

# DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Charlie Smith Enterprises Pty Ltd
Contact name (only applicable for companies)	Nathan Smith
Postal address (P.O. Box or street address)	Po BOX 131
Suburb	Port Douglas
State	QLD
Postcode	4877
Country	Australia
Contact number	0402 614 322
Email address (non-mandatory)	fnqair@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		28	Barrbal Drive	Cooya Beach
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	267	SP336777	Douglas
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
☐ Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Multi dwelling

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

☒ Not required

## Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete DA Form 2 – Building work details

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Build two units	Multi Dwelling	Two (2)	167.33m <sup>2</sup> each
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input checked="" type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$	

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

## PART 5 – REFERRAL DETAILS

### 17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

#### Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the <b>Chief Executive of the distribution entity or transmission entity:</b>
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> <li>• The <b>Chief Executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul>
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the <b>Brisbane City Council:</b>
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the <b>Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:</b>
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the <b>relevant port operator</b> , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the <b>Chief Executive of the relevant port authority:</b>
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the <b>Gold Coast Waterways Authority:</b>
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the <b>Queensland Fire and Emergency Service:</b>
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul> Further advice about information requests is contained in the <a href="#">DA Forms Guide</a> .

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application  
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application  
☒ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached  
☒ No

### 23) Further legislative requirements

#### **Environmentally relevant activities**

#### 23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below  
☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

#### **Hazardous chemical facilities**

#### 23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application  
☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.



### **Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application  
☒ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below  
☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*  
☒ No

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)  
☒ No

### Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

**Note:** See guidance materials at [www.planning.dsdmip.qld.gov.au](http://www.planning.dsdmip.qld.gov.au) for further information.

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

**Note:** See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☒ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☒ Yes

☐ Not applicable

### 25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

---

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	



# **Town Planning Report- 28 Barrbal Dr, Cooya Beach**

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**22nd May 2024**

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**Nathan Smith  
0402 614 322  
fnqair@gmail.com**



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# Executive Summary

Nathan Smith (the 'Landowner' and the 'Applicant') is applying in relation to the above described Development Application over land at 28 Barrbal Drive, more formally described as Lot 267 on SP336777.

The Town Planning Report forms part of a properly made Development Application pursuant to Sections 50 and 51 of the Planning Act 2016 seeking a Development Permit for a Material Change of Use (Dual Occupancy).

The site is presently a vacant lot. There are no relevant, nor current planning approvals pertaining to the land.

The proposed buildings at 28 Barrbal Drive, has been specifically designed to maintain the amenity and privacy of the external and internal residents and enhance the street appeal. Under the Douglas Shire Planning Scheme 2018 V1.0 (the 'Planning Scheme'), 28 Barrbal Drive, Cooya Beach is zoned Low Density Residential where a Material Change of Use (Dual Occupancy) triggers an Impact Assessment.

The site is included within the Coastal Communities Local Plan, however it is not included within Precinct Area, nor does the Local Plan vary the Level of Assessment. This Town Planning Report includes a comprehensive assessment of the proposed development against the relevant Local and State Government Assessment Benchmarks. The information provided in this report, and accompanying attachments, demonstrates that the proposed development achieves compliance with the applicable provisions of the relevant Local and State Government Assessment Benchmarks and is presented to Douglas Shire Council ('Council') for approval. It would be appreciated if Council could provide 'without prejudice' draft conditions for review prior to the issue of a Decision Notice.

## 1.0 Summary

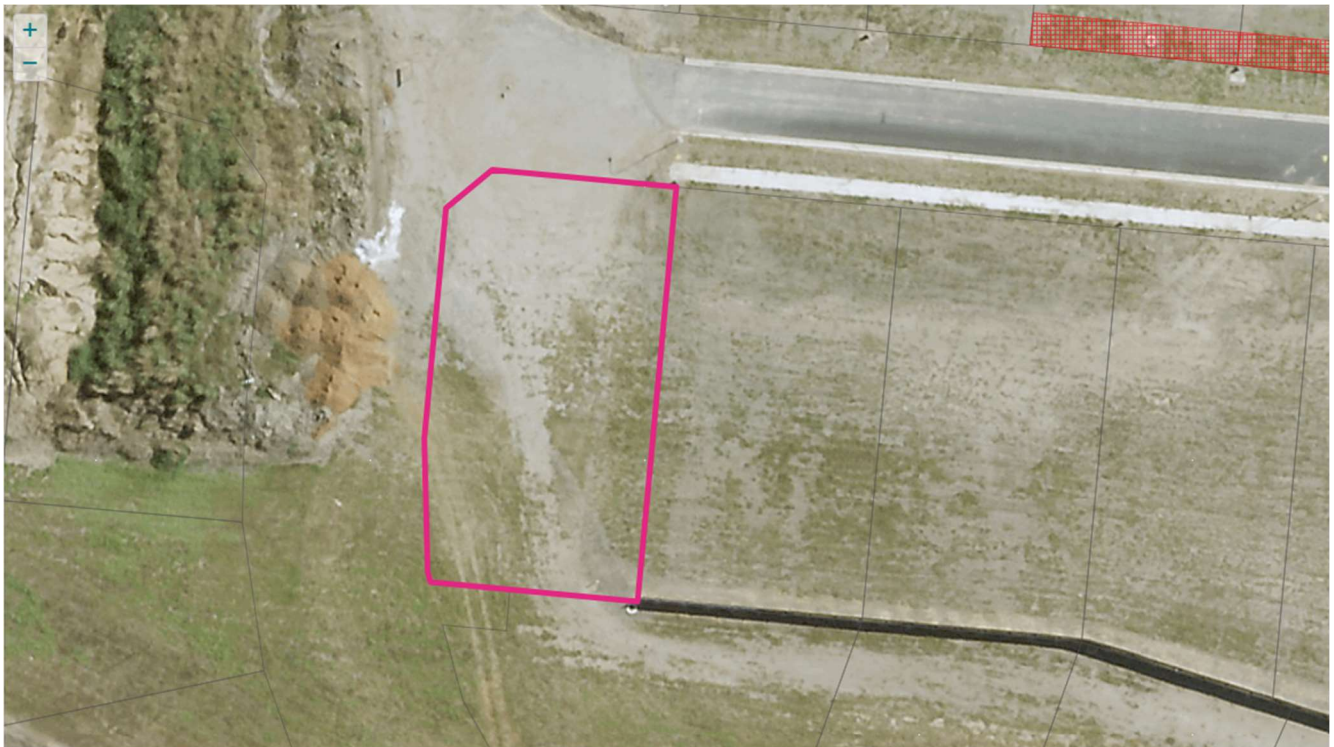
<b>Street Address</b>	28 Barrbal Drive, Cooya Beach
<b>Lot and Plan</b>	Lot 267 on SP336777
<b>Land Owner</b>	Nathan Smith
<b>Size</b>	814m2
<b>Road Frontages</b>	Barrbal Drive
<b>Easements</b>	NIL
<b>Environmental and Contaminated Land Register</b>	To the best of our knowledge the site is not listed on the EMR or CLR
<b>Current Approved Use</b>	Residential
<b>Proposal</b>	Material Change of Use (Dual Occupancy)
<b>Approvals Sought</b>	Development Permit
<b>Level of Assessment</b>	Impact Assessable
<b>Planning Scheme Zone</b>	Low Density Residential
<b>Regional Plan Designation</b>	Urban Footprint
<b>State Planning Policy</b>	Appropriately reflected within the Douglas Shire Planning Scheme 2018
<b>State Development Assessment Provisions</b>	NIL
<b>Planning Regulation 2016 Schedule 12A Assessment Benchmarks for Particular Reconfiguring a Lot</b>	Not applicable to the assessment of the proposal as the development is not for the Reconfiguration of Lot.

## 2.0 Site Description

The subject site is located at 28 Barrbal Drive, Cooya Beach and is more formally described as Lot 267 on SP336777, see Image below.

The property has street frontage to Barrbal Drive on the north and west of the corner block and is regular shape with a total area of 814m<sup>2</sup>. The site is currently vacant. It is proposed to develop the site with two mirror image residential dwellings. The site has access to sealed road via Barrbal Drive. Electricity, water, telecommunication infrastructure and a sewer main is present.

It is noted that 40 Cooya Beach Road has recently been approved by Council for a combined Material Change of Use (Dual Occupancy) and Reconfiguration of a Lot (1 Lot into 2 Lots) (Council ref: CA 2022\_5144).





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### **3.0 Proposal**

This Development Application Seeks approval for a Development Permit for a Material Change of Use (Dual Occupancy) over land at 28 Barrbal Drive, Cooya Beach.

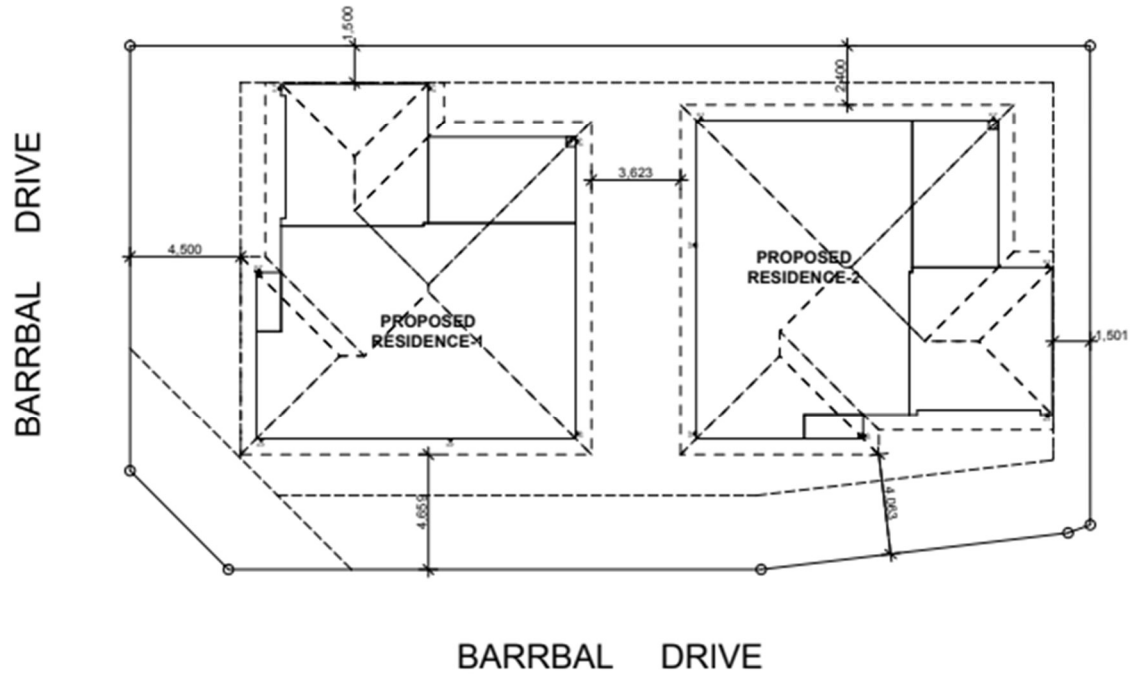
The proposed Dual Occupancy presents as two separate Dwelling Houses from the street frontage. The buildings are to be mirror image 173.23m<sup>2</sup> with separate driveways on the North and West on the block providing vehicle access to the two double garages attached to the front of the proposed dwellings.

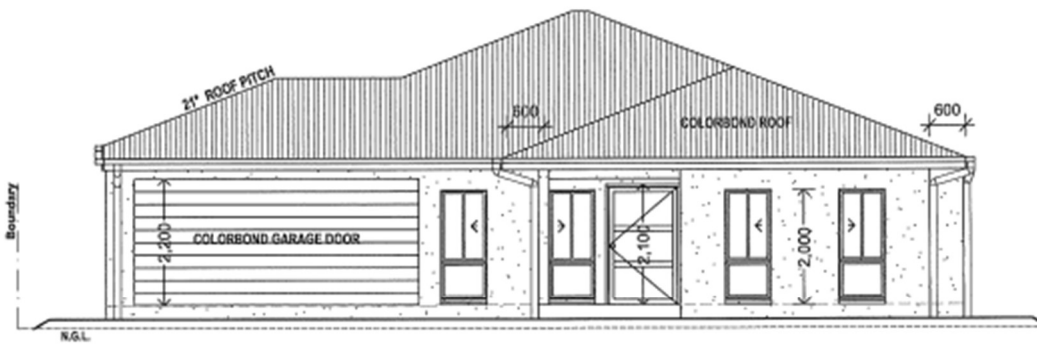
This is a slow speed environment and sufficient sight lines and areas are available to allow resident traffic to negotiate giving way when required. This has been reviewed and accepted by the project Civil Engineer. The proposed Garages are setback 4.500m from the front boundary. The proposed Garage setbacks are consistent with that permitted for a single Dwelling House under the Queensland Development Code. The proposed buildings are mirrored in design.

Both dwellings are single story comprising of three bedrooms, two bathrooms, living room, laundry. The open plan kitchen and dining areas open out to a private patio. The dwellings are set between 1.500m to 2.200m from neighboring boundary on the east.

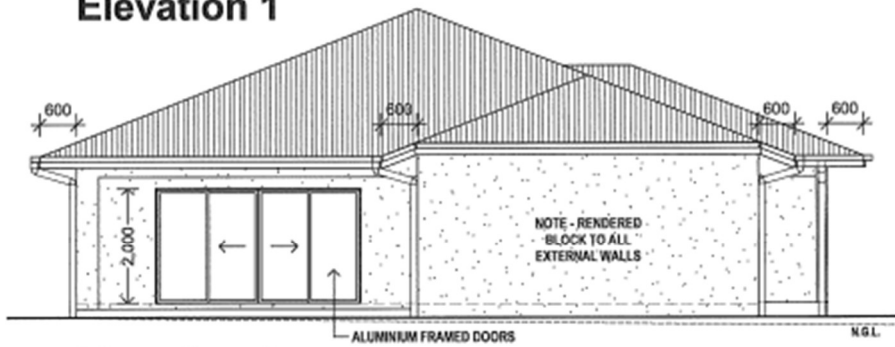
The proposed Dual Occupancy Plans are included below.

LOT 267 ON SP336777  
BARRBAL DRIVE

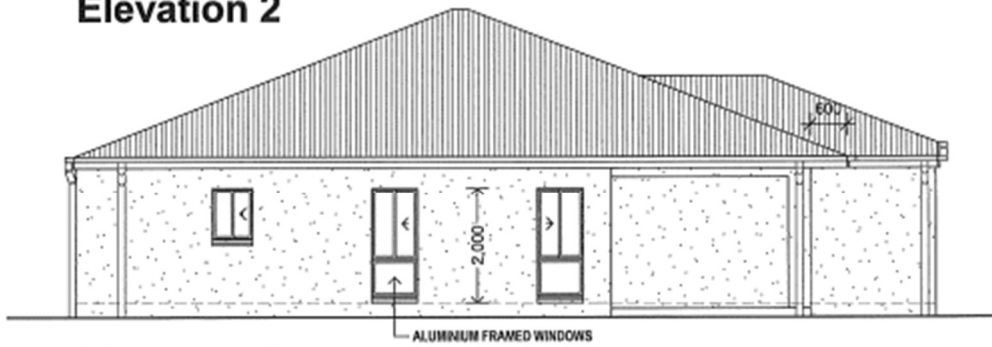




**Elevation 1**



**Elevation 2**



**Elevation 3**

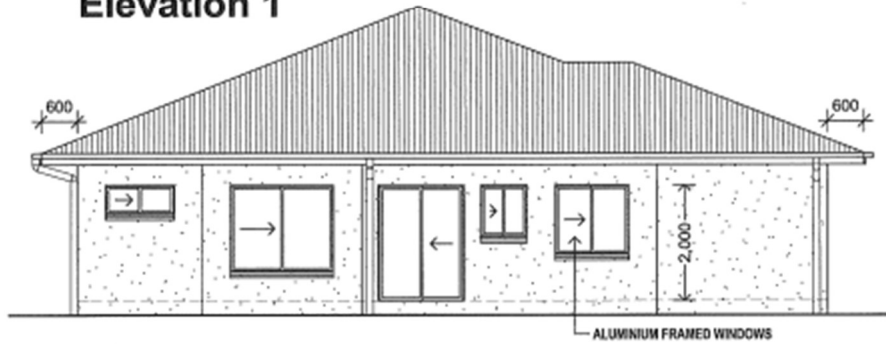


**Elevation 4**

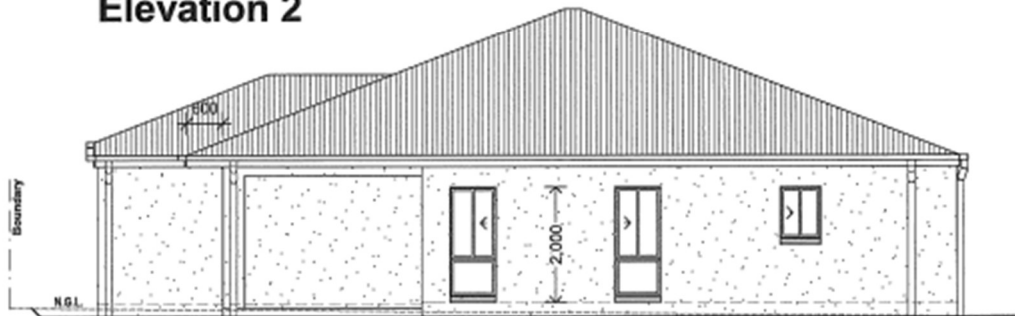
**Elevation – House A**



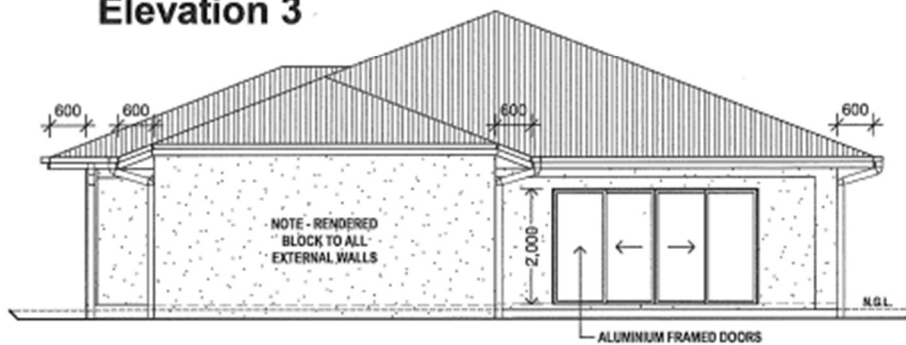
**Elevation 1**



**Elevation 2**



**Elevation 3**



**Elevation 4**

**Elevation House B**

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## **4.0 Statutory Town Planning Framework**

### **4.1 Planning Act 2016**

The Planning Act 2016 (the 'Planning Act') is the statutory instrument for the State of Queensland under which, amongst other matters, Development Applications are assessed by Local Governments.

The Planning Act is supported by the Planning Regulation 2017 (the 'Planning Regulation'). The following sections of this report discuss the parts of the Planning Act and Planning Regulation applicable to the assessment of a development application.

#### **4.1.1 Approval and Development**

Pursuant to Sections 49, 50 and 51 of the Planning Act, the Development Application seeks a Development Permit for Material Change of Use (Dual Occupancy).

#### **4.1.2 Application**

The proposed development is:

- development that is located completely in a single local government area;
- development made assessable under a local categorising instrument; and
- for a Material Change of Use.

In accordance with Section 48 of the Planning Act and Schedule 8, Table 2, Item 1 of the Planning Regulation, the development application is required to be made to the applicable Local Government, in this instance being Douglas Shire Council (the 'Council').

#### **4.1.3 Referral**

Section 54(2) of the Planning Act and Section 22 and Schedules 9 and 10 of the Planning Regulation provide for the identification of the jurisdiction of referral agencies, to which a copy of the development application must be provided. A review of the Planning Regulation confirms there are no applicable referral agencies triggered by the Development Application.

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#### **4.1.4 Public Notification**

Section 53(1) of the Planning Act provides that an applicant must give notice of a Development Application where any part is subject to Impact Assessment or where it is an application, which includes a variation request.

The Development Application is subject to Impact Assessment and therefore Public Notification of the Development Application is required. We note that the public notification period is 15 days.

#### **4.1.5 Assessment Framework**

Relevant to the consideration of the application is the Settlement Pattern Theme and specifically elements 3.4.2, Urban Settlement and 3.4.5, Residential Areas and Activities. Element 3.4.2, Urban settlement, states at subsection (3): (3) Residential development is primarily detached low-set housing, with medium density development focused in and around the Port Douglas town centre, and in the nearby tourist areas to the south of the town centre. The associated specific outcome 3.4.2.1 (2), states: (2) Urban development occurs within the urban area as shown on the Strategic Framework Map contained in Schedule 2. Expansion beyond this boundary is not facilitated as it does not support the efficient and orderly delivery of urban infrastructure.

The proposed development comprises the consolidation of residential development, in a low set housing form, within the urban area. The proposed development is considered to be consistent with this element of the Strategic Framework. Element 3.4.5, Residential areas and activities, states as subsection (2) (2) The coastal settlements of Wonga Beach, Newell and Cooya Beach and various other small towns, villages and rural residential land, including the land north of the Daintree River, are not intended to grow or increase in density over and above existing zoned land and what current approvals provide. These communities generally have low levels of infrastructure and significant coastal or environmental constraints. The associated specific outcomes state: (2) Residential development is located and designed to provide a wide range of living options that maintain and enhance the character and identity of individual communities. (5) Areas identified for low density residential development provide predominantly low-rise detached dwelling houses to maintain the low density character of the area. (6) Residential greenfield development incorporates: (a) mixed lot sizes to promote a range of housing choices and densities; (b) high levels of

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pedestrian, cycle and road permeability and connectivity; (c) the efficient and timely provision of infrastructure and services; (d) open space that provides opportunities for sport and recreation activities; (e) elements that promote a positive identity and character. The proposed development would facilitate the increase in the range and mix of lot sizes, housing and living options, whilst still maintaining the accepted density of the residential area and low rise built form of the residential area.

The proposed development is considered to be consistent with these specific outcomes and the corresponding element of the Strategic Framework.

#### **4.2 Far North Queensland Regional Plan 2009-2031**

The Far North Queensland Regional Plan 2009 - 2031 ('the Regional Plan') is intended to guide and manage the region's development and to address key regional environmental, social, economic and urban objectives. The site falls within the area to which the Urban Footprint applies. The Regional Plan is identified in the Planning Scheme as being appropriately integrated in the scheme. Further detailed assessment against the Regional Plan is therefore not applicable.

#### **4.3 State Planning Policy**

The State Planning Policy ('the SPP') was released on 2 December 2013 and replaced all previous State Planning Policies. The SPP has since been revised, with new versions released on 2 July 2014, 29 April 2016 and 3 July 2017. The April 2016 version of the SPP is identified in the Planning Scheme as being appropriately integrated. Whilst the SPP has been amended since April 2016 version, it is considered that the policy content and outcomes contained within the SPP, to the extent they are relevant and applicable to the proposed development, have not been sufficiently amended to require the reconsideration of the SPP separately.

#### **4.4 Temporary State Planning Policies**

There are currently no temporary State Planning Policies in effect in Queensland.

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#### **4.5 Schedule 12A Planning Regulation**

Schedule 12A of the Planning Regulation does not apply as the Development Application does not include the Reconfiguration of a Lot.

#### **4.6 Douglas Shire Planning Scheme 2018 v1.0**

The Planning Scheme came into effect on 2 January 2018 and is the applicable planning scheme to the Douglas Local Government Area. It is noted that the Planning Scheme was drafted under the Sustainable Planning Act 2009 ('the SPA'). The interpretation of the Planning Scheme with respect to the proposed development is therefore based on the transitional provisions of the Planning Act.

##### **4.6.1 Zone**

The subject site is located within the Low Density Residential Zone. The Development Application is for a residential purpose and achieves a high level of residential amenity for both occupants and adjoining properties. The proposed development is of an appropriate scale and achieves an attractive built form which incorporates the character and natural attributes of the site and the surrounding area. The development is designed to take into account the tropical climate by incorporating appropriate architectural elements and design features including pitched roof, large openings and balconies facing the south east, outdoor living areas and opportunity for tropical landscaping. It is therefore submitted that the proposed development is consistent with the Purpose of the Low Density Residential Zone.

##### **4.6.2 Local Plan**

The subject site is located within the Coastal Communities Local Plan, however is not located within a Local Plan Precinct or Sub Precinct.

##### **4.6.3 Overlays**

Review of the Planning Scheme Mapping confirms the following applicable Overlays:

- Acid Sulfate Soils (<5m AHD)
- Floodplain Assessment Overlay (Mossman River)
- Landscape Values (Medium Landscape Value)



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#### **4.6.4 Category of Assessment**

Pursuant to Part 5 of the Planning Scheme, a Development Application for a Material Change of Use (Dual Occupancy) in the Low Density Residential Zone is identified as Assessable Development, to which Code Assessment is applicable.

The category of assessment of the proposed development is not otherwise altered by the Planning Scheme.

#### **4.6.5 Assessment Criteria**

A detailed assessment against the following relevant assessment criteria is provided in Attachment 3.

##### **Zone Code**

- Low Density Residential Zone Code

##### **Local Plan Code**

- Coastal Communities Local Plan Code

##### **Overlay Codes**

- Acid Sulfate Soils Overlay
- Floodplain Assessment Overlay
- Medium Landscape Value

##### **Use Code**

- Dual Occupancy

##### **Development Codes**

- Coastal Communities
- Environmental Performance
- Filling and Excavation Code
- Infrastructure Works Code
- Landscaping Code

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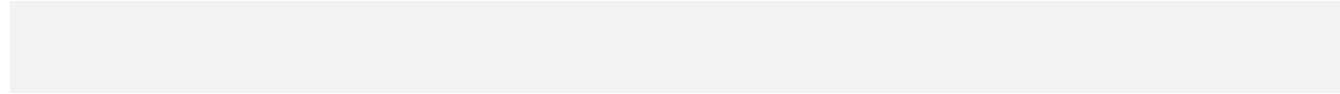
## 5.0 Conclusion

This Town Planning Report accompanies an application by Nathan Stephen Smith (the 'Landowner' and the 'Applicant') seeking a Development Permit for a Material Change of Use (Dual Occupancy)

over land at 28 Barrbal Drive, Cooya Beach, more formally described as Lot 268 on SP336777

This application is lodged pursuant to sections 49, 50 and 51 of the Planning Act. Assessment of the proposed development against the applicable planning framework has been undertaken in order to assess potential impacts and compliance of the proposed development with the relevant assessment criteria. The information provided in this Report (and accompanying attachments) demonstrates that the proposed development largely complies with the applicable provisions of the relevant planning framework; where conflicts exist, suitable alternative solutions are provided to support approval of the development application.

If Council requires any further information, either formally or informally, throughout the assessment of the Development Application please contact Aspire Town Planning and Project Services. Prior to the determination of the Development Application, it would be greatly appreciated if Council could provide a suite of Draft Conditions to facilitate further discussion if required.




## 2018 Douglas Shire Council Planning Scheme Property Report


The following report has been automatically generated to provide a general indication of development related information applying to the premise.

For more information and to determine if the mapping layers are applicable, refer to the [2018 Douglas Shire Council Planning Scheme](#). This report is not intended to replace the need for carrying out a detailed assessment of Council and State controls or the need to seek your own professional advice on any town planning instrument, local law or other controls that may impact on the existing or intended use of the premise mentioned in this report. For further information please contact Council by phone: [07 4099 9444](tel:0740999444) or [1800 026 318](tel:1800026318) or email [enquiries@douglas.qld.gov.au](mailto:enquiries@douglas.qld.gov.au).

Visit Council's website to apply for an [official property search or certificate](#), or contact the [Department of Natural Resources, Mines and Energy](#) to undertake a title search to ascertain how easements may affect a premise.

Property Information

Property Address	Cane <a href="#">Cane</a> <a href="#">28 Barrbal Drive BONNIE DOON</a>	
Lot Plan	<a href="#">267SP336777</a> (Freehold - 814m <sup>2</sup> )	



☒ Selected Property






☐ Easements

☐ Property

Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

Douglas Shire Planning Scheme 2018 version 1.0  
The table below provides a summary of the Zones and Overlays that apply to the selected property.

 <a href="#">Zoning</a>	<b>Applicable Zone</b> Low Density Residential	<b>More Information</b> <ul style="list-style-type: none"> <li><a href="#">View Section 6.2.6 Low Density Residential Zone Code</a></li> <li><a href="#">View Section 6.2.6 Low Density Residential Zone Compliance table</a></li> <li><a href="#">View Section 6.2.6 Low Density Residential Zone Assessment table</a></li> </ul>
 <a href="#">Local Plans</a>	<b>Applicable Precinct or Area</b> Cooya Beach Not Part of a Precinct	<b>More Information</b> <ul style="list-style-type: none"> <li><a href="#">View Section 7.2.2 Coastal Communities Local Plan Code</a></li> <li><a href="#">View Section 7.2.2 Coastal Communities Local Plan Compliance table</a></li> </ul>
 <a href="#">Acid Sulfate Soils</a>	<b>Applicable Precinct or Area</b> Acid Sulfate Soils (< 5m AHD)	<b>More Information</b> <ul style="list-style-type: none"> <li><a href="#">View Section 8.2.1 Acid Sulfate Soils Overlay Code</a></li> <li><a href="#">View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table</a></li> </ul>
 <a href="#">Flood Storm</a>	<b>Applicable Precinct or Area</b> Floodplain Assessment Overlay (Mossman River)	<b>More Information</b> <ul style="list-style-type: none"> <li><a href="#">View Section 8.2.4 Flood and Storm Tide Hazard Overlay Code</a></li> <li><a href="#">View Section 8.2.4 Flood and Storm Tide Hazard Overlay Compliance table</a></li> </ul>
 <a href="#">Landscape Values</a>	<b>Landscape Values</b> Medium Landscape Value	<b>More Information</b> <ul style="list-style-type: none"> <li><a href="#">View Section 8.2.6 Landscape Values Overlay Code</a></li> <li><a href="#">View Section 8.2.6 Landscape Values Overlay Compliance table</a></li> </ul>

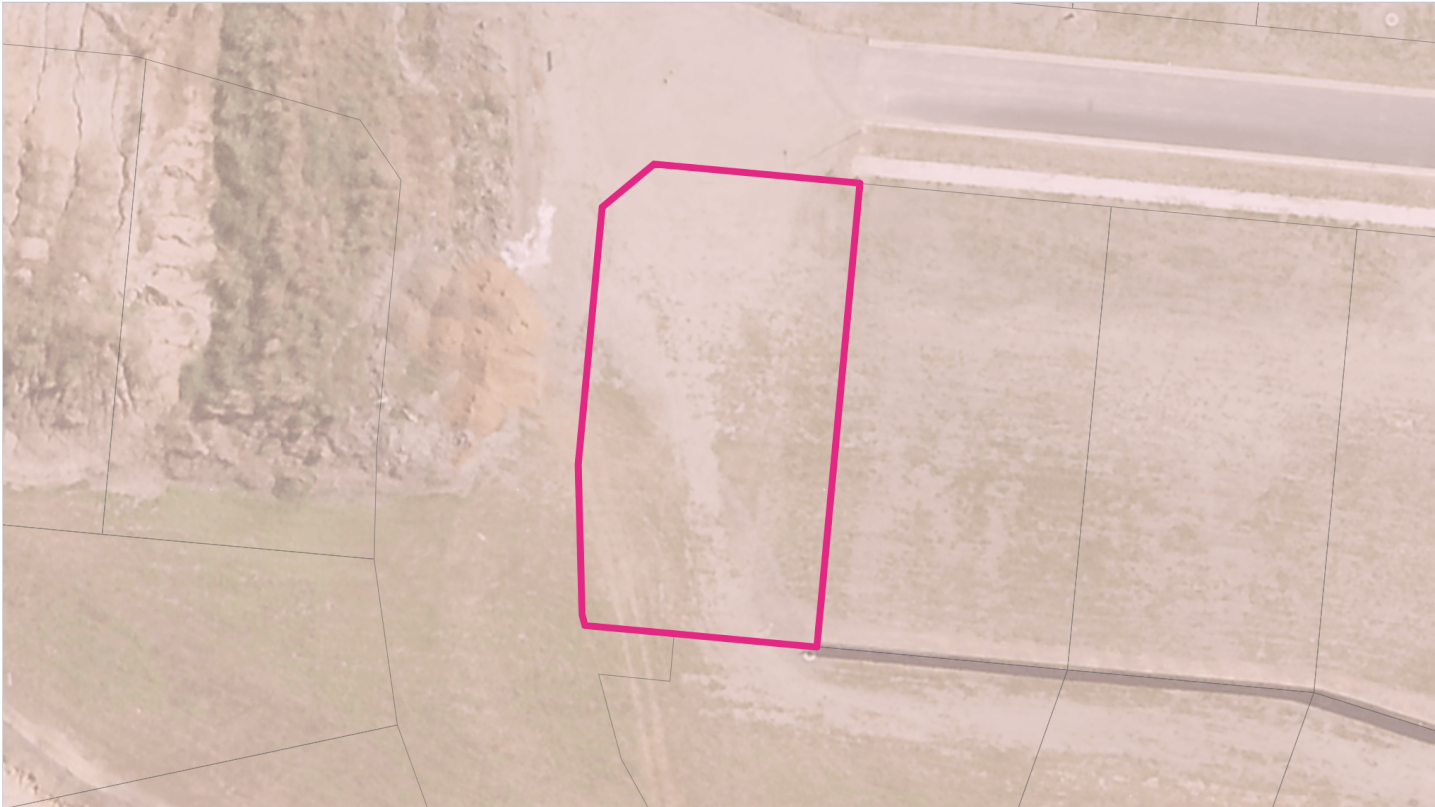
Zoning

Applicable Zone

Low Density Residential

More Information

- [View Section 6.2.6 Low Density Residential Zone Code](#)
- [View Section 6.2.6 Low Density Residential Zone Compliance table](#)
- [View Section 6.2.6 Low Density Residential Zone Assessment table](#)



☒ Selected Property

☐ Property

Zoning			
<input type="checkbox"/> Centre	<input type="checkbox"/> Community Facilities	<input type="checkbox"/> Conservation	<input type="checkbox"/> Environmental Management
<input type="checkbox"/> Industry	<input type="checkbox"/> Low Density Residential	<input type="checkbox"/> Low-medium Density Residential	<input type="checkbox"/> Medium Density Residential
<input type="checkbox"/> Recreation and Open Space	<input type="checkbox"/> Rural	<input type="checkbox"/> Rural Residential	<input type="checkbox"/> Special Purpose
<input type="checkbox"/> Tourism	<input type="checkbox"/> Tourist Accommodation		



Local Plans

Applicable Precinct or Area

Cooya Beach  
Not Part of a Precinct

More Information

- [View Section 7.2.2 Coastal Communities Local Plan Code](#)
- [View Section 7.2.2 Coastal Communities Local Plan Compliance table](#)



Selected Property

Property

Transport Investigation Corridor

Transport Investigation Corridors

Major Road Connections

Major Road Connections

Major Road Connections (No Arrow)

Major Road Connections

Daintree River to Bloomfield

Daintree River to Bloomfield

Creb Track and Quaid Road

Creb Track

60 metre contour

60 metre contour

Local Plan Boundary

Local Plan Boundary

Local Plan Sub Precincts

1a Town Centre

1b Waterfront North

1c Waterfront South

1d Limited Development

1e Community and Recreation

1f Flagstaff Hill

Local Plan Precincts

Not Part of a Precinct

Precinct 1

Precinct 2

Precinct 3

Precinct 4

Precinct 5

Precinct 6

Precinct 7

Precinct 8

Precinct 9

Live Entertainment Precinct

Live Entertainment Precinct

Indicative Future Open Space

Indicative Future Open Space

Road Reserve Esplanade

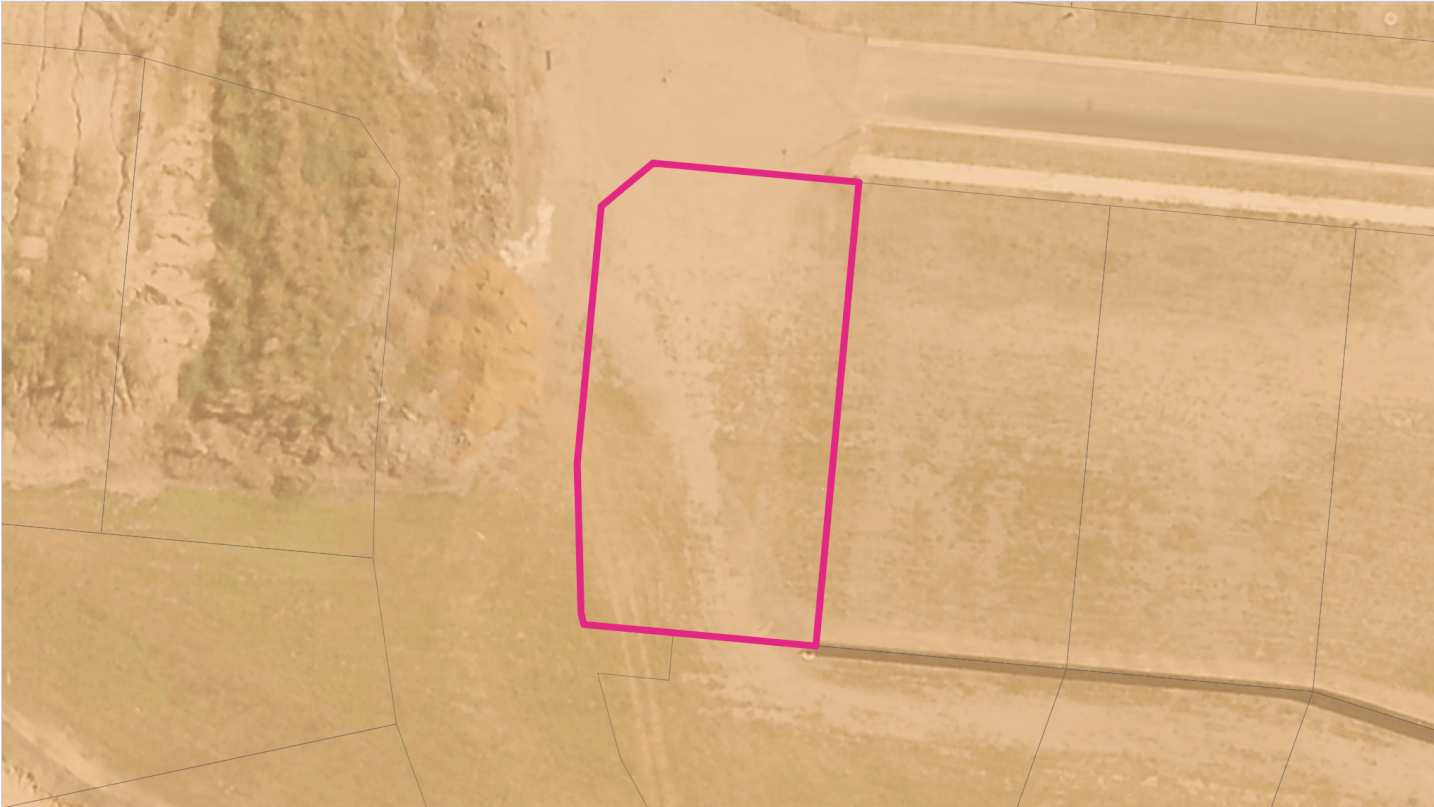
DOUGLAS SHIRE PLANNING SCHEME

4 of 7

Acid Sulfate Soils

Applicable Precinct or Area  
Acid Sulfate Soils (< 5m AHD)

- More Information
- [View Section 8.2.1 Acid Sulfate Soils Overlay Code](#)
  - [View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table](#)



☒ Selected Property

☐ Property

**Acid Sulfate Soils**

☒ Acid Sulfate Soils (< 5m AHD)

☐ Acid Sulfate Soils (5-20m AHD)





☐ all others

Flood Storm

**Applicable Precinct or Area**  
Floodplain Assessment Overlay (Mossman River)

- More Information**
- [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Code](#)
  - [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Compliance table](#)



<input checked="" type="checkbox"/> Selected Property	<input type="checkbox"/> Property	 Medium Storm Tide Hazard	 High Storm Tide Hazard
 100 Year ARI - Mossman Port Douglas and Daintree Flood Studies		 Floodplain Assessment Overlay	





Landscape Values

Landscape Values  
Medium Landscape Value


- More Information
- [View Section 8.2.6 Landscape Values Overlay Code](#)
  - [View Section 8.2.6 Landscape Values Overlay Compliance table](#)





 Selected Property


 Property


Scenic Buffer Area


 Gateway

 Lookout


 Scenic route


 Scenic route buffer


 View corridor


 all others

Landscape Values

 Coastal scenery

 High landscape values

 Medium Landscape Value

 all others

Disclaimer

This report is not a substitute for a Planning and Development Certificate and should not be relied upon where the reliance may result in loss, damage or injury. While every effort is taken to ensure the information in this report is accurate and up to date, Douglas Shire Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the report being inaccurate or incomplete in any way or for any reason.

## 6.2.6 Low density residential zone code

### 6.2.6.1 Application

- (1) This code applies to assessing development in the Industry zone.
- (2) When using this code, reference should be made to Part 5.

### 6.2.6.2 Purpose

- (1) The purpose of the Low density residential zone code is to provide for predominantly dwelling houses supported by community uses and small-scale services and facilities that cater for local residents.
- (2) The local government purpose of the code is to:
  - (a) implement the policy direction set in the Strategic Framework, in particular:
    - (i) Theme 1 : Settlement pattern, Element 3.4.2 – Urban settlement, Element 3.4.5 Residential areas and activities, Element 3.4.7 – Mitigation of hazards.
    - (ii) Theme 4 : Strong community and identity, Element 3.7.3 – Active communities, Element 3.7.4 – Sense of place, community and identity, Element 3.7.5 – Housing choice and affordability.
    - (iii) Theme 6 : Infrastructure and transport, Element 3.9.2 - Energy, Element 3.9.3 – Water and waste management, Element 3.9.4 Transport, Element 3.9.5 – Information technology.
  - (b) retain the low density residential character and amenity of the area, consisting predominantly of low-rise 1 and 2 storey detached dwelling houses;
  - (c) provide support for compatible small scale non-residential use activities;
  - (d) ensure development occurs on appropriately sized and shaped lots.
- (3) The purpose of the code will be achieved through the following overall outcomes:
  - (a) A range of housing, predominantly detached dwelling houses, on a range of lot sizes is provided.
  - (b) Development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts.
  - (c) Development reflects and enhances the existing low density scale and character of the area.
  - (d) Development is reflective and responsive to the environmental constraints of the land.
  - (e) Development is supported by necessary community facilities, open space and recreational areas and appropriate infrastructure to support the needs of the local community.

**Criteria for assessment****Table 6.2.6.3.a – Low density residential zone code – assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>PO1</b> The height of all buildings and structures must be in keeping with the residential character of the area.	<b>AO1</b> Buildings and structures are not more than 8.5 metres and two storeys in height.  Note – Height is inclusive of the roof height.	<b>Complies with AO1.</b> The proposed dwelling is single storey and would not exceed 8.5 metres in height.
<b>For assessable development</b>		
<b>PO2</b> The establishment of uses is consistent with the outcomes sought for the Low density residential zone and protects the zone from the intrusion of inconsistent uses.	<b>AO2</b> Uses identified in Table 6.2.6.3.b are not established in the Low density residential zone.	<b>Complies with AO2</b> A dual occupancy is not a use identified in Table 6.2.6.3.b
<b>PO3</b> The setback of buildings and structures: (a) maintains the amenity of adjoining lots and the residential character of the area; achieves separation from neighbouring buildings and frontages.	<b>AO3</b> No acceptable outcomes are prescribed.	<b>Complies with PO3</b> The proposed new dwellings would provide side and rear setbacks consistent with the existing residential development in the area. The front setbacks of 4.5 metres, is consistent with existing development in Barrbal Drive, which range from in the order of 3.5 metres to 5.5 metres. The proposed setbacks would maintain the amenity of adjoining lots and would achieve adequate separation between buildings and frontages.
<b>PO4</b> Development is located, designed, operated and managed to respond to the natural characteristics, features and constraints of the site and surrounds.	<b>AO4</b> No acceptable outcomes are prescribed.	<b>Not applicable</b> The site is former cane land. There are no natural features or constraints on the site.



Performance outcomes	Acceptable outcomes	Applicant response
Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics and features and constraints of a site and its surrounds.		



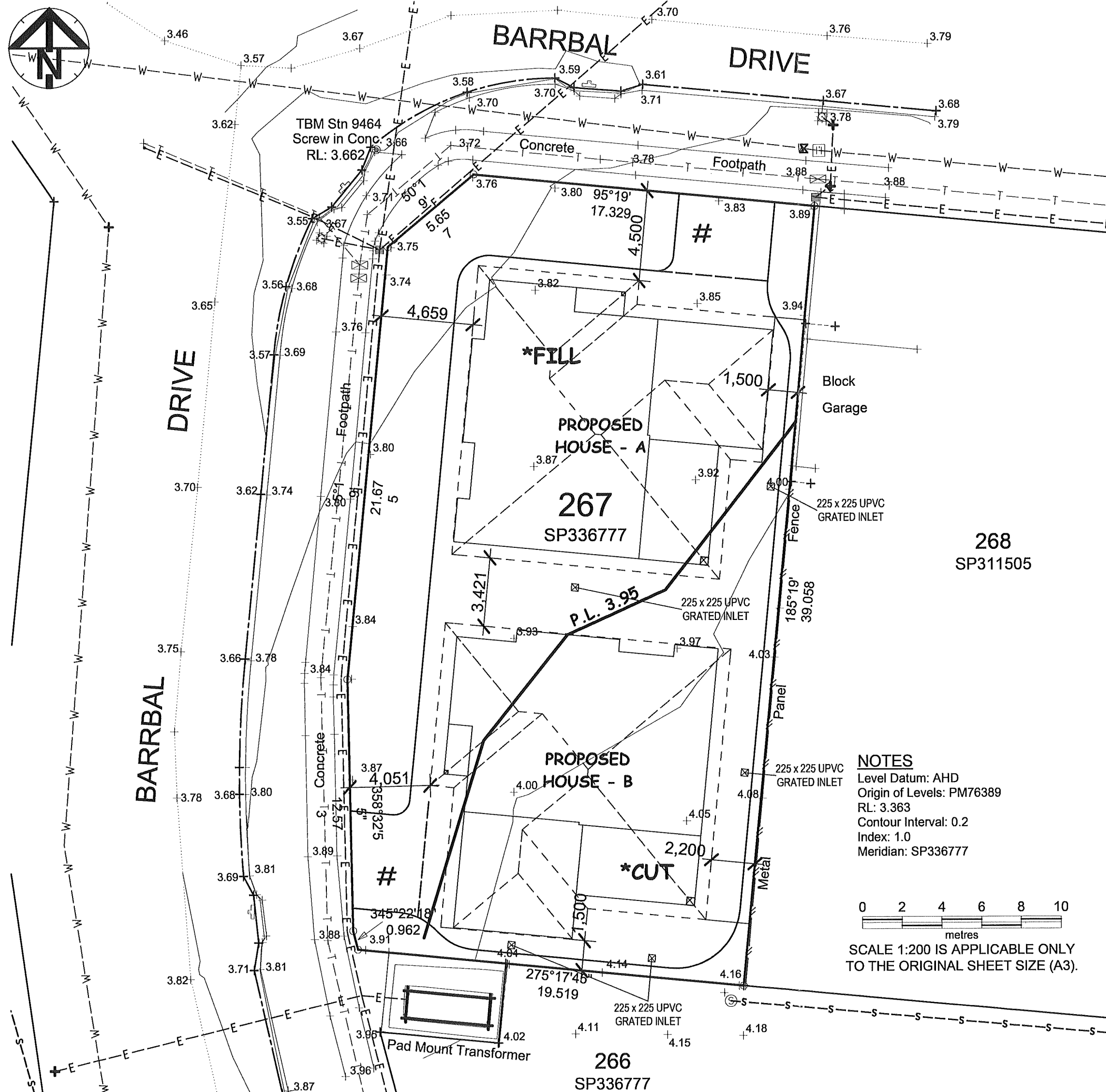
Performance outcomes	Acceptable outcomes	Applicant response
<b>P05</b> Development does not adversely affect the residential character and amenity of the area in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	<b>A05</b> No acceptable outcomes are prescribed.	<b>Complies with P05</b> The proposal would not result in emissions that would adversely affect the residential character and amenity of the area.
<b>P06</b> New lots contain a minimum area of : (a) 600m <sup>2</sup> (in sewered areas); (b) 1000m <sup>2</sup> (in unsewered areas).	<b>A06</b> No acceptable outcomes are prescribed.	<b>Complies with the Purpose of the Low Density Residential Zone</b>  The purpose of the Low Density Residential Zone is to, inter alia, provide for a range of housing, predominantly detached dwelling houses, on a range of lot sizes. The proposed development would provide low rise housing on different lot sizes to improve the range of housing options available in the area without compromising the residential amenity or the overall planned residential density. The ultimate development would provide for two detached dwellings, each with their own dedicated street frontage, reflecting and enhancing the existing low density scale and character of the area.
<b>P07</b> New lots have a minimum road frontage of 15 metres.	<b>A07</b> No acceptable outcomes are prescribed.	<b>Not Applicable.</b>
<b>P08</b> New lots contain a 20m x 15m rectangle.	<b>A010</b> No acceptable outcomes are prescribed.	<b>Not Applicable.</b>



Table 6.2.6.3.b - Inconsistent uses within the Low density residential zone

Inconsistent uses		
<ul style="list-style-type: none"> <li>• Adult store</li> <li>• Agricultural supplies store</li> <li>• Air services</li> <li>• Animal husbandry</li> <li>• Aquaculture</li> <li>• Bar</li> <li>• Brothel</li> <li>• Bulk landscape supplies</li> <li>• Car wash</li> <li>• Club</li> <li>• Crematorium</li> <li>• Cropping</li> <li>• Detention facility</li> <li>• Emergency services</li> <li>• Extractive industry</li> <li>• Food and drink outlet</li> <li>• Function facility</li> <li>• Funeral parlour</li> <li>• Garden centre</li> <li>• Hardware and trade supplies</li> <li>• High impact industry</li> </ul>	<ul style="list-style-type: none"> <li>• Hospital</li> <li>• Hotel</li> <li>• Indoor sport and recreation</li> <li>• Intensive animal industry</li> <li>• Intensive horticulture</li> <li>• Landing</li> <li>• Low impact industry</li> <li>• Major electricity infrastructure</li> <li>• Major sport, recreation and entertainment facility</li> <li>• Marine industry</li> <li>• Medium impact industry</li> <li>• Motor sport facility</li> <li>• Nature based tourism</li> <li>• Nightclub entertainment facility</li> <li>• Non-resident workforce accommodation</li> <li>• Office</li> <li>• Outdoor sales</li> <li>• Outstation</li> <li>• Parking station</li> </ul>	<ul style="list-style-type: none"> <li>• Permanent plantation</li> <li>• Port services</li> <li>• Renewable energy facility</li> <li>• Research and technology industry</li> <li>• Resort complex</li> <li>• Roadside stall</li> <li>• Rooming accommodation</li> <li>• Rural industry</li> <li>• Rural workers accommodation</li> <li>• Service industry</li> <li>• Shop</li> <li>• Shopping Centre</li> <li>• Showroom</li> <li>• Special industry</li> <li>• Theatre</li> <li>• Transport depot</li> <li>• Veterinary services</li> <li>• Warehouse</li> <li>• Wholesale nursery</li> <li>• Winery</li> </ul>

Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.



- PLATFORM LEVEL APPROX -**  
**R.L. 3.95 (+/-0.05)**  
**\* CUT - 150mm APPROX**  
**\* FILL - 150mm APPROX**  
**\* STORMWATER TO STREET.**  
**\* DISCHARGE WASTE TO SEWER.**

INTDICATIONS 400mm WIDE x 75mm DEEP  
 GRADED 'V' SHAPED EARTH TABLE DRAIN

**NOTES -**

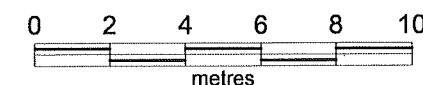
- ANY RETAINING REQUIRED. BY CLIENT
- ANY TREE REMOVAL REQUIRED. BY CLIENT
- POOLS MUST BE 2000mm MIN. FROM ANY SLAB EDGE OR PATIO COLUMNS. IF LESS THAN 2000mm, ENGINEER TO BE CONSULTED.
- REFER TO SHEET 9 of 10 FOR SETOUT PLAN.
- REFER TO SHEET 10 of 10 FOR PLUMB. PLAN.

- \* FILL BATTER @ 1:2 MAX
- \* CUT BATTER @ 1:2 MAX

**WIND-'C1'**  
**CONTOUR PLAN**

**NOTES**

Level Datum: AHD  
 Origin of Levels: PM76389  
 RL: 3.363  
 Contour Interval: 0.2  
 Index: 1.0  
 Meridian: SP336777



SCALE 1:200 IS APPLICABLE ONLY  
 TO THE ORIGINAL SHEET SIZE (A3).

**AUSTART HOMES**  
 Austart Homes Pty. Ltd.  
 QBSA Act. Licence No. 1200115  
 Address : P.O. Box 1077, SMITHFIELD, 4878  
 Phone: 0740383855 Fax: 0740383899

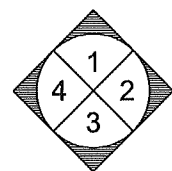
N. S. SMITH  
 LOT 267 - BARRBAL DRIVE,  
 COOYA BEACH

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER  
 SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY  
 OF AUSTART HOMES AUSTRALIA Pty. Ltd.

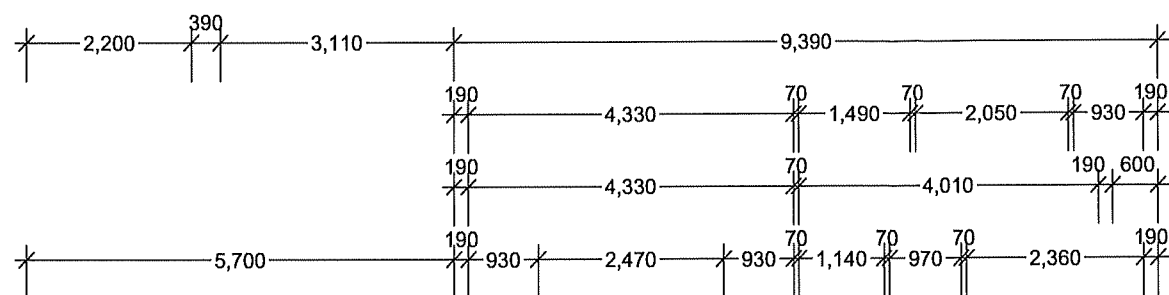
Design:	Modified TURN KEY 167	Drawn By:	
Facade:	TRADITIONAL	Date:	10/04/2024
Inclusions:	TURN KEY RANGE	Scale:	1:200
Amendments:			
Job Number:	699BAR	Sheet Number:	1 of 10

pg 58

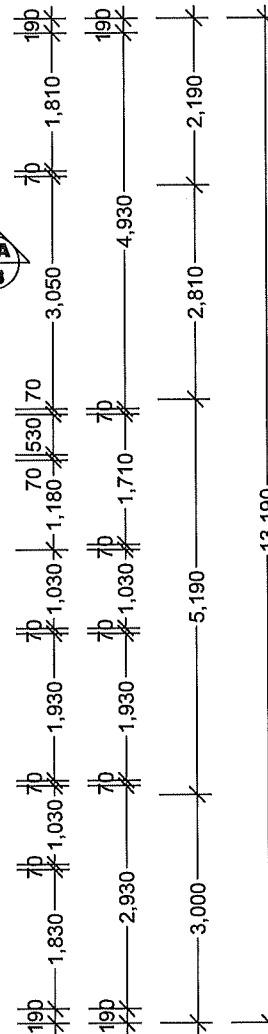
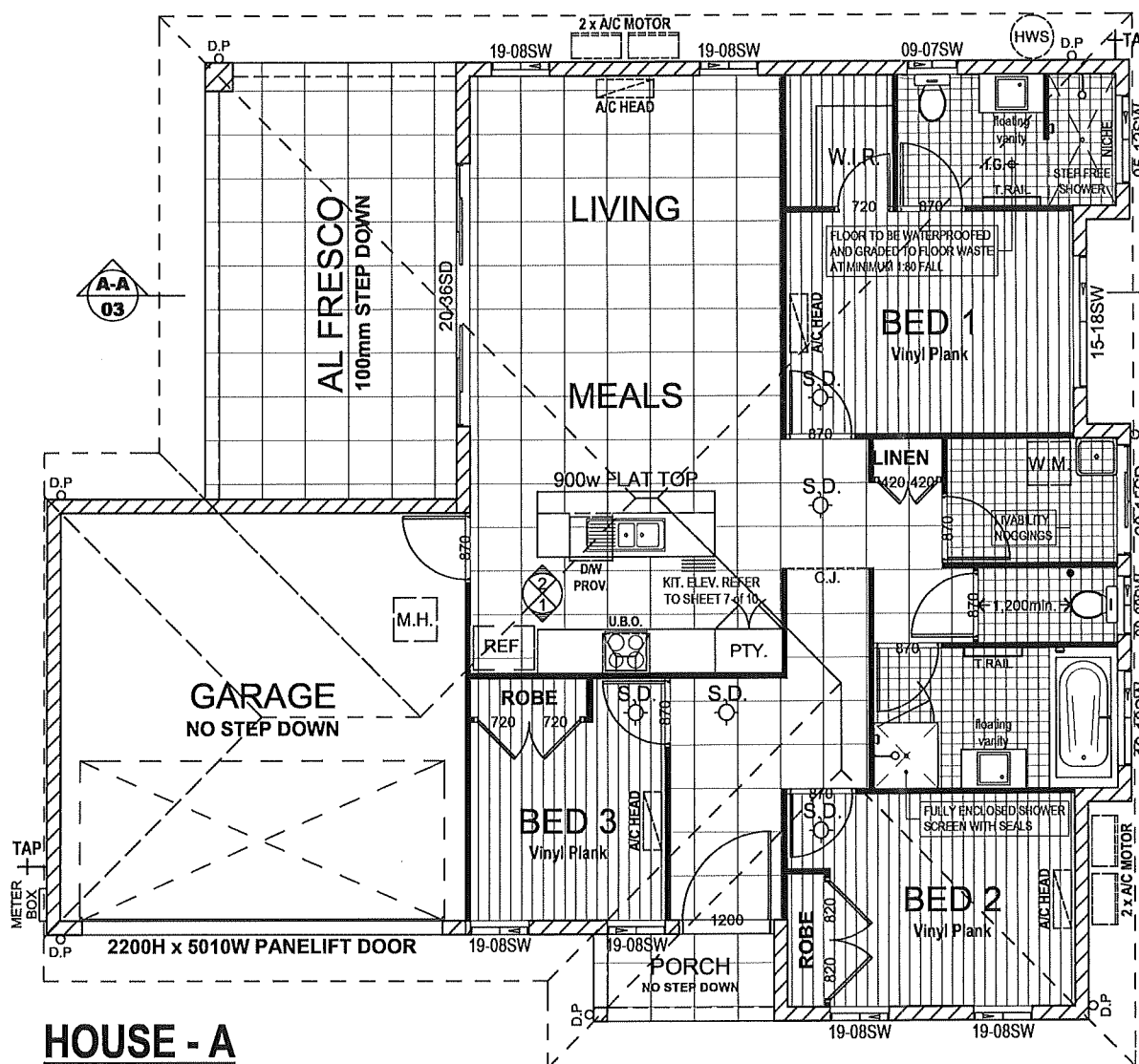
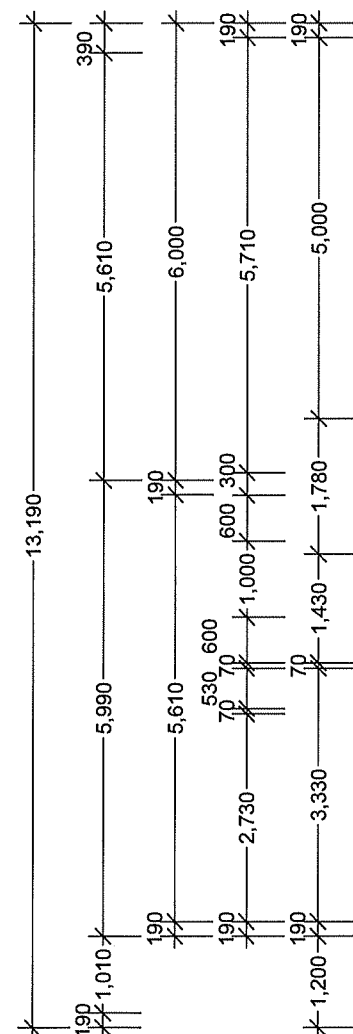




ELEVATION KEY



**ENERGY EFFICIENCY NOTES:**  
: ALL TAPWARE & SHOWERS  
TO BE 3 STAR min.  
: ALL TOILETS TO BE 4 STAR  
min.  
: ELECTRIC HOT WATER  
SYSTEM TO BE INSTALLED.



**\*NOTE - "LIVABILITY NOGGINGS" TO ALL WET AREAS. REFER SHEET 3 of 13 FOR DETAILS**

1. WATERPROOFING WET AREAS - Wet areas within the building must be waterproof or water resistant in accordance with NCC Vol. 2 Section H specifically ABCB Housing Provisions Standard 2022 Part 10.2 or AS3740-2021 and installed by a QBCC licensed installer.

Step free access to the entry level and circulation spaces (ie. 1M clear width to hallways and 820mm clear openings widths to doors) through the dwellings must be provided in accordance with the NCC Standard for Liveable Housing Design. Install wall reinforcement as per the Liveable Housing Design.

**ALL DIMENSIONS SHOWN ARE TO FRAME AND BLOCKWORK, EXCLUDES GYPROCK**

**NOTE - Floating vanities. (Additional bracing and noggings will be required).**

## WIND-'C1' FLOOR PLAN

**AUSTART HOMES**

Austart Homes Pty. Ltd.  
QBSA Act. Licence No. 1200115  
Address : P.O. Box 1077, SMITHFIELD, 4878  
Phone: 0740383855 Fax: 0740383899

N. S. SMITH  
LOT 267 - BARRBAL DRIVE,  
COOYA BEACH

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER  
SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY  
OF AUSTART HOMES AUSTRALIA Pty. Ltd.

Design: Modified TURN KEY 167  
Drawn By:

Facade: TRADITIONAL  
Date: 10/04/2024

Inclusions: TURN KEY RANGE  
Scale: 1:100

Amendments:

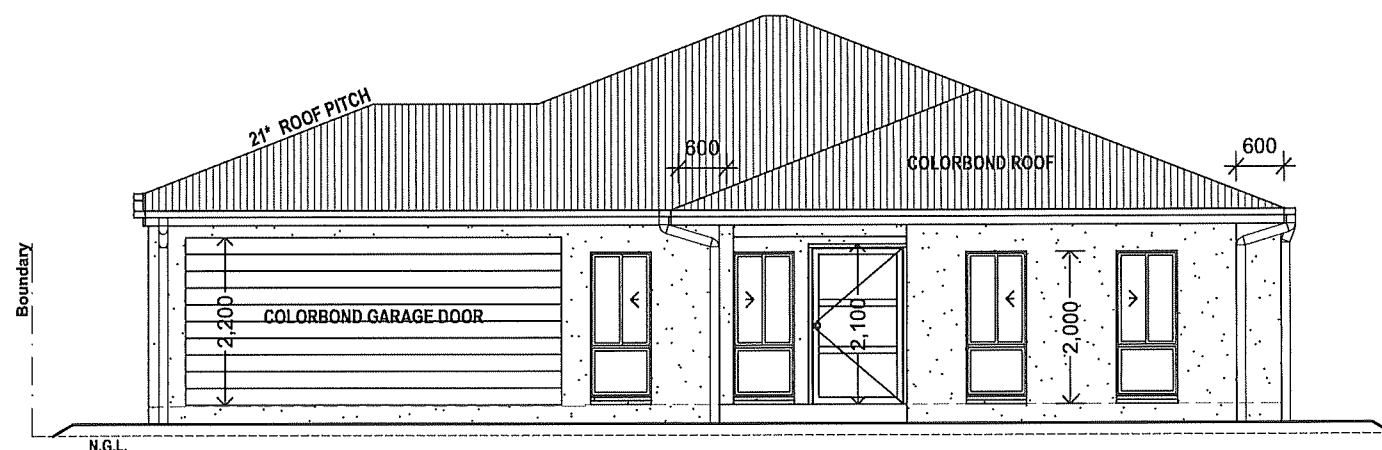
Job Number: 699BAR  
Sheet Number: 2 of 10

**FLOOR AREAS**  
LIVING - 114.39  
GARAGE - 34.84  
AL FRESCO - 21.00  
PORCH - 3.00  
TOTAL - 173.23m<sup>2</sup>  
18.64 SQUARES

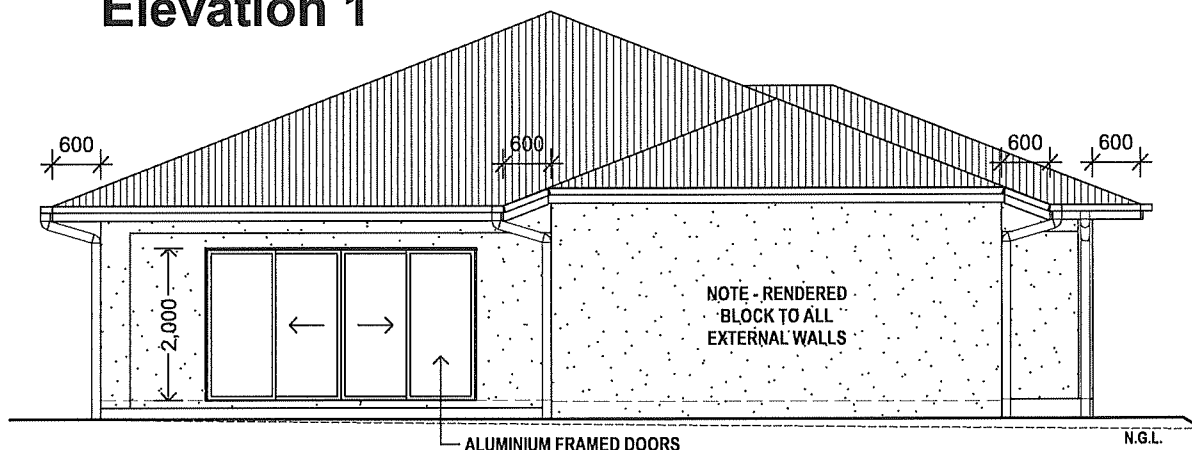
**NOTE - ALL HOT and COLD WATER PIPING TO GO THROUGH CEILING DOWN TO STUD WALLS, OTHER THAN PIPING FOR ISLAND BENCH. ALSO GAS PIPING (IF APPLICABLE) TO RUN THROUGH CEILING and STUD WALLS.**

**\* 2340H to ALL INTERNAL DOORS (INCLUDING ENTRY DOOR)**

**GENERAL NOTES :**  
: Tinted glass to all alum. framed glass doors and windows.  
: Dishwasher prov. with SPP and cold water plumbing.  
: Lift off hinges to wc.  
: Mechanical exhaust to wc with no external opening.  
: Niches-900H base with a 2100H head U.N.O.  
: Hampers and Openings - 2100H head U.N.O.  
: Bulkheads - 2200H U.N.O.



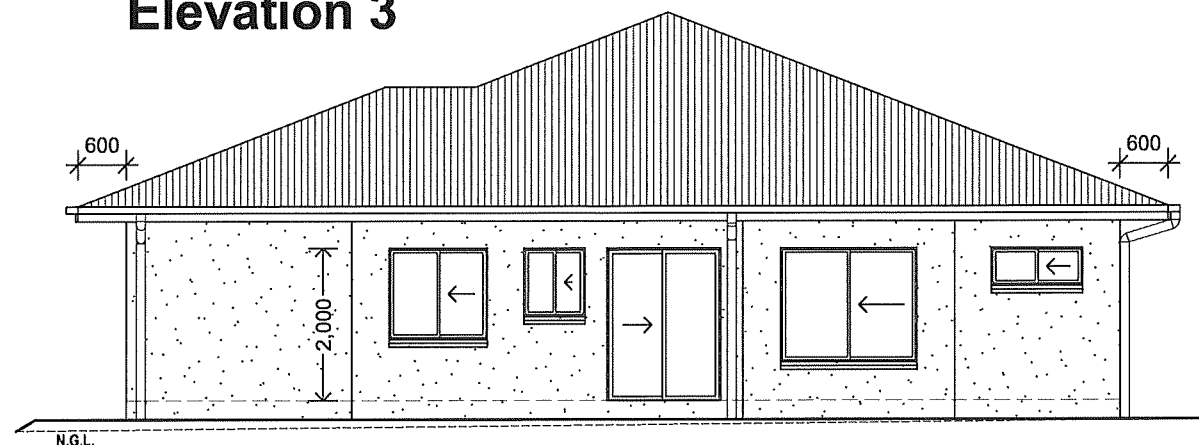
Elevation 1



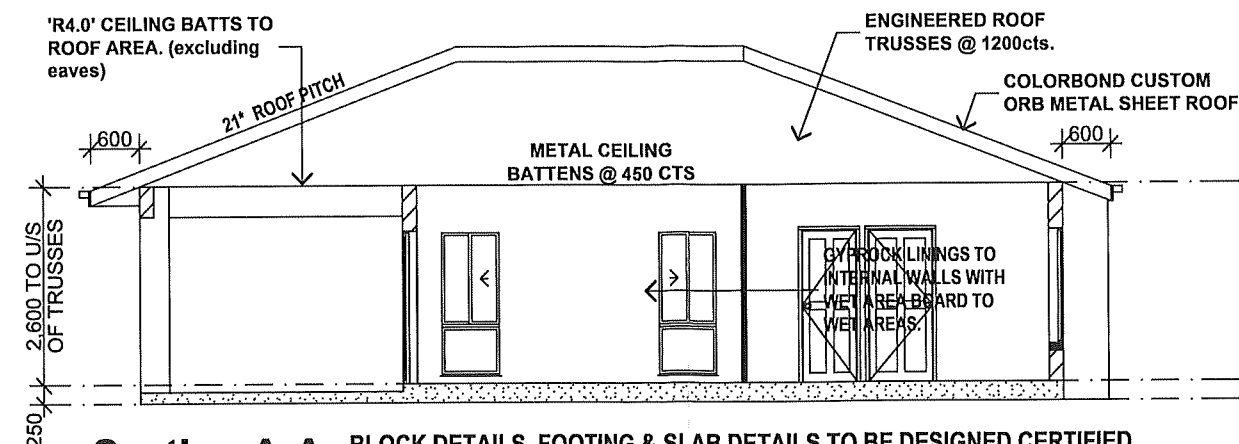
Elevation 2



Elevation 3



Elevation 4



**Section A-A** BLOCK DETAILS, FOOTING & SLAB DETAILS TO BE DESIGNED, CERTIFIED AND INSPECTED BY A RPEQ ENGINEER PRIOR TO WORK BEING CARRIED OUT FOR A 'S' CLASS SITE AND WIND-'C1' WIND RATING.

The requirements of the building code of Australia for the control of termites provides that if the primary building elements are of termite resistant materials then a barrier does not need to be installed, Austart Homes has elected to install the primary building elements of termite resistant materials plus provide a termite barrier at all penetrations through the concrete slab.

## HOUSE - A

FLY SCREENS ONLY TO ALL OPENING WINDOWS AND SLIDING GLASS DOORS, INCLUDING FRONT DOOR. (EXCLUDES GARAGE DOORS).

## WIND-'C1' ELEVATIONS

**AUSTART HOMES**  
Austart Homes Pty. Ltd.  
QBSA Act. Licence No. 1200115  
Address : P.O. Box 1077, SMITHFIELD, 4878  
Phone: 0740383855 Fax: 0740383899

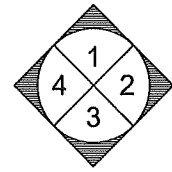
N. S. SMITH  
LOT 267 - BARRBAL DRIVE,  
COOYA BEACH

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd.

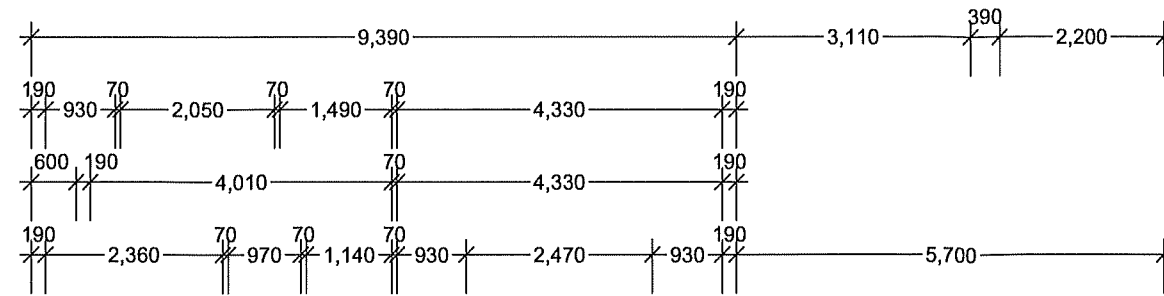
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Facade:	TRADITIONAL	Date:	10/04/2024
Inclusions:	TURN KEY RANGE	Scale:	1:100
Amendments:			
Job Number:	699BAR	Sheet Number:	3 of 10

\* GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD or UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES

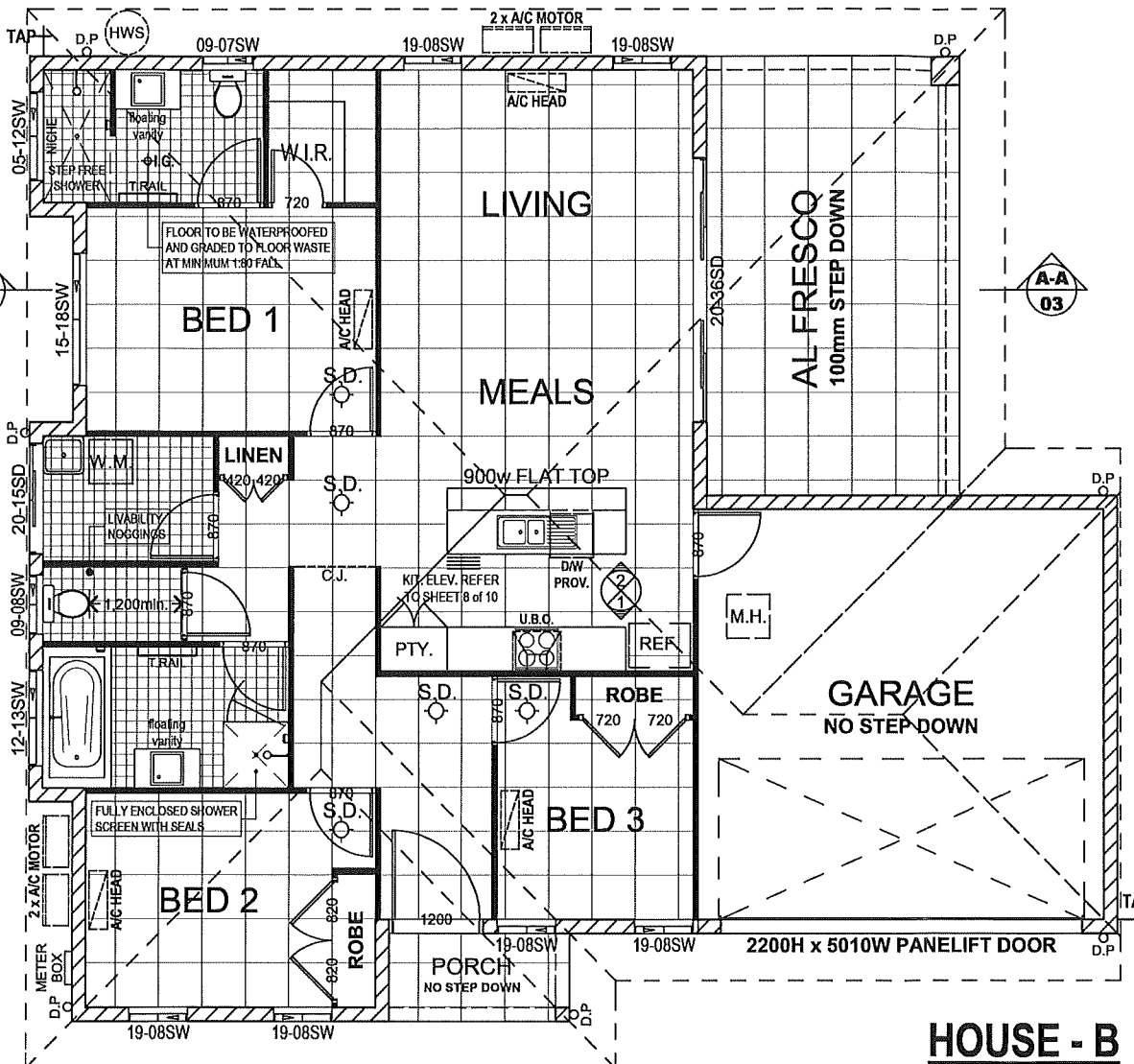
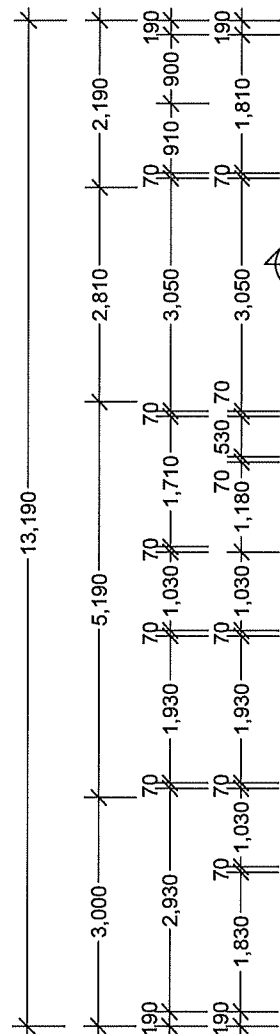
pg 60



ELEVATION KEY



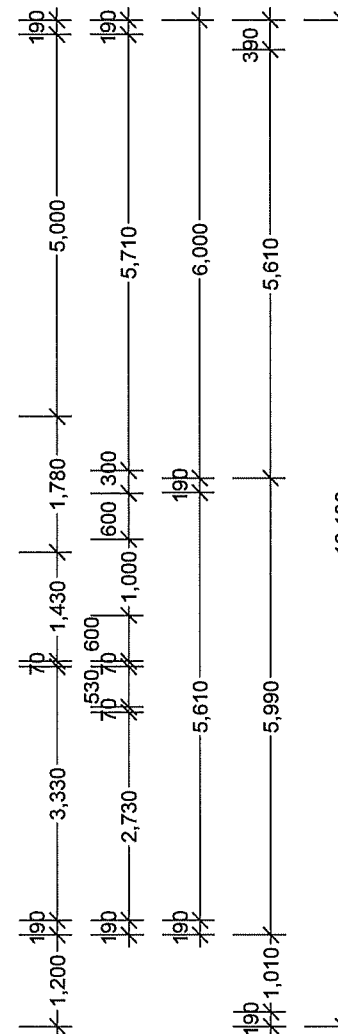
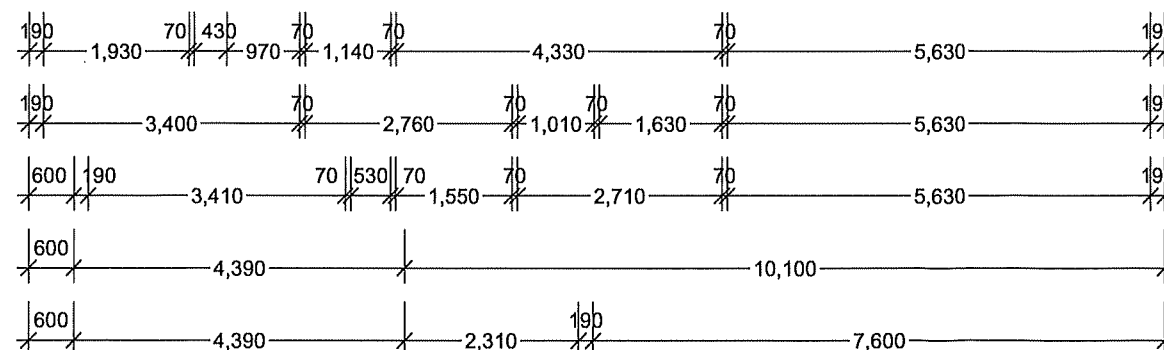
**ENERGY EFFICIENCY NOTES:**  
: ALL TAPWARE & SHOWERS  
TO BE 3 STAR min.  
: ALL TOILETS TO BE 4 STAR  
min.  
: ELECTRIC HOT WATER  
SYSTEM TO BE INSTALLED.



HOUSE - B

**FLOOR AREAS**  
LIVING - 114.39  
GARAGE - 34.84  
AL FRESCO - 21.00  
PORCH - 3.00  
TOTAL - 173.23m<sup>2</sup>  
18.64 SQUARES

NOTE - ALL HOT and COLD WATER PIPING TO GO THROUGH CEILING DOWN TO STUD WALLS, OTHER THAN PIPING FOR ISLAND BENCH. ALSO GAS PIPING (IF APPLICABLE) TO RUN THROUGH CEILING and STUD WALLS.



\* 2340H to ALL INTERNAL DOORS (INCLUDING ENTRY DOOR)

**GENERAL NOTES :**  
: Tinted glass to all alum. framed glass doors and windows.  
: Dishwasher prov. with SPP and cold water plumbing.  
: Lift off hinges to wc.  
: Mechanical exhaust to wc with no external opening.  
: Niches-900H base with a 2100H head U.N.O.  
: Hampers and Openings - 2100H head U.N.O.  
: Bulkheads - 2200H U.N.O.

\*NOTE - "LIVABILITY NOGGINGS" TO ALL WET AREAS. REFER SHEET 3 of 13 FOR DETAILS

1. WATERPROOFING WET AREAS - Wet areas within the building must be waterproof or water resistant in accordance with NCC Vol. 2 Section H specifically ABCB Housing Provisions Standard 2022 Part 10.2 or AS3740-2021 and installed by a QBCC licensed installer.

Step free access to the entry level and circulation spaces (ie. 1M clear width to hallways and 820mm clear openings widths to doors) through the dwellings must be provided in accordance with the NCC Standard for Liveable Housing Design. Install wall reinforcement as per the Liveable Housing Design.

ALL DIMENSIONS SHOWN ARE TO FRAME AND BLOCKWORK, EXCLUDES GYROCK

NOTE - Floating vanities. (Additional bracing and noggings will be required).

## WIND-'C1' FLOOR PLAN

**AUSTART HOMES**  
Austart Homes Pty. Ltd.  
QBSA Act. Licence No. 1200115  
Address : P.O. Box 1077, SMITHFIELD, 4878  
Phone: 0740383855 Fax: 0740383899

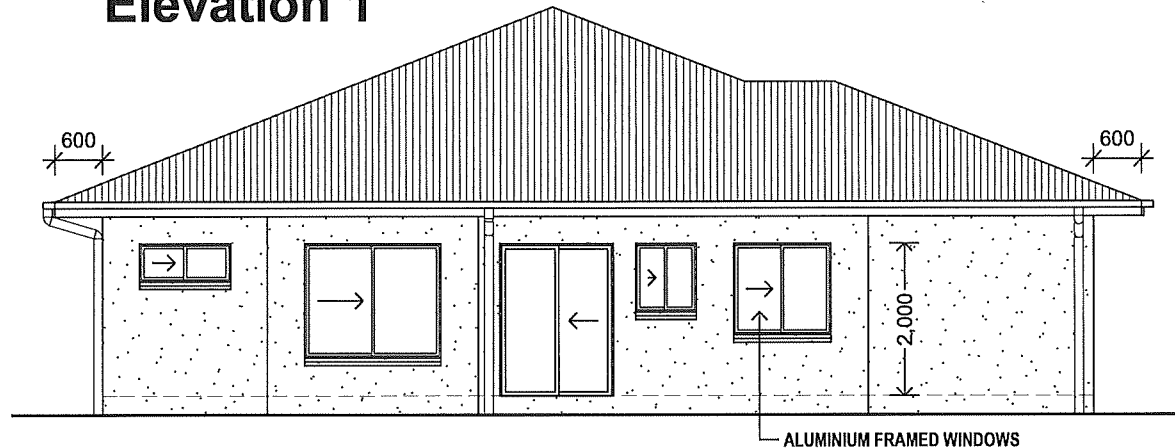
N. S. SMITH  
LOT 267 - BARRBAL DRIVE,  
COOYA BEACH

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd.

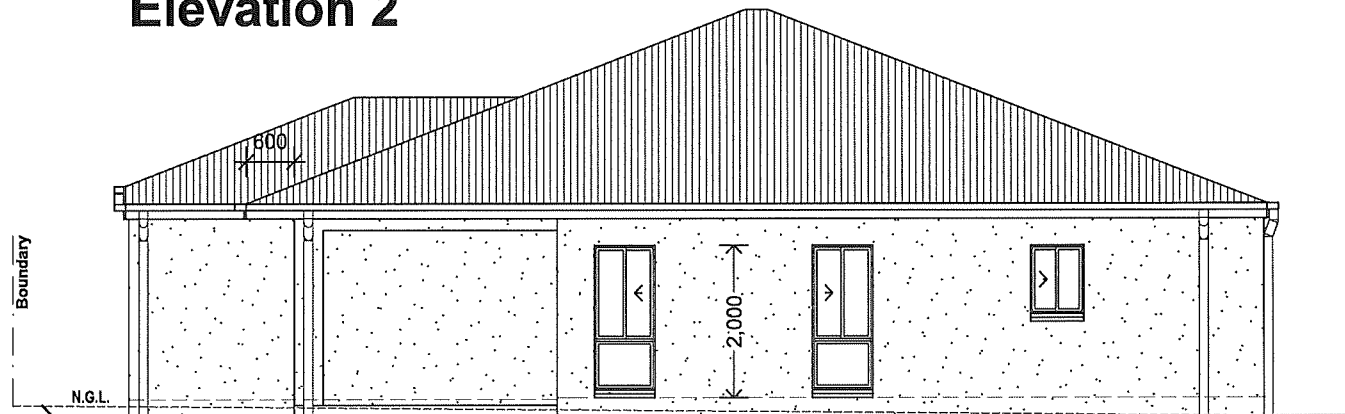
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Modified TURN KEY 167	
Facade:	Date:
TRADITIONAL	10/04/2024
Inclusions:	Scale:
TURN KEY RANGE	1:100
Amendments:	
Job Number:	Sheet Number:
699BAR	4 of 10



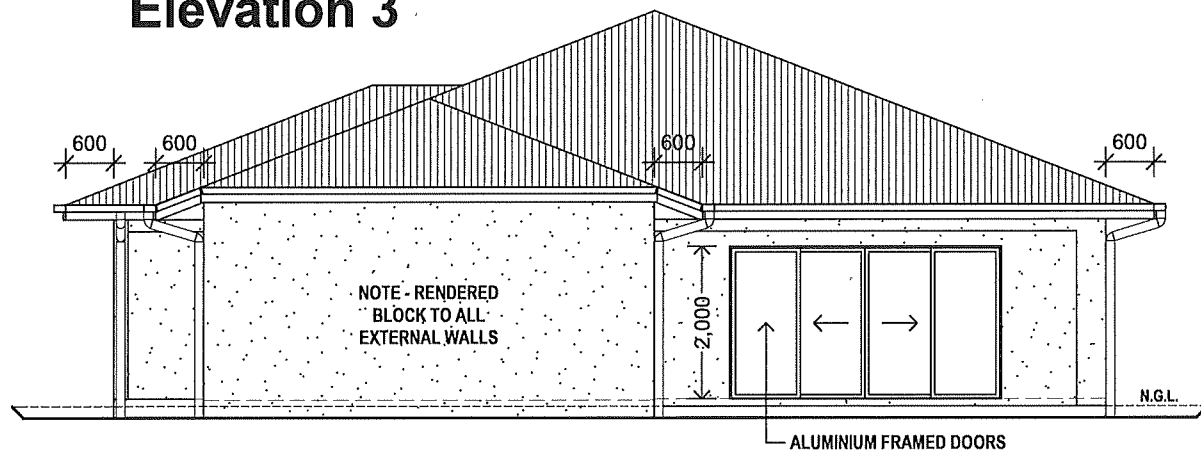
**Elevation 1**



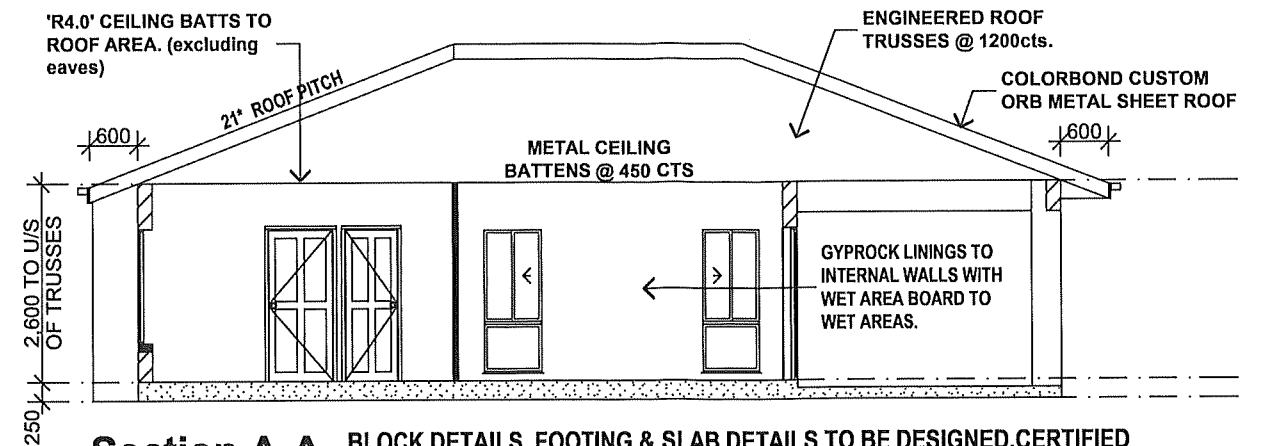
**Elevation 2**



**Elevation 3**



**Elevation 4**



**Section A-A** BLOCK DETAILS, FOOTING & SLAB DETAILS TO BE DESIGNED, CERTIFIED AND INSPECTED BY A RPEQ ENGINEER PRIOR TO WORK BEING CARRIED OUT FOR A 'S' CLASS SITE AND WIND-'C1' WIND RATING.

The requirements of the building code of Australia for the control of termites provides that if the primary building elements are of termite resistant materials then a barrier does not need to be installed, Austart Homes has elected to install the primary building elements of termite resistant materials plus provide a termite barrier at all penetrations through the concrete slab.

## HOUSE - B

FLY SCREENS ONLY TO ALL OPENING WINDOWS AND SLIDING GLASS DOORS, INCLUDING FRONT DOOR. (EXCLUDES GARAGE DOORS).

## WIND-'C1' ELEVATIONS

**AUSTART HOMES**  
Austart Homes Pty. Ltd.  
QBSA Act. Licence No. 1200115  
Address : P.O. Box 1077, SMITHFIELD, 4878  
Phone: 0740383855 Fax: 0740383899

N. S. SMITH  
LOT 267 - BARRBAL DRIVE,  
COOYA BEACH

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd.

Design: Modified TURN KEY 167 Drawn By:

Facade: TRADITIONAL Date: 10/04/2024

Inclusions: TURN KEY RANGE Scale: 1:100

Amendments:

Job Number: 699BAR Sheet Number: 5 of 10

\* GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD or UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES

# Reinforcement of bathroom & toilet walls

## Performance Statement

The bathroom and toilet walls are built to enable grabrails to be safely and economically installed

**\*NOTE - Except for walls constructed of solid masonry or concrete, the walls will be reinforced to both sides of a toilet, one end beside a bathtub and to rear and 1 side wall of a shower**

a. The walls around the toilet are to be reinforced by installing:  
I. nogging with a thickness of at least 25mm in accordance with Figure 1(a); or

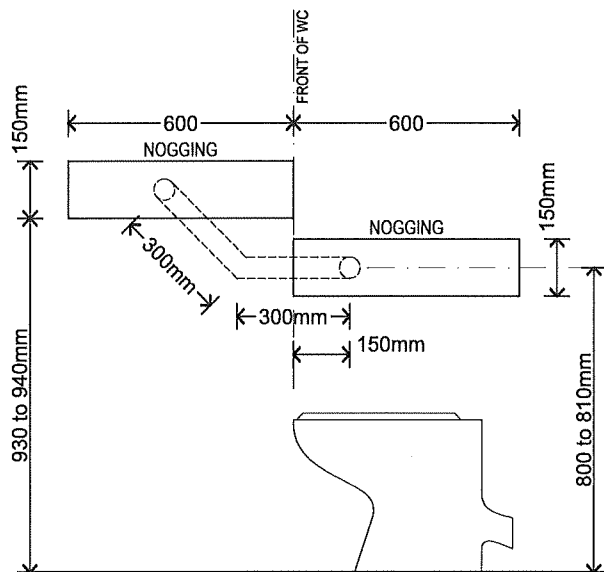


Figure 1(a) Toilet - Location of reinforcement

b. The walls around the bath are to be reinforced by installing:  
I. nogging with a thickness of at least 25mm in accordance with Figure 1(a); or

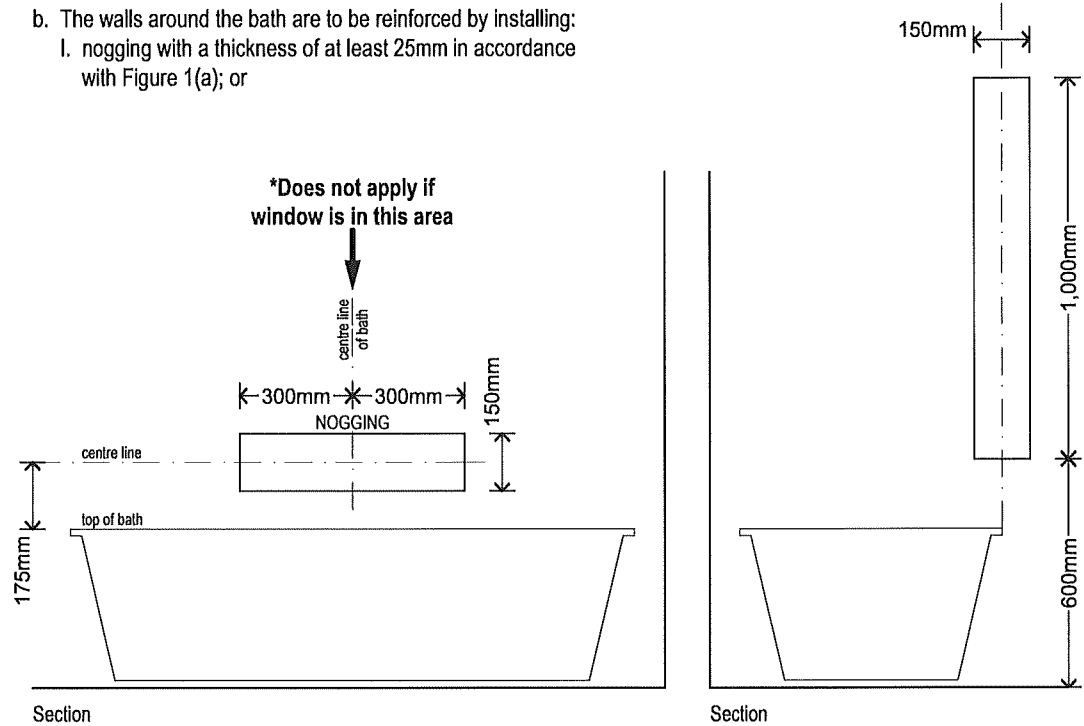


Figure 2(a) Bath - Location of reinforcement

c. The walls around the hobless shower recess are to be reinforced by installing:  
I. nogging with a thickness of at least 25mm in accordance with Figure 3(a); or

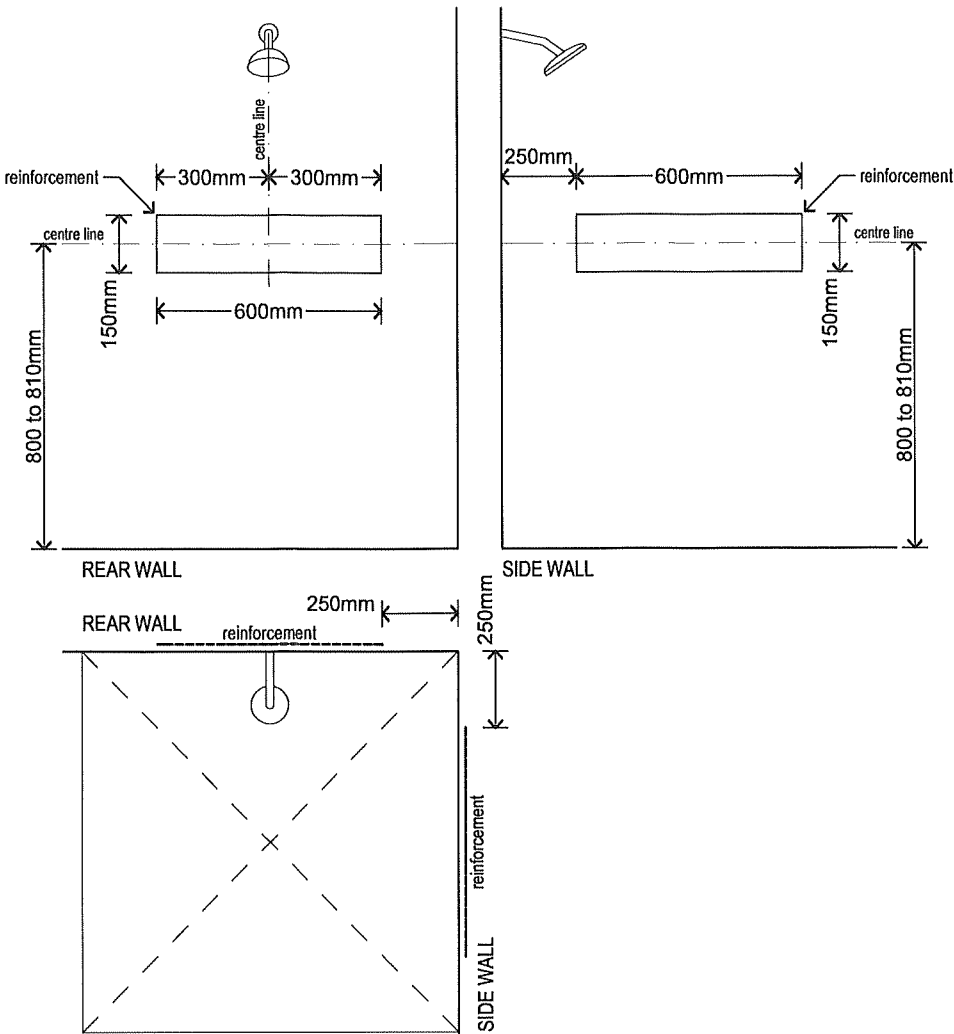


Figure 3(a) Shower recess - Location of reinforcement

Step free access to the entry level and circulation spaces (ie. 1M clear width to hallways and 820mm clear openings widths to doors) through the dwellings must be provided in accordance with the NCC Standard for Liveable Housing Design. Install wall reinforcement as per the Liveable Housing Design

Design:	Modified TURN KEY 167	Drawn By:		Amendments:	
Facade:	TRADITIONAL	Date:	10/04/2024	Job Number:	699BAR
Inclusions:	TURN KEY RANGE	Scale:	1 : 20	Sheet Number:	6 or 10

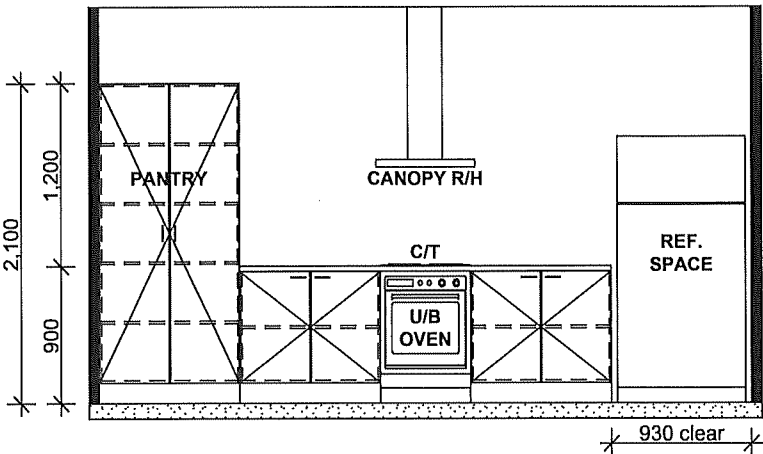
ALL ENGINEERING WILL BE  
CERTIFIED AND DESIGNED BY  
**GLEN THWAITE AND  
ASSOCIATES**  
**A RPEQ REGISTERED  
ENGINEER.**

ALL SLAB, FOOTINGS AND  
BLOCKWORK WILL BE  
DESIGNED TO SUIT THE SOIL  
REPORT IN THE CONTRACT  
AND THE WIND CATEGORY  
REPORT BY THE ENGINEER IN  
THE CONTRACT.

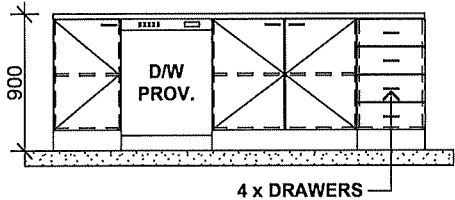
A copy of the Stamped  
Engineering will be sent to the  
client from Certifier once  
approved.



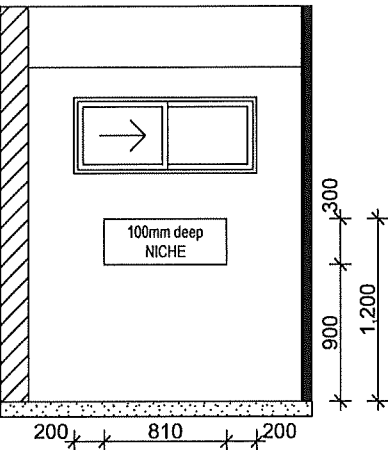
\* SMOKE ALARMS MUST COMPLY WITH THE REQUIREMENTS OF BCA, PART 3.7 - FIRE SAFETY AND THE BUILDING REGULATION PART 4.  
\* MECHANICAL VENTILATION TO COMPLY WITH THE BCA, PART 3.8.5 & 3.8.7 (EXHAUST MUST BE VENTED TO OUTSIDE OF THE BUILDING)



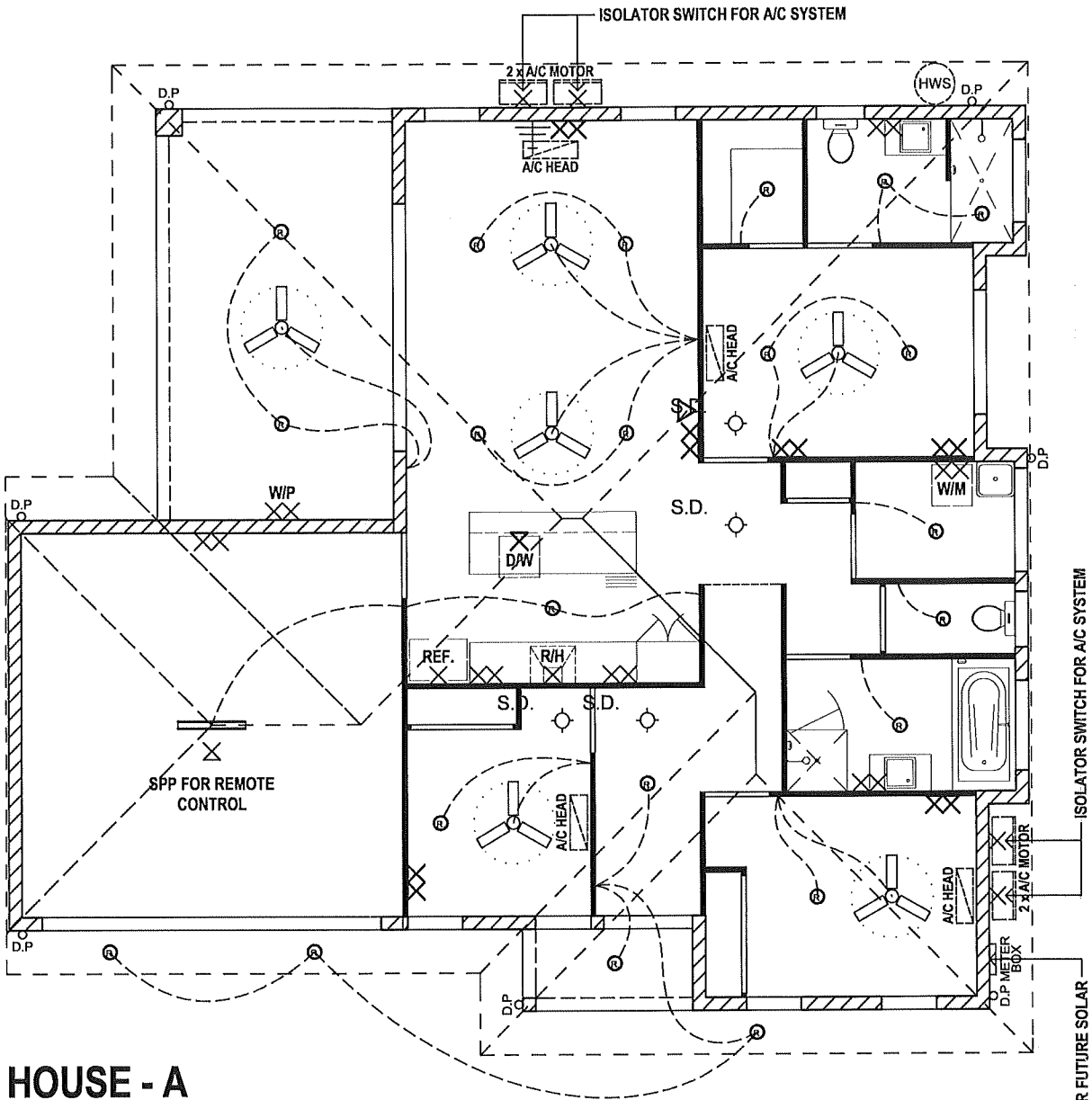
**Kitchen Elevation 1**  
1 : 50



**Kitchen Elevation 2**  
1 : 50



**Ens. Shr. Niche**  
1 : 50



**HOUSE - A**

NOTE : THIS LAYOUT HAS BEEN DESIGNED  
TO SHOW 100% ENERGY EFFICIENT LED  
LIGHTING, (INTERNAL, EXCLUDING GARAGE).

NOTE : A/C HEADS AND OUT DOOR  
UNIT POSITIONS TO BE CONFIRMED  
ON SITE BY AIR-CON INSTALLER.

**ELECTRICAL LEGEND**

SINGLE G.P.O. 300mm AFL	✕
SINGLE G.P.O. 1050mm AFL	✕
DOUBLE G.P.O. 300mm AFL	✕✕
DOUBLE G.P.O. 1050mm AFL	✕✕
CEILING LIGHT(BATTEN HOLD)	○
RECESSED DOWNLIGHTS	Ⓡ
WALL MOUNTED LIGHT	⌒
RECESSED LED LIGHTS	Ⓢ
FLUORESCENT LIGHT	—
TWIN SPOT or FLOODLIGHT	∨
EXHAUST FAN	ⓔⓕ
CEILING FAN	Ⓢ
SMOKE DETECTOR	Ⓢ.Ⓢ.
T.V. POINT 300mm AFL U.N.O.	Ⓢ
PHONE POINT 300mm AFL U.N.O.	∇
HOT WATER SYSTEM	ⓈⓈ.
METER BOX	ⓈⓈ.
SWITCH	—
DIMMER SWITCH	—

**WIND-'C1'**  
**ELECTRICAL**  
**PLAN**

**AUSTART HOMES**  
Austart Homes Pty. Ltd.  
QBSA Act. Licence No. 1200115  
Address : P.O. Box 1077, SMITHFIELD, 4878  
Phone: 0740383855 Fax: 0740383899

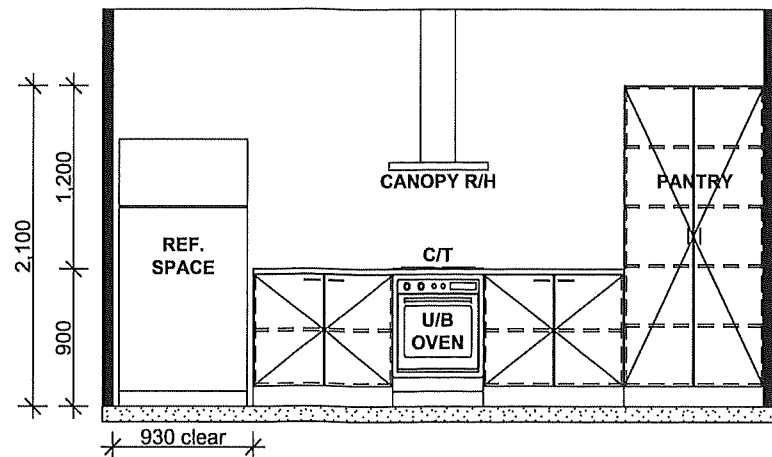
N. S. SMITH  
LOT 267 - BARRBAL DRIVE,  
COOYA BEACH

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER  
SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY  
OF AUSTART HOMES AUSTRALIA Pty. Ltd.

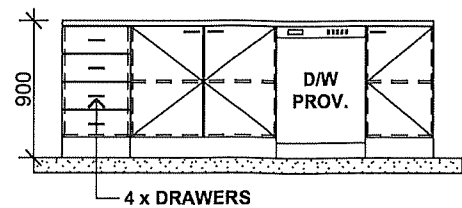
Design:	Drawn By:
Modified TURN KEY 167	
Facade:	Date:
TRADITIONAL	10/04/2024
Inclusions:	Scale:
TURN KEY RANGE	1:100
Amendments:	
Job Number:	Sheet Number:
699BAR	7 or 10



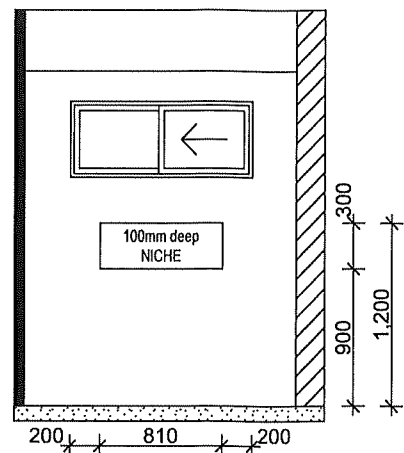
\* SMOKE ALARMS MUST COMPLY WITH THE REQUIREMENTS OF BCA, PART 3.7 - FIRE SAFETY AND THE BUILDING REGULATION PART 4.  
\* MECHANICAL VENTILATION TO COMPLY WITH THE BCA, PART 3.8.5 & 3.8.7 (EXHAUST MUST BE VENTED TO OUTSIDE OF THE BUILDING)



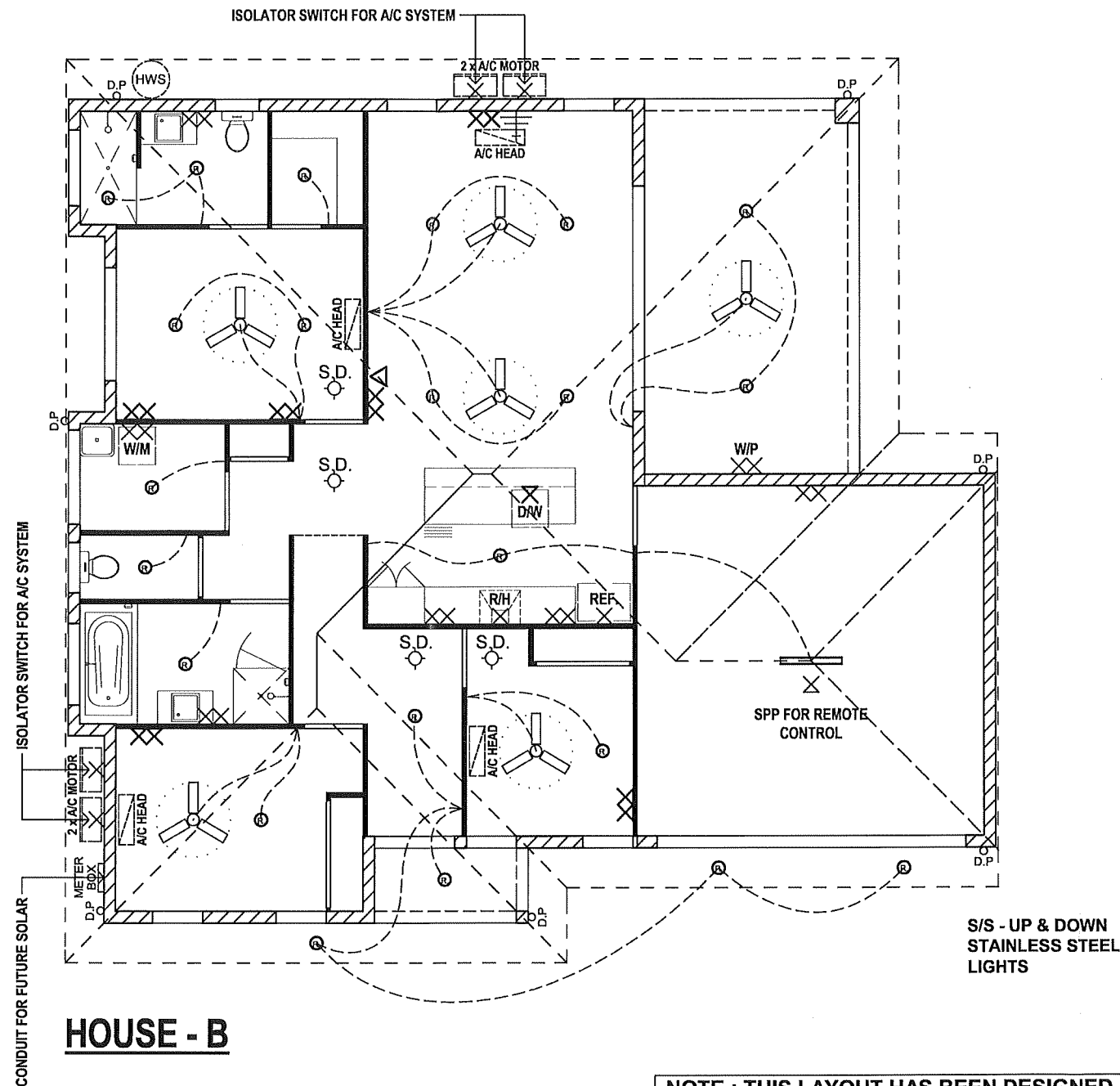
**Kitchen Elevation 1**  
1 : 50



**Kitchen Elevation 2**  
1 : 50



**Ens. Shr. Niche**  
1 : 50



**HOUSE - B**

NOTE : THIS LAYOUT HAS BEEN DESIGNED  
TO SHOW 100% ENERGY EFFICIENT LED  
LIGHTING, (INTERNAL, EXCLUDING GARAGE).

NOTE : A/C HEADS AND OUT DOOR  
UNIT POSITIONS TO BE CONFIRMED  
ON SITE BY AIR-CON INSTALLER.

ELECTRICAL LEGEND	
SINGLE G.P.O. 300mm AFL	✕
SINGLE G.P.O. 1050mm AFL	✕
DOUBLE G.P.O. 300mm AFL	✕✕
DOUBLE G.P.O. 1050mm AFL	✕✕
CEILING LIGHT(BATTEN HOLD)	○
RECESSED DOWNLIGHTS	Ⓡ
WALL MOUNTED LIGHT	⌒
RECESSED LED LIGHTS	Ⓡ
FLUORESCENT LIGHT	—
TWIN SPOT or FLOODLIGHT	∨
EXHAUST FAN	Ⓢ
CEILING FAN	Ⓢ
SMOKE DETECTOR	Ⓢ
T.V. POINT 300mm AFL U.N.O.	Ⓢ
PHONE POINT 300mm AFL U.N.O.	Ⓢ
HOT WATER SYSTEM	Ⓢ
METER BOX	Ⓢ
SWITCH	—
DIMMER SWITCH	—

**WIND-'C1'**  
**ELECTRICAL**  
**PLAN**

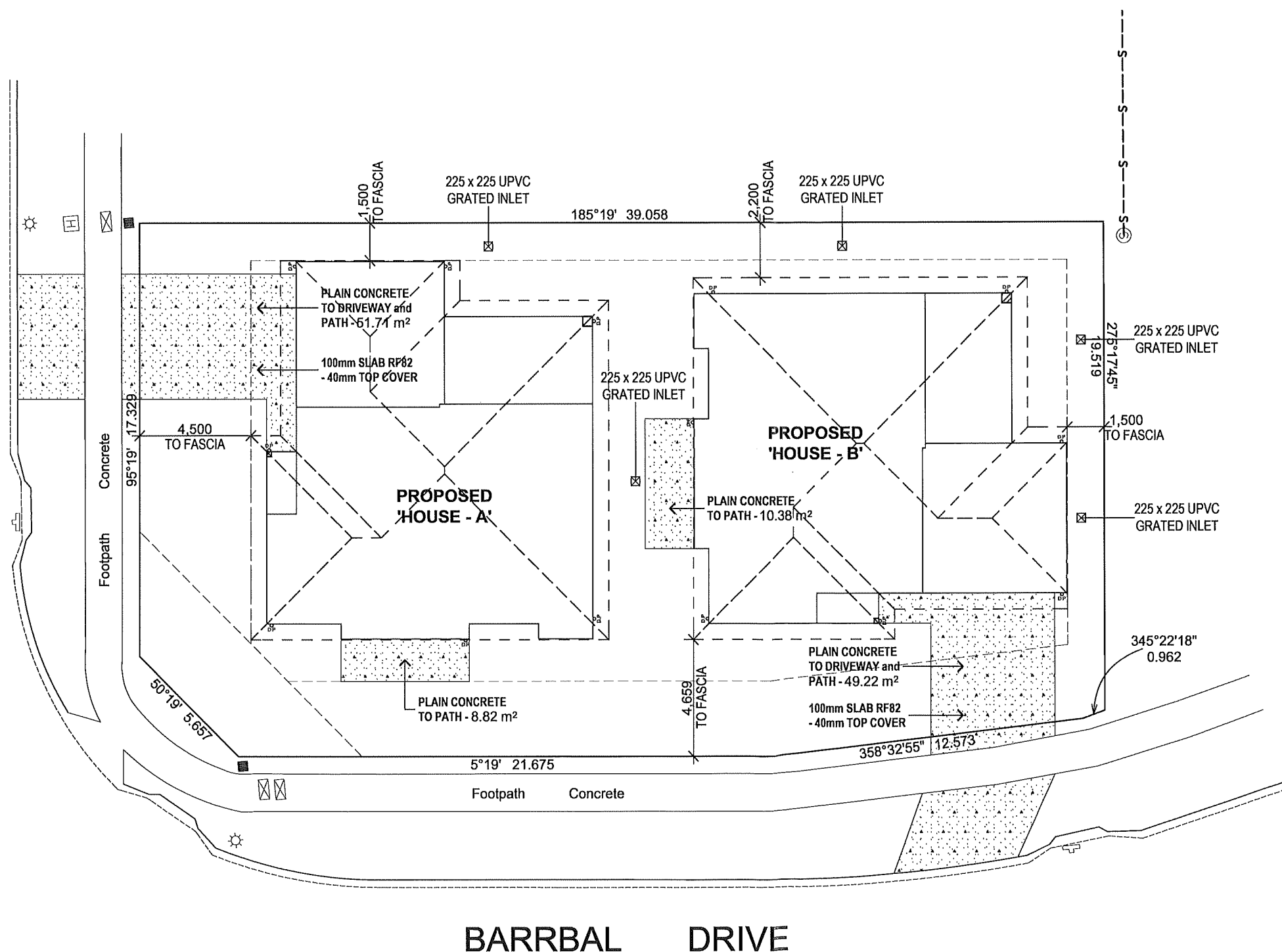
<b>AUSTART HOMES</b> Austart Homes Pty. Ltd. QBSA Act. Licence No. 1200115 Address : P.O. Box 1077, SMITHFIELD, 4878 Phone: 0740383855 Fax: 0740383899	
N. S. SMITH LOT 267 - BARRBAL DRIVE, COOYA BEACH	
N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd.	
Design: Modified TURN KEY 167	Drawn By:
Facade: TRADITIONAL	Date: 10/04/2024
Inclusions: TURN KEY RANGE	Scale: 1:100
Amendments:	
Job Number: 699BAR	Sheet Number: 8 or 10

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LOT 267 ON SP336777  
BARRBAL DRIVE,  
COOYA BEACH



BARRBAL DRIVE



BARRBAL DRIVE

## WIND-'C1' SETOUT PLAN

**AUSTART HOMES**

Austart Homes Pty. Ltd.  
QBSA Act. Licence No. 1200115  
Address : P.O. Box 1077, SMITHFIELD, 4878  
Phone: 0740383855 Fax: 0740383899

N. S. SMITH  
LOT 267 - BARRBAL DRIVE,  
COOYA BEACH

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER  
SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY  
OF AUSTART HOMES AUSTRALIA Pty. Ltd.

Design: Modified TURN KEY 167  
Drawn By:

Facade: TRADITIONAL  
Date: 10/04/2024

Inclusions: TURN KEY RANGE  
Scale: 1:200

Amendments:

Job Number: 699BAR  
Sheet Number: 9 of 10

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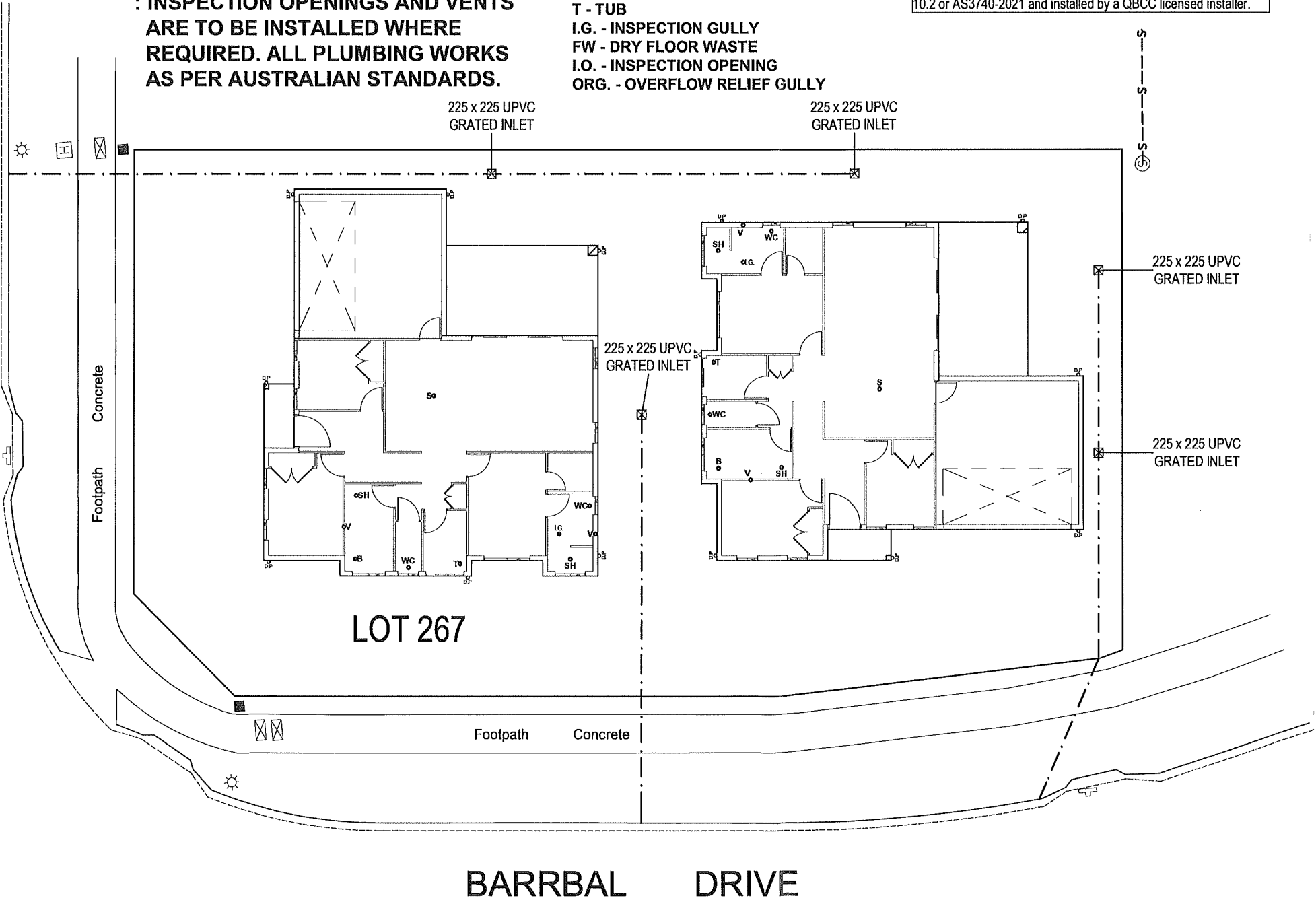
**NOTES :**  
: THIS PLAN IS INDICATIVE ONLY AND WILL DIFFER ON SITE. PLUMBER TO SUBMIT AS CONSTRUCTED PLAN TO COUNCIL.  
: INSPECTION OPENINGS AND VENTS ARE TO BE INSTALLED WHERE REQUIRED. ALL PLUMBING WORKS AS PER AUSTRALIAN STANDARDS.

**LEGEND**  
S - SINK  
V - VANITY BASIN  
SH - SHOWER  
B - BATH  
SB - SPA BATH  
WC - WATER CLOSET  
T - TUB  
I.G. - INSPECTION GULLY  
FW - DRY FLOOR WASTE  
I.O. - INSPECTION OPENING  
ORG. - OVERFLOW RELIEF GULLY

INDICATES 100mm dia. UPVC GRADED 1:100min.  
FOR CLIENT'S FUTURE GATED INLET

1. WATERPROOFING WET AREAS - Wet areas within the building must be waterproof or water resistant in accordance with NCC Vol. 2 Section H specifically ABCB Housing Provisions Standard 2022 Part 10.2 or AS3740-2021 and installed by a QBCC licensed installer.

BARRBAL DRIVE



**WIND-'C1'**  
**PLUMBING PLAN**

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Austart Homes Pty. Ltd.  
QBSA Act. Licence No. 1200115  
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N. S. SMITH  
LOT 267 - BARRBAL DRIVE,  
COOYA BEACH

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER  
SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY  
OF AUSTART HOMES AUSTRALIA Pty. Ltd.

Design:	Drawn By:
Modified TURN KEY 167	
Facade:	Date:
TRADITIONAL	10/04/2024
Inclusions:	Scale:
TURN KEY RANGE	1:200
Amendments:	
Job Number:	Sheet Number:
699BAR	10 of 10

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h