

GMA Certification Group

BUILDING SURVEYORS

ACN 150 435 617

Leaders in Building Certification Services

TOWNSVILLE

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Unit 1, 1 Ingham Road, West End, Qld, 4810

P.O. Box 2760, Nerang Qld 4211



30 November 2021

Chief Executive Officer
PO Box 723
Mossman QLD 4873

Attention: Building Services

Dear Sir/Madam,

**Re: Application for Alternative Siting Assessment – Dwelling
7 Davidson Road, Whyanbeel (L4/SP134238)**

GMA Certification Group has been engaged to assess an application for the construction of a new garage on the above-mentioned allotment as illustrated on the attached plans.

The location of the proposed Dwelling does not comply with the front boundary clearances prescribed under the acceptable requirements of the Rural Zone Code of the Douglas Shire Council, However the proposal can be shown to be consistent with the Performance Criteria of the code.

The proposed encroachment includes:

- The dwelling is to be located 10.6m from the Davidson Road frontage.

Council is requested to consider the proposal under the Performance Criteria of the Rural Zone Code.

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Member Australian Institute of Building Surveyors Professional Standards Scheme

Assessment under the Rural Zone Code

The location of the proposed dwelling does not comply with the front boundary clearances prescribed under the acceptable solutions of Rural Zone Code of the Douglas Shire Planning Scheme. However, the proposal can be shown to be consistent with the Performance outcomes of the Code.

The following table represents an assessment of the proposal with respect the Rural Zone Code:

Performance Criteria	Acceptable Solutions	Compliance
Buildings and Structures		
PO1 The height of buildings is compatible with the rural character of the area and must not detrimentally impact on visual landscape amenity.	AO1.1 Dwelling houses are not more than 8.5 metres in height. AO1.2 Rural farm sheds and other rural structures are not more than 10 metres in height.	The proposed dwelling is of single storey construction and will not exceed 6m in height.
PO2 Buildings and structures are setback to maintain the rural character of the area and achieve separation from buildings on adjoining properties.	AO2 Buildings are setback not less than: (a) 40 metres from the property boundary and a State-controlled road; (b) 25 metres from the property boundary adjoining Cape Tribulation Road; (c) 20 metres from the boundary with any other road; (d) 6 metres from side and rear property boundaries.	The proposed dwelling would facilitate an acceptable streetscape which is appropriate for the size and stature of the building and is consistent with the road setback of existing structures located on the site. There are multiple examples of lesser setbacks along Davidson Road and in the general vicinity of 7 Davison Road including buildings and structures on: <ul style="list-style-type: none"> a) Lot 4/RP736716, Kingston Road b) Lot 6/RP743980, Kahana Road c) Lot 42/SP212659, Kahana Road d) Lot 41/SP212659, Kahana Road The dwelling will not cause negative impact to the outlook or views of neighbouring residents, cause nuisance or be safety hazard to the public as

Performance Criteria	Acceptable Solutions	Compliance
		<p>a) The dwelling will be setback sufficiently so as not to affect the safety of vehicle, bicycle, or path users.</p> <p>b) All surrounding dwellings are orientated to face the street</p> <p>c) No dwellings on adjoining properties are located within 50m of the proposed building side</p> <p>d) There are no buildings located on the premises opposite the site.</p> <p>The proposed development would not result in a development that is inconsistent with the requirements of the Performance Outcome.</p>
PO3 Buildings/structures are designed to maintain the rural character of the area	AO3 White and shining metallic finishes are avoided on external surfaces of buildings.	No white and shining metallic finishes are proposed.

With consideration of the above assessment, it is considered that the development can satisfy the Performance Outcomes of the Rural Zone Code and therefore satisfies the Assessment Benchmarks.

Should you require any further information or wish to discuss the application, please contact me on 4771 6532 or by email rebekah@gmacert.com.au

Kind Regards



Rebekah Mulligan
GMA Certification Group

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Alan Jenkins & Natalie Gordon
Contact name (only applicable for companies)	Alan Jenkins
Postal address (PO Box or street address)	65 Morrish Road
Suburb	MOSSMAN
State	QLD
Postcode	4871
Country	
Contact number	4094 1016
Email address (non-mandatory)	alcon@westnet.com.au
Mobile number (non-mandatory)	0419792710
Fax number (non-mandatory)	4094 1981
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input type="checkbox"/> Street address AND lot on plan (all lots must be listed), or	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	7	Davidson Rd	WHYANBEEL
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	4	SP 134238	Douglas Shire Council

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☐ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☐ Yes – (proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☐ No

7) Information request under Part 3 of the DA Rules

- ☐ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application
- Note:** By not agreeing to accept an information request I, the applicant, acknowledge:
- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
 - Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
- Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application

<input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice? <input type="checkbox"/> Yes – show cause or enforcement notice is attached <input type="checkbox"/> No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application			
<input type="checkbox"/> The proposed development is on a place entered in the Queensland Heritage Register or in a local government's Local Heritage Register . See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place			
Name of the heritage place:		Place ID:	

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements? <input type="checkbox"/> Yes – the Referral checklist for building work is attached to this development application <input type="checkbox"/> No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application? <input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)		

PART 5 – BUILDING WORK DETAILS

14) Owner's details <input type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) (individual or company full name)	Joel Harlow
Contact name (applicable for companies)	Joel Harlow
Postal address (P.O. Box or street address)	BMB 60,
Suburb	DAINTREE
State	QLD
Postcode	4873
Contact number	
Email address (non-mandatory)	joelharlow@hotmail.com
Mobile number (non-mandatory)	0429 475 243
Fax number (non-mandatory)	

15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Alan Jenkins & Natalie Gordon
Contact name <i>(applicable for companies)</i>	Alan Jenkins
QBCC licence or owner – builder number	1057096
Postal address <i>(P.O. Box or street address)</i>	65 Morrish Road
Suburb	MOSSMAN
State	QLD
Postcode	4871
Contact number	4094 1016
Email address <i>(non-mandatory)</i>	alcon@westnet.com.au
Mobile number <i>(non-mandatory)</i>	0419792710
Fax number <i>(non-mandatory)</i>	4094 1981

16) Provide details about the proposed building work

a) What type of approvals is being sought?

- ☐ Development permit
☐ Preliminary approval

b) What is the level of assessment?

- ☐ Code assessment
☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---|--|
| <input type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

New Construction of Dwelling - 1 Storey & New Construction of Attached Garage & New Construction of Attached Patio

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

g) New building use/classification? (if applicable)		
1a & 10a & 10a		
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>		
<input type="checkbox"/> Relevant plans of the proposed works are attached to the development application		
17) What is the monetary value of the proposed building work?		
448,584.00		
18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans</i>	<input type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input type="checkbox"/> Yes <input type="checkbox"/> Not applicable
20) Applicant declaration	
<input type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work		
1a & 10a & 10a		
Name	QBCC Certification Licence number	QBCC Insurance receipt number
GMA Certification Group		

Notification of engagement of alternate chosen assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government

Confirm proposed construction materials:				
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass	
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other	
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Other			
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other	
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement	
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other	

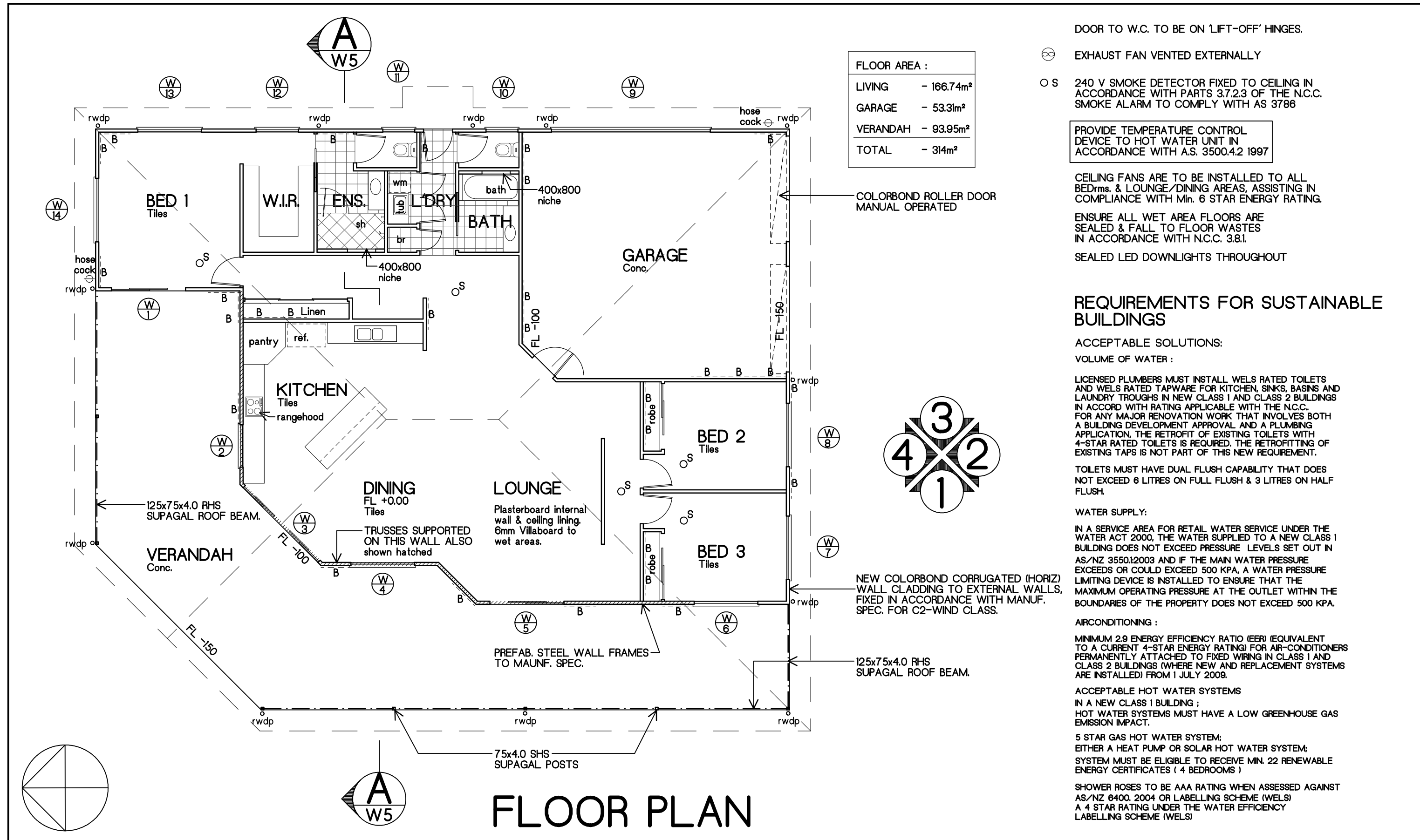
QLeave notification and payment

Note: For completion by assessment manager if applicable

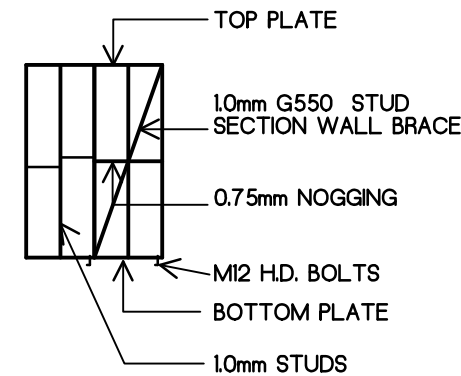
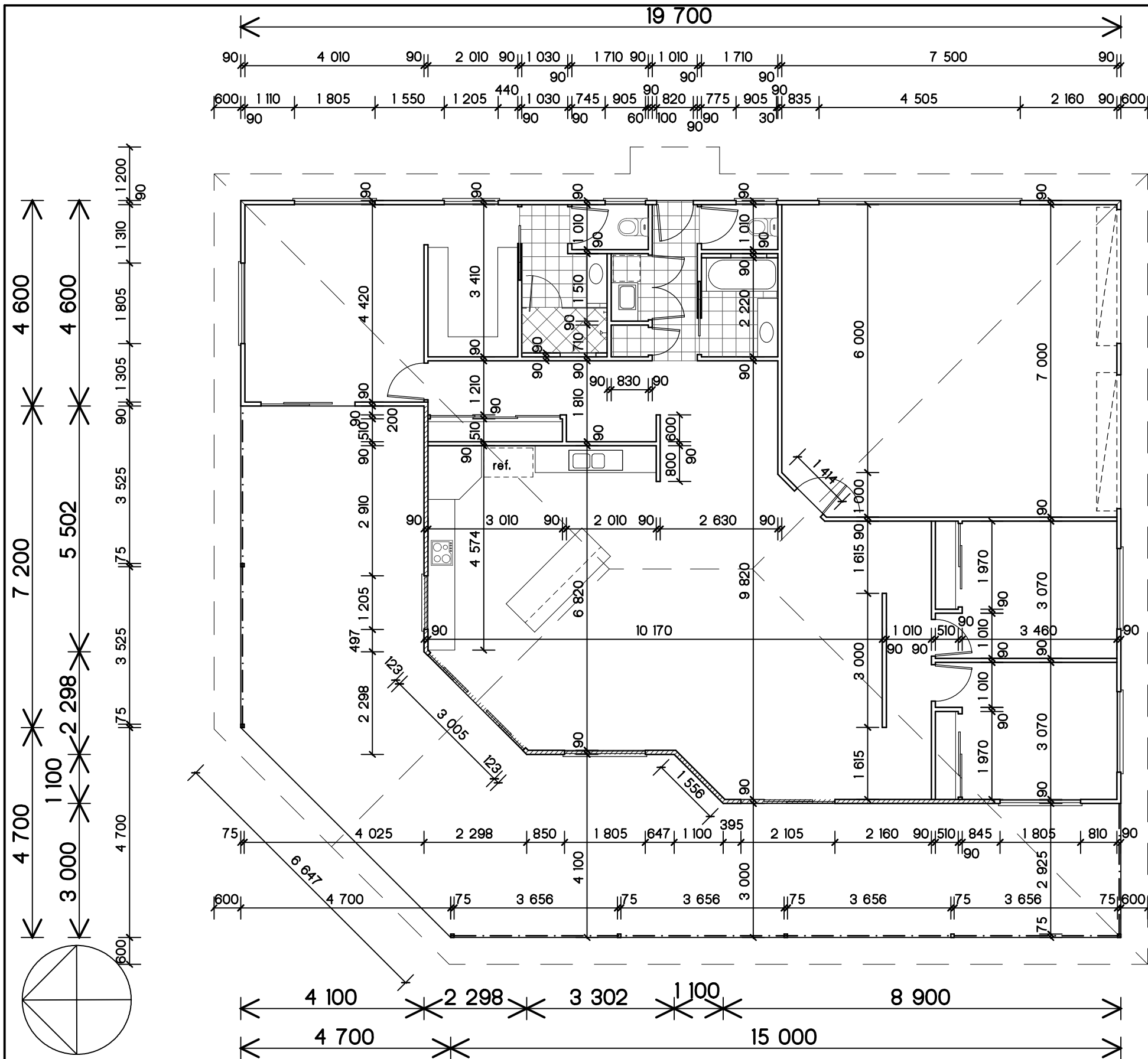
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m ²)	277200	Floor area (m ²)	314



<p>WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2</p> <p><i>L. J. Harlow</i> 29-10-21</p> <p>C.M.G. CONSULTING ENGINEERS ACN: 01 065 375 208 BUCHAN ST. CAIRNS QLD. 4870 PH. 07 4031 2775 FAX. 07 4051 9013</p>		<p>Homefab Strong-smart-fast. Built to last. 6 Slade Street - PO Box 665 Mareeba, Queensland 4880 Australia. ABN: 21 603 460 395. Phone: 07 4092 2369 Fax: 07 4092 2355. Website: www.homefab.com.au. Email: sales@homefab.com.au</p>		<p>pd designs building designers</p> <p>P 07 4056 1883, F 07 4056 3595 M 0427 561 883 E info@pd designs.com.au 96A gordon street, gordonvale, QLD. 4865 lic. under QBCC Act 1991 - No. 1191543 abn: 73 437 147 573 acn: 143 382 899</p>		<p>Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.</p> <p>PROPOSED RESIDENCE FOR : J. HARLOW LOT 4, DAVIDSON ROAD WHYANBEEL</p>		<p>© These drawings and designs are Copyright</p> <p>1: 100 ON A3 SHEET</p> <p>OCTOBER 2021</p> <p>2541</p> <p>WIND CLASSIFICATION</p>		<p>W1 OF 10</p> <p>C2</p>	
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BRACE WALL

SHOWN ON PLAN AS B

STANDARD WALLS

EXTERNAL WALLS.

TOP & BOTTOM PLATE - 1.0mm G500 TRUECORE
 STUDS - 1.0mm G500 TRUECORE STUDS AT 450 CRS.
 NOGGING - 1 ROW OF NOGGING. 0.75mm G550 TRUECORE
 TOP & BOTTOM PLATE TO STUD CONNECTION -
 2-M6x17 FRAME SCREWS EACH CONNECTION
 (1 SCREW EACH SIDE)

INTERNAL WALLS.

TOP & BOTTOM PLATE - 0.75mm G500 TRUECORE
 STUDS - 0.75mm G550 TRUECORE STUDS AT 600mm CRS.
 NOGGING - 0.75mm G550 TRUECORE, 1 ROW OF NOGGING
 TO BRACE WALLS & BESIDE OPENINGS

TOP & BOTTOM PLATE TO STUD CONNECTION -
 2-M6x17 FRAME SCREWS EACH CONNECTION
 (1 SCREW EACH SIDE)

BRACE WALLS

TOP & BOTTOM PLATE - 1.0mm G500 TRUECORE
 STUDS - 1.0mm G550 TRUECORE STRUCTURAL STUD
 NOGGING - 0.75mm G550 TRUECORE
 BRACING MEMBER - 1.0mm G500 TRUECORE
 2-M6x17 FRAME SCREWS EACH CONNECTION
 (1 SCREW EACH SIDE)

DIMENSION PLAN

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS
 SHOWN ON THESE DRAWINGS FOR CONSTRUCTION
 IN WIND CLASSIFICATION C2

L. J. P. P. P. 29-10-21

C.M.G. CONSULTING
 ENGINEERS
 PTY. LTD.

208 BUCHAN ST. PH. 07 4031 2775
 CAIRNS QLD. 4870 FAX. 07 4051 9013

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 Website: www.homefab.com.au.
 Email: sales@homefab.com.au

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 M 0427 561 883
 E info@pd designs.com.au
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 acn: 143 382 899



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1:100
 ON A3 SHEET

PROPOSED RESIDENCE FOR :
J. HARLOW
LOT 4, DAVIDSON ROAD
WHYANBEEL

OCTOBER 2021

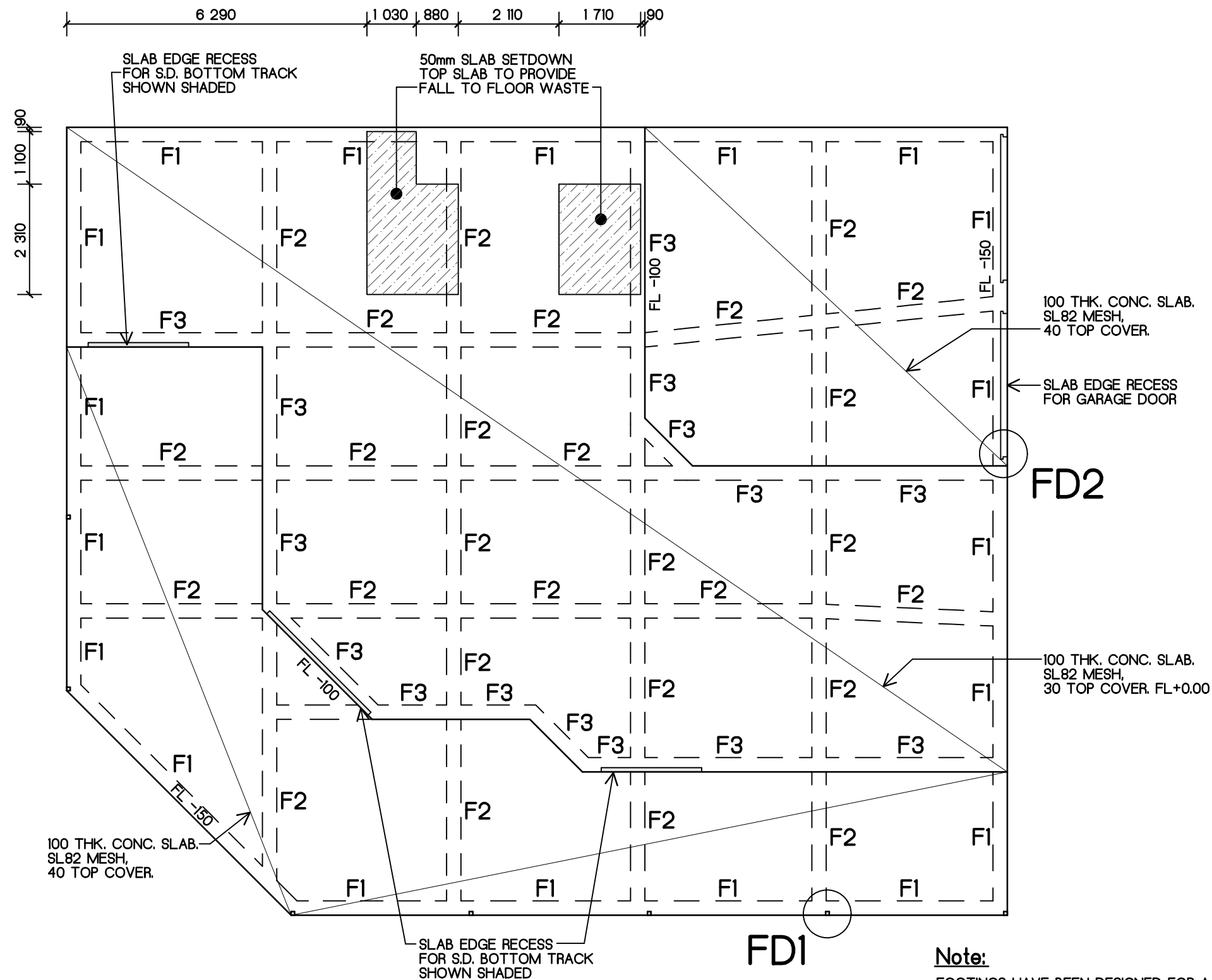
2541

WIND
 CLASSIFICATION

W2

OF 10

C2



FOOTING PLAN

Note:

FOOTINGS HAVE BEEN DESIGNED FOR A 'M' SOIL CLASS.

NOTE: BOTTOM PLATE OF ALL WALL FRAMES ARE HORIZONTAL. GARAGE SLAB IS REQUIRED TO BE SHAPED TO PROVIDE LEVEL BASE FOR WALL THEN FALLING TOWARDS GARAGE OPENINGS. ENSURE FLAT BASE FOR GARAGE DOOR SEAL.

TERMITE TREATMENT

SELECTED TREATMENT METHOD TO BE WITH USE OF NON-SUSCEPTIBLE BUILDING MATERIALS E.G. STEEL & C.C.A. OR L.O.S.P. TREATED TIMBER.

REGULAR INSPECTIONS ARE REQUIRED AT 3 - 6 MONTH INTERVALS TO ENSURE THE BARRIERS HAVE NOT BEEN BRIDGED BY TERMITES.

NO GARDENS ARE TO BE BUILT UP TO THE HOUSE SO A CLEAR VIEW OF THE PERIMETER OF THE BUILDING IS READILY VISABLE FOR PERIODIC INSPECTIONS & NO BRIDGING PATHS ARE PROVIDED FOR THE TERMITES TO BYPASS THE PHYSICAL BARRIERS WITHOUT DETECTION.

CONCRETE NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600

2. MINIMUM COVER TO REINFORCEMENT TO BE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE DRAWING :

UNDERSIDE & SIDE OF FOOTINGS	65 mm
TOP OF FOOTINGS	30 mm
COLUMNS	50 mm
FLOOR SLAB	30 mm

3. CONTROL JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN.

4. REINFORCEMENT IS SHOWN DIAGRAMATICALLY AND NOT NECESSARILY SHOWN IN THE TRUE PROJECTION.

5. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE SUPERINTENDENT.

6. ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION SO AS NOT TO BE DISPLACED DURING CONCRETING, ON APPROVED BAR CHAIRS AT 1000 mm MAXIMUM CENTRES BOTH WAYS. WHERE REQUIRED PROVIDE SUPPORT BARS N16 AT 1000 mm MAXIMUM CENTRES.

7. CONCRETE COMPONENTS AND QUALITY SHALL BE AS FOLLOWS :

ELEMENT	SLUMP MAX.	AGGREGATE SIZE	F'c	AGGREGATE
FOUNDATIONS				
GROUND SLABS	80 +- 15	20 mm	N20	NORMAL
COLUMNS	80 +- 15	20 mm	N25	NORMAL
CORE FILLING GROUT	230 +- 15	6 mm	S20	NORMAL

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. Harlow 29-10-21

C.M.G. CONSULTING ENGINEERS

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1:100
ON A3 SHEET

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OCTOBER 2021

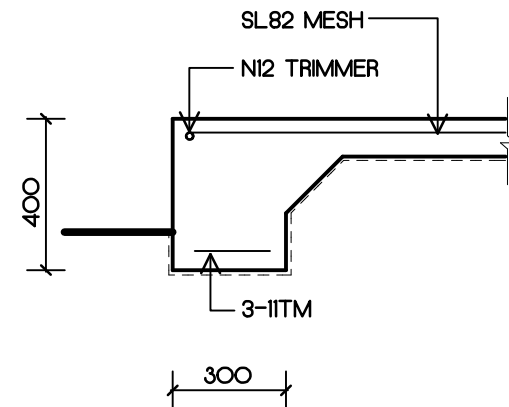
2541

WIND
CLASSIFICATION

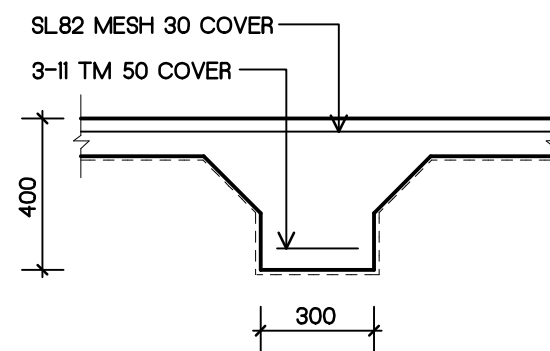
W3

OF 10

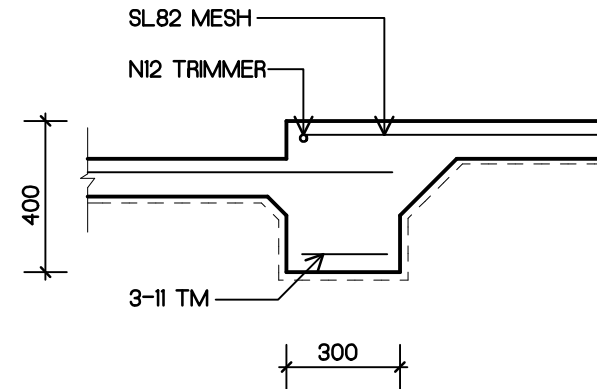
C2



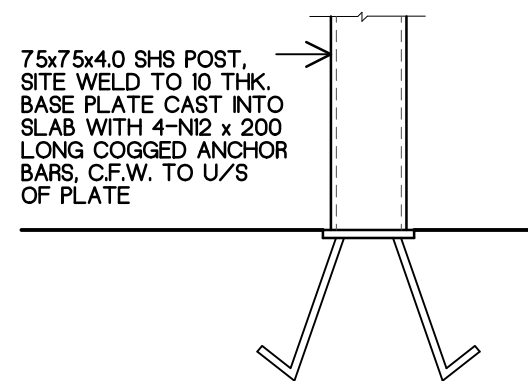
FOOTING F1
1 : 20



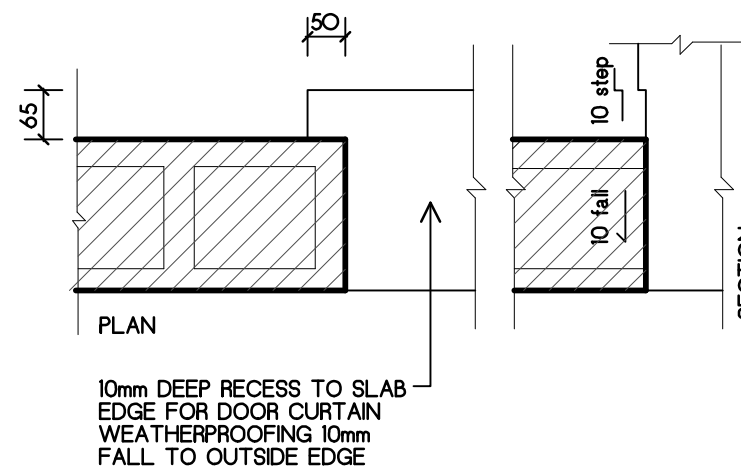
FOOTING F2
1 : 20



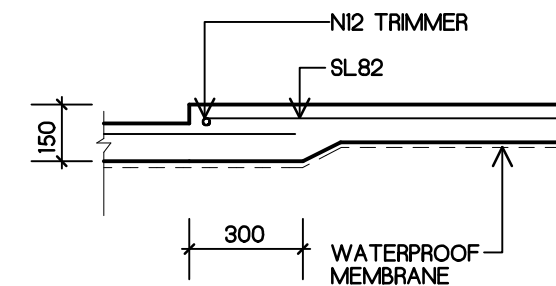
FOOTING F3
1 : 20



DETAIL FD1
1 : 10



DETAIL FD2
1 : 10



SLAB RECESS DETAIL
1 : 20

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. Fianarichis 29-10-21

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J. HARLOW
LOT 4, DAVIDSON ROAD
WHYANBEEL

OCTOBER 2021

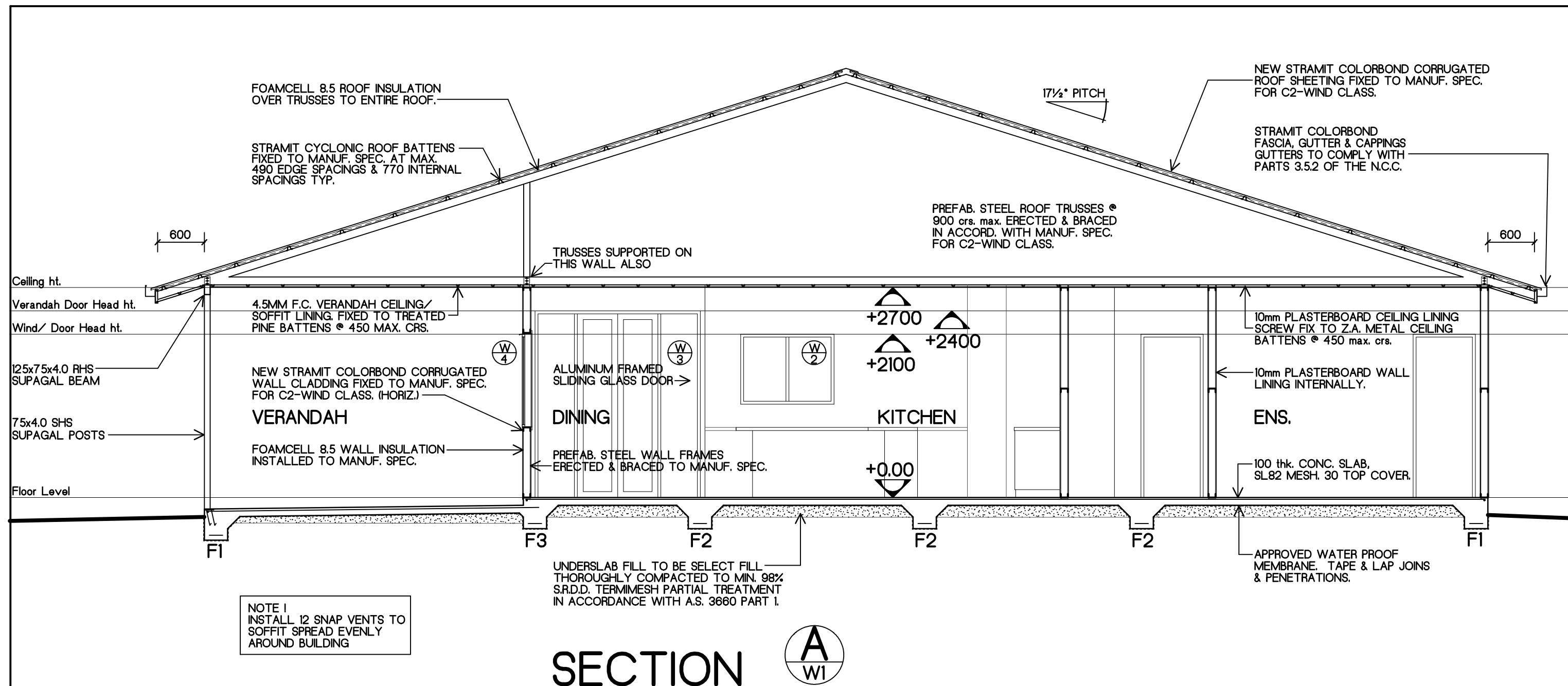
2541

WIND
CLASSIFICATION

W4

OF 10

C2



STRUCTURAL STEELWORK NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO FABRICATION OF ANY MISCELLANEOUS STEELWORK.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 1250 AND A.S. 1554.
- UNLESS OTHERWISE SHOWN STEEL QUALITY SHALL CONFORM WITH ALL RELEVANT AUSTRALIAN STANDARDS.
- UNLESS OTHERWISE SHOWN ALL INTERFACES BETWEEN CONNECTING STEELWORK SHALL BE EITHER BOLTED OR CONTINUOUSLY WELDED. ALL WELDS SHALL BE 6mm FILLET WELDS ON BOTH SIDES U.N.O.
- ALL BUTT WELDS SHALL BE FULL PENETRATION BUTT WELDS UNLESS SHOWN OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND HOLES REQUIRED FOR FIXING NON-STRUCTURAL ELEMENTS TO STEELWORK WHETHER SHOWN OR NOT ON THE DRAWINGS.
- SITE WELDING SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH SAFETY REGULATIONS.
- ALL STEEL MEMBERS TO BE PAINTED WITH ZINC SILICATE PRIMER WHERE CONCEALED, & PAINTED TO MATCH SURROUNDING WALLS WHERE EXPOSED.

ROOF TRUSS NOTES

ROOF TRUSSES TO BE DESIGNED AND CERTIFIED BY THE TRUSS MANUFACTURER.

THE DESIGN SHALL INCLUDE :-

- (a) TRUSS LAYOUT.
- (b) ALL NECESSARY WIND AND BOTTOM CHORD BRACING.
- (c) ALL INTERNAL TRUSS CONNECTIONS.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. P. J. P. J. P. 29-10-21

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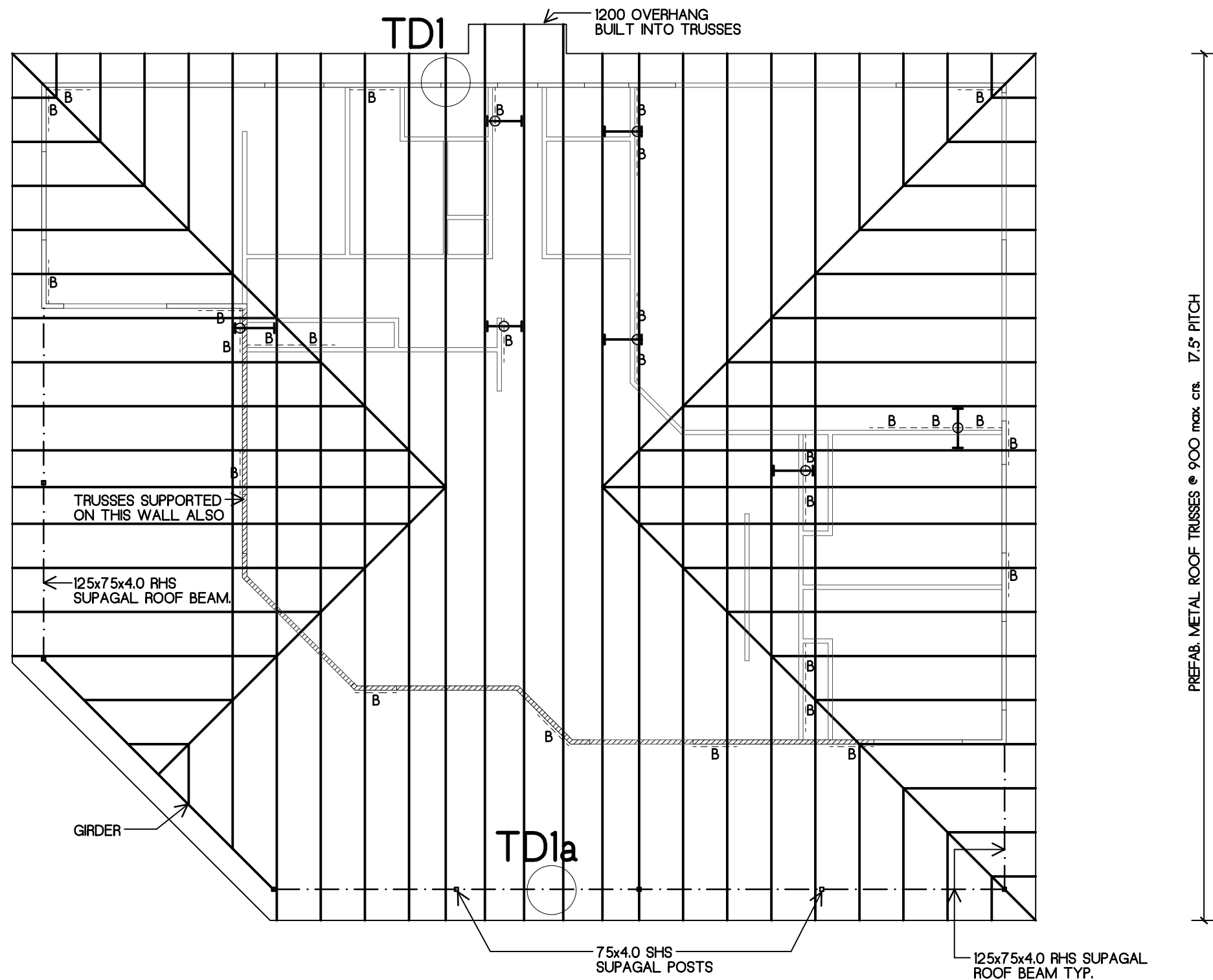
2541

WIND
CLASSIFICATION

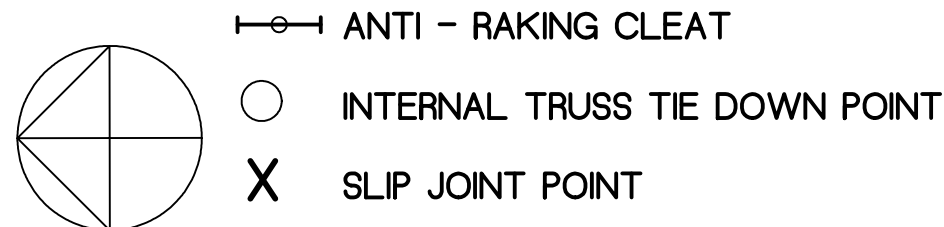
W5

OF 10

C2



SCREW FIXING OF TRUSS BRACKETS - C2 WIND CLASS - All 14-10x25mm Hex Screws		
STANDARD TRUSSES UP TO 6.0 M SPAN	5 SCREWS EACH SIDE. TOTAL 10 SCREWS PER BRACKET	
STANDARD TRUSSES BETWEEN 6.0 M - 11.0 M SPAN	7 SCREWS EACH SIDE. TOTAL 14 SCREWS PER BRACKET	
STANDARD TRUSSES GREATER THAN 11.0 M SPAN	9 SCREWS EACH SIDE. TOTAL 18 SCREWS PER BRACKET	
IMPORTANT: SHOULD A RIVET NOT ALLOW A SCREW FIXING IN THE MIDDLE HOLE OF THE TRUSS BRACKET FIXING PATTERN. PROVIDE A SCREW FIXING BOTH SIDES OF THIS LOCATION.		
JACK TRUSSES & HALF TRUSSES UP TO 6.0 M SPAN	5 SCREWS EACH SIDE. TOTAL 10 SCREWS PER BRACKET	
JACK TRUSSES & HALF TRUSSES BETWEEN 6.0 M - 11.0 M SPAN	7 SCREWS EACH SIDE. TOTAL 14 SCREWS PER BRACKET	
JACK TRUSSES & HALF TRUSSES GREATER THAN 11.0 M SPAN	9 SCREWS EACH SIDE. TOTAL 18 SCREWS PER BRACKET	
ALL GIRDER TRUSSES	9 SCREWS EACH SIDE. TOTAL 18 SCREWS PER BRACKET	
ALL HIP TRUSSES	9 SCREWS EACH SIDE. TOTAL 18 SCREWS PER BRACKET	
ALL BRACKETS FOR A TRUSS & A VERANDAH RAFTER COMBINATION OR GIRDER TRUSS (TOTAL FILL IN)	9 SCREWS EACH SIDE. TOTAL 18 SCREWS PER BRACKET	



ROOF FRAMING PLAN

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

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WIND
CLASSIFICATION

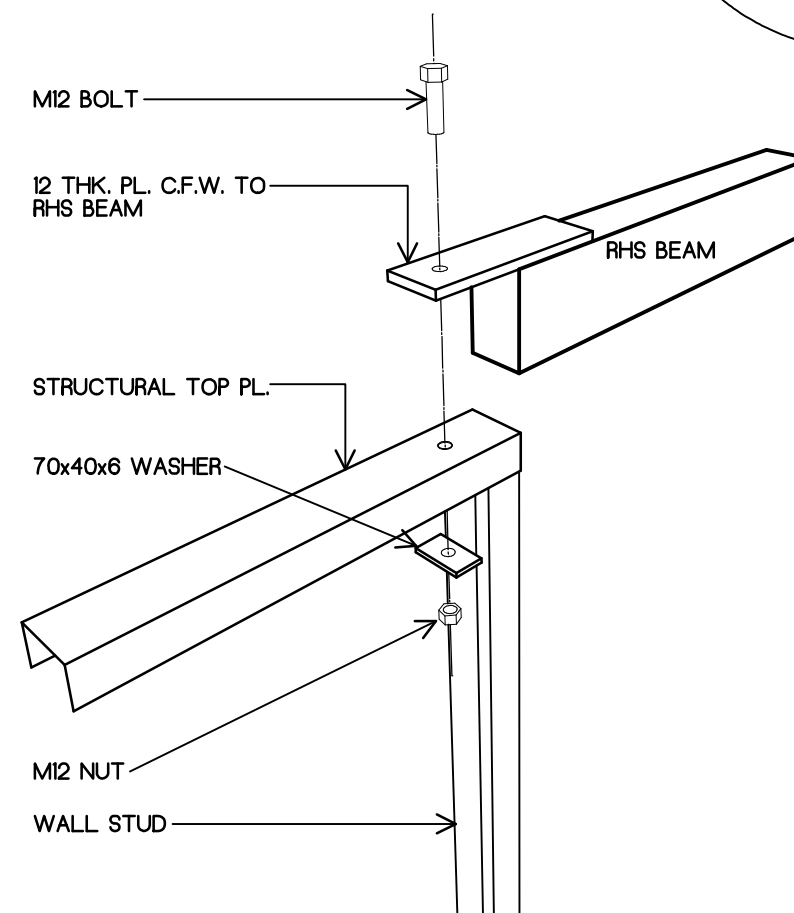
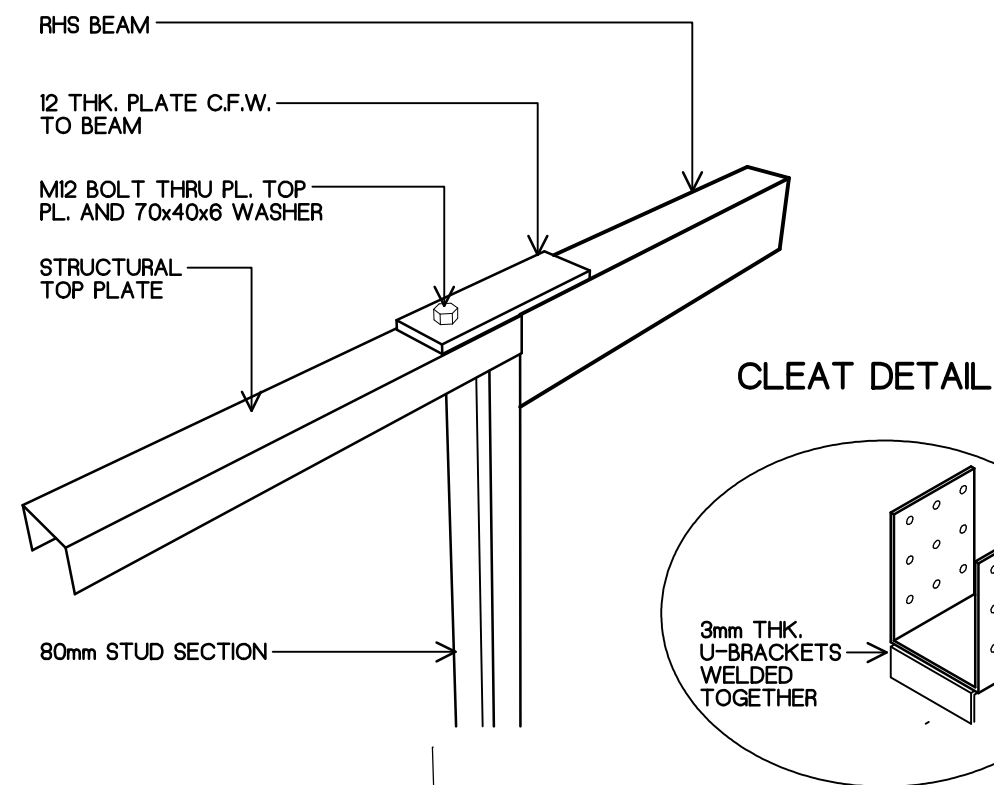
W6

OF 10

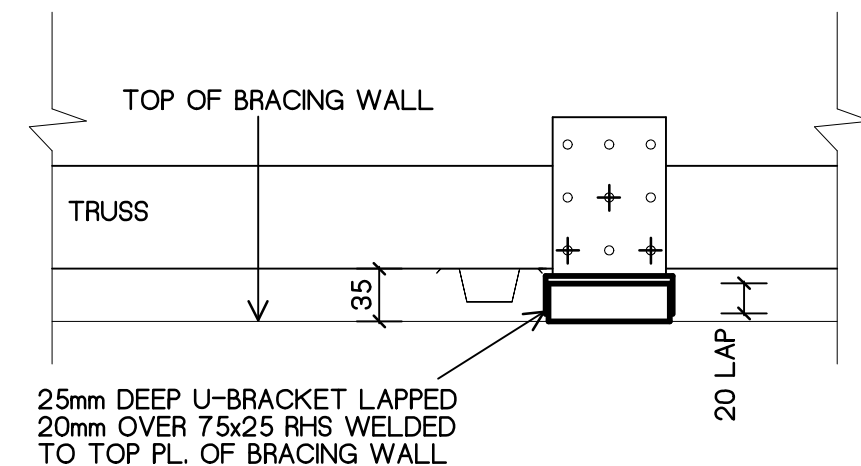
C2

DETAIL TD1

DETAIL TD1a

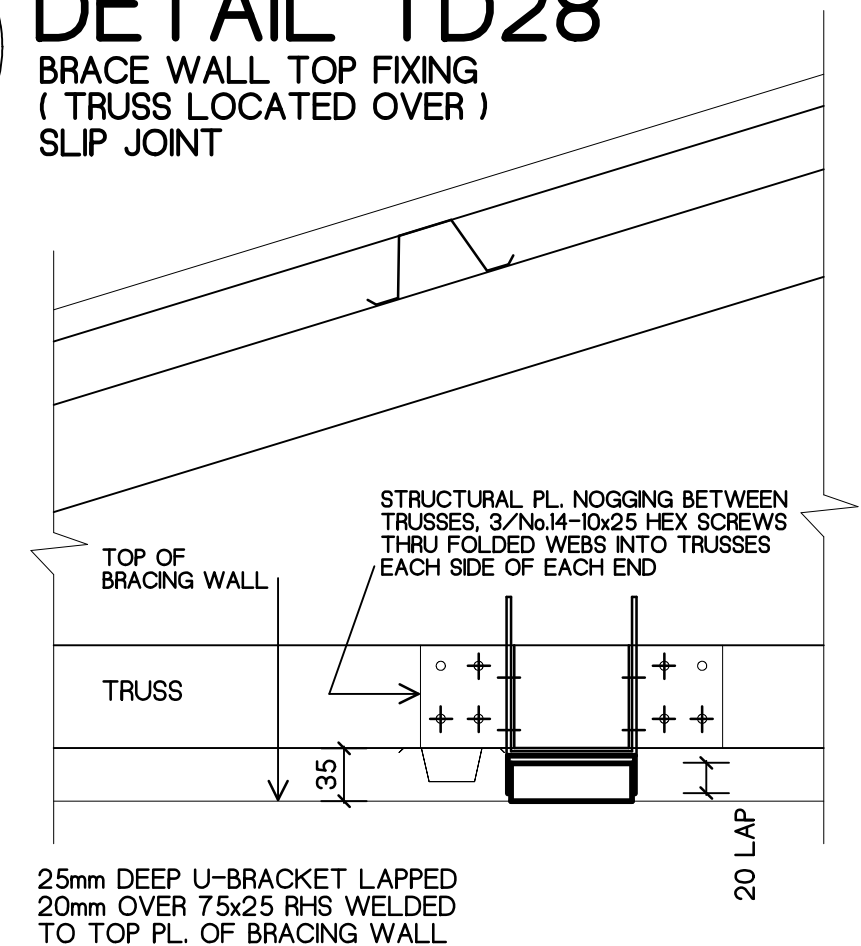


WALL/BEAM CONNECTION



DETAIL TD28

BRACE WALL TOP FIXING
(TRUSS LOCATED OVER)
SLIP JOINT



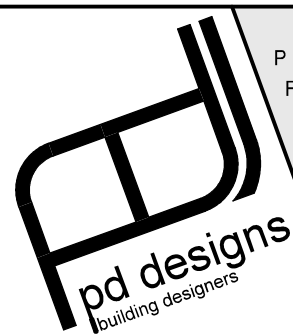
DETAIL TD28A

BRACE WALL TOP FIXING
(TRUSSES LOCATED EACH SIDE)
SLIP JOINT

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS
SHOWN ON THESE DRAWINGS FOR CONSTRUCTION
IN WIND CLASSIFICATION **C2**

29-10-21

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J. HARLOW
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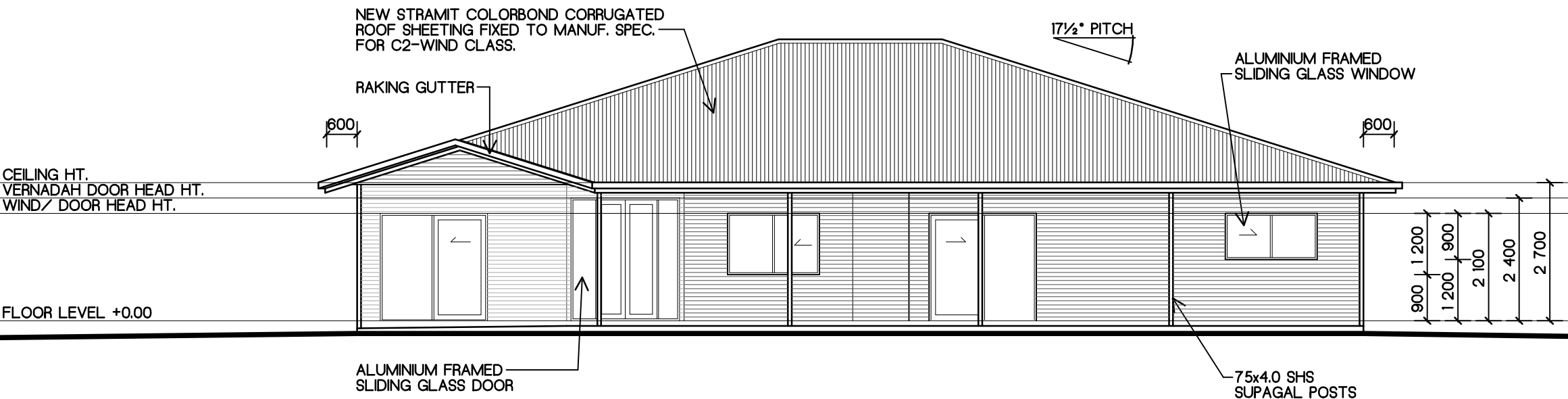
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OF 10

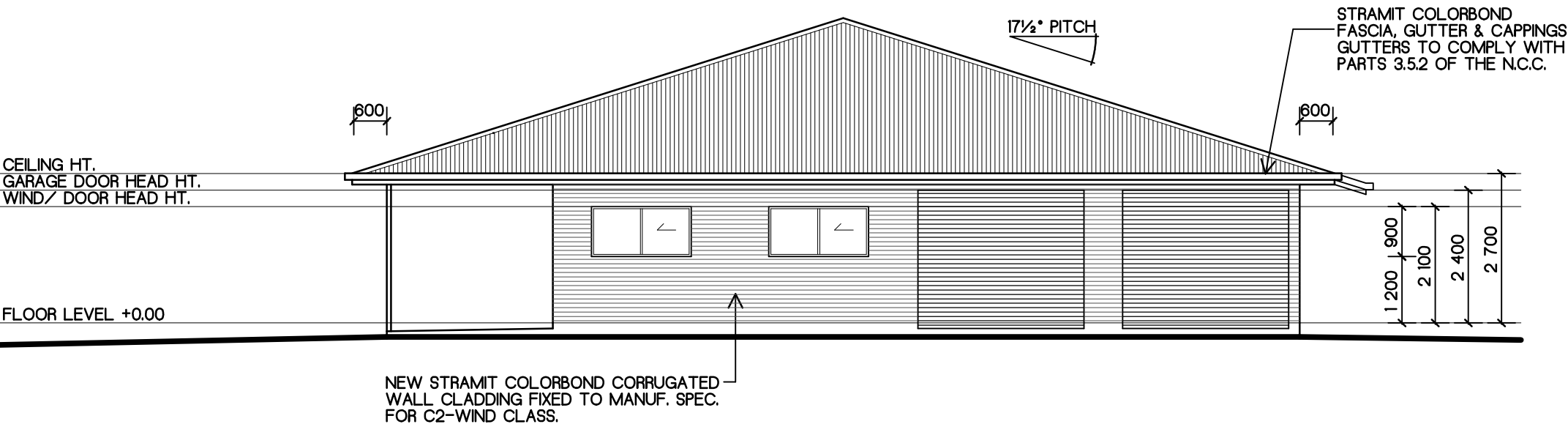
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WIND CLASSIFICATION

C2



ELEVATION 1



ELEVATION 2

WINDOW SCHEDULE	
W1	2100x2100 SLIDING GLASS DOOR OX
W2	900x1200 SLIDING GLASS WINDOW XO
W3	2400x3000 DOUBLE SLIDING GLASS DOOR OXXO
W4	1500x1800 SLIDING GLASS WINDOW OXXO
W5	2100x2100 SLIDING GLASS DOOR XO
W6	900x1800 SLIDING GLASS WINDOW XO
W7	900x1800 SLIDING GLASS WINDOW XO
W8	900x1800 SLIDING GLASS WINDOW XO
W9	1000x4500 BREEZWAY 131mm LOUVRE SYSTEM, OBSCURE GLASS BLADES EASYSscreen FRAME
W10	600x900 SLIDING GLASS WINDOW XO
W11	600x900 SLIDING GLASS WINDOW XO
W12	900x1200 SLIDING GLASS WINDOW XO
W13	900x1800 SLIDING GLASS WINDOW XO
W14	1200x1800 SLIDING GLASS WINDOW XO

Note:
ALL LOUVRES TO HAVE FULL OPENABLE CLIPS AND EASYSscreen FRAMES. (Colour match frames, handles & clips.)

LOUVRE SIZES INDICATED ARE ACTUAL FRAME SIZES. OPENINGS TO BE SIZED ACCORDINGLY TO ALLOW FOR FRAMES.

ALL FRAMES POWDER COATED FINISH
ALL CLEAR GLASS TYP.
OBSCURE GLASS TO WINDOWS 'W10' & 'W11'

ALL DOORS & WINDOWS TO HAVE FLY SCREENS

IN ACCORDANCE WITH PART 3.9.2.6 OF THE N.C.C. & AS 2047-2014

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

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WHYANBEEL

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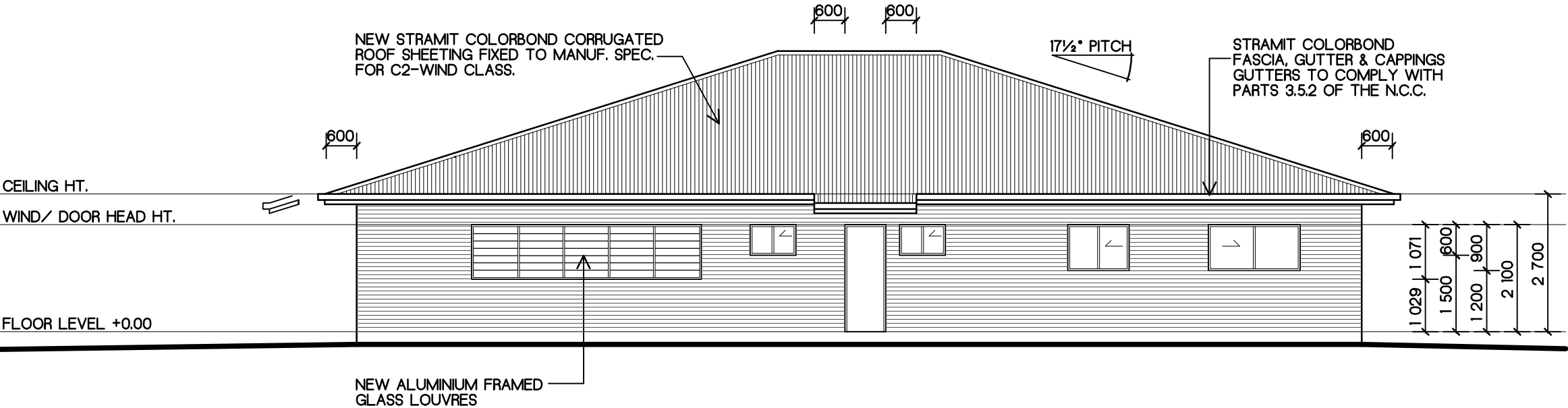
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WIND
CLASSIFICATION

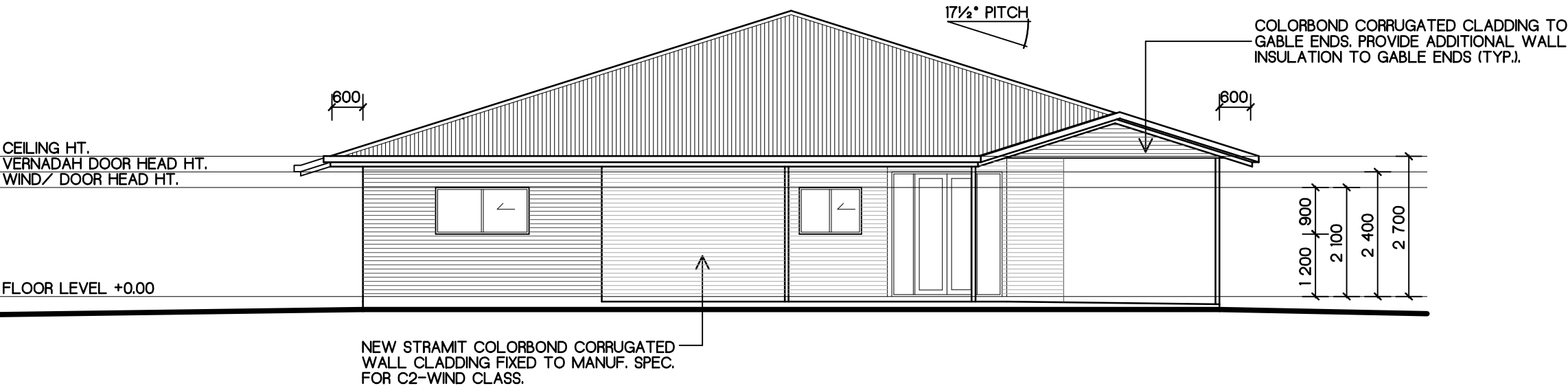
W8

OF 10

C2



ELEVATION 3



ELEVATION 4

Note
Existing Ground lines & Benched platform lines are approximate only.
Do Not Scale.
House R.L. to be determined on site!
Emphasis made to minimize excavation.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. J. J. J. 29-10-21

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WIND CLASSIFICATION

W9

OF 10

C2

551.882M 180°09'

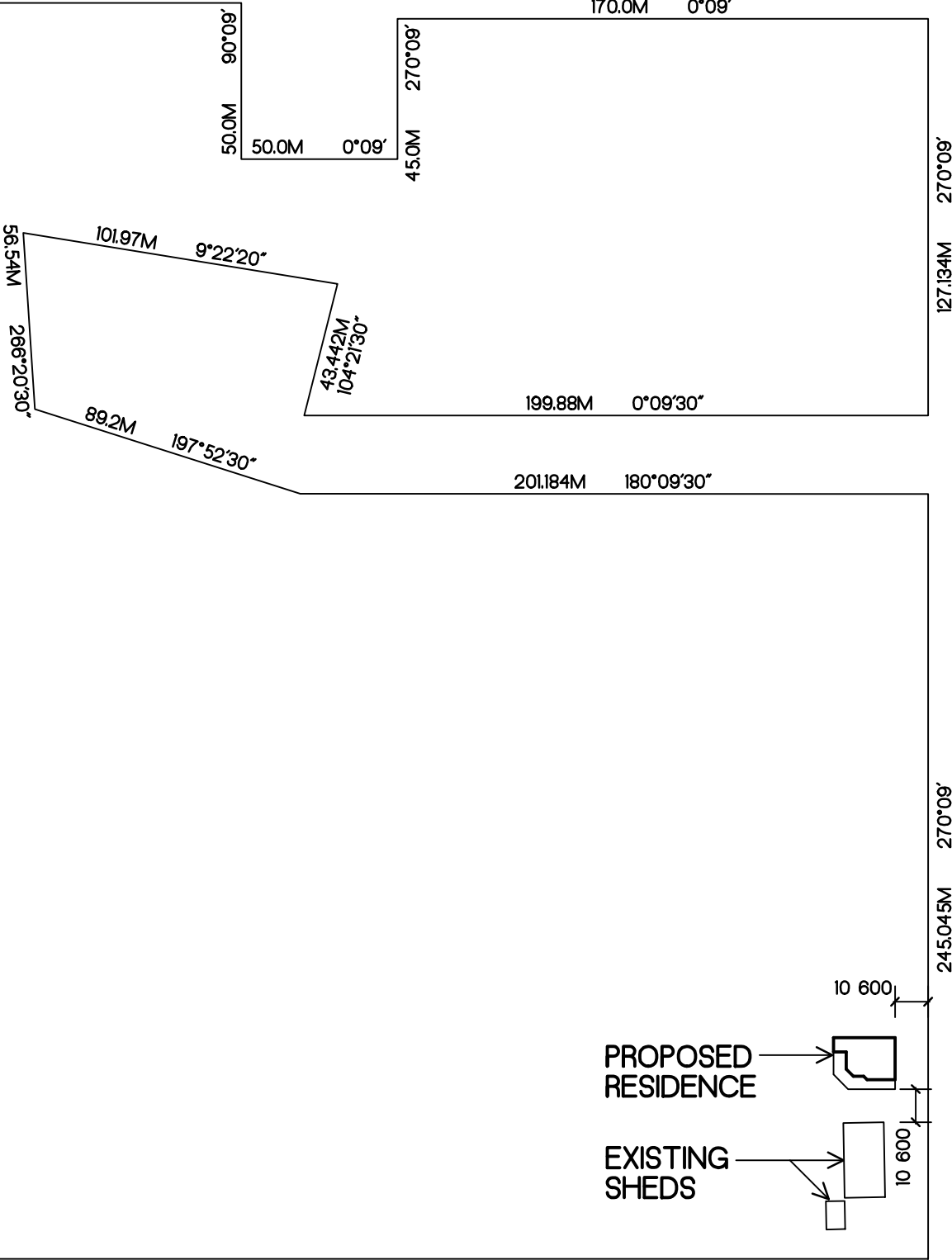
170.0M 0°09'

SITE PREPARATION

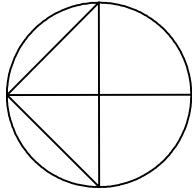
- 1. SITE PREPARATION SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION FOLLOWED BY EXCAVATION OF TOPSOILS & MATERIAL TO SUIT FINAL DESIGN LEVELS.
- 2. PROVISION SHALL BE MADE FOR THE DEMOLITION OF ANY EXISTING BUILDINGS INCLUDING BREAKING UP & REMOVAL OF ANY OLD FOOTINGS, SERVICE PIPES, SPECTIC TANKS ETC & EXISTING TREES (INCLUDING STUMPS & ROOTS) WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION. ANY SOIL DISTURBED BY DEMOLITION SHALL BE RECOMPACTED.
- 3. IN THE PROPOSED ON GROUND FLOOR SLAB SUPPORT & PAVEMENT AREAS, THE EXPOSED SUBGRADE SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF NOT LESS THAN 98% OF THE MAXIMUM SATURATED VIBRATED DENSITY (AS 1289 TESTS 5.3.1 & 5.5.1). SUGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION & RECTIFICATION OF ANY LOCALISED COMPRESSIBLE ZONES WHICH MAY EXIST.
- 4. ANY FILLING PLACED IN THE BUILDING & PAVEMENT AREAS SHALL BE UNIFORMLY COMPACTED IN LAYERS OF NOT MORE THAN 200mm FINAL THICKNESS, UNDER LEVEL 3 SUPERVISION (AS 3798-1990 'GUIDLINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS 2007) TO THE MAX MAX DRY DENSITY RATIO OF 98% SRDD (EXPRESSED AS A % OF THE MAXIMUM VIBRATED DENSITY ESTABLISHED BY THE TEST METHODS AS 1289 5.3.1, 5.4.1 & 5.5.1 FOR CONENSIONLESS (SAND) MATERIALS OR ALTERNATIVELY, STANDARD COMPACTION IF APPROPRIATE).
- 5. ANY IMPORTED FILL SHALL COMPRISE LOW PLASTICITY GRANULAR MATERIAL WITH A PLASTICITY INDEX NOT MORE THAN 15%. SAND CUT FROM BASEMENT AREA SHOULD BE SUITABLE FOR REUSE AS FILLING
- 6. FILLING SHOULD BE RETAINED OR BATTERED TO A SLOPE OF NOT STEEPER THAN 2h : 1v. ALL EXPOSED FILLING SHALL BE PROTECTED FROM EROSION.
- 7. CARE SHALL BE TAKEN TO ENSURE THAT ANY VIBRATORY ROLLING OR CONSTRUCTION ACTIVITIES DO NOT CAUSE DISTRESS (BY WAY OF INDUCED SETTLEMENT) TO ANY ADJACENT MOVMENT-SENSITIVE FEATURES ETC.

PROPERTY DESCRIPTION

LOT 4, SP 134238
DOUGLAS SHIRE COUNCIL
SOIL CLASSIFICATION - 'M'
7 DAVIDSON ROAD
WHYANBEEL



SITE PLAN



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. J. Fianarathis 29-10-21

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OCTOBER 2021

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WIND
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W10

OF 10

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GMA Certification Group

BUILDING SURVEYORS

A.C.N 150 435 617

Leaders in Building Certification Services



Port Douglas Office

P: 07 4098 5150 **F:** 07 4098 5180 **E:** adminpd@gmcert.com.au

Unit 5, Owen Street

Craigie Business Park Craigie

PO Box 831 Port Douglas QLD 4877

30 Nov 2021

Alan Jenkins & Natalie Gordon
65 Morrish Road
MOSSMAN QLD 4871

Dear Sir/Madam

Confirmation notice

Re: GMA Certification Group Ref No. 20215114

Lot 4 on SP 134238

7 Davidson Rd WHYANBEEL 7 4873

**Development Permit for Building Works for New Construction of Dwelling - 1 Storey &
New Construction of Attached Garage & New Construction of Attached Patio**

The development application described above was properly made to the GMA Certification Group on 02 Nov 2021

Public notification details

Part 4 of the Development Assessment Rules is not applicable to this development application.

Referral details

Part 2 of the Development Assessment Rules is applicable. GMA, as the assessment manager intent to make an information request (where applicable) and the applicant has not indicated that they do not wish to receive an information request.

The development application must be referred to all relevant referral agency(s) within 10 business days starting the day after receiving this notice, or a further period agreed with the assessment manager; otherwise the application will lapse under section 31 of the Development Assessment Rules.

Yours sincerely

Rebekah Mulligan
GMA Certification Group

GMA Certification Group

BUILDING SURVEYORS

ACN 150 435 617

Leaders in Building Certification Services

PORT DOUGLAS

P: 07 4098 5150 E: adminpd@gmacert.com.au

Unit 5 "Craiglie Business Centre" Owen Street, Craiglie, Qld, 4877

P.O. Box 2760, Nerang Qld 4211



30 November 2021

Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

Attention: – Development Services

Dear Sir/Madam,

**Re: Application for Exemption Certificate
7 Davidson Street, Whyanbeel (L4/SP134238)**

GMA Certification Group has been engaged to assess an application for the construction of a dwelling on the abovementioned allotment.

A preliminary assessment of the proposal has revealed the allotment is located within a Flood and Storm Tide Inundation Overlay and is subject to storm tide medium hazard area and Floodplain Assessment overlay. However, for the following reason, Council is requested to exempt the dwelling from the application process for Material Change of Use.

The proposed pad level of the allotment will be between 10m AHD and 20m AHD. Although the property is located within the storm tide medium hazard area and floodplain assessment overlay, it is unlikely the dwelling will be subject to the projected sea level rise during the life of the structure.

Should you require any further information or wish to discuss the application, please contact me on 4098 5150 or by email adminpns@gmacert.com.au

Kind Regards

Rebekah Mulligan
GMA Certification Group Pty Ltd

www.gmacert.com.au

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