

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Alfred Partridge
Contact name (only applicable for companies)	Patrick Clifton GMA Certification
Postal address (PO Box or street address)	PO Box 831
Suburb	Port Douglas
State	QLD
Postcode	4877
Country	Australia
Contact number	0438 755 374
Email address (non-mandatory)	Patrick.c@gmacert.com.au
Mobile number (non-mandatory)	0438 755 374
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	20203094

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	8	Anchor Court	Killaloe
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4877	2	RP843599	Douglas Shire Council

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☐ Yes – proceed to 8)
- ☒ No

5) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

7) Information request under Part 3 of the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	
State	

Postcode	
Country	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

15) Builder's details

☒ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	
Suburb	
State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

16) Provide details about the proposed building work

What type of approval is being sought?

- ☒ Development permit
☐ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment
☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---|--|
| <input checked="" type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

Domestic Outbuilding (Shed)

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input checked="" type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

--

g) New building use/classification? (if applicable)
10
h) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?
\$N/A

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: It is unlawful to intentionally provide false or misleading information.
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government				
Confirm proposed construction materials:				
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass	
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other	
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Other			
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other	
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement	
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	



GMA Certification
Group

*Leader's in
Building Certification Services*



PLANNING STATEMENT

For: Alfred Partridge
Development: Domestic Outbuilding (Shed)
At: 8 Anchor Court, Killaloe (Lot 2 RP843599)
Prepared by: GMA Certification Group
File Ref: 20203094
Revision: A

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1.0 Introduction

This report has been prepared on behalf of Alfred Partridge in support of a Development Application to Douglas Shire Council for a Development Permit for Building Work Assessable against the Planning Scheme for the purpose of a Domestic Outbuilding (Shed) on land located at 8 Anchor Court, Killaloe, and described as Lot 2 on RP843599.

The application site is a single hillside rural lifestyle allotment and contains an area of 5,415m² and with frontage to Anchor Court of approximately 55 metres. The site is currently developed with a dwelling house that is setback approximately 34 metres from the site frontage. The setback area is predominantly cleared of vegetation and maintained as curtilage to the dwelling house. Access to the site is provide by a single driveway from Anchor Court located to the northern end of the frontage.

It is proposed to develop a Domestic Outbuilding on the site. The building would be located in the dwelling house setback area and would be accessed via an extension of the driveway across the slope of the site. The development would not require the removal of any vegetation; however, it would require minor earthworks to create a level building pad.

The application is identified as being Code Assessable and consideration can only be given to the Assessment Benchmarks contained in the Planning Scheme. The proposed development is considered to be consistent with the Assessment Benchmarks and is considered to be a suitable development on the site.

The application is submitted for approval, subject to reasonable and relevant conditions.

2.0 Development Summary

Address:	8 Anchor Court Killaloe
Real Property Description:	Lot 2 RP843599
Easements & Encumbrances:	Nil
Site Area/Frontage:	Area: 5,415m ² Frontage: 55 metres
Registered Owner:	Alfred Partridge
Proposal:	Building Works – Domestic Outbuilding
Approval Sought:	Development Permit
Level of Assessment:	Code Assessment
State Interests – State Planning Policy	<ul style="list-style-type: none"> • Environment and Heritage – MSES Regulated Vegetation Category B; • Safety and Resilience to Hazards – Bushfire Prone Area, Very High Bushfire Intensity and Potential Impact Buffer.
State Interests – SARA Mapping:	<ul style="list-style-type: none"> • Native Vegetation Clearing – Category B and X on the Regulated Vegetation Management Map & Category A or B area containing of concern regional ecosystem.
Referral Agencies:	Nil
State Development Assessment Provisions:	N/A
Regional Plan Designation:	Regional Landscape and Rural Production Area
Zone:	Environmental Management Zone
Overlays:	<ul style="list-style-type: none"> • Bushfire Hazard Overlay; • Hillslopes Overlay; • Natural Areas Overlay; and, • Potential Landslide Hazard Overlay.

3.0 Site and Locality

The application site is a single regularly shaped rural lifestyle allotment located at 8 Anchor Court, Killaloe, and described as Lot 2 on RP843599. The site contains an area of 5,415m² and has frontage to Anchor Court of approximately 55 metres.

The site is a hillside site and has a slope of approximately 30 metres over the 95 mere length of the lot. A dwelling house has been constructed approximately 37 metres from the site frontage with the setback area cleared of vegetation and maintained as garden. The area to the rear of the house is covered with mature vegetation.

The locality containing the site is rural and rural lifestyle in character. The development to the west of Anchor Court is predominantly dwelling houses on Rural Lifestyle allotments and to the east land is under cultivation for sugar cane.



Photo 1 – Site Location (Source Queensland Globe)

4.0 Proposal

It is proposed to build a domestic outbuilding on the site. It would be located in the southern part of the dwelling house setback area and setback 7.956 metres from the front boundary and 6.4 metres from the southern side boundary.

The shed would be 7 metres wide and 8 metres long with a height of 3 metres to the eaves. Access to the shed would be provided by an extension of the existing driveway which would run across the contours of the site to the shed. Minor earth works comprising batters and a retaining wall would be undertaken to facilitate the development and the access.

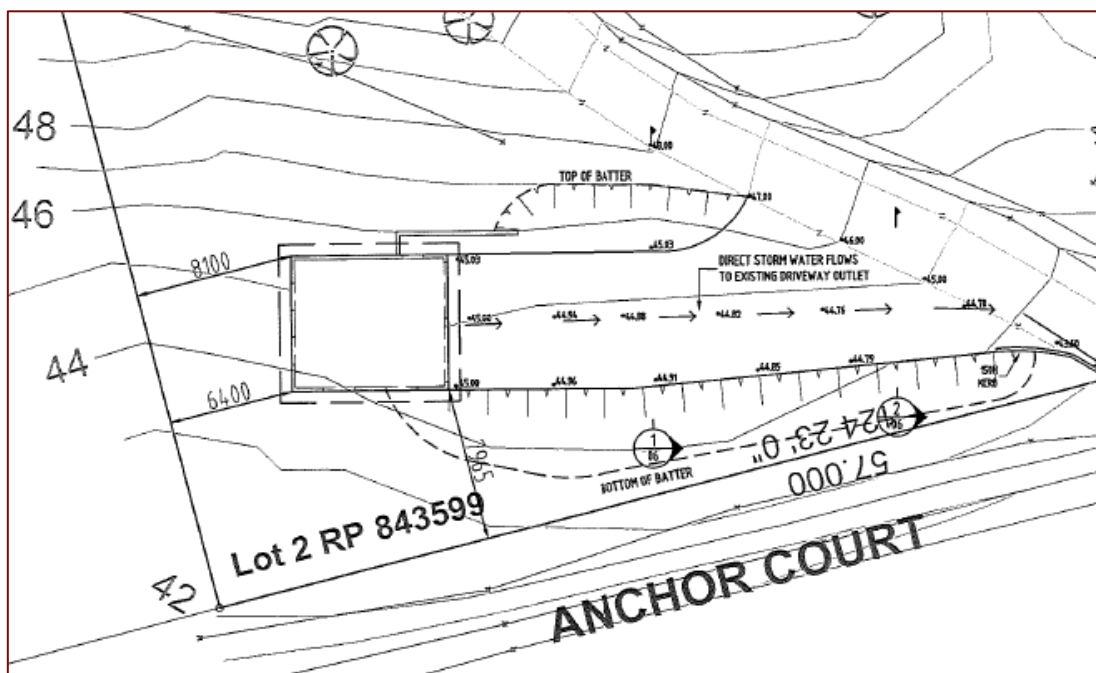


Image 1 – Site Plan

Proposal Plans are attached at [Appendix 1](#).

The key development features of the proposed development are summarised in the table below:

Development Feature	Proposal
Site Area:	5,415m ²
Frontage:	Approx. 55 metres
Height:	Approx. 4 metres
Setbacks:	Front – 7.965 metres Rear – 6.4 metres

5.0 Statutory Planning Considerations

This section provides a summary of the legislative framework affecting the application pursuant to the Planning Act 2016.

5.1 Planning Act 2016

5.1.1 Categorisation of Development

The proposed development is not identified as prohibited development having regard to the relevant instruments that can prohibit development under the *Planning Act 2016*, including

- Schedule 10 of the Planning Regulations 2017
- Relevant Categorising Instruments.

The development is made assessable under the Douglas Shire Council Planning Scheme, which is a categorising instrument for the purpose of s43 of the *Planning Act 2016*.

5.1.2 Assessment Manager

Pursuant to Schedule 8 of the *Planning Regulations 2017*, the Assessment Manager for the application is the Douglas Shire Council.

5.1.3 Level of Assessment

The application involves Building Works the development of a Domestic Outbuilding. The table below identifies the level of assessment and the categorising section of the Douglas Shire Council Planning Scheme.

Development	Categorising Section	Level of Assessment
Building Works – Domestic Outbuilding	Table 5.6.d – Environmental Management Zone	Code Assessable

5.1.4 Statutory Considerations for Assessable Development

As the application is subject to Code Assessment, in deciding the application pursuant to s60 of the *Planning Act 2016*, the Council, as Assessment Manager, can only have regard to the matters established in the relevant planning benchmarks.

This assessment is further discussed in Section 6.0 of this report and a detailed assessment of the proposed development against the assessment benchmarks is provided at [Appendix 3](#).

5.1.5 State Planning Policy

It is understood that the Minister has identified that the State Planning Policy has been appropriately integrated into the Douglas Council Planning Scheme and consequently no further assessment is required in this instance.

5.1.6 Regional Plan

The application site is identified in the Regional Landscape and Rural Production Area designation of the FNQ Regional Plan. Consistent with the State Planning Policies, it is understood that the Planning Scheme has been determined to appropriately advance the Regional Plan and, on that basis, no further assessment is required in this instance.

5.1.7 Referral Agencies

There are no referral agencies identified in respect of this application.

5.1.8 State Development Assessment Provisions

As there are no referral agencies for the application, no State Development Assessment Provisions Apply to the assessment.

6.0 Local Planning Considerations

6.1 Douglas Shire Council Planning Scheme

Within the Douglas Shire Council Planning Scheme (2018), the site is identified within the Environmental Management Zone and is affected by the following Overlays:

- Bushfire Hazard Overlay;
- Hillslopes Overlay;
- Natural Areas Overlay; and,
- Potential Landslide Hazard Overlay

The Table below identifies the applicable Assessment Benchmarks contained within the Planning Scheme.

Assessment Benchmark	Applicability	Compliance
Environmental Management Zone Code	Applies	Consideration of Performance Outcomes PO5 and PO6 is required. See below.
Bushfire Hazard Overlay Code	Applies	Complies with all applicable Acceptable Outcomes.
Hillslopes Overlay Code	Applies	Consideration of Performance Outcomes PO2 and PO3 is required. See below.
Natural Areas Overlay Code	Applies	Complies with all applicable Acceptable Outcomes.
Potential Landslide Hazard Overlay Code	Applies	Consideration of Performance Outcome PO2 is required. See below.
Access, Parking and Servicing Code	Not applicable	The application is for building work only and the code applies to Operational Work or Material Change of use or Reconfiguring a Lot only.
Filling and Excavation Code	Applies	Consideration of Performance Outcome

		PO1 is required. See below.
Infrastructure Works Code	Not applicable	The application is for building work only and the code applies to Operational Work or Material Change of use or Reconfiguring a Lot only.

6.1.1 Statement of Compliance – Benchmark Assessment

6.1.1.1 Environmental Management Zone Code

Performance Outcomes PO5 and PO6 State, respectively:

Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.

AND

Buildings and structures are responsive to steep slope through innovative construction techniques so as to:

- (a) maintain the geotechnical stability of slopes;
- (b) minimise cut and/or fill;
- (c) minimise the overall height of development

The location and access to the proposed outbuilding have been identified to create the least impact on the site. It has been located on the area of least slope and the access is designed to cut across the contours to limit the earthworks required. The proposed development would not result in earthworks that would affect slope stability and is considered to be designed to respond to site constraints. The proposed development is considered to satisfy the Performance Outcomes.

6.1.1.2 Hillslopes Overlay Code

Performance Outcomes PO2 and PO3 of the Hillslopes Overlay Code state, respectively:

The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.

and

Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through:

- (a) loss of privacy;

- (b) loss of access to sunlight;
- (c) intrusion of visual or overbearing impacts;
- (d) complex engineering solutions.

The proposed outbuilding would be located on the lower part of the site below the existing dwelling house and would retain the scenic backdrop to the region. In addition, excavation and fill would be limited to that required to construct the driveway extension and the building pad for the outbuilding. The shed would be located below the existing house and adjacent houses and would:

- not result in the loss of privacy;
- not result in the loss of access to sunlight;
- not result in visual or overbearing impacts; and,
- not require complex engineering solutions.

The proposed development is considered to satisfy Acceptable Outcomes and relevant Performance Outcomes where the Acceptable Outcomes are not satisfied.

6.1.1.3 Potential Landslide Hazard Overlay Code

Performance Outcome PO2 states:

The siting and design of necessary retaining structures does not cause an adverse visual impact on landscape character or scenic amenity quality of the area.

The proposed outbuilding would be located in an existing cleared area and on the lower part of the site, below the existing dwelling house. It would not be visually prominent given existing development and would retain the scenic backdrop to the region and landscape character of the area. The proposed development complies with the performance outcome.

6.1.1.4 Filling and Excavation Code Code

Performance Outcome PO1 states:

All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.

The proposed outbuilding would be located on the lower part of the site below the existing dwelling house and would retain the scenic backdrop to the region. In addition, excavation and fill would be limited to that required to construct the driveway extension and the building pad for the outbuilding. The shed would be located below the existing house and adjacent houses and would:

- not impact on slope stability;
- not increase erosion potential; or
- result in visual or overbearing impacts.

7.0 Summary and Conclusion

This report has been prepared on behalf of Alfred Partridge in support of a Development Application to Douglas Shire Council for a Development Permit for Building Work Assessable against the Planning Scheme for the purpose of a Domestic Outbuilding (Shed) on land located at 8 Anchor Court, Killaloe, and described as Lot 2 on RP843599.

The application site is a single hillside rural lifestyle allotment and contains an area of 5,415m² and with frontage to Anchor Court of approximately 55 metres. The site is currently developed with a dwelling house that is setback approximately 34 metres from the site frontage. The setback area is predominantly cleared of vegetation and maintained as curtilage to the dwelling house. Access to the site is provide by a single driveway from Anchor Court located to the northern end of the frontage.

It is proposed to develop a Domestic Outbuilding on the site. The building would be located in the dwelling house setback area and would be accessed via an extension of the driveway across the slope of the site. The development would not require the removal of any vegetation; however, it would require minor earthworks to create a level building pad and extend the driveway.

The application is identified as being Code Assessable and consideration can only be given to the Assessment Benchmarks contained in the Planning Scheme. An assessment has demonstrated that the development is consistent with the Assessment Benchmarks and is a suitable development on the site.

The application is submitted for approval, subject to reasonable and relevant conditions.

Appendix 1.

CERTIFICATE OF TITLE

CURRENT TITLE SEARCH

NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 34618164

Search Date: 06/08/2020 15:16

Title Reference: 21527117

Date Created: 05/03/1993

Previous Title: 21512188

REGISTERED OWNER

Dealing No: 715543447 15/01/2014

ALFRED DENNIS PARTRIDGE

ESTATE AND LAND

Estate in Fee Simple

LOT 2 REGISTERED PLAN 843599
Local Government: DOUGLAS

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20121082 (POR 46V)
2. MORTGAGE No 715543448 15/01/2014 at 11:38
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.B.N. 11
005 357 522

ADMINISTRATIVE ADVICES

Dealing	Type	Lodgement Date	Status
716208634	OWNER BUILD	16/12/2014 14:42	CURRENT

QUEENSLAND BUILDING AND CONSTRUCTION COMMISSION ACT 1991

UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

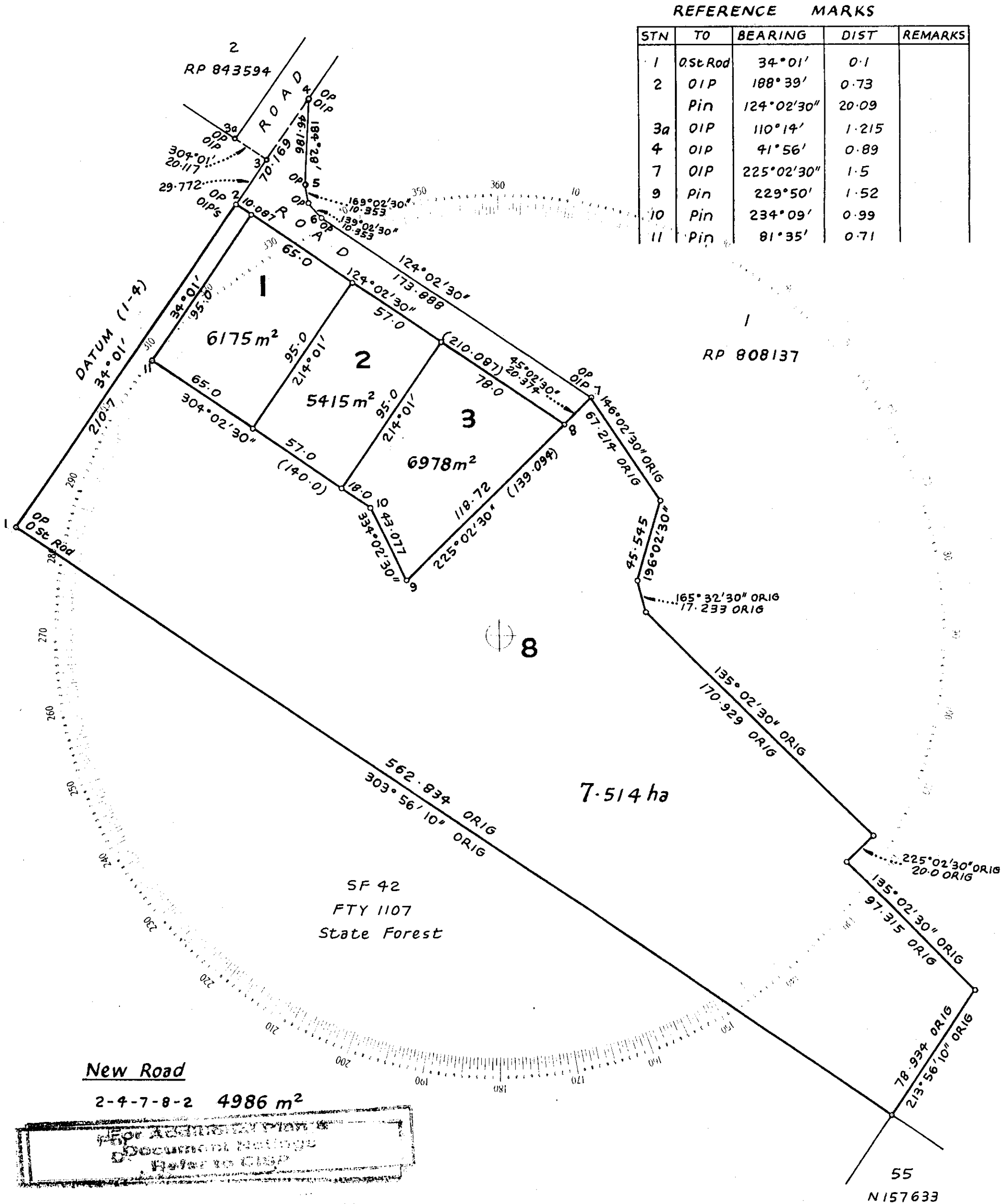
** End of Current Title Search **

COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2020]
Requested By: D-ENQ GLOBALX

843599

PLAN MUST BE DRAWN WITHIN BLACK LINES

843599



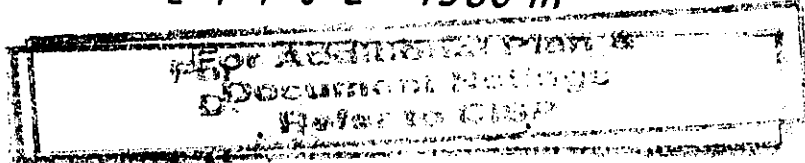
843599

PLAN MUST BE DRAWN WITHIN BLACK LINES

843599

New Road

2-4-7-8-2 4986 m²



Branded peg pld at new corners

Original information compiled from
RP 808137 in the Department of Lands.

I, JEREMY MATTHEW SCRIVEN
hereby certify that I/the Company have surveyed the
land comprised in this plan ~~either personally or by~~
personally
~~for whose work the Company accept responsibility~~,
that the plan is accurate, that the said survey was
performed in accordance with the Surveyors Act and
the Surveyors Regulations and that the said survey
was completed on 1.6.92

Licensed Surveyor/
Director

Director
Date 1.9.92

PLAN OF Lots 1 - 3 & 8

Cancelling Lot 2 on RP 808137

ORIGINAL POR 46 V

MERIDIAN
RP 724707

MAP REF
7964-9038

SCALE
1:2000

FILE REF

NO SURVEY RECORDS DEPOSITED

ENDORSED
3/2/93

REGISTERING DIST
DT (N)

PARISH VICTORY
COUNTY Solander

TOWN/LOCALITY

LOCAL AUTHORITY

LAND AGENTS/MINING
DISTRICT

MINING FIELD

Douglas S.C.
CAIRNS

REGISTERED PLAN 843599

Appendix 2.

PROPOSAL PLANS



Form 15—Compliance certificate for building design or specification

NOTE: This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb/locality and postcode)

8 Anchor Court, Killaloe

Postcode 4877

Lot and plan details (attach list if necessary)

In which local government area is the land situated?

Douglas Shire Council

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

All Structural Aspects

Footings

Slab

Load Bearing & Bracing Walls

Roof Framing & Tie Down

Retaining Wall

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

We further certify that we have designed the footings for the above project based on the site being classified in accordance with AS 2870, the Residential Slabs and Footings Code, as minimum Class "S". The builder shall satisfy himself that the site is class "S" or better.

Region "C2", Design Gust Wind Speed, 61m/s ultimate limit state.

AS 1170 parts 0,1 & 2

AS 2870

AS 3600

AS 3700

AS 4100

AS 4600

AS 4678

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Dwg No's: S00A – S06A by Rodgers Consulting Engineers

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

5. Building certifier reference number	Building certifier reference number <div></div>	
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) <div>Heath P Rodgers</div> Company name (if applicable) <div>Rodgers Consulting Engineers</div> Contact person <div>Heath Rodgers</div> Phone no. (business hours) Mobile no. Fax no. <div>07 4051 9466</div> <div>0418 692 087</div> <div>07 4051 9477</div> Email address <div>admin@rodgersconsulting.com.au</div> Postal address <div>PO Box 1769</div> <div>Cairns Qld</div> <div>Postcode 4870</div> Licence or registration number (if applicable) <div>RPEQ 7859</div>	
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	Signature Date <div></div> <div>17-08-2020</div>	

The *Building Act 1975* is administered by the Department of Housing and Public Works

GENERAL NOTES

1. THE ENGINEERING NOTES UNDER THE JOB NUMBER ABOVE ARE PART OF THE DRAWINGS, AND ARE TO BE ATTACHED TO EACH SET OF DRAWINGS TO BE WORKED FROM.
2. ENGINEERING DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS, AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT SAA CODES, AND BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES, EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
4. ALL RELEVANT DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEERS' DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
5. DURING CONSTRUCTION THE STRUCTURE WITH ITS ALL STRUCTURAL ELEMENTS SHALL NOT BE OVERSTRESSED, AND SHALL BE MAINTAINED IN A STABLE CONDITION. TEMPORARY SHORING, PROPPING AND BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP ALL EXCAVATIONS AND THE STRUCTURE STABLE AT ALL TIMES.
6. UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.
7. THE STRUCTURAL COMPONENTS DETAILED ON THE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT CODES AND LOCAL GOVERNMENT ORDINANCES FOR THE LOADINGS INDICATED.
8. UNDO STANDS FOR 'UNLESS NOTED OTHERWISE':

SERVICE LOADS

1. LIVE LOADS TO AS 1170, PART 1 0.25 kPa
2. WIND LOADS TO AS 1170, PART 2
- REGION 'C2', DESIGN GUST WIND SPEED 61m/s ULTIMATE LIMIT STATE.

FOOTINGS

1. THE BUILDER SHALL FAMILIARISE HIMSELF WITH THE CONTENTS OF THE SOILS REPORT WHERE AVAILABLE AND STRICTLY ADHERE TO THE RECOMMENDATIONS CONTAINED THEREIN. ALL FOOTINGS ARE TO BE INSPECTED AND APPROVED PRIOR TO PLACING CONCRETE.
2. FOOTINGS SHALL BE LOCATED CENTRALLY UNDER COLUMNS AND WALLS, AND STRIP FOOTINGS SHALL BE CAST ON HORIZONTALLY EXCAVATED BENCHES, UNLESS SPECIFICALLY DETAILED OTHERWISE.
3. THE DESIGN OF THE STRUCTURE HAS BEEN BASED ON THE FOUNDATION HAVING A MINIMUM BEARING CAPACITY OF 100 kPa.
4. FOOTINGS ARE TO BE CONSTRUCTED AND BACK FILLED AS SOON AS POSSIBLE FOLLOWING EXCAVATION TO AVOID SOFTENING OR DRYING OUT DUE TO EXPOSURE.

BUILDING PLATFORM PREPARATION

1. BUILDING PLATFORM PREPARATION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3798, GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT, AND OTHERWISE AS DIRECTED IN THE ENGINEERING DOCUMENTATION.
2. ALL WORK INCLUDING ANY TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND CODES OF PRACTICE, IN PARTICULAR AS 2870
3. - RESIDENTIAL SLABS AND FOOTINGS
- STRIP BUILDING PLATFORM OF TOPSOIL, DELETERIOUS ORGANICS, AND ANY OTHER DELETERIOUS MATERIAL.
4. COMPACT THE EXPOSED SUBGRADE WITH SUITABLE EQUIPMENT TO A MINIMUM DRY DENSITY RATIO 95% USING STANDARD COMPACTION, OR A DENSITY INDEX OF AT LEAST 70%.
5. RAISE BUILDING PAD A MAXIMUM OF 300MM WITH APPROVED SAND OR CRUSHERDUST FILL COMPACTED TO A DENSITY INDEX OF AT LEAST 70%.

FOUNDATION MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CSIRO BROCHURE, "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE".

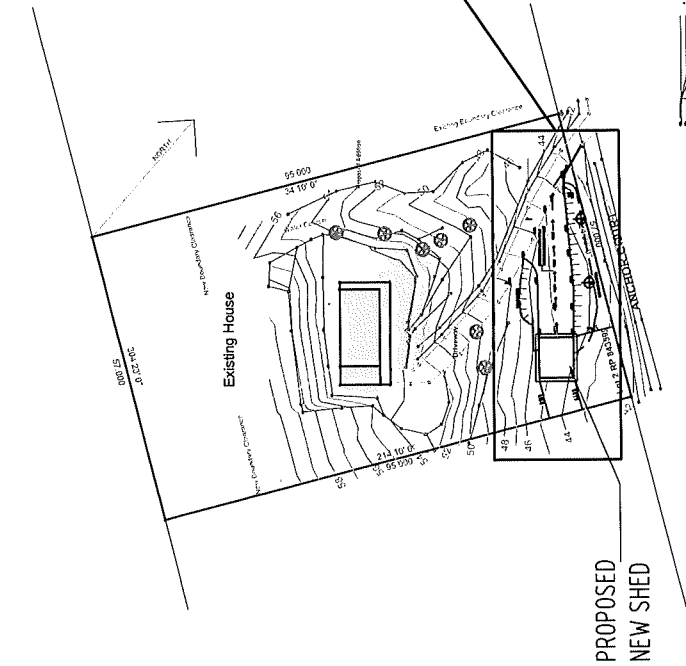
CONCRETE AND REINFORCEMENT

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS 3600 CONCRETE STRUCTURE CODE.
2. CONCRETE SPECIFICATION SHALL BE:
ELEMENT GRADE SLUMP MAX AGG
FILLING 200mm N20 230-30 10
GROUND SLAB & FOOTINGS N25 80-15 20
REINFORCEMENT IS SHOWN DIAGRAMMATICALLY; IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION. WHERE TRANSVERSE TIE BARS ARE NOT SHOWN, PROVIDE N12-300.
4. ALL REINFORCEMENT SHALL BE IN ACCORDANCE WITH AS 4671.
SYMBOLS:
R, RF, SL HARD DRAWN WIRE REINFORCING FABRIC
F STRUCTURAL GRADE 230R ROUND BAR
S STRUCTURAL GRADE 230S DEFORMED BAR
Y HOT ROLLED GRADE 430Y DEFORMED BAR
N GRADE 500N DEFORMED BAR
N GRADE BAR MAY BE SUBSTITUTED FOR Y GRADE BAR.
COVER TO REINFORCEMENT SHALL BE:
(a) FOOTINGS IN GROUND 75mm BOTTOM, 65mm SIDES AND TOP
(b) FOOTINGS ON MEMBRANE 50mm BOTTOM
(c) SLAB ON GROUND 30mm NOMINAL, 20mm MINIMUM TOP 50mm BOTTOM
(d) WITHIN CONCRETE MASONRY BLOCK - 10mm.
REINFORCEMENT SHALL BE SUPPORTED ON APPROVED CHAIRS AT 800mm CENTRES.
7. SPLICE LAPS UNLESS SHOWN OTHERWISE:
FABRIC - 1 COMPLETE MESH - 50mm, DEFORMED BAR - 30 X BAR DIAMETER MINIMUM.
8. CONSTRUCTION JOINTS SHALL BE SCABBLED AND CLEANED AND COATED WITH CEMENT/WATER SLURRY IMMEDIATELY PRIOR TO PLACING CONCRETE.
9. CONCRETE SHALL BE COMPACTED USING MECHANICAL VIBRATORS.
10. CONCRETE SHALL BE CURED TO AS 3799 FOR A MINIMUM OF 7 DAYS BY A METHOD APPROVED BY THE ENGINEER.
11. CONTROL JOINTS SHALL BE CONSTRUCTED AS SPECIFIED. SAW CUTTING SHALL BE CARRIED OUT WITHIN 6 HOURS OF CONCRETE HARDENING.

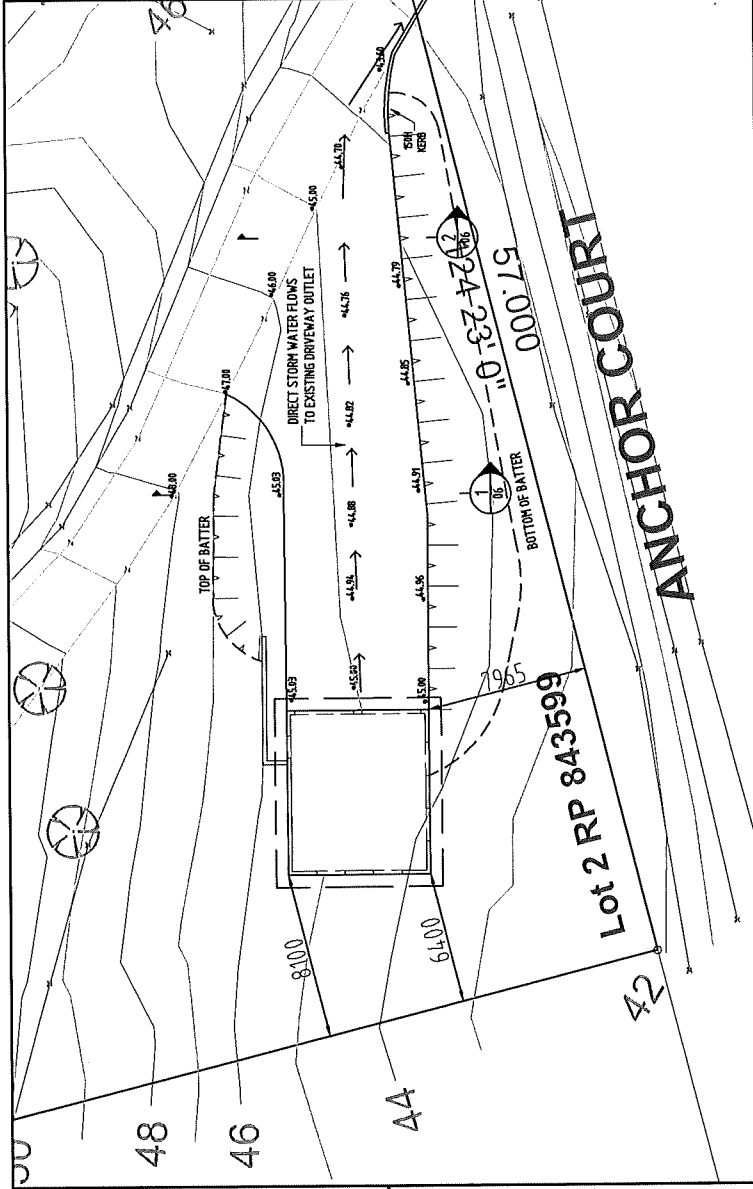
STEEL WORK

1. ALL STEEL WORK SHALL BE IN ACCORDANCE WITH AS 4100 - STEEL STRUCTURES CODE, AND AS 4600 - COLD FORMED STEEL STRUCTURES CODE.
2. THE CONTRACTOR SHALL PROVIDE AND SUPPLY ANY ADDITIONAL TEMPORARY BRACING ETC. NECESSARY TO ADEQUATELY AND SAFELY HOLD STEEL WORK IN POSITION DURING CONSTRUCTION.
3. ALL WELDING SHALL BE IN ACCORDANCE WITH AS 1554 STRUCTURAL STEEL WELDING CODE.
4. ALL STEEL WORK EXPOSED TO THE WEATHER SHALL BE GALVANISED OR UNDERCOAT PAINTED WITH ONE COAT 0.075mm MINIMUM DRY THICKNESS OF TWO PACK INORGANIC AIR CURED ZINC SILICATE APPLIED WITHIN 2 HOURS OF APPROVED PREPARATION. SUCH UNDERCOAT SHALL BE TOP COAT PROTECTED TO THE APPROVAL OF THE ARCHITECT / DESIGNER.
5. GALVANISING WITH HOT DIPPING SHALL BE TO AS 1627 AND AS/NZS 4680.
6. PAINTING AND PREPARATION SHALL BE TO MANUFACTURER'S SPECIFICATION.
7. IF NOT OTHERWISE SPECIFIED ABRASIVE CLEANING PRIOR TO PAINTING SHALL BE CLASS 2.5 TO AS 1627.4.
8. BOLTS SHALL BE GALVANISED. A SUITABLE WASHER SHALL BE USED UNDER ALL NUTS.
9. BOLT LEGEND: 4.6S - COMMERCIAL GRADE 4.6 BOLTS, SNUG TIGHTENED.
1. 8.8S - HIGH STRENGTH GRADE 8.8 BOLTS, SNUG TIGHTENED.
10. UNLESS OTHERWISE SPECIFIED, THE FOLLOWING SHALL APPLY:
a. CLEATS, BRACKETS, STIFFENERS ETC. - EX. 6mm PLATE
b. WELDING - 6mm CONTINUOUS FILLET TO FULL PERIMETER AT CONTACT
c. BOLT HOLE CLEARANCE - 2mm, HOLD DOWN BOLT HOLE CLEARANCE - 4mm
d. ALL BOLTS CAST INTO CONCRETE TO BE HOT DIPPED GALVANISED
e. BUTT WELDS SHALL BE QUALIFIED COMPLETE PENETRATION IN ACCORDANCE WITH AS 1554.1
f. END PLATES TO ALL HOLLOW MEMBERS SHALL BE EQUAL TO WALL THICKNESS OR MINIMUM 4mm. PROVIDE BREATHER HOLES IF MEMBERS ARE TO BE HOT DIPPED GALVANISED.
g. CONNECTIONS - MINIMUM OF 2-M16 4.6/S BOLTS.
h. BRACING SHALL INTERSECT ON CENTERLINES OF MEMBERS.
11. FABRICATOR SHALL ALLOW FOR ALL CLEATS AND OTHER FIXINGS REQUIRED. ALL BEAMS HAVING A NATURAL CAMBER WITHIN THE STRAIGHTNESS TOLERANCE SHALL BE ERRECTED WITH THE CAMBER UP. BEAMS AND TRUSSES OVER 6.0m SPANS SHALL BE PRE CAMBERED 1 IN 500 (UNO).
12. ALL PURLINS AND GIRTS, FIXINGS AND ACCESSORIES, SHALL BE GALVANISED COLD FORMED. INSTALLATION OF ALL ACCESSORIES SHALL BE TO THE MANUFACTURER'S SPECIFICATION.
13. METAL ROOF CLADDING INSTALLED WITH METAL ROOF BATTENS SHALL HAVE THE CLADDING, BATTENS WITH BATTEN SPACING, AND FIXINGS, CERTIFIED BY THE SUPPLIER FOR THE NOMINATED PROFILE, FOR THE WIND LOAD NOMINATED ON PAGE 1, THE LOADING NOTES. THEY SHALL BE COMPLIANT WITH CURRENT AUSTRALIAN STANDARDS AND CODES OF PRACTICE.

REV	DESCRIPTION	APP'D	DATE	RODGERS CONSULTING ENGINEERS		CLIENT:	A. PARTIDGE	DRAFTED:	REVIEWED:	APPROVED:							
A P1	FOR CONSTRUCTION PRELIMINARY		17/07/2024 03/08/2020	COMMERCIAL IN CONFIDENCE - COPYRIGHT RESERVED THIS DRAWING AND ALL INFORMATION CONTAINED THEREON SHALL REMAIN THE PROPERTY OF RODGERS CONSULTING AND SHALL BE RETURNED ON DEMAND. IT IS ISSUED TO THE CLIENT THAT EXCEPT WITH WRITTEN PERMISSION IT MUST NOT BE REPRODUCED, COPIED OR COMMUNICATED TO ANY OTHER PARTY NOR BE USED FOR ANY PURPOSE OTHER THAN THAT STATED IN THE PARTICULAR INDUSTRY ORDER IN CONTRACT WITH WHICH IT WAS ISSUED.	124 SPENCE STREET P.O. BOX 1769 CAIRNS 4870 admin@roddgersconsulting.com.au PHONE: 07 4051 9466 FAX: 07 4051 9477 HEATH RODGERS RPEQ 7859	PROJECT:	GARAGE & DRIVEWAY 8 ANCHOR CT, KILLALOE QLD 4877	DESIGNED: U	A3 TITLE								
											TITLE:	STRUCTURAL NOTES	SCALE:	AS SHOWN	PROJECT NO: 200189	DWG NO: S00	REV: A

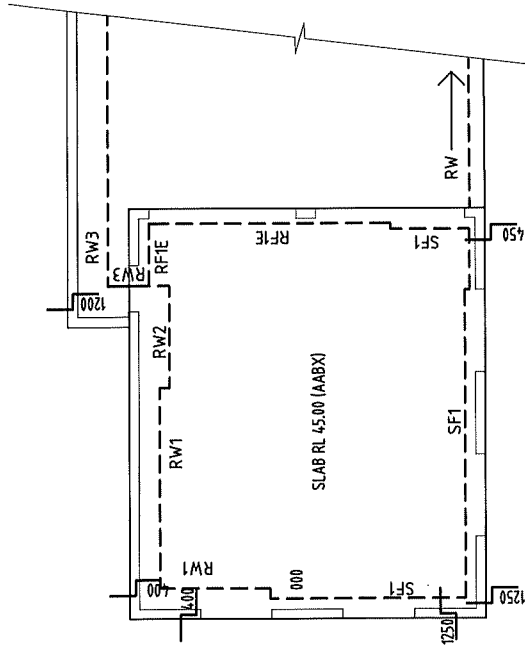


SITE PLAN LOT 2 RP 843599
8 ANCHOR COURT
SCALE 1:1000



SITE PLAN LOT 2 RP 843599
8 ANCHOR COURT
SCALE 1:200

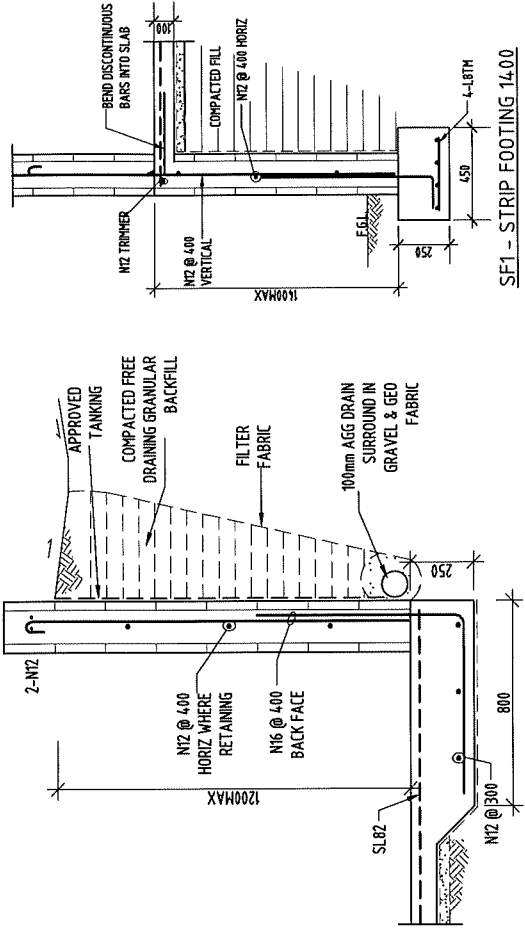
REV	DESCRIPTION	APPD	DATE	COMMERCIAL IN CONFIDENCE - COPYRIGHT RESERVED THIS DRAWING AND ALL INFORMATION CONTAINED THEREIN SHALL REMAIN THE PROPERTY OF RODGERS CONSULTING AND SHALL BE RETURNED ON DEMAND. IT IS ISSUED ON THE CONDITION THAT EXCEPT WITH WRITTEN PERMISSION IT MUST NOT BE REPRODUCED, COPIED OR COMMUNICATED TO ANY OTHER PARTY NOR BE USED FOR ANY PURPOSE OTHER THAN THAT STATED IN THE PARTICULAR ENQUIRY. ORDER OR CONTRACT WITH WHICH IT WAS ISSUED.			
A	FOR CONSTRUCTION		17/08/2020				
P1	PRELIMINARY		03/08/2020				
				RODGER'S CONSULTING ENGINEERS 124 SPENCE STREET P.O. BOX 1769 CAIRNS 4870 admin@rodgersconsulting.com.au PHONE: 07 4051 9466 FAX: 07 4051 9477 HEATH RODGERS RPEQ 7859			
				CLIENT:	A. PARTIDGE	DRAFTED:	U
				PROJECT:	GARAGE & DRIVEWAY 8 ANCHOR CT, KILLALOE QLD 4877	DESIGNED:	U
				TITLE:	SITE PLAN	SCALE:	AS SHOWN
				APPROVED:	HR	PROJECT NO:	200189
						DWG NO:	S01
						REV:	A



FOOTING PLAN

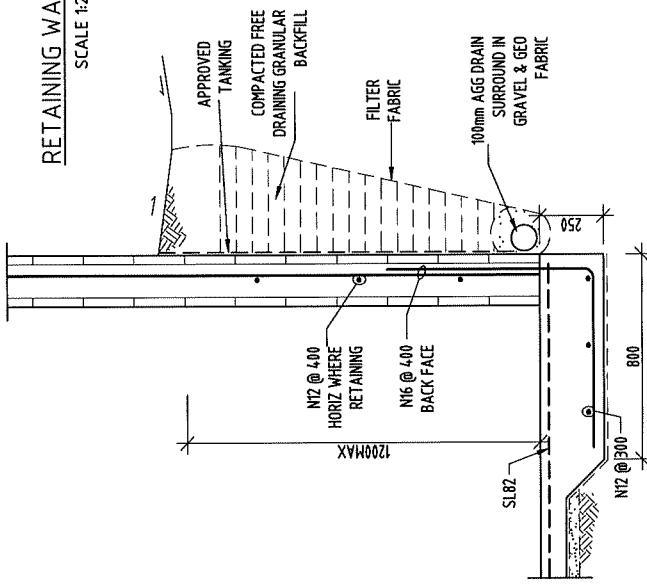
SCALE 1:100

- 100mm THICK SLAB ON COMPACTED FILL OR SUBGRADE
- SL72 TOP MESH, 30mm COVER
- RETAINING WALL OPTIONAL
- OTHERWISE SLOPE EMBANKMENT TO LEVEL OF DRIVEWAY



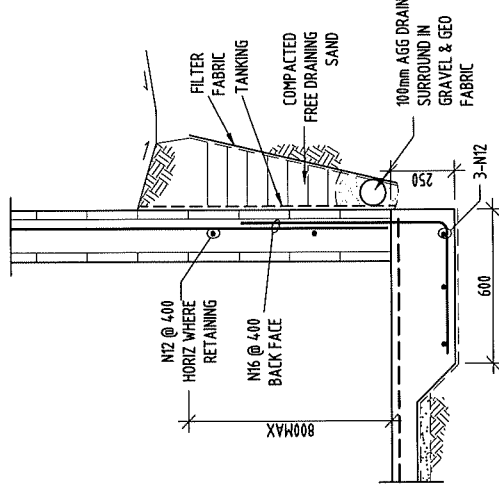
RETAINING WALL - RW3

SCALE 1:20



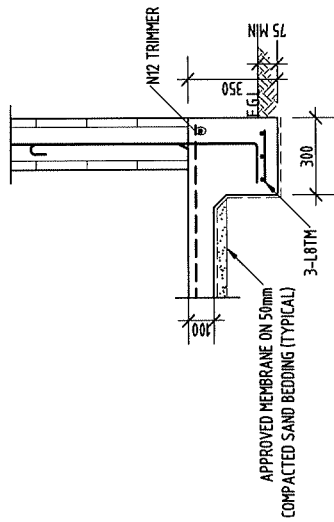
RETAINING WALL - RW2

SCALE 1:20



RETAINING WALL - RW1

SCALE 1:20



RF1E - RAFT FOOTING - EDGE

SCALE 1:20

REV	DESCRIPTION	APP'D	DATE	CLIENT	A. PARTIDGE	DRAFTED:	REVIEWED:	APPROVED:
				PROJECT:	GARAGE & DRIVEWAY 8 ANCHOR CT, KILLADEE QLD 4877	DESIGNED:	HR	
				TITLE:	FOOTING PLAN & DETAILS	SCALE:	AS SHOWN	
						PROJECT NO:	200189	DWG NO: S02
						REV:		A

RODGERS CONSULTING ENGINEERS

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HEATH RODGERS RPEQ 7859
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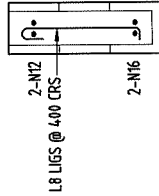
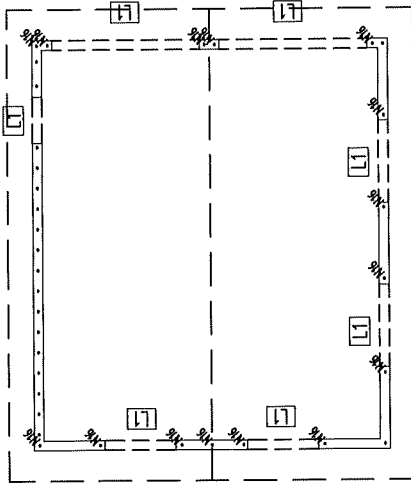
17/07/2020
13/08/2020

FOR CONSTRUCTION
PRELIMINARY

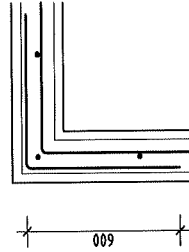
CM WALL REINFORCEMENT

GROUND

PROVIDE N12 BAR AT CORNERS, WALL INTERSECTIONS, END OF WALLS, WALL CJ, AND OTHERWISE AT 600 CRS. LAP 600 (200 CM AND 150 CM WALLS) UNO.
PROVIDE N16 BAR ADJACENT TO ALL OPENINGS > 1000 UNO.
2-N12 IN SINGLE BOND BEAM TO SILLS
2-N12 IN SINGLE BOND BEAM TO LINTELS < 1800
2-N16 IN SINGLE BOND BEAM TO LINTELS 1800 TO 2400 WITH N12-400 STIRRUPS
2-N16 IN SINGLE BOND BEAM TO LINTELS > 2400 TO 3800 WITH N12-200 STIRRUPS



L1-LINTEL
SCALE 1:20



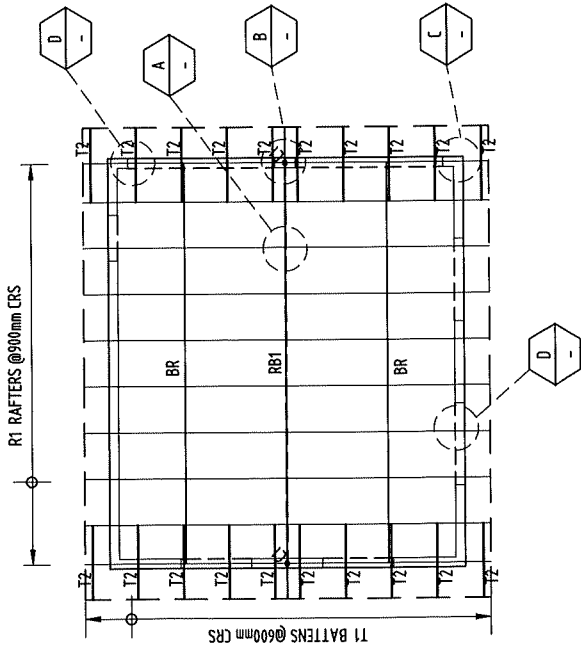
WALL BEAM CORNER
SCALE 1:20

WALL PLAN
SCALE 1:100

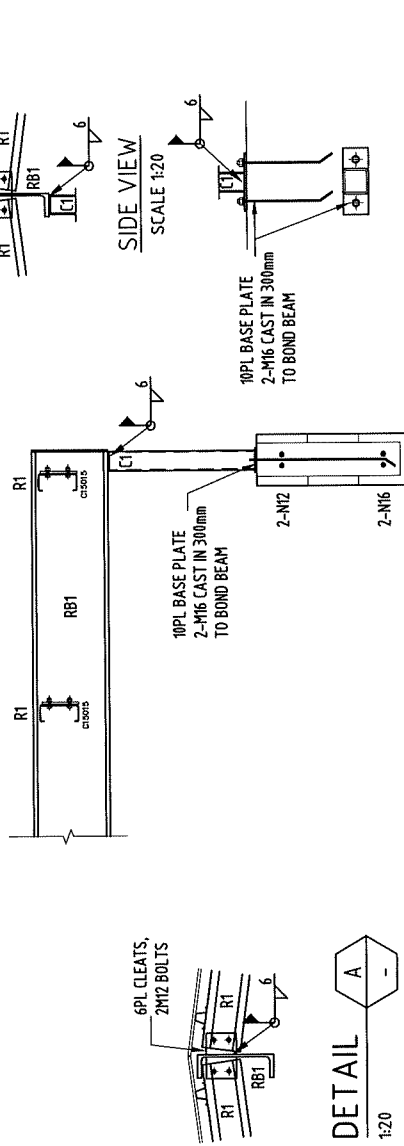
REV	DESCRIPTION	APPD	DATE	COMERCIAL IN CONFIDENCE - COPYRIGHT RESERVED THIS DRAWING AND ALL INFORMATION CONTAINED THEREON SHALL REMAIN THE PROPERTY OF RODGERS CONSULTING AND SHALL BE RETURNED ON DEMAND. IT IS ISSUED ON THE CONDITION THAT THE USER SHALL NOT REPRODUCE, COPY OR COMMUNICATE TO ANY OTHER PARTY ANY DESIGN OR ANY INFORMATION OTHER THAN THAT STATED IN THE PARTICULAR ENQUIRY, ORDER OR CONTRACT WITH WHICH IT WAS ISSUED.	RODGERS CONSULTING ENGINEERS 124 SPENCE STREET P.O. BOX 1769 CAIRNS 4870 admin@rodgersconsulting.com.au PHONE: 07 4051 9466 FAX: 07 4051 9477 HEATH RODGERS RPEQ 7859	CLIENT: A. PARTIDGE PROJECT: GARAGE & DRIVEWAY 8 ANCHOR CT, KILLALDE OLD 4877 TITLE: WALL PLAN, NOTES & DETAILS	DRAFTED: L DESIGNED: L SCALE: AS SHOWN	REVIEWED: HR A3 TITLE PROJECT NO: 200189	APPROVED: [Signature] DWG NO: S03 REV: A
A	FOR CONSTRUCTION		17/08/2020						
P1	PRELIMINARY		03/08/2020						

MEMBER SCHEDULE

C1	75x75x4.0 COLUMN
R1	C150-15(1) RAFTERS
RB1	300PFC RIDGE BEAM
T1	TOPHAT 40x0.75 BATTENS
BR	RAFTER BRIDGING
T2	40x2.0 SHS BATTEN OVERHANG

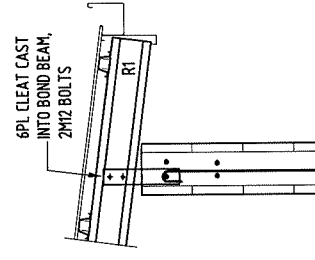


ROOF PLAN
SCALE 1:100

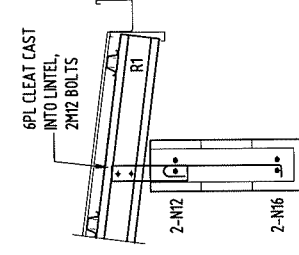


DETAIL A
1:20

DETAIL B
1:20



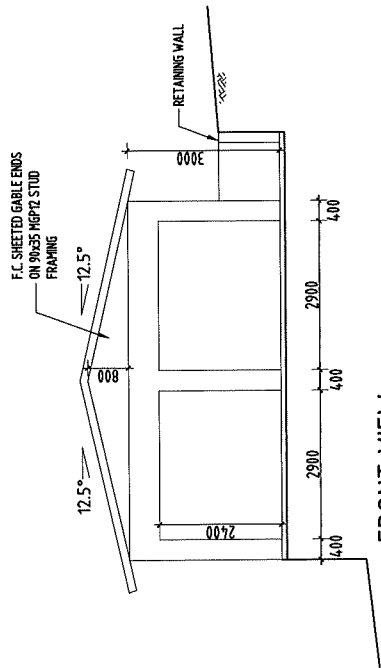
DETAIL C
1:20



DETAIL D
1:20

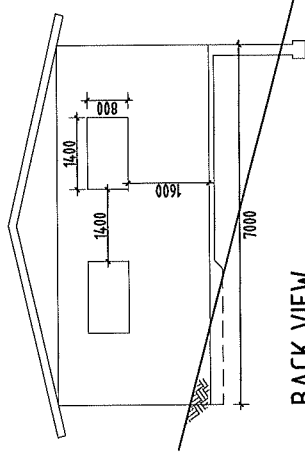
ROOF BATTENS
- TOPSPAN 40x0.75 BATTENS

REV	DESCRIPTION	APP'D	DATE	CLIENT	A. PARTIDGE	DRAFTED:	REVIEWED:	APPROVED:
A	FOR CONSTRUCTION		17/08/2020	PROJECT:	GARAGE & DRIVEWAY 8 ANCHOR CT, KILLALOE QLD 4877	DESIGNED:	A3 TITLE	
P1	PRELIMINARY		03/08/2020	TITLE:	ROOF PLAN & DETAILS	SCALE:	200189	DWG NO: S04
				RODGERS CONSULTING ENGINEERS				
				124 SPENCE STREET P.O. BOX 1769 CAIRNS 4870 admin@roddgersconsulting.com.au				
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				STATED IN THE PARTICULAR ENQUIRY, ORDER OR CONTRACT WITH WHICH IT WAS ISSUED.				



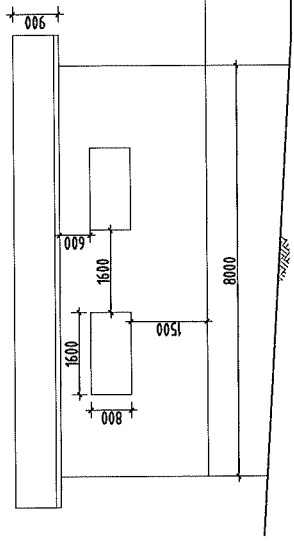
FRONT VIEW

SCALE 1:100



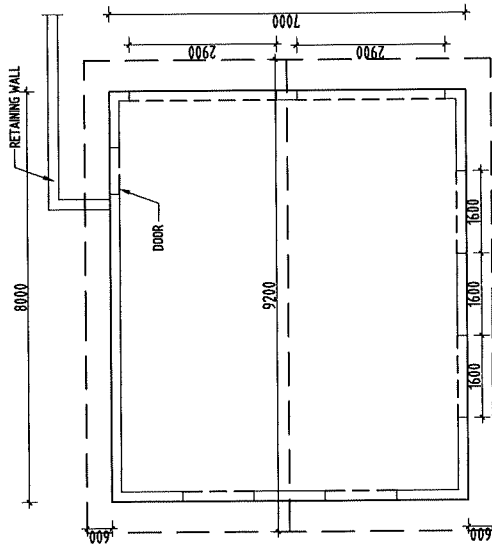
BACK VIEW

SCALE 1:100



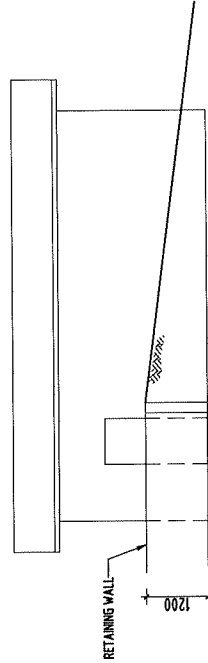
LEFT SIDE VIEW

SCALE 1:100



FLOOR PLAN

SCALE 1:100



RIGHT SIDE VIEW

SCALE 1:100

REV	DESCRIPTION	APP'D	DATE
A	FOR CONSTRUCTION PRELIMINARY		17/08/2020
P1			03/08/2020

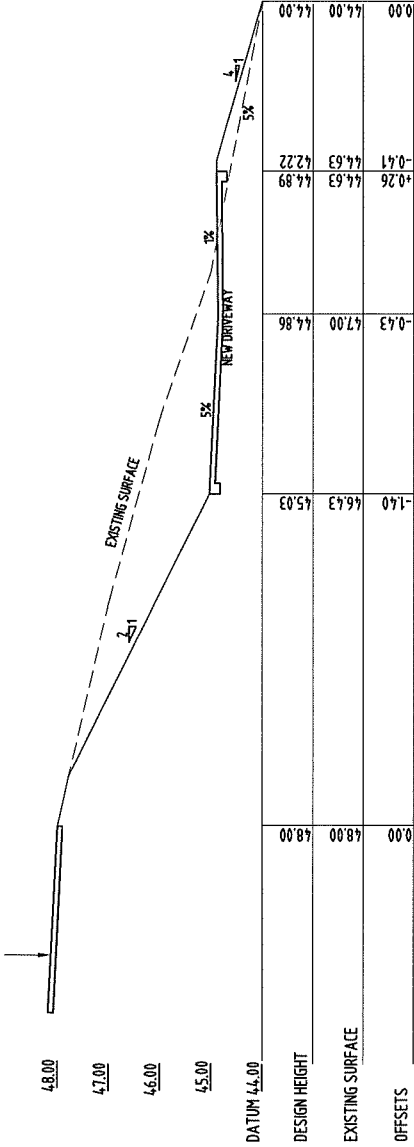
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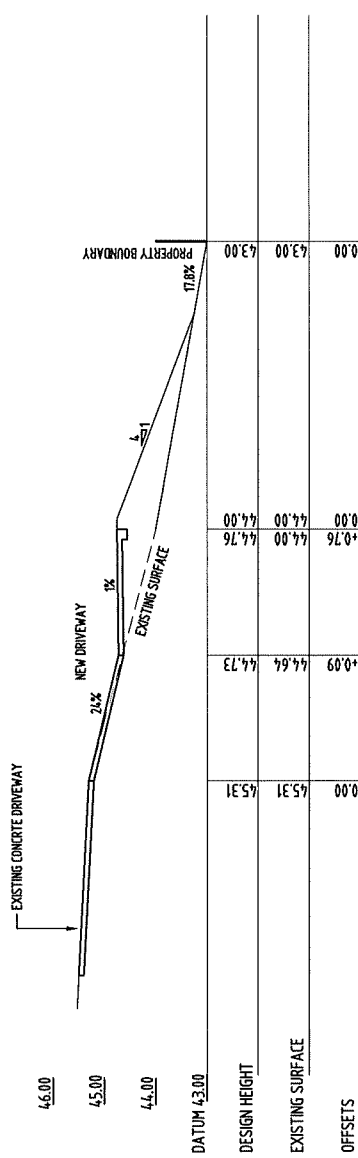
CLIENT: A. PARTIDGE
PROJECT: GARAGE & DRIVEWAY
8 ANCHOR CT. KILLALOE QLD 4877
TITLE: ELEVATIONS AND DIMENSIONS

DRAFTED:	DESIGNED:	SCALE:	PROJECT NO:	DWG NO:	REV:
J	J	AS SHOWN	200189	505	A

APPROVED:



SECTION 1
1:100



SECTION 2
1:100

REV	DESCRIPTION	APP'D	DATE	RODGERS CONSULTING ENGINEERS		CLIENT	A. PARTIDGE	DRAFTED:	REVIEWED:	APPROVED:
				124 SPENCE STREET P.O. BOX 1769 CARNS 4870 admin@roddgersconsulting.com.au		PROJECT:	GARAGE & DRIVEWAY 8 ANCHOR CT, KILLADE QLD 4877	DESIGNED:	A3 TITLE	HR
				HEATH RODGERS RPEQ 7859		TITLE:	DRIVEWAY ELEVATIONS	SCALE:	AS SHOWN	PROJECT NO: 200189
				17/06/2020						DWG NO: S06
				03/08/2020						REV: A

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Appendix 3.

PLANNING BENCHMARK ASSESSMENT



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6.2.4 Environmental management zone code

6.2.6.1 Application

- (1) This code applies to assessing development in the Environmental management zone.
- (2) When using this code, reference should be made to Part 5.

6.2.4.2 Purpose

- (1) The purpose of the Environmental management zone code is to recognise environmentally sensitive areas and provide for houses on lots and other low impact activities where suitable.

These areas are protected from intrusion of any urban, suburban, centre or industrial land use.

- (2) The local government purpose of the code is to:
 - (a) implement the policy direction set in the Strategic Framework, in particular:
 - (i) Theme 2 : Environment and landscape values, Element 3.5.3 – Biodiversity, Element 3.5.5 – Scenic amenity.
 - (b) protect and buffer areas of environmental significance from inappropriate development.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development is generally restricted to a dwelling house;
 - (b) Adverse impacts on natural systems, both on-site and on adjoining land are minimised through the location, design and management of development;
 - (c) Development reflects and responds to the natural features and environmental values of the area;



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- (d) Visual impacts are minimised through the location and design of development;
- (e) Development does not adversely affect water quality;
- (f) Development responds to land constraints, including but not limited to topography, vegetation, bushfire, landslide and flooding.

6.2.4.3 Criteria for assessment

Table 6.2.4.3.a – Environmental management zone – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
PO1 The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites	AO1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height.	Complies with AO1 The proposed outbuilding would be approximately 4 metres in height.
	AO1.2 Buildings have a roof height of less than 2 metres	Complies with AO1.2 The roof height would be approximately 1 metre.



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Performance outcomes	Acceptable outcomes	Compliance
PO2 Buildings and structures are set back to: <ul style="list-style-type: none"> (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages 	AO2 Buildings and structures are set back not less than: <ul style="list-style-type: none"> (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site. 	Complies with AO2 The proposed outbuilding would be setback 7.9 metres from the front boundary and a minimum of 6.4 metres from the side and rear boundaries.
For assessable development		
PO3 Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses.	AO3 Inconsistent uses as identified in Table 6.2.4.3.b are not established in the Environmental management zone.	Not applicable The proposed development is for building works only.
PO4	AO4	Complies with PO4



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Performance outcomes	Acceptable outcomes	Compliance
The site coverage of all buildings and structures and associated services do not have an adverse effect on the environmental or scenic values of the site.	No acceptable outcomes are prescribed.	There would be a minimal increase in site coverage as a result of the development.
<p>PO5</p> <p>Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1</p> <p>Buildings, structures and associated access, infrastructure and private open space are sited:</p> <ul style="list-style-type: none"> (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; (c) to minimise additional vegetation clearing. 	<p>Complies with AO5.1</p> <p>The area of development has already been cleared of any native vegetation.</p>
	<p>AO5.2</p> <p>Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline</p>	<p>Complies with PO5</p> <p>The location and access to the proposed outbuilding has been identified to create the least impact on the site. It has been located on the area of least slope and the access is designed to</p>



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Performance outcomes	Acceptable outcomes	Compliance
		cut across the contours to limit the earthworks required.
PO6 Buildings and structures are responsive to steep slope through innovative construction techniques so as to: <ul style="list-style-type: none"> (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; (c) minimise the overall height of development 	AO6.1 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised.	Complies with PO6 The location and access to the proposed outbuilding has been identified to create the least impact on the site. It has been located on the area of least slope and the access is designed to cut across the contours to limit the earthworks required.
	AO6.2 Access and vehicle manoeuvring and parking areas are constructed and maintained to: <ul style="list-style-type: none"> (a) minimise erosion; (b) minimise cut and fill; (c) follow the natural contours of the site. 	Complies with AO6.2 The proposed access to the outbuilding has been located to follow the contours of the site and designed to manage stormwater, minimise erosion and reduce earthworks.
PO7	AO7	Able to comply with AO7



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Performance outcomes	Acceptable outcomes	Compliance
The exterior finishes of buildings and structures are consistent with the surrounding natural environment	The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.	The exterior finish of the outbuilding would be selected to complement the existing dwelling house. Council are invited to attach a condition to any approval to secure compliance if necessary.
PO8 Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	AO8 No acceptable outcomes are prescribed.	Complies with PO8 The proposed outbuilding would not result in any greater impact than the existing development.
PO9 The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	AO9 The maximum residential density is one dwelling house per lot.	Complies with AO9 The proposal would not result in an increase in residential density.
PO10 Lot reconfiguration results in no additional lots.	AO10 No acceptable outcomes are prescribed.	Not applicable No new lots are proposed.



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Performance outcomes	Acceptable outcomes	Compliance
Note - Boundary realignments to resolve encroachments and lot amalgamation are considered appropriate.		



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8.2.2 Bushfire hazard overlay code

Note - Land shown on the bushfire hazard overlay map is designated as the bushfire prone area for the purposes of section 12 of the Building Regulations 2006. The bushfire hazard area (bushfire prone area) includes land covered by the high and medium hazard areas as well as the buffer area category on the overlay map.

8.2.2.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational works or building work in the Bushfire hazard overlay, if:
 - (a) self-assessable or assessable where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Bushfire hazard overlay is identified on the Bushfire hazard overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Medium bushfire risk sub-category;
 - (b) High bushfire risk sub-category;
 - (c) Very high bushfire risk sub-category;
 - (d) Potential impact buffer sub-category.
- (3) When using this code, reference should be made to Part 5.

8.2.2.2 Purpose

- (1) The purpose of the Bushfire overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;



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- (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
- (b) enable an assessment of whether development is suitable on land within the Bushfire risk overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development avoids the establishment or intensification of vulnerable activities within or near areas that are subject to bushfire hazard;
 - (b) development is designed and located to minimise risks to people and property from bushfires;
 - (c) bushfire risk mitigation treatments are accommodated in a manner that avoids or minimises impacts on the natural environment and ecological processes;
 - (d) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a bushfire event;
 - (e) development contributes to effective and efficient disaster management response and recovery capabilities.

Note - A site based assessment may ground-truth the extent of hazardous vegetation and extent and nature of the bushfire hazard area (bushfire prone area). Such assessments should be undertaken using the methodology set out in Planning scheme policy SC6.9 - Natural Hazards.



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8.2.2.3 Criteria for assessment

Table 8.2.2.3.a – Bushfire hazard overlay code –assessable development

Performance outcomes		Acceptable outcomes	Compliance
For self-assessable and assessable development			
Compatible development			
<p>PO1</p> <p>A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances.</p> <p>Note - See the end of this code for examples of vulnerable uses.</p>	<p>AO1</p> <p>Vulnerable uses are not established or expanded.</p> <p>Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan.</p> <p>Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected to prepare such a plan.</p> <p>Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a</p>	<p>Complies with AO1</p> <p>The proposal does not involve a vulnerable use.</p>	



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Performance outcomes	Acceptable outcomes	Compliance
	Bushfire Management Plan.	
P02 Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.	AO2 Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.	Complies with AO2 The proposal does not involve Emergency Services.
P03 Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.	AO3 The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.	Complies with AO3 The proposal does not involve hazardous materials.
Development design and separation from bushfire hazard – reconfiguration of lots		
P04.1 Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m ² at the edge of	AO4.1 No new lots are created within a bushfire hazard sub-category. or	Not applicable The development is not for reconfiguring a lot.



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Performance outcomes	Acceptable outcomes	Compliance
<p>the proposed lot(s).</p> <p>Note - “Urban purposes” and “urban area” are defined in the <i>Sustainable Planning Regulations 2009</i>.</p> <p>Reconfiguration will be taken to be for rural residential purposes where proposed lots are between 2000m² and 2ha in area. “Smaller scale” rural residential purposes will be taken to be where the average proposed lot size is 6000m² or less.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>		
<p>PO4.2</p> <p>Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m² at any point.</p>	<p>AO4.2</p> <p>Lots are separated from hazardous vegetation by a distance that:</p> <p>(a) achieves radiant heat flux level of 29kW/m² at all boundaries; and</p> <p>(b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas</p>	<p>Not applicable</p> <p>The development is not for reconfiguring a lot.</p>



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Performance outcomes	Acceptable outcomes	Compliance
	<p>external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	
<p>PO5</p> <p>Where reconfiguration is undertaken in an urban area or is for urban purposes, a constructed perimeter road with reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access is available for both fire fighting and</p>	<p>AO5.1</p> <p>Lot boundaries are separated from hazardous vegetation by a public road which:</p> <ul style="list-style-type: none"> (a) has a two lane sealed carriageway; (b) contains a reticulated water supply; (c) is connected to other public roads at both ends and at intervals of no more than 500m; (d) accommodates geometry and turning radii in accordance with Queensland Fire and 	<p>Not applicable</p> <p>The development is not for reconfiguring a lot.</p>



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Performance outcomes	Acceptable outcomes	Compliance
maintenance/defensive works.	<p>Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p> <p>(e) has a minimum of 4.8m vertical clearance above the road;</p> <p>(f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and</p> <p>(g) incorporates roll-over kerbing.</p>	
	<p>AO5.2</p> <p>Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise specified by the relevant water entity.</p> <p>Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>	<p>Not applicable</p> <p>The development is not for reconfiguring a lot.</p>
<p>PO6</p> <p>Where reconfiguration is undertaken for smaller scale rural residential purposes, either a</p>	<p>AO6</p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p>	<p>Not applicable</p> <p>The development is not for reconfiguring a lot.</p>



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Performance outcomes	Acceptable outcomes	Compliance
<p>constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p>	<ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network at 	



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Performance outcomes	Acceptable outcomes	Compliance
	<p>intervals of no more than 500m;</p> <p>(j) designated fire trail signage;</p> <p>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</p> <p>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</p>	
<p>P07</p> <p>Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and either the lot boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<p>A07</p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <p>(a) a reserve or easement width of at least 20m;</p> <p>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</p> <p>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</p> <p>(d) a minimum of 4.8m vertical clearance;</p>	<p>Not applicable</p> <p>The development is not for reconfiguring a lot.</p>



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Performance outcomes	Acceptable outcomes	Compliance
	<ul style="list-style-type: none"> (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	
PO8	AO8	Not applicable



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Performance outcomes	Acceptable outcomes	Compliance
<p>The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.</p>	<p>The lot layout:</p> <ul style="list-style-type: none"> (a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation; (b) avoids the creation of potential bottle-neck points in the movement network; (c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; and (d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion. <p>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots.</p> <p>In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled</p>	<p>The development is not for reconfiguring a lot.</p>



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Performance outcomes	Acceptable outcomes	Compliance
	<p>“Undertaking a Bushfire Protection Plan.</p> <p>Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate</p>	
<p>PO9</p> <p>Critical infrastructure does not increase the potential bushfire hazard.</p>	<p>AO9</p> <p>Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.</p>	<p>Not applicable</p> <p>The development is not for reconfiguring a lot.</p>
Development design and separation from bushfire hazard – material change of use		
<p>PO10</p> <p>Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of:</p> <p>(e) 10kW/m² where involving a vulnerable use; or</p> <p>(f) 29kW/m² otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances</p>	<p>AO10</p> <p>Buildings or building envelopes are separated from hazardous vegetation by a distance that:</p> <p>(a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m² for a vulnerable use or 29kW/m² otherwise; and</p> <p>(b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas</p>	<p>Not applicable</p> <p>The development is not for a material change of use.</p>



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Performance outcomes	Acceptable outcomes	Compliance
are to be established in accordance with method 2 set out in AS3959-2009.	<p>external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	
<p>PO11</p> <p>A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<p>AO11</p> <p>Development sites are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls 	<p>Not applicable</p> <p>The development is not for a material change of use.</p>



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Performance outcomes	Acceptable outcomes	Compliance
<p>Note - Fire trails are unlikely to be required where a development site involves less than 2.5ha</p>	<p>adjacent to the 4m wide trafficable path;</p> <p>(d) a minimum of 4.8m vertical clearance;</p> <p>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p> <p>(f) a maximum gradient of 12.5%;</p> <p>(g) a cross fall of no greater than 10 degrees;</p> <p>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</p> <p>(i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m;</p> <p>(j) designated fire trail signage;</p> <p>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</p>	



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Performance outcomes	Acceptable outcomes	Compliance
	(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.	
All development		
PO12 All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances.	AO12 Private driveways: (a) do not exceed a length of 60m from the street to the building; (b) do not exceed a gradient of 12.5%; (c) have a minimum width of 3.5m; (d) have a minimum of 4.8m vertical clearance; (e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and (f) serve no more than 3 dwellings or buildings.	Complies with AO12 The proposed driveway would not exceed 60 metres in length.
PO13	AO13	Not applicable



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Performance outcomes	Acceptable outcomes	Compliance
Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.	<p>A water tank is provided within 10m of each building (other than a class 10 building) which:</p> <ul style="list-style-type: none"> (a) is either below ground level or of non-flammable construction; (b) has a take off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters: <ul style="list-style-type: none"> (i) 10,000l for residential buildings <p>Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams.</p> <ul style="list-style-type: none"> (ii) 45,000l for industrial buildings; and (iii) 20,000l for other buildings; (c) includes shielding of tanks and pumps in accordance with the relevant standards; (d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank; (e) is provided with fire brigade tank fittings – 50mm ball valve and male camlock coupling 	The proposed building would be a class 10 building.



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Performance outcomes	Acceptable outcomes	Compliance
	and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and (f) is clearly identified by directional signage provided at the street frontage.	
PO14 Landscaping does not increase the potential bushfire risk.	AO14 Landscaping uses species that are less likely to exacerbate a bushfire event and does not increase fuel loads within separation areas.	Not applicable No landscaping is proposed.
PO15 The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but not limited to, biodiversity or scenic amenity).	AO15 Bushfire risk mitigation treatments do not have a significant impact on the natural environment or landscape character of the locality where this has value.	Not applicable No bushfire risk mitigation treatments are required.



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8.2.5 Hillslopes overlay code

8.2.5.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Hillslopes overlay, if:
 - (a) self assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Hillslopes overlay is identified on the Hillslopes overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Hillslopes constraint sub-category.
- (3) When using this code, reference should be made to Part 5.

8.2.5.2 Purpose

- (1) The purpose of the Hillslopes overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 1 - Settlement pattern: Element 3.4.7 Mitigation of hazards;
 - (ii) Theme 2 – Environment and landscape values: Element 3.5.5 Scenic amenity.
 - (b) enable an assessment of whether development is suitable on land within the Hillslopes sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:



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- (a) development on hillslopes is safe, serviceable and accessible;
- (b) the ecological values, landscape character and visual quality of the hillslopes are protected from development so as to retain the scenic backdrop to the region;
- (c) Development on hillslopes is appropriate, having regard to the topographic constraints and environmental characteristics of the land;
- (d) Development responds to the constraints of the site including gradient and slope stability;
- (e) Works do not involve complex engineering solutions.

8.2.5.3 Criteria for assessment

Table Error! No text of specified style in document..a – Hillslopes overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable development		
PO1 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	AO1.1 Development is located on parts of the site that are not within the Hillslopes constraint subcategory as shown on the Hillslopes overlay Maps contained in schedule 2.	Complies with PO1 The proposed outbuilding would be located on the lower part of the site below the existing dwelling house and would retain the scenic backdrop to the region.
For assessable development		
PO2	AO2.1	Complies with PO2



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Performance outcomes	Acceptable outcomes	Compliance
The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region	Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) or AO2.2 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.	The proposed outbuilding would be located on the lower part of the site below the existing dwelling house and would retain the scenic backdrop to the region.
	AO2.3 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to minimise the visual impact of the construction; (c) provided with erosion control measures immediately after construction.	Complies with AO2.3 The proposed driveway extension would be constructed of the same material as the existing material.
	AO2.4 The clearing or disturbance of vegetation is limited to clearing and disturbance that: (a) is necessary for the construction of driveways;	Complies with AO2.4 The construction of the outbuilding would not require the removal of any vegetation.



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Performance outcomes	Acceptable outcomes	Compliance
	(b) is necessary to contain the proposed development; (c) minimises canopy clearing or disturbance; (d) minimises riparian clearing or disturbance.	
	AO2.5 On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).	Complies with PO2 The proposed outbuilding would be located on the lower part of the site below the existing dwelling house and would retain the scenic backdrop to the region.
	AO2.6 Development does not alter the sky line.	Complies with AO2.6 The proposed outbuilding would be located on the lower part of the site below the existing dwelling house and would not alter the sky line.
	AO2.7 Buildings and structures:	Able to comply with AO2.7 The outbuilding would be finished to complement the existing house. Council are invited to attach a



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Performance outcomes	Acceptable outcomes	Compliance
	<p>(a) are finished predominantly in the following exterior colours or surfaces:</p> <ul style="list-style-type: none"> (i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; <p>(b) are not finished in the following exterior colours or surfaces:</p> <ul style="list-style-type: none"> (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces. 	<p>condition to any approval granted to secure compliance if considered appropriate.</p>
	<p>AO2.8</p> <p>Exterior colour schemes limit the use of white or</p>	<p>Able to comply with AO2.8</p> <p>The outbuilding would be finished to complement</p>



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Performance outcomes	Acceptable outcomes	Compliance
	other light colours to exterior trim and highlighting of architectural features	the existing house. Council are invited to attach a condition to any approval granted to secure compliance if considered appropriate.
	AO2.9 Areas between the first floor (including outdoor deck areas) and ground level are screened from view.	Not applicable There would be no area between the floor level and the ground.
	AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land: <ul style="list-style-type: none"> (a) with a gradient of 1 in 6 (16.6%) or more; (b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks. 	Not applicable No recreational facilities are proposed.
PO3 Excavation or filling does not have an adverse impact on the amenity, safety, stability or function	AO3 Excavation or fill:	Complies with PO3 Excavation and fill would be limited to that required to construct the driveway extension and the



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Performance outcomes	Acceptable outcomes	Compliance
<p>of the site or adjoining premises through:</p> <ul style="list-style-type: none"> (a) loss of privacy; (b) loss of access to sunlight; (c) intrusion of visual or overbearing impacts; (d) complex engineering solutions. 	<ul style="list-style-type: none"> (a) is not more than 1.2 metres in height for each batter or retaining wall; (b) is setback a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping; (d) does not exceed a maximum of 3 batters and 3 berms (i.e. not greater than 3.6 metres in height) on any one lot. 	<p>building pad for the outbuilding. The shed would be located below the existing house and adjacent houses and would:</p> <ul style="list-style-type: none"> • not result in the loss of privacy; • not result in the loss of access to sunlight; • not result in visual or overbearing impacts; and, • not require complex engineering solutions.
Lot reconfiguration		
<p>PO4</p> <p>For development that involves reconfiguring a lot, lot layout and design is responsive to the natural constraints of the land and each lot is capable of being used for its intended purpose.</p>	<p>AO4.1</p> <p>The frontage and depth of all lots is of sufficient width to:</p> <ul style="list-style-type: none"> (a) allow driveways to follow the natural contours of the site and not exceed a gradient of 1 in 6 (16.6%); 	<p>Not applicable</p> <p>The proposal does not involve lot reconfiguration.</p>



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Performance outcomes	Acceptable outcomes	Compliance
	(b) accommodate any changes in gradient between the road and lot within the lot boundary and not within the road reserve.	
	AO4.2 Development does not create new lots containing land of greater than 1 in 6 (16.6%), except where a rectangular area of land of lesser grade is contained within the new lots to accommodate the intended land use, with the balance left in its natural state to the greatest extent possible. Note – The size of rectangular areas is outlined within each zone code.	Not applicable The proposal does not involve lot reconfiguration.
	AO4.3 Development does not alter ridgelines.	Not applicable The proposal does not involve lot reconfiguration.
	AO4.4 Lots are designed to ensure rooflines of future buildings and structures do not protrude above a ridgeline.	Not applicable The proposal does not involve lot reconfiguration.



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8.2.7 Natural areas overlay code

8.2.7.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Natural areas overlay, if:
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Natural areas overlay is identified on the Natural areas overlay map in Schedule 2 and includes the following sub-categories:
 - (a) MSES – Protected area;
 - (b) MSES – Marine park;
 - (c) MSES – Wildlife habitat;
 - (d) MSES – Regulated vegetation;
 - (e) MSES – Regulated vegetation (intersecting a Watercourse);
 - (f) MSES – High ecological significance wetlands;
 - (g) MSES – High ecological value waters (wetlands);
 - (h) MSES – High ecological value waters (watercourse);
 - (i) MSES – Legally secured off set area.

Note – MSES = Matters of State Environmental Significance.



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(3) When using this code, reference should be made to Part 5.

8.2.7.2 Purpose

(1) The purpose of the Natural areas overlay code is to:

(a) implement the policy direction in the Strategic Framework, in particular:

- (i) Theme 2: Environment and landscape values, Element 3.5.3 Biodiversity, Element 3.5.4 Coastal zones;
- (ii) Theme 3: Natural resource management Element 3.6.2 Land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.

(b) enable an assessment of whether development is suitable on land within the Biodiversity area overlay sub-categories.

(2) The purpose of the code will be achieved through the following overall outcomes:

(a) development is avoided within:

- (i) areas containing matters of state environmental significance (MSES);
- (ii) other natural areas;
- (iii) wetlands and wetland buffers;
- (iv) waterways and waterway corridors.

(b) where development cannot be avoided, development:

- (i) protects and enhances areas containing matters of state environmental significance;
- (ii) provides appropriate buffers;
- (iii) protects the known populations and supporting habitat of rare and threatened flora and fauna species, as listed in the relevant State and Commonwealth legislation;



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- (iv) ensures that adverse direct or indirect impacts on areas of environmental significance are minimised through design, siting, operation, management and mitigation measures;
 - (v) does not cause adverse impacts on the integrity and quality of water in upstream or downstream catchments, including the Great Barrier Reef World Heritage Area;
 - (vi) protects and maintains ecological and hydrological functions of wetlands, waterways and waterway corridors;
 - (vii) enhances connectivity across barriers for aquatic species and habitats;
 - (viii) rehabilitates degraded areas to provide improved habitat condition, connectivity, function and extent;
 - (ix) protects areas of environmental significance from weeds, pests and invasive species.
- (c) strategic rehabilitation is directed to areas on or off site, where it is possible to achieve expanded habitats and increased connectivity.

8.2.7.3 Criteria for assessment

Table 8.2.7.3.a – Natural areas overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Protection of matters of environmental significance		
PO1	AO1.1	Complies with AO1.1



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Performance outcomes	Acceptable outcomes	Compliance
Development protects matters of environmental significance.	<p>Development avoids significant impact on the relevant environmental values.</p> <p>or</p> <p>AO1.2</p> <p>A report is prepared by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, that the development site does not contain any matters of state and local environmental significance.</p> <p>or</p> <p>AO1.3</p> <p>Development is located, designed and operated to mitigate significant impacts on environmental values. For example, a report certified by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, how the proposed development mitigates impacts, including on water</p>	<p>The proposed outbuilding would be located in an existing cleared area.</p>



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Performance outcomes	Acceptable outcomes	Compliance
	quality, hydrology and biological processes.	
Management of impacts on matters of environmental significance		
PO2 Development is located, designed and constructed to avoid significant impacts on matters of environmental significance.	AO2 The design and layout of development minimises adverse impacts on ecologically important areas by: <ul style="list-style-type: none"> (a) focusing development in cleared areas to protect existing habitat; (b) utilising design to consolidate density and preserve existing habitat and native vegetation; (c) aligning new property boundaries to maintain ecologically important areas; (d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas; 	Complies with AO2 The development would be within an existing disturbed and cleared area.



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Performance outcomes	Acceptable outcomes	Compliance
	(e) ensuring that significant fauna habitats are protected in their environmental context; and (f) incorporating measures that allow for the safe movement of fauna through the site.	
PO3 An adequate buffer to areas of state environmental significance is provided and maintained.	AO3.1 A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of: (a) 100 metres where the area is located outside Urban areas; or (b) 50 metres where the area is located within Urban areas. or AO3.2 A buffer for an area of state environmental significance is applied and maintained, the width of	Not applicable The site is not within a wetland protection area.



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Performance outcomes	Acceptable outcomes	Compliance
	which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.	
PO4 Wetland and wetland buffer areas are maintained, protected and restored. Note – Wetland buffer areas are identified in AO3.1.	AO4.1 Native vegetation within wetlands and wetland buffer areas is retained.	Not applicable The site does not contain a wetland buffer area.
	AO4.2 Degraded sections of wetlands and wetland buffer areas are revegetated with endemic native plants in patterns and densities, which emulate the relevant regional ecosystem.	Not applicable The site does not contain a wetland buffer area.
PO5 Development avoids the introduction of non-native pest species (plant or animal) that pose a	AO5.1 Development avoids the introduction of non-native pest species.	Complies with AO5.1 It is not proposed to introduce pest species.



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Performance outcomes	Acceptable outcomes	Compliance
risk to ecological integrity.	AO5.2 The threat of existing pest species is controlled by adopting pest management practices for long-term ecological integrity.	Not applicable There are no known pest species on the site.
Ecological connectivity		
PO6 Development protects and enhances ecological connectivity and/or habitat extent.	AO6.1 Development retains native vegetation in areas large enough to maintain ecological values, functions and processes. and AO6.2 Development within an ecological corridor rehabilitates native vegetation. and	Not applicable The site is not within an identified wildlife habitat area.



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Performance outcomes	Acceptable outcomes	Compliance
	<p>AO6.3</p> <p>Development within a conservation corridor mitigates adverse impacts on native fauna, feeding, nesting, breeding and roosting sites and native fauna movements.</p>	
<p>PO7</p> <p>Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).</p>	<p>AO7.1</p> <p>Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation.</p> <p>and</p> <p>AO7.2</p> <p>Development does not encroach within 10 metres of existing riparian vegetation and watercourses.</p>	<p>Complies with AO7.1 and AO7.2</p> <p>The development would not cause any shading of native vegetation and is not adjacent a riparian corridor.</p>
Waterways in an urban area		



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Performance outcomes	Acceptable outcomes	Compliance
PO8 Development is set back from waterways to protect and maintain: (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration.	AO8.1 Where a waterway is contained within an easement or a reserve required for that purpose, development does not occur within the easement or reserve; or AO8.2 Development does not occur on the part of the site affected by the waterway corridor. Note – Waterway corridors are identified within 8.	Not applicable The site does not contain any waterways.
Waterways in a non-urban area		
PO9 Development is set back from waterways to	AO9 Development does not occur on that part of the site	Not applicable The site does not contain any waterways.



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Performance outcomes	Acceptable outcomes	Compliance
protect and maintain: (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration.	affected by a waterway corridor. Note – Waterway corridors are identified within table 8.2.7.3.b.	



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8.2.9 Potential landslide hazard overlay code

8.2.9.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Potential landslide hazard overlay; if
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Potential landslip hazard overlay is identified on the Potential landslide hazard overlay maps in Schedule 2 and includes the following sub-categories:
 - (a) Places of potential landslide hazard sub-category.
- (3) When using this code, reference should be made to Part 5.

Note – The Potential landslide hazard overlay shows modelled areas where the factors contributing to landslip potential accumulate to provide a moderate or higher risk if certain factors are exacerbated (e.g. factors include significant vegetation clearing, filling and excavation, changes to soil characteristics, changes to overland water flow, or changes to sub-surface water flow). It shows areas that the Council has identified where landslides may occur and where land may be impacted by a landslide but does not mean that landslides will occur or that the land will be impacted by a landslide. Other areas not contained within the potential landslide hazard overlay may sustain landslides or be impacted by landslides and consideration should be given to this issue, where appropriate.



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8.2.9.2 Purpose

- (1) The purpose of the Potential landslide hazard overlay code is:
 - (a) implement the policy direction of the Strategic Framework, in particular:
 - (i) Theme 1: Settlement pattern Element 3.4.7 Mitigation of hazards.
 - (b) enable an assessment of whether development is suitable on land within the Potential landslip hazard overlay.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is located, designed and constructed to not put at risk the safety of people, property and the environment;
 - (b) development is not at risk from and does not pose a risk to adjacent and nearby sites from landslides;
 - (c) ensures that community infrastructure is protected from the effects of potential landslides;
 - (d) ensures that vegetation clearing, stormwater management and filling and/or excavation does not create a landslide hazard and/or rectifies potential pre-existing landslide risks;
 - (e) development does not occur where works to provide a solution for safety of people, property or the environment involves complex engineering solutions to overcome the risk, or would result in a built form or outcome that causes an adverse visual impact on the Hillslopes or Landscape values of Douglas Shire.



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8.2.9.3 Criteria for assessment

Table Error! No text of specified style in document..a – Potential landslide hazard overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
<p>PO1</p> <p>The siting and design of development does not involve complex engineering solutions and does not create or increase the potential landslide hazard risk to the site or adjoining premises through:</p> <ul style="list-style-type: none"> (a) building design; (b) increased slope; (c) removal of vegetation; (d) stability of soil; (e) earthworks; (f) alteration of existing ground water or surface water paths; (g) waste disposal areas. 	<p>AO1.1</p> <p>Development is located on that part of the site not affected by the Potential landslide hazard overlay.</p> <p>or</p> <p>AO1.2</p> <p>Development is on an existing stable, benched site and requires no further earthworks</p> <p>or</p> <p>AO1.3</p> <p>A competent person certifies that:</p> <ul style="list-style-type: none"> (a) the stability of the site, including associated buildings and infrastructure, will be maintained during the course of the development and will remain stable for the life of the development; 	<p>Complies with AO1.1</p> <p>The proposed outbuilding would be located on [art of the site not affected by the overlay.</p>



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Performance outcomes	Acceptable outcomes	Compliance
	<p>(b) development of the site will not increase the risk of landslide hazard activity on other land, including land above the site;</p> <p>(c) the site is not subject to the risk of landslide activity on other land;</p> <p>(d) any measures identified in a site-specific geotechnical report for stabilising the site or development have been fully implemented;</p> <p>(e) development does not concentrate existing ground water and surface water paths;</p> <p>(f) development does not incorporate on-site waste water disposal.</p> <p>Note – Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geo-technical assessment.</p> <p>Note – Development may alter the conditions of ground water and surface water paths in accordance with a site-specific geotechnical report, but should ensure that its final disbursement is as-per pre-developed</p>	



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Performance outcomes	Acceptable outcomes	Compliance
	conditions. Consideration for location, velocity, volume and quality should be given.	
PO2 The siting and design of necessary retaining structures does not cause an adverse visual impact on landscape character or scenic amenity quality of the area.	AO2 Excavation or fill: (a) is not more than 1.2 metres in height for each batter or retaining wall; (b) is setback a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping; (d) does not exceed a maximum of 3 batters and 3 berms (i.e. Not greater than 3.6 metres in height) on any one lot.	Complies with PO2 The proposed outbuilding would be located on the lower part of the site and below the existing dwelling house. It would retain the scenic backdrop to the region and landscape character of the area.
Additional requirements for Community infrastructure		
PO3 Development for community infrastructure:	AO3	Not applicable



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Performance outcomes	Acceptable outcomes	Compliance
<p>(a) is not at risk from the potential landslide hazard areas;</p> <p>(b) will function without impediment from a landslide;</p> <p>(c) provides access to the infrastructure without impediment from the effects of a landslide;</p> <p>(d) does not contribute to an elevated risk of a landslide to adjoining properties.</p>	<p>Development is designed in accordance with the recommendations of a site-specific geotechnical assessment which makes reference to the community infrastructure and its needs and function.</p> <p>Note - A site specific geotechnical assessment will detail requirements that will address the Acceptable Outcomes of this Performance Outcome. Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geotechnical assessment.</p>	<p>The development is not for community infrastructure.</p>



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9.4.4 Filling and excavation code

9.4.4.1 Application

- (1) This code applies to assessing:
 - (a) operational work for filling or excavation which is self-assessable or code assessable development if this code is an applicable code identified in the assessment criteria column of a table of assessment; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where this code is identified as a prescribed secondary code in the assessment criteria column of a table of assessment; or
 - (ii) impact assessable development, to the extent relevant.

Note—This code does not apply to building work that is regulated under the Building Code of Australia.

- (2) When using this code, reference should be made to Part 5.

9.4.4.2 Purpose

- (1) The purpose of the Filling and excavation code is to assess the suitability of development for filling or excavation.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) filling or excavation does not impact on the character or amenity of the site and surrounding areas;
 - (b) filling and excavation does not adversely impact on the environment;
 - (c) filling and excavation does not impact on water quality or drainage of upstream, downstream or adjoining properties;
 - (d) filling and excavation is designed to be fit for purpose and does not create land stability issues;



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- (e) filling and excavation works do not involve complex engineering solutions.

9.4.4.3 Criteria for assessment

Table 9.4.4.3.a – Filling and excavation code – for self-assessable and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Filling and excavation - General		
<p>PO1</p> <p>All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.</p>	<p>AO1.1</p> <p>The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height.</p> <p>and</p> <p>Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.</p>	<p>Complies with PO1.</p> <p>The proposed outbuilding would be located on the lower part of the site below the existing dwelling house and would retain the scenic backdrop to the region. In addition, excavation and fill would be limited to that required to construct the driveway extension and the building pad for the outbuilding. The shed would be located below the existing house and adjacent houses and would:</p> <ul style="list-style-type: none"> • not impact on slope stability;



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Performance outcomes	Acceptable outcomes	Compliance
		<ul style="list-style-type: none"> not increase erosion potential; or result in visual or overbearing impacts.
	AO1.2 Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation.	Complies with AO1.2 The proposed earthworks would be engineer designed and supported by batters and retaining walls.
	AO1.3 Cuts are screened from view by the siting of the building/structure, wherever possible.	Not Applicable The batters required for the driveway cannot be screened by buildings and would be incorporated into the site landscaping.
	AO1.4 Topsoil from the site is retained from cuttings and reused on benches/terraces.	Complies with AO1.4 The batters would be covered with top soils and planted to integrate with the existing landscaping.
	AO1.5	Complies with AO1.5



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Performance outcomes	Acceptable outcomes	Compliance
	No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.	No earthworks would be undertaken within 600mm of any boundary.
	AO1.6 Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.	Complies with Ao1.6 The batters would be planted to integrate with the existing site landscaping.
Visual Impact and Site Stability		
PO2 Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining	AO2.1 The extent of filling and excavation does not exceed 40% of the site area, or 500m ² whichever is the lesser, except that AO2.1 does not apply to	Complies with AO2.1 The earthworks is minor and only that which is necessary for the building works and access.



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Performance outcomes	Acceptable outcomes	Compliance
properties is not compromised.	reconfiguration of 5 lots or more.	
	AO2.2 Filling and excavation does not occur within 2 metres of the site boundary.	Complies with AO2.2 No excavation or fill would be undertaken within 2 metres of any boundary.
Flooding and drainage		
PO3 Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves.	AO3.1 Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves.	Complies with AO3.1 The earthworks have been engineer designed with consideration of drainage management.
	AO3.2 Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves.	Complies with AO3.2 The earthworks have been engineer designed with consideration of drainage management
	AO3.3	Complies with AO3.3



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Performance outcomes	Acceptable outcomes	Compliance
	Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths.	The earthworks have been engineer designed with consideration of drainage management
	AO3.4 Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	Complies with AO3.4 The earthworks have been engineer designed and would be undertaken in accordance with the requirements of the FNQROC Manual.
Water quality		
PO4 Filling and excavation does not result in a reduction of the water quality of receiving waters.	AO4 Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	Complies with AO4 The earthworks have been engineer designed with consideration of drainage management
Infrastructure		
PO5	AO5	Complies with AO35



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Performance outcomes	Acceptable outcomes	Compliance
Excavation and filling does not impact on Public Utilities.	Excavation and filling is clear of the zone of influence of public utilities.	The earthworks would not occur near any public utilities.



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