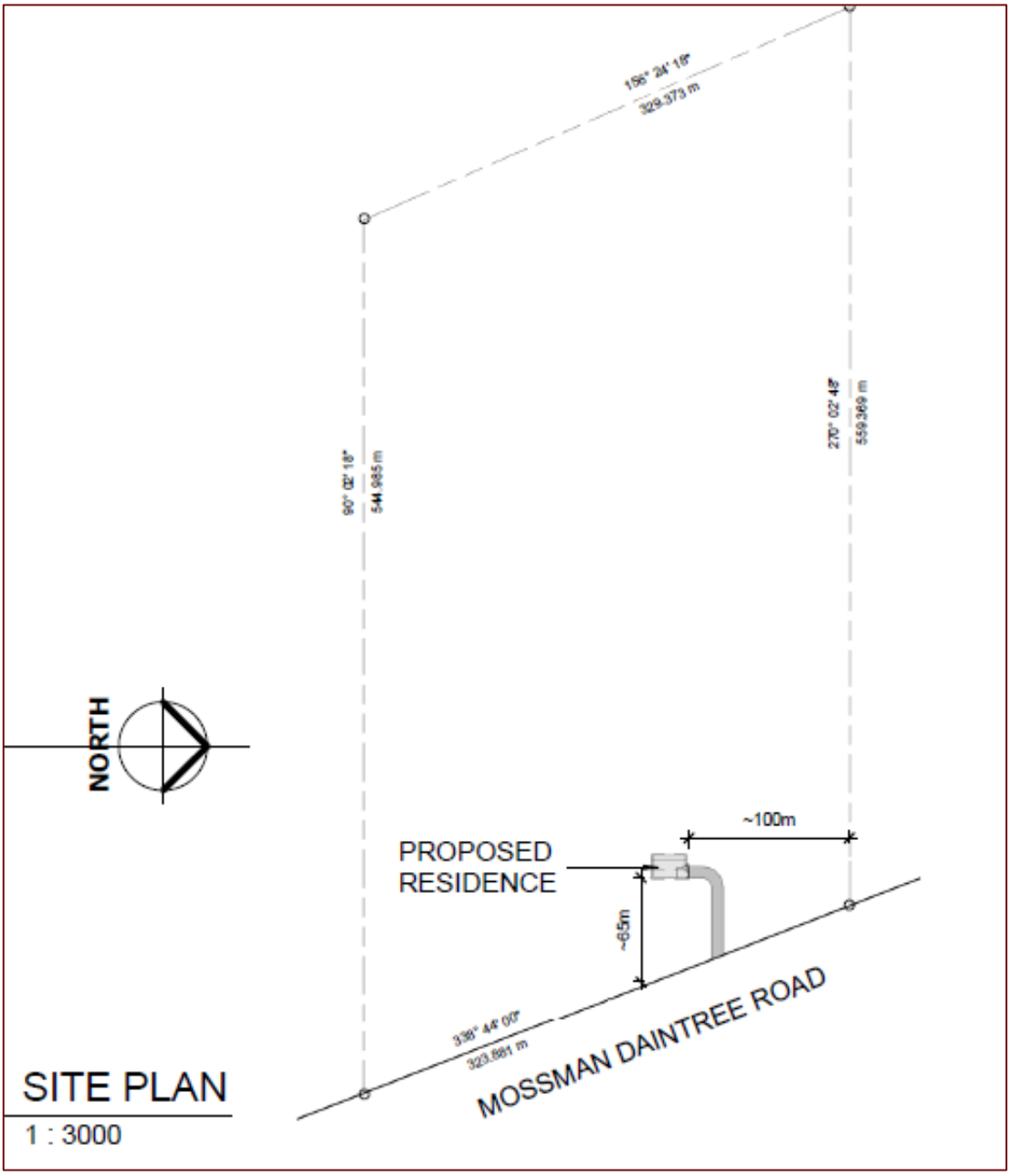



Image 2: Site Plan extract

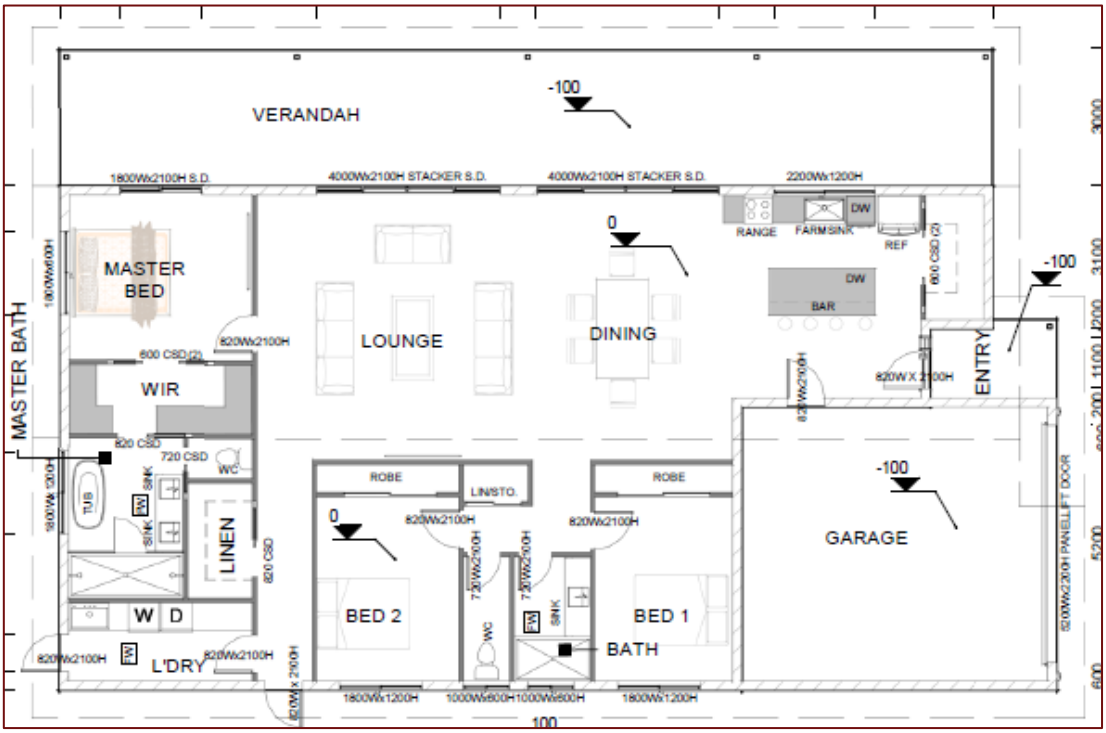



Image 3: Floor Plan extract

Proposal Plans are attached at Appendix 2.

The key development features of the proposed development are summarised in the table below:

# 5.0 Statutory Planning Considerations

This section provides a summary of the legislative framework affecting the application pursuant to the Planning Act 2016.

## 5.1 Planning Act 2016

### 5.1.1 Categorisation of Development

The proposed development is not identified as prohibited development having regard to the relevant instruments that can prohibit development under the *Planning Act 2016*, including

- Schedule 10 of the Planning Regulations 2017
- Relevant Categorising Instruments.

The development is made assessable under the Douglas Shire Council Planning Scheme, which is a categorising instrument for the purpose of s43 of the *Planning Act 2016.*

### 5.1.2 Assessment Manager

Pursuant to Schedule 8 of the *Planning Regulations 2017,* the Assessment Manager for the application is the Douglas Shire Council.

### 5.1.3 Level of Assessment

The application involves the development of a Dwelling House. The table below identifies the level of assessment and the categorising section of the Douglas Shire Council Planning Scheme.

| Development | Categorising Section | Level of Assessment |
|---|---|---|
| Dwelling House | Table 5.6.j – Rural Zone | Self- Assessable |

In accordance with the Tables of Assessment, the development is identified as Accepted Development, Subject to requirements. However, in this instance the development is not able to satisfy all the Accepted Development requirements and, consequently, a Code Assessable application is required to be submitted to Council for approval. In accordance, with section 5.4 (1) (c) (ii) of the Planning Scheme, the assessment is limited to the subject matter of the accepted development acceptable outcomes that were not complied with or were not capable of being complied with.

### 5.1.4 Statutory Considerations for Assessable Development

As the application is subject to Code Assessment, in deciding the application pursuant to s60 of the *Planning Act 2016,* the Council, as Assessment Manager, can only have regard to the matters established in the relevant planning benchmarks.

This assessment is further discussed in Section 6.0 of this report and a detailed assessment of the proposed development against the assessment benchmarks is provided at Appendix 3.

### 5.1.5 State Planning Policy

It is understood that the Minister has identified that the State Planning Policy has been appropriately integrated into in the Douglas Shire Council Planning Scheme and consequently no further assessment is required in this instance.

### 5.1.6 Regional Plan

The application site is identified in the regional Landscape and Rural Production Area designation of the FNQ Regional Plan. Consistent with the State Planning Policies, it is understood that the Planning Scheme has been determined to appropriately advance the Regional Plan and, on that basis, no further assessment is required in this instance.

### 5.1.7 Referral Agencies

The subject has frontage to a State-controlled road and has no formed access. On that basis, the application is required to be referred to the State Assessment and Referral Agency for consideration of impacts on the state-controlled road.

### 5.1.8 State Development Assessment Provisions

As the site has frontage to a state controlled road and no formed access, the application is required to be assessed against the State Code 1: Development in a State-controlled road environment.

An assessment is provided at Appendix 3.

The application is considered to comply with all relevant Assessment Benchmarks.

## 6.0 Local Planning Considerations

### 6.1 Douglas Shire Council Planning Scheme

Within the Douglas Shire Council Planning Scheme (2018), the site is identified within the Rural Zone and is affected by the following Overlays:

- Acid Sulfate Soils - 5m AHD;
- Coastal Environment – Erosion Prone Area (part);
- Flood and Storm Tide Hazard – medium and high storm tide hazard and floodplain assessment;
- Landscape Values – Medium Landscape Value; and,
- Natural Areas – MSES Regulated Vegetation Intersecting a watercourse.

The Table below identifies the applicable Assessment Benchmarks contained within the Planning Scheme.

| Assessment Benchmark | Applicability | Compliance |
|---|---|---|
| Rural Zone Code | Applies | Complies or able to comply with all relevant Assessment Benchmarks. |
| Acid Sulfate Soils Overlay Code | Applies | Complies with all applicable Assessment Benchmarks. |
| Coastal Environment Overlay Code | Applies | Complies with all applicable Assessment Benchmarks. |
| Flood And Storm Tide Hazard Overlay Code | Applies | Consideration is required in respect of Performance Outcome PO1. Refer below. |
| Landscape Values Overlay Code | Not applicable | Not an identified Assessment Benchmark. |
| Natural Areas Overlay Code | Not applicable | The state planning policy does not identify any Matters of State Significance on the site. In accordance with S 8(4) of the Planning Act 2016, the SPP prevails over the Planning Scheme. This is not a relevant |

| | | |
|---|---|---|
| | | Assessment Benchmark. |
| Dwelling House Code | Applies | Complies with all Relevant Assessment Benchmarks. |
| Access, Parking and Servicing Code | Applies | Complies with all Relevant Assessment Benchmarks |
| Filling and Excavation Code | Applies | Complies with all Relevant Assessment Benchmarks |
| Vegetation Management Code | Not applicable | No vegetation damage is proposed. |

### 6.1.1 Statement of Compliance – Benchmark Assessment

#### *6.1.1.1 Flood and Storm Tide Hazard Overlay Code*

Performance Outcome PO1 of the Flood and Storm Tide Hazard Overlay Code states:

***PO1***

*Development is located and designed to:*

*(a) ensure the safety of all persons;*
*(b) minimise damage to the development and contents of buildings;*
*(c) provide suitable amenity;*
*(d) minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events.*

The associated Acceptable Outcome states:

***AO1.2***

*Development within the Flood and Storm Tide hazards overlay maps (excluding the Flood plain assessment sub-category) is designed to provide immunity to the Defined Inundation Event as outlined within Table 8.2.4.3.b plus a freeboard of 300mm.*

The site is within the medium and high storm tide hazard and floodplain assessment overlay where it is understood that the minimum finished floor level is required to be 3.4m AHD. The proposed Dwelling House is envisaged as having a finished floor level of greater than 3.4m AHD, being located in part of the site with a ground level of 3.75m AHD.

The proposed development would ensure the safety of all persons, minimise damage to buildings and provide a suitable amenity and minimise disruption and is considered to be consistent with the Performance Outcome.

## 7.0 Summary and Conclusion

This report has been prepared on behalf of Rebecca and Royce Scomazzon in support of a Development Application to Douglas Shire Council for a Development Permit for Material Change of Use for the purpose of a Dwelling House on land located at Lot 255 Mossman Daintree Road, Miallo, and described as Lot 255 on SR364.

The site contains an area of 16.66 hectares and has frontage to Mossman Daintree Road of approximately 322 metres. The site is currently cleared and is used for the cultivation of sugar cane. To the rear of the site is what appears to be a detention basis for stormwater.

It is proposed to develop the site for the purpose of a dwelling house. The house would contain three bedrooms and have a floor area of in the order of 297.9m$^2$ including verandah and garage. It would be setback approximately 65 metres from the road frontage and a minimum of 100 meters form side and rear boundaries.

The application is identified as being Accepted subject to requirements. Where the development can satisfy the requirements a planning application is not required. However, where the requirements cannot be satisfied a code assessable application is required to be submitted to Council for approval. In this instance an application is required on the basis of the proposed siting of the dwelling within the flood and storm tide hazard overlay maps.

An assessment has demonstrated that the proposed development is considered to be consistent with the Codes contained within the Planning Scheme and is considered to be a suitable use of the site. The development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the use without adverse impact on the amenity of the area.

The application is submitted for approval, subject to reasonable and relevant conditions.

## Appendix 1.

# CERTIFICATE OF TITLE

FOR OPENING NOTIFICATIONS SEE BACK

| Por Nº | Farm Nº | Selector | D and D passed on | Remarks | Por Nº | Farm Nº | Selector | D and D passed on | Remarks |
|---|---|---|---|---|---|---|---|---|---|
| 9 | S.L. 18860 | | | | | | | | |

255 ~~S.L.24551~~ F. 78.189 (16·66 ha)
~~256 S.L.24552~~
256 (16·860 ha) S.L.P.F 719 L.

SURVEY OFFICE
No. 4137 LSC
Date 29.5.64
QUEENSLAND

**Traverses and Secants**

| Line | Bearing | Dist. |
|---|---|---|
| 8 - 9 | 149°26' | 2323 |
| 18 - 18a | 213° 13' | 2389 |

**Reference to Corners**

| Cor | Bearing | From | Dist. | Marks |
|---|---|---|---|---|
| | | | | |

**Iron Pins**

| Cor | Bearing | Dist | |
|---|---|---|---|
| 2 | 90°02' | 7·0 | Orig |
| 3 | 90°02' | 8·25 | |
| 5 | 70°44' | 5·13 | |
| 6 | 74°30' | 4·75 | |
| 7 | 77°56' | 7·68 | |
| 8 | 90°02' | 4·16 | |
| 9 | 358°36' | 5·0 | " |
| 10 | 90°02' | 5·0 | " |
| 13 | 156°24' | 5·4 | |

**For Additional Plan & Document Notings Refer to CISP**

2 O.I.P. O.P. Obsd.
ROAD
Datum Not to Scale
338°44'
64 Sr. 4
65 Sr. 4
MOSSMAN
1 O.P.
262 ~~Sr. 330~~ Sr. 619
ROAD
Sugar Cane Cultivation
254 Sr. 337
1570'
(9600)
340 Sr. 490
281 Sr. 382
O.I.P. O.P.
10
Reads 270°02'30
2780·6
90°2'
3
No Mks Cnr Reins
Bloodwood
Power
158°44'
1610
DAINTREE
ROAD
200
1637·3
73v N. 157. 597
255 F
Tea Tree, Wattle
Forest
41 · 0 · 27
263 Sr. 293 R. 44
Camping Reserve
11
270°02'
Mahogany
2709·1
544·964
4
Transmission
420
Tramway
347 Sr. 540
256
Freshly cleared land
41 · 2 · 26
5
710
162°45'
263 ~~Sr. 385~~ Sr. 540 R. 44
156°24'
1729·2
WIDE
74v N. 157. 597
Cultivation.
6
530
166°15'
85
ROAD
Camping Res.
270°02'
12
2505·8
7
Cane
9 See Sr. 601
885·3
Vittorio G. Scomazzon & anr. as Ts. in C. 64.1675
19 · 1 · 38
Sr. 549
8
169°36'
Sugar
No Mks
13
2300·2
ROAD
270°02'
200
WIDE
O. Steel Peg
9 O.I.P.
ROAD
13a No Mks.
16
Sub 3
POR
Rds 178°36'30" 57·5
O.P.
B
Sub 4 Sr. 259
152
PLAN OF N. 157. 42

Covers Sr. 228
Partly covers Sr. 293.

**Adjustments**

| Por | Reference | Previous Area | Date | Charted |
|---|---|---|---|---|
| | | | | |



*I hereby certify that I, in person, made, and on the* 19 Dec 1963 *completed the survey represented by this plan, on which are written the bearings and lengths of the lines surveyed by me, and that the survey has been executed in accordance with the existing regulations of the Surveyor-General's Department.*

J.E. Chapman
Auth. Surveyor

**Meridian Observations**

| Register Nº | Station Nº | Date | Lat | Long | Variation Observed | Variation C.A.M. |
|---|---|---|---|---|---|---|
| | | | | | | |

Meridian of Sr. 337 C.A.M.

S.L. 18860
*Date of Instructions* Private
*Date of transmission of plans &c.* 26.5.64
*Examined by* [illegible] *Calc. Book Nº* 1372
*Voucher Nº* *Payment* {Adv. Bal.
*Charted by* J.G.K. 3.10.64
*Sales Register Vol.* *Fol.*

Scale 8 Chains to an Inch.

*PORTION Nos.* 9, 255, 256
*PARISH OF* WHYANBEEL
*County of* Solander
*Land Agents* } Cairns
*District of* }
*Cat. Nº* Sr. 364

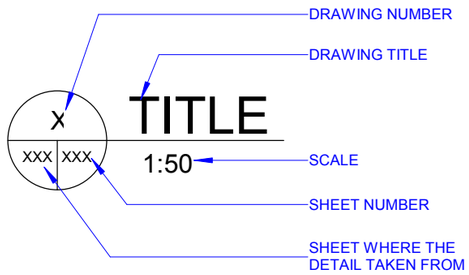
## Appendix 2.

# PROPOSAL PLANS

| Sheet List | |
|---|---|
| Sheet Number | Sheet Name |
| S00A | 3D VIEW |
| S01A | SITE PLAN |
| S02A | PROPOSED PLAN |
| S03A | ELEVATIONS |
| S04A | ELEVATIONS |
| S05A | SECTIONS |
| S06A | FOUNDATION PLAN |
| S07A | STARTER BAR PLAN |
| S08A | ROOF FRAMING PLAN |
| S09A | STRUCTURAL DETAILS |
| S10A | STRUCTURAL DETAILS |
| S11A | STRUCTURAL DETAILS |
| S12A | STRUCTURAL DETAILS |
| S13A | STRUCTURAL DETAILS |
| S14A | STRUCTURAL NOTES |
| S15A | STRUCTURAL NOTES |
| S16A | STRUCTURAL NOTES |
| S17A | WET AREA DETAIL |
| S18A | CEILING PLAN |
| S19A | ELECTRICAL PLAN |
| S20A | PLUMBING PLAN |
| S21A | 3D VIEWS |
| S22A | 3D VIEWS |
| S23A | 3D VIEWS |

1 S00A 3D View 1

2 S00A 3D View 2





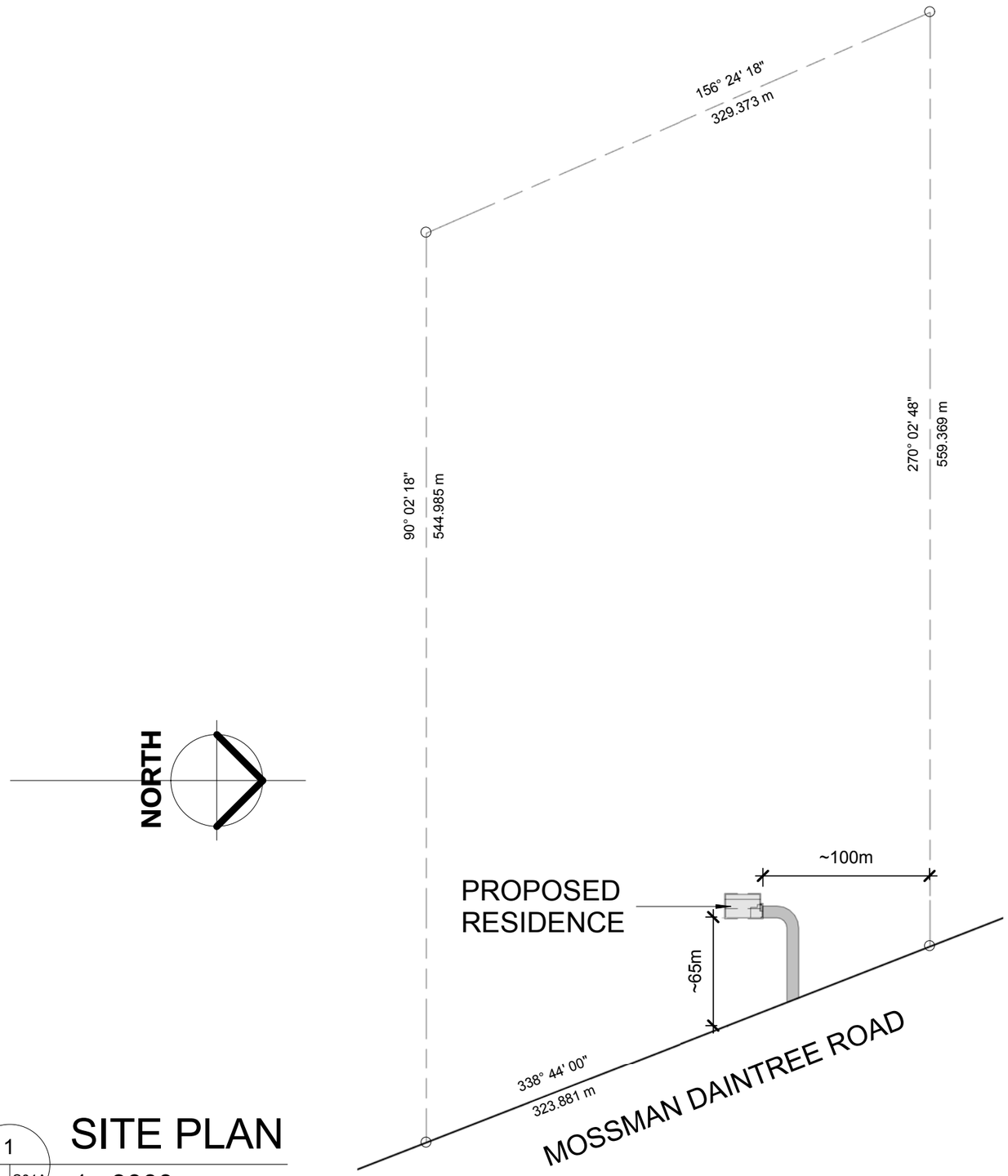

| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

AKTIV Engineering
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
5 Terminalia, Redlynch, QLD
MOBILE: 0429 805 068 EMAIL: AKTIVENG@OUTLOOOK.COM ABN: 23 451 595 939

TITLE
PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.
3D VIEW

DRAWING No. JDP-856/S00A
SHEET SHEET 00 OF 23 A3
SCALE
DATE 09.11.20
REVISION A




1 S01A

# SITE PLAN

1 : 3000

## R.P.D.

LOT 225
SR364
SITE AREA 166,600 SQ.M
LOCAL AUTHORITY - SHIRE OF DOUGLAS

## DRAINAGE

NEW SOIL & SULLAGE DRAINAGE TO COUNCIL SEWER IN ACCORDANCE WITH WATER SUPPLY & SEWERAGE ACT & AMENDMENTS
NEW STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH A.S.3500 & LOCAL AUTHORITY GUIDELINES & B.C.A REQUIREMENTS.

## NOTES

ALL DRAINAGE TO COMPLY WITH B.C.A. PART 3.1.2 DRAINAGE. FALL FINISHED GROUND @1:20 FOR MIN 1M AROUND PERIMETER OF FOUNDATIONS.

ALTERNATIVE METHODS OF SURFACE WATER CONTROL TO BE APPROVED BY PRIVATE CERTIFIER PRIOR TO INSTALLATION.

ALL EARTHWORKS TO BE IN ACCORDANCE WITH B.C.A. PART 3.1.1 OR ENGINEERS SPECIFICATION.

ALL LEVELS, HEIGHTS AND DIMENSIONS TO BE CONFIRMED PRIOR TO THE START OF ANY WORKS. DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH QDC NMP 1.1, A.S. 2890 AND LOCAL AUTHORITY REQ'S.



STRUCTURALLY CERTIFIED BY
AKTIV ENGINEERING
ABN: 23451595939 E:AktivEng@Outlook.com
Daniel Post MIEAust CPEng NPER RPEQ
Job No: JDP-856 Signed:
Date: 09.11.20 RPEQ No: 15242

| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

AKTIV Engineering
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
5 Terminalia, Redlynch, QLD
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TITLE
PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.
SITE PLAN

DRAWING No. JDP-856/S01A
SHEET SHEET 01 OF 23 A3
SCALE As indicated
DATE 09.11.20
REVISION A

## CONSTRUCTION NOTES:

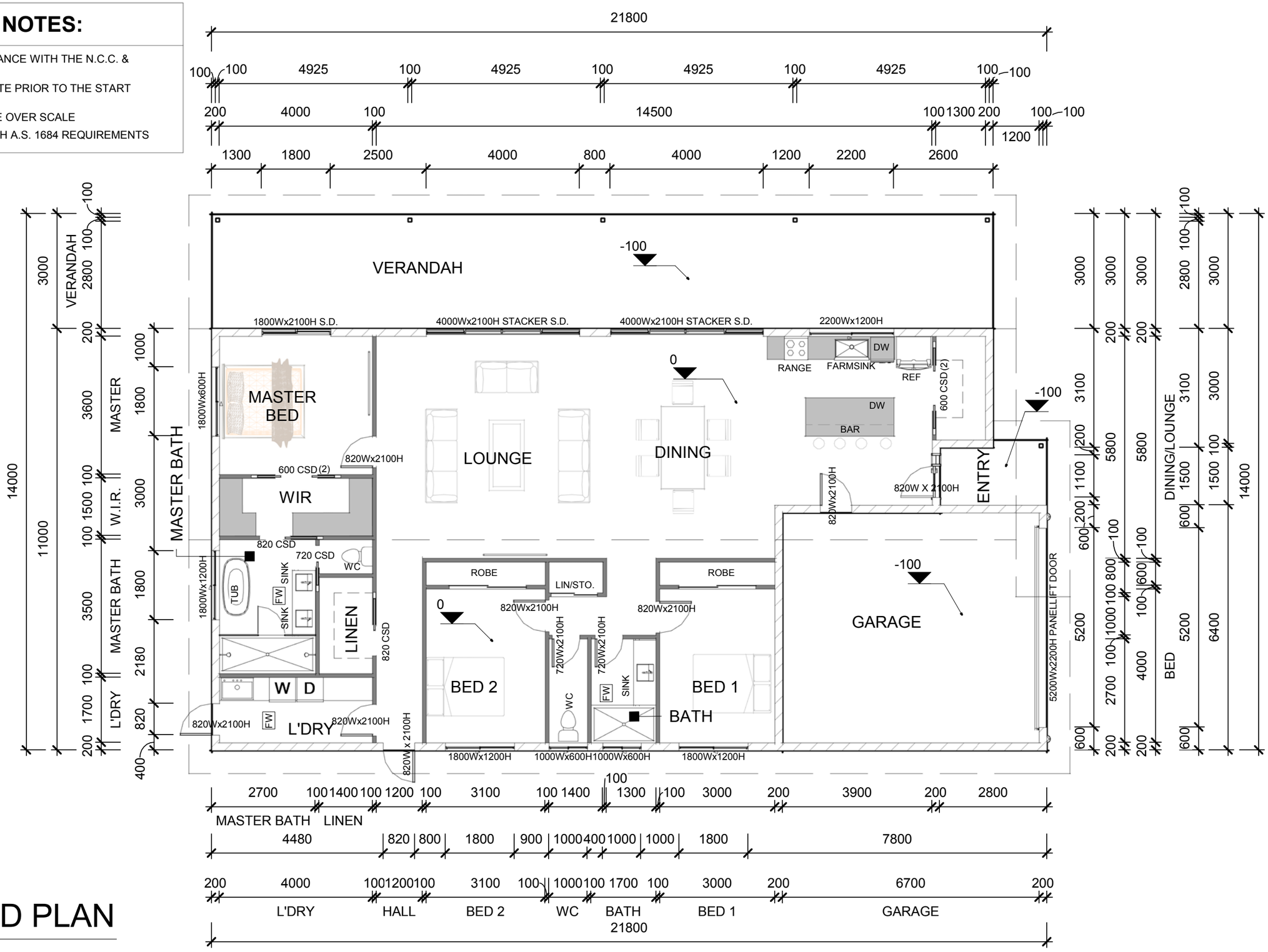
ALL CONSTRUCTION METHODS TO BE IN ACCORDANCE WITH THE N.C.C. & RELEVENT AUSTRALIAN STANDARDS

ALL LEVELS & DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO THE START OF ANY WORKS.

ALL WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH A.S. 1684 REQUIREMENTS

| Area Schedule | |
|---|---|
| Name | Area |
| PROPOSED RESIDENCE | 188.9 m² |
| VERANDAH | 61.8 m² |
| GARAGE | 43.3 m² |
| ENTRY | 3.9 m² |
| | 297.9 m² |




# PROPOSED PLAN

1 : 100



STRUCTURALLY CERTIFIED BY
AKTIV ENGINEERING
ABN: 23451595939 E:AktivEng@Outlook.com
Daniel Post MIEAust CPEng NPER RPEQ
Job No: JDP-856 Signed:
Date: 09.11.20 RPEQ No: 15242

| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

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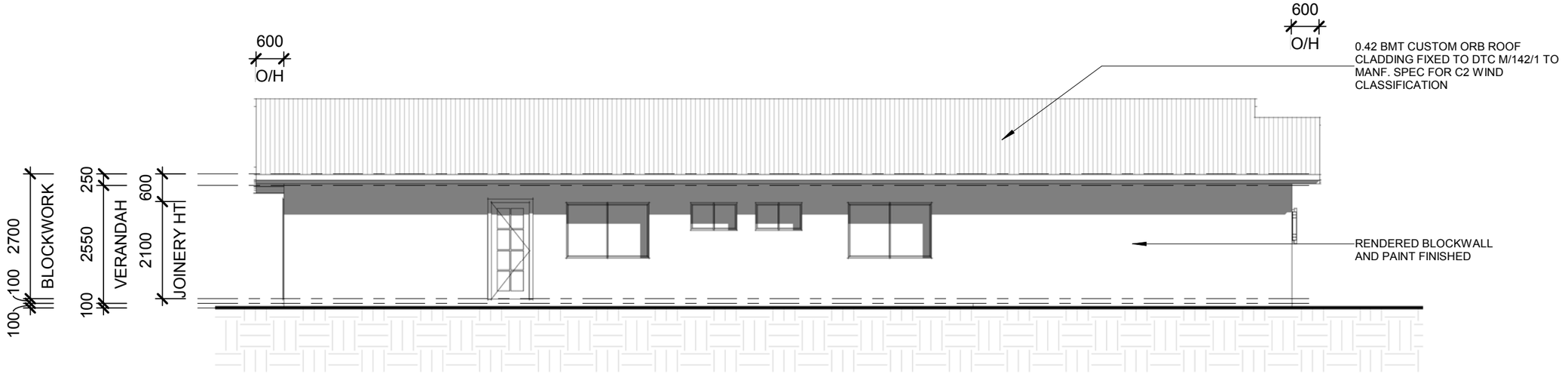
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
5 Terminalia, Redlynch, QLD
MOBILE: 0429 805 068 EMAIL: AKTIVENG@OUTLOOOK.COM ABN: 23 451 595 939

TITLE
PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.
PROPOSED PLAN

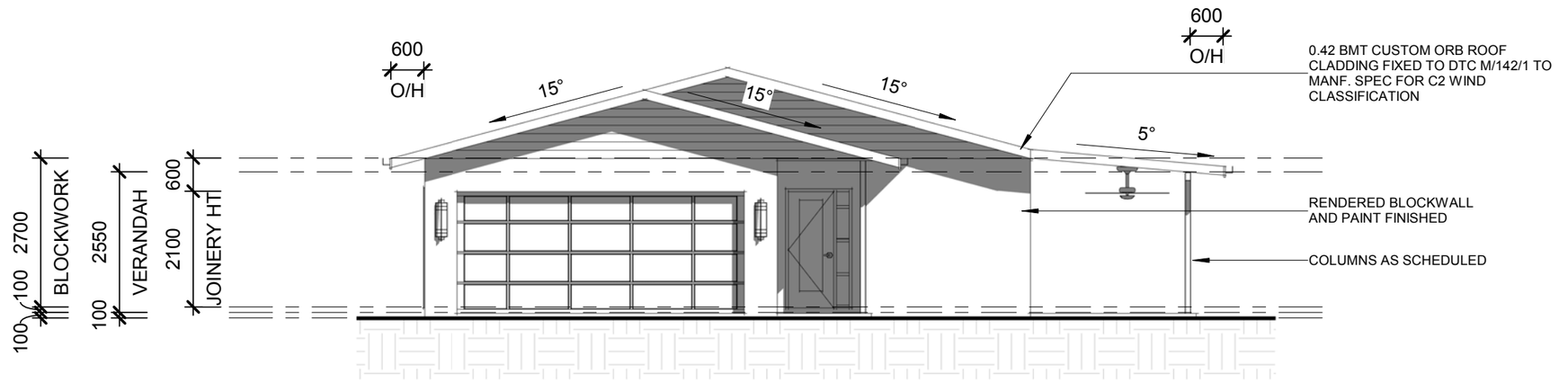
DRAWING No. JDP-856/S02A
SHEET SHEET 02 OF 23 A3
SCALE 1 : 100
DATE 09.11.20
REVISION A




1 S03A

# LEFT ELEVATION

1 : 100




2 S03A

# FRONT ELEVATION

1 : 100



STRUCTURALLY CERTIFIED BY
AKTIV ENGINEERING
ABN: 23451595939 E:AktivEng@Outlook.com
Daniel Post MIEAust CPEng NPER RPEQ
Job No: JDP-856 Signed:
Date: 09.11.20 RPEQ No: 15242

| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

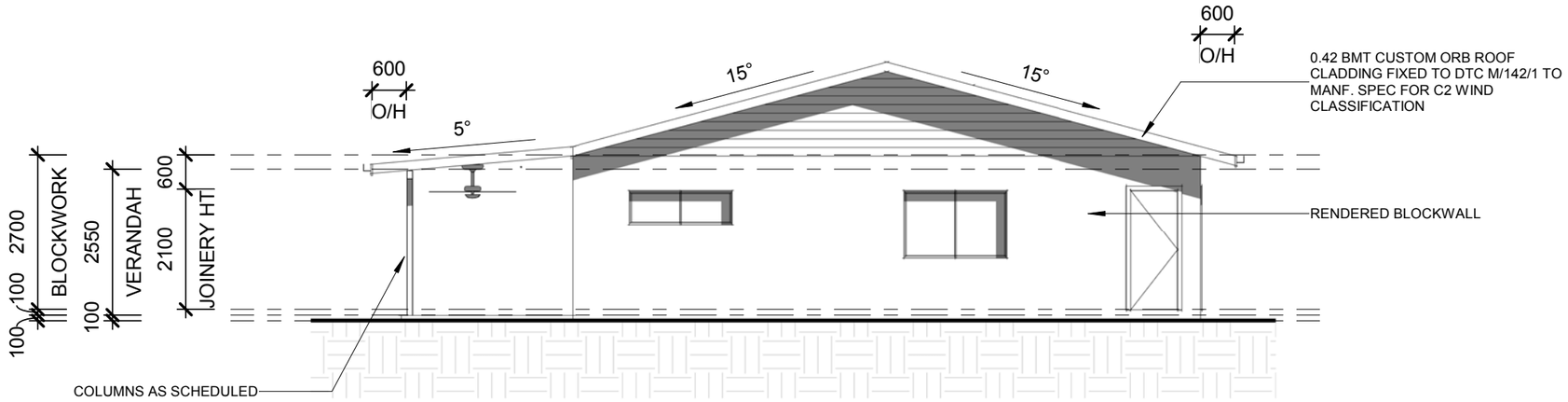
AKTIV Engineering
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
5 Terminalia, Redlynch, QLD
MOBILE: 0429 805 068 EMAIL: AKTIVENG@OUTLOOOK.COM ABN: 23 451 595 939

TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

ELEVATIONS

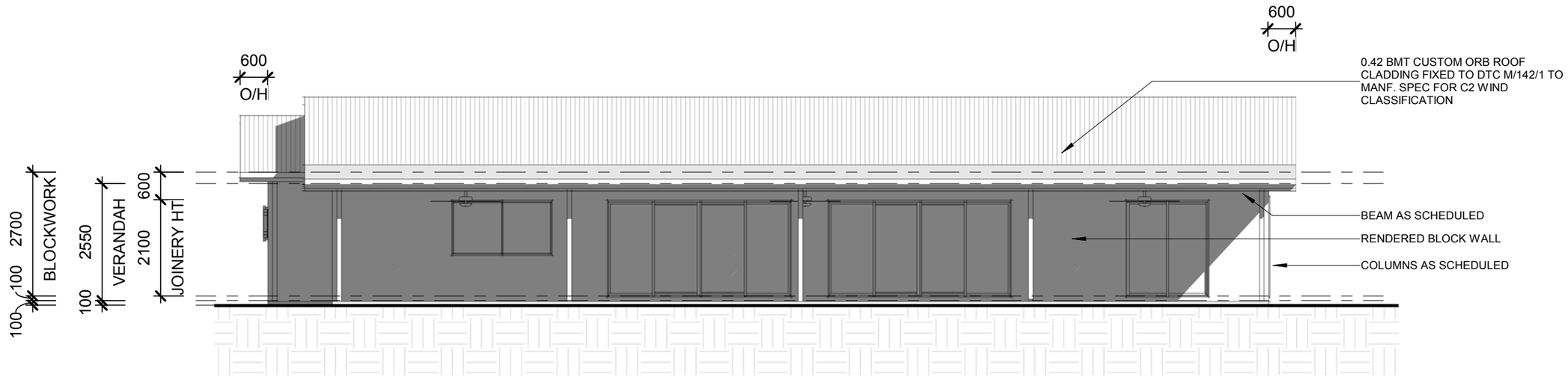
DRAWING No. JDP-856/S03A
SHEET SHEET 03 OF 23 A3
SCALE 1 : 100
DATE 09.11.20
REVISION A




1 S04A

# REAR ELEVATION

1 : 100




2 S04A

# RIGHT ELEVATION

1 : 100



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Daniel Post MIEAust CPEng NPER RPEQ
Job No: JDP-856 Signed:
Date: 09.11.20 RPEQ No: 15242

| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
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AMENDMENTS

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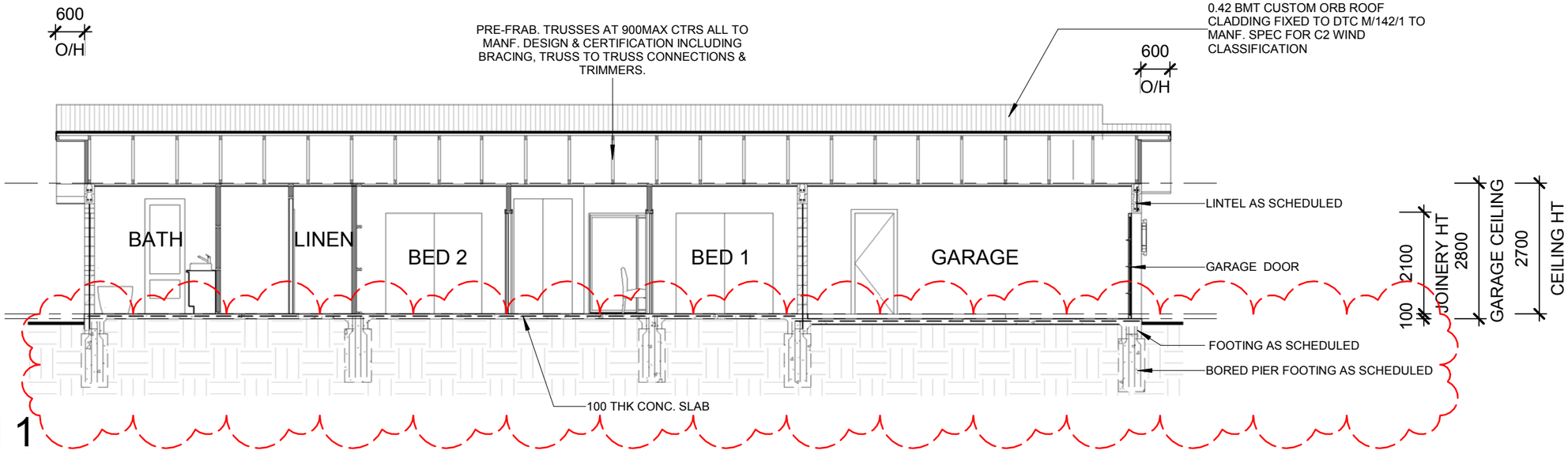
TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

ELEVATIONS

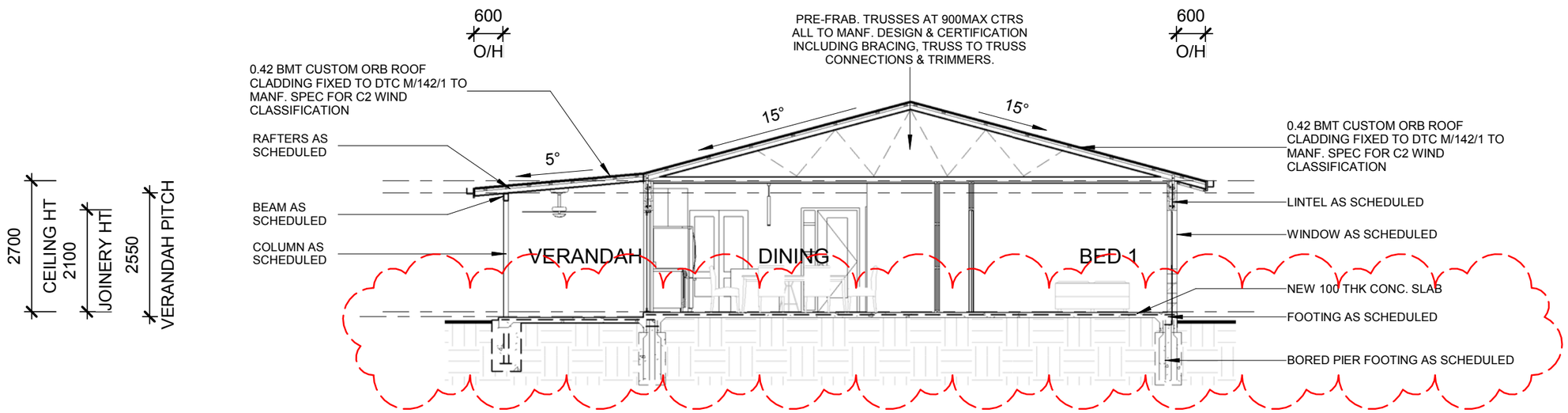
DRAWING No. JDP-856/S04A
SHEET SHEET 04 OF 23 A3
SCALE 1 : 100
DATE 09.11.20
REVISION A




1 / S05A

# SECTION 1

1 : 100




2 / S05A

# SECTION 2

1 : 100



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Date: 09.11.20 RPEQ No: 15242

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|---|---|---|---|
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TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

SECTIONS

DRAWING No. JDP-856/S05A

SHEET SHEET 05 OF 23 A3

SCALE 1 : 100

DATE 09.11.20

REVISION A

**LEGEND:**

C1- 100 x 4 SHS COLUMN

C2- 100x5 SHS COLUMN

F1- 450DIA or 600DIA x 1200MIN. DEEP BORED PIER FOOTING

F2- 450DIA or 600DIA x 1200MIN. DEEP BORED PIER FOOTING

F3 450DIA X 1200D BORED PIERS, 4N12 COG 300 TO EDGE BEAMS, TYPICAL

EB1- 400W x 400D EDGE BEAM, 3L12TM OR 4L11TM BOTTOM

IB1- 400W x 300D INTERNAL BEAM, 3L12TM OR 4L11TM BOTTOM

IB2- 400W x 400D INTERNAL BEAM, 3L12TM OR 4L11TM BOTTOM

ET1- 250W X 250D EDGE THICKENING, 2N12 BOTTOM

SCJ- SAW CUT JOINT, REFER TO DETAIL

TERMITE BARRIERS & CONTROL AS PER AS3660-2000 & NCC REQUIREMENTS, REFER ALSO STANDARD NOTES, TYPICAL.

NOTE :

1. TOP OF ALL R.C. SLABS WITH PLUMBING SERVICES TO BE 250 MINIMUM ABOVE NATURAL GROUND LEVEL BUILDER TO ALLOW FOR GRADE IN SLABS TO FLOOR WASTE
2. 50MM SETDOWN TO SLAB TO SUIT SHOWERS AS REQUIRED.
3. RECESS SLABS AS REQUIRED TO SUITE DOORS, WINDOWS & GARAGE DOOR, TYP.
4. FOOTING DESIGN BASED ON CLASS 'P' REPORT BY EARTH TEST, SI 645-20 OCT 2020.

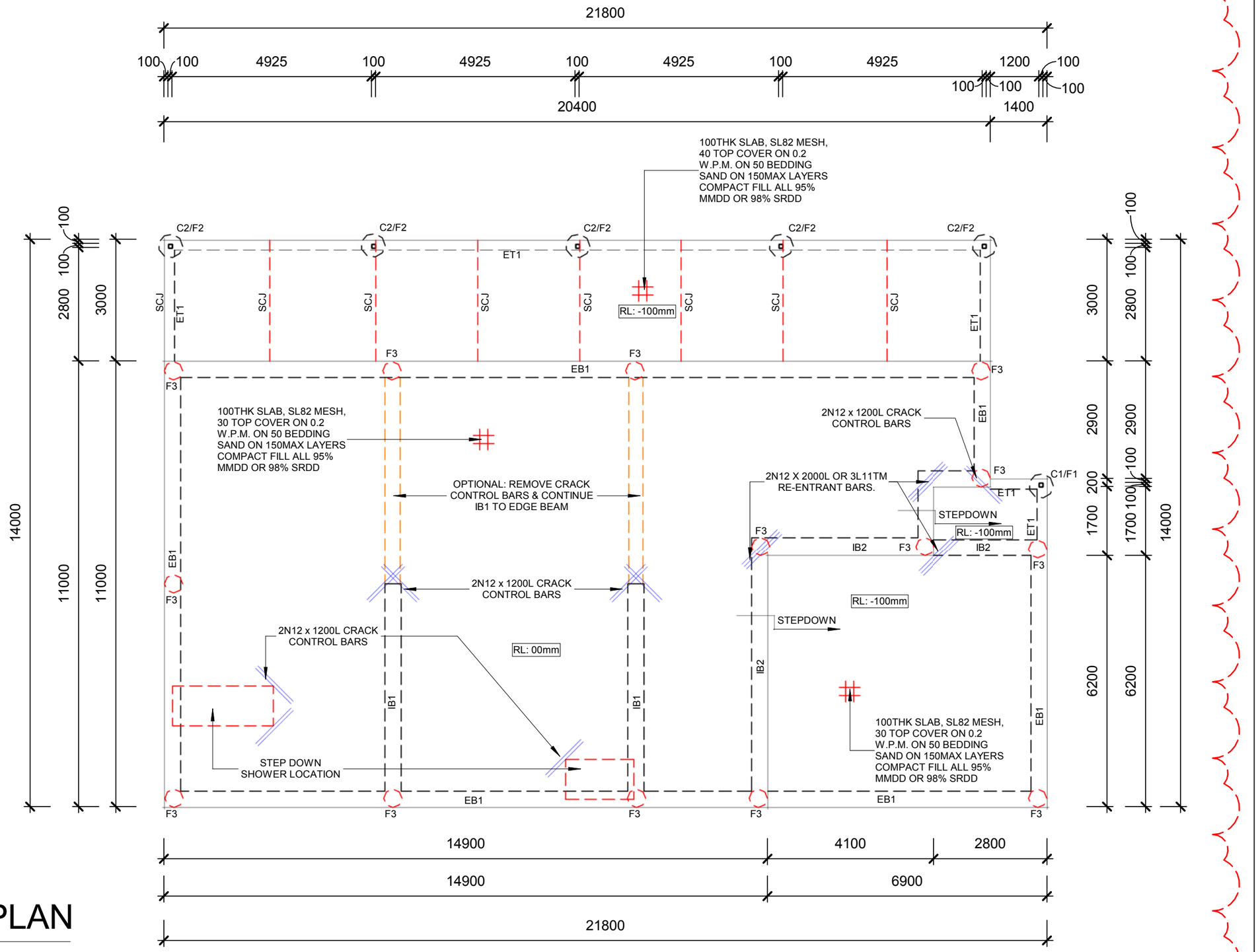
**SITE PREPARATION:**

THE CONSTRUCTION PAD IS TO BE CLEARED OF VEGETATION, LOOSE MATERIAL, ORGANIC MATERIAL, HIGHLY REACTIVE CLAYS AND LARGE ROCKS. SITE IS TO BE EXTENSIVELY TRACK-ROLLED WITH 8-10TONNE VIBRATORY ROLLER. OBSERVE SOFT SPOTS OR GROUND MOVEMENT AND MAKE GOOD AS REQUIRED. ANY SOFT SPOTS MUST BE RE-FILLED WITH SELECT COMPETENT FILL OR CRUSHER DUST AND RE-ROLLED.

WHERE TREES ARE REMOVED FROM THE BUILDING AREA, THE VOIDS CREATED BY THEIR REMOVAL MUST BE EXCAVATED, BACK-FILLED AND COMPACTED WITH SUITABLE MATERIAL.

ALL FILL MUST BE PLACED IN A CONTROLLED MANNER IN MAX 150mm DEEP LAYERS. ANY FILL SHOULD BE PLACED TO A DRY DENSITY RATIO OF 95% STANDARD OR 95% MMDD PER AS1289.5.1.1 FOR COHESIVE MATERIALS, OR A DENSITY INDEX OF NO LESS THAN 70% RELATIVE TO AS1289.5.5.1 FOR NON-COHESIVE MATERIALS.

ALL EARTHWORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH AS3798




1 / S06A

# FOUNDATION PLAN

1 : 100



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Job No: JDP-856 Signed:
Date: 09.11.20 RPEQ No: 15242

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TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

FOUNDATION PLAN

DRAWING No. JDP-856/S06A

SHEET SHEET 06 OF 23 A3

SCALE 1 : 100

DATE 09.11.20

REVISION A

**LEGEND:**

L1 -600MIN DEEP x 200 BLOCK LINTEL 2N12 (or 1N16) TOP & BOT, N12 LIGS AT 400CTRS

L2 -600MIN DEEP x 200BLOCK LINTEL, 2N16 TOP & BOTTOM, N12 LIGS AT 200CTRS

L3 -600MIN DEEP x 200BLOCK LINTEL, 2N16 TOP, 2N20 BOTTOM, N12 LIGS AT 200CTRS

PB -PLY BRACE WALL, REFER TO DETAILS

**BLOCKWORK CONSTRUCTION & LINTEL NOTES:**

EXTERNAL WALLS:

-WALL BARS TO MATCH STARTER BAR SIZE, 600LAP TO N12 & 900LAP TO N16.

-2N12 (or 1N16) FULL PERIMETER TO 2x TOP COURSES OR TOP COURSE & AT LINTEL LEVELS. INCREASE BAR SIZE AS REQUIRED AT LINTEL LOCATIONS.

-GENERALLY N12'S AT ENDS, CORNERS, JUNCTIONS, EACH SIDE OF OPENINGS & AT 800CTRS BETWEEN UNLESS NOTED OTHERWISE. N16 BARS AS NOTED ON PLANS.

**STARTER BAR NOTE:**

1. OPTIONAL NON-LOAD BEARING WALLS: 100 SERIES BLOCKWORK TO AS3700 ALL DESIGNED FOR 0.5KPA MIN. FACE LOADING OR TIMBER FRAMED STUD WALLS AS SCHEDULED.
2. INTERMEDIATE STARTER/WALL BARS AT 800MAX CTRS TO EXTERNAL WALLS & 1000MAX CTRS TO INTERNAL WALLS.

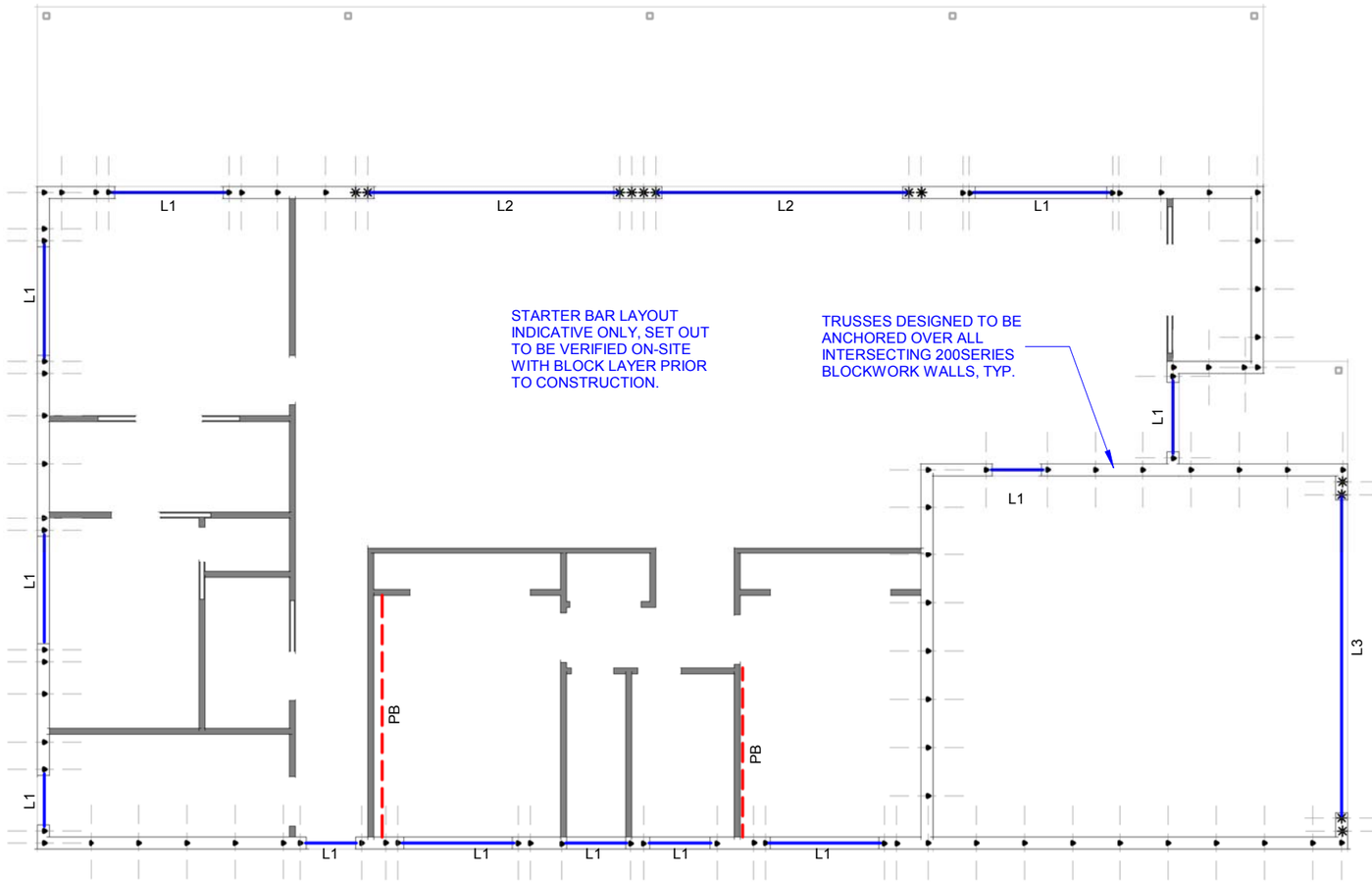
**STARTER BAR LEGEND:**

● N12 STARTER BARS

✳ N16 STARTER BARS

**DRAINAGE NOTES**

1. LICENSED PLUMBER TO CONFIRM FINAL POSITION OF ALL DRAINAGE INCLUDING STORM WATER DISPERSION, DOWNPIPE QUANTITIES & POSITIONS.
2. ALL PLUMBING & DRAINAGE WORKS TO BE IN ACCORDANCE WITH THE SEWERAGE AND WATER SUPPLY ACT, RELEVANT AUSTRALIAN STANDARDS & NCC. REFER ALSO GENERAL NOTES.
3. DRAIN ALL SURFACE WATER AWAY FROM RESIDENCE DURING & AFTER CONSTRUCTION PER REQUIREMENTS OF AS2870 RESIDENTIAL SLABS & FOOTINGS.




1 / S07A

# STARTER BAR PLAN

1 : 100



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| 2 | AMENDMENTS A | 11-2020 | DP |
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TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

STARTER BAR PLAN

DRAWING No. JDP-856/S07A

SHEET SHEET 07 OF 23 A3

SCALE 1 : 100

DATE 09.11.20

REVISION A

**FRAMING NOTES:**

1. 0.42 BMT CUSTOM ORB ROOF CLADDING FIXED TO DTC M/142/1 TO MANF. SPEC FOR C2 WIND CLASSIFICATION
2. P.M. BARGE END FLASHINGS, FASCIA & GUTTERING ALL INSTALLED TO MANUF. SPECS. FOR C2.
3. OPTIONAL: EAVES & SOFFIT: 23.5MMX0.42BMT CEILING BATTENS @ 450 MAX. CTS. TO DTC M/621/1 & 6MM F.C. SOFFIT LINING FIXED TO DTC M/244/1
4. ALL SHS/RHS TO BE DURAGAL GR350 OR BETTER.
5. 10MM PLASTERBOARD TYPICAL LINING WITH 6MM VILLA BOARD TO WET AREAS ALL FIXED TO MANUF. SPECIFICATION.
6. 6THK END PLATES OR PROPRIETARY CAPS TO EXPOSED RHS/SHS ENDS
7. GLAZING, FRAMING & FIXINGS TO MANUF. DESIGN, SPECIFICATION & CERTIFICATION.
8. FRAMING TYPICALLY 90X35 H2 MGP12, STUDS AT 450MAX CTRS, MID-SPAN NOGGINS, ALL FRAMING PER REQUIREMENT OF AS1684.3.
10. RAFTER LAYOUT INDICATIVE ONLY & TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO CONSTRUCTION.
11. CONFIRM ALL UNDERGROUND SERVICES PRIOR TO CONSTRUCTION

**ROOF FRAMING:**

C1 -100 x 4 SHS COLUMN

C2 -100x5 SHS COLUMN

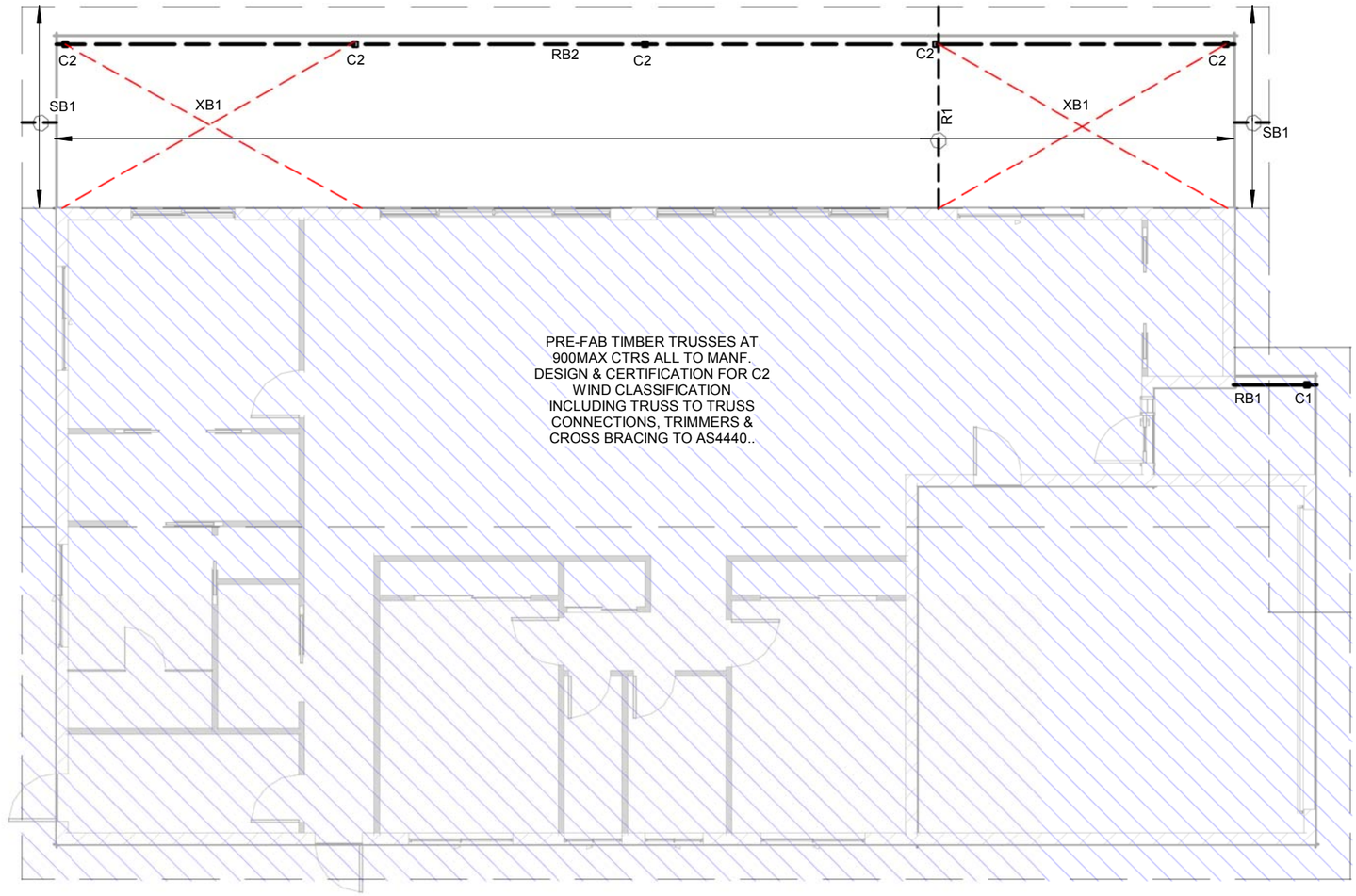
RB1 -150X100X4 RHS ROOF BEAM

RB2 - 150x100x5 RHS ROOF BEAM

R1 -125X50 F17 HW RAFTERS AT 900 MAX CTRS.

XB1- 32X1.2 G550 GALV. STRAP CROSS BRACING FIXED TO RAFTER WITH 1 NO.14 TEK,COG ENDS & FIX WITH 3NO.14 TEKS, ENSURE STRAIGHT & TIGHT

SB1- 2/90x45 H2 MGP12 SPROCKETS AT BATTEN LOCATIONS, 2/TLG FIX TO RAFTER




1 / S08A

# ROOF FRAMING PLAN

1 : 100



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TITLE

PROPOSED RESIDENCE
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ROOF FRAMING PLAN

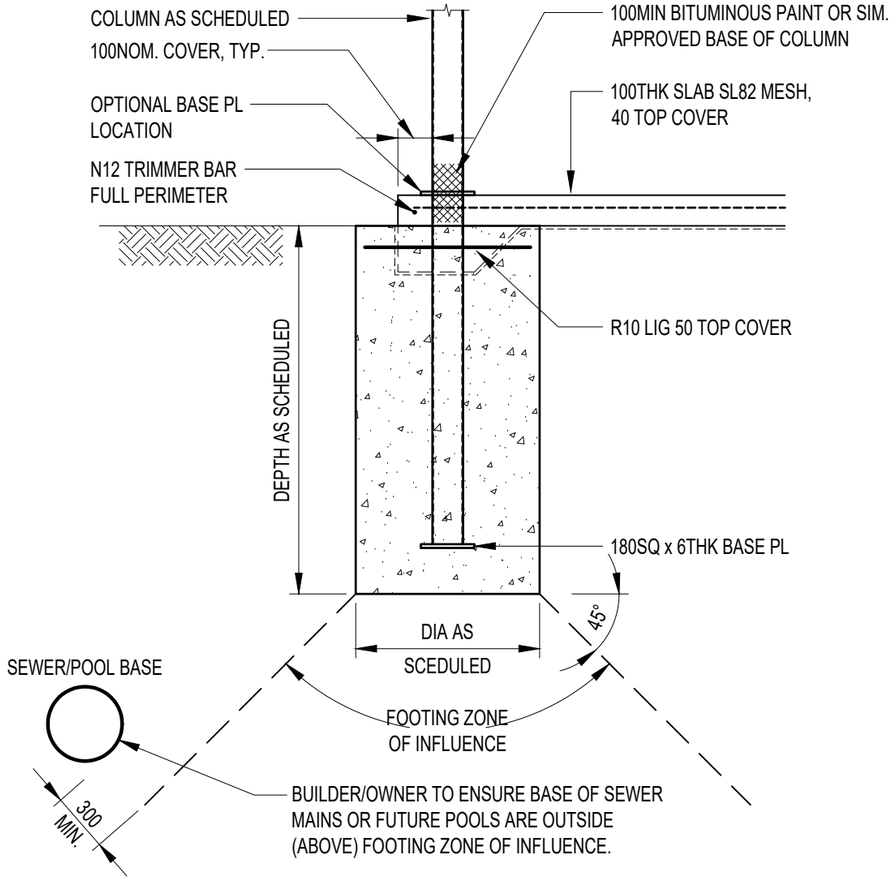
DRAWING No. JDP-856/S08A

SHEET SHEET 08 OF 23 A3

SCALE 1 : 100

DATE 09.11.20

REVISION A




## FOOTING DETAIL

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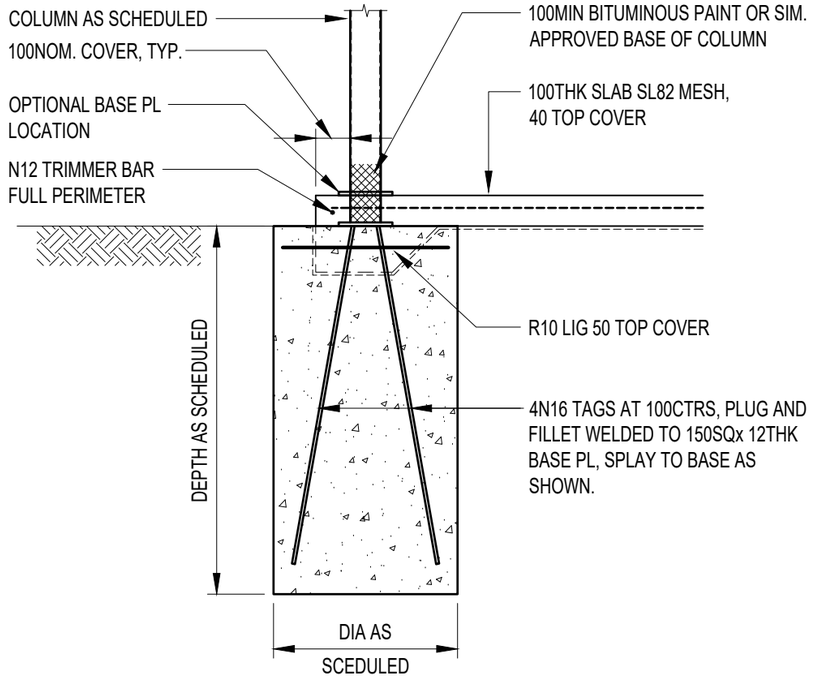
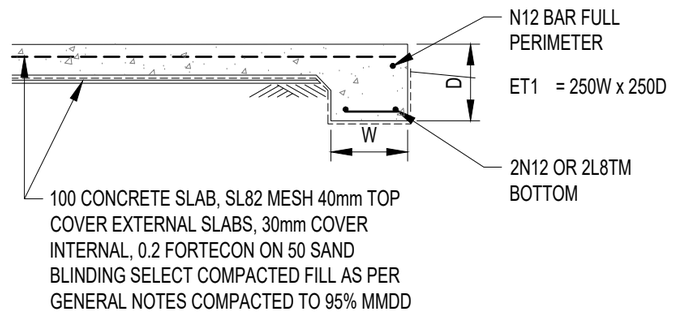



## ALTERNATIVE FOOTING DETAIL

Scale 1:20




## ET1 DETAIL

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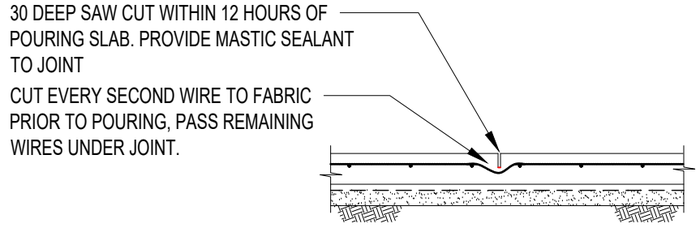
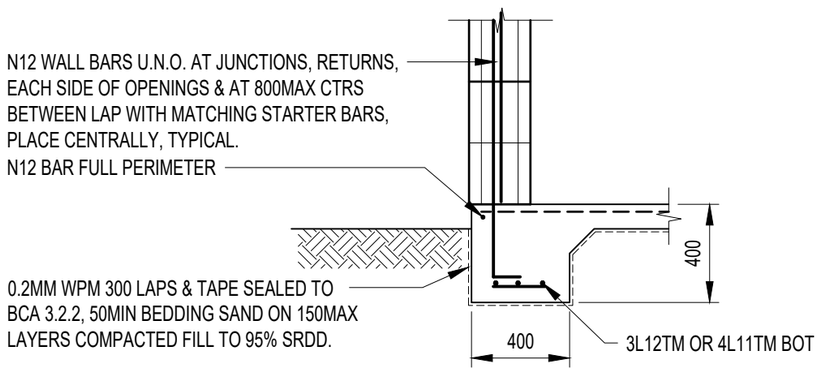


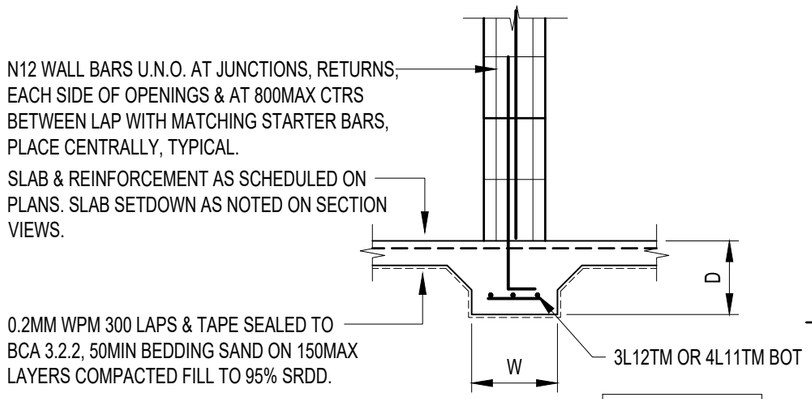

## SAWCUT JOINT DETAIL

Scale 1:20



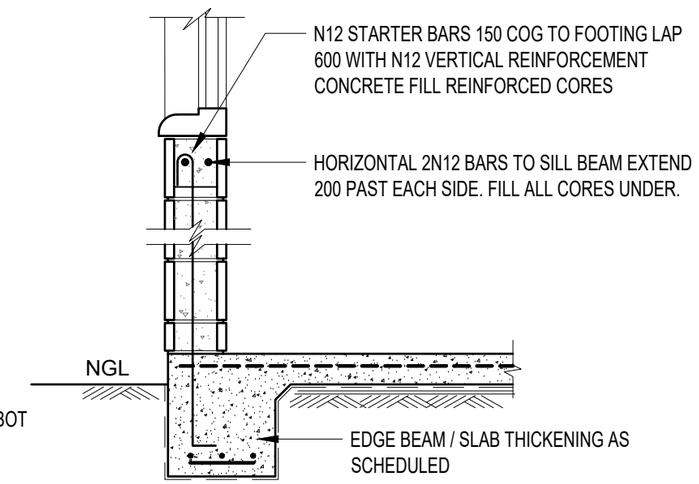

## EB1 DETAIL

Scale 1:25




## IB1/IB2 DETAIL

Scale 1:25




## SILL DETAIL

Scale 1:20



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TITLE

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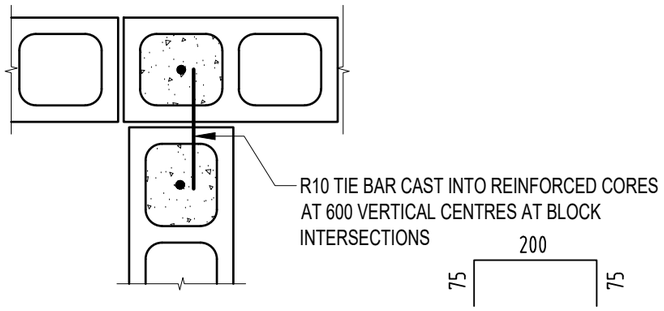
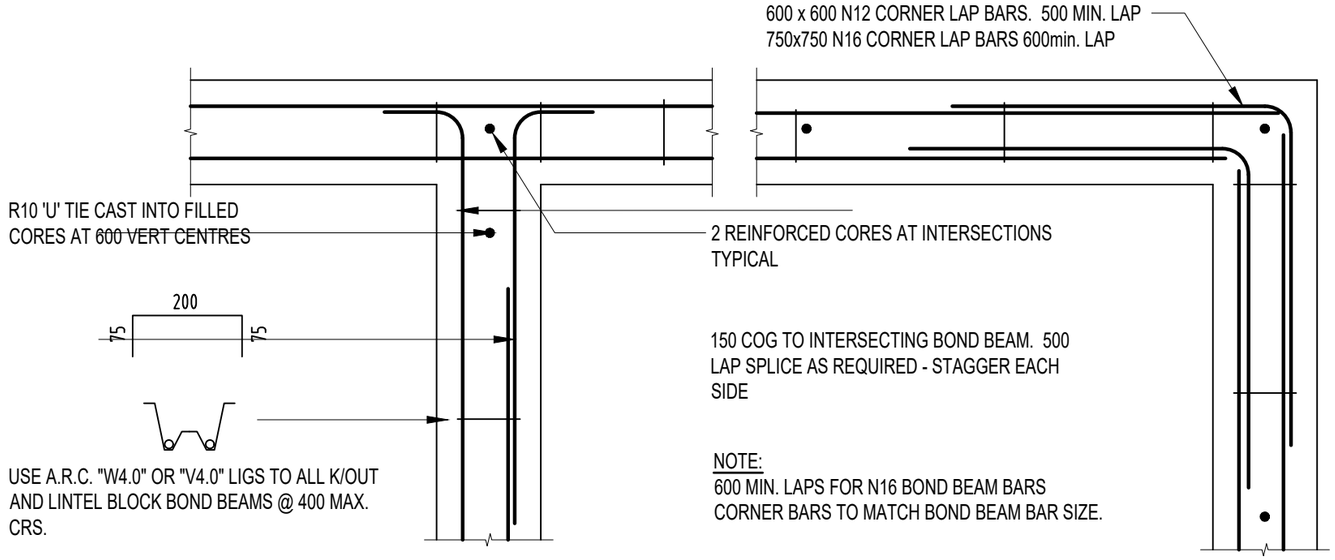
# STRUCTURAL DETAILS

| | |
|---|---|
| DRAWING No. | JDP-856/S09A |
| SHEET | SHEET 9 OF 23 — A3 |
| SCALE | AS SHOWN |
| DATE | 09 NOVEMBER 2020 |
| | JDP-856.DWG |
| REVISION | - |



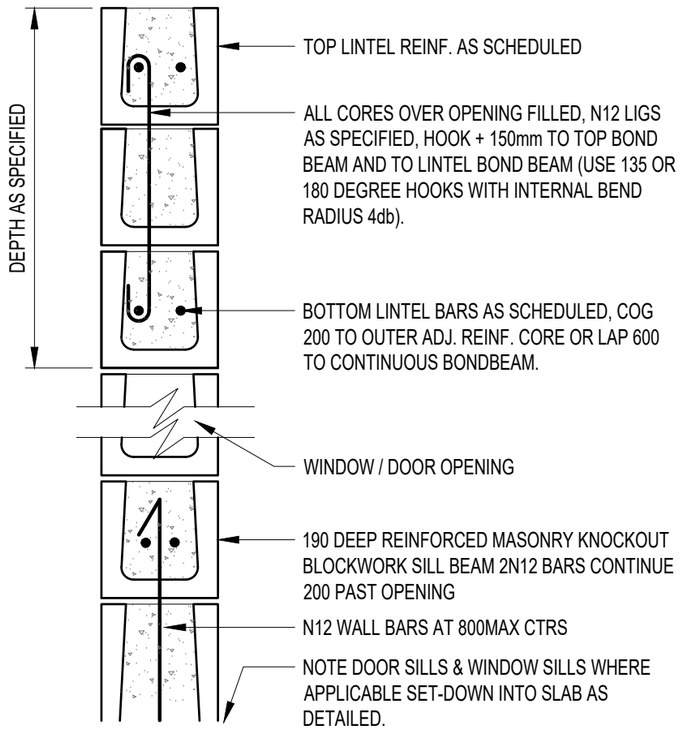

## BLOCKWORK INTERSECTION DETAILS

Scale 1:10



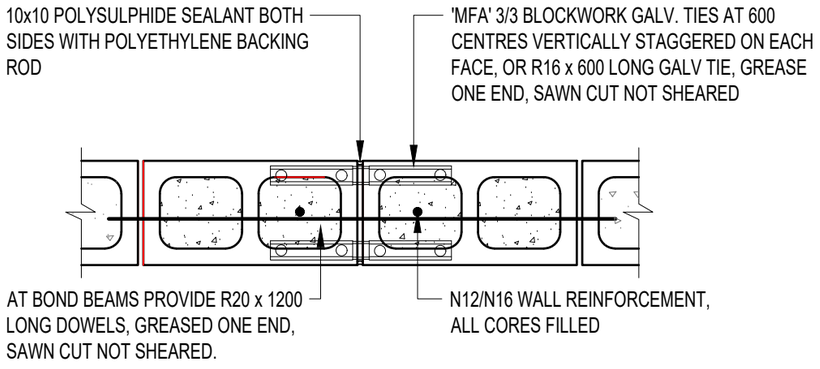

## BOND BEAM REINF. AT WALL INTERSECTIONS

Scale 1:10



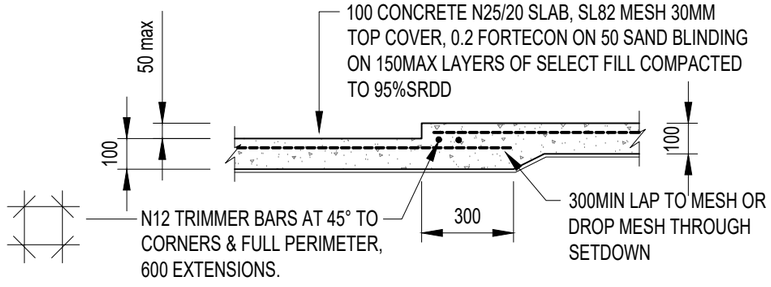

## TYPICAL WALL OPENING DETAIL

Scale 1:10




## BLOCKWORK CONTROL JOINT DETAIL (W.C.J.)

Scale 1:10




## WET AREAS STEPPED SLAB DETAIL

Scale 1:20

*ALTERNATIVE : AS2870 FIG. 5.3



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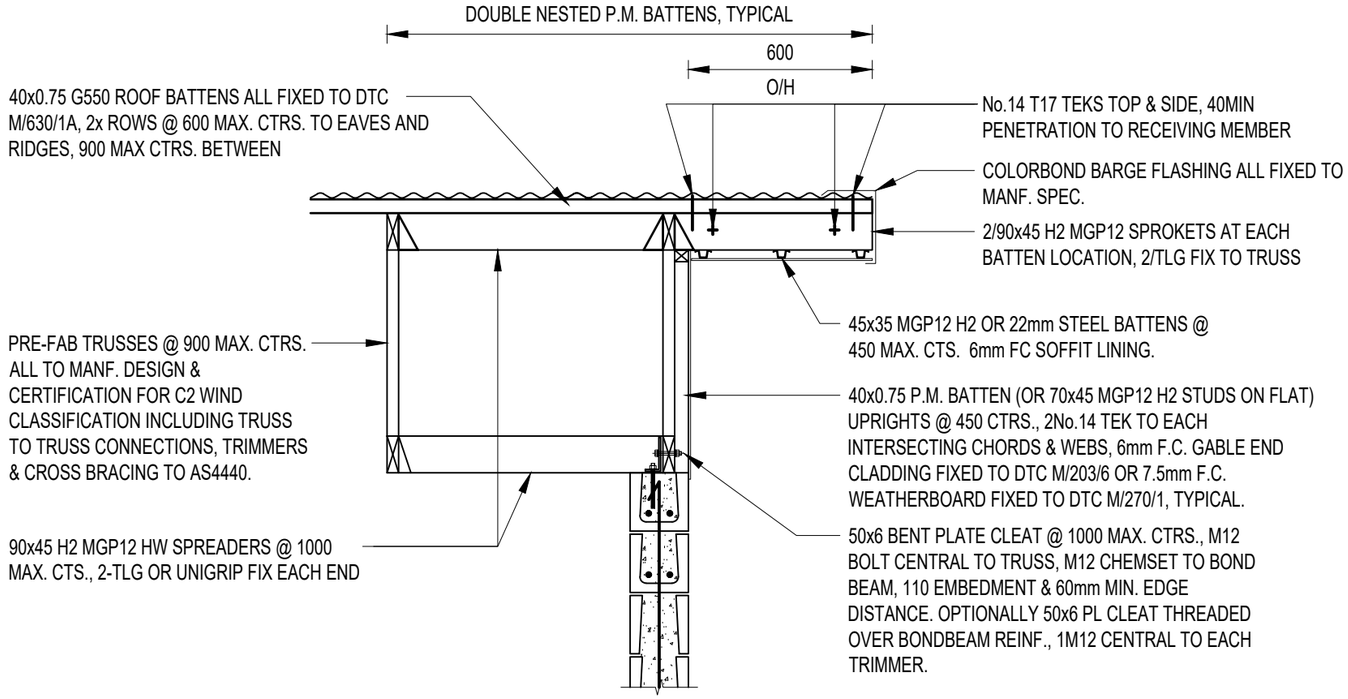
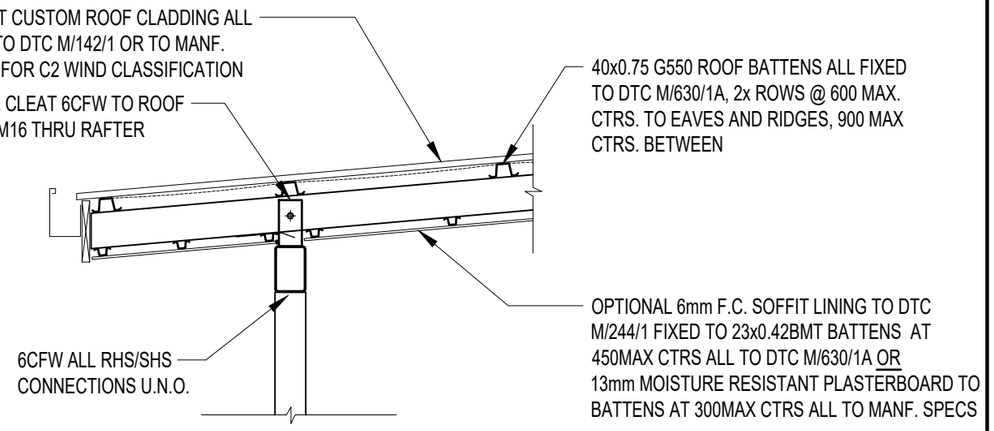
TITLE
PROPOSED RESIDENCE
LOT 255 MOSSMAN ROAD, MIALLO QLD
**STRUCTURAL DETAILS**

DRAWING No. JDP-856/S10A
SHEET SHEET 10 OF 23 **A3**
SCALE AS SHOWN
DATE 09 NOVEMBER 2020
JDP-856.DWG
REVISION -



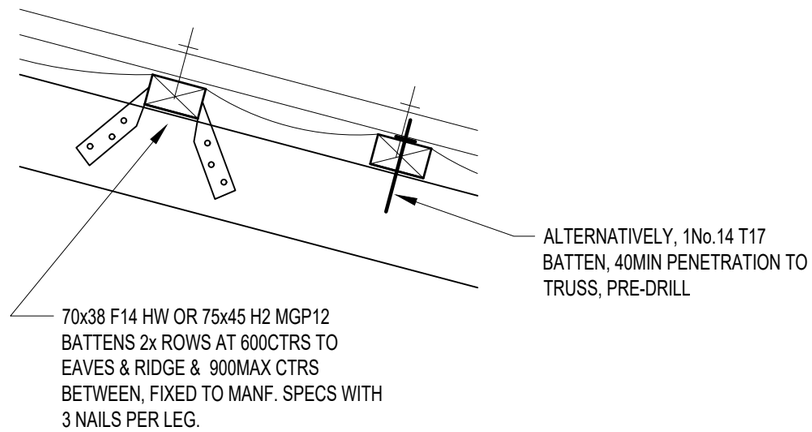

## GABLE END DETAIL

Scale 1:20



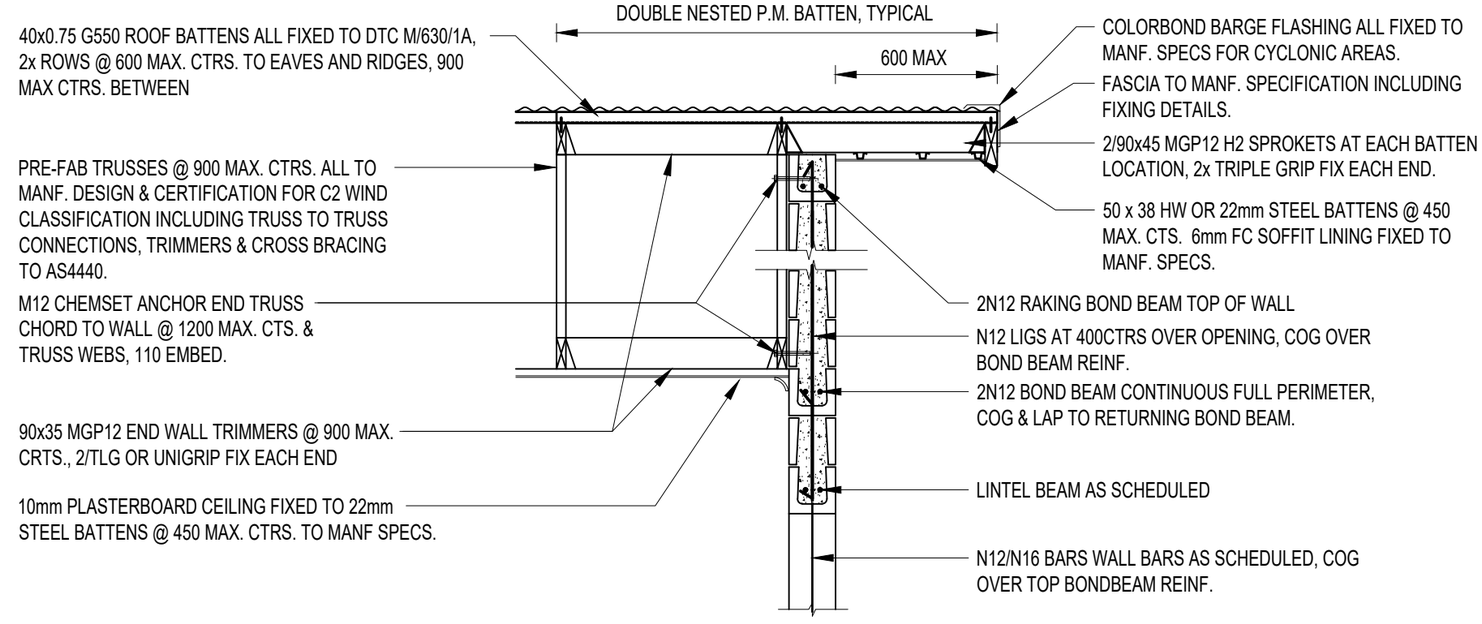

## RAFTERS TO ROOF BEAM

Scale 1:20



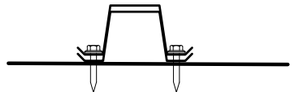

## ALTERNATIVE TIMBER ROOF BATTEN DETAIL

Scale 1:20




## ALTERNATIVE GABLE END DETAIL

Scale 1:25



## DOUBLE NESTED BATTENS



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AMENDMENTS

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TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN ROAD, MIALLO QLD

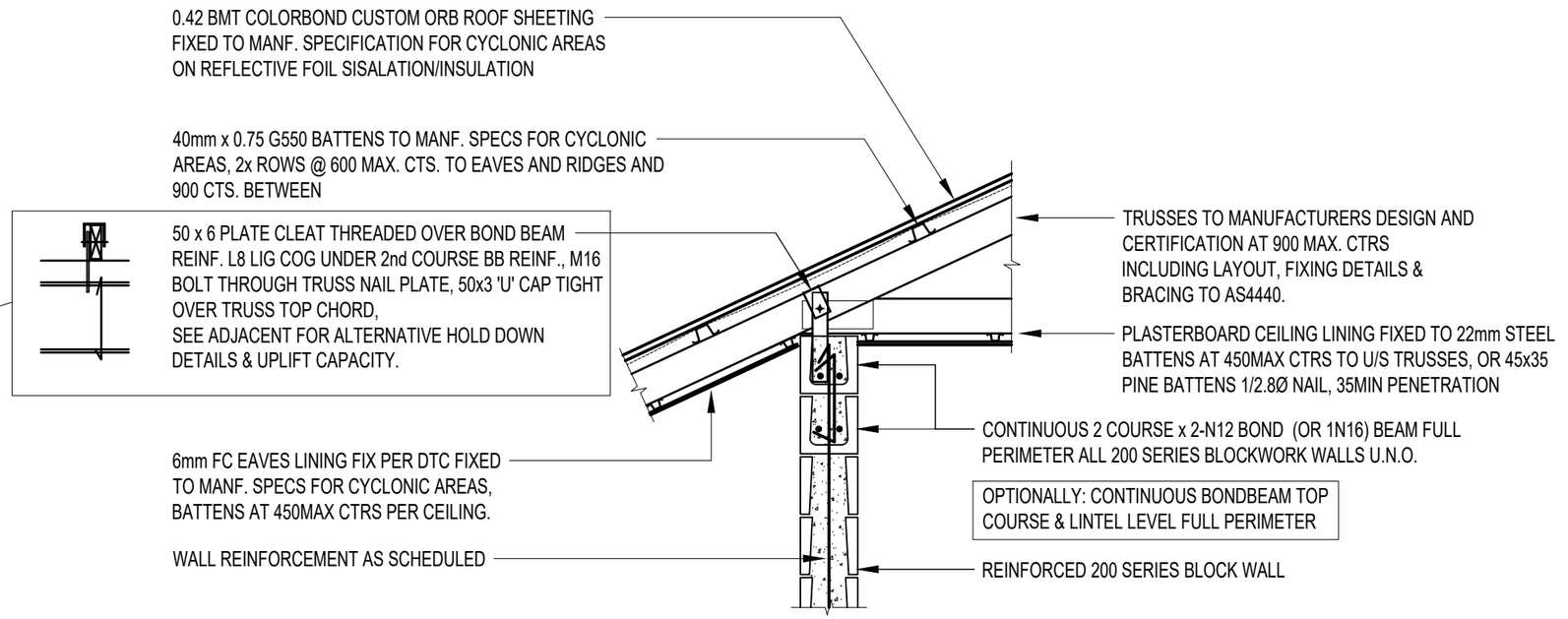
**STRUCTURAL DETAILS**

DRAWING No. JDP-856/S11A
SHEET SHEET 11 OF 23 **A3**
SCALE AS SHOWN
DATE 09 NOVEMBER 2020
JDP-856.DWG
REVISION -

## ROOF TIE DOWN SCHEDULE (kN ULTIMATE for JD4 / J3 TIMBER):

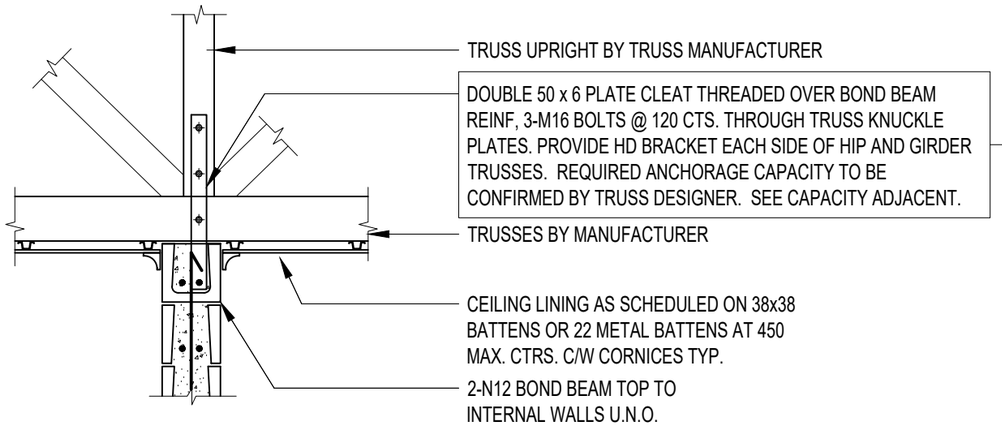
| | | |
|---|---|---|
| 1. | 50X6 PLATE CLEAT THREADED OVER N12 OR N16 BOND BEAM REINFORCEMENT, 1M12 BOLT THRU NAIL PLATE (40MIN. EDGE DIST.) CENTRAL TO TRUSS TOP CHORD. | 8 kN |
| 2. | 50X6 PLATE CLEAT THREADED OVER N12 OR N16 BOND BEAM REINFORCEMENT, 1M16 BOLT THRU NAIL PLATE (40MIN. EDGE DIST.) CENTRAL TO TRUSS TOP CHORD. 1/L8 LIG INTO SECOND COURSE | 16 kN |
| 3. | 50X6 PLATE CLEAT THREADED OVER N12 OR N16 BOND BEAM REINFORCEMENT, 1M16 BOLT THRU NAIL PLATE (40MIN. EDGE DIST.) CENTRAL TO TRUSS TOP CHORD. 50X3 'U' BRACKET SNUG FITTED OVER TRUSS TOP CHORD & CLEAT 2/L8 LIG (OR 1/N12) INTO SECOND COURSE | 30 kN<br>(22 kN for single L8 lig) |
| 4. | DOUBLE 50X6 PLATE CLEAT THREADED OVER N12 OR N16 BOND BEAM REINFORCEMENT, 1M16 BOLT THRU NAIL PLATE (40MIN. EDGE DIST.) CENTRAL TO TRUSS TOP CHORD. 50X3 'U' BRACKET SNUG FITTED OVER TRUSS TOP CHORD & CLEAT L8 LIG (OR N12) EACH SIDE INTO SECOND COURSE | 42 kN |
| 5. | DOUBLE 50X6 PLATE CLEAT THREADED OVER N16 BOND BEAM REINFORCEMENT, 1M16 BOLT THRU NAIL PLATE (40MIN. EDGE DIST.) CENTRAL TO TRUSS TOP CHORD. 75X5 'U' BRACKET SNUG FITTED OVER TRUSS TOP CHORD & CLEAT N12 LIG EACH SIDE INTO SECOND COURSE | 52 kN |
| NB. | N12 OR L8 LIGS INTO SECOND COURSE CAN BE SUBSTITUTED BY N12 WALL BAR COGGED OVER TOP BOND BEAM REINFORCEMENT. | |






# TYPICAL TRUSS PITCHING POINT ANCHORAGE

Scale 1:20




# TRUSS ANCHORAGE AT NON-PITCHING POINT

Scale 1:20

## ROOF TIE DOWN SCHEDULE (kN ULTIMATE for JD4 / J3 TIMBER):

| | | |
|---|---|---|
| 1. | 50X6 PLATE CLEAT THREADED OVER N12 OR N16 BOND BEAM REINFORCEMENT, 1M 12 BOLT THRU NAIL PLATE (40MIN. EDGE DIST.) CENTRAL TO TRUSS TOP CHORD. | 8 kN |
| 2. | 50X6 PLATE CLEAT THREADED OVER N12 OR N16 BOND BEAM REINFORCEMENT, 1M16 BOLT THRU NAIL PLATE (40MIN. EDGE DIST.) CENTRAL TO TRUSS TOP CHORD. 1/L8 LIG INTO SECOND COURSE | 16 kN |
| 3. | DOUBLE 50X6 PLATE CLEAT THREADED OVER N12 OR N16 BOND BEAM REINFORCEMENT, 1M16 BOLT THRU NAIL PLATE (40MIN. EDGE DIST.) CENTRAL CHORD. L8 LIG (OR N12) EACH SIDE INTO SECOND COURSE | 30 kN<br>(22 kN for single L8 lig) |
| 4. | DOUBLE 50X6 PLATE CLEAT THREADED OVER N12 OR N16 BOND BEAM REINFORCEMENT, 2M16 BOLTS AT 120CTRS (1X THRU NAIL PLATE (40MIN. EDGE DIST.)) L8 LIG (OR N12) EACH SIDE INTO SECOND COURSE | 42 kN |
| 5. | DOUBLE 50X6 PLATE CLEAT THREADED OVER N16 BOND BEAM REINFORCEMENT, 3M16 BOLTS AT 120CTRS (1X THRU NAIL PLATE (40MIN. EDGE DIST.)) N12 LIG EACH SIDE INTO SECOND COURSE | 52 kN |
| NB. | N12 OR L8 LIGS INTO SECOND COURSE CAN BE SUBSTITUTED BY N12 WALL BAR COGGED OVER TOP BOND BEAM REINFORCEMENT. | |



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Date: 09/11/2020 RPEQ No: 15242

| No. | DESCRIPTION | DATE | NAME |
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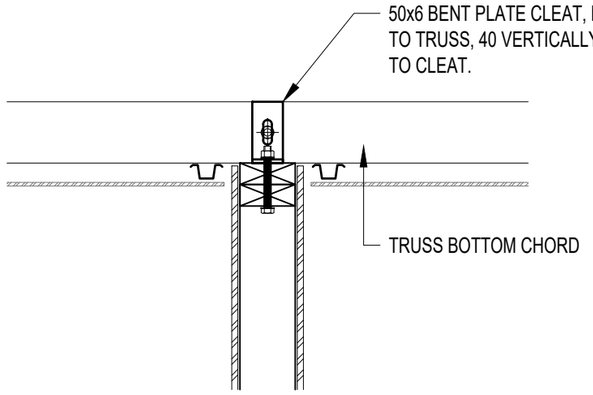
PROPOSED RESIDENCE
LOT 255 MOSSMAN ROAD, MIALLO QLD

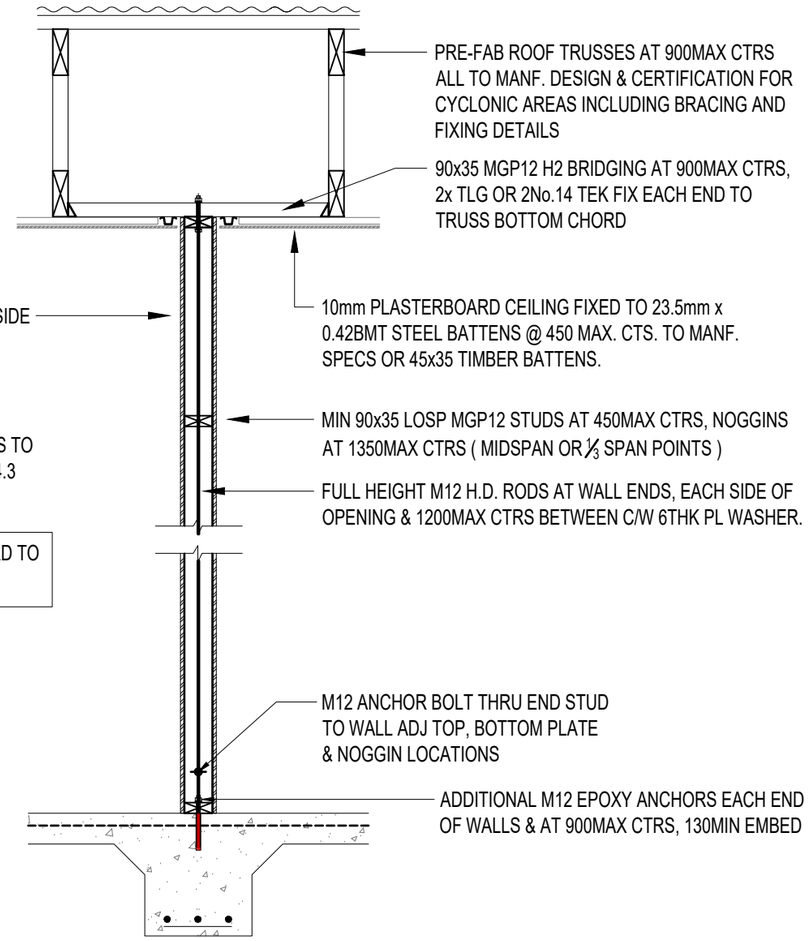
**STRUCTURAL NOTES**

DRAWING No. JDP-856/S12A
SHEET SHEET 12 OF 23 **A3**
SCALE AS SHOWN JDP-856.DWG REVISION -
DATE 09 NOVEMBER 2020




## PLY BRACE WALL TO TRUSS FREE VERT. RESTRAINT

Scale 1:10



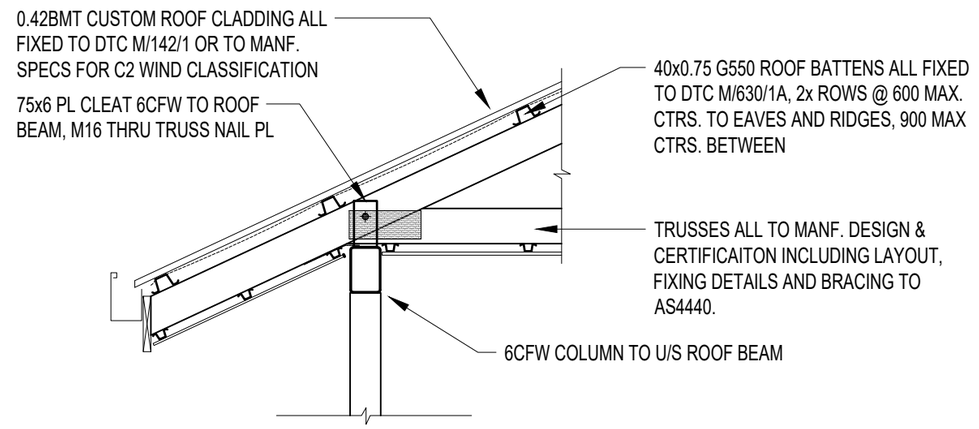

PLASTERBOARD TYPICAL LINING WITH 6mm VILLABOARD TO WET AREAS ALL FIXED TO MANF. SPECIFICATION.

## PLY BRACE WALL DETAIL

Scale 1:20

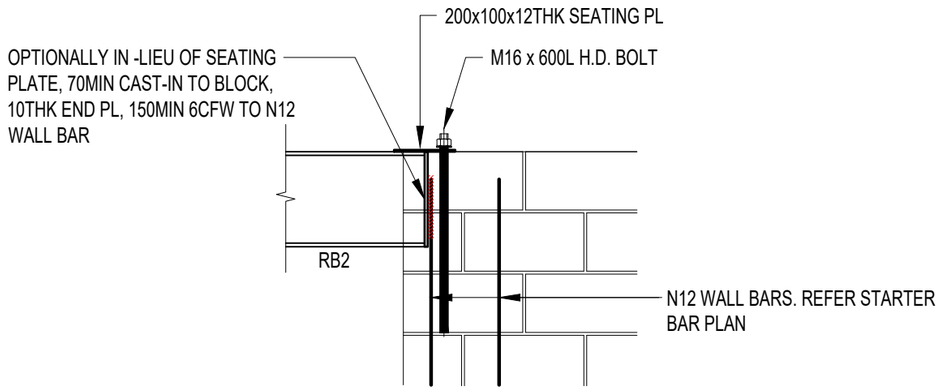
## TYPICAL WALL FRAMING NOTES

1. WHERE APPLICABLE, TIMBER FRAMING & FIXINGS SHALL BE IN ACCORDANCE WITH AS1684.3 & ALL STRUCTURAL TIMBERS SHALL BE MINIMUM GRADE F17 HARDWOOD OR MGP12 H2 TREATED SOFTWOOD ALL IN ACCORDANCE WITH AS1720 U.N.O.
2. INTERNAL NON-LOAD BEARING WALL DESIGNED TO COMPLY WITH NCC & AS1170 WITH 0.5kPa MIN FACE LOADING, OPTIONAL 70x35 TOP & BOT PLATES, STUDS AT 450MAX CTRS, NOGGINS AT 1350MAX CTRS
3. USE SERIES 500 TEKS WHERE WALL THICKNESS >3mm
4. ALL EXTERNAL LININGS FIXED TO MANF. SPECIFICATION FOR C2 CYCLONIC AREAS
5. ALL GLAZING, FRAMING & FIXINGS TO MANF DESIGN, SPECIFICATION & CERTIFICATION INCLUDING FIXING DETAILS.




## PATIO ROOF TRUSS TO ROOF BEAM

Scale 1:20




## RB1 TO BLOCKWORK

Scale 1:20



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**STRUCTURAL NOTES**

| | |
|---|---|
| DRAWING No. | JDP-856/S13A |
| SHEET | SHEET 13 OF 23 — A3 |
| SCALE | AS SHOWN |
| DATE | 09 NOVEMBER 2020 |
| | JDP-856.DWG |
| REVISION | - |

## GENERAL NOTES

THE BUILDER SHALL ENSURE THAT DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND THAT NO PART SHALL BE OVERSTRESSED. THE BUILDER SHALL PROVIDE ALL TEMPORARY BRACING AND PROPPING AS NECESSARY.

ALL SETOUT DIMENSIONS AND LEVELS, INCLUDING ANY SHOWN ON STRUCTURAL DRAWINGS, SHALL BE VERIFIED ON SITE AND ANY DISCREPANCIES IN THE DOCUMENTS MUST BE RESOLVED BEFORE ORDERING OR PLACING ANY MATERIALS. THESE DRAWINGS MUST NOT BE SCALED.

ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE BUILDING CODE OF AUSTRALIA, BCA, AND THE RELEVANT AUSTRALIAN STANDARDS PREPARED BY THE STANDARDS ASSOCIATION OF AUSTRALIA. IN PARTICULAR, THE FOLLOWING STANDARDS SHALL BE READ AS PART OF THESE GENERAL NOTES, AND COPIES SHALL BE KEPT ON SITE ALONG WITH THE REQUIRED BUILDING DOCUMENTS.

AS-1684 - SAA RESIDENTIAL TIMBER FRAMED CONSTRUCTION - CYCLONIC AREAS
AS-3600 - SAA CONCRETE STRUCTURES CODE
AS-4100 - SAA STEEL STRUCTURES CODE
AS-1554 - SAA WELDING CODE
AS-3700 - SAA MASONRY CODE
AS-1720 - SAA TIMBER STRUCTURES CODE

ALL PROPRIETRY ITEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' SPECIFICATIONS AND ANY RELEVANT SAA CODE.

## WELDING AND BOLTING

ALL WELDING SHALL BE IN ACCORDANCE WITH AS-1554.

ALL FILLET WELDS SHALL BE 6mm CONTINUOUS FOR THE FULL CONTACT OF THE MEMBER, UNLESS NOTED OTHERWISE. ALL WELDS SHALL BE CATEGORY 'GP' (GENERAL PURPOSE QUALITY), UNLESS NOTED OTHERWISE.

ALL BUTT WELDS MUST DEVELOP THE FULL TENSILE STRENGTH OF THE MEMBER AND SHALL BE CATEGORY 'SP' (SPECIAL PURPOSE QUALITY).

STEELWORK FINISHES AFFECTED BY SITE WELDING SHALL BE RE-PRIMED TO A MINIMUM OF 600g OF ZINC / SQUARE METRE WITH A MINIMUM DRY COAT THICKNESS OF 100 MICRONS.

ALL BOLTS SHALL BE COMMERCIAL GRADE IN ACCORDANCE WITH AS-1111 OR HIGH TENSILE IN ACCORDANCE WITH AS-1252, AND USED IN ACCORDANCE WITH AS-4100. ALL BOLTS ARE DESIGNATED ON THE DRAWINGS AS FOLLOWS :

HIGH TENSILE BOLTS;
- SNUG TIGHT
- IN BEARING BUT TENSIONED
- FULLY TENSIONED

M__ 8.8/S
M__ 8.8/TB
M__ 8.8/TF

COMMERCIAL GRADE BOLTS;
- SNUG TIGHT

M__ 4.6/S

WHERE FULLY TENSIONED BOLTS ARE REQUIRED, LOAD INDICATING WASHERS SHALL BE USED.

ALL BOLTED CONNECTIONS SHALL BE 2-M20 4.6/S UNLESS NOTED OTHERWISE.

ALL BOLTS SHALL BE GALVANISED UNLESS NOTED OTHERWISE.

ALL BOLT HOLES SHALL BE 2mm LARGER THAN THE NOMINAL BOLT DIAMETER UNLESS NOTED OTHERWISE.

ALL CLEATS SHALL BE 10mm THICK UNLESS NOTED OTHERWISE.

## STRUCTURAL STEELWORK

FABRICATION AND ERECTION SHALL CONFORM TO A.S. 4100.

UNLESS NOTED OTHERWISE ALL STEEL SHALL HAVE MIN. YIELD STRESS 300 MPa. AS PER A.S.4100 AND RHS AND SHS MEMBERS SHALL BE GRADE C450 TO A.S.1163.

UNLESS NOTED OTHERWISE ALL WELDS SHALL BE 6mm FILLET WELDS CONTINUOUS FOR FULL PERIMETER OF CONTACT AND BE OF GENERAL PURPOSE QUALITY IN ACCORDANCE WITH A.S.1554.

AREAS AFFECTED BY SITE WELDING SHALL BE RE-PRIMED AS BELOW. SITE WELDING TO GALVANISED AREAS SHALL BE PRIMED WITH 125 MICRONS OF INORGANIC ZINC RICH PAINT.

PROTECTIVE COATINGS > 1km FROM BREAKING SURF TO BE AS BELOW OR AS PER BCA CLAUSE 3.4.4.4.

EXPOSED DURAGAL > 1km FROM BREAKING SURF TO BE PAINTED WITH VINYL GLOSS OR ALKYD OR 2 COATS IF LESS THAN 1km FROM SURF OR OTHER TO BCA 3.4.4.4., TABLE 3.4.4.2

## EXTERNAL & EXPOSED STEELWORK

PREPARATION: ABRASIVE GRIT BLAST TO CLASS 2.5 IN ACCORDANCE WITH A.S.1627 PART 4.

PRIMER: INORGANIC ZINC SILICATE TO A.S.2105 (GPC-C29/8 OR BETTER) TO 125 MICRONS MIN. DRY FILM THICKNESS.

INTERNAL & CONCEALED STEELWORK

PREPARATION: MECHANICAL WIRE BRUSH TO REMOVE LOOSE RUST AND SCALE.

PRIMER: APPLY RED OXIDE ZINC PHOSPHATE (CONFORMING TO A.S.2204) TO A MIN. DRY FILM THICKNESS OF 75 MICRONS.

## CAST IN ITEMS

PREPARATION: STEEL SURFACES SHALL BE CHEMICALLY DESCALED IN ACCORDANCE WITH A.S. CK9.5 OR ABRASIVE BLAST CLEANED IN ACCORDANCE WITH CK9.4 TO CLASS 3 FINISH.

GALVANISING: HOT DIP GALVANISING SHALL BE CARRIED OUT IN ACCORDANCE WITH A.S/NZS-4680 WITH A MIN. WEIGHT OF ZINC COATING OF 550 G OF ZINC PER SQ. METRE.

## DESIGN CRITERIA

THE FOLLOWING DESIGN LIVE LOADS HAVE BEEN USED GENERALLY :

| LOCATION | DESIGN LIVE LOAD |
|---|---|
| ROOF | 0.25 kpa |
| FLOORS | 1.50 kpa |

| WIND DESIGN LOADS | |
|---|---|
| REGION | C |
| TERRAIN CATEGORY | 2.5 |
| IMPORTANCE LEVEL | II |
| WIND RETURN PERIOD(5%) | 500 YRS |
| REGIONAL WIND SPEED ULTIMATE ( Vu.500 ) | 69.3 m/s |
| WIND CLASSIFICATION | C2(W50C) |

## COASTAL ZONES

USE CLADDINGS AND PRODUCTS RECOMMENDED BY MANUFACTURERS FOR THE PROPOSED BUILDING LOCATION. THIS MAY INCLUDE COLORBOND ULTRA SHEETING AND CLADDING AND ZACS4 CLASS TEK SCREWS AND CAPS. PAINT / ZINC COAT ALL EXPOSED STEEL AND BATTENS AND PURLINS AND JOISTS AS RECOMMENDED BY MANUFACTURERS / BCA / AS/NZS2312 FOR THE PROPOSED BUILDING LOCATION.

## WINDOWS AND EXTERNAL GLAZED DOORS

ALL GLAZING, FRAMING AND FIXINGS SHALL BE DESIGNED AND CERTIFIED BY THE MANUFACTURER'S ENGINEER AND SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF AS-1170 (PART 2), AS-2047 AND BCA 3.6.

A FORM 15 CERTIFICATE OF COMPLIANCE SIGNED BY A CERTIFIED STRUCTURAL ENGINEER, SHALL BE PROVIDED, COVERING ALL WINDOWS, EXTERNAL GLAZED DOORS AND THEIR FRAMINGS AND FIXINGS.

THE MINIMUM PRESSURES IN kPa SHALL BE AS TABLED BELOW.

WINDOWS FOR HOUSING SHALL SATISFY THE WATER PENETRATION RESISTANCE REQUIREMENTS OF A.S. 2047 AND A.S. 4420.5.

TERRAIN CATEGORY 2.5 GROUND

| HEIGHT ABOVE GROUND | 'X' = DISTANCE FROM CORNER OF BUILDING (m) | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| | 0 < 'X' < 1700 | | | 1700 < 'X' ⩽ 3400 | | | REMINDER | | |
| | ULT | PERM. | SERV. | ULT | PERM. | SERV. | ULT | PERM. | SERV. |
| ⩽ 3.0 m | 4.4 | 2.9 | 1.8 | 3.7 | 2.5 | 1.6 | 3.0 | 2.0 | 1.3 |
| | | | | | | | | | |



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STRUCTURAL NOTES

DRAWING No. JDP-856/S14A
SHEET SHEET 14 OF 23 A3
SCALE .....
DATE 09.11.20
REVISION A

## CONCRETE

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS-3600.

CONCRETE SHALL BE GRADE 25 MPa/20mm HAVING AN 80mm SLUMP UNLESS SHOWN OTHERWISE, EXCEPT THAT SLABS EXPOSED TO WEATHER SHALL BE GRADE 32 MPa/20mm.

AGGREGATE SHALL BE DENSE AGGREGATE CONFORMING TO AS-2758 UNLESS NOTED OTHERWISE AND SHALL BE OBTAINED FROM AN APPROVED SOURCE. THE MAXIMUM SIZE OF COURSE AGGREGATE SHALL BE 20mm, UNLESS NOTED OTHERWISE.

ADMIXTURES AND CURING COMPOUNDS SHALL NOT BE USED UNLESS APPROVED BY THE ENGINEER.

PROVIDE 300 WIDE x 50 THICK CONCRETE MOWING STRIP PROTECTION AROUND PART 'B' TERMITE TREATMENT AREAS.

PROVIDE DAMP PROOF MEMBRANE TO UNDERSIDE OF SLABS ON GROUND IN ACCORDANCE WITH BCA AND AS 2870.

FORMWORK FOR BEAMS AND SLABS NOT SUPPORTING STRUCTURE ABOVE SHALL REMAIN IN PLACE FOR NOT LESS THAN 12 DAYS.

**SHRINKAGE CONTROL (BCA 3.2.5.3)**

WHERE BRITTLE FLOOR COVERINGS, SUCH AS CERAMIC TILES, ARE TO BE USED OVER AN AREA GREATER THANK 16 sq.m, ONE OF THE FOLLOWING ADDITIONAL MEASURES MUST BE TAKEN TO CONTROL THE EFFECT OF SHRINKAGE CRACKING-

(i) THE AMOUNT OF SHRINKAGE REINFORCEMENT (STEEL REINFORCEMENT MESH IN THE SLAB PANEL) MUST BE -

(A) INCREASED TO SL92 OR EQUIVALENT THROUGHOUT THE AFFECTED SLAB AREA; OR

(B) DOUBLED WITH AN ADDITIONAL SHEET OF SLAB MESH THROUGHOUT THE AFFECTED SLAB AREA; OR

(ii) THE BEDDING SYSTEM FOR BRITTLE COVERINGS MUST BE SELECTED ON THE BASIS OF THE EXPECTED SLAB MOVEMENT AND THE CHARACTERISTICS OF THE FLOOR COVERING (INCLUDING THE USE OF EXPANSION JOINTS ETC.); OR

(iii) THE PLACEMENT OF FLOOR COVERING MUST BE DELAYED FOR NOT LESS THAN 3 MONTHS AFTER THE CONCRETE HAS BEEN POURED.

## CONCRETE COVER AND EXPOSURE CLASSES

IN-GROUND (FOOTINGS AND SLAB UNDERSIDE):

WITH DPM = A1

RESIDENTIAL WITHOUT DPM BUT NON-AGGRESSIVE SOIL = A1

OTHER WITHOUT DPM BUT NON-AGGRESSIVE SOIL = A2

INSIDE:

FULLY ENCLOSED (EXCEPT BRIEFLY AT CONSTRUCTION) = A1

INDUSTRIAL SUBJECT TO WETTING & DRYING = B1

EXTERIOR ABOVE GROUND (INCLUDING TOP SURFACE OF SLABS ON GROUND):

INDUSTRIAL (ALL ZONES) = B1

WITHIN 1km OF COAST (BUT NOT IN SPLASH ZONE) = B2

WITHIN 1 TO 50 km OF COAST (ALL ZONES) = B1

INLAND (MORE THAN 50km FROM COAST) & TROPICAL = B1

INLAND (MORE THAN 50km FROM COAST) & TEMPERATE = A2

INLAND (MORE THAN 50km FROM COAST) & ARID = A1

**TABLE 4.10.3.2**

**REQUIRED COVER WHERE STANDARD FORMWORK AND COMPACTION ARE USED**

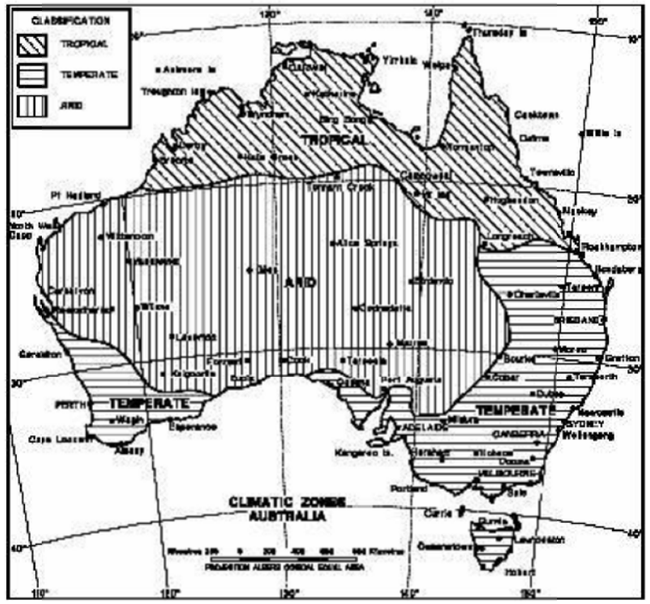
| Exposure classification | Required cover, mm | | | | |
|---|---|---|---|---|---|
| | Characteristic strength ($f'_c$) | | | | |
| | 20 MPa | 25 MPa | 32 MPa | 40 MPa | ≥ 50 MPa |
| A1 | 20 | 20 | 20 | 20 | 20 |
| A2 | (50) | 30 | 25 | 20 | 20 |
| B1 | — | (60) | 40 | 30 | 25 |
| B2 | — | — | (65) | 45 | 35 |
| C | — | — | — | (70) | 50 |

NOTES:

1 Bracketed figures are the appropriate covers when the concession given in Clause 4.3.2, relating to the strength grade permitted for a particular exposure classification, is applied.

2 Increased values are required if Clause 4.10.3.3 applies.

WHERE CONCRETE IS CAST AGAINST THE GROUND (IE WITHOUT FORMWORK) THEN INCREASE THE COVER GIVEN IN THE ABOVE TABLE BY 20mm. WHERE CONCRETE IS PROTECTED BY A WATER PROOF MEMBRANE THEN INCREASE THE AMOUNT OF COVER GIVEN IN THE ABOVE TABLE BY 10mm.




## CONCRETE REINFORCEMENT

ALL REINFORCEMENT IS DESIGNATED ON THE DRAWINGS AS FOLLOWS :

| | TYPE |
|---|---|
| R... | STRUCTURAL GRADE PLAIN BAR TO AS/NZS 4671 GRADE 250R, YIELD STRENGTH 250MPa, DUCTILITY CLASS N |
| N... | HOT ROLLED DEFORMED BAR TO AS/NZS 4671 GRADE D500N, YIELD STRENGTH 500MPa, DUCTILITY CLASS N |
| L... | PLAIN OR DEFORMED BARS, GRADE 500L TO AS/NZS 4671 YIELD STRENGTH 500MPa, DUCTILITY CLASS L |
| SL... / RL... | SQUARE & RECTANGULAR WELDED WIRE MESH TO AS/NZS 4671 GRADE D500L, YIELD STRENGTH 500MPa, DUCTILITY CLASS L |
| L..TM.. | WELDED WIRE TRENCH MESH TO AS/NZS 4671 (POSTFIX = No. OF BARS) GRADE D500L, YIELD STRENGTH 500MPa, DUCTILITY CLASS L |
| W.. | COLD DRAWN ROUND WIRE GRADE R500L TO AS/NZS 4671 YIELD STRENGTH 500MPa, DUCTILITY CLASS L |
| RW.. | COLD ROLLED RIBBED WIRE GRADE D500L TO AS/NZS 4671 YIELD STRENGTH 500MPa, DUCTILITY CLASS L |
| NOTE - THE NUMBER FOLLOWING THE DESIGNATION IS THE BAR/MESH DIAMETER IN MM | |

ALL REINFORCEMENT SHALL BE HELD RIGIDLY IN POSITION WITHIN THE SPECIFIED TOLERANCES BEFORE AND DURING CONCRETE PLACEMENT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER

CONCRETE COVER TO REINFORCEMENT INCLUDING LIGATURES AND TIES, SHALL BE AS NOTED ON THE DRAWINGS. WHERE NOT SPECIFIED CONCRETE COVER SHALL CONFORM TO THE FOLLOWING CRITERIA.

| ELEMENT | CAST AGAINST GROUND | | |
|---|---|---|---|
| FOOTINGS | 45 (for N32), 50 (for N25) 75 (for N20) | | |
| SLAB ON GROUND | 45 bottom (for N32) 50 bottom (for N25) | top cover as per table 4.10.3.2 | Place ground slab mesh at top of slab U.N.O. |
| SLAB ON W.P.M. | 35 bottom (for N32) 40 bottom (for N25) | top cover as per table 4.10.3.2 | |
| OTHER ELEMENTS | 75 | | |

SPLICES FOR REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS. WHERE NOT SPECIFIED, MINIMUM SPLICE LENGTHS SHALL CONFORM TO THE FOLLOWING CRITERIA FOR COLUMNS AND BEAMS:

| N12 | N16 | N20 | N24 |
|---|---|---|---|
| 500 | 600 | 750 | 900 |
| FABRIC - OVERLAP TWO TRANSVERSE WIRES ON EACH SHEET | | | |

ALL HOOKS AND COGS SHALL COMPLY WITH AS-3600 UNLESS OTHERWISE SHOWN.



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STRUCTURAL NOTES

DRAWING No. JDP-856/S15A

SHEET SHEET 15 OF 23 A3

SCALE .....

DATE 09.11.20

REVISION A

## BLOCKWORK AND BLOCKWORK REINFORCEMENT

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS-3700.

ALL BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH F'c = 15 MPa UNLESS NOTED OTHERWISE.

MORTAR SHALL BE CLASS M4 MACHINE MIXED IN PROPORTIONS 1:0.5:4.5 (CEMENT:LIME:SAND) AND VOLUME BATCHED UNLESS NOTED OTHERWISE.

ADMIXTURES SHALL NOT BE USED IN MORTAR WITHOUT PRIOR WRITTEN APPROVAL FROM THE DESIGN ENGINEER.

ALL BEDS AND PERPENDICULAR JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR TO A NOMINAL THICKNESS OF 10mm EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS.

FOR NON LOAD-BEARING WALLS DESIGNATED ON PLAN A 20mm GAP SHALL BE PROVIDED BETWEEN THE TOP COURSE OF BLOCKWORK AND THE UNDERSIDE OF CONCRETE BEAMS & SLABS. THIS GAP IS TO BE FILLED WITH 2 LAYERS OF 10mm 'ABLEFLEX'.

ALL REINFORCED CORES SHALL BE FILLED WITH GROUT HAVING A MINIMUM COMPRESSIVE STRENGTH F'c = 15 MPa AND SLUMP OF 200 +/- 30mm EXCEPT WHERE NOTED OTHERWISE. THE MAXIMUM AGGREGATE SIZE SHALL BE 7mm.

BONDING OF MASONRY SHALL BE STRETCHER BOND UNLESS SHOWN OTHERWISE ON THE DRAWINGS OR SPECIFIED BY THE BUILDING DESIGNER.

PROVIDE "MRBL140" OR "BR150" HORIZONTAL JOINT REINFORCEMENT @ 600 CTS. LAPPED AND COGGED AT INTERSECTIONS, JUNCTIONS AND END TERMINATIONS. THIS REINFORCEMENT SHALL BE TERMINATED EACH SIDE OF CONTROL JOINTS.

INTERSECTING WALLS SHALL BE FULLY BONDED OR TIED AT EVERY SECOND COURSE WITH 15 x 3.0 x 400mm LONG GALVANIZED STEEL PLATE TIES WITH 40mm END COGS CAST INTO FILLED CORES OR R6 GALVANISED TIE BARS WITH 200mm HORIZONTAL LEGS AND 75mm VERTICAL LEGS.

VERTICAL REINFORCEMENT SHALL BE PROVIDED AT ALL CORNERS, ADJACENT TO ALL OPENINGS, AT INTERSECTING WALLS, AT THE FREE ENDS OF WALLS AND AS OTHERWISE NOTED ON THE DRAWINGS. PROVIDE VERTICAL BARS UNDER WINDOWS.

MINIMUM LAPS FOR BLOCKWORK REINFORCEMENT SPLICES SHALL CONFORM TO THE FOLLOWING CRITERIA :

| N12 | N16 |
|---|---|
| 450mm | 600mm |

THE EXTENT OF REINFORCED MASONRY AND ITS REQUIRED REINFORCEMENT SHALL BE AS SHOWN ON THE DRAWINGS. ALL EXCESS AND LOOSE GROUT SHALL BE REMOVED PRIOR TO FILLING THE VOIDS.

VERTICAL CONTROL JOINTS SHALL BE PROVIDED AS INDICATED ON THE DRAWINGS OR AS SPECIFIED BY THE CERTIFYING DESIGN ENGINEER.

ALL 190mm BLOCK WALLS MARKED AS SHEAR WALLS SHALL HAVE BOND BEAMS AS DETAILED ON THE DRAWINGS, UNLESS NOTED OTHERWISE.

## WET AREA WALLS

ALL WET AREA WALLS AND FLOORS TO BE WATERPROOFED WITH APPROVED MEMBRANES IN ACCORDANCE WITH AS/NZS 4858.
WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA 2014 PART 3.8.1.2

## WEATHERPROOFING

WEATHERPROOFING FOR SINGLE SKIN MASONRY WALLS IN ACCORDANCE WITH BCA 3.3.4.12
a) A WATERPROOFING COATING MATERIAL MUST BE APPLIED TO ALL EXTERNAL SINGLE SKIN MASONRY WALLS IN ACCORDANCE WITH THE FOLLOWING:
i) THE COATING MUST EXTEND FROM THE UPPER MOST EXPOSED PART OF THE WALL.
(A) TO A LEVEL ADJACENT TO THE INTERNAL FINISHED FLOOR LEVEL, IF THE EXTERNAL BLOCKWORK OVERHANGS THE EDGE OF THE SLAB 10mm OR
(B) 50mm BELOW THE INTERNAL FLOOR LEVEL IF NO EDGE OVERHANG IS PROVIDED TO THE BLOCKWORK.
(ii) ACCEPTABLE EXTERNAL WATERPROOF FINISHES ARE:
(A) THREE COATS OF 100% ACRYLIC BASED EXTERIOR QUALITY GLOSS PAINT; OR
(B) ONE COMPLETE COAT OF CEMENT BASED PAINT AND TWO COATS OF 100% ACRYLIC BASED EXTERIOR QUALITY GLOSS PAINT; OR
(C) CLEAR WATER REPELLANT PROVIDED THAT THE WALL IS PROTECTED BY A ROOF OVERHANG.

## OVERFLOW RELIEF GULLIES

IN ACCORDANCE WITH BUILDING REGULATIONS AND AS3500
HEIGHT BELOW LOWEST FIXTURE:
A MINIMUM HEIGHT OF 100mm SHALL BE MAINTAINED BETWEEN THE TOP OF THE OVERFLOW GULLY RISER AND THE LOWEST FIXTURE CONNECTED TO THE DRAIN.
HEIGHT ABOVE SURROUNDING GROUND:
THE MINIMUM HEIGHT BETWEEN THE TOP OF THE OVERFLOW GULLY RISER AND THE SURROUNDING NATURAL SURFACE LEVEL SHALL BE 150mm EXCEPT WHERE THE GULLY RISER IS LOCATED IN A PATH OR A PAVED AREA WHERE IT SHALL BE FINISHED AT A LEVEL SO AS TO PREVENT THE PONDING OR INGRESS OF WATER.

## DRAINAGE

WHERE SUBSURFACE WATER, SUBSOIL OR STORM WATER DRAINAGE IS INSTALLED IT MUST COMPLY WITH BCA 3.1.2
SURFACE WATER MUST BE DIVERTED AWAY FROM CLASS 1 BUILDINGS AS FOLLOWS:
SLAB ON GROUND
EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST FALL 50mm MIN OVER 1m TO DRAIN
SLAB LEVEL
150mm MINIMUM ABOVE FINISHED GROUND LEVEL OR
100mm ABOVE SANDY WELL DRAINED AREAS OR
50mm ABOVE PAVED/CONCRETED AREAS THAT FALL AWAY FROM THE BUILDING.

## TERMITE PROTECTION

TERMITE PROTECTION IN ACCORDANCE WITH AS3660.1 IS REQUIRED IF STRUCTURAL TIMBERS ARE USED. IF AN ENGINEERED FLOOR SLAB SYSTEM (AS2870) IS TO BE USED, USE SL82 MESH MIN. IN SLAB AND SEAL PENETRATIONS WITH APPROVED COLLARS. HAND SPRAY REQUIRED UNDER MAIN FLOOR SLAB - FOR DETAILS REFER TO BUILDING CERTIFIER. WHERE INSTRUCTED A TERMITE MANAGEMENT SYSTEM IS TO BE INSTALLED AND CERTIFIED BY AN APPROVED PRACTITIONER IN ACCORDANCE WITH AS3660.1, .2, & .3 - 2000. A DURABLE CERTIFICATE IS TO BE PLACED IN THE METER BOX UPON COMPLETION.
'TERMI MESH' PHYSICAL BARRIERS ARE TO BE FIXED IN ACCORDANCE WITH 'TERMI MESH' RECOMMENDATIONS AND DETAILS TO ALL PIPE PENETRATIONS IN CONCRETE SLABS PLACED IN CONTACT WITH THE GROUND AND AT THE FLOOR LEVEL TO THE PERIMETER OF THE BUILDING WHERE A JOINT OCCURS BETWEEN THE HARD PLASTER FACING AND THE SLAB EDGE.

## FILL MATERIAL AND COMPACTION

SELECTED FILL SHALL BE A GRAVEL, DECOMPOSED OR BROKEN ROCK, FREE FROM ORGANIC MATTER AND LUMPS OF CLAY AND SHALL CONFORM TO THE FOLLOWING CRITERIA :

| A.S. METRIC SIEVE | % PASSING BY WEIGHT |
|---|---|
| 75.0 mm | 100 |
| 9.5 mm | 30 - 100 |
| 2.36 mm | 15 - 65 |
| 0.075 mm | 5 - 25 |

% PASSING 0.075 mm / % PASSING 2.36 mm ..... 0.2% - 0.4%

LINEAR SHRINKAGE (PASSING 0.425 mm) ..... 2% - 8

MINIMUM 4 DAY SOAKED C.B.R. (95% REL. COMP.) ..... 30%

SUB-BASE FOR SLABS ON GROUND AND BACKFILL OVER FOOTINGS FROM 50mm BELOW SLAB SOFFIT TO NATURAL GROUND WITH SUFFICIENT BEARING CAPACITY SHALL BE 150mm MIN. APPROVED GRANULAR MATERIAL PLACED LOOSE IN LAYERS OF 150mm MAX. AND COMPACTED TO AT LEAST 95% OF THE MODIFIED MAXIMUM DRY DENSITY OR 98% SRDD IN ACCORDANCE WITH AS-3798-1996.

## FOUNDATIONS

THE FOUNDATION LEVELS SHOWN ON THESE DRAWINGS ARE INDICATIVE ONLY. ACTUAL FOOTING LEVELS SHALL BE BASED ON A MATERIAL HAVING A SAFE BEARING CAPACITY OF 100kPa UNLESS NOTED OTHERWISE.

FOOTING DESIGN IS BASED ON A CLASS 'P' SITE. REFER ENGINEER IF CLASSIFICATION DIFFERS PRIOR TO CONSTRUCTION.

REMOVE TOP SOIL, TREE ROOTS AND OTHER UNSUITABLE MATERIAL UNDER FOOTINGS AND SLABS.



STRUCTURALLY CERTIFIED BY
AKTIV ENGINEERING
ABN: 23451595939 E:AktivEng@Outlook.com
Daniel Post MIEAust CPEng NPER RPEQ
Job No: JDP-856 Signed:
Date: 09.11.20 RPEQ No: 15242

AMENDMENTS

| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AKTIV Engineering
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
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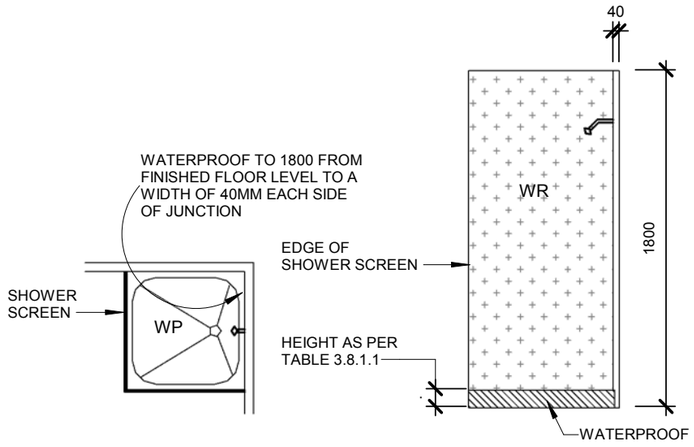
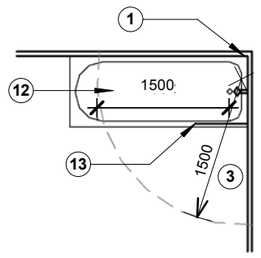
TITLE
PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.
STRUCTURAL NOTES

DRAWING No. JDP-856/S16A
SHEET SHEET 16 OF 23 A3
SCALE .....
DATE 09.11.20
REVISION A

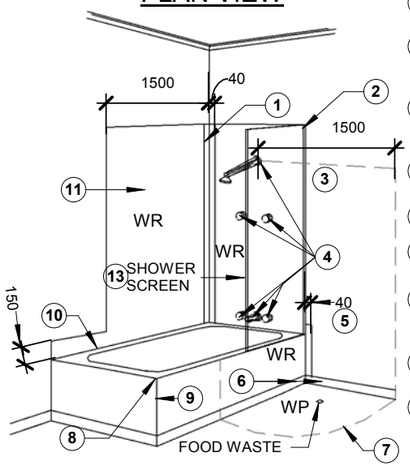



PLAN SIDE VIEW

TREATMENT FOR ENCLOSED SHOWERS - FOR CONCRETE & CFC SHEET FLOORING



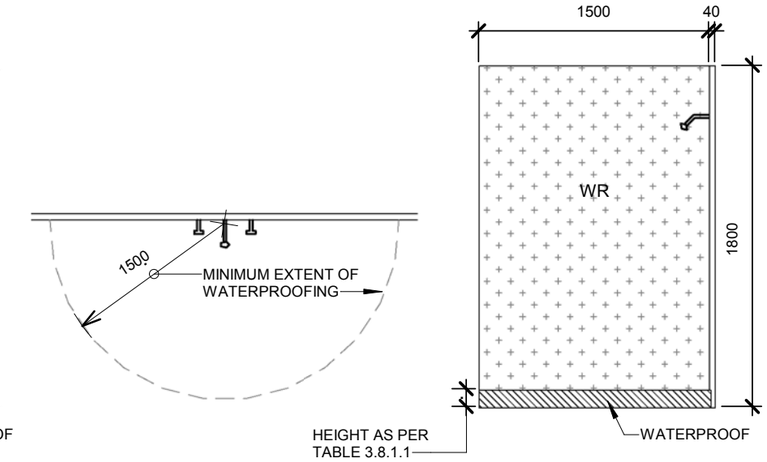

PLAN VIEW




ISOMETRIC VIEW

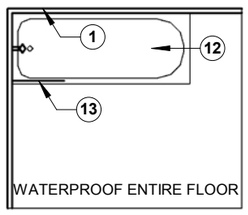
SHOWERS ABOVE BATHS - PROTECTION FOR CONCRETE & CFC SHEET FLOORING

1. WATERPROOF TO 1800 FROM FINISHED FLOOR LEVEL TO A WIDTH OF 40MM EACH SIDEOF JUNCTION
2. SHOWER PANEL SEALED AT ALL JUNCTIONS
3. SHOWER CONNECTION AT WALL : 1500MM
4. SEAL ALL PENETRATIONS - TAP, ROSE & SPOUT
5. WATERPROOF TO A WIDTH OF 40MM EACH SIDE OF JUNCTION
6. WATERPROOF JUNCTION FROM SHOWER : 1300MM TO A HEIGHT OF 25MM ABOVE F.F.L.
7. WATERPROOF TO 1500MM FROM SHOWER CONNECTION AT WALL & GRADE TO FLOOR WASTE
8. WATERPROOF TILE / BATH LIP JOINT
9. WATERPROOF JUNCTION
10. WATERPROOF WALL / BATH JUNCTION
11. WATER RESISTANT WALLS TO 1800MM FROM FINISHED FLOOR LEVEL
12. IF CONFINED BY SHOWER SCREEN
13. OPTIONAL SHOWER SCREEN

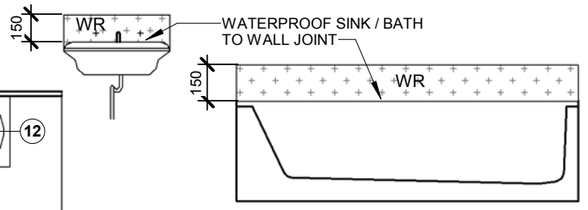



PLAN SIDE VIEW

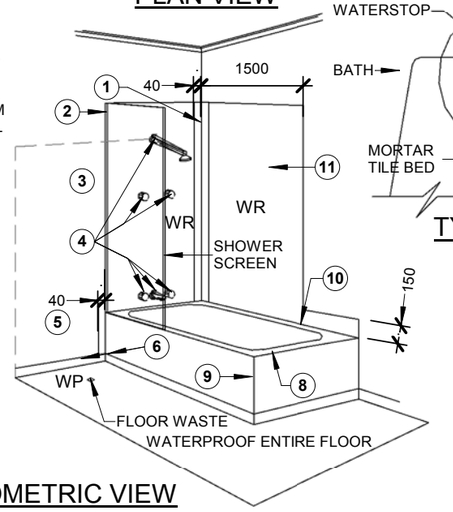
TREATMENT FOR UNENCLOSED SHOWERS - FOR CONCRETE & CFC SHEET FLOORING




PLAN VIEW

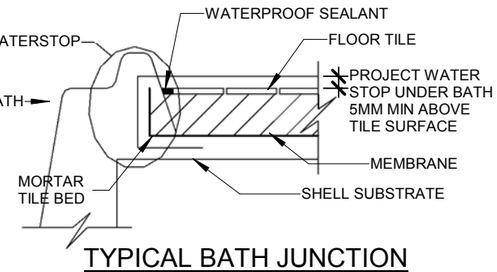



TO WALL JOINT

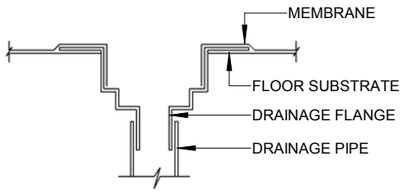



ISOMETRIC VIEW

SHOWERS ABOVE BATHS - PROTECTION FOR TIMBER & PLYWOOD FLOORING




TYPICAL BATH JUNCTION




MEMBRANE DRAINAGE OUTLET DETAIL

**ENCLOSED SHOWER WITH HOB**
FLOORS & HORIZONTAL SURFACES - WATERPROOF ENTIRE ENCLOSED AREA INCLUDING HOB.
WALLS - WATERPROOF NOT LESS THAN 150MM ABOVE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL, WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE FINISHED FLOOR LEVEL.
WALL JUNCTIONS & JOINTS* - WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH EITHER SIDE OF THE JUNCTION.
PENETRATIONS - WATERPROOF ALL PENETRATIONS.

**ENCLOSED SHOWER WITHOUT A HOB**
FLOORS & HORIZONTAL SURFACES - WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING WATER STOP.
WALLS - WATERPROOF NOT LESS THAN 150MM ABOVE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT NOT LESS THAN 1800MM ABOVE THE FINISHED FLOOR LEVEL.
WALL JUNCTIONS & JOINTS (REFER ABOVE*).
PENETRATIONS - WATERPROOF ALL PENETRATIONS.

**ENCLOSED SHOWER WITH STEP DOWN**
FLOORS & HORIZONTAL SURFACES - WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING STEP DOWN.
WALLS - WATERPROOF NOT LESS THAN 150MM ABOVE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL, WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE FINISHED FLOOR LEVEL.
WALL JUNCTIONS & JOINTS (REFER ABOVE*).
PENETRATIONS - WATERPROOF ALL PENETRATIONS.

**ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE**
FLOORS & HORIZONTAL SURFACES - N/A.
WALLS - WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE FINISHED FLOOR LEVEL.
WALL JUNCTIONS & JOINTS (REFER ABOVE*).
PENETRATIONS - WATERPROOF ALL PENETRATIONS.

**UNENCLOSED SHOWERS**
FLOORS & HORIZONTAL SURFACES - WATERPROOF ENTIRE UNENCLOSED SHOWER AREA
WALLS - WATERPROOF NOT LESS THAN 150MM ABOVE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL, WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE FINISHED FLOOR LEVEL.
WALL JUNCTIONS & JOINTS (REFER ABOVE*).
PENETRATIONS - WATERPROOF ALL PENETRATIONS.

**AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND FIBRE CEMENT SHEET FLOORING**
FLOORS & HORIZONTAL SURFACES - WATER RESISTANT TO ENTIRE FLOOR AREA.
WALLS - N/A.
WALL JUNCTIONS & JOINTS - WATERPROOF ALL WALL/FLOOR JUNCTIONS WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE GREATER THAN 40MM.
PENETRATIONS - N/A.

**AREA OUTSIDE SHOWER AREA E.G. TIMBER FLOORS**,
PARTICLE BOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS
FLOOR AREA.
FLOORS & HORIZONTAL
WALLS - N/A.
WALL JUNCTIONS & JOINTS - WATERPROOF ALL WALL/FLOOR JUNCTIONS WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE GREATER THAN 40MM.
PENETRATIONS - N/A.

**AREAS ADJACENT TO BATH & SPAS FOR CONCRETE AND**
COMPRESSED FIBRE CEMENT SHEET FLOORING
FLOORS & HORIZONTAL SURFACES - WATER RESISTANT TO ENTIRE FLOOR AREA.
WALLS - WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.
WALL JUNCTIONS & JOINTS - WATERPROOF EDGES OF VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR.
WHERE LIP OF BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.
PENETRATIONS - WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.

**AREAS ADJACENT TO BATH & SPAS FOR TIMBER FLOORS**
INCLUDING PARTICLE BOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS
FLOORS & HORIZONTAL SURFACES - WATER PROOF ENTIRE

FLOOR AREA.
WALLS - WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.
WALL JUNCTIONS & JOINTS - WATERPROOF EDGES OF VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR.
WHERE LIP OF BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.
**PENETRATIONS - WATERPROOF ALL TAP AND SPOUT**
PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.

**INSERTED BATHS**
FLOORS & HORIZONTAL SURFACES - N/A FOR FLOOR UNDER BATH. WATERPROOF ENTIRE SHELF AREA, INCORPORATING WATER STOP UNDER THE BATH LIP AND TO PROJECT NOT LESS THAN 5MM ABOVE THE TILE SURFACE.
WALLS - N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150MM ABOVE THE LIP OF THE BATH.
WALL JUNCTIONS & JOINTS - N/A FOR WALL UNDER BATH.

**PENETRATIONS - WATERPROOF ALL TAP AND SPOUT**
PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER - SINKS, LAUNDRY TUBS & BASINS
FLOORS & HORIZONTAL SURFACES - N/A.
WALLS - WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL, IF THE VESSEL IS WITHIN 75MM OF THE WALL.
PENETRATIONS - WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.

**LAUNDRIES & WC'S**
FLOORS AND HORIZONTAL SURFACES - WATER RESISTANT TO ENTIRE FLOOR.
WALLS - WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25MM ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.
WALL JUNCTIONS & JOINTS - WATERPROOF ALL WALL/FLOOR JUNCTIONS WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE GREATER THAN 40MM.
PENETRATIONS - N/A.

**WATERPROOF MATERIALS**
STAINLESS STEEL, 99.9 % COPPER, WATERPROOF FLEXIBLE SHEET FLOORING WITH SEALED JOINTS. MEMBRANES AS PER AS/NZS 4858.

**WATER RESISTANT SUBSTRATES**
WALLS - CONCRETE, CEMENT RENDER TREATED TO RESIST MOISTURE MOVEMENT, FIBRE CEMENT SHEETING, WATER RESISTANT PLASTERBOARD SHEETING, MASONRY.
FLOORS - CONCRETE, COMPRESSED FIBRE CEMENT SHEETING, STRUCTURAL PLYWOOD.

**WATER RESISTANT SURFACE MATERIALS**
WALLS - THERMO SETTING LAMINATE, PREDECORATED FIBRE CEMENT SHEETING, TILES, WATER RESISTANT FLEXIBLE SHEET WALL MATERIALS WITH SEALED JOINTS, SANITARY GRADE ACRYLIC LININGS.
FLOORS - TILES, WATER RESISTANT FLEXIBLE SHEET FLOORING WITH SEALED JOINTS E.G. SHEET VINYL OR LINOLEUM.

1
S17A

# TYPICAL WET AREA DETAIL

*TO BE USED AS REFERENCE ONLY



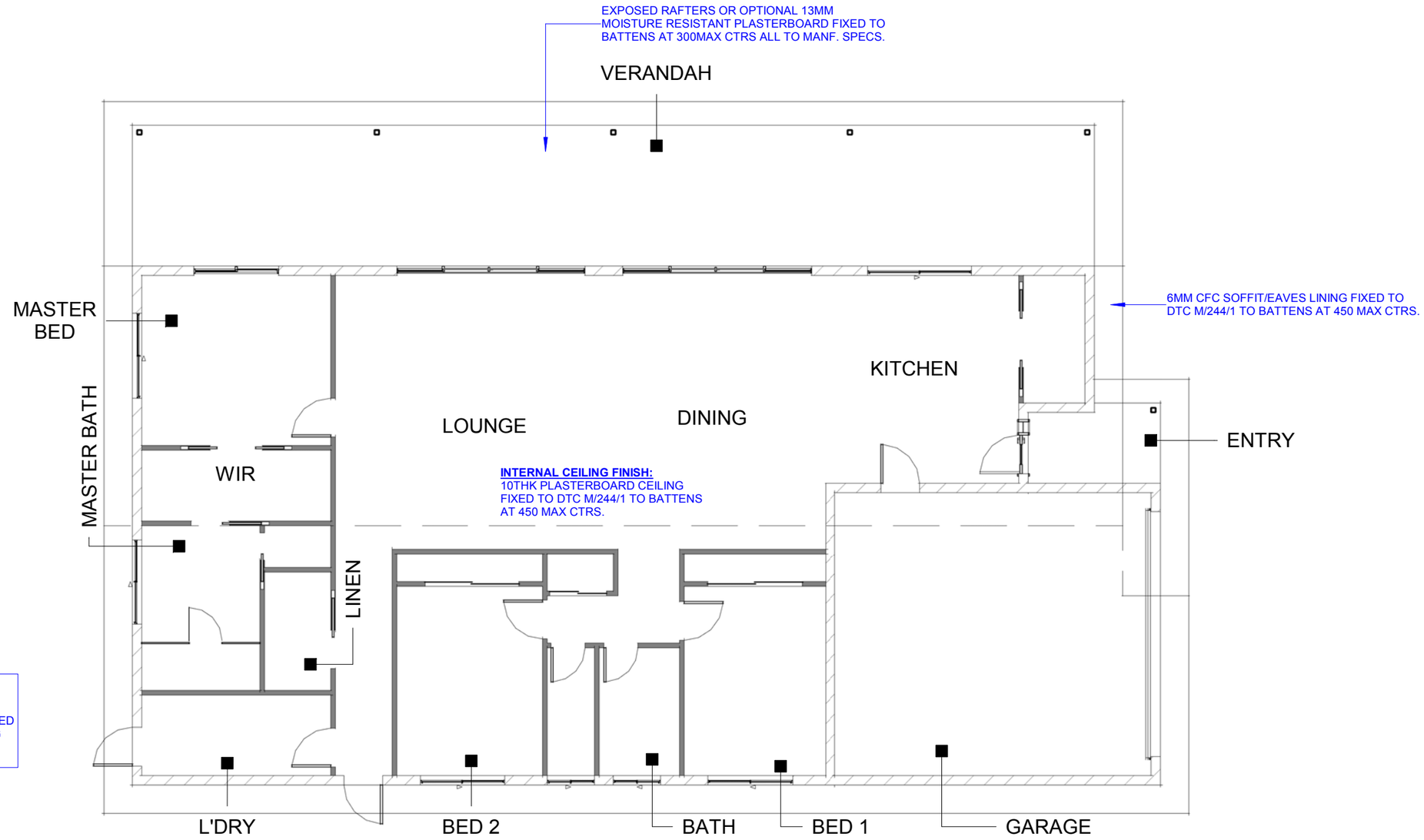
| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

AKTIV Engineering
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
5 Terminalia, Redlynch, QLD
MOBILE: 0429 805 068 EMAIL: AKTIVENG@OUTLOOOK.COM ABN: 23 451 595 939

TITLE
PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.
WET AREA DETAIL

DRAWING No. JDP-856/S17A
SHEET SHEET 17 OF 23 A3
SCALE 1 : 40
DATE 09.11.20
REVISION A




NOTE:

LIGTHING LAYOUT TO BE MARKED UP BY LICENSED ELECTRICIAN/BUILDER & FORWARDED TO BUILDING CERTIFIER WITH ACCOMPANYING DRAWINGS.

1
S03A S18A

# REFLECTED CEILING PLAN

1 : 100



| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

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MOBILE: 0429 805 068 EMAIL: AKTIVENG@OUTLOOOK.COM ABN: 23 451 595 939

TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

CEILING PLAN

DRAWING No. JDP-856/S18A

SHEET SHEET 18 OF 23 A3

SCALE 1 : 100

DATE 09.11.20

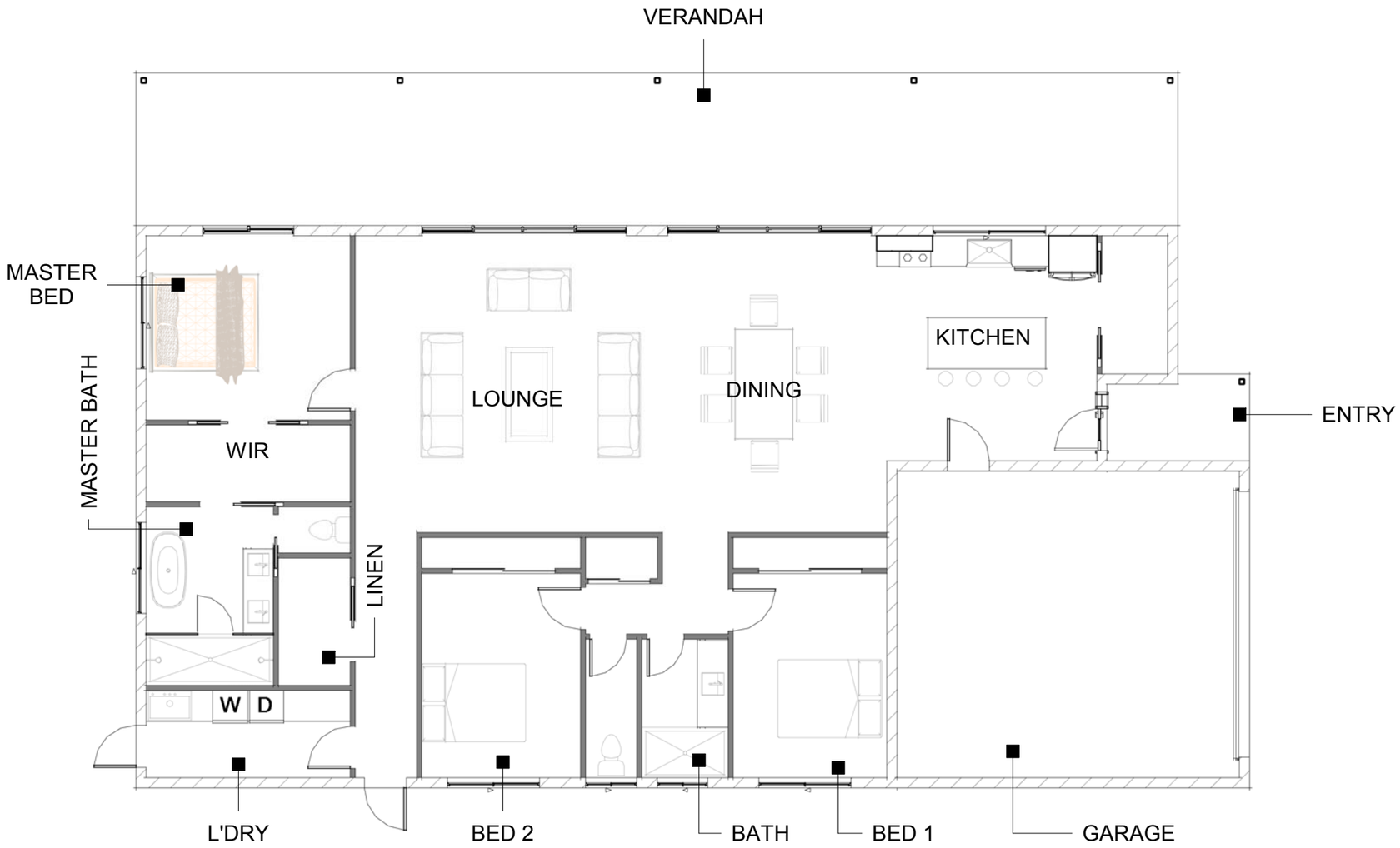
REVISION A

| LEGEND | | QTY |
|---|---|---|
| | Ceiling light outlet | |
| | Energy Effic. D/Light | |
| | Oyster fitting with fluro light | |
| | Wall light outlet | |
| | Fluroescent light | |
| | Exhaust fan | |
| | Exhaust fan light | |
| | Smoke alarm (hardwired) | |
| | Paraflood | |
| | Phone point | |
| | DATA point | |
| | TV outlet | |
| | Fox HD Oullet | |
| | Junction box | |
| | Ceiling fan | |
| | Ceiling fan light | |
| | GAS Hot Water System | |
| | GAS Bottles | |
| | Meter box | |
| | Single GPO | |
| | Weatherproof Single GPO | |
| | Double GPO | |
| | Weatherproof Double GPO | |
| | IXL Tastic | |
| | Clothes Line | |

NOTE:

ELECTRICAL PLAN TO BE MARKED UP BY LICENSED ELECTRICIAN/BUILDER & FORWARDED TO BUILDING CERTIFIER WITH ACCOMPANYING DRAWINGS.

ENERGY EFFICIENT LIGHTING TO COMPLY WITH QUEENSLAND DEVELOPMENT CODE MP-4.1. ENERGY EFFICIENT LIGHTING IS TO BE UTILISED FOR 80% OF ALL LIGHT FITTINGS OF THE INTERNAL FLOOR SPACE.




1 / S19A

# ELECTRICAL PLAN

1 : 100



| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

AKTIV Engineering
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
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TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

ELECTRICAL PLAN

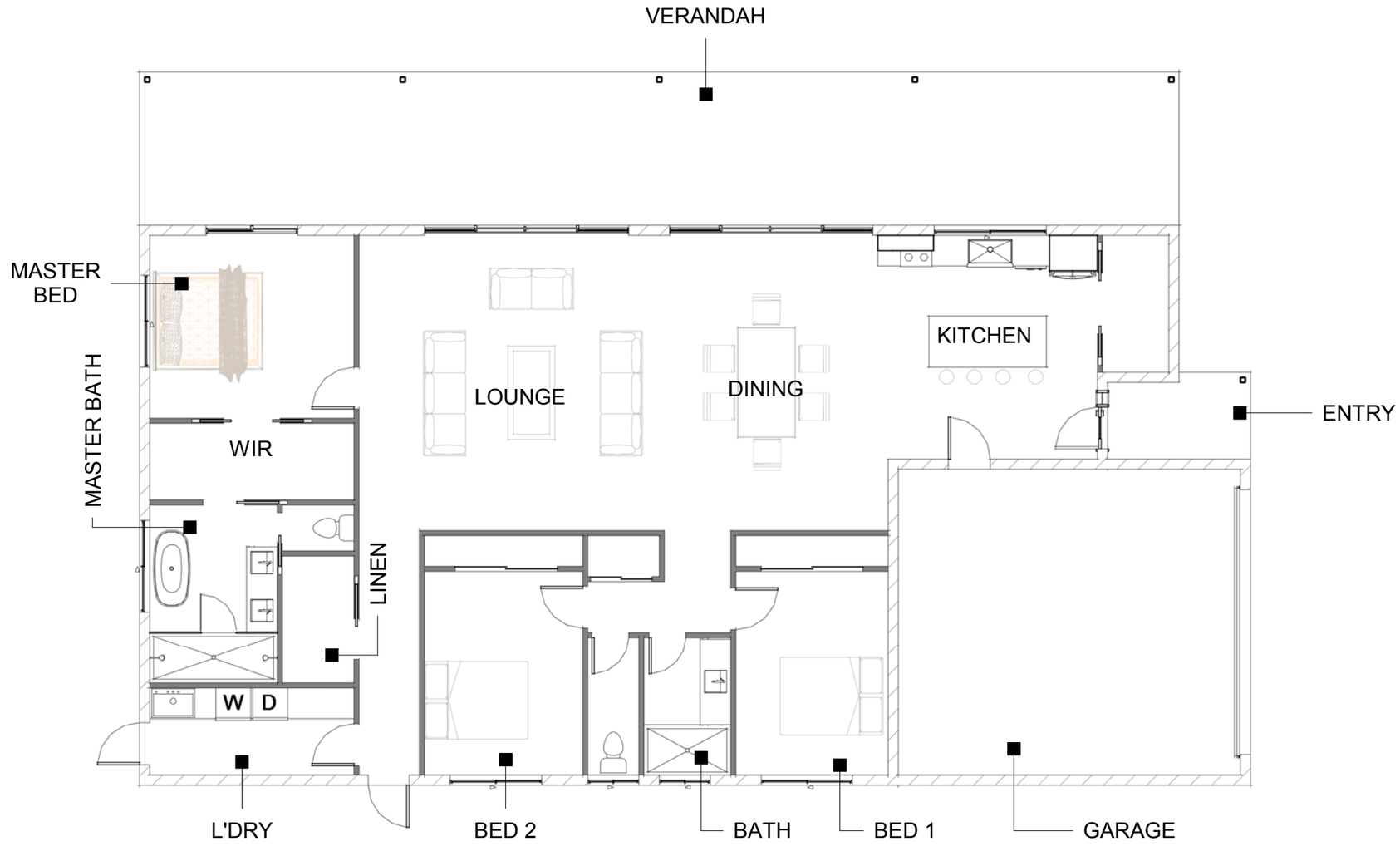
DRAWING No. JDP-856/S19A

SHEET SHEET 19 OF 23 A3

SCALE As indicated

DATE 09.11.20

REVISION A




**NOTE:**
PLUMBING PLAN TO BE MARKED UP BY LICENSED PLUMBER PRIOR TO CONSTRUCTION.

1 / S20A

# PLUMBING PLAN

1 : 100



| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

AKTIV Engineering
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
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MOBILE: 0429 805 068 EMAIL: AKTIVENG@OUTLOOOK.COM ABN: 23 451 595 939

TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

PLUMBING PLAN

DRAWING No. JDP-856/S20A
SHEET SHEET 20 OF 23 A3
SCALE 1 : 100
DATE 09.11.20
REVISION A

2 S21A 3D View 4

1 S21A 3D View 3



| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

AMENDMENTS

AKTIV Engineering
STRUCTURAL DESIGN, CONSULTING AND DRAFTING SERVICES
5 Terminalia, Redlynch, QLD
MOBILE: 0429 805 068 EMAIL: AKTIVENG@OUTLOOOK.COM ABN: 23 451 595 939

TITLE

PROPOSED RESIDENCE
LOT 255 MOSSMAN DAINTREE ROAD, MIALLO, QLD.

3D VIEWS

DRAWING No. JDP-856/S21A

SHEET SHEET 21 OF 23 A3

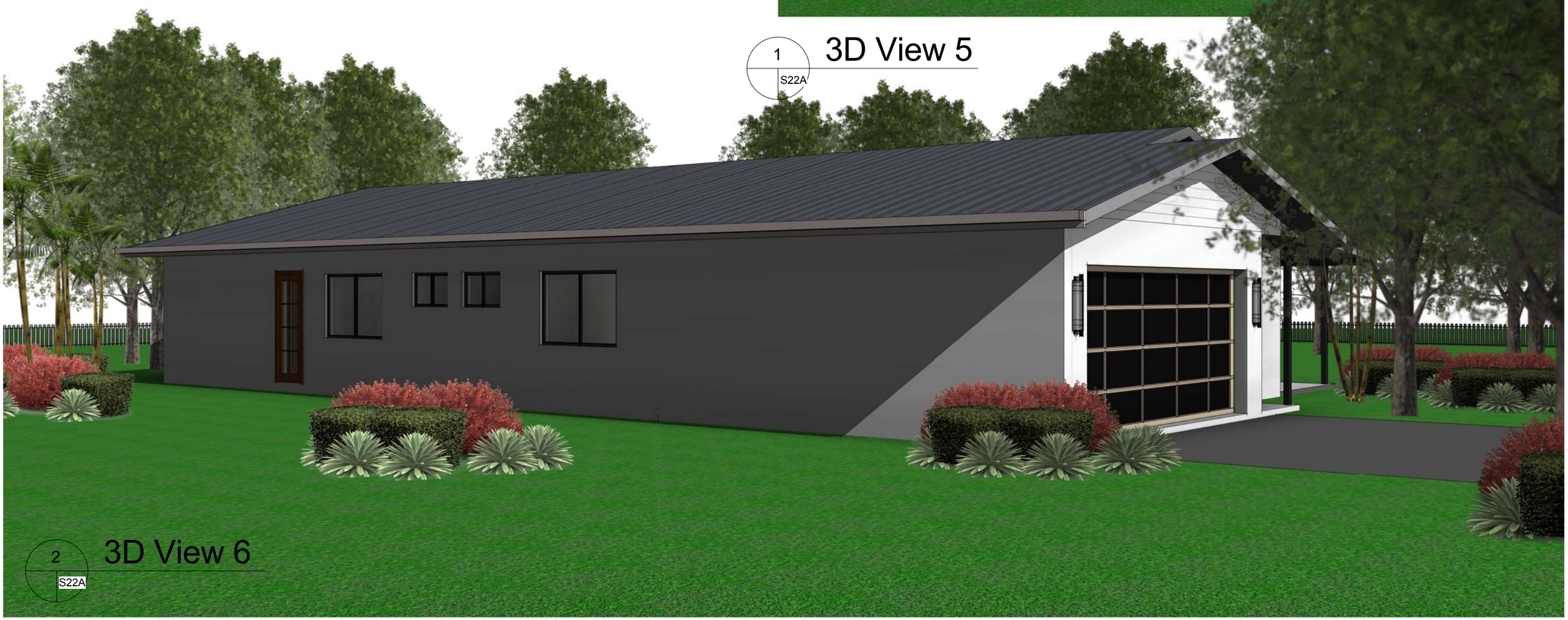
SCALE

DATE 09.11.20

REVISION A

1 S22A

## 3D View 5



2 S22A

## 3D View 6



| NO. | DESCRIPTION | DATE | NAME |
|---|---|---|---|
| 2 | AMENDMENTS A | 11-2020 | DP |
| 1 | ISSUED FOR CONSTRUCTION | 11-2020 | DP |

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DRAWING No. JDP-856/S22A

SHEET SHEET 22 OF 23 A3

SCALE

DATE 09.11.20

REVISION A

1 S23A

## 3D View 7

2 S23A

## 3D View 8



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3D VIEWS

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## Appendix 3.

# PLANNING BENCHMARK ASSESSMENT

# State code 1: Development in a state-controlled road environment

## Table 1.2.1: Development in a state-controlled road environment

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| **Buildings and structures** | | |
| **PO1** The location of buildings, structures, infrastructure, services and utilities does not create a safety hazard in a state-controlled road, or cause damage to, or obstruct road transport infrastructure | **AO1.1** Buildings, structures, infrastructure, services and utilities are not located in a state-controlled road.<br>AND | **Complies with AO1.1**<br>No structure would be located in the state-controlled road. |
| | **AO1.2** Buildings, structures, infrastructure, services and utilities can be maintained without requiring access to a state-controlled road. | **Complies with AO1.2**<br>All buildings are significantly setback from the road frontage. |
| **PO2** The design and construction of Buildings and structures does not create a safety hazard by distracting users of a state-controlled road. | **AO2.1** Facades of buildings and structures facing a state-controlled road are made of non-reflective materials.<br>OR | **Complies with AO2.1**<br>The dwelling house would have a rendered external finish. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| | **AO2.2** Facades of buildings and structures do not reflect point light sources into the face of oncoming traffic on a state-controlled road.<br>AND | **Complies with AO2.1**<br>The dwelling house would have a rendered external finish. |
| | **AO2.3** External lighting of buildings and structures is not directed into the face of oncoming traffic on a state-controlled road and does not involve flashing or laser lights.<br>AND | **Not applicable**<br>No external lighting proposed. |
| | **AO2.4** Advertising devices visible from a state-controlled road are located and designed in accordance with the Roadside advertising guide, Department of Transport and Main Roads, 2013. | **Not applicable**<br>No advertising devices proposed. |
| **PO3** Road, pedestrian and bikeway bridges over a state-controlled road are designed and constructed to prevent projectiles from being thrown onto a state-controlled road. | **AO3.1** Road, pedestrian and bikeway bridges over a state-controlled road include throw protection screens in accordance with section 4.9.3 of the Design criteria for bridges and other structures manual, Department of Transport and Main Roads, 2014. | **Not applicable**<br>No bridges proposed. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| **Filling, excavation and retaining structures** | | |
| **PO4** Filling and excavation does not interfere with, or result in damage to, infrastructure or services in a state-controlled road.<br><br>Note: Information on the location of services and public utility plants in a state-controlled road can be obtained from the Dial Before You Dig service.<br><br>Where development will impact on an existing or future service or public utility plant in a state-controlled road such that the service or public utility plant will need to be relocated, the alternative alignment must comply with the standards and design specifications of the relevant service or public utility provider, and any costs of relocation are to be borne by the developer. | No acceptable outcome is prescribed. | **Complies with PO4**<br>The proposed Dwelling House and any fill would be significantly setback from the frontage. |
| **PO5** Filling, excavation, building foundations and retaining structures do not undermine, or cause subsidence of, a state-controlled road. | No acceptable outcome is prescribed. | **Complies with PO5**<br>The proposed Dwelling House and any fill would be significantly setback from the frontage. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| Note: To demonstrate compliance with this performance outcome, it is recommended an RPEQ certified geotechnical assessment, prepared in accordance with Volume 3 of the Road Planning And Design Manual 2nd edition, Department of Transport and Main Roads, 2016, is provided. | | |
| **PO6** Filling, excavation, building foundations and retaining structures do not cause ground water disturbance in a state-controlled road.<br><br>Note: To demonstrate compliance with this performance outcome, it is recommended an RPEQ certified geotechnical assessment, prepared in accordance with Volume 3 of the Road planning and design manual 2nd edition, Department of Transport and Main Roads, 2016, is provided. | No acceptable outcome is prescribed. | **Complies with PO6**<br>The proposed Dwelling House and any fill would be significantly setback from the frontage. |
| **PO7** Excavation, boring, piling, blasting or fill compaction during construction of a development does not result in ground movement or vibration impacts that would cause damage or nuisance to a state-controlled road, road transport infrastructure or road works. | No acceptable outcome is prescribed. | **Complies with PO7**<br>The proposed Dwelling House and any fill would be significantly setback from the frontage. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| Note: To demonstrate compliance with this performance outcome, it is recommended an RPEQ certified geotechnical assessment, prepared in accordance with Volume 3 of the Road Planning And Design Manual 2nd edition, Department of Transport and Main Roads, 2016, is provided. | | |
| **PO8** Development involving the haulage of fill, extracted material or excavated spoil material exceeding 10,000 tonnes per year does not damage the pavement of a state-controlled road.<br>Note: It is recommended a pavement impact assessment is provided in accordance with the Guide to Traffic Impact Assessment, Department of Transport and Main Roads, 2017. | **AO8.1** Fill, extracted material and spoil material is not transported to or from the development site on a state-controlled road. | **Not applicable**<br>Haulage would not exceed 10,000 per year. |
| **PO9** Filling and excavation associated with the construction of vehicular access to a development does not compromise the operation or capacity of existing drainage infrastructure for a state-controlled road. | No acceptable outcome is prescribed. | **Not applicable**<br>No filling or excavation is required for the access. |
| | **AO10.1** Fill material is free of contaminants including acid sulfate content. | **Complies with AO10.1**<br>All fill would be clean fill. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| **PO10** Fill material used on a development site does not result in contamination of a state-controlled road. | Note: Soils and rocks should be tested in accordance with AS 1289.0 – Methods of testing soils for engineering purposes and AS 4133.0-2005 – Methods of testing rocks for engineering purposes.<br>AND | |
| | **AO10.2** Compaction of fill is carried out in accordance with the requirements of AS 1289.0 2000 – Methods of testing soils for engineering purposes. | **Complies with AO10.2**<br>Compaction would be appropriately engineered and inspected. |
| **PO11** Filling and excavation does not cause wind-blown dust nuisance in a state-controlled road. | **AO11.1** Compaction of fill is carried out in accordance with the requirements of AS 1289.0 2000 – Methods of testing soils for engineering purposes.<br>AND | **Complies with AO11.1**<br>Compaction would be appropriately engineered and inspected. |
| | **AO11.2** Dust suppression measures are used during filling and excavation activities such as wind breaks or barriers and dampening of ground surfaces. | **Complies with AO11.2**<br>Dust suppression measured would be used. |
| **Stormwater and drainage** | | |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| **PO12** Development does not result in an actionable nuisance, or worsening of, stormwater, flooding or drainage impacts in a state-controlled road. | No acceptable outcome is prescribed. | **Complies with PO12**<br>The proposed development would not affect the current drainage regime. |
| **PO13** Run-off from the development site is not unlawfully discharged to a state-controlled road. | **AO13.1** Development does not create any new points of discharge to a state-controlled road.<br>AND | **Complies with AO13.1**<br>The proposed development would not affect the current drainage regime. |
| | **AO13.2** Stormwater run-off is discharged to a lawful point of discharge.<br>Note: Section 3.4 of the Queensland Urban Drainage Manual, Department of Energy and Water Supply, 2013, provides further information on lawful points of discharge.<br>AND | **Complies with AO13.2**<br>The proposed development would not affect the current drainage regime. |
| | **AO13.3** Development does not worsen the condition of an existing lawful point of discharge to the state-controlled road. | **Complies with AO13.3**<br>The proposed development would not affect the current drainage regime. |
| **PO14** Run-off from the development site during construction does not cause siltation of | **AO14.1** Run-off from the development site during construction is not discharged to | **Complies with AO14.1**<br>The proposed development would not affect the current drainage regime. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| stormwater infrastructure affecting a state-controlled road. | stormwater infrastructure for a state-controlled road. | |
| **Vehicular access to a state-controlled road** | | |
| **PO15** Vehicular access to a state-controlled road that is a limited access road is consistent with government policy for the management of limited access roads. | **AO15.1** Development does not require new or changed access to a limited access road.<br>Note: Limited access roads are declared by the transport chief executive under section 54 of the *Transport Infrastructure Act 1994* and are identified in the DA mapping system.<br>OR | **Complies with AO15.1**<br>Mossman Daintree Road is not a limited access road. |
| | **AO15.2** A new or changed access to a limited access road is consistent with the limited access policy for the state-controlled road.<br>Note: Limited access policies for limited access roads declared under the *Transport Infrastructure Act 1994* can be obtained by contacting the relevant Department of Transport and Main Roads regional office.<br>AND | **Not applicable**<br>Mossman Daintree Road is not a limited access road. |
| | **AO15.3** Where a new or changed access is for a service centre, access is consistent with the | **Not applicable** |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| | Service centre policy, Department of Transport and Main Roads, 2013 and the Access policy for roadside service centre facilities on limited access roads, Department of Transport and Main Roads, 2013, and the Service centre strategy for the state-controlled road.<br>Note: The Service centre policy, Department of Transport and Main Roads, 2013, Access policy for roadside service centre facilities, Department of Transport and Main Roads, 2013 and the relevant Service centre strategy for a state-controlled road can be accessed by contacting the relevant Department of Transport and Main Roads regional office. | Mossman Daintree Road is not a limited access road. |
| **PO16** The location and design of vehicular access to a state-controlled road (including access to a limited access road) does not create a safety hazard for users of a state-controlled road or result in a worsening of operating conditions on a state-controlled road.<br>Note: Where a new or changed access between the premises and a state-controlled road is proposed, the Department of Transport and Main Roads will need to | **AO16.1** Vehicular access is provided from a local road. | See below. |
| | OR all of the following acceptable outcomes apply:<br><br>**AO16.2** Vehicular access for the development is consistent with the function and design of the state-controlled road. | **Complies with PO16**<br>The access would be for a single Dwelling House only and would not create a safety hazard or result in the worsening of operation of a state-controlled road. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| assess the proposal to determine if the vehicular access for the development is safe. An assessment can be made by Department of Transport and Main Roads as part of the development assessment process and a decision under section 62 of *Transport Infrastructure Act 1994* issued. | AND | |
| | **AO16.3** Development does not require new or changed access between the premises and the state-controlled road.<br>Note: A decision under section 62 of the *Transport Infrastructure Act 1994* outlines the approved conditions for use of an existing vehicular access to a state-controlled road. Current section 62 decisions can be obtained from the relevant Department of Transport and Main Roads regional office.<br>AND | **Complies with PO16**<br>The access would be for a single Dwelling House only and would not create a safety hazard or result in the worsening of operation of a state-controlled road. |
| | **AO16.4** Use of any existing vehicular access to the development is consistent with a decision under section 62 of the *Transport Infrastructure Act 1994*.<br>Note: The development which is the subject of the application must be of an equivalent use and intensity for which the section 62 approval was issued and the section 62 approval must have been granted no more than 5 years prior to the lodgement of the application.<br>AND | **Complies with PO16**<br>The access would be for a single Dwelling House only and would not create a safety hazard or result in the worsening of operation of a state-controlled road. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| | **AO16.5** Onsite vehicle circulation is designed to give priority to entering vehicles at all times so vehicles do not queue in a road intersection or on the state-controlled road. | **Complies with PO16**<br>The access would be for a single Dwelling House only and would not create a safety hazard or result in the worsening of operation of a state-controlled road. |
| **PO17** Vehicular access to a state-controlled road or local road (and associated road access works) are located and designed to not damage or interfere with public passenger transport infrastructure, public passenger services or pedestrian or cycle access to public passenger transport infrastructure and public passenger services. | **AO17.1** Vehicular access and associated road access works are not located within 5 metres of existing public passenger transport infrastructure.<br>AND | **Not applicable**<br>There are no passenger transport facilities within proximity of the site. |
| | **AO17.2** The location and design of vehicular access for a development does not necessitate the relocation of existing public passenger transport infrastructure.<br>AND | **Not applicable**<br>There are no passenger transport facilities within proximity of the site. |
| | **AO17.3** On-site vehicle circulation is designed to give priority to entering vehicles at all times so vehicles using a vehicular access do not obstruct public passenger transport infrastructure and | **Not applicable**<br>There are no passenger transport facilities within proximity of the site. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| | public passenger services or obstruct pedestrian or cycle access to public passenger transport infrastructure and public passenger services.<br>AND | |
| | **AO17.4** The normal operation of public passenger transport infrastructure or public passenger services is not interrupted during construction of the development. | **Not applicable**<br>There are no passenger transport facilities within proximity of the site. |
| **Vehicular access to local roads within 100 metres of an intersection with a state-controlled road** | | |
| **PO18** The location and design of vehicular access to a local road within 100 metres of an intersection with a state-controlled road does not create a safety hazard for users of a state-controlled road. | **AO18.1** Vehicular access is located as far as possible from the state-controlled road intersection.<br>AND | **Not applicable**<br>The site fronts a state-controlled road only. |
| | **AO18.2** Vehicular access is in accordance with volume 3, parts, 3, 4 and 4A of the Road Planning And Design Manual, 2nd edition, Department of Transport and Main Roads, 2016.<br>AND | **Not applicable**<br>The site fronts a state-controlled road only. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| | **AO18.3** Onsite vehicle circulation is designed to give priority to entering vehicles at all times so vehicles do not queue in the intersection or on the state-controlled road. | **Not applicable**<br>The site fronts a state-controlled road only. |
| **Planned upgrades** | | |
| **PO19** Development does not impede delivery of planned upgrades of state-controlled roads. | **AO19.1** Development is not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road.<br>Note: Land required for the planned upgrade of a state-controlled road is identified in the DA mapping system.<br>OR | **Complies with AO19.1**<br>No upgrades are planned within the vicinity of the site. |
| | **AO19.2** Development is sited and designed so that permanent buildings, structures, infrastructure, services or utilities are not located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road. | **Complies with AO19.2**<br>No upgrades are planned within the vicinity of the site. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| | OR all of the following acceptable outcomes apply:<br><br>**AO19.3** Structures and infrastructure located on land identified by the Department of Transport and Main Roads as land required for the planned upgrade of a state-controlled road are able to be readily relocated or removed without materially affecting the viability or functionality of the development.<br>AND | **Not applicable**<br>No upgrades are planned within the vicinity of the site. |
| | **AO19.4** Vehicular access for the development is consistent with the function and design of the planned upgrade of the state-controlled road.<br>AND | **Not applicable**<br>No upgrades are planned within the vicinity of the site. |
| | **AO19.5** Development does not involve filling and excavation of, or material changes to, land required for a planned upgrade to a state-controlled road. | **Not applicable**<br>No upgrades are planned within the vicinity of the site. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| | AND | |
| | **AO19.6** Land is able to be reinstated to the pre-development condition at the completion of the use. | **Not applicable**<br>No upgrades are planned within the vicinity of the site. |
| **Network impacts** | | |
| **PO20** Development does not result in a worsening of operating conditions on the state-controlled road network.<br>Note: To demonstrate compliance with this performance outcome, it is recommended that an RPEQ certified traffic impact assessment is provided, prepared in accordance with the Guide to Traffic Impact Assessment, Department of Transport and Main Roads, 2017. | No acceptable outcome is prescribed. | **Complies with PO20**<br>The application is for a single dwelling house only. The access would be from a straight section of the state-controlled road and would not affect the operation of the state controlled road. |
| **PO21** Development does not impose traffic loadings on a state-controlled road which could be accommodated on the local road network. | **AO21.1** The layout and design of the development directs traffic generated by the development to the local road network. | **Not applicable**<br>The site fronts a state-controlled road only. |
| **PO22** Upgrade works on, or associated with, a state-controlled road are built in accordance with Queensland road design standards. | **AO22.1** Upgrade works required as a result of the development are designed and constructed in accordance with the Road planning and | **Not applicable**<br>No upgrades are required. |

| Performance outcomes | Acceptable outcomes | Response |
|---|---|---|
| | design manual, 2nd edition, Department of Transport and Main Roads, 2016.<br>Note: Road works in a state-controlled road require approval under section 33 of the *Transport Infrastructure Act 1994* before the works commence. | |

## 6.2.10 Rural zone code

### 6.2.10.1 Application

(1) This code applies to assessing development in the Rural zone.
(2) When using this code, reference should be made to Part 5.

### 6.2.10.2 Purpose

(1) The purpose of the Rural zone code is to provide for:
  (a) provide for rural uses including cropping, intensive horticulture, intensive animal industries, animal husbandry, animal keeping and other primary production activities;
  (b) provide opportunities for non-rural uses, such as ancillary tourism activities that are compatible with agriculture, the environmental features, and landscape character of the rural area where the uses do not compromise the long-term use of the land for rural purposes;
  (c) protect or manage significant natural resources and processes to maintain the capacity for primary production.

(2) The local government purpose of the code is to:
  (a) implement the policy direction set in the Strategic Framework, in particular:
    (i) Theme 2: Environment and landscape values, Element 3.5.5 – Scenic amenity.
    (ii) Theme 3: Natural resource management, Element 3.6.2 – Land and catchment management, Element 3.6.3 Primary production, forestry and fisheries, Element 3.6.4 – Resource extraction.
    (iii) Theme 5 Economy, Element 3.8.2 – Economic growth and diversification, Element 3.8.4 – Primary production.
    (iv) Theme 6: Infrastructure and transport, Element 3.9.4 – Transport.
  (b) recognise the primacy of rural production, in particular sugar cultivation, and other farming practices in rural areas;

(c) provide protection to areas of ecological significance and scenic amenity significance where present.

(3) The purpose of the code will be achieved through the following overall outcomes:
- (a) Areas for use for primary production are conserved and fragmentation is avoided.
- (b) Development embraces sustainable land management practices and contributes to the amenity and landscape of the area.
- (c) Adverse impacts of land use, both on-site and on adjoining areas, are avoided and any unavoidable impacts are minimised through location, design, operation and management.
- (d) Areas of remnant and riparian vegetation are retained or rehabilitated.

**6.2.10.3 Criteria for assessment**

**Table 6.2.10.3.a —Rural zone code - For accepted development subject to requirements and assessable development**

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **For self-assessable and assessable development** | | |
| **PO1**<br>The height of buildings is compatible with the rural character of the area and must not detrimentally impact on visual landscape amenity. | **AO1.1**<br>Dwelling houses are not more than 8.5 metres in height.<br>Note – Height is inclusive of roof height. | **Complies with AO1.1**<br>The Dwelling House would have a height of less than 8.5 metres. |
| | **AO1.2** | **Not applicable**<br>No rural farm sheds are proposed. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | Rural farm sheds and other rural structures are not more than 10 metres in height. | |
| **Setbacks** | | |
| **PO2**<br>Buildings and structures are setback to maintain the rural character of the area and achieve separation from buildings on adjoining properties. | **AO2**<br>Buildings are setback not less than:<br>(a) 40 metres from the property boundary and a State-controlled road;<br>(b) 25 metres from the property boundary adjoining Cape Tribulation Road;<br>(c) 20 metres from the boundary with any other road;<br>(d) 6 metres from side and rear property boundaries. | **Complies with AO2**<br>The Dwelling House would be setback approximately 65 metres from the state-controlled road and greater than 100 metres from side and rear boundaries. |
| **PO3**<br>Buildings/structures are designed to maintain the rural character of the area. | **AO3**<br>White and shining metallic finishes are avoided on external surfaces of buildings. | **Able to comply with AO3**<br>External colours are yet to be determined; Council are invited to attach a condition to any approval granted if considered necessary. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **For assessable development** | | |
| **PO4**<br>The establishment of uses is consistent with the outcomes sought for the Rural zone and protects the zone from the intrusion of inconsistent uses. | **AO4**<br>Uses identified in Table 0.a are not established in the Rural zone. | **Complies with AO4**<br>A Dwelling House is not an identified use. |
| **PO5**<br>Uses and other development include those that:<br>(a) promote rural activities such as agriculture, rural enterprises and small scale industries that serve rural activities; or<br>(b) promote low impact tourist activities based on the appreciation of the rural character, landscape and rural activities; or<br>(c) are compatible with rural activities. | **AO5**<br>No acceptable outcomes are prescribed. | **Complies with PO5**<br>A Dwelling House associated with a rural activity is considered compatible. |
| **PO6** | **AO6**<br>No acceptable outcomes are prescribed. | **Not applicable**<br>The site has been cleared of all native vegetation. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| Existing native vegetation along watercourses and in, or adjacent to areas of environmental value, or areas of remnant vegetation of value is protected. | | |
| **PO7**<br>The minimum lot size is 40 hectares, unless<br>(a) the lot reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments to resolve encroachments); or<br>(b) the reconfiguration is limited to one additional lot to accommodate:<br>(i) Telecommunications facility;<br>(ii) Utility installation. | **AO7**<br>No acceptable outcomes are prescribed. | **Not applicable**<br>No lot reconfiguration ins proposed. |

**Table 0.a — Inconsistent uses within the Rural zone.**

| Inconsistent uses | | |
|---|---|---|
| • Adult store<br>• Bar<br>• Brothel | • Hotel<br>• Indoor sport and recreation<br>• Low impact industry | • Residential care facility<br>• Resort complex<br>• Retirement facility |

| | | |
|---|---|---|
| • Car wash<br>• Child care centre<br>• Club<br>• Community care centre<br>• Community residence<br>• Detention facility,<br>• Dual occupancy<br>• Dwelling unit<br>• Food and drink outlet<br>• Hardware and trade supplies<br>• Health care services<br>• High impact industry | • Medium impact industry<br>• Multiple dwelling<br>• Nightclub entertainment facility<br>• Non-resident workforce accommodation<br>• Office<br>• Outdoor sales<br>• Parking station<br>• Permanent plantation<br>• Port services<br>• Relocatable home park<br>• Renewable energy facility, being a wind farm | • Rooming accommodation<br>• Sales office<br>• Service station<br>• Shop<br>• Shopping centre<br>• Short-term accommodation<br>• Showroom<br>• Special industry<br>• Theatre<br>• Warehouse |

Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.

## 8.2.1 Acid sulfate soils overlay code

### 8.2.1.1 Application

(1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Acid sulfate soils overlay, if:
  (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  (b) impact assessable development.

(2) Land in the Acid sulphate soils overlay is identified on the Acid sulfate soils overlay map in Schedule 2 and includes the following sub-categories:
  (a) Land at or below the 5m AHD sub-category;
  (b) Land above the 5m AHD and below the 20m AHD sub-category.

(3) When using this code, reference should be made to Part 5.

### 8.2.1.2 Purpose

(1) The purpose of the acid sulfate soils overlay code is to:
  (a) implement the policy direction in the Strategic Framework, in particular:
    (i) Theme 2: Environment and landscape values, Element 3.5.4 Coastal zones.
    (ii) Theme 3: Natural resource management, Element 3.6.2 land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.

(2) enable an assessment of whether development is suitable on land within the Acid sulfate soils overlay sub-categories.

(2) The purpose of the code will be achieved through the following overall outcomes:

(a) Development ensures that the release of any acid and associated metal contaminant is avoided by not disturbing acid sulfate soils when excavating, removing soil or extracting ground water or filling land;
(b) Development ensures that disturbed acid sulphate soils, or drainage waters, are treated and, if required, on-going management practices are adopted that minimise the potential for environmental harm from acid sulfate soil and protect corrodible assets from acid sulfate soil.

### 8.2.1.3 Criteria for assessment

**Table** Error! No text of specified style in document.**.a – Acid sulphate soils overlay code –assessable development**

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **For assessable development** | | |
| **PO1**<br>The extent and location of potential or actual acid sulfate soils is accurately identified. | **AO1.1**<br>No excavation or filling occurs on the site.<br>or<br>**AO1.2**<br>An acid sulfate soils investigation is undertaken.<br>Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing | **Complies with AO1.1**<br>The proposed Dwelling House would be located on the highest part of the site with a ground level of in the order of 3.75 m AHD. Limited excavation or filling would occur with earthworks predominantly site contouring only. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | an acid sulfate soils investigation. | |
| **PO2**<br>Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants. | **AO2.1**<br>The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by:<br>(a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils;<br>(b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils;<br>(c) not undertaking filling that results in:<br>(d) actual acid sulfate soils being moved below the water table;<br>(e) previously saturated acid sulfate soils being aerated.<br>or<br>**AO2.2**<br>The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in | **Complies with AO2.1**<br>It is not proposed to disturb acid sulfate soils or potential acid sulfate souls as part of the proposed development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by:<br>(a) neutralising existing acidity and preventing the generation of acid and metal contaminants;<br>(b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment;<br>(c) preventing the in situ oxidisation of potential acid sulfate soils and actual acid sulfate soils through ground water level management;<br>(d) appropriately treating acid sulfate soils before disposal occurs on or off site;<br>(e) documenting strategies and reporting requirements in an acid sulfate soils environmental management plan.<br>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan. | |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **PO3**<br>No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils. | **AO3**<br>No acceptable outcomes are prescribed. | **Complies with PO3**<br>It is not proposed to disturb acid sulfate soils or potential acid sulfate soils as part of the development. |

### 8.2.3 Coastal environment overlay code

#### 8.2.3.1 Application

(1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Coastal environment overlay, if:

(a) self assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
(b) impact assessable development.

(2) Land in the Coastal hazard overlay is identified on the Coastal environment overlay map in Schedule 2 and includes the following sub-categories:

(a) Coastal management district sub-category;
(b) Erosion prone area sub-category.

(3) When using this code, reference should be made to Part 5

#### 8.2.3.2 Purpose

(1) The purpose of the Coastal environment overlay code is to:

(a) implement the policy direction in the Strategic Framework, in particular:

(i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
(ii) Theme 2 Environment and landscape values: Element 3.5.4 Coastal zones;

(iii) Theme 3 Natural resource management: Element 3.6.2 Land and catchment management.

(b) enable an assessment of whether development is suitable on land within the Coastal processes sub-categories.

(2) The purpose of the code will be achieved through the following overall outcomes:

(a) facilitate the protection of both coastal processes and coastal resources;
(b) facilitating coastal dependent development on the foreshore over other development;
(c) public access to the foreshore protects public safety;
(d) maintain the erosion prone area as a development free buffer zone (other than for coastal dependent, temporary or relocatable development);
(e) require redevelopment of existing permanent buildings or structures in an erosion prone area to avoid coastal erosion risks, manage coastal erosion risks through a strategy of planned retreat or mitigate coastal erosion risks;
(f) require development to maintain or enhance natural processes and the protective function of landforms and vegetation that can mitigate risks associated with coastal erosion;
(g) locate and design community infrastructure to maintain the required level of functionality during and immediately after a coastal hazard event.

**8.2.3.3 Criteria for assessment**
**Table 8.2.3.3.a – Coastal environment overlay code – self-assessable and assessable development.**

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **For self-assessable and assessable development** | | |
| **PO1**<br>No works other than coastal protection works extend seaward of the coastal building line | **AO1**<br>Development (including all buildings and other permanent structures such as swimming pools and retaining walls) does not extend seaward of a coastal building line.<br>Note – Coastal building lines are declared under the Coastal Protection and Management Act 1995 and are administered by the State Department of Environment and Heritage Protection. | **Not applicable**<br>No coastal building line affects the site. |
| | **AO1.2**<br>Coastal protection works are only undertaken as a last resort where coastal erosion presents an immediate threat to public safety or existing buildings or structures and the property cannot be relocated or abandoned. | **Not applicable**<br>No coastal protection works are proposed. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | **AO1.3**<br>Coastal protection works are as far landward as practicable on the lot containing the property to the maximum extent reasonable. | **Not applicable**<br>No coastal protection works are proposed. |
| | **AO1.4**<br>Coastal protection work mitigates any increase in the coastal hazard. | **Not applicable**<br>No coastal protection works are proposed. |
| **PO2**<br>Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development is setback to maintain the amenity and use of the coastal resource. | **AO2**<br>Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development (including all buildings and structures such as swimming pools) and retaining walls are set back not less than 6 metres from the seaward boundary of the lot. | **Not applicable**<br>The site does not share a common boundary with the coast. |
| **For Assessable development**<br>**Erosion Prone Areas** | | |
| **PO3** | **AO3** | **Not applicable** |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| Development identifies erosion prone areas (coastal hazards). | No acceptable outcomes are prescribed. | The proposed development is self-assessable development. |
| **PO4**<br>Erosion prone areas are free from development to allow for natural coastal processes. | **AO4.1**<br>Development is not located within the Erosion prone area, unless it can be demonstrated that the development is for:<br>(a) community infrastructure where no suitable alternative location or site exists for this infrastructure; or<br>(b) development that reflects the preferred development outcomes in accordance with the zoning of the site (i.e. in the Low density residential zone, a dwelling house is a preferred development outcome in accordance with the zoning of the site). | **Not applicable**<br>The proposed development is self-assessable development. |
| | **AO4.2**<br>Development involving existing permanent buildings and structures within an erosion prone area does not increase in intensity of its use by: | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | (a) adding additional buildings or structures; or<br>(b) incorporating a land use that will result in an increase in the number of people or employees occupying the site. | |
| **Coastal Management Districts** | | |
| **PO5**<br>Natural processes and protective functions of landforms and vegetation are maintained. | **AO5.1**<br>Development within the coastal management district:<br>(a) maintains vegetation on coastal land forms where its removal or damage may:<br>(i) destabilise the area and increase the potential for coastal erosion, or<br>(ii) interrupt the natural sediment trapping processes or dune or land building processes;<br>(b) maintains sediment volumes of dunes and near-shore coastal landforms, or where a | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | reduction in sediment volumes cannot be avoided, increased risks to development from coastal erosion are mitigated by location, design and construction and operating standards;<br>(c) minimises the need for erosion control structures or riverine hardening through location, design and construction standards;<br>(d) maintains physical coastal processes outside the development footprint for the development, including longshore transport of sediment along the coast;<br>(e) reduces the risk of shoreline erosion for areas adjacent to the development footprint to the maximum extent feasible in the case of erosion control structures. | |
| | **PO5.2** | **Not applicable** |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | Where development proposes the construction of an erosion control structure:<br>(a) it is demonstrated that it is the only feasible option for protecting permanent structures from coastal erosion; and<br>(b) those permanent structures cannot be abandoned or relocated in the event of coastal erosion occurring. | The proposed development is self-assessable development. |
| | **PO5.3**<br>Development involving reclamation:<br>(a) does not alter, or otherwise minimises impacts on, the physical characteristics of a waterway or the seabed near the reclamation, including flow regimes, hydrodynamic forces, tidal water and riverbank stability;<br>(b) is located outside active sediment transport area, or otherwise maintains | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | sediment transport processes as close as possible to their natural state;<br>(c) ensures activities associated with the operation of the development maintain the structure and condition of vegetation communities and avoid wind and water runoff erosion. | |
| **PO6**<br>Development avoids or minimises adverse impacts on coastal resources and their values to the maximum extent reasonable. | **AO6.1**<br>Coastal protection work that is in the form of beach nourishment uses methods of placement suitable for the location that do not interfere with the long-term use of the locality, or natural values within or neighbouring the proposed placement site.<br>and | **Not applicable**<br>The proposed development is self-assessable development. |
| | **AO6.2**<br>Marine development is located and designed to expand on or redevelop existing marine infrastructure unless it is demonstrated that it is | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | not practicable to co-locate the development with existing marine infrastructure;<br>and | |
| | **AO6.3**<br>Measures are incorporated as part of siting and design of the development to maintain or enhance water quality to achieve the environmental values and water quality objectives outlined in the Environmental Protection (Water) Policy 2009.<br>and | **Not applicable**<br>The proposed development is self-assessable development. |
| | **AO6.4**<br>Design and siting of development protects and retains identified ecological values and underlying ecosystem processes within the development site to the greatest extent practicable. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO7**<br>Development is to maintain access to and along the foreshore for general public access. | **AO7.1** | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | Development provides for regular access points for pedestrians including approved walking tracks, boardwalks and viewing platforms.<br>and | |
| | **AO7.2**<br>Development provides for regular access points for vehicles including approved roads and tracks.<br>or | **Not applicable**<br>The proposed development is self-assessable development. |
| | **AO7.3**<br>Development demonstrates an alternative solution to achieve an equivalent standard of performance. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO8**<br>Public access to the coast is appropriately located, designed and operated. | **AO8.1**<br>Development maintains or enhances public access to the coast.<br>or | **Not applicable**<br>The proposed development is self-assessable development. |
| | **AO8.2** | **Not applicable** |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | Development is located adjacent to state coastal land or tidal water and minimises and offsets any loss of access to and along the foreshore within 500 metres.<br>or | The proposed development is self-assessable development. |
| | **AO8.3**<br>Development adjacent to state coastal land or tidal water demonstrates an alternative solution to achieve an equivalent standard and quality of access. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO9**<br>Development adjacent to state coastal land or tidal water is located, designed and operated to:<br>(a) maintain existing access to and along the foreshore;<br>(b) minimise any loss of access to and along the foreshore, or | **AO9.1**<br>Development adjacent to state coastal land or tidal water:<br>(a) demonstrates that restrictions to public access are necessary for:<br>(i) the safe and secure operation of development; | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| (c) offset any loss of access to and along the foreshore by providing for enhanced alternative access in the general location. | (ii) the maintenance of coastal landforms and coastal habitat; or<br>(b) maintains public access (including public access infrastructure that has been approved by the local government or relevant authority) through the site to the foreshore for:<br>(i) pedestrians via access points including approved walking tracks, boardwalks and viewing platforms;<br>(ii) vehicles via access points including approved roads or tracks. | |
| | **AO9.2**<br>Development adjacent to state coastal land or tidal water:<br>(a) is located and designed to:<br>(i) allow safe unimpeded access to, over, under or around built infrastructure located on, over or | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | along the foreshore, for example through the provision of esplanades or easement corridors to preserve future access;<br>(ii) ensure emergency vehicles can access the area near the development. or<br>(b) minimises and offsets any loss of access to and along the foreshore within 500m of existing access points and development is located and designed to:<br>(i) allow safe unimpeded access to, over, under or around built infrastructure located on, over or along the foreshore, and<br>(ii) ensure emergency vehicles can access the area near the development. | |
| **PO10** | **AO10.1** | **Not applicable** |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| Development that involves reconfiguring a lot for urban purposes adjacent to the coast is designed to ensure public access to the coast in consideration of public access demand from a whole-of-community basis and the maintenance of coastal landforms and coastal habitat. | Development complies if consideration of public access demand from a whole-of-community basis and the maintenance of coastal landforms and coastal habitat is undertaken.<br>**or**<br>**AO10.2**<br>Development demonstrates an alternative solution to achieve an equivalent standard and quality of access. | The proposed development is self-assessable development. |
| **PO11**<br>Development maintains public access to State coastal land by avoiding private marine development attaching to, or extending across, non-tidal State coastal land. | **AO11**<br>Private marine access structures and other structures such as decks or boardwalks for private use do not attach to or extend across State coastal land that is situated above high water mark. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO12** | **AO12**<br>The artificial waterway avoids intersecting with or connection to inundated land or leased land where the passage, use or movement of vessels | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| Development in connection with an artificial waterway enhances public access to coastal waters. | in water on the land could be restricted or prohibited by the registered proprietor of the inundated land or leased land. | |
| **Coastal landscapes, views and vistas** | | |
| **PO13**<br>Development maintains and / or enhances natural coastal landscapes, views and vistas. | **AO13**<br>No acceptable outcomes are prescribed. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO14**<br>Coastal settlements are consolidated through the concentration of development within the existing urban areas through infill and conserving the natural state of the coastal area outside existing urban areas. | **AO14**<br>No acceptable outcomes are prescribed. | **Not applicable**<br>The proposed development is self-assessable development. |
| **Private marine development** | | |
| **PO15** | **AO15**<br>Private marine development and other structures such as decks or boardwalks for private use do | **Not applicable** |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| Private marine development is to avoid attaching to, or extending across, non-tidal State coastal land. | not attach to, or extend across, State coastal land that is situated above high water mark.<br>Note – For occupation permits or allocations of State land, refer to the Land Act 1994. | The proposed development is self-assessable development. |
| **PO16**<br>The location and design of private marine development does not adversely affect the safety of members of the public access to the foreshore. | **AO16**<br>Private marine development does not involve the erection or placement of any physical barrier preventing existing access, along a public access way to the foreshores. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO17**<br>Private marine development is of a height and scale and size compatible with the character and amenity of the location. | **AO17**<br>Private marine development has regard to:<br>(a) the height, scale and size of the natural features of the immediate surroundings and locality;<br>(b) the height, scale and size of existing buildings or other structures in the immediate surroundings and the locality;<br>(c) if the relevant planning scheme states that desired height, scale or size of buildings or | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | other structures in the immediate surroundings or locality – the stated desired height, scale or size.<br>Note – The prescribed tidal works code in the Coastal Protection and Management Regulation 2003 outlines design and construction requirements that must be complied with. | |
| **PO18**<br>Private marine development avoids adverse impacts on coastal landforms and coastal processes. | **AO18**<br>Private marine development does not require the construction of coastal protection works, shoreline or riverbank hardening or dredging for marine access. | **Not applicable**<br>The proposed development is self-assessable development. |
| **For dry land marinas and artificial waterways** | | |
| **PO19**<br>Dry land marinas and artificial waterways:<br>(a) avoid impacts on coastal resources;<br>(b) do not contribute to the degradation of water quality; | **AO19**<br>No acceptable solutions are prescribed. | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| (c) do not increase the risk of flooding;<br>(d) do not result in the degradation or loss of MSES;<br>(e) do not result in an adverse change to the tidal prism of the natural waterway to which development is connected.<br>(f) does not involve reclamation of tidal land other than for the purpose of:<br>(i) coastal dependent development, public marine development; or<br>(ii) community infrastructure, where there is no feasible alternative; or<br>(iii) strategic ports, boat harbours or strategic airports and aviation facilities in accordance with a statutory land use plan; or<br>(iv) coastal protection works or works necessary to protect coastal resources and processes. | | |

## 8.2.4 Flood and storm tide hazard overlay code

### 8.2.4.1 Application

(1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Flood and storm tide hazard overlay, if:

(a) self assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
(b) impact assessable development.

(2) Land in the Flood and storm tide hazard overlay is identified on the Flood and storm tide hazard overlay map in Schedule 2 and includes the:

(a) Storm tide – high hazard sub-category;
(b) Storm tide – medium hazard sub-category;
(c) Flood plain assessment sub-category;
(d) 100 ARI Mossman, Port Douglas and Daintree Township Flood Studies sub-category.

(3) When using this code, reference should be made to Part 5.

Note - The Flood and storm tide hazards overlay maps contained in Schedule 2 identify areas (Flood and storm tide inundation areas) where flood and storm tide inundation modelling has been undertaken by the Council. Other areas not identified by the Flood and inundation hazards overlay maps contained in Schedule 2 may also be subject to the defined flood event or defined storm tide event.

### 8.2.4.2 Purpose

(1) The purpose of the Flood and storm tide hazard overlay code is to:

(a) implement the policy direction in the Strategic Framework, in particular:
  (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
  (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
(b) enable an assessment of whether development is suitable on land within the Flood and storm tide hazard sub-categories.

(2) The purpose of the code will be achieved through the following overall outcomes:

(a) development siting, layout and access responds to the risk of the natural hazard and minimises risk to personal safety;
(b) development achieves an acceptable or tolerable risk level, based on a fit for purpose risk assessment;
(c) the development is resilient to natural hazard events by ensuring siting and design accounts for the potential risks of natural hazards to property;
(d) the development supports, and does not unduly burden disaster management response or recovery capacity and capabilities;
(e) the development directly, indirectly and cumulatively avoids an unacceptable increase in severity of the natural hazards and does not significantly increase the potential for damage on site or to other properties;
(f) the development avoids the release of hazardous materials as a result of a natural hazard event;
(g) natural processes and the protective function of landforms and/or vegetation are maintained in natural hazard areas;
(h) community infrastructure is located and designed to maintain the required level of functionality during and immediately after a hazard event.

### 8.2.4.3 Criteria for assessment

**Table 8.2.4.3.a – Flood and storm tide hazards overlay code –assessable development**

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **For assessable and self-assessable development** | | |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **PO1**<br>Development is located and designed to:<br>(a) ensure the safety of all persons;<br>(b) minimise damage to the development and contents of buildings;<br>(c) provide suitable amenity;<br>(d) minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events.<br>Note – For assessable development within the flood plain assessment sub-category, a flood study by a suitably qualified professional is required to identify compliance with the intent of the acceptable outcome. | **AO1.1**<br>Development is sited on parts of the land that is not within the Flood and Storm tide hazards overlay maps contained in Schedule 2;<br>or<br>For dwelling houses,<br>**AO1.2**<br>Development within the Flood and Storm Tide hazards overlay maps (excluding the Flood plain assessment sub-category) is designed to provide immunity to the Defined Inundation Event as outlined within Table 8.2.4.3.b plus a freeboard of 300mm. | **Complies with PO1**<br>The site is within the medium and high storm tide hazard and floodplain assessment overlay.<br>It is understood that the minimum finished floor level is required to be 3.4m AHD. The proposed Dwelling House is envisaged as having a finished floor level of greater than 3.4m AHD, being located in part of the site with a ground level of 3.75m AHD.<br>The proposed development would ensure the safety of all persons, minimise damage to buildings and provide a suitable amenity and minimise disruption. |
| | **AO1.3**<br>New buildings are:<br>(a) not located within the overlay area;<br>(b) located on the highest part of the site to minimise entrance of flood waters; | **Complies with AO1.3**<br>The proposed Dwelling House would be located in the highest part of the site at 3.75m AHD. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | (c) provided with clear and direct pedestrian and vehicle evacuation routes off the site. | |
| | **AO1.4**<br>In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters. | **Not applicable**<br>The site does not contain any natural riparian corridor. |
| **For assessable development** | | |
| **PO2**<br>The development is compatible with the level of risk associated with the natural hazard. | **AO2**<br>The following uses are not located in land inundated by the Defined Flood Event (DFE) / Storm tide:<br>(a) Retirement facility;<br>(b) Community care facility;<br>(c) Child care centre. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO3**<br>Development siting and layout responds to | For Material change of use<br>**AO3.1** | **Not applicable**<br>The proposed development is self-assessable |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| flooding potential and maintains personal safety | New buildings are:<br>(a) not located within the overlay area;<br>(b) located on the highest part of the site to minimise entrance of flood waters;<br>(c) provided with clear and direct pedestrian and vehicle evacuation routes off the site.<br>or<br>**AO3.2**<br>The development incorporates an area on site that is at least 300mm above the highest known flood inundation level with sufficient space to accommodate the likely population of the development safely for a relatively short time until flash flooding subsides or people can be evacuated.<br>or<br>**AO3.3**<br>Where involving an extension to an existing dwelling house that is situated below DFE /Storm | development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | tide, the maximum size of the extension does not exceed 70m$^2$ gross floor area.<br>Note – If part of the site is outside the Hazard Overlay area, this is the preferred location of all buildings. | |
| | For Reconfiguring a lot<br>**AO3.4**<br>Additional lots:<br>(a) are not located in the hazard overlay area;<br>or<br>(b) are demonstrated to be above the flood level identified for the site.<br>Note - If part of the site is outside the Hazard Overlay area, this is the preferred location for all lots (excluding park or other open space and recreation lots).<br>Note – Buildings subsequently developed on the lots will need to comply with the relevant building assessment provisions under the *Building Act 1975*. | **Not applicable**<br>The proposed development is self-assessable development. |
| | **AO3.5**<br>Road and/or pathway layout ensures residents are | **Not applicable**<br>The proposed development is self-assessable |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | not physically isolated from adjacent flood free urban areas and provides a safe and clear evacuation route path:<br>(a) by locating entry points into the reconfiguration above the flood level and avoiding culs-de-sac or other non-permeable layouts; and<br>(b) by direct and simple routes to main carriageways. | development. |
| | **AO3.6**<br>Signage is provided on site (regardless of whether the land is in public or private ownership) indicating the position and path of all safe evacuation routes off the site and if the site contains, or is within 100m of a floodable waterway, hazard warning signage and depth indicators are also provided at key hazard points, such as at floodway crossings or entrances to low-lying reserves.<br>or | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | **AO3.7**<br>There is no intensification of residential uses within the flood affected areas on land situated below the DFE/Storm tide. | **Not applicable**<br>The proposed development is self-assessable development. |
| | For Material change of use (Residential uses)<br>**AO3.1**<br>The design and layout of buildings used for residential purposes minimise risk from flooding by providing:<br>(a) parking and other low intensive, non-habitable uses at ground level;<br>Note - The high-set 'Queenslander' style house is a resilient low-density housing solution in floodplain areas. Higher density residential development should ensure only non-habitable rooms (e.g. garages, laundries) are located on the ground floor. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO4**<br>Development is resilient to flood events by ensuring design and built form account for the | For Material change of use (Non-residential uses)<br>**AO4.2**<br>Non residential buildings and structures allow for | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| potential risks of flooding. | the flow through of flood waters on the ground floor.<br>Note - Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site).<br>Note - The relevant building assessment provisions under the *Building Act 1975* apply to all building work within the Hazard Area and need to take into account the flood potential within the area. | |
| | **AO4.3**<br>Materials are stored on-site:<br>(a) are those that are readily able to be moved in a flood event;<br>(b) where capable of creating a safety hazard by being shifted by flood waters, are contained in order to minimise movement in times of flood.<br>Notes -<br>(a) Businesses should ensure that they have the necessary contingency plans in place to account for the potential | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site).<br>(b) Queensland Government Fact Sheet 'Repairing your House after a Flood' provides information about water resilient products and building techniques. | |
| **PO5**<br>Development directly, indirectly and cumulatively avoids any increase in water flow velocity or flood level and does not increase the potential flood damage either on site or on other properties.<br><br>Note – Berms and mounds are considered to be an undesirable built form outcome and are not supported. | For Operational works<br>**AO5.1**<br>Works in urban areas associated with the proposed development do not involve:<br>(a) any physical alteration to a watercourse or floodway including vegetation clearing; or<br>(b) a net increase in filling (including berms and mounds).<br>**AO5.2**<br>Works (including buildings and earthworks) in non urban areas either:<br>(a) do not involve a net increase in filling greater than $50m^3$; or | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | (b) do not result in any reductions of on-site flood storage capacity and contain within the subject site any changes to depth/duration/velocity of flood waters;<br>or<br>(c) do not change flood characteristics outside the subject site in ways that result in:<br>(i) loss of flood storage;<br>(ii) loss of/changes to flow paths;<br>(iii) acceleration or retardation of flows or any reduction in flood warning times elsewhere on the flood plain. | |
| | For Material change of use<br><br>**AO5.3**<br>Where development is located in an area affected by DFE/Storm tide, a hydraulic and hydrology report, prepared by a suitably qualified professional, demonstrates that the development | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | maintains the flood storage capacity on the subject site; and<br>(a) does not increase the volume, velocity, concentration of flow path alignment of stormwater flow across sites upstream, downstream or in the general vicinity of the subject site; and<br>(b) does not increase ponding on sites upstream, downstream or in the general vicinity of the subject site. | |
| | For Material change of use and Reconfiguring a lot<br>**AO5.4**<br>In non-urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.<br>Note – Fences and irrigation infrastructure (e.g. irrigation tape) in rural areas should be managed to minimise adverse the impacts that they may | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | have on downstream properties in the event of a flood. | |
| **PO6**<br>Development avoids the release of hazardous materials into floodwaters. | For Material change of use<br>**AO6.1**<br>Materials manufactured or stored on site are not hazardous or noxious, or comprise materials that may cause a detrimental effect on the environment if discharged in a flood event;<br>or<br>**AO6.2**<br>If a DFE level is adopted, structures used for the manufacture or storage of hazardous materials are:<br>(a) located above the DFE level;<br>or<br>(b) designed to prevent the intrusion of floodwaters. | **Not applicable**<br>The proposed development is self-assessable development. |
| | **AO6.3** | **Not applicable** |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by the DFE | The proposed development is self-assessable development. |
| | **AO6.4**<br>If a flood level is not adopted, hazardous materials and their manufacturing equipment are located on the highest part of the site to enhance flood immunity and designed to prevent the intrusion of floodwaters.<br>Note – Refer to *Work Health and Safety Act 2011* and associated Regulation and Guidelines, the *Environmental Protection Act 1994* and the relevant building assessment provisions under the *Building Act 1975* for requirements related to the manufacture and storage of hazardous materials. | **Not applicable**<br>The proposed development is self-assessable development. |
| **PO7**<br>The development supports, and does not unduly burden, disaster management response or recovery capacity and capabilities. | **AO7**<br>Development does not:<br>(a) increase the number of people calculated to be at risk of flooding; | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | (b) increase the number of people likely to need evacuation;<br>(c) shorten flood warning times; and<br>(d) impact on the ability of traffic to use evacuation routes, or unreasonably increase traffic volumes on evacuation routes. | |
| **PO8**<br>Development involving community infrastructure:<br>(a) remains functional to serve community need during and immediately after a flood event;<br>(b) is designed, sited and operated to avoid adverse impacts on the community or environment due to impacts of flooding on infrastructure, facilities or access and egress routes;<br>(c) retains essential site access during a flood event;<br>(d) is able to remain functional even when other | **AO8.1**<br>The following uses are not located on land inundated during a DFE/Storm tide:<br>(a) community residence; and<br>(b) emergency services; and<br>(c) residential care facility; and<br>(d) utility installations involving water and sewerage treatment plants; and<br>(e) storage of valuable records or items of historic or cultural significance (e.g. archives, museums, galleries, libraries).<br>or | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| infrastructure or services may be compromised in a flood event. | **AO8.2**<br>The following uses are not located on land inundated during a 1% AEP flood event:<br>(a) community and cultural facilities, including facilities where an education and care service under the Education and care Services National law (Queensland) is operated or child care service under the *Child Care Act 2002* is conducted,<br>(b) community centres;<br>(c) meeting halls;<br>(d) galleries;<br>(e) libraries.<br>The following uses are not located on land inundated during a 0.5% AEP flood event.<br>(a) emergency shelters;<br>(b) police facilities;<br>(c) sub stations;<br>(d) water treatment plant | |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | The following uses are not located on land inundated during a 0.2% AEP flood event:<br>(a) correctional facilities;<br>(b) emergency services;<br>(c) power stations;<br>(d) major switch yards. | |
| | **AO8.3**<br>The following uses have direct access to low hazard evacuation routes as defined in Table 8.2.4.3.c:<br>(a) community residence; and<br>(b) emergency services; and<br>(c) hospitals; and<br>(d) residential care facility; and<br>(e) sub stations; and<br>(f) utility installations involving water and sewerage treatment plants. | **Not applicable**<br>The proposed development is self-assessable development. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | and/or<br>**AO8.4**<br>Any components of infrastructure that are likely to fail to function or may result in contamination when inundated by flood, such as electrical switch gear and motors, telecommunications connections, or water supply pipeline air valves are:<br>(a) located above DFE/Storm tide or the highest known flood level for the site;<br>(b) designed and constructed to exclude floodwater intrusion / infiltration. | **Not applicable**<br>The proposed development is self-assessable development. |
| | **AO8.5**<br>Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by a flood. | **Not applicable**<br>The proposed development is self-assessable development. |

**Table 8.2.4.3.b- Minimum immunity (floor levels) for development**

| Minimum immunity to be achieved | Uses and elements of activities acceptable |
|---|---|

| (floor levels) | in the event |
|---|---|
| 20% AEP level | • Parks and open space. |
| 5% AEP level | • Car parking facilities (including car parking associated with use of land). |
| 1% AEP level | • All development (where not otherwise requiring an alternative level of minimum immunity). |
| 0.5% AEP level | • Emergency services (if for a police station);<br>• Industry activities (if including components which store, treat or use hazardous materials);<br>• Substation;<br>• Utility installation. |
| 0.2% AEP level | • Emergency services;<br>• Hospital;<br>• Major electricity infrastructure;<br>• Special industry. |

**Table 8.2.4.3.c - Degree of flood**

| Criteria | Low | Medium | High | Extreme |
|---|---|---|---|---|
| Wading ability | If necessary, children and the elderly could wade. (Generally, safe wading velocity depth product is less than 0.25) | Fit adults can wade. (Generally, safe wading velocity depth product is less than 0.4) | Fit adults would have difficulty wading. (Generally, safe wading velocity depth product is less than 0.6) | Wading is not an option. |
| Evacuation distances | < 200 metres | 200-400 metres | 400-600 metres | 600 metres |
| Maximum flood depths | < 0.3 metre | < 0.6 metre | < 1.2 metres | 1.2 metres |
| Maximum flood velocity | < 0.4 metres per second | < 0.8 metres per second | < 1.5 metres per second | 1.5 metres per second |
| Typical means of egress | Sedan | Sedan early, but 4WD or trucks later | 4WD or trucks only in early stages, boats or helicopters | Large trucks, boats or helicopters |
| Timing<br>Note: This category cannot be implemented until evacuation times have been established in the Counter Disaster Plan (Flooding) | Ample flood forecasting. Warning and evacuation routes remain passable for twice as long as evacuation time. | Evacuation routes remain trafficable for 1.5 times as long as the evacuation. | Evacuation routes remain trafficable for only up to minimum evacuation time. | There is insufficient evacuation time. |

### 9.3.8 Dwelling house code

#### 9.3.8.1 Application

(1) This code applies to assessing development for a dwelling house if:

(a) self-assessable development or assessable development where this code identified in the assessment criteria column of a table of assessment; or

(b) impact assessable development.

(2) When using this code, reference should be made to Part 5.

Note—Where the land is identified in an overlay map, additional provisions relating to that overlay also apply. For example, minimum floor levels for a dwelling house on a site subject to certain types of flooding are identified in the Flood and storm tide inundation overlay code.

Note – For a proposal to be self-assessable, it must meet all of the self-assessable outcomes of this code and any other applicable code. Where is does not meet all the self-assessable outcomes, the proposal becomes assessable development and a development application is required. Where a development application is triggered, only the specific acceptable outcomes that the proposal fails to meet need to be assessed against the corresponding performance outcomes. Other self-assessable outcomes that are met are not assessed as part of the development application.

#### 9.3.8.2 Purpose

(1) The purpose of the Dwelling house code is to assess the suitability of development to which this code applies.

(2) The purpose of the code will be achieved through the following overall outcomes:

(a) The dwelling house, including all habitable buildings on site, is occupied by a single household;

(b) A dwelling house, including a secondary dwelling or domestic out-buildings; ensures that the secondary dwelling is sub-ordinate to the primary dwelling house;

(c) Development of a dwelling house provides sufficient and safe vehicle access and parking for residents;
(d) The built form, siting, design and use of each dwelling is consistent with the desired neighbourhood character and streetscape elements of the area.

### 9.3.8.3 Criteria for assessment

**Table** Error! No text of specified style in document.**.a – Dwelling house code –assessable development**

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **For self-assessable and assessable development** | | |
| **PO1**<br><br>Secondary dwellings:<br><br>(a) are subordinate, small-scaled dwellings;<br><br>(b) contribute to a safe and pleasant living environment;<br><br>(c) are established on appropriately sized lots;<br><br>(d) do not cause adverse impacts on adjoining properties. | **AO1**<br><br>The secondary dwelling:<br><br>(a) has a total gross floor area of not more than 80m$^2$, excluding a single carport or garage;<br><br>(b) is occupied by 1 or more members of the same household as the dwelling house. | **Not applicable**<br><br>No secondary dwelling is proposed. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **PO2**<br><br>Resident's vehicles are accommodated on- site. | **AO2**<br><br>Development provides a minimum number of on-site car parking spaces comprising:<br><br>(a) 2 car parking spaces which may be in tandem for the dwelling house;<br><br>(b) 1 car parking space for any secondary dwelling on the same site. | **Complies with AO2**<br><br>Two car parking spaces are proposed. |
| **PO3**<br><br>Development is of a bulk and scale that:<br><br>(a) is consistent with and complements the built form and front boundary setbacks prevailing in the street and local area;<br><br>(b) does not create an overbearing development for adjoining dwelling houses and their private open space; | **AO3**<br><br>Development meets the acceptable outcome for building height in the applicable Zone code associated with the site. | **Complies with AO3**<br><br>The proposed Dwelling House would have a height of less than 8.5 metres. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| (c) does not impact on the amenity and privacy of residents in adjoining dwelling houses;<br>(d) ensures that garages do not dominate the appearance of the street. | | |

## 9.4.1 Access, parking and servicing code

### 9.4.1.1 Application

(1) This code applies to assessing:

(a) operational work which requires a compliance assessment as a condition of a development permit; or
(b) a material change of use or reconfiguring a lot if:
(i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
(ii) impact assessable development, to the extent relevant.

(2) When using this code, reference should be made to Part 5.

### 9.4.1.2 Purpose

(1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.

(2) The purpose of the code will be achieved through the following overall outcomes:

(a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
(b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
(c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
(d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
(e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
(f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do

not unduly disrupt any current or future on-street parking arrangements.

### 9.4.1.3 Criteria for assessment

**Table 9.4.1.3.a – Access, parking and servicing code –assessable development**

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **For self-assessable and assessable development** | | |
| **PO1**<br><br>Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:<br><br>(a) the desired character of the area;<br><br>(b) the nature of the particular use and its specific characteristics and scale; | **AO1.1**<br><br>The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.<br><br>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number. | **Complies with AO1.1**<br><br>Two car parking spaces are provided. |
| | **AO1.2**<br><br>Car parking spaces are freely available for the parking of vehicles at all times and are not used | **Complies with AO1.2**<br><br>The spaces would be for the parking of vehicles. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| (c) the number of employees and the likely number of visitors to the site;<br>(d) the level of local accessibility;<br>(e) the nature and frequency of any public transport serving the area;<br>(f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building<br>(g) whether or not the use involves a heritage building or place of local significance;<br>(h) whether or not the proposed use involves the retention of significant vegetation. | for external storage purposes, the display of products or rented/sub-leased. | |
| | **AO1.3**<br>Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking. | **Not applicable**<br>No motorcycle parking is proposed. |
| | **AO1.4**<br>For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate. | **Not applicable**<br>Only two spaces are proposed. |
| **PO2**<br>Vehicle parking areas are designed and constructed in accordance with relevant standards. | **AO2**<br>Vehicle parking areas are designed and constructed in accordance with Australian Standard: | **Complies with AO2**<br>The parking spaces would comply with the Australian Standards. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | (a) AS2890.1;<br>(b) AS2890.3;<br>(c) AS2890.6. | |
| **PO3**<br>Access points are designed and constructed:<br>(a) to operate safely and efficiently;<br>(b) to accommodate the anticipated type and volume of vehicles<br>(c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate;<br>(d) so that they do not impede traffic or pedestrian movement on the adjacent road area; | **AO3.1**<br>Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with:<br>(a) Australian Standard AS2890.1;<br>(b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers. | **Complies with AO3.1**<br>Only one access is proposed. |
| | **AO3.2**<br>Access, including driveways or access crossovers:<br>(a) are not placed over an existing: | **Complies with AO3.2**<br>The access would not be placed over existing infrastructure. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements;<br>(f) so that they do not adversely impact current and future on-street parking arrangements;<br>(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;<br>(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel). | (i) telecommunications pit;<br>(ii) stormwater kerb inlet;<br>(iii) sewer utility hole;<br>(iv) water valve or hydrant.<br>(b) are designed to accommodate any adjacent footpath;<br>(c) adhere to minimum sight distance requirements in accordance with AS2980.1. | |
| | **AO3.3**<br>Driveways are:<br>(a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual; | **Not applicable**<br>The site is a relatively flat site. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | (b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in in 6 (16.6%) prior to this area, for a distance of at least 5 metres;<br>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;<br>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;<br>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system. | |
| | **AO3.4** | **Complies with AO3.4** |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath. | The proposed surface materials would be consistent with the existing materials in the locality. |
| **PO4**<br><br>Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes. | **AO4**<br><br>The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities. | **Not applicable**<br><br>Not applicable for Dwelling Houses. |
| **PO5**<br><br>Access for people with disabilities is provided to the building from the parking area and from the street. | **AO5**<br><br>Access for people with disabilities is provided in accordance with the relevant Australian Standard. | **Not applicable**<br><br>Not applicable for Dwelling Houses. |
| **PO6**<br><br>Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development. | **AO6**<br><br>The number of on-site bicycle parking spaces complies with the rates specified in**Error! Reference source not found.**. | **Not applicable**<br><br>Not applicable for Dwelling Houses. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **PO7**<br><br>Development provides secure and convenient bicycle parking which:<br><br>(a) for visitors is obvious and located close to the building's main entrance;<br><br>(b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building;<br><br>(c) is easily and safely accessible from outside the site. | **AO7.1**<br><br>Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers); | **Not applicable**<br><br>Not applicable for Dwelling Houses. |
| | **AO7.2**<br><br>Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street. | **Not applicable**<br><br>Not applicable for Dwelling Houses. |
| | **AO7.3**<br><br>Development provides visitor bicycle parking which does not impede pedestrian movement. | **Not applicable**<br><br>Not applicable for Dwelling Houses. |
| **PO8**<br><br>Development provides walking and cycle routes through the site which: | **AO8**<br><br>Development provides walking and cycle routes which are constructed on the carriageway or through the site to: | **Not applicable**<br><br>No walking and cycle routes are required. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| (a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes;<br>(b) encourage walking and cycling;<br>(c) ensure pedestrian and cyclist safety. | (a) create a walking or cycle route along the full frontage of the site;<br>(b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site. | |
| **PO9**<br>Access, internal circulation and on-site parking for service vehicles are designed and constructed:<br>(a) in accordance with relevant standards;<br>(b) so that they do not interfere with the amenity of the surrounding area; | **AO9.1**<br>Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2. | **Complies with AO9.1**<br>Access driveways etc would comply with the Australian Standard. |
| | **AO9.2**<br>Service and loading areas are contained fully within the site. | **Not applicable**<br>No service and loading areas are required. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| (c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles. | **AO9.3**<br><br>The movement of service vehicles and service operations are designed so they:<br><br>(a) do not impede access to parking spaces;<br><br>(b) do not impede vehicle or pedestrian traffic movement. | **Not applicable**<br><br>No service and loading areas are required. |
| **PO10**<br><br>Sufficient queuing and set down areas are provided to accommodate the demand generated by the development. | **AO10.1**<br><br>Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses:<br><br>(a) car wash;<br><br>(b) child care centre;<br><br>(c) educational establishment where for a school; | **Not applicable**<br><br>Vehicle queueing is not required. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | (d) food and drink outlet, where including a drive-through facility;<br>(e) hardware and trade supplies, where including a drive-through facility;<br>(f) hotel, where including a drive-through facility;<br>(g) service station. | |
| | **AO10.2**<br>Queuing and set-down areas are designed and constructed in accordance with AS2890.1. | **Not applicable**<br>Vehicle queueing is not required. |

### 9.4.4 Filling and excavation code

#### 9.4.4.1 Application

(1) This code applies to assessing:

(a) operational work for filling or excavation which is self-assessable or code assessable development if this code is an applicable code identified in the assessment criteria column of a table of assessment; or
(b) a material change of use or reconfiguring a lot if:
(i) assessable development where this code is identified as a prescribed secondary code in the assessment criteria column of a table of assessment; or
(ii) impact assessable development, to the extent relevant.

Note—This code does not apply to building work that is regulated under the Building Code of Australia.

(2) When using this code, reference should be made to Part 5.

#### 9.4.4.2 Purpose

(1) The purpose of the Filling and excavation code is to assess the suitability of development for filling or excavation.

(2) The purpose of the code will be achieved through the following overall outcomes:

(a) filling or excavation does not impact on the character or amenity of the site and surrounding areas;
(b) filling and excavation does not adversely impact on the environment;
(c) filling and excavation does not impact on water quality or drainage of upstream, downstream or adjoining properties;
(d) filling and excavation is designed to be fit for purpose and does not create land stability issues;

(e) filling and excavation works do not involve complex engineering solutions.

### 9.4.4.3 Criteria for assessment

**Table** Error! No text of specified style in document.**.a – Filling and excavation code – for self-assessable and assessable development**

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **For self-assessable and assessable development** | | |
| **Filling and excavation - General** | | |
| **PO1**<br><br>All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area**.** | **AO1.1**<br><br>The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height.<br><br>and<br><br>Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting. | **Complies with AO1.1**<br><br>No filling or excavation would involve cut or fill that exceeds 2 metres in height. |
| | **AO1.2** | **Not Applicable** |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation. | No cuts are proposed. |
| | **AO1.3**<br><br>Cuts are screened from view by the siting of the building/structure, wherever possible. | **Not Applicable**<br><br>No cuts are proposed. |
| | **AO1.4**<br><br>Topsoil from the site is retained from cuttings and reused on benches/terraces. | **Not Applicable**<br><br>No cuts are proposed. |
| | **AO1.5**<br><br>No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained. | **Complies with AO1.5**<br><br>Any excavation or fill would be more than 600mm from any property boundary. |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | **AO1.6**<br><br>Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures. | **Not Applicable**<br><br>No or fill is proposed on any slopes. |
| **Visual Impact and Site Stability** | | |
| **PO2**<br><br>Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised. | **AO2.1**<br><br>The extent of filling and excavation does not exceed 40% of the site area, or 500m$^2$ whichever is the lesser, except that AO2.1 does not apply to reconfiguration of 5 lots or more. | **Complies with AO2.1**<br><br>Any earthworks would be limited to the house [ad area only. |
| | **AO2.2**<br><br>Filling and excavation does not occur within 2 metres of the site boundary. | **Complies with Ao2.2**<br><br>No excavation or fill would be undertaken within 2 metres of the site boundary. |

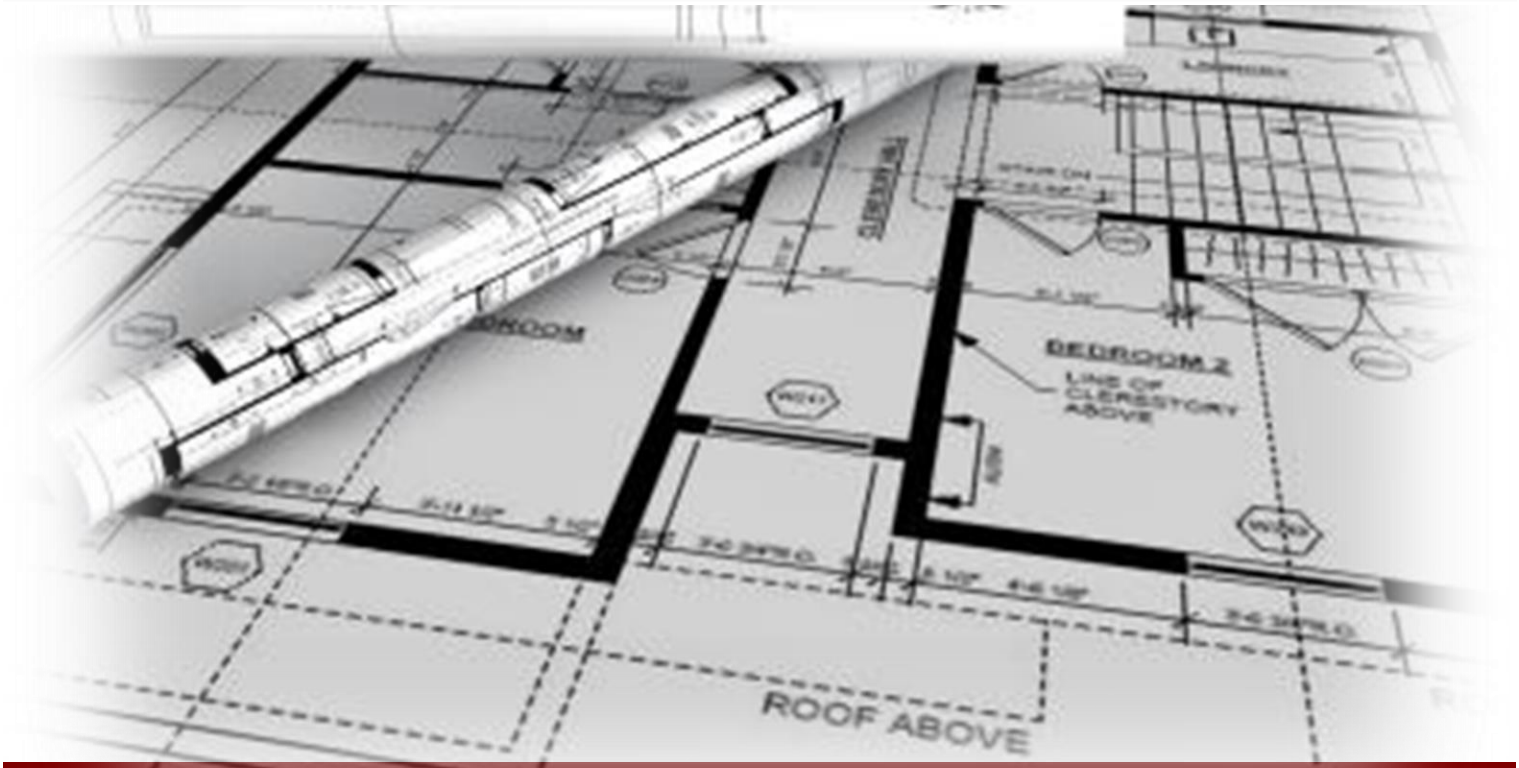
| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **Flooding and drainage** | | |
| **PO3**<br><br>Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves. | **AO3.1**<br><br>Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves. | **Complies with AO3.1**<br><br>No earthworks would cause ponding of water and would be limited to the house pad area only. |
| | **AO3.2**<br><br>Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves. | **Complies with AO3.2**<br><br>Excavation and or filling would be limited to the house pad area only and would predominantly be site contouring only. The existing storm water regime would not be affected by the proposed development. |
| | **AO3.3**<br><br>Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths**.** | **Complies with AO3.3**<br><br>Excavation and or filling would be limited to the house pad area only and would predominantly be site contouring only. The existing storm water regime would not be affected by the proposed |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| | | development.. |
| | **AO3.4**<br><br>Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual. | **Complies with AO3.4**<br><br>Excavation and or filling would be limited to the house pad area only and would predominantly be site contouring only. The earthworks would be assessed and managed as part of the building application. |
| **Water quality** | | |
| **PO4**<br><br>Filling and excavation does not result in a reduction of the water quality of receiving waters. | **AO4**<br><br>Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual. | **Complies with AO4**<br><br>Excavation and or filling would be limited to the house pad area only and would predominantly be site contouring only. The existing storm water regime and water quality would not be affected by the proposed development. |
| **Infrastructure** | | |

| Performance outcomes | Acceptable outcomes | Compliance |
|---|---|---|
| **PO5**<br><br>Excavation and filling does not impact on Public Utilities. | **AO5**<br><br>Excavation and filling is clear of the zone of influence of public utilities. | **Not Applicable**<br><br>No public utilities are located in the area of the proposed house pad. |

GMA Certification Group

*Leaders in Certification Services*

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We,
Luigi Nattorio Scomazzon & Angela Caroline Scomazzon

as owner of the premises identified as follows:

Lot 255 Mossman Daintree Road, Miallo, described as Lot 255 SR364

consent to the making of a development application under the *Planning Act 2016* by:

Rebecca and Royce Scomazzon

on the premises described above for:

A Dwelling House

Luigi Nattorio Scomazon

Date: 4/2/2021

Angela Caroline Scomazzon

Date: 4/2/21