

m: 0448 377 172 a: Po Box 1083, Tolga 4882

20th November 2020

Douglas Shire Council
PO Box 359
CAIRNS Q 4870

Attention: Building Section

Dear Sir/Madam,

Re: As built deck extension at Lot 144 / RP 738167 - Quandong Road, Cow Bay

Baker Building Certification has been engaged to assess an application for the construction of an as built deck extension on the abovementioned allotment. A preliminary assessment of the proposal has indicated that the deck extension is to be sited within the conservation zone.

Siting layout request for: An as built deck extension to be sited 15-18m from the closest allotment boundary on an existing benched, cleared flat parcel of land previously approved when the existing house was constructed.

Applicant: Leisa Sykes, c/ Baker Building Certification.

CONSIDERATION OF PERFORMANCE CRITERIA

The as built deck extension complies with all relevant overlays on the allotment as the deck is built on an existing benched and cleared building pad previously approved by council during the original house build. No native vegetation was removed to construct the deck and all works comply with the designated setbacks for the zone code. The as built deck extension can not be seen by any surrounding allotments due to the dense vegetation surrounding the allotment in question, the colours of the roof extension of the deck are consistent with the existing house colours and the gable design matches the original house design to complement the existing dwelling on site, see pictures below.





Recommendation

The proposed generally appears to satisfy the performance criteria of the applicable overlays and conservation zone code, it could be considered acceptable to approve the request for the as built deck extension at Lot 144 Quandong Road.

Should you have any further queries please do not hesitate to contact the Officer involved Aaron Sweeney on 0437127724 or aaron@bakerbuildingcert.com.au

Yours faithfully.

Prepared by *Aaron Sweeney* A1215391

Baker Building Certification.

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving building work.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use **DA Form 1 – Development application details** and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Ieisa Sykes
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	17 Meyers Crescent
Suburb	Cooranbong
State	NSW
Postcode	2265
Country	Aus
Contact number	0415 777335
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

(see also to be sent to
Baker Building Certification)

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

2.1) Street address and lot on plan

- ☒ **Street address AND lot on plan** (all lots must be listed), or
- ☐ **Street address AND lot on plan** for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).



Queensland
Government

Unit No.	Street No.	Street Name and Type	Suburb
		Quarndong Road	Paritree / Low Bay
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	144	RP 738167	Douglas Shire Council

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the DA Forms Guide

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No.

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☒ Yes – proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

7) Information request under Part 3 of the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the DA Forms Guide.

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	
State	

Postcode	
Country	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
QBCC licence or owner – builder number	owner builder
Postal address (P.O. Box or street address)	
Suburb	
State	
Postcode	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

16) Provide details about the proposed building work

What type of approval is being sought?

- ☒ Development permit
☐ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment
☐ Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|--|--|
| <input checked="" type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification (involving building work) | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

As Built Deck & Roof over

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Timber	<input checked="" type="checkbox"/> Other Steel
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? (if applicable)

1a

g) New building use/classification? (if applicable)

10a

h) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.

☐ Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?

\$

18) Has Queensland Home Warranty Scheme Insurance been paid?

☐ Yes – provide details below

☒ No

Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

The relevant parts of *Form 2 – Building work details* have been completed ☒ Yes

This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed *Form 1 – Development application details* ☐ Yes ☒ Not applicable

Relevant plans of the development are attached to this development application ☒ Yes

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9) ☐ Yes ☒ Not applicable

20) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☐ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

10a

Name	QBCC Certification Licence number	QBCC Insurance receipt number
Aaron Sweeney	A1215391	

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment

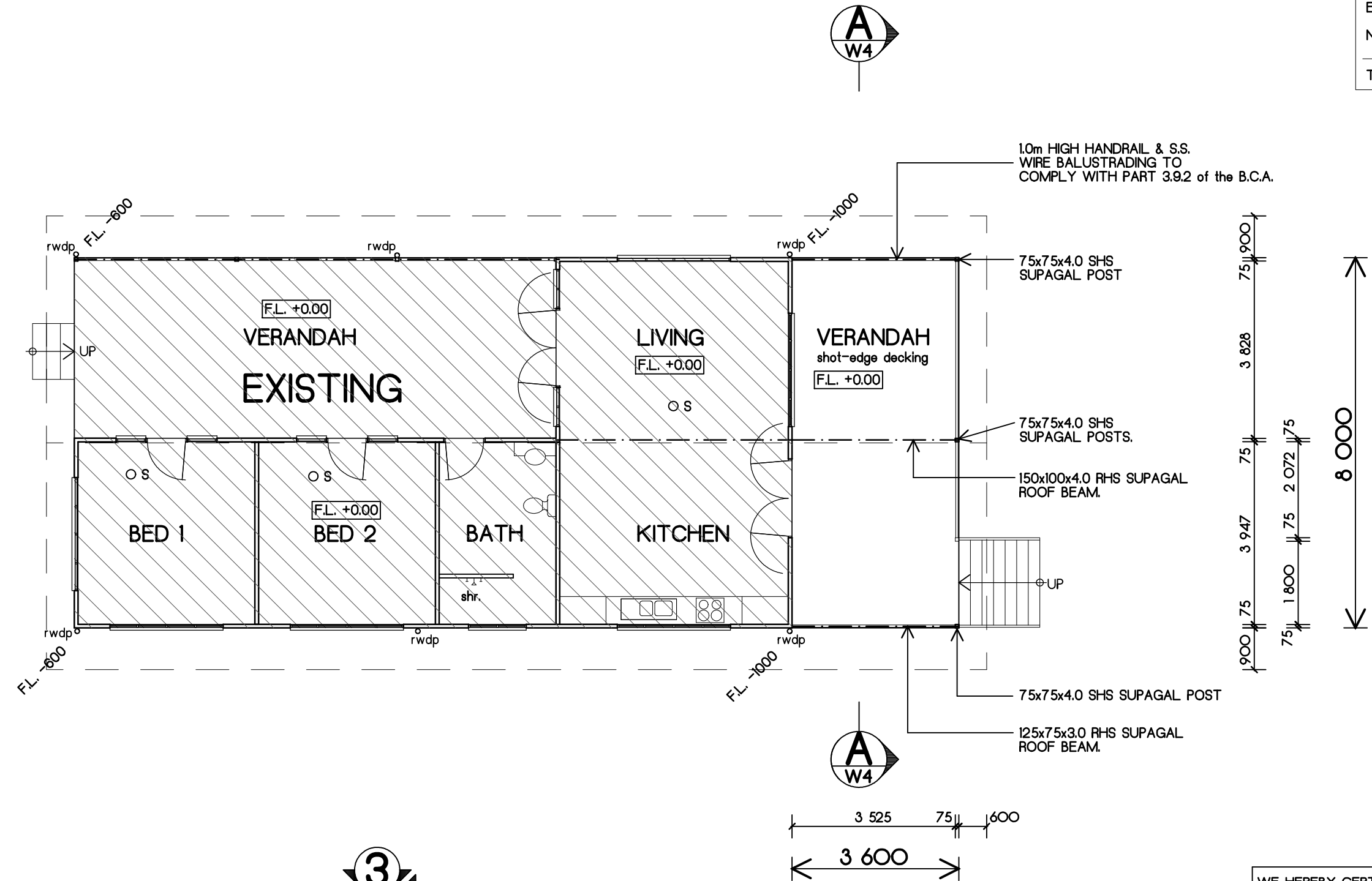
Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)	
New building use/classification?	
Site area (m²)	Floor area (m²)

FLOOR AREA :	
EXISTING LIVING	- 83.44 m²
EXISTING VERANDAH	- 40.56 m²
NEW VERANDAH	- 28.8 m²
TOTAL	- 152.8 m²



PLAN
1 : 100

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

[Signature] 28-10-20

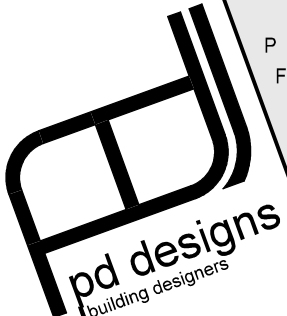
C.M.G. CONSULTING ENGINEERS PTY. LTD.
ACN. 011 085 375

208 BUCHAN ST.
CAIRNS QLD. 4870
PH. 07 4031 2775
FAX. 07 4051 9013

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

C.M.G. CONSULTING ENGINEERS
ACN. 011 085 375 PTY. LTD.

208 BUCHAN ST.
CAIRNS QLD. 4870
PH. 07 4031 2775
FAX. 07 4051 9013



pd designs
building designers

P 07 4056 1883,
F 07 4056 3595
M 0427 561 883
E info@pd designs.com.au
96A gordon street, gordonvale,
QLD. 4865

lic. under QBCC Act 1991 - No. 1191543
abn: 73 437 147 573
acn: 143 382 899

MEMBER
building designers
association of
queensland inc

Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

© These drawings and designs are Copyright

1 : 100,
ON A3 SHEET

OCTOBER 2020

2519

WIND CLASSIFICATION

W1
OF 6

C2

AS CONSTRUCTED VERANDAH FOR :
L. SYKES
LOT 144, QUANDONG ROAD,
COW BAY

CONCRETE NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600
2. MINIMUM COVER TO REINFORCEMENT TO BE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE DRAWING :

UNDERSIDE & SIDE OF FOOTINGS

65 mm

TOP OF FOOTINGS

30 mm

FLOOR SLAB

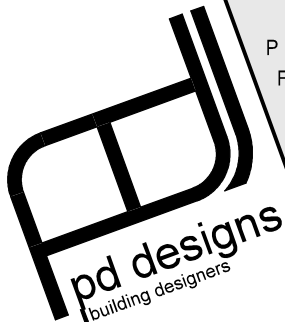
30 mm
3. CONTROL JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN.
4. REINFORCEMENT IS SHOWN DIAGRAMATICALLY AND NOT NECESSARILY SHOWN IN THE TRUE PROJECTION.
5. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE SUPERINTENDENT.
6. ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION SO AS NOT TO BE DISPLACED DURING CONCRETING, ON APPROVED BAR CHAIRS AT 1000 mm MAXIMUM CENTRES BOTH WAYS. WHERE REQUIRED PROVIDE SUPPORT BARS N16 AT 1000 mm MAXIMUM CENTRES.
7. CONCRETE COMPONENTS AND QUALITY SHALL BE AS FOLLOWS :

ELEMENT	SLUMP MAX.	AGGREGATE SIZE	F'c	AGGREGATE
FOUNDATIONS				
GROUND SLABS	80 +- 15	20 mm	N20	NORMAL

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

C.M.G. CONSULTING ENGINEERS PTY. LTD.

208 BUCHAN ST. CAIRNS QLD. 4870
PH. 07 4031 2775
FAX. 07 4051 9013



P 07 4056 1883,
F 07 4056 3595
M 0427 561 883
E info@pddesigns.com.au
96A gordon street, gordonvale, QLD. 4865
lic. under QBCC Act 1991 - No. 1191543
abn: 73 437 147 573
acn: 143 382 899



Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

© These drawings and designs are Copyright

AS CONSTRUCTED VERANDAH FOR :
L. SYKES
LOT 144, QUANDONG ROAD,
COW BAY

1 : 100, 1 : 20, 1 : 10,
ON A3 SHEET

OCTOBER 2020

2519

WIND CLASSIFICATION

W2

OF 6

C2

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

Signature

28-10-20

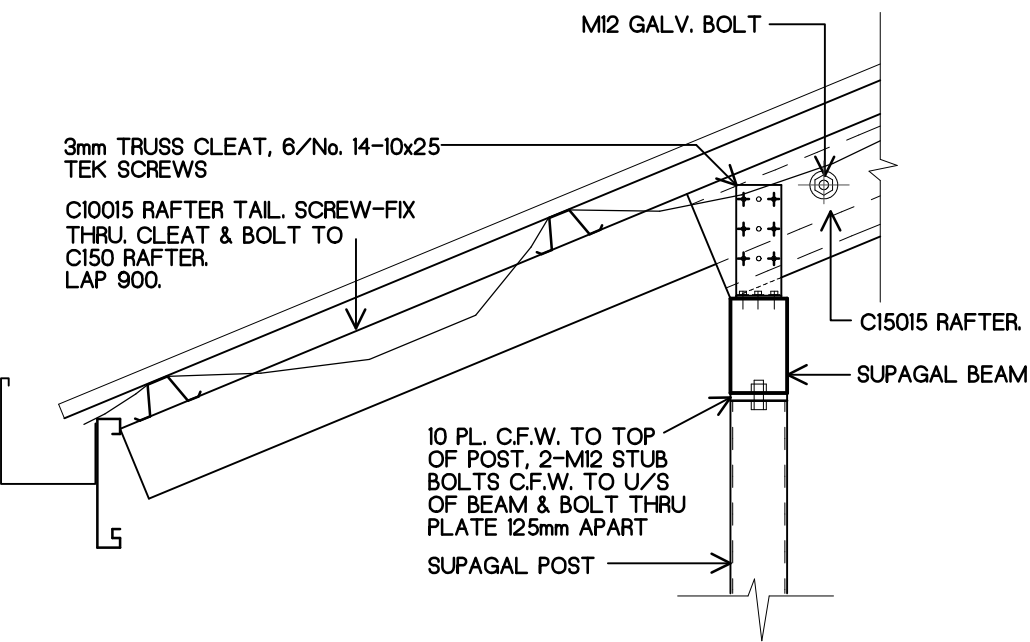
C.M.G. CONSULTING ENGINEERS PTY. LTD.

ACN. 011 065 375

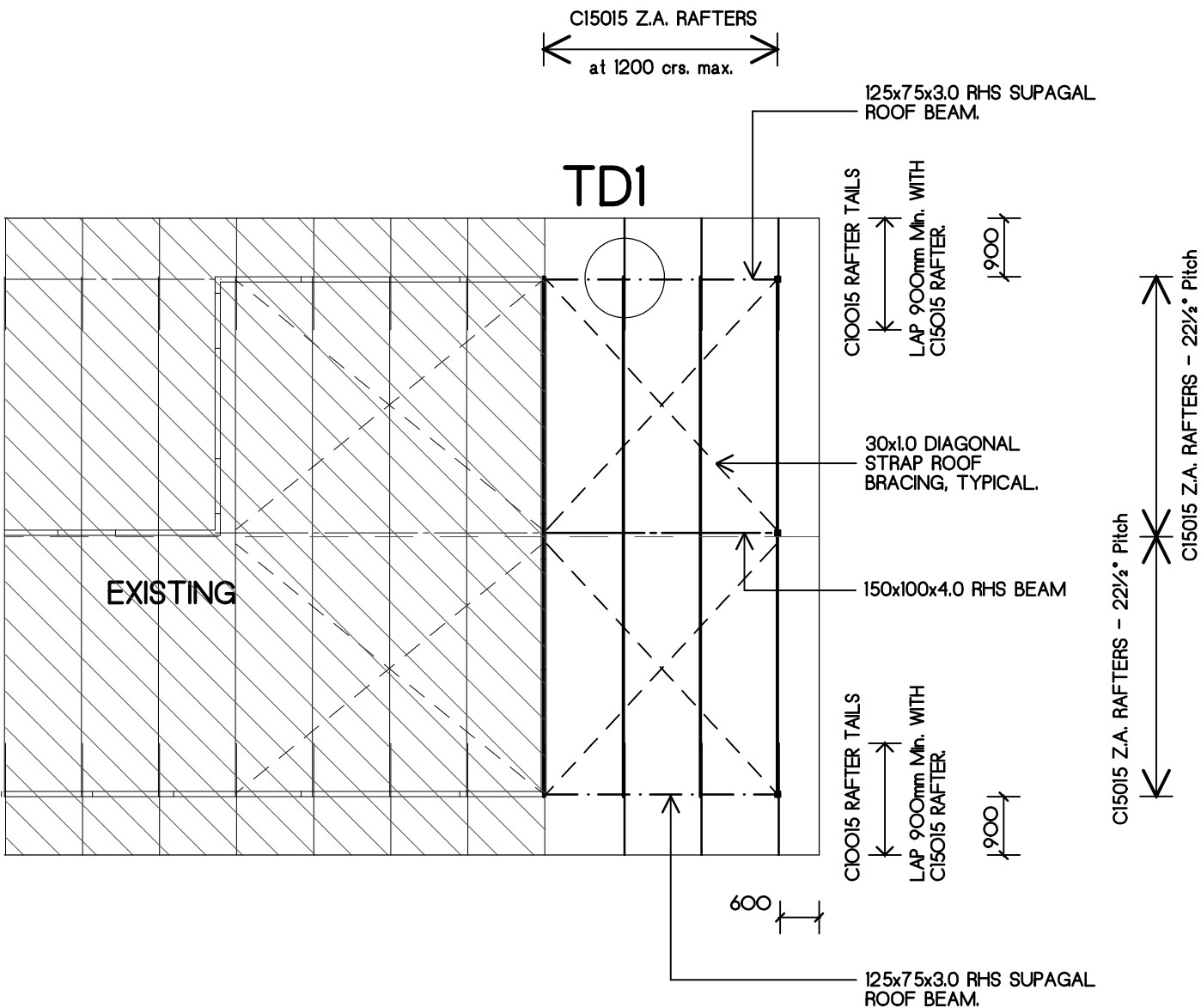
208 BUCHAN ST. CAIRNS QLD. 4870
PH. 07 4031 2775
FAX. 07 4051 9013

STRUCTURAL STEELWORK NOTES

- 1. IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO FABRICATION OF ANY MISCELLANEOUS STEELWORK.
- 2. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 1250 AND A.S. 1554.
- 3. UNLESS OTHERWISE SHOWN STEEL QUALITY SHALL CONFORM WITH ALL RELEVANT AUSTRALIAN STANDARDS.
- 4. UNLESS OTHERWISE SHOWN ALL INTERFACES BETWEEN CONNECTING STEELWORK SHALL BE EITHER BOLTED OR CONTINUOUSLY WELDED. ALL WELDS SHALL BE 6mm FILLET WELDS ON BOTH SIDES U.N.O.
- 5. ALL BUTT WELDS SHALL BE FULL PENETRATION BUTT WELDS UNLESS SHOWN OTHERWISE.
- 6. THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND HOLES REQUIRED FOR FIXING NON-STRUCTURAL ELEMENTS TO STEELWORK WHETHER SHOWN OR NOT ON THE DRAWINGS.
- 7. SITE WELDING SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH SAFETY REGULATIONS.
- 8. ALL STEEL MEMBERS TO BE PAINTED WITH ZINC SILICATE PRIMER WHERE CONCEALED, & PAINTED TO MATCH SURROUNDING WALLS WHERE EXPOSED.



DETAIL TD1
1 : 10



ROOF FRAMING
PLAN
1 : 100

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

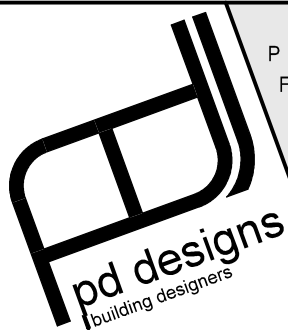
[Signature] 28-10-20

C.M.G. CONSULTING ENGINEERS PTY. LTD. 208 BUCHAN ST. CAIRNS QLD. 4870 PH. 07 4031 2775 FAX. 07 4051 9013

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

C.M.G. CONSULTING ENGINEERS PTY. LTD. A.C.N. 011 065 375

208 BUCHAN ST. CAIRNS QLD. 4870 PH. 07 4031 2775 FAX. 07 4051 9013



P 07 4056 1883, F 07 4056 3595 M 0427 561 883 E info@pddesigns.com.au 96A gordon street, gordonvale, QLD. 4865

lic. under QBCC Act 1991 - No. 1191543 abn: 73 437 147 573 acn: 143 382 899



Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

© These drawings and designs are Copyright

1 : 100, 1 : 10. ON A3 SHEET

AS CONSTRUCTED VERANDAH FOR :
L. SYKES
LOT 144, QUANDONG ROAD,
COW BAY

OCTOBER 2020

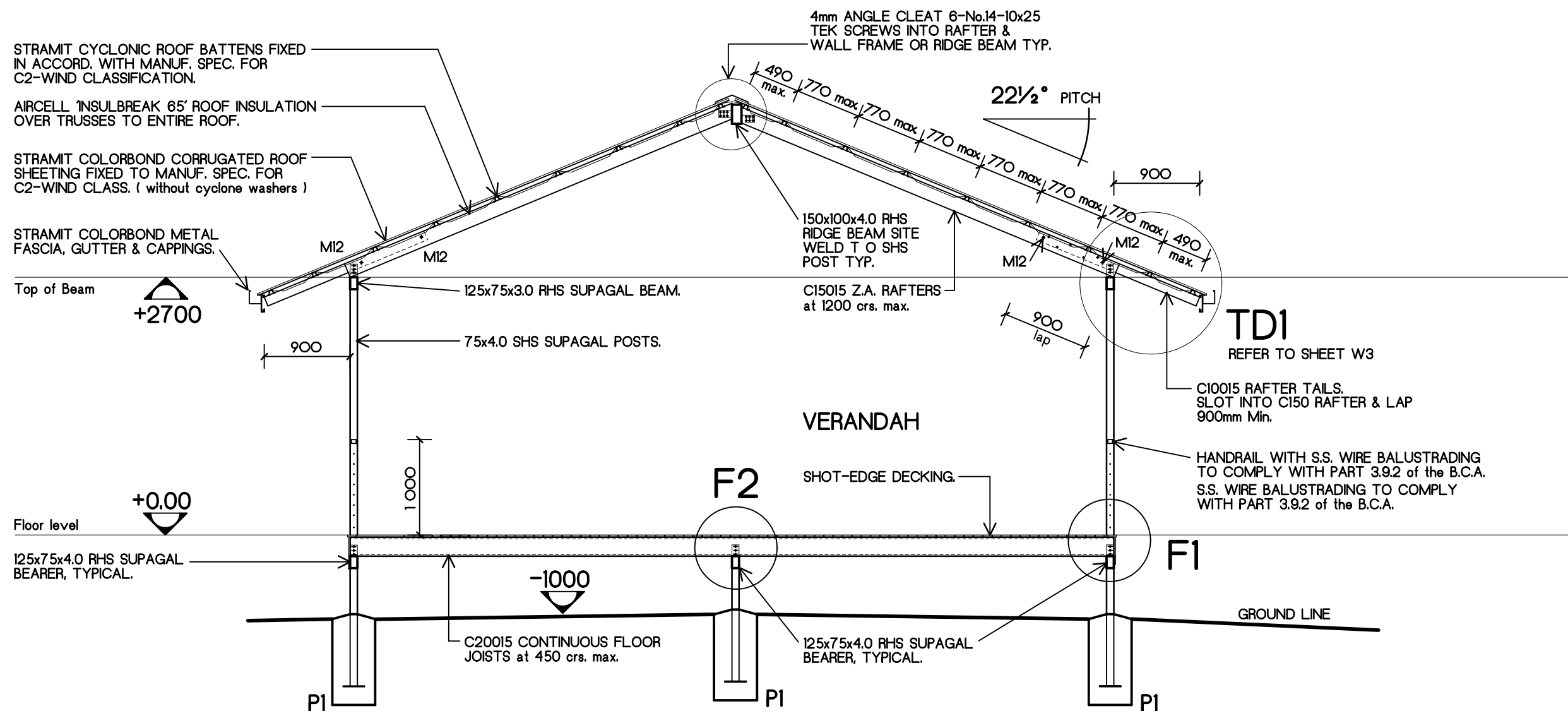
2519

WIND CLASSIFICATION

W3

OF 6

C2



SECTION

1: 50



REFER TO SHEET W2 FOR FOOTING DETAILS

TERMITE TREATMENT

SELECTED TREATMENT METHOD TO BE WITH USE OF NON-SUSCEPTIBLE BUILDING MATERIALS E.G. STEEL & C.C.A. OR L.O.S.P. TREATED TIMBER.

REGULAR INSPECTIONS ARE REQUIRED AT 3 - 6 MONTH INTERVALS TO ENSURE THE BARRIERS HAVE NOT BEEN BRIDGED BY TERMITES.

NO GARDENS ARE TO BE BUILT UP TO THE HOUSE SO A CLEAR VIEW OF THE PERIMETER OF THE BUILDING IS READILY VISABLE FOR PERIODIC INSPECTIONS & NO BRIDGING PATHS ARE PROVIDED FOR THE TERMITES TO BYPASS THE PHYSICAL BARRIERS WITHOUT DETECTION.

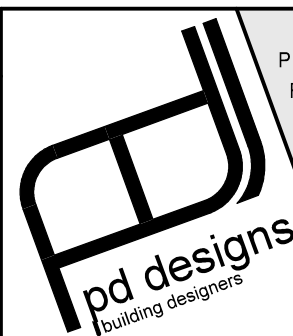
WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

Signature 28-10-20
C.M.G. CONSULTING ENGINEERS PTY. LTD.
 208 BUCHAN ST. CAIRNS QLD. 4870
 PH. 07 4031 2775 FAX. 07 4051 9013

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

C.M.G. CONSULTING ENGINEERS
 ACN. 01 065 375 PTY. LTD.

208 BUCHAN ST. CAIRNS QLD. 4870
 PH. 07 4031 2775 FAX. 07 4051 9013



P 07 4056 1883,
 F 07 4056 3595
 M 0427 561 883
 E info@pddesigns.com.au
 96A gordon street, gordonvale, QLD. 4865
 lic. under QBCC Act 1991 - No. 1191543
 abn: 73 437 147 573
 acn: 143 382 899



Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

© These drawings and designs are Copyright

1: 50, ON A3 SHEET

AS CONSTRUCTED VERANDAH FOR :
L. SYKES
LOT 144, QUANDONG ROAD,
COW BAY

OCTOBER 2020

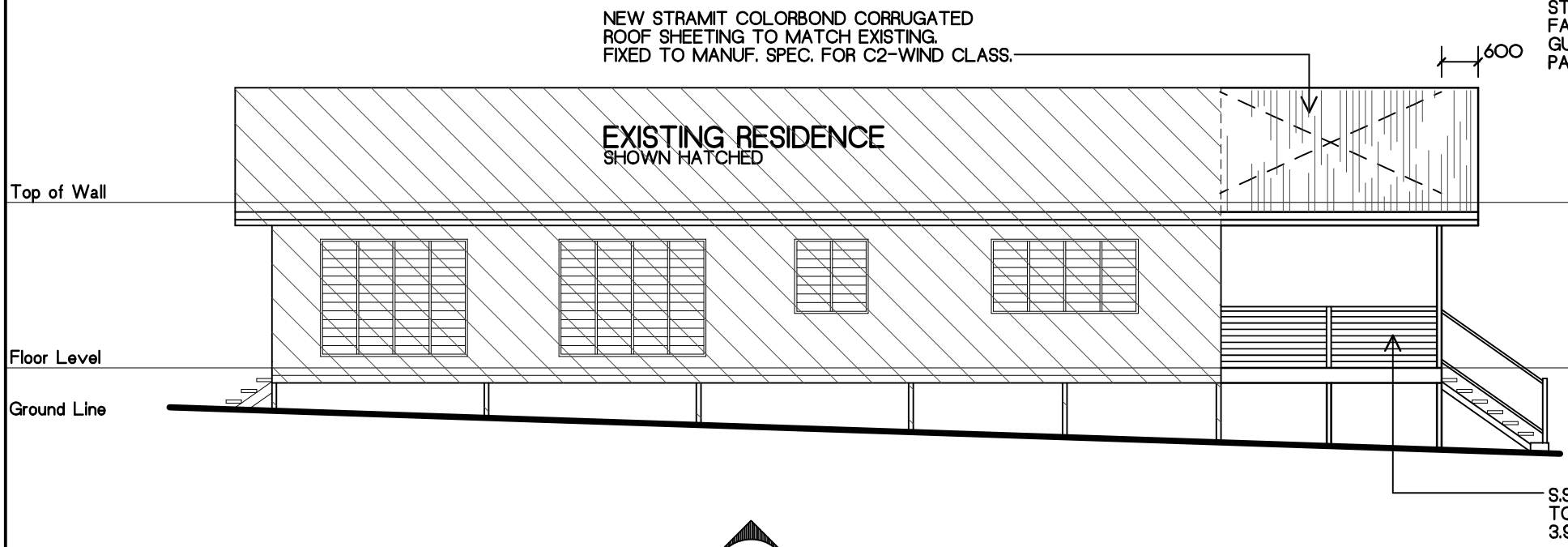
2519

WIND CLASSIFICATION

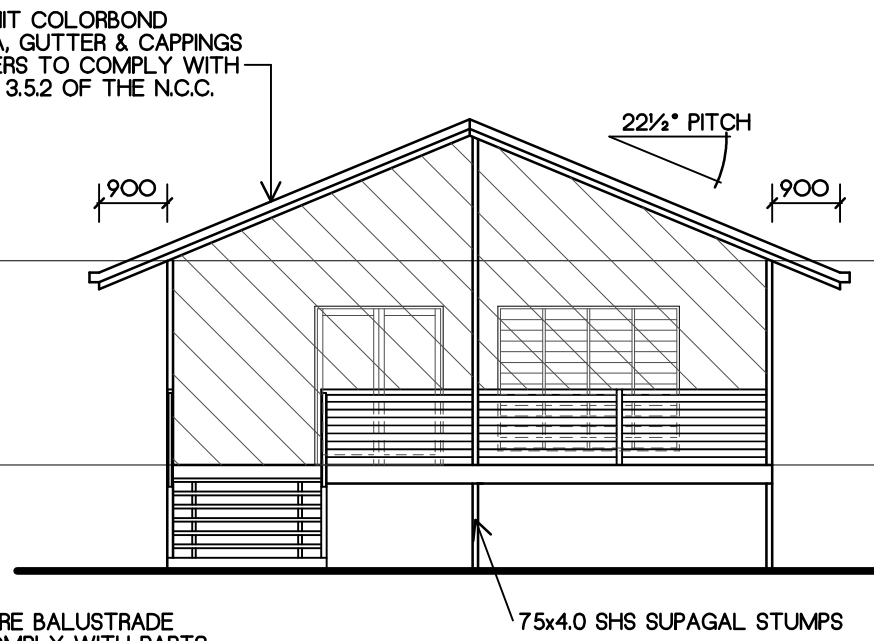
W4

OF 6

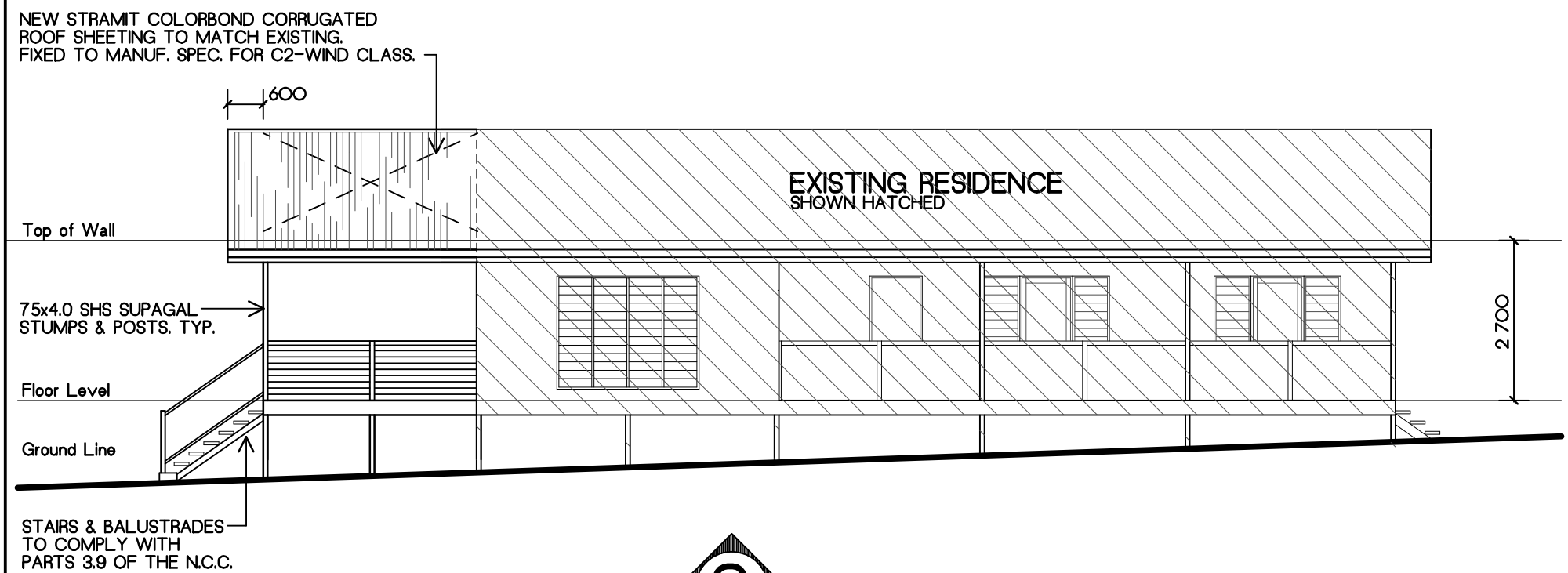
C2



ELEVATION 1



ELEVATION 2



ELEVATION 3

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

L. Sykes 28-10-20

C.M.G. ENGINEERS CONSULTING PTY. LTD. 208 BUCHAN ST. CAIRNS QLD. 4870 PH. 07 4031 2775 FAX. 07 4051 9013

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

C.M.G. ENGINEERS CONSULTING PTY. LTD. 208 BUCHAN ST. CAIRNS QLD. 4870 PH. 07 4031 2775 FAX. 07 4051 9013

pd designs building designers

P 07 4056 1883, F 07 4056 3595 M 0427 561 883 E info@pd designs.com.au 96A gordon street, gordonvale, QLD. 4865

lic. under QBCC Act 1991 - No. 1191543 abn: 73 437 147 573 acn: 143 382 899

MEMBER building designers association of queensland inc

Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

© These drawings and designs are Copyright

1:100 ON A3 SHEET

OCTOBER 2020

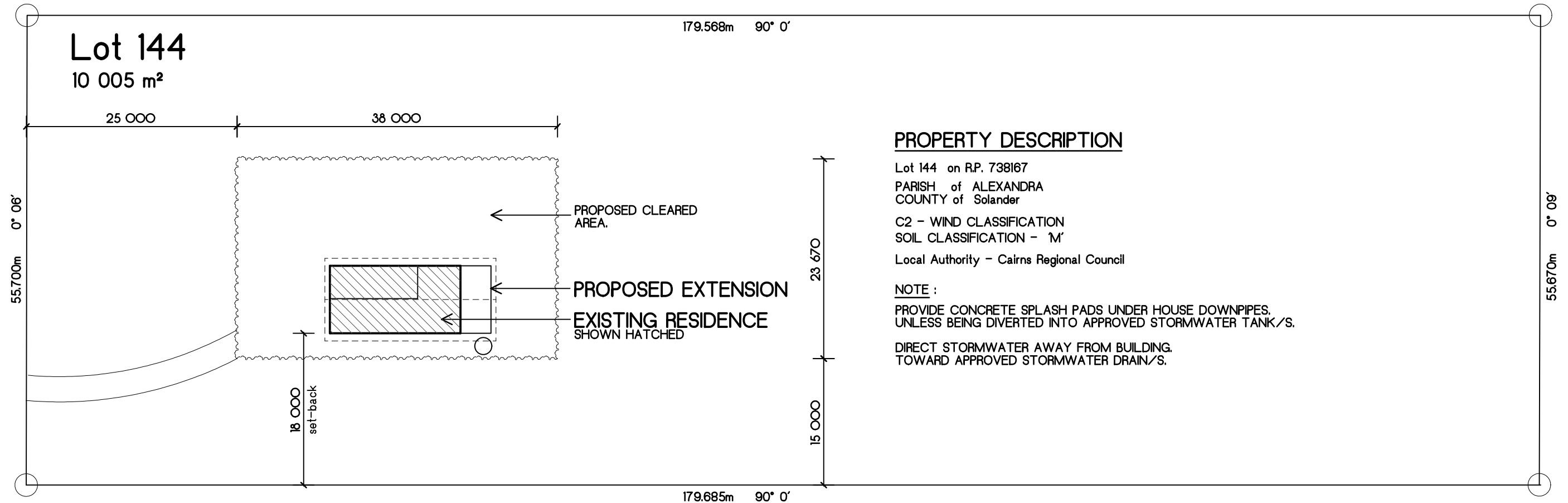
2519

W5 OF 6

WIND CLASSIFICATION **C2**

AS CONSTRUCTED VERANDAH FOR : L. SYKES LOT 144, QUANDONG ROAD, COW BAY

QUANDONG ROAD



PROPERTY DESCRIPTION

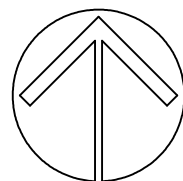
Lot 144 on R.P. 738167
PARISH of ALEXANDRA
COUNTY of Solander
C2 - WIND CLASSIFICATION
SOIL CLASSIFICATION - 'M'
Local Authority - Cairns Regional Council

NOTE :

PROVIDE CONCRETE SPLASH PADS UNDER HOUSE DOWNPIPES,
UNLESS BEING DIVERTED INTO APPROVED STORMWATER TANK/S.
DIRECT STORMWATER AWAY FROM BUILDING.
TOWARD APPROVED STORMWATER DRAIN/S.

SITE PLAN

1 : 500



SITE PREPARATION

1. SITE PREPARATION SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION FOLLOWED BY EXCAVATION OF TOPSOILS & MATERIAL TO SUIT FINAL DESIGN LEVELS.
2. PROVISION SHALL BE MADE FOR THE DEMOLITION OF ANY EXISTING BUILDINGS INCLUDING BREAKING UP & REMOVAL OF ANY OLD FOOTINGS, SERVICE PIPES, SPECTIC TANKS ETC & EXISTING TREES (INCLUDING STUMPS & ROOTS) WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION. ANY SOIL DISTURBED BY DEMOLITION SHALL BE RECOMPACTED.
3. IN THE PROPOSED ON GROUND FLOOR SLAB SUPPORT & PAVEMENT AREAS, THE EXPOSED SUBGRADE SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF NOT LESS THAN 98% OF THE MAXIMUM SATURATED VIBRATED DENSITY (AS 1289 TESTS 5.3.1 & 5.5.1). SUGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION & RECTIFICATION OF ANY LOCALISED COMPRESSIBLE ZONES WHICH MAY EXIST.
4. ANY FILLING PLACED IN THE BUILDING & PAVEMENT AREAS SHALL BE UNIFORMLY COMPACTED IN LAYERS OF NOT MORE THAN 200mm FINAL THICKNESS, UNDER LEVEL 3 SUPERVISION (AS 3798-1990 'GUIDLINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS 2007) TO THE MAX MAX DRY DENSITY RATIO OF 98% SRDD (EXPRESSED AS A % OF THE MAXIMUM VIBRATED DENSITY ESTABLISHED BY THE TEST METHODS AS 1289 5.3.1, 5.4.1 & 5.5.1 FOR CONENSIONLESS (SAND) MATERIALS OR ALTERNATIVELY, STANDARD COMPACTION IF APPROPRIATE).
5. ANY IMPORTED FILL SHALL COMPRISE LOW PLASTICITY GRANULAR MATERIAL WITH A PLASTICITY INDEX NOT MORE THAN 15%. SAND CUT FROM BASEMENT AREA SHOULD BE SUITABLE FOR REUSE AS FILLING
6. FILLING SHOULD BE RETAINED OR BATTERED TO A SLOPE OF NOT STEEPER THAN 2h : 1v. ALL EXPOSED FILLING SHALL BE PROTECTED FROM EROSION.
7. CARE SHALL BE TAKEN TO ENSURE THAT ANY VIBRATORY ROLLING OR CONSTRUCTION ACTIVITIES DO NOT CAUSE DISTRESS (BY WAY OF INDUCED SETTLEMENT) TO ANY ADJACENT MOVMENT-SENSITIVE FEATURES ETC.

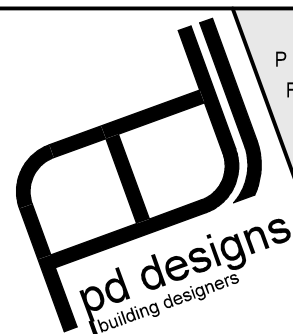
WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

L. Sykes 28-10-20
C.M.G. CONSULTING ENGINEERS PTY. LTD. 208 BUCHAN ST. CAIRNS QLD. 4870
PH. 07 4031 2775 FAX. 07 4051 9013
ACN. 011 085 375

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

C.M.G. CONSULTING ENGINEERS
ACN. 011 085 375 PTY. LTD.

208 BUCHAN ST.
CAIRNS QLD. 4870
PH. 07 4031 2775
FAX. 07 4051 9013



P 07 4056 1883,
F 07 4056 3595
M 0427 561 883
E info@pddesigns.com.au
96A gordon street, gordonvale,
QLD. 4865
Lic. under QBCC Act 1991 - No. 1191543
abn: 73 437 147 573
acn: 143 382 899



Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

© These drawings and designs are Copyright

1 : 500
ON A3 SHEET

AS CONSTRUCTED VERANDAH FOR :
L. SYKES
LOT 144, QUANDONG ROAD,
COW BAY

OCTOBER 2020

2519

WIND
CLASSIFICATION

W6

OF 6

C2