

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use **DA Form 1 – Development application details** and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Ryan Page
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	PO Box 80
Suburb	Mossman
State	QLD
Postcode	4873
Country	Australia
Contact number	0421251697
Email address (non-mandatory)	Rpage92@gmail.com Ryan.page@hastingsdeering.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

RS-8-20
A. Everett

\$333.00
464551

P8737
A601781



Queensland
Government

Unit No.	Street No.	Street Name and Type	Suburb
	109	Finlayvale Road	Finlayvale
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	105		

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☐ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☒ Yes – proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

7) Information request under Part 3 of the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:		Place ID:	
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PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	
State	

Postcode	
Country	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details	
<input checked="" type="checkbox"/> Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.	
Name(s) (individual or company full name)	
Contact name (applicable for companies)	
QBCC licence or owner – builder number	
Postal address (P.O. Box or street address)	
Suburb	
State	
Postcode	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

16) Provide details about the proposed building work	
What type of approval is being sought?	
<input checked="" type="checkbox"/> Development permit <input checked="" type="checkbox"/> Preliminary approval	
b) What is the level of assessment?	
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment (requires public notification)	
c) Nature of the proposed building work (tick all applicable boxes)	
<input checked="" type="checkbox"/> New building or structure <input type="checkbox"/> Change of building classification (involving building work) <input type="checkbox"/> Demolition <input type="checkbox"/> Repairs, alterations or additions <input type="checkbox"/> Swimming pool and/or pool fence <input type="checkbox"/> Relocation or removal	
d) Provide a description of the work below or in an attached schedule.	
Shed 8m x 14m X 3.5m	
e) Proposed construction materials	
External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement <input type="checkbox"/> Aluminium <input type="checkbox"/> Curtain glass <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Floor	<input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Timber <input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium <input checked="" type="checkbox"/> Tiles <input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)	

g) New building use/classification? (if applicable)		
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>		
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application		

17) What is the monetary value of the proposed building work?		
\$ 50 000		

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct	
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i>	
<i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where:	
<ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. 	
This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .	

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number
<input type="text"/>	<input type="text"/>	<input type="text"/>

Notification of engagement of alternative assessment manager

Prescribed assessment manager	<input type="text"/>
Name of chosen assessment manager	<input type="text"/>
Date chosen assessment manager engaged	<input type="text"/>
Contact number of chosen assessment manager	<input type="text"/>
Relevant licence number(s) of chosen assessment manager	<input type="text"/>

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment

Note: For completion by assessment manager if applicable

Receipt of completion by assessment manager's approval			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m²)		Floor area (m²)	

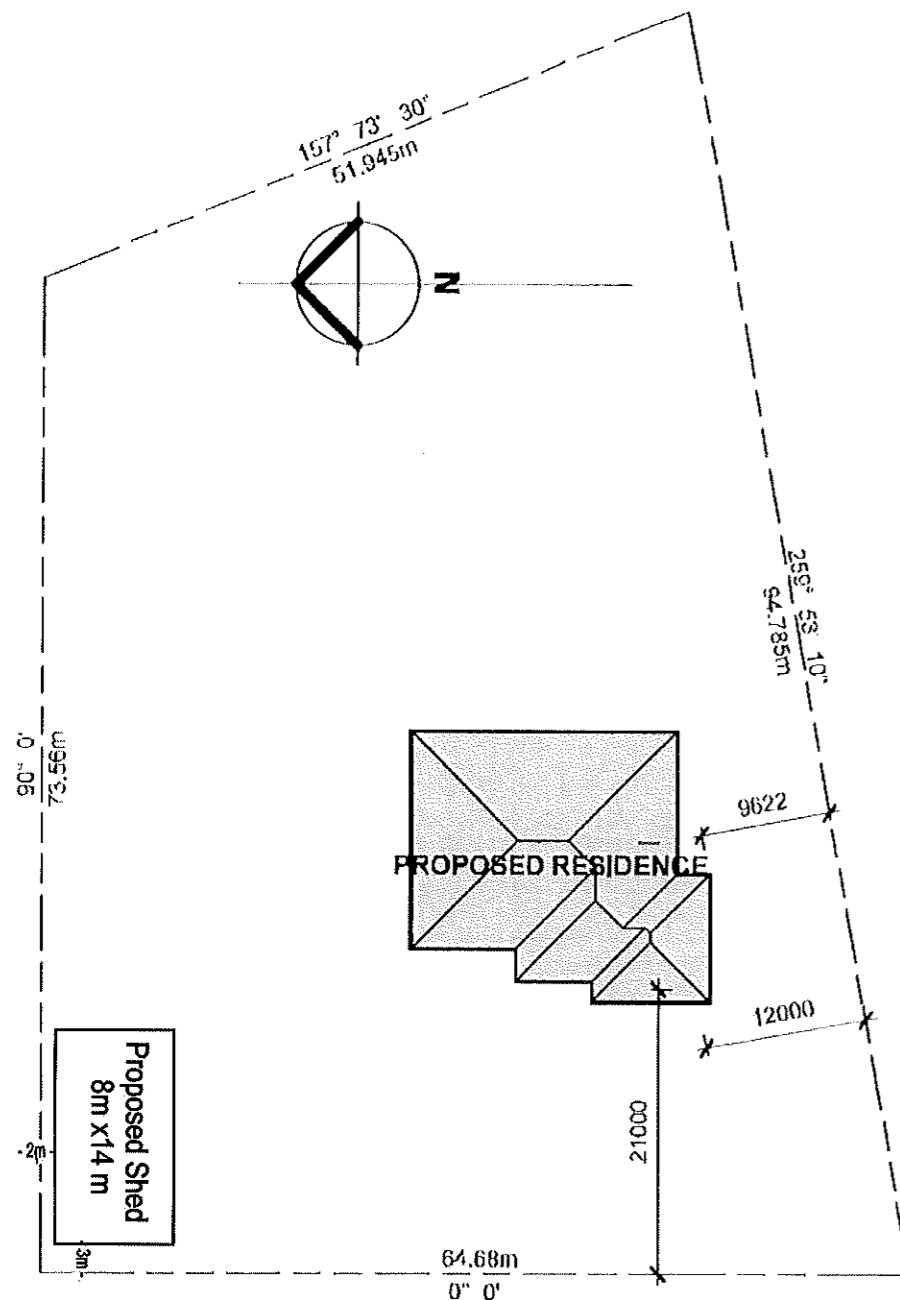
25/08/2020

Statement regarding dispensation for Construction of a shed on Lot 109 Finlayvale Rd Mossman 4873.

I would like to apply for dispensation for construction of a shed on my property at 109 Finlayvale Road. My Property is 1.2 acres which is quite a small rural lot and due to the landscape of the block I am very limited as to where I am able to construct a shed that is suitable and that will allow myself full access. I have marked out on the lot plan where it is the best possible position for the shed to be built. This position allows room between the neighbours shed on the opposite side and will not impact there landscaping and views of their property. There are thick trees on the neighbour's side that would provide efficient screening from the northern end of the street and I will also be able to plant a certain amount of trees to the road side of the shed on my lot to maintain the streetscape and rural character of Finlayvale Road. Where the shed is marked out on the lot plan it is 3m from the front fence, 4.6m from the actual boundary post and 11m from the Road. This area is the flattest most open part on the property and where there aren't any underground or above ground services that can be affected. The colours of the shed will match the house for example the roof and doors will be jasper and the walls will be dune. I am more than willing to meet someone at the property to discuss my point of views and reasons in person. Please take into consideration that although this lot comes under the rural zone regulations it is quite a small lot and not all of these regulations are able to be met.

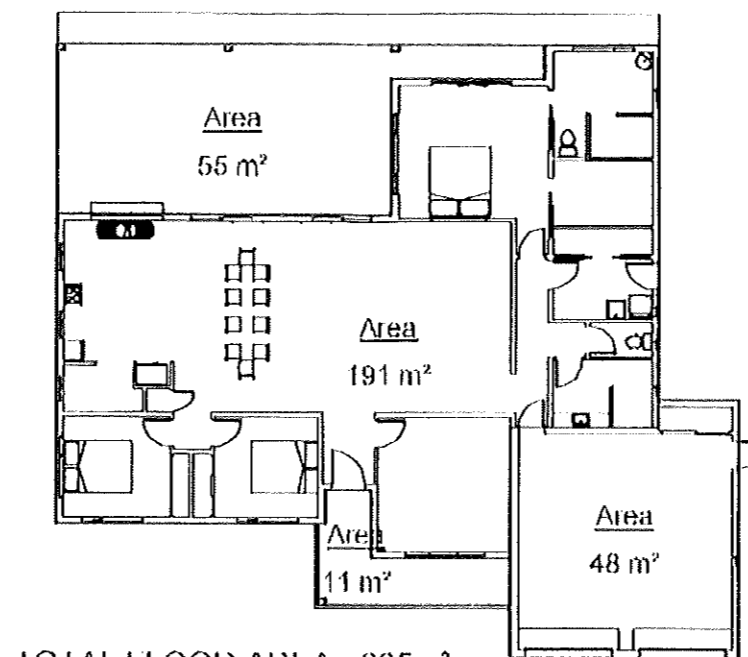
Regards

Ryan Page



FINLAYVALE ROAD

1 Site Plan
1 : 500



TOTAL FLOOR AREA - 305m²

2 Area Plan
1 : 200

Sheet List	
Sheet Number	Sheet Name
1 of 9	3D Views
2 of 9	Site and Area Plans, Sheet List, Notes
3 of 9	Floor Plan
4 of 9	Elevations - Sheet 1
5 of 9	Elevations - Sheet 2
6 of 9	Foundation Plan, Details, Notes
7 of 9	Wall and Roof Framing Details
8 of 9	Section 1, Notes
9 of 9	Electrical Plan

GENERAL

All construction is to comply with C2 building standards, Building Code of Australia, all relevant legislation, and Council By-Laws. Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building. All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements. All dimensions must to be checked by the Builder prior to commencing any work - written dimensions take precedence over scaled. Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work. This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

WASHERS

Washers as listed below are to be used with all bolted connections involving timber, where bolt is in tension;

M10 - 38 x 38 x 2.0

M12 - 50 x 50 x 3.0

M16 - 65 x 65 x 5.0

At connections to steel plates, use standard round washers for the bolt diameter used, UNO.

TERMITE PROTECTION

This structure as detailed complies with the provisions of AS3660.1 for the protection of new buildings from subterranean termites. Owners are reminded that to maintain compliance with AS3660.1 they are advised to have inspections carried out by a qualified person every 12 months generally, and every 3 months if in an area where termite risk is high.

FIXINGS

All bolts, screws, nails, brackets, framing anchors and other hardware in contact with preservative treated timber, should be hot dipped galvanised, monel, silicon bronze, or stainless steel. Unless noted otherwise, all bolts are to be hex-head.

INTERNAL BRACING WALLS

WALL FIXING

- Fix top plate to floor frame with 1/M12 at bracing section ends and at 1200 max. crs.
- Fix top plate to crossing or parallel truss framing at M12 wall reinf locations to comply with AS1684.3 Table 8.23 to achieve 7.6 kn.
- Fix end studs to external walls with 1/120 dynabolt or No 14-10 type 17 screw at top, bottom, and at 1200 crs.

SHEETING

- Line one side with 6mm F11 or 4mm F14 structural ply, nail fixed to manufacturers specifications to achieve minimum 6.4 kn/m nominal bracing (2.7m high walls).



0800 987 755
Andrew Bartell
Vic/Bday 31/10/22
28 Mar 2018



GREG SKYRING
Design and DRAFTING Pty. Ltd.

Lic Under QBSA Act 1991 - No 1040371

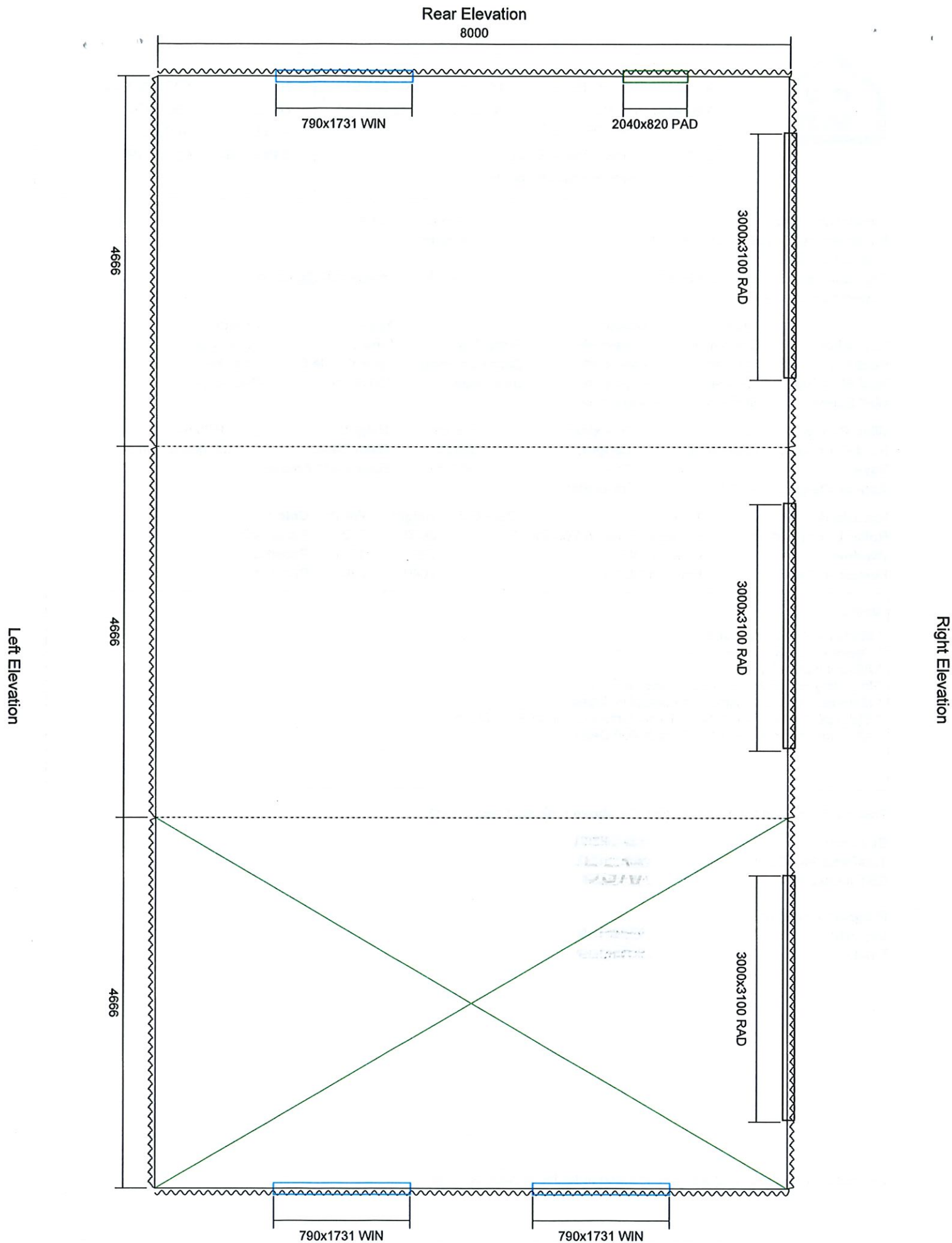
11 Noli Close,
Mossman Q, 4873

Phone/fax: (07) 40482061
Mobile: 0419212662
Email: greg@skyringdesign.com.au

PROJECT

Proposed Residence,
105 Finlayvale Road
L4 RP887364,
FINLAYVALE

CLIENT P. & R. Santarossa		WIND CLASS C2	PLAN NUMBER 111-17	SHEET 2 of 9
SCALLS As indicated	PLAN TITLE Site and Area Plans, Sheet List, Notes		DATE OF ISSUE 21.03.18	RLV B



Total Sheds	Building Plan	Client: Ryan Page
	Quote #: TOTSHE3369	Site Address: 109 Finlayvale Road

**Total Sheds**

ABN: 75 150 191 021 **Phone:** 1300 931 919
Address: PO Box 101 **Mobile:** 0429 265 614
Red Hill QLD 4059
E-Mail: info@totalsheds.com.au
Web: www.totalsheds.com.au

Quotation

No: TOTSHE3369
Date: 7/08/2020
Valid: 14 Days
Sales Rep: Ziggy Bale

Client: Ryan Page
Postal Address: 109 Finlayvale Road
Mossman QLD 4873
Site Address: 109 Finlayvale Road
Mossman QLD 4873

Phone: email
Mobile:
E-Mail: rpageye92@gmail.com

Roof Sheeting	Type Custom Orb	Colour Paperbark	Guttering	Type Emline	Colour Paperbark
Roof Screw	Cyclonic	Paperbark	Barge Capping	Type Y Style C	Paperbark
Wall Sheeting	Trimdek	Paperbark	Downpipe	100x75mm	Paperbark
Wall Screw	Standard	Paperbark			
Wind Rating:	C2	Bay size:	4666mm	Height:	3500mm
Roof Pitch Angle:	15 degrees	Length:	13998mm	Base Plate:	Embedded 5mm
Bays:	3	Span:	8000mm	Base Plate Anchor:	-
Approx Weight:	3442.564kg	Int Walls:	0		

Inclusions	Type	Quantity	Height	Width	Colour
Roller Door (Curtain)	Domestic Series A Windlok	3	3000	3100	Paperbark
Window	Clear XO N5	3	790	1731	Paperbark
Personnel Door	Personnel Door	1	2040	820	Paperbark

Notes

- * Made locally in Townsville
- * Delivery included to site
- * Allow 4 weeks for delivery
- * Including Engineering and Compliance Form 15
- * Materials list and construction manual included
- * Slab specs allow min. 100mm Thick 25mPa concrete SL72 Mesh
- * Allow for Slab piers 10 @ 450 Dia X 600 Deep

This quote is valid for 14 days from the above indicated quote date.

Building: _____
Total sale inc. GST: _____
GST included: _____

Progress Payment
Deposit: _____
Final: _____

I/we accept this quote, and wish you to place order for detailed building.

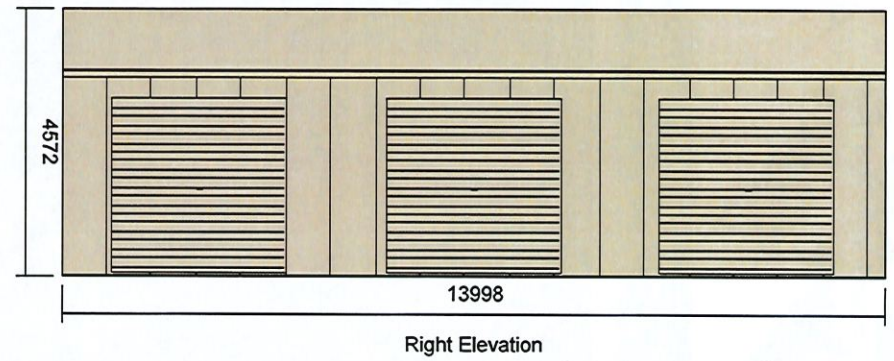
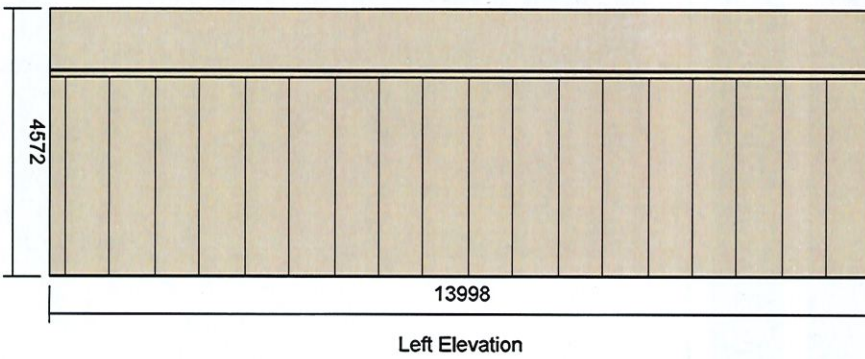
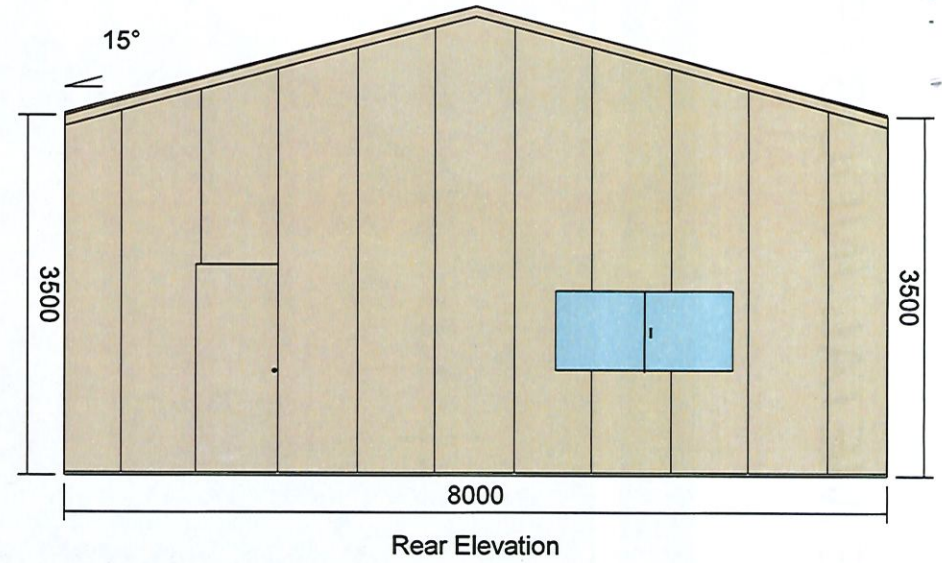
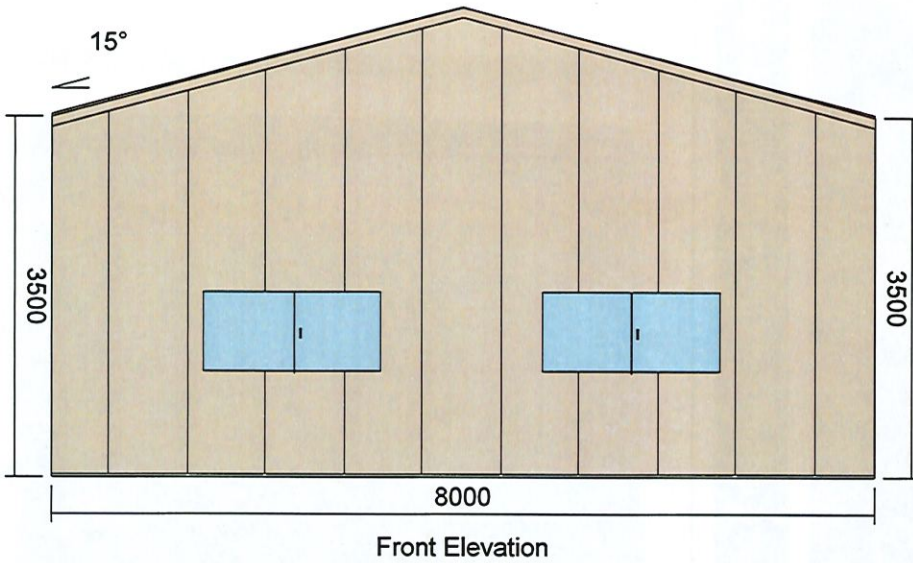
Customer Signed

Date

Management Signed

Date

Total Sheds	Elevations	Client: Ryan Page	Building Type: Shed
	Quote#:	TOTSHE3369	
	Site Address: 109 Finlayvale Road, Mossman QLD, 4873		





ADVANCE METAL INDUSTRIES AUSTRALIA

AMIA windows are different!! They are designed specifically for steel cladding



AMIA windows are worth looking into – They are designed to a quality and offer value

