

17 September 2018

Attn: Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman Qld 4873

RE: Development Application for a Development Permit for a Material Change of Use (Tourist Park) over land on Cape Tribulation Road, Cape Tribulation, formally described as Lot 3 on RP741072 and Lot 11 on RP746567

This Development Application for a Development Permit for a Material Change of Use (Tourist Park) over land on Cape Tribulation Road, Cape Tribulation, formally described as Lot 3 on RP741072 and Lot 11 on RP746567 is made by Winsome Investments Pty Ltd (the 'land owner' and 'applicant').

In support of this Development Application please find attached:

- Duly completed DA Form 1
- Planning Report which includes
 - o Assessment against the relevant Planning Scheme provisions
 - o Proposal Plan
 - o Certificate of Title
 - o Land Owners Consent

The relevant Application Fee of **\$2,570.00**, will be arranged to be paid over the counter at the Mossman administration building.

Thank you for your time in considering the attached Development Application. You are invited to inspect the property at any time.

If you have any further queries please contact the applicant.

Regards,

Jacklyn Kiernan
Winsome Investments Pty Ltd

DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving code assessment or impact assessment, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Winsome Investments Pty Ltd
Contact name <i>(only applicable for companies)</i>	Jacklyn Kiernan
Postal address <i>(P.O. Box or street address)</i>	R3812 Cape Tribulation Road
Suburb	Cape Tribulation
State	QLD
Postcode	4873
Country	Australia
Contact number	(07) 4098 0077
Email address <i>(non-mandatory)</i>	jacklyn@capetribcamping.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		R3812	Cape Tribulation Road	Cape Tribulation
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		11	RP746567	Douglas Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
			Cape Tribulation Road	Cape Tribulation
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		3	RP741072	Douglas Shire

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- Additional premises are relevant to this development application and their details have been attached in a schedule to this application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

Myall Creek

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

- Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*

EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Tourist Park

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Extension of existing camp ground over a new property plus ablution block and onsite waste water treatment.	Tourist Park	na	na

8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

<input type="checkbox"/> Yes – provide additional details below
<input type="checkbox"/> No
How many stages will the works include?
What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- | | | |
|---|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: <input style="width: 200px;" type="text"/> | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

- | |
|---|
| <input type="checkbox"/> Yes – specify number of new lots: <input style="width: 100px;" type="text"/> |
| <input type="checkbox"/> No |

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ <input style="width: 150px;" type="text"/>

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure – designated premises
- Infrastructure – state transport infrastructure
- Infrastructure – state transport corridors and future state transport corridors
- Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure – near a state-controlled road intersection
- On Brisbane core port land near a State transport corridor or future State transport corridor
- On Brisbane core port land – ERA
- On Brisbane core port land – tidal works or work in a coastal management district
- On Brisbane core port land – hazardous chemical facility
- On Brisbane core port land – taking or interfering with water
- On Brisbane core port land – referable dams
- On Brisbane core port land - fisheries
- Land within Port of Brisbane's port limits
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- Local heritage places

Matters requiring referral to the chief executive of the distribution entity or transmission entity: <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the Minister under the Transport Infrastructure Act 1994: <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the relevant port operator: <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works marina (<i>more than six vessel berths</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i>
<ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
<i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input checked="" type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	MCU 817/2015 (456130)	May 2015	Douglas Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No

23) Further legislative requirements			
<u>Environmentally relevant activities</u>			
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <i>Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</i>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
<u>Hazardous chemical facilities</u>			
23.2) Is this development application for a hazardous chemical facility ?			
<input type="checkbox"/> Yes – <i>Form 69: Notification of a facility exceeding 10% of schedule 15 threshold</i> is attached to this development application <input checked="" type="checkbox"/> No <i>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</i>			
<u>Clearing native vegetation</u>			

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes

No

Note: See guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
 No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title
- No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
 No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
 No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
 No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <i>DA Form 2 – Building work details</i> have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 21</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

PART 9 – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	

Relevant licence number(s) of chosen assessment manager	
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QLeave notification and payment	
<i>Note: For completion by assessment manager if applicable</i>	
Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date received form sighted by assessment manager	
Name of officer who sighted the form	

Planning Report

For

Development Application for a Development Permit for a

Material Change of Use (Tourist Park) over land at

Cape Tribulation Road, Cape Tribulation, formally described as

Lot 3 on RP741072 and Lot 11 on RP746567

Date: 17 September 2018

Executive Summary

This Planning Report supports a Development Application for a Development Permit for a Material Change of Use (Tourist Park) over land on Cape Tribulation Road, Cape Tribulation, formally described as Lot 3 on RP741072 and Lot 11 on RP746567 (the 'site'). A copy of the proposal plans are attached at Appendix 4.

The purpose of the application is to facilitate an alternative, more private form of camping opportunity than that already offered by Lot 11. An existing lawful camp ground operates and will continue to operate unchanged on Lot 11, commonly known as Cape Tribulation Camping. This approval was recently changed by application to the Douglas Shire Council in May 2015 (Council ref: MCU 817/2015 (456130)).

The current application seeks to establish a new camp ground for up to 15 sites (maximum 60 people) within an existing cleared portion of the site, new amenities building and new dedicated onsite waste water treatment facility.

The Current Registered Landowner of Lot 3 is Winsome Investments Pty Ltd (the 'applicant') and Lot 11 is Kiernan Investments Pty Ltd, refer to Appendix 2. Kiernan Investments has consented to the lodgement of the application by Winsome Investments Pty Ltd. A copy of the executed Land Owners Consent is attached at Appendix 3.

Although Lot 3 has frontage to Cape Tribulation Road it is proposed to gain access via Lot 11 as this is most practical from a cost, guest experience and site management perspective.

The subject sites are included within the Conservation Zone under the Douglas Shire Planning Scheme 2018 Version 1.0. The subject sites are further included within Precinct 6 - Low Impact Tourism Accommodation of the Cape Tribulation / Daintree Coast Local Plan Precincts (Cape Tribulation Area). The proposed use is consistent with the purpose of the designated precinct.

The proposed development requires 'Impact Assessment', as confirmed in accordance with Part 5 – Tables of Assessment. This Planning Report provides an assessment of the development proposal against the applicable provisions of the Douglas Shire Planning Scheme 2018 Version 1.0, and should be read in conjunction with the supporting information included within the Appendices of this report.

Site Characteristics and Surrounds

Locality

The subject site comprises two lots, an unaddressed rural property and R3812 Cape Tribulation Road, Cape Tribulation, formally described as Lot 3 on RP741072 and Lot 11 on RP746567.

The popular Cape Tribulation Camping camp ground currently operates from Lot 11.

Refer to Figure 1 of this report, which provides a Locality Map of the subject site and surrounding area.



Figure 1: Locality Map (source: Qld Globe, 2018)

Site Characteristics

The Table 1 below describes the sites characteristics:

Characteristics	Lot 3	Lot 11
Area (ha)	24.75	11.17
Average Lot Dimensions	492m x 538m	420m x 255m
Easements	Easement A on RP742483 (In Gross) burdens Lot 11 in favour of a Lease over Lot 3 for the purpose of the Australian Telecommunications Corporation.	
Topography	Generally level with a gentle fall from west to east towards the Esplanade.	
Vegetation	Largely vegetated with pockets of cleared grassland adjacent Cape Tribulation Road.	Largely vegetated with pockets of cleared areas adjacent the Esplanade where the existing camp grounds are located. There is an additional cleared area adjacent the western boundary in the location of the existing onsite waste water treatment plant and irrigation area.
Waterways	A waterway traverses the property and intersects with Myall Creek within the south	None applicable.

	eastern corner, refer to Figure 2 below.	
Esplanade	The property boundaries extend from adjacent Cape Tribulation Road through to Esplanade land.	
Structures	Telecommunications facility located in the north eastern corner of the property. No other physical structures are located onsite.	There are a number of existing structures located onsite associated with the present use of the property. Further refer to the proposal plans at Appendix 4 for full illustration of existing structures.

Table 1: Site Characteristics

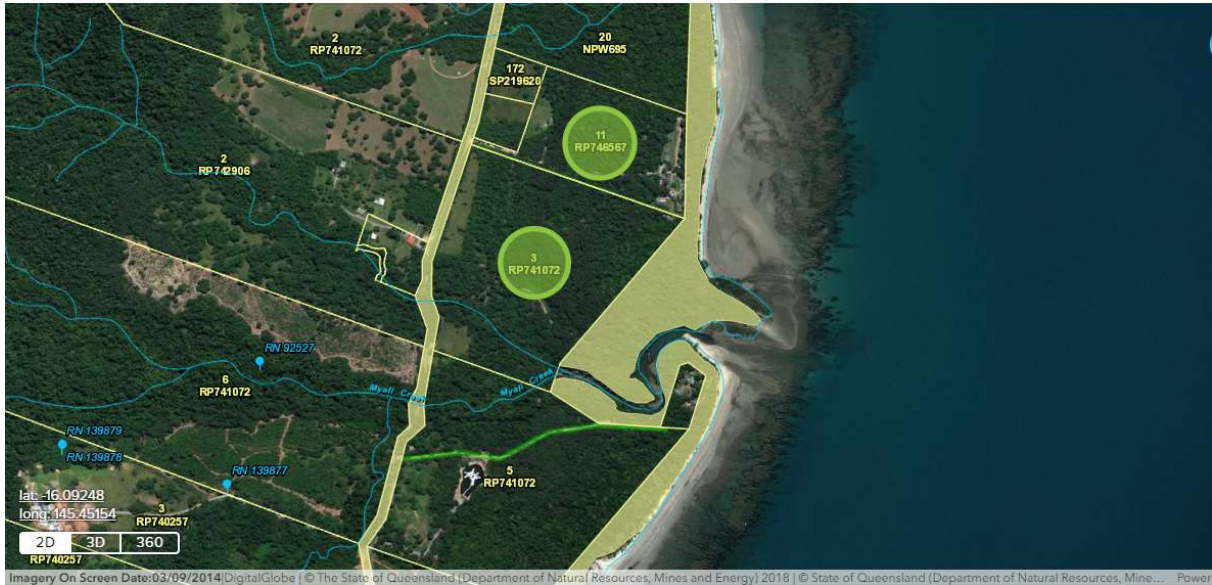


Figure 2: Waterway features (source: Qld Globe, 2018)

Zoning Designation

The subject site is included within the Conservation Zone, as identified in accordance with Zone Map ZM 005 of the Douglas Shire Planning Scheme.

An extract copy of Zone Map ZM 005 is provided within Figure 3 of this report.

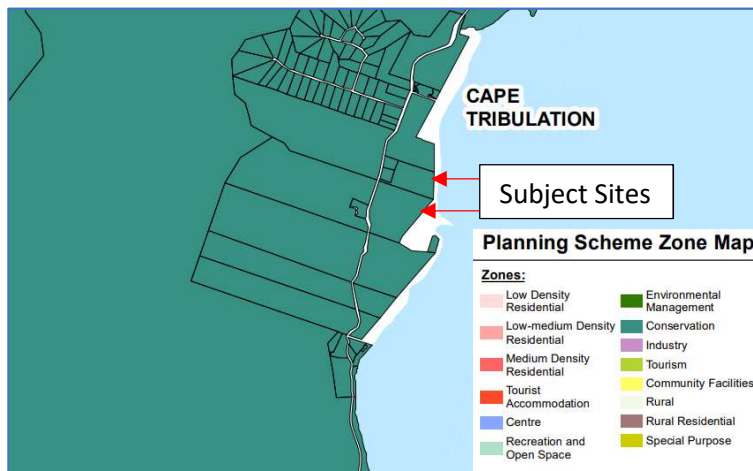


Figure 3: Zoning Designation

Local Plan Designation

The subject site is included within Precinct 6 of the Cape Tribulation / Daintree Coast Local Plan Precincts (Cape Tribulation Area), as identified in accordance with Local Plan Map LPM 001 of the Douglas Shire Planning Scheme.

An extract copy of LPM 001 is provided within Figure 4 of this report.

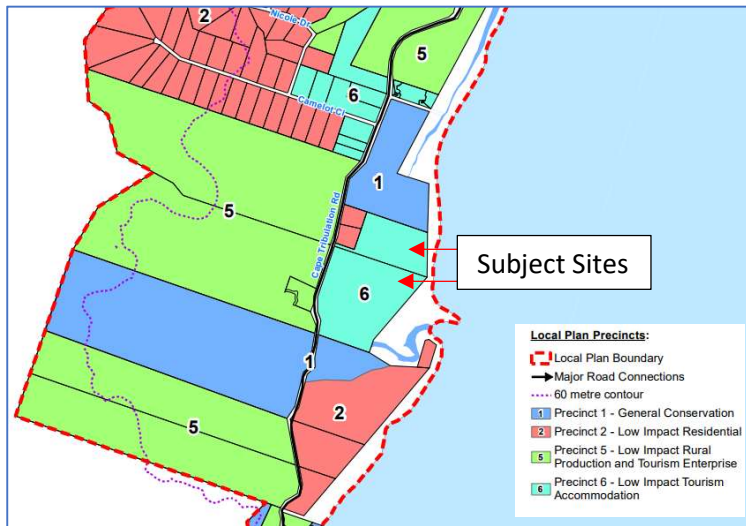


Figure 4: Local Plan Designation

Access and Services

Access to the site is provided via an existing constructed crossover from Cape Tribulation Road to Lot 11. No changes are proposed to the location or standard of the existing access within Lot 11.

Approximately 120m eastward along the above access within Lot 11 is a cleared gravel road to the south which provides existing access to Lot 3. Some minor works, including re-gravel, will be required to appropriately form this access.

At present Lot 11 generates its own electricity and telecommunications are available. Mobile service is not available in this locality. It will be necessary for the proposed development on Lot 3 to generate electricity demands onsite. Onsite generation of electricity supply is typical within the locality.

The land owner currently retains a water licence to extract water. This will supply the new development on Lot 3.

Description of Proposed Development

The Development Application seeks approval for a Material Change of Use for the purpose of a Tourist Park. The proposed use includes 15 camp sites (maximum 60 people), amenity block including laundry facilities and a dedicated onsite wastewater treatment system.

Access to the proposed camp ground within Lot 3 will be provided via an existing access off Cape Tribulation Road to Lot 11. Approximately 120m eastward along the access within Lot 11 is a cleared gravel road which veers off to the south and provides access to Lot 3. Some minor works, including re-gravel, will be required to make the road a suitable form for motorhome access.

Alternative points of access are available along Cape Tribulation Road, however by utilising the existing access, avoids the need for any vegetation clearing and earthworks and allows for more efficient site management. The existing gravel access track meanders through the rainforest before arriving at the camp ground, which will add to the guests' experience.

The camp ground is setback approximately 10m from the Cape Tribulation Road property boundary, is 200m in length and comprises a total area of approximately 6,656m². The camp ground is generously sized for the proposed number of guests to be accommodated onsite, as it is intended to provide for a unique, private camping experience. Rather than designating camping sites, it is proposed guests will have the freedom to choose their preferred camp site within the designated grounds.

The camp ground and access road are located within existing cleared areas of the site. No vegetation clearing is required to facilitate the proposal. The boundary of the camp ground will be delineated by the current vegetation lines.

An all accessible ablution block will be centrally located within the camp ground. The ablution block will include both male and female amenities and laundry facilities. The ablution block will be serviced by an purpose sized onsite waste water treatment facility.

No other building works or structures are proposed.

The proposed camp ground is intended to compliment the other existing camping opportunities offered on Lot 11.

Overall, it is submitted that the proposed development has been responsibly designed to minimise the environmental impact. The proposed development is consistent with the zoning of the land and complements the surrounding commercial, residential and tourist land uses.

A copy of the proposal plan is attached at Appendix 4.

Local Government Planning

Douglas Shire Planning Scheme 2018

Level of Assessment

The proposed development requires 'Impact Assessment', as confirmed in accordance with Part 5 – Tables of Assessment of the Douglas Shire Planning Scheme. The following section provides an assessment against the relevant parts of the planning scheme.

Strategic Framework

The following includes a high level assessment of the proposed development against the Strategic Framework.

Theme	Assessment Comment
Settlement pattern	<p>The Strategic Framework Map identifies Cape Tribulation as a Tourism Node. The proposed Tourist Park seeks is located on land identified within the Local Plan to provide for low impact tourism accommodation.</p> <p>It is submitted that the proposed development aligns with the desired settlement pattern under the planning scheme.</p>
Environment and landscape values	<p>The proposed development takes into account the existing natural site features and seeks to minimise the impact of development on the natural environment.</p> <p>The development has been designed to avoid the need to clear any vegetation. The proposed camp ground and access tracks thereto are already cleared. Waste water generated by the development will be appropriately treated onsite.</p> <p>It is submitted that the proposed development will not diminish the environmental values of the site.</p>
Natural resource management	<p>The land is not suitable for sugar cultivation, forestry, water, fisheries or extractive activities.</p> <p>It is submitted that the proposed development will not impact on the Shire's natural resources.</p>
Strong communities and identity	<p>Cape Tribulation is identified as a Tourist Node under the Local Plan. The proposed development compliments this existing tourist accommodation offerings within this community. The subject site is appropriately isolated from existing residents and will not compromise the amenity enjoyed of those residents.</p> <p>The proposed camp ground is setback 10m off Cape Tribulation Road behind a tree lined buffer. The site will</p>

	<p>not be easily visible from vehicle traffic thus preserving the unique natural character of the locality.</p> <p>It is submitted that the proposed development supports the stronger communities and identity strategic outcomes.</p>
Economy	<p>It is recognised that tourism is a significant employer and generator of economic activity within the Shire.</p> <p>The proposed Tourist Park provides for an alternative camping experience to that already offered on Lot 11.</p> <p>The proposed camp ground seeks to provide for up to 15 sites (maximum 60 people). It is submitted that the proposal is:</p> <ul style="list-style-type: none"> - of a scale appropriate to its location; - respects the environmental quality of its surrounds; and - is limited in size and extent.
Infrastructure and transport	<p>Waste water will be treated onsite. Electricity supply will be generated onsite and will be largely limited to that required for water heating and lighting as the new camp ground is targeted towards the self-sufficient camper, for example a motor home and therefore demand for electricity will be low.</p> <p>Access will be provided via an existing crossover and a water licence is already in place to extract water.</p> <p>It is submitted that the proposed development will not impact on the Shire's infrastructure network.</p>

Zone

The subject site is located within the Conservation Zone under the Douglas Shire Planning Scheme 2018. The purpose of this zone is to:

“is to provide for the protection, restoration and management of areas identified as supporting significant biological diversity and ecological integrity.”

The purpose of the code is achieved by:

“(c) Any use of land in private ownership does not affect the environmental, habitat, conservation or scenic values of that land or surrounding area;

(d) Any low intensity facilities based on the appreciation of the natural environment or nature based recreation only establish where there is a demonstrated need and provided they have a minimal impact on the environmental and scenic amenity values of the site or surrounding area.”

The subject sites are located within the Cape Tribulation and Daintree Coast Local Plan, Precinct 6 - Low impact tourism accommodation precinct. The purpose of the precinct is to:

“recognise existing small-scale tourist accommodation and ancillary low-key activities, based on and compatible with an appreciation of the natural environment and permit their continued use.”

Despite the Conservation Zone, it is submitted that the proposed development for a Tourist Park within the Cape Tribulation and Daintree Coast Local Plan, Precinct 6 - Low impact tourism accommodation precinct, is supported under the planning scheme.

Relevant Codes

The codes which are triggered by the proposed development are listed as follows:

- Cape Tribulation and Daintree Coast Local Plan Code
- Conservation Zone Code
- Acid Sulfate Soils Overlay Code
- Bushfire Hazard Overlay Code (Medium and High Potential Bushfire Intensity)
- Coastal Environment Overlay Code (Coastal Management District and Erosion Prone Area)
- Flood and Storm Tide Inundation Hazard Overlay Code (Flood Plain and Storm Tide – Medium Hazard)
- Landscape Values Overlay Code (Scenic Route Buffer and Medium Value Landscape)
- Natural Areas Overlay Code (MSES - Regulated Vegetation (Of Concern Regional Ecosystem) MSES - Regulated Vegetation (Intersecting a Watercourse) MSES - High Ecological Significance Wetlands)
- Transport Network Overlay Code
- Relocatable Home Park and Tourist Park Code
- Access Parking and Servicing Code
- Environmental Performance Code
- Filling and Excavation Code
- Infrastructure Works Code
- Landscaping Code
- Vegetation Management Code

The following tables of assessment include discussion in support of the proposed development around matters of non-compliance with the relevant Assessment Benchmarks:

Assessment Benchmark	Matter of Non-compliance	Justification in Support
Cape Tribulation and Daintree Coast Local Plan		
PO1 Development does not result in a demand which exceeds the capacity of: (a) the Daintree River ferry crossing; (b) Alexandra Range Road; (c) the local road network.	No acceptable outcome identified within the planning scheme.	The proposed development is limited in scale to just 15 camp sites (60 people maximum). Given this scale it is not expected that the development will place a detrimental demand on the local transport network.
PO7 Landscaping of the development ensures that the	Landscaping of the proposed camp ground has not been designed at this stage.	Any Local Government landscaping requirements

endemic character of the local area is dominant.		could form a condition of approval.
PO8 Site access driveways and roads within the local plan area are retained as safe, slow speed, scenic drives.	-	It is proposed to utilise the existing crossover and driveway to Lot 11. The driveway within Lot 3 is cleared and gravelled, although some additional minor earthworks works in the form of lying additional gravel will be required to enhance the access.

Conservation Zone Code

Overall the proposed use is consistent with the purpose of the zone. The proposed development complies with the code except for where identified below.

PO1 The establishment of uses is consistent with the outcomes sought for the Conservation zone and protects the zone from the intrusion of inconsistent uses.	A Tourist Park is identified as an inconsistent use within the Conservation Zone.	<p>The proposed development is located over existing cleared areas on the site. No further vegetation clearing is required. Furthermore, the development is limited in scale, thus maintaining the sites ecological values.</p> <p>In the hierarchy of assessment the Local Plan prevails over the Zone assessment. It is noted that the site is included within the Cape Tribulation and Daintree Coast Local Plan - Precinct 6 Low Impact Tourist Accommodation. This identifies the sites suitability for the proposed use, despite the zoning.</p>
PO3 Development is setback from site boundaries so they are screened from view from the boundaries of adjoining properties and adjoining roads to maintain the scenic values of the area.	-	<p>The corresponding acceptable outcome requires that buildings and structures are setback a minimum of 25 metres from Cape Tribulation Road frontage.</p> <p>The proposed ablution block will comply being setback approximately 40m, however</p>

		<p>the proposed camp ground is setback 10m.</p> <p>It is submitted that any campers positioned within 25m of the road boundary are not permanent structures and will be screened from public view by way of the existing vegetation buffer.</p>
<p>PO6 Development complements, and is subservient to the surrounding environment and is in keeping with the ecological, landscape and scenic values of the area.</p>	<p>Building colours and materials have not been selected at this stage.</p>	<p>The only structure associated with the proposed development is the ablution block. A condition of approval around exterior colours would be acceptable.</p>
<p>PO9 Development is located to:</p> <ul style="list-style-type: none"> (a) protect the ecological values of the site and surrounding land; (b) maintain the scenic values of the area; (c) maintain appropriate setbacks to waterways, watercourses, wetlands, tidal areas and overland flow paths; (d) avoid areas that are vulnerable to natural hazards; (e) minimise to the greatest extent possible on site excavation and filling; (f) provide buffers to cultural, historical or ecological features; (g) minimise visibility from external sites or public viewing points; (h) minimises to the greatest extent possible the loss of native vegetation and fauna habitat. 	<p>No acceptable outcome identified within the planning scheme.</p>	<p>The proposed development is strategically located to avoid the need for any further vegetation clearing and is suitably setback from the foreshore and the water courses which travers the premises.</p> <p>Minor earthworks will be required to enhance vehicle access, however this is expected to be limited to spreading gravel over the existing access track.</p> <p>The proposed camp ground will be setback a minimum of 10m from the Cape Tribulation Road property boundary behind an existing vegetation buffer. The site is not readily visible from the road</p>
<p>PO10 Development does not result in adverse impacts on:</p> <ul style="list-style-type: none"> (a) ecological function or features; (b) on-site or surrounding waterways and wetlands. 	<p>No acceptable outcome identified within the planning scheme.</p>	<p>The proposed development is limited in scale and confined to existing cleared areas onsite. Given the nature and location of the development it is not expected that this will impact</p>

		on the environmental features of the site.
PO11 Rehabilitation of natural processes on disturbed sites is undertaken to improve the environmental integrity of the area.	No acceptable outcome identified within the planning scheme.	Whilst landscaping of the new camp ground will be undertaken, it is not proposed to undertake any wider rehabilitation of the site as part of the proposed development.
PO12 Fencing is designed to not impede the free movement of native fauna through the site.	No acceptable outcome identified within the planning scheme.	No fencing is proposed to facilitate the proposed development.
<p>Acid Sulfate Soils Overlay Code</p> <p>Overall the proposed use complies with the code. No significant excavation or filling is proposed which would lead to disturbance of Acid Sulfate Soils. There are no matters of non-compliance to note.</p>		
-	-	-
<p>Bushfire Hazard Overlay Code</p> <p>Whilst the site is mapped as containing High Potential Bushfire Intensity and Medium Potential Bushfire Intensity the proposed camp ground is located within the Potential Impact Buffer Area. Despite the hazard mapping the site is highly accessible and people would be able to easily evacuate to Cape Tribulation Road in the event of an emergency.</p>		
PO1 A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances	-	The proposed use is not identified as vulnerable use. In any case in the event of an emergency, emergency services would be able to access the site, and if necessary draw water supply from proposed onsite storage or directly from natural water sources.
PO10 Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of: (a) 10kW/m ² where involving a vulnerable use; or	-	The only structure proposed onsite is the ablution block. Given the nature of the structure, it is not considered practical nor necessary to design this structure to the desired standard.

(b) 29kW/m ² otherwise. The radiant heat flux level is achieved by separation unless this is not practically achievable.		
PO11 A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area. However, a fire trail will not be required where it would not serve a practical fire management purpose.	-	Existing trails are provided throughout Lot 3 and 11, which would serve to provide for emergency vehicle access in such need, refer to the site plan and aerial imagery.
PO12 All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances.	-	In the event of a bushfire, sufficient forewarning would be available to allow the evacuation of guests via the existing road network. In any event, the proposed camp ground is located only 10m from the Cape Tribulation Road property boundary.
PO13 Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.	Given the scale and nature of the proposed use a static water supply for fire fighting purpose is not proposed.	Council's requirements may be confirmed via conditions if determined necessary.
<p>Coastal Environment Overlay</p> <p>The proposed camp ground is located outside the erosion prone area however is encapsulated in the coastal management district.</p>		
PO5 Natural processes and protective functions of landforms and vegetation are maintained.	-	The proposed camp ground is located within Lot 3 within an existing cleared portion of the site which is located the furthest point from the coastal boundary. The proposed site is grassed and given the nature and location of the
PO6 Development avoids or minimises adverse impacts on coastal resources and their	-	

values to the maximum extent reasonable.		development not likely to impact on coastal processes.
PO13 Development maintains and / or enhances natural coastal landscapes, views and vistas	No acceptable outcome identified within the planning scheme.	Given the topography of the site, the development will be located below the tree line and not visible from coastal view points.

Flood and Storm Tide Inundation Hazard Overlay Code

Whilst the proposed development is located within the Flood Plain Assessment area, the Storm Tide Inundation (Medium Hazard) area does not extend to the property boundary.

Overall the proposed use complies with the code.

PO1 Development is located and designed to: ensure the safety of all persons; minimise damage to the development and contents of buildings; provide suitable amenity; minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events	The site is affected by the Flood Plain Assessment Overlay. Whilst the flood levels are not known the proposed camp ground is located over the higher portion of the site closer to the Cape Tribulation Road.	Anecdotally the area selected for the new camp ground is not subject to inundation. This is the highest part of the site and furthest from waterways. In support of the proposed development it is proposed that the flood risk is reduced as it is intended the camp grounds will operate only during the drier tourist months (April to November).
PO3 Development siting and layout responds to flooding potential and maintains personal safety.		The only physical structures associated with the development is the ablution block.
PO6 Development avoids the release of hazardous materials into floodwaters.	-	Given the nature of the proposed use, no hazardous materials will be stored onsite.

Landscape Values Overlay Code

The site is mapped within the Scenic Route Buffer and Medium Value Landscape designation.

Overall the proposed use complies with the code.

PO2 Development within Medium landscape value areas identified on the Landscape	-	The only physical structures associated with the development is the ablution
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values overlay maps contained in Schedule 2:

- (a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;
- (b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 5 years of construction;
- (c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;
- (d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;
- (e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;
- (f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;
- (g) extractive industry operations are avoided, or

block. This is set well within the camp ground. The scale and design of the development is in keeping with the character of the locality.

The camp ground is setback 10m from the Cape Tribulation Road. An existing vegetation screen will be maintained both within Lot 3 itself and along the Cape Tribulation Road reserve.

Due to the topography of the site the development does not protrude above ridge lines and will not be visible from external public view.

No vegetation clearing is proposed to facilitate the development.

No new advertising devices are proposed.

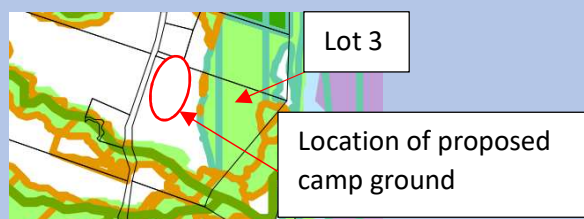
where they cannot be avoided, are screened from view.

PO3 Development within a Scenic route buffer / view corridor area as identified on the Landscape values overlay maps contained in Schedule 2:

- (a) retains visual access to views of the surrounding landscape, the sea and other water bodies;
- (b) retains existing vegetation and incorporates landscaping to visually screen and soften built form elements whilst not impeding distant views or view corridors;
- (c) incorporates building materials and external finishes that are compatible with the visual amenity and the landscape character;
- (d) minimises visual impacts on the setting and views in terms of:
 - (i) the scale, height and setback of buildings;
 - (ii) the extent of earthworks and impacts on the landform including the location and configuration of access roads and driveways;
 - (iii) the scale, extent and visual prominence of advertising devices.

Natural Areas Overlay Code

The site is mapped as containing MSES - Regulated Vegetation (Of Concern Regional Ecosystem), MSES - Regulated Vegetation (Intersecting a Watercourse) and MSES - High Ecological Significance Wetlands. A detailed assessment has not been carried out against the Natural Areas Overlay Code as it is submitted that the proposed development is located outside the mapped natural features and will be appropriately operated to manage any adverse impact on environmental values, see figure below.



-	-	-
<p>Transport Network Overlay Code</p> <p>Cape Tribulation Road is identified as an Iconic Recreation Route (Pedestrian and Cycle) and Sub-arterial Road. A detailed assessment has not been carried out as it is submitted that:</p> <ul style="list-style-type: none"> - the development is compatible with the intended role and function of Cape Tribulation Road; - the development will not compromise the safety and efficiency of the transport network; - does not propose any new access points to the road network. 		
-	-	-
<p>Relocatable Home Park and Tourist Park Code</p>		
<p>PO2 Individual sites provide a range of sizes to accommodate variations in relocatable homes, caravans, annexes and tents with a high level of convenience and privacy for occupants, while also taking into account physical site constraints that may in certain circumstances warrant either more intense or less intense development standards.</p>	-	<p>The camp ground is setback approximately 10m from the Cape Tribulation Road property boundary, is 200m in length and comprises a total area of approximately 6,656m². The camp ground is generously sized for the proposed number of guests to be accommodated onsite, as it is intended to provide for a unique, private camping experience.</p> <p>Rather than designating camping sites, it is proposed guests will have the freedom to choose their preferred camp site within the designated grounds.</p>
<p>PO3 All sites are designed so that relocatable homes and caravans and motorhomes can be safely and conveniently manoeuvred onto or removed from the site.</p>	-	<p>On arrival, guests will check in at the existing Office within Lot 11. From here guests will be given directions to the camp ground within Lot 3. The main access within Lot 11 is of an appropriate standard to allow safe passage of vehicles. It is proposed to utilise the existing gravel road within Lot 3 and not undertake any further clearing works to access the new camp ground. Some minor works will be required to facilitate widening, re-gravel of the road and incorporation of passing</p>

		<p>bays to allow the safe passing of vehicles.</p> <p>Given the environment the access within Lot 3 is naturally low speed.</p> <p>No lighting of the access is proposed.</p>
<p>PO5 Communal open space is provided for the recreation needs of the residents and occupants.</p>	-	<p>It is anticipated that guests will establish camp sites around the fringe of the camp ground leaving an open space within the centre of the grounds available for recreation opportunities. There are other recreational opportunities with beach access gained via Lot 11.</p> <p>No formal recreational spaces, including for example children's play grounds, are proposed at this stage.</p>
<p>PO7 The number, type and location of individual sites and facilities are readily identifiable.</p>	<p>It is not proposed to establish designated camping locations.</p>	<p>Rather than designating camping sites, it is proposed guests will have the freedom to choose their preferred camp site within the designated grounds.</p> <p>Capacity is still proposed to be restricted to 15 camp sites (or 60 people maximum).</p>
<p>PO9 Sufficient services and ablution facilities are provided to satisfy the requirements of travellers and longer term residents including disabled access and facilities.</p>	-	<p>The camp ground is approximately 200m in length. The proposed ablution block will be located centrally within.</p> <p>The ablution block is designed to achieve the minimum number of pedestals and bathing facilities required under the code.</p> <p>Fencing or another demarcation could be established to restrict camping</p>

		<p>within 6m of the ablution block.</p> <p>Solar lighting will illuminate the ablution block.</p>
<p>Access Parking and Servicing Code</p> <p>The proposed development is designed to utilise the existing crossover from Cape Tribulation Road an driveway within Lot 11. No changes are proposed to the existing crossover. Minor earthwork are required to upgrade the access within Lot 3.</p>		
<p>AO1.1 The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.</p>	<p>No formalised car parking areas are proposed within the new development.</p>	<p>It is expected that visitors will check in at the existing Office within Lot 11 where they will be directed to the proposed camp ground within Lot 3.</p>
<p>PO2 Vehicle parking areas are designed and constructed in accordance with relevant standards.</p>		
<p>PO9 Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <p>(a) in accordance with relevant standards;</p> <p>(b) so that they do not interfere with the amenity of the surrounding area;</p> <p>(c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.</p>	<p>It is proposed to utilise the exiting access within Lot 3 with minor earth works required to facilitate an upgrade access.</p>	<p>Council's Officers are invited to inspect the proposed access arrangement. This is a low speed environment and once the road is upgraded it is expected that this will provide an appropriate level of access to serve the sites operational and servicing needs.</p> <p>Any concerns may be addressed through reasonable and relevant conditions.</p>
<p>Environmental Performance Code</p>		
<p>PO1 Lighting incorporated within development does not cause an adverse impact on the amenity of adjacent uses and nearby sensitive land uses.</p>	<p>-</p>	<p>It is proposed to install limited lighting throughout the new camp ground operated off solar power. Given the isolation of the site and screening from public spaces, the development is not likely to impact on the amenity of the amenity of surrounding uses.</p>

PO5 Waste and recyclable material storage facilities are located and maintained to not cause adverse impacts on adjacent uses	-	Waste receptacles will be placed around the new camp ground. Council's requirements in this regard may be confirmed via reasonable and relevant conditions.
<p>Filling and Excavation Code</p> <p>Given the topography of the site and limited scope of earth works to facilitate the upgrade of the driveway access within Lot 3, it is submitted that the proposed works will not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.</p>		
PO3 Filling and excavation does not result in a change to the runoff characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves	A gravel driveway exists within Lot 3 providing access to the proposed new camp ground. Upgrade works will not materially alter the drainage regime across the site.	Any concerns with drainage may be confirmed via the attachment of reasonable and relevant conditions.
<p>Infrastructure Works Code</p>		
PO3 An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.	-	The land owner holds a water licence to draw water from onsite water sources. Sufficient reserves will be maintained onsite in water tanks and made available onsite for fire fighting and general use.
PO4 Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.	-	A professionally designed and sized onsite waste water treatment facility will be located onsite adjacent the ablution block, refer to the onsite waste water treatment report attached at Appendix 5.
<p>Landscaping Code</p> <p>Although a landscape plan has not been developed at this stage, the new camp ground will be appropriately landscaped prior to the commencement of use. It is submitted that any specific Council concerns may be confirmed via the inclusion of reasonable and relevant conditions.</p>		
-	-	-
<p>Vegetation Management Code</p>		

<p>PO1 Vegetation is protected to ensure that:</p> <p>(a) the character and amenity of the local area is maintained;</p> <p>(b) vegetation damage does not result in fragmentation of habitats;</p> <p>(c) vegetation damage is undertaken in a sustainable manner;</p> <p>(d) the Shire’s biodiversity and ecological values are maintained and protected;</p> <p>(e) vegetation of historical, cultural and / or visual significance is retained;</p> <p>(f) vegetation is retained for erosion prevention and slope stabilisation.</p>	<p>-</p>	<p>The proposed camp ground is cleared naturally grassed. No further vegetation clearing is required to facilitate the camp ground.</p> <p>Whilst the intention is avoid clearing any vegetation associated with upgrading the driveway access within Lot 3, it is not that removal of any vegetation can be undertaken in accordance with the Vegetation Management Code. Lot 3 is subject to a PMAV. The boundaries of which are illustrated on the proposal plan.</p>
---	----------	--

State Planning

FNQ Regional Plan

The site is included in the Regional Landscape and Rural Production Area Designation of the FNQ2009-2031 Regional Plan. The intent of the Regional Landscape and Rural Production Area is:

“The regional landscape and rural production area (RLRPA) includes lands that have regional landscape, rural production or other non-urban values, and protects these areas from encroachment by inappropriate development, particularly urban or rural residential development.”

It is submitted that the proposed development satisfies the intent of the Regional Footprint and Rural Production Area Designation and the requirements of the Regional Plan. The proposed development is of an appropriate scale and will not diminish regional landscape or rural production areas.

Furthermore, the minister has identified that the planning scheme appropriately advances the Far North Queensland Regional Plan 2009-2031, as it applies in the planning scheme area.

State Planning Policy

The State Planning Policy (the ‘SPP’) Part E contains the State Interest Policies and Assessment Benchmarks applicable to the assessment of development applications, where the state interests have not already been appropriately reflected within the relevant planning scheme.

A review of the SPP mapping indicates that the proposed development/site is subject to several State interests, as outlined below (see also Attachment 3):

- Agriculture:
 - Agricultural Land Classification – Class A

- Biodiversity:
 - MSES – Wildlife Habitat
 - MSES – Regulated Vegetation (Category B)
 - MSES – Regulated Vegetation (Essential Habitat)
 - MSES – Regulated Vegetation (Wetlands)
 - MSES – Regulated Vegetation (Intersecting a Watercourse)
 - MSES – High Ecological Significance Wetlands
 - Coastal Management District
- Safety and Resilience to Hazards
 - Flood hazard area - Level 1 - Queensland floodplain assessment overlay
 - Bushfire Prone Area – High Potential Intensity
 - Erosion Prone Area
 - Medium Storm Tide Inundation Area
 - High Storm Tide Inundation Area
- Infrastructure
 - Active Transport Corridor – Principal Cycle Network Plan Far North Queensland

The Minister has identified that the State interests under the SPP are appropriately integrated within the planning scheme. As a result, compliance with the SPP is demonstrated through compliance with the Planning Scheme.

Referral Agencies

On review of the Development Assessment Mapping System Lot 3 is subject to the following matters of interests:

- Coastal Management District; and
- Coastal Erosion Prone Areas.

Under the *Planning Regulation 2016*, review of the referral trigger under Schedule 10, Part 17, Division 3, Table 6, confirms the proposed development does not require referral as the development will not exceed the excavation and filling, clearing native vegetation or gross floor area thresholds.

Conclusion

This Development Application for a Development Permit for a Material Change of Use (Tourist Park) over land on Cape Tribulation Road, Cape Tribulation, formally described as Lot 3 on RP741072 and Lot 11 on RP746567 is made by Winsome Investments Pty Ltd (the 'land owner' and 'applicant').

In summary:

- The proposed development is consistent is consistent in scale and character with the zoning of the land and is supported under the local area plan;
- The proposed development is sensitive to the natural environment within which it is located;
- The proposed development compliments and provides opportunity for an alternative camping experience to that already offered on Lot 11;
- The proposed development does not impact on the landscape values and is not expected to compromise the privacy and amenity of surrounding existing land uses;
- The existing development will be appropriately serviced by necessary infrastructure;
- The planning report provides justification against all applicable elements of the Douglas Shire Planning Scheme; and
- The proposed development is consistent with other similar approved developments within the locality.

It would be greatly appreciated if the Council could provide the applicant with draft conditions prior to the determination of the Development Application in order to avoid pursuing a potential Negotiated Decision Notice. Council's efforts in considering the attached Development Application are appreciated.

Appendix 1

DA Form 1

Appendix 2

Certificate of Title

CURRENT TITLE SEARCH

NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 29415110
Search Date: 28/08/2018 06:03

Title Reference: 21306088
Date Created: 17/12/1985

Previous Title: 20983246
20983247

REGISTERED OWNER

Dealing No: 718754181 18/05/2018

WINSOME INVESTMENTS PTY LTD A.C.N. 624 443 518
TRUSTEE
UNDER INSTRUMENT 718754181

ESTATE AND LAND

Estate in Fee Simple

LOT 3 REGISTERED PLAN 741072
Local Government: DOUGLAS

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20983246 (POR 4)
Deed of Grant No. 20983247 (POR 4)
2. LEASE No 601299637 (T448719B) 31/10/1989
OF PART OF THE LAND
TO AUSTRALIAN TELECOMMUNICATIONS CORPORATION
COMMENCING 01 AUG 1987
TERMINATING 31 JUL 2007
3. AMENDMENT OF LEASE No 711426634 14/02/2008 at 15:39
LEASE: 601299637 (T448719B)
TERM: 01/08/1987 TO 31/07/2017 OPTION NIL
4. MORTGAGE No 716891210 17/11/2015 at 13:12
NATIONAL AUSTRALIA BANK LIMITED A.B.N. 12 004 044 937
5. MORTGAGE No 718754182 18/05/2018 at 09:37
NATIONAL AUSTRALIA BANK LIMITED A.C.N. 004 044 937

ADMINISTRATIVE ADVICES

Dealing	Type	Lodgement Date	Status
713271200	VEG NOTICE VEGETATION MANAGEMENT ACT 1999	03/06/2010 10:27	CURRENT

UNREGISTERED DEALINGS - NIL

CERTIFICATE OF TITLE ISSUED - No

CURRENT TITLE SEARCH

NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 29415110

Search Date: 28/08/2018 06:03

Title Reference: 21306088

Date Created: 17/12/1985

Corrections have occurred - Refer to Historical Search

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2018]

Requested By: D-ENQ CITEC CONFIRM

CURRENT TITLE SEARCH

NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 29415111

Search Date: 28/08/2018 06:03

Title Reference: 21357108

Date Created: 19/01/1988

Previous Title: 21306086

REGISTERED OWNER

Dealing No: 717396437 20/07/2016

KIERNAN INVESTMENTS PTY LTD A.C.N. 101 141 397

TRUSTEE

UNDER INSTRUMENT 717396437

ESTATE AND LAND

Estate in Fee Simple

LOT 11 REGISTERED PLAN 746567

Local Government: DOUGLAS

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20683233 (POR 3)
2. EASEMENT IN GROSS No 601404237 (T451039B) 14/11/1989
BURDENING THE LAND
TO AUSTRALIAN TELECOMMUNICATIONS CORPORATION
OVER EASEMENT A ON RP742483
3. MORTGAGE No 716891208 17/11/2015 at 13:12
NATIONAL AUSTRALIA BANK LIMITED A.B.N. 12 004 044 937

ADMINISTRATIVE ADVICES

Dealing	Type	Lodgement Date	Status
715611270	VEG NOTICE VEGETATION MANAGEMENT ACT 1999	20/02/2014 09:45	CURRENT

UNREGISTERED DEALINGS - NIL

CERTIFICATE OF TITLE ISSUED - No

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

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Requested By: D-ENQ CITEC CONFIRM

Appendix 3

Land Owners Consent

**Company owner's consent to the making of a development application
under the *Planning Act 2016***

I, Ross Kiernan [Insert name in full.]
Sole Director/Secretary of the company mentioned below.

[Delete the above where company owner's consent must come from both director and director/secretary]

I,
[Insert name in full.]
Director of the company mentioned below.

Of
KIERNAN INVESTMENTS PTY LTD

the company being the owner of the premises identified as follows:

LOT 11 ON RP746567

consent to the making of a development application under the *Planning Act 2016* by:

WINSOME INVESTMENTS PTY LTD

on the premises described above for:

THE PURPOSE OF A MATERIAL CHANGE OF USE (TOURIST PARK)

Company seal [if used]

Company Name and ACN: <i>Kiernan Investments Pty Ltd Atf The Kiernan Family Trust</i>	
<i>ACN 101 141 397</i>	<i>R.P. Kiernan</i> Signature of Sole Director/Secretary
	<i>29/08/2018</i> Date

[Delete the above where company owner's consent must come from both director and director/secretary]

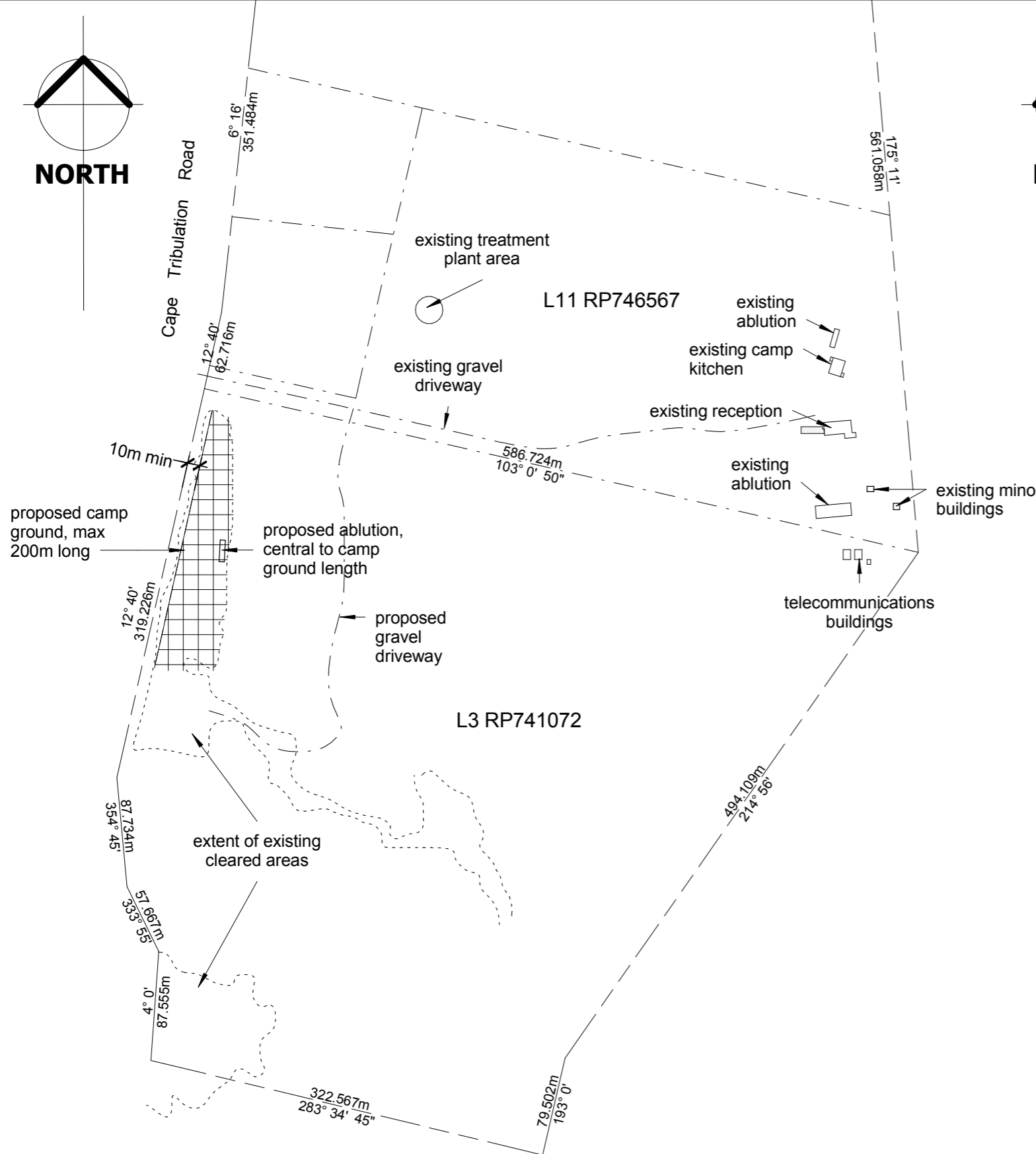
Company Name and ACN:	
..... Signature of Director Signature of Director/Secretary
..... Date Date

[Delete the above where there is a sole director/secretary for the company giving the owner's consent]

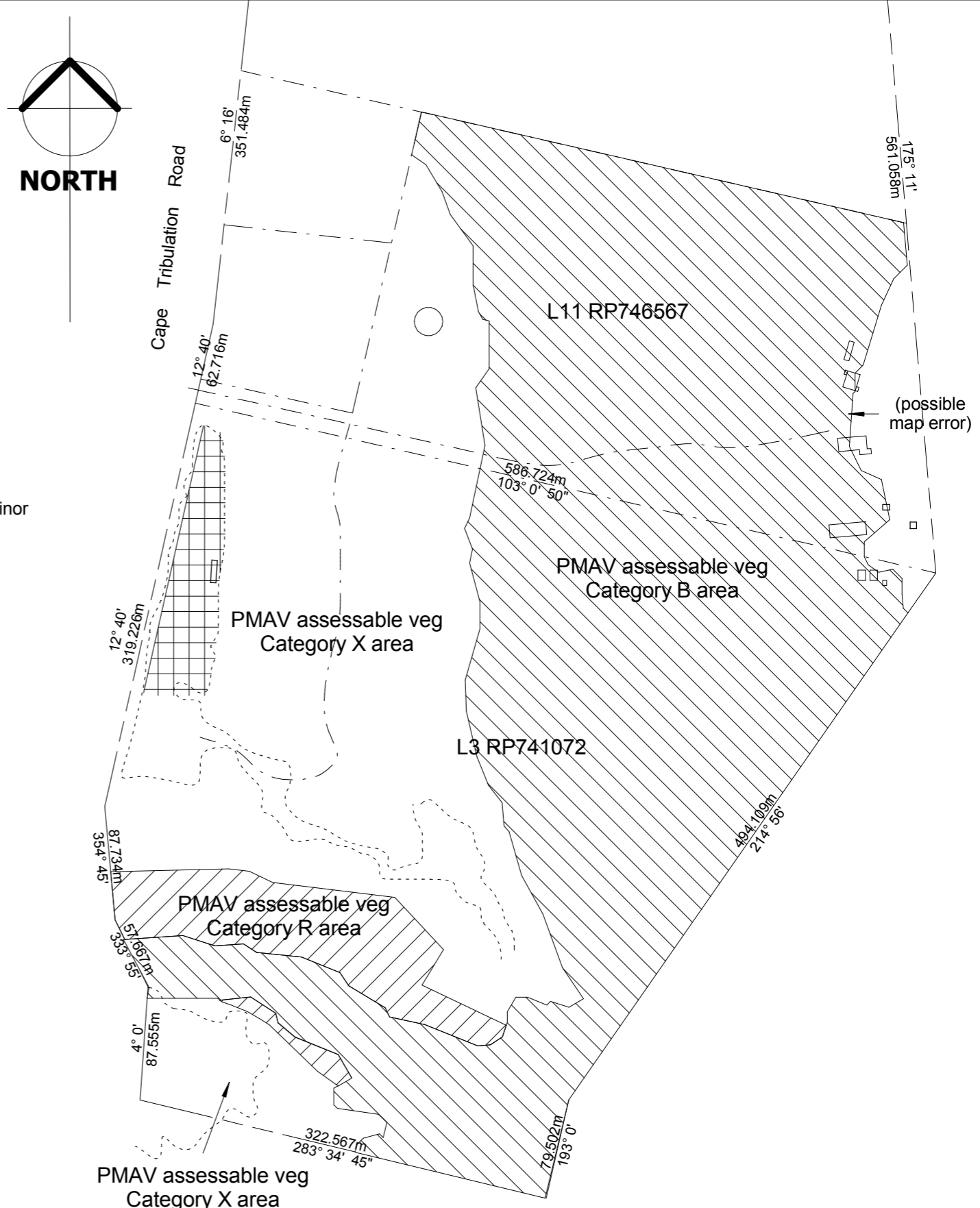
Appendix 4

Proposal Plan

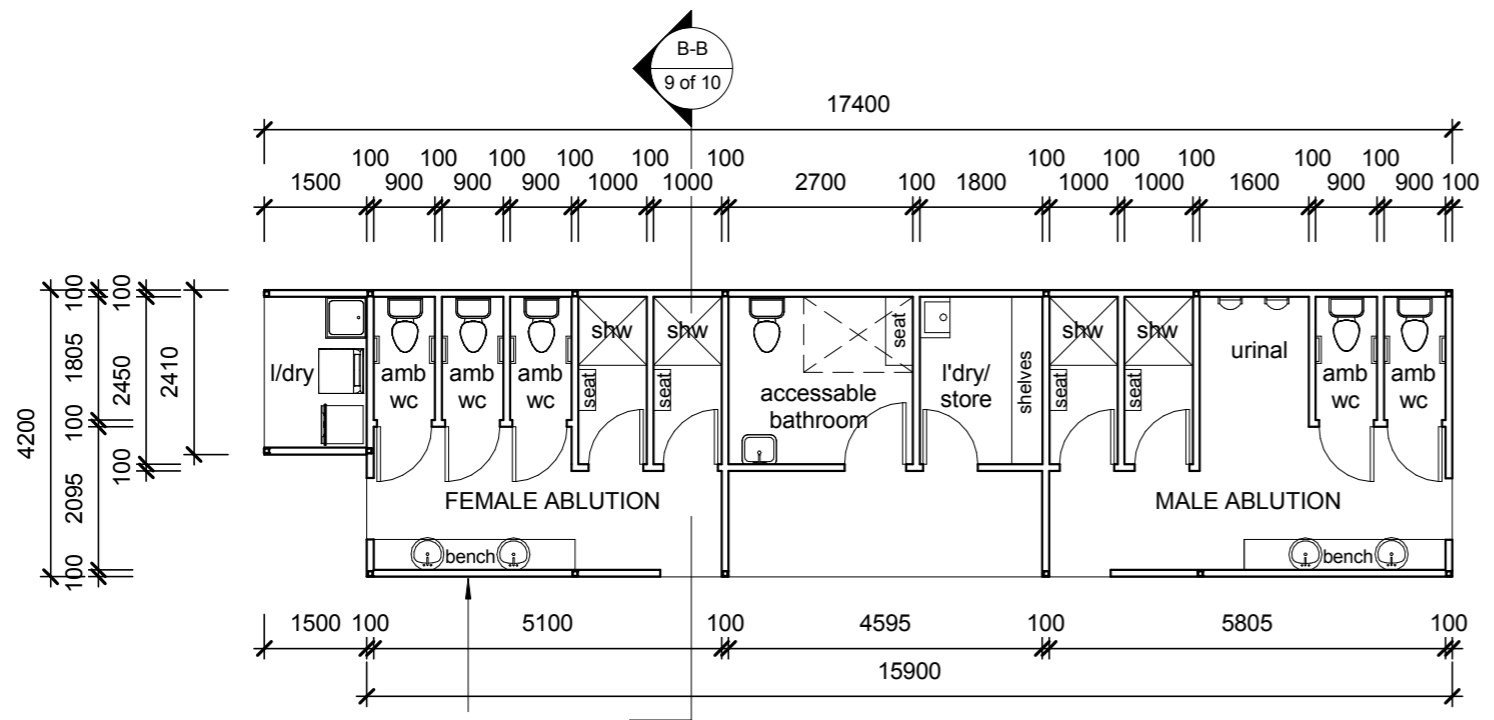
Prepared by Greg Skyring Design and Drafting



1 Site Plan
1 : 4000



2 Site Plan PMAV overlay
1 : 4000

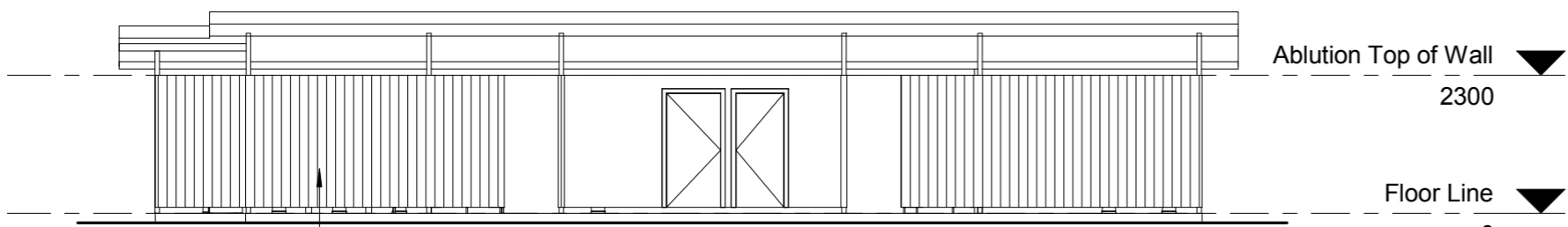
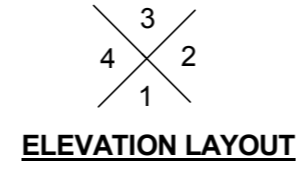


1 Floor Plan - Ablution L3
1 : 100

all walls to be set 100 above slab on M16 galv supports at 600 crs

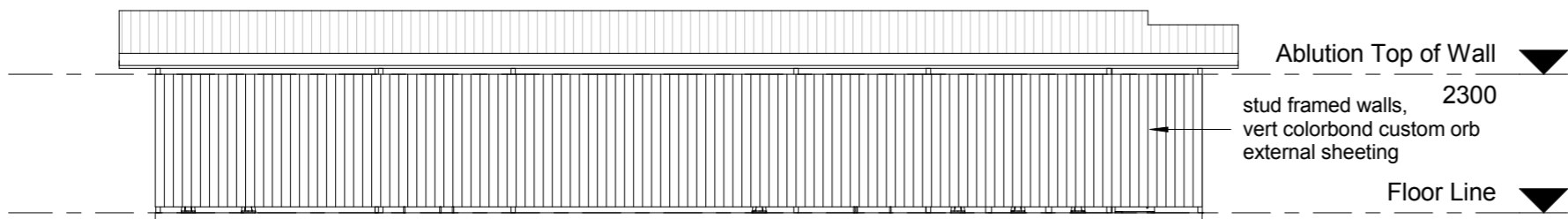
LEGEND

- stud framed infill walls, colorbond custom orb to external walls, villaboard to internal
- 75 x 4 shs posts in walls



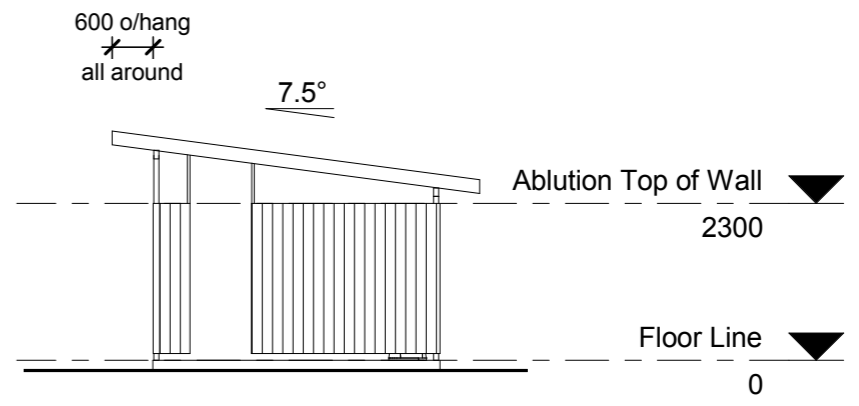
2 Elevation 1
1 : 100

stud framed wall on M16 galv supports at 600 crs



3 Elevation 3
1 : 100

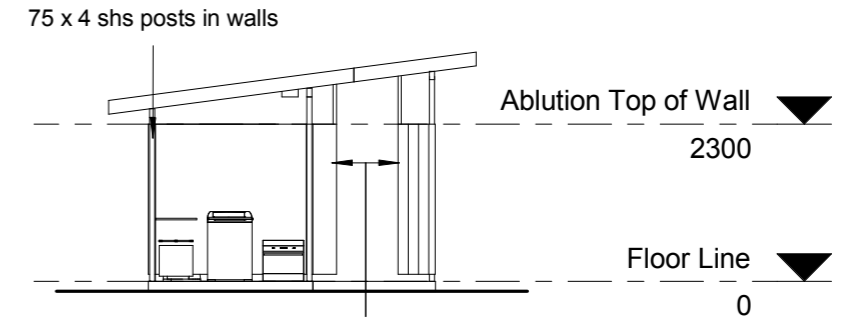
stud framed walls, vert colorbond custom orb external sheeting



4 Elevation 2
1 : 100

600 o/hang all around

7.5°



5 Elevation 4
1 : 100

extend end stud to roof frame at free standing wall ends

GREG SKYRING
Design and DRAFTING Pty. Ltd.
Lic Under QBSA Act 1991 - No 1040371
11 Noli Close, Mossman Q. 4873
Phone/Fax: (07) 40982061
Mobile: 0419212652
Email: skyringdesign@cyberworld.net.au

PROJECT
Proposed Building Additions,
L11 Cape Tribulation Road,
CAPE TRIBULATION

CLIENT
Cape Tribulation Camping

WIND CLASS
C2

PLAN NUMBER
207-09

SHEET
1 of 1

SCALES
1 : 100

PLAN TITLE
Floor Plan, Elevations

DATE OF ISSUE
21.09.09

REV

Appendix 5

Onsite Waste Water Report

Prepared by Earth Test



Wastewater Management System

For

Winsome Investments Pty Ltd

At

Cape Trib Camping

Lot 3 Cape Tribulation Road

Cape Tribulation

INTRODUCTION:

Earth Test has been engaged by Winsome Investments Pty Ltd to design a Domestic Wastewater Management System at Cape Trib Camping, Lot 3 Cape Tribulation Road, Cape Tribulation.

Real Property Description:

Lot 3 on RP 741072

Local Authority: Douglas Shire Council

It is understood the intention is to construct an ablution block at the site.
A site and soil evaluation was carried out in August 2018.

SITE FACTORS:

The site was identified by a meeting onsite with the owner.
The Lot has a total area of 24.75 hectares. It is predominantly covered with extensive rainforest with a large grass clearing in the proposed area.
The proposed site predominately level.
A borehole was drilled to confirm the soil depth, type and profile.



Proposed land application area at Cape Trib Camping, Lot 3 Cape Tribulation Road, Cape Tribulation.



SITE AND SOIL EVALUATION

Cape Trib Camping, Lot 3 Cape Tribulation Road, Cape Tribulation.

The site and soil evaluation carried out on 01/08/2018 provided the following results.

Site Assessment

<u>Site Factor</u>	<u>Result</u>
Slope	Predominately level
Shape	Linear Planar
Aspect	Nil
Exposure	Moderate – Some shade from trees
Erosion/land slip	Not noted
Boulders/rock outcrop	Occasional surface cobbles
Vegetation	Clearing in rainforest
Watercourse	Not in area affected by land application area
Water table	Not encountered during investigation.
Wells/Bores	Not in area affected by land application area
Fill	Not in Land Application Area
Flooding	Possible in extreme events
Channelled run-off	Not found
Soil surface conditions	Firm, Moist.
Other site specific factors	Nil

Soil Assessment

<u>Soil Property</u>	<u>Result</u>
Colour	Brown
Texture	Clay-Loam with Gravel Traces
Structure	Moderate
Coarse Fragments	<10%
Measured Permeability Ksat (m/d)	Not measured
Dispersion	Slakes
Soil Category	4
Resultant Design Load Rating, DLR (mm/d)	20



WASTEWATER MANAGEMENT SYSTEM

An “All-Waste” septic tank discharging into an “Advanced Enviro-Septic” bed is considered suitable for this site.

This system has been designed to conform to the requirements of the following codes, acts, regulations and standards. All work to be carried out in accordance with the following codes.

- AS/NZ 1547:2012 On-site domestic-wastewater management.
- Queensland PLUMBING AND DRAINAGE ACT 2002.
- Queensland STANDARD PLUMBING AND DRAINAGE REGULATION 2003.
- Queensland PLUMBING AND WASTEWATER CODE.

SYSTEM SIZING FACTORS.

A population equivalent of sixty (60) persons has been chosen for the ablution block.

The site is connected to an onsite roof rain water supply system with the ability to pump from a creek if needed.

Standard water-reduction fixtures must be used to ensure the integrity of the system. They shall include:-

- Dual flush 6/3 Litre water closets.
- Shower-flow restrictors.
- Aerator faucets (taps).

The total flow was calculated using the “Department of Natural Resources and Mines (Determining Capacity of Sewage Treatment Plants based on Use Conditions) guidelines. The guide gives a flow allowance of 100 L/Person/day for CARAVAN PARKS.

The daily flow for the ablution block (60 persons @ 100 L/person/day) will be 6000 L/day.

The flow will be broken into equal Grey and Black Water Systems at a flow allowance of 50 L/Person/day for each system.

The daily flow for each system (60 persons @ 50 L/person/day) will be 3000 L/day.

From AS/NZ 1547:2012 Table J1 the minimum capacity of the All-Waste septic tank required for each system is two 4000 L tanks connected in series. The tanks must NOT be fitted with an outlet filter.

To comply with Advanced Enviro Septic maximum sizing design guidelines, each system will be broken into two separate beds via a distribution box.



LAND-APPLICATION SYSTEM

GREYWATER DISPOSAL AREA SIZING

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

$$L = Q / (\text{DLR} \times W)$$

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

$$\begin{aligned} L &= 1500/20 \times 4.81 \\ &= 15.6\text{m.} \end{aligned}$$

Use two 15.6m long by 5.24m wide advanced enviro septic bed connected via a distribution box for the Greywater System.

See site plan and detail cross-section.

BLACKWATER DISPOSAL AREA SIZING

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

$$L = Q / (\text{DLR} \times W)$$

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

$$\begin{aligned} L &= 1500/20 \times 4.81 \\ &= 15.6\text{m.} \end{aligned}$$

Use two 15.6m long by 5.24m wide advanced enviro septic bed connected via a distribution box for the Blackwater System.

See site plan and detail cross-section.

SYSTEM SAND

All Advanced Enviro-Septic systems require the use of “system sand” surrounding the pipe. This sand, typically washed coarse sand, must adhere to the following specification.

AS Sieve Size (mm)	Percent Passing %
9.50	100
4.75	95-100
2.36	80-100
1.18	50-85
0.600	25-60
0.300	5-30
0.150	0-10
0.075	0-2

If there is any doubt if the sand media proposed for use will meet the requirements please contact Earth Test for further advice.

SYSTEM INSTALLATION

The entire bottom of the bed should be scarified a minimum of 200mm deep parallel to the AES pipes.

Avoid compaction by keeping people and machinery off the finished trench or bed floor. The system shall be installed by a licensed plumber in accordance with the manufacturer’s recommendations and the relevant Australian Standards.

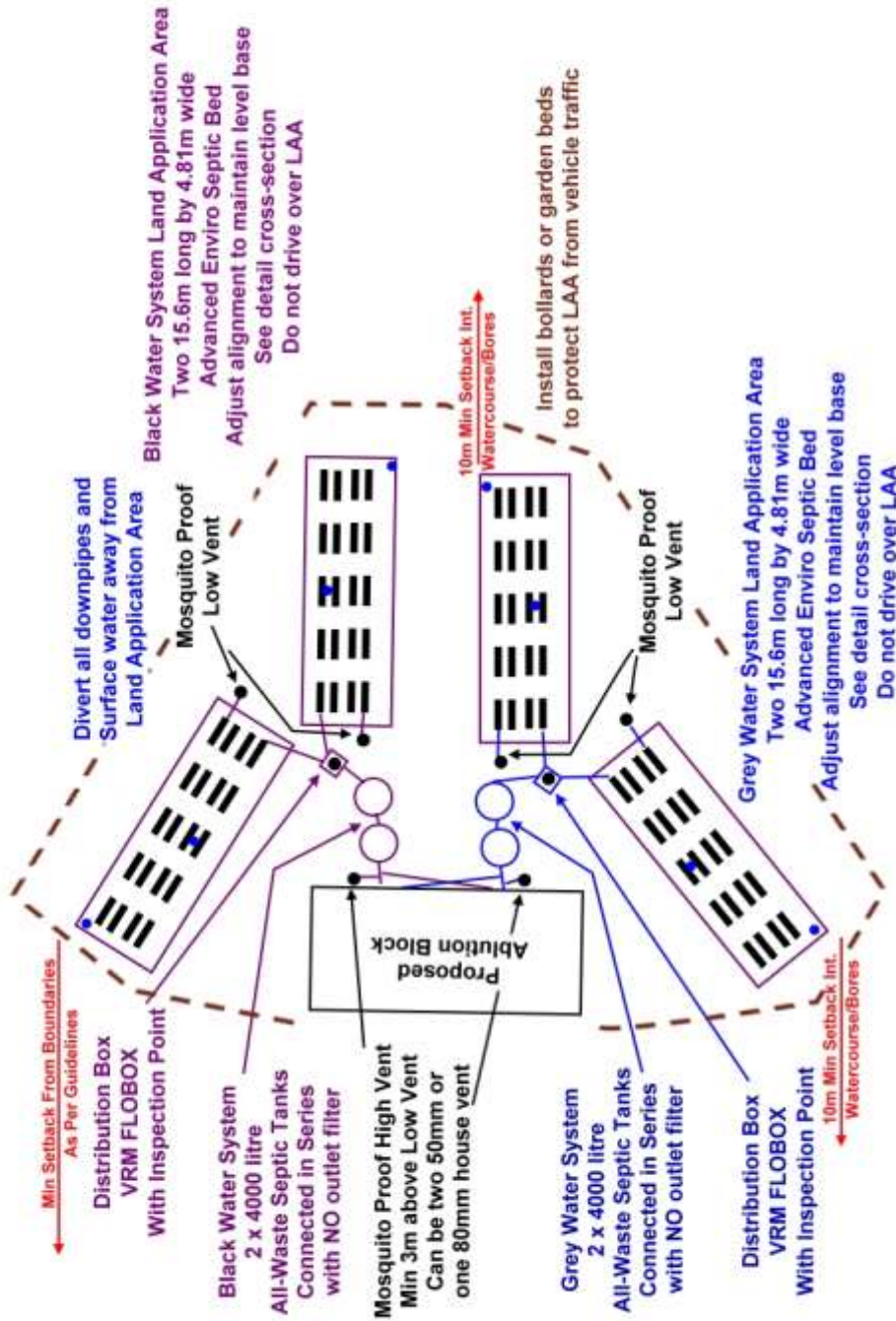
Operation and Maintenance

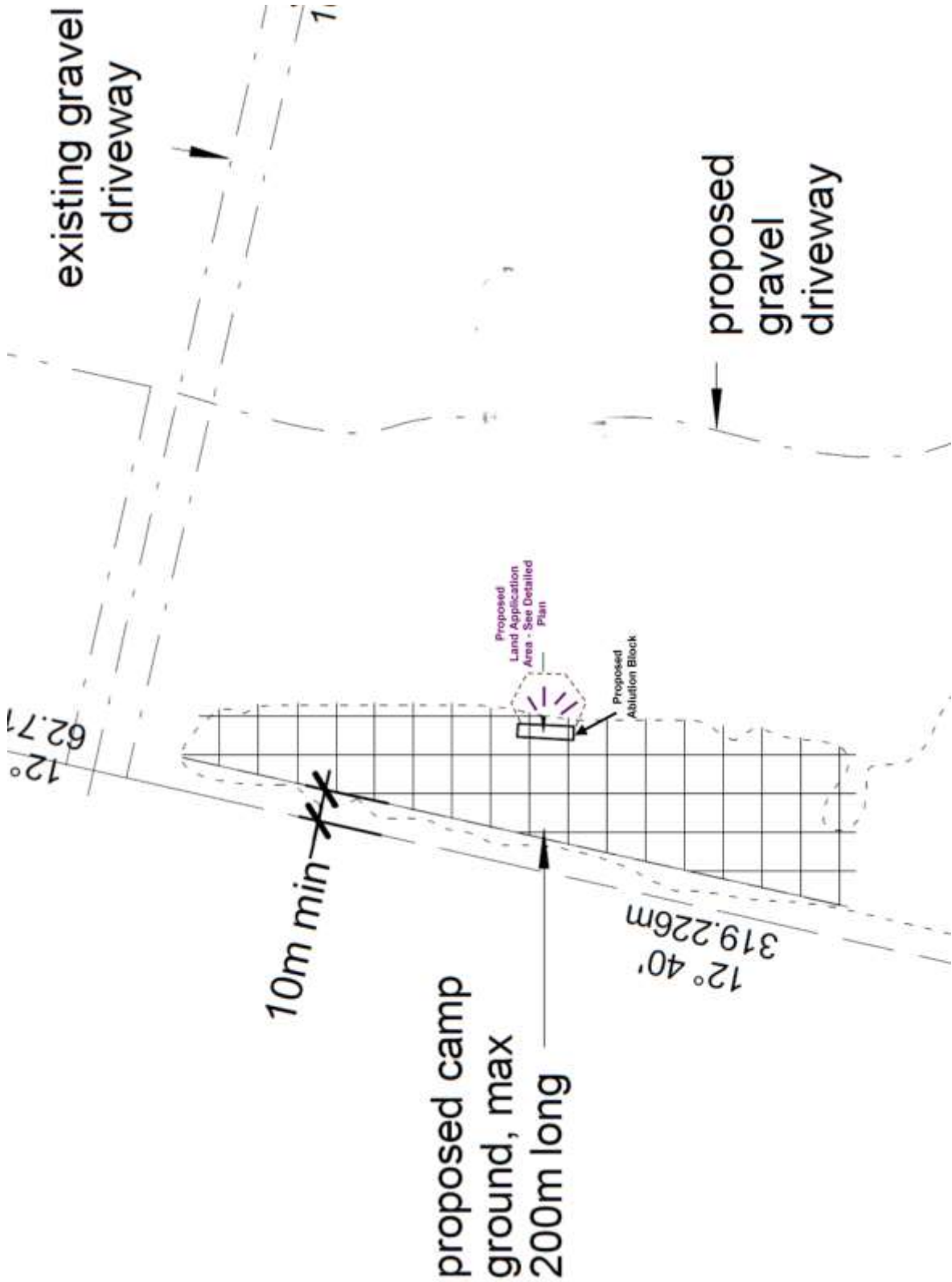
Homeowners should be fully informed of the proper operation and maintenance requirements of the on-site wastewater system.

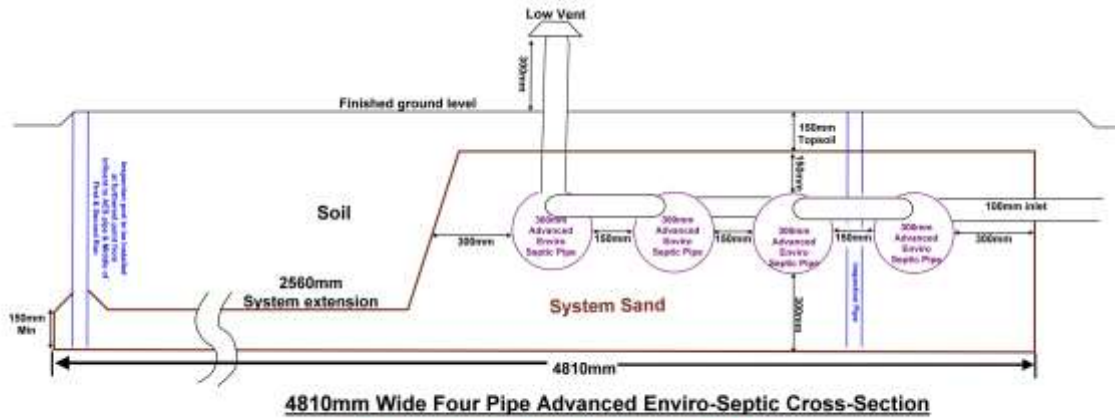


Gavin Negri
Earth Test

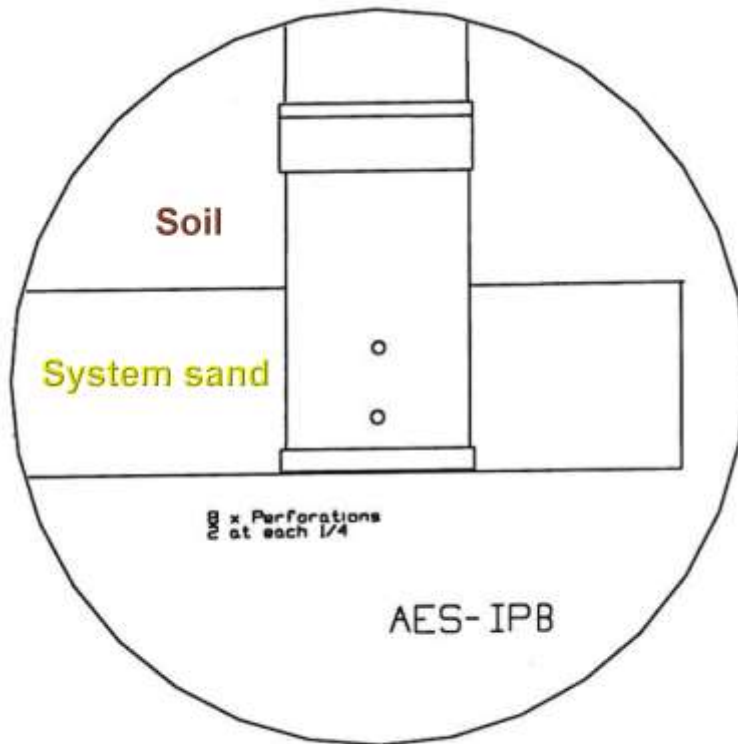
SITE PLAN
Lot 3 Cape Tribulation Road, Cape Tribulation.
Not to Scale.



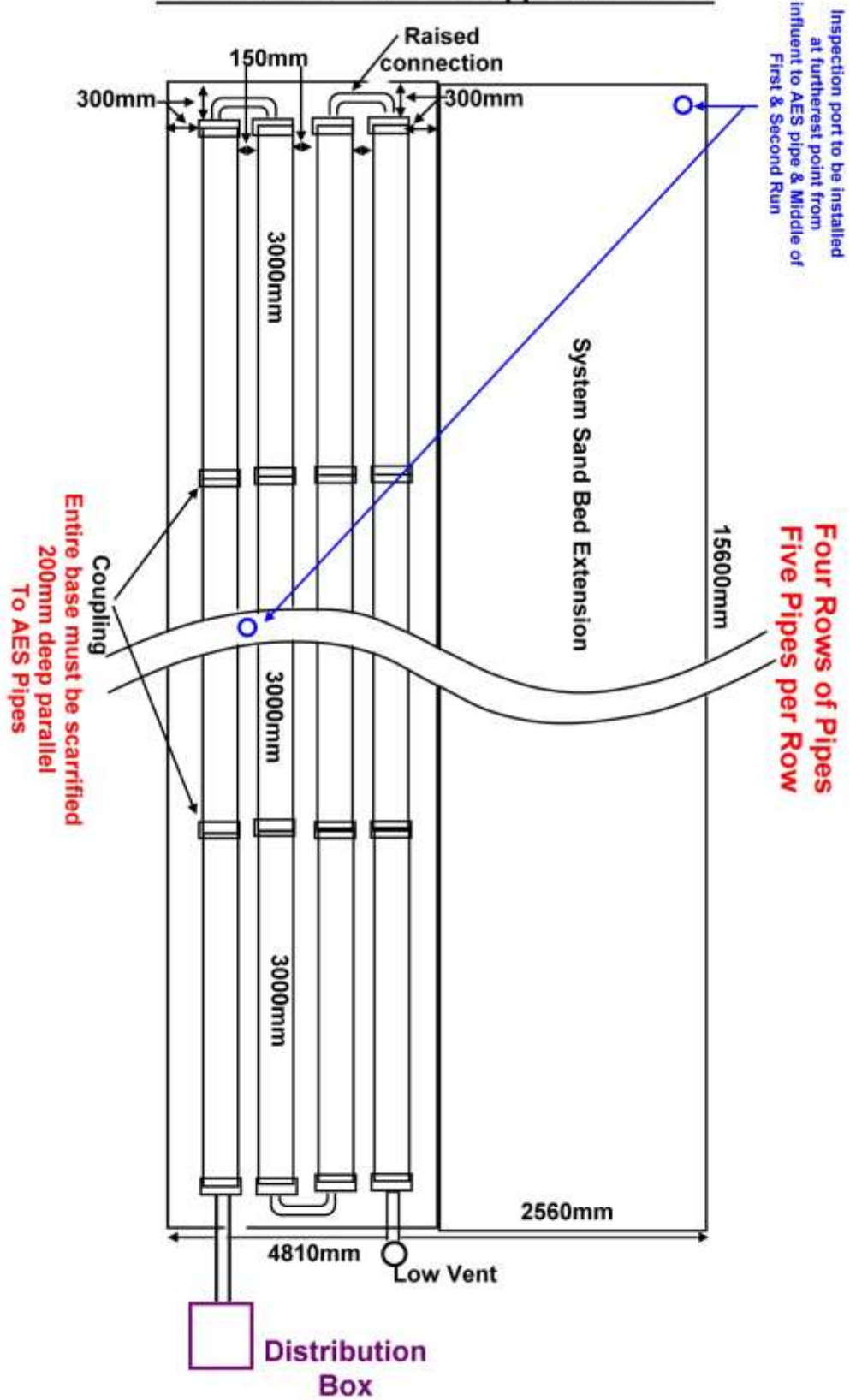






Base must be scarrified 200mm deep. Parallel to AES Pipes





Overhead view of Land Application Area





 Advanced Enviro-septic Design Calculator v8.5			
<i>"Always the BEST Option" until site and soil conditions rule it out.</i>			
Site Address	Lot 3 Cape Tribulation Road, Cape Tribulation		
State	QLD		
Post Code			
Client Name	Winsome Investments Pty Ltd		
Designers Name	Earth Test		
Designers Ph Number	40954734		
Designers Lic Number	15092731		
Plumber Name			
Plumber Ph Number			
Plumber Lic Number			
Council Area	Douglas Shire Council		
Designers AES Cert Number			
Date			
This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.			
System Designers site and soil calculation data entry			
IMPORTANT NOTES			
meter loading rate, "30" for Advanced Secondary or "30" Secondary	30 >> This design is for an ADVANCED SECONDARY system		
Is this a new installation Y or N	y >> Minimum single vent size is 80mm or 2 x 50mm house vents		
Number of person	30 >> a septic tank outlet filter is NOT RECOMMENDED		
Daily Design Flow Allowance Litre/Person/Day	50		
Number of rows required to suit site constraints	4 >> Longer AES runs are better than multiple short runs.		
Surface Soil Category as established by site and soil evaluation, CATEGORY	4 >> Category may require design considerations. Ref AS1547		
Design Loading Rate based on site & soil evaluation DLR (mm/day)	20 >> Soil conditioning may be necessary. Ref AS1547 & Comments.		
Base log depth below system Based area	1400 >> Min depth below based area is 600 mm to establish water table or		
Enter System footprint Slope in % for standard AES systems to calculate	0		
Is this design a gravity system with no outlet filter? Y or N	y >> A House Vent & LOW VENT required on this system		
PLEASE CHECK YOU HAVE FALL FROM TANK TO AES SYSTEM PIPES			
COMMENTS : * The outcome must be important to everyone. *			
- Ripping of receiving surface is required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate and rip parallel to the site slope/AES pipe			
- Specialist soils advice and special design techniques will be required for clay dominated soil having dispersive or shrink/swell behaviour. Refer AS1547			
- Plumbers are reminded that good construction techniques as per AS1547 are especially important in these soil types. Refer AS1547 & AES installation instructions			
AES System Calculation Outcomes			
Total System load - litres / day (Q)	1500 l/d		
Min Length of AES pipe rows to treat loading	12.5 m		
Number of FULL AES Pipe lengths per row	5 l/ds		
Total Capacity of AES System pipe in Litres	4240 ltr.		
AES dimensions			
	AES System	System Extension	
Length m : (L)	15.6	15.6	
Width m:W	2.25	2.56	
Sand	0.75	0.15	
Depth			
Area m2	35.1	39.9	
DO YOU WISH TO USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)			
IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"			
Enter Custom Width in metre			
AES INFILTRATION FOOT PRINT AREA - L = Q / (DLR x W)			
<i>for this Basic Serial design is</i>			
Length	15.6		
Width	4.81		
Minimum AES foot print required	75.0		
m2 total			
Costs			
AES System Bill of Materials			
AES-PIPE	AES 3 mtr Lits required	20	lits
AESC	AESC Couplings required	16	cs
AESO	AESO Offset adaptors	8	cs
AESODV	AES Oxygen demand vent	1	cs
AES-IPB	AES 100mm Inspection point base	2	cs
AES Eqp	AES Speed Flow Equaliser		cs
TOTAL SYSTEM SAND REQUIRED (Guide Only)		39	m3
PLEASE email your AES CALC and Drawings to			
DESIGNREVIEW@ENVIRO-SEPTIC.COM.AU			
		 <p>Digitally signed by Kane Dickson DN: cn=Kane Dickson, o=Chankar Environmental, ou=Design Review, email=designreview@enviro-septic.com.au, c=AU Date: 2018.08.03 11:07:36 +10'00'</p> <p>Designreview@enviro-septic.com.au</p>	
<p>> The AES Calculator is a design aid to allow checking of the AES components and configuration and is a guide only. Site and soil conditions referencing the AS 1547 standard are calculated and designed by a Qualified Designer.</p> <p>> Chankar Environmental has no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator.</p> <p>> AES pipes can be cut to length on site. They are supplied in 3 meter lites only.</p>			
AES-Design-V8.5-Calculator Copy Right - Chankar Environmental Pty Ltd 1.11.2015			



 Advanced Enviro-septic Design Calculator V8.5			
<i>"Always the BEST Option" until site and soil conditions rule it out.</i>			
Site Address	Lot 3 Cape Tribulation Road, Cape Tribulation (total grey and black water)		
State	QLD		
Post Code			
Client Name	Wirosome Investments Pty Ltd		
Designers Name	Earth Test		
Designers Ph Number	40954734		
Designer Lic Number	15092731		
Plumber Name			
Plumber Ph Number			
Plumber Lic Number			
Council Area	Douglas Shire Council		
Designers AES Cert Number			
Date			
This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.			
System Designer site and soil calculation data entry			
IMPORTANT NOTES			
meter loading rate, *30* for Advanced Secondary or *38* Secondary	33 >> This design is for an ADVANCED SECONDARY system		
Is this a new installation Y or N	y >> Minimum single vent size is 80mm or 2 x 50mm house vents		
Number of person	120 >> a septic tank outlet filter is NOT RECOMMENDED		
Daily Design Flow Allowance Litre/Person/Day	50		
Number of rows required to suit site constraints	16 >> Longer AES runs are better than multiple short runs.		
Soil Category as established by site and soil evaluation, CATEGORY	4 >> Category may require design considerations. Ref AS1547		
Design Loading Rate based on site & soil evaluation DLR (mm/day)	20 >> Soil conditioning may be necessary. Ref AS1547 & Comments.		
Bore log depth below system Base/area	1400 >> Min depth below base/area is 600 mm to establish water table or r		
Enter System Footprint Slope in % for standard AES systems to calculate	0		
Is this design a gravity system with no outlet filter? Y or N	y >> A House Vent & LOW VENT required on this system		
PLEASE CHECK YOU HAVE FALL FROM TANK TO AES SYSTEM PIPES			
COMMENTS - * The outcome must be important to everyone. *			
- Ripping of receiving surface is required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate and rip parallel to the site slope/AES pl			
- Specialist soils advice and special design techniques will be required for clay dominated soil having dispersive or shrink/swell behaviour. Refer AS1547			
- Plumbers are reminded that good construction techniques as per AS1547 are equally important in these soil types. Refer AS1547 & AES installation Instructions			
AES System Calculator Outcomes			
Total System load - litres / day (Q)	6000 l/d		
Min Length of AES pipe rows to treat loading	12.5 m		
Number of FULL AES Pipe lengths per row	5 ltr		
Total Capacity of AES System pipe in Litres	16960 ltr		
AES dimensions			
	AES System	System Extension	
Length m (L)	15.6	15.6	
Width m (W)	7.65	11.58	
Sand	0.75	0.15	
Depth :			
Area m2	119.3	180.7	
DO YOU WISH TO USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)			
IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"			
Enter Custom Width in metre			
AES INFILTRATION FOOT PRINT AREA - L = Q / (DLR x W)			
<i>for this Basic Serial design is</i>			
Length	Width	Minimum AES foot print required	
15.6	x 19.23	= 300.0 m2 total	
AES System Bill of Materials			
Code	Description	Quantity	Unit
AES-PIPE	AES 3 metre Ltrts required	80	litr
AESC	AESC Couplings required	64	ea
AESO	AESO Offset adaptors	32	ea
AESODV	AES Odour demand vent	4	ea
AES-IPB	AES 100mm Inspection point base	8	ea
AES-Eq	AES Speed Flow Equaliser	4	ea
TOTAL SYSTEM SAND REQUIRED (Guide Only)		140	m3
PLEASE email your AES CALC and Drawings to DESIGNREVIEW@ENVIRO-SEPTIC.COM.AU			
Chankar Environmental Use Only		 <p>Digitally signed by Kane Dickson DN: cn=Kane Dickson, o=Chankar Environmental, ou=Design Review, email=designreview@enviro-septic.com.au, c=AU Date: 2018.08.03 11:04:53 +1000 Designreview@enviro-septic.com.au</p>	
<p>> The AES Calculator is a design aid to allow checking of the AES components and configuration and is a guide only. Site and soil conditions referencing the AS 1547 standard are calculated and designed by a Qualified Designer.</p> <p>> Chankar Environmental has no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator.</p> <p>> AES pipes can be cut to length on site. They are supplied in 3 metre ltrts only.</p>			
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