



3 Cypress Road, Cow Bay
Lot 292 on RP739001

TOWN PLANNING REPORT

BUILDING WORK (ASSESSABLE AGAINST THE PLANNING SCHEME)

Applicant:
Kellie Roberts
C/- wildPLAN Pty Ltd



A PROJECT CONTACT DETAILS

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1. SUMMARY

1.1 SITE DETAILS

Site address:	3 Cypress Road, Cow Bay
Real property description:	Lot 292 on RP739001
Site area:	10,640m ²
Existing land use:	Dwelling House

1.2 KEY PARTIES TO DEVELOPMENT APPLICATION

Applicant:	Kellie Roberts C/- wildPLAN Pty Ltd
Registered owner(s):	Kellie Roberts Refer Schedule 2 – Searches .
Assessment Manager:	Douglas Shire Council
Referral agencies:	None Applicable

1.3 DEVELOPMENT APPLICATION DETAILS

Proposed development:	Carport and Dwelling House Extensions (Building Works assessable against the Douglas Shire Planning Scheme)
Type of approval sought:	Preliminary Approval for Building Works
Level of assessment:	Code assessment
Notification required:	No
Referral required:	No

1.4 STATE PLANNING INSTRUMENT MATTERS

State Interests in Development Assessment:	N/A
Applicable SDAP Codes:	N/A
Regional Plan:	<i>Far North Queensland Regional Plan 2009 – 2031</i>
Regional Plan Designation:	Regional Landscape and Rural Production Area

1.5 LOCAL PLANNING INSTRUMENT MATTERS

Planning Scheme:	<i>Douglas Shire Planning Scheme 2018</i>
Amendment:	Version 1.0
TLPIs:	N/A
Zone:	Conservation
Local Plan:	<ul style="list-style-type: none"> • Cape Tribulation / Daintree Coast Local Plan (Diwan – Cow Bay) • Precinct 1 – General Conservation
Overlays¹:	<ul style="list-style-type: none"> • Acid Sulfate Soils Overlay • Bushfire Hazard Overlay • Flood and Storm Tide Hazard Overlay • Landscape Values Overlay • Natural Areas Overlay • Potential Landslide Hazard Overlay • Transport Networks Overlay
Assessment requirements²:	<p>The Assessment Benchmarks of the following:</p> <ul style="list-style-type: none"> • Conservation Zone Code • Cape Tribulation and Daintree Local Plan Code.

¹ Overlays that affect the site. The applicability of overlays is further discussed in Section 5.3.

² Assessment benchmarks are further discussed in Section 5.5.

2. SITE DETAILS

Development is proposed at 3 Cypress Road, Cow Bay (refer **Figure 1**). The site has an area of 10,640m² and is improved by a Dwelling House.

Hutchinson Creek is located to the north of the site.

The site has frontage to Cypress Road and is one of three (3) properties accessed on the cul-de-sac.



FIGURE 1 AERIAL IMAGE OF SUBJECT SITE
SOURCE STATE OF QUEENSLAND 2022

2.1 PRIOR APPROVALS

A Planning and Development Certificate dated 2 June 2022 was provided by Douglas Shire Council (refer **Schedule 3**). The Planning and Development Certificate identified the following approvals:

- Development Permit for Material Change of Use (Dwelling House) dated 17 April 2009; and
- Development Permit for Building Work (Dwelling House) dated 24 April 2009.

2.2 SUMMARY OF SITE FEATURES

TABLE 2-1 SITE CHARACTERISTICS AND SUPPORTING INFRASTRUCTURE

Site characteristic	Description
Site area	10,640m ²
Existing land use	Dwelling House
Improvements	One (1) Dwelling House
Environment	
• Topography	The site is generally flat, with an elevation of approximately 10 metres Australian Height Datum (AHD)
• Vegetation	The site is vegetated beyond the extent of the cleared area surrounding the existing Dwelling House
• EMR/CLR	The site is not listed on either the Environmental Management Register (EMR) or the Contaminated Land Register (CLR) (refer Schedule 2)
Other	
• Easements	The site is neither benefitted nor burdened by easements.

3. PROPOSED DEVELOPMENT

The Applicant seeks a Preliminary Approval for Building Work, relevant to a proposed extension to a Dwelling House incorporating:

1. An extension to the existing verandah;
2. An approximate 33m² Gross Floor Area (GFA) extension, comprising a new dining area and new kitchen³; and
3. A new carport adjacent the existing shed.

The proposed carport will be setback a minimum of 12.0 metres from the site's frontage with Cypress Road.

The extension will be finished in tones consistent with the existing Dwelling House located on-site (refer **Figure 2**).



FIGURE 2 **EXISTING DWELLING HOUSE AND SHED**
SOURCE REALESTATE.COM.AU

Refer to **Schedule 4 – Proposal Plans** for further detail.

³ The existing kitchen will be demolished and converted to living space.

4. STATE PLANNING MATTERS

4.1 PLANNING ACT 2016

The current version of the *Planning Act 2016* is **10 June 2022**.

4.2 PLANNING REGULATION 2017

The current version of the *Planning Regulation 2017* ('the Regulation') is **1 July 2022**.

4.2.1 REFERRALS

Schedule 9 and Schedule 10 of the Regulation identifies when a development application requires referral to a referral agency. In respect to referrals, the Regulation identifies the:

- Trigger for referral
- Referral agency
- Limitations on referral agency's powers
- Matters the referral agency's assessment must or may be against (as applicable)
- Matters the referral agency's assessment must or may have regard to (as applicable)
- Fee for referral.

Table 4-1 and **Table 4-2** provide a referral checklist against the requirements of Schedule 9 and Schedule 10 and identifies that the subject development application is **not** subject to any referrals, per the Regulation.

TABLE 4-1 REFERRALS IDENTIFIED IN SCHEDULE 9 OF THE *PLANNING REGULATION 2017*

Referral Aspect	Referral Requirement (Schedule 9)	Aspect of Development Trigger				Jurisdiction		Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Premises seaward of coastal building line	Part 3, Division 1, Table 1, Item 1				•	•		SDAP	N
Declared fish habitat area	Part 3, Division 1, Table 2, Item 1				•	•		SDAP	N
State transport corridor	Part 3, Division 1, Table 3, Item 1				•	•		SDAP	N
Future State transport corridor	Part 3, Division 1, Table 4, Item 1				•	•		SDAP	N
Particular class 1 and 10 buildings and structures involving possible amenity and aesthetic impacts	Part 3, Division 2, Table 1, Item 1				•		•	Other ⁴	N
Particular buildings for residential purposes	Part 3, Division 2, Table 2, Item 1				•		•	Other ⁵	N
Design and siting	Part 3, Division 2, Table 3, Item 1				•		•	Other ⁶	N
Fire safety in particular budget accommodation buildings	Part 3, Division 2, Table 4, Item 1				•		•	Other ⁷	N
Higher risk personal appearance services	Part 3, Division 2, Table 5, Item 1				•		•	Other ⁸	N
Building work for residential services	Part 3, Division 2, Table 6, Item 1				•		•	Other ⁹	N
Building work for removal or rebuilding	Part 3, Division 2, Table 7, Item 1				•		•	Other ¹⁰	N

⁴ Whether the building or structure will impact on the amenity or aesthetics of the locality, including, for example, whether the building or structure complies with a matter stated in a local instrument that regulates impacts on amenity or aesthetics

⁵ Whether the building is suitable for residential purposes

⁶ Whether the proposed building or structure complies with the performance criteria or qualitative statement stated in the paragraph

⁷ Whether, after the building work is completed, the building will comply with the fire safety standard under the Building Act

⁸ Whether the building work complies with the performance criteria stated in the Queensland Development Code, part 5.2 that are relevant to the acceptable solution

⁹ Whether, if the building work is carried out, the premises would comply with the Queensland Development Code, part 5.7

¹⁰ (a) Whether the local government should require security, of no more than the value of the building work, for the performance of the work (b) If security is required, the amount and form of security that is appropriate for the development

Referral Aspect	Referral Requirement (Schedule 9)	Aspect of Development Trigger				Jurisdiction		Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Building work for particular class 1 buildings relating to Material Change of Use	Part 3, Division 2, Table 8, Item 1				•		•	Other ¹¹	N
Temporary accommodation buildings	Part 3, Division 2, Table 9, Item 1				•		•	Other ¹²	N
Building work relating to end of trip facilities for Queensland Development Code, part 4.1	Part 3, Division 2, Table 10, Item 1				•		•	Other ¹³	N
Building work for class 1 building on premises with on-site wastewater management system	Part 3, Division 2, Table 11, Item 1				•		•	Other ¹⁴	N
Flood hazard area	Part 3, Division 2, Table 12, Item 1				•		•	Other ¹⁵	N

¹¹ The relevant provisions of a local instrument that would apply for the application if schedule 6, part 2, section 2(2) did not apply for the material change of use

¹² Whether the building work complies with performance criteria 1 of the Queensland Development Code, part 3.3

¹³ Whether the building work complies with performance criteria P12 of the Queensland Development Code, part 4.1

¹⁴ Whether the building work complies with the Queensland Plumbing and Wastewater Code, part 1, performance criteria P2

¹⁵ Matters stated in Part 3, Division 2, Table 12, Item 4

TABLE 4-2 REFERRALS IDENTIFIED IN SCHEDULE 10 OF THE *PLANNING REGULATION 2017*

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Airport Land	Part 1, Division 3, Table 1, Item 1 - Column 2	•	•	•	•		•	Other ¹⁶	N
Clearing native vegetation	Part 1, Division 4, Table 1-3, Item 1 – Column 2	•	•	•		•		16	N
Contaminated land	Part 4, Division 3, Table 1, Item 1 - Column 2		•	•		•		13 ¹⁷	N
Environmentally relevant activities	Part 5, Division 4, Table 1, Item 1 - Column 2			•			•	22	N
Fisheries (Aquaculture)	Part 6, Division 1, Subdivision 3, Table 1, Item 1 - Column 2			•		•		17	N
Fisheries (Declared Fish Habitat)	Part 6, Division 2, Subdivision 3, Table 1, Item 1 - Column 2	•				•		12	N
Fisheries (Marine Plants)	Part 6, Division 3, Subdivision 3, Table 1-2, Item 1 – Column 2	•	•	•		•		11	N
Fisheries (Waterway barrier works)	Part 6, Division 4, Subdivision 3, Table 1, Item 1 - Column 2	•				•		18	N
Hazardous chemical facilities	Part 7, Division 3, Table 1, Item 1 - Column 2			•		•		21	N
Heritage Places (Local heritage places)	Part 8, Division 1, Subdivision 3, Table 1, Item 1 - Column 2				•		•	Other ¹⁸	N
Heritage Places (Queensland heritage place)	Part 8, Division 2, Subdivision 3, Table 1-2, Item 1 – Column 2	•	•	•	•	•		14	N

¹⁶ The matters the Local Government as referral agency must be against include the impacts of the proposed development, identified by the local government, on land in its local government area, other than airport land.

¹⁷ Where for other than contamination because of unexploded ordnance, the Single Assessment Referral Agency (SARA) will assess contaminated land applications against the criteria in the Regulation.

¹⁸ For a local heritage place on the local government's local heritage register under the Heritage Act – assessment must be against the code in the *Queensland Heritage Regulation 2015*, schedule 2. For a local heritage place identified in the local government's planning scheme – the assessment must be against the relevant provisions of a local categorising instrument.

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Infrastructure-related referrals (Designated premises)	Part 9, Division 1, Table 1, Item 1 - Column 2 (Assessable Development)	•	•	•	•	•		Other ¹⁹	N
Infrastructure-related referrals (Electricity infrastructure)	Part 9, Division 2, Table 1-3, Item 1 - Column 2	•	•	•			•	Other ²⁰	N
Infrastructure-related referrals (Oil and gas infrastructure)	Part 9, Division 3, Table 1 - 3, Item 1 - Column 2	•	•	•		•		Other ²¹	N
Infrastructure-related referrals (State transport infrastructure generally)	Part 9, Division 4, Subdivision 1, Table 1, Item 1 - Column 2	•	•	•		•		6	N
Infrastructure-related referrals (State transport corridors and future State transport corridor)	Part 9, Division 4, Subdivision 2, Table 1-6, Item 1 - Column 2	•	•	•		•		1, 2, 3, 4	N
Infrastructure-related referrals (State-controlled transport tunnels and future State-controlled transport tunnels)	Part 9, Division 4, Subdivision 3, Table 1-3, Item 1 - Column 2	•	•	•		•		5	N
Ports (Brisbane core port land)	Part 13, Division 1, Subdivision 2, Table 1			•			•	Other ²²	N
Ports (Brisbane core port land)	Part 13, Division 1, Subdivision 2, Table 2-11	•	•	•	•	•		1 ²³ , 22, 8, 21, 10, 20, 12	N
Ports (Land within Port of Brisbane's port limits—referral agency's assessment)	Part 13, Division 2, Table 1, Item 1 - Column 2	•	•	•		•		8	N
Ports (Land within Port of Brisbane's port limits—referral agency's assessment)	Part 13, Division 2, Table 2, Item 1 - Column 2	•	•	•			•	Other ²⁴	N

¹⁹ The referral agency's assessment must have regard to the designation.

²⁰ The referral agency's assessment must be against the purposes of the Electricity Act and the Electrical Safety Act.

²¹ The referral agency's assessment must be against the purposes of the Petroleum and Gas Act.

²² The matters Brisbane City Council assessment as referral agency must be against include the impacts of the proposed development, identified by the council, on land in its local government area, other than Brisbane core port land.

²³ Where involving development that is inconsistent with Brisbane port LUP for transport reasons the matters the referral agency must be against include 'the transport reasons'.

²⁴ The referral agency's assessment must be against the safety and operational integrity of the port.

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Ports (Land within limits of another port – assessable development)	Part 13, Division 3, Table 1, Item 1 – Column 2	•	•	•			•	Other ²⁵	N
Ports (Strategic port land)	Part 13, Division 5, Subdivision 3, Table 1, Item 1 – Column 2	•	•	•		•		Other ²⁶	N
SEQ Development Area (Reconfiguring a lot – referral agency's assessment)	Part 15, Division 1, Table 1, Item 1 – Column 2		•			•		Other ²⁷	N
SEQ Development Area (Material Change of Use)	Part 15, Division 2, Subdivision 3, Table 1, Item 1 – Column 2			•		•		Other ²⁸	N
SEQ regional landscape and rural production area and SEQ rural living area (Tourist or sport and recreation activity)	Part 16, Division 2, Subdivision 3, Table 1, Item 1 – Column 2			•		•		Other ²⁹	N
SEQ regional landscape and rural production area and SEQ rural living area (Community activity)	Part 16, Division 3, Subdivision 4, Table 1, Item 1 – Column 2			•		•		Other ³⁰	N
SEQ regional landscape and rural production area and SEQ rural living area (Indoor recreation)	Part 16, Division 4, Subdivision 3, Table 1, Item 1 – Column 2			•		•		Other ³¹	N
SEQ regional landscape and rural production area and SEQ rural living area (Urban activity - biotechnology industry / service station / another urban activity)	Part 16, Division 6, Subdivision 4, Table 1, Item 1 – Column 2			•		•		Other ³²	N

²⁵ The referral agency's assessment must be against the port authority functions under the Transport Infrastructure Act, Chapter 8, part 3.

²⁶ The referral agency's assessment must be against the Transport Infrastructure Act, section 287A.

²⁷ The referral agency's assessment must be against whether the development is consistent with the future planning intent for the area in which the premises are located.

²⁸ As stated in Part 15, Division 2, Subdivision 3, Table 1, Item 4

²⁹ As stated in Part 16, Division 2, Subdivision 3, Table 1, Item 4

³⁰ As stated in Part 16, Division 3, Subdivision 4, Table 1, Item 4

³¹ As stated in Part 16, Division 4, Subdivision 3, Table 1, Item 4

³² As stated in Part 16, Division 6, Subdivision 4, Table 1, Item 4

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
SEQ regional landscape and rural production area and SEQ rural living area (Combined uses – community activity / indoor recreation / sport and recreation / tourist activity / urban activity)	Part 16, Division 7, Subdivision 3, Table 1, Item 1 – Column 2			•		•		Other ³³	N
Tidal works or work in a coastal management district	Part 17, Division 3, Table 1-6, Item 1 – Column 2	•	•	•		•		7, 8	N
Urban design	Part 18			•		•		24	N
Water related development (Taking or interfering with water)	Part 19, Division 1, Subdivision 3, Table 1, Item 1 – Column 2	•				•		10	N
Water related development (Removing quarry material)	Part 19, Division 2, Subdivision 3, Table 1, Item 1 – Column 2	•				•		15	N
Water related development (Referable dams)	Part 19, Division 3, Subdivision 3, Table 1, Item 1 – Column 2	•				•		20	N
Water related development (Levees)	Part 19, Division 4, Subdivision 3, Table 1, Item 1 – Column 2	•				•		19	N
Wetland Protection Area	Part 20, Division 4, Table 1-2, Item 1 – Column 2	•	•	•		•		9	N

³³ As stated in Part 16, Division 7, Subdivision 3, Table 1, Item 4

4.2.2 STATE DEVELOPMENT ASSESSMENT PROVISIONS

The current version of SDAP is **version 3.0**, which commenced **18 February 2022**.

In that no referrals are identified, the SDAP do not apply to development as proposed.

4.2.3 PROHIBITED DEVELOPMENT

Schedule 10 of the Regulation identifies development that is prohibited development.

Table 4-3 provides a checklist against Schedule 10 and identifies that the development the subject of this development application does not include prohibited development.

TABLE 4-3 PROHIBITED DEVELOPMENT IDENTIFIED IN PLANNING REGULATION 2017

Prohibited Development	Prohibition Description (Schedule 10)	Applicable (Y/N)
Brothels	Part 2, Division 1	N
Clearing native vegetation	Part 3, Division	N
Environmentally relevant activities	Part 5, Division 1	N
Koala habitat area	Part 10, Division 1	N
Noise sensitive place on noise attenuation land	Part 11	N
SEQ regional landscape and rural production area and SEQ rural living area	Part 16, Division 1	N
SEQ regional landscape and rural production area and SEQ rural living area (Community activity)	Part 16, Division 3, Subdivision 1	N
SEQ regional landscape and rural production area and SEQ rural living area (Residential development)	Part 16, Division 5	N
SEQ regional landscape and rural production area and SEQ rural living area (Urban activity - Shopping Centre)	Part 16, Division 6, Subdivision 1	N
Wetland Protection Area	Part 20, Division 1	N

4.3 STATE PLANNING POLICY

The current version of the State Planning Policy (SPP) is **July 2017**. The Minister identified that the State Planning Policy (July 2014) was appropriately integrated in the *Douglas Shire Planning Scheme 2018*.

It is understood that significant changes between the 2014 and 2017 versions of the SPP have not occurred, relevant to the subject site. Therefore, further assessment against the July 2017 SPP has not been undertaken.

4.4 REGIONAL PLAN

The Minister identified that the *Douglas Shire Planning Scheme 2018*, specifically the strategic framework, appropriately advances the *Far North Queensland Regional Plan 2009-2031*, as it applies in the planning scheme area.

5. LOCAL PLANNING MATTERS

As at the time of writing, the *Douglas Shire Planning Scheme 2018* is the local planning instrument applicable to development within the Douglas Shire Council area.

The current version of the *Douglas Shire Planning Scheme 2018* (version 1.0) came into effect on 2 January 2018.

5.1 ZONE

The site is located within the Conservation Zone.

5.2 LOCAL PLAN

The site is located in Precinct 1 (General Conservation) of the Cape Tribulation / Daintree Coast Local Plan (Diwan – Cow Bay).

5.3 OVERLAYS

The site is subject to the following overlays under the CairnsPlan:

- Acid Sulfate Soils Overlay
- Bushfire Hazard Overlay
- Flood and Storm Tide Hazard Overlay
- Landscape Values Overlay
- Natural Areas Overlay
- Potential Landslide Hazard Overlay
- Transport Networks Overlay

Refer to the Planning and Development Certificate provided within **Schedule 3**.

5.4 CATEGORIES OF DEVELOPMENT AND ASSESSMENT

Pursuant to Table 5.6.c of the *Douglas Shire Planning Scheme 2018*, the development application is subject to Code Assessment.

Note – Within advice provided by Council's representative Ms Rebecca Taranto on 29 June 2022 it was confirmed that the proposed development did not constitute a Material Change of Use; however, it was identified that a Code Assessable development application seeking Preliminary Approval for Building Works assessable against the *Douglas Shire Planning Scheme 2018* would be required relevant to the proposed development.

5.5 ASSESSMENT BENCHMARKS

The following codes are identified as assessment benchmarks in respect of the proposed development:

- Conservation Zone Code
- Cape Tribulation / Daintree Coast Local Plan Code

A detailed assessment against the above-mentioned Codes is provided within **Schedule 5**.

5.5.1 AREAS OF NON-COMPLIANCE

Instances of non-compliance with prescribed Acceptable Outcomes are identified below (refer **Table 5-1**). Notwithstanding the instances of non-compliance, the proposed development complies with all applicable performance outcomes.

Development is taken to comply with the respective codes, on this basis.

TABLE 5-1. MERITS DESPITE NON-COMPLIANCE

Ref.	Planning provision	Merits and grounds for approval
Conservation Zone Code		
A03	Buildings and structures are setback not less than: <ul style="list-style-type: none"> (a) 40 metres from the frontage of a State-controlled road, existing or proposed arterial road, existing or proposed sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2; (b) 25 metres from Cape Tribulation Road frontage; (c) <u>20 metres from any other road frontage</u> (d) 10 metres from side and rear boundaries. 	<p>Complies with Performance Outcome</p> <p>The proposed carport will be setback approximately 12 metres from the road frontage boundary and therefore does not comply with the 20 metre Acceptable Outcome. Notwithstanding, the proposed carport is considered to be:</p> <ul style="list-style-type: none"> • sufficiently screened from Cypress Road by existing vegetation. In addition, a concrete slab with a temporary tarpaulin cover exists at the location of the proposed carport structure; and • generally consistent with the front setbacks of other Dwelling House development proximate to the site. <p>Side and rear boundary setbacks exceed the prescribed 10 metres.</p> <p>Development complies with PO3 on this basis.</p>
AO7.1 / AO7.2	For any development, the balance area of the site not built upon, including all setback areas must be landscaped/revegetated with dense three tier, endemic planting which is maintained to ensure successful screening is achieved. <p>Endemic palm species, where used, are planted as informal accent features and not as avenues and not in a regular pattern.</p>	<p>Complies with Performance Outcome</p> <p>The existing setbacks are not proposed to be subject to additional landscaping. However, existing vegetation located on the site is proposed to be retained. Development therefore complies with PO7, in that development is screened from view from adjoining roads and properties with a dense screen of endemic/native landscape which:</p> <ul style="list-style-type: none"> (a) is informal in character and complementary to the existing natural environment; (b) provides screening; (c) enhances the visual appearance of the development. <p>Development complies with PO7 on this basis.</p>

Ref.	Planning provision	Merits and grounds for approval
Cape Tribulation and Daintree Local Plan Code		
AO10.1	The elements of development and access to the site are included in a Designated Development Area (DDA).	<p>Complies with Performance Outcome</p> <p>It is not known whether the site is included in a DDA. Notwithstanding, the development is proposed to be undertaken within an existing cleared area (refer Figure 1 in the Town Planning Report) as confirmed by Council's representative Ms Rebecca Taranto in email correspondence dated 29 June 2022 as follows:</p> <p><i>"the proposed development does appear to comply with AO18 of the Cape Tribulation and Daintree Coast Local Plan, in that the clearing was lawfully cleared and remains cleared".</i></p> <p>Therefore, the proposed Building Work is considered to minimise the loss of vegetation and habitat connectivity on site and is sited to protect the environmental values of the site.</p> <p>Development complies with PO10 on this basis.</p>

7. CONCLUSION

The Applicant seeks a Preliminary Approval for Building Works (assessable against the *Douglas Shire Planning Scheme 2018*) to facilitate the establishment of extensions (including a new carport) to an existing Dwelling House located at 3 Cypress Road, Cow Bay.

The proposed extension reflects the form and aesthetic of existing residential development established on the site. The proposed extension will utilise an existing vehicle access to the site and no vegetation clearing is proposed to facilitate the extensions.

The proposed development can comply (including via conditions of approval relating to external finishes) with the applicable assessment benchmarks of the *Douglas Shire Planning Scheme 2018*.

In accordance with the above, we respectfully request that Council approve the development, subject to reasonable and relevant conditions.



3 Cypress Road, Cow Bay | July 2022

8. SCHEDULES

SCHEDULE 1 DA FORM 1

SCHEDULE 2 SEARCHES

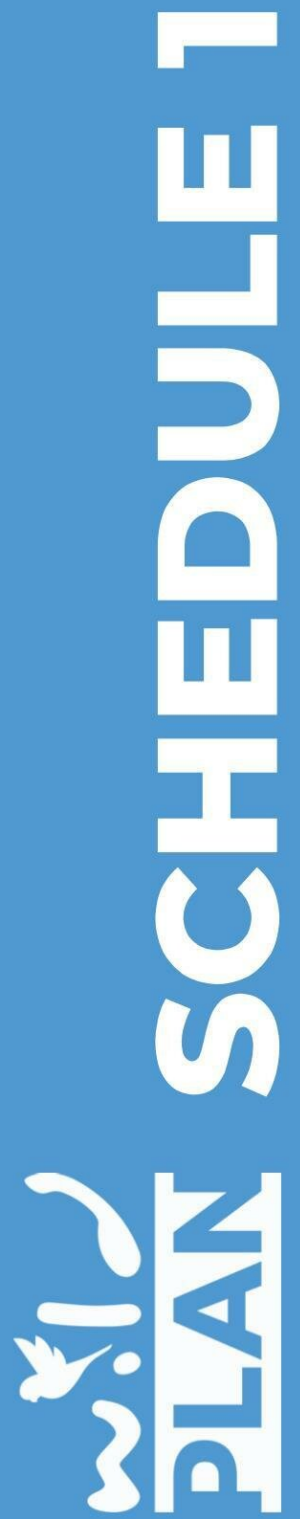
SCHEDULE 3 PLANNING AND DEVELOPMENT CERTIFICATE

SCHEDULE 4 PROPOSAL PLANS

SCHEDULE 5 CODE COMPLIANCE

SCHEDULE 1

DA FORMS



DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Kellie Roberts
Contact name (only applicable for companies)	C/ wildPLAN Pty Ltd
Postal address (P.O. Box or street address)	PO Box 8028
Suburb	CAIRNS
State	QLD
Postcode	4870
Country	Australia
Contact number	0487 967 533
Email address (non-mandatory)	dominic@wildplan.com.au
Mobile number (non-mandatory)	0487 967 533
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	WP22 031 ROB

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		3	Cypress Road	Cow Bay
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		292	RP739001	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☒ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer: Hutchinson Creek

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input checked="" type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input checked="" type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Building Work (associated with a Dwelling House) Assessable Against the Douglas Shire Planning Scheme
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.2) Provide details about the second development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.3) Additional aspects of development
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input checked="" type="checkbox"/> Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

--

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots: _____
<input type="checkbox"/> No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ _____

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<p>Note: By not agreeing to accept an information request I, the applicant, acknowledge:</p> <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. <p>Further advice about information requests is contained in the DA Forms Guide.</p>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☒ Yes – provide details below or include details in a schedule to this development application
☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	CRC 8/7/1457 (DSC 2008_2830)	17 April 2009	Cairns Regional Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☒ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	
Suburb	
State	
Postcode	
Country	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input type="checkbox"/> Street address AND lot on plan (all lots must be listed), or	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☐ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☐ Yes – proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☐ No

7) Information request under Part 3 of the DA Rules

- ☐ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☐ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:		Place ID:	
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PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	
State	

Postcode	
Country	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

15) Builder's details

☒ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	
Suburb	
State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

16) Provide details about the proposed building work

What type of approval is being sought?

- ☐ Development permit
☒ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment
☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------|
| <input type="checkbox"/> New building or structure | <input checked="" type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

Carport, deck extension, kitchen extension (Building Work assessable against Douglas Shire Planning Scheme only)

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

Class 1a

g) New building use/classification? (if applicable)
Class 1a (house extensions), Class 10a (carport)
h) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?
\$ TBA

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: It is unlawful to intentionally provide false or misleading information.
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government				
Confirm proposed construction materials:				
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass	
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other	
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Other			
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other	
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement	
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	

SCHEDULE 2

SEARCHES



Queensland Titles Registry Pty Ltd
 ABN 23 648 568 101

Title Reference:	21206094	Search Date:	12/07/2022 09:54
Date Title Created:	13/04/1983	Request No:	41646387
Previous Title:	20876165		

ESTATE AND LAND

Estate in Fee Simple

LOT 292 REGISTERED PLAN 739001
 Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 717474440 29/08/2016

KELLIE MAREE ROBERTS

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
 Deed of Grant No. 20103160 (POR 190)
2. MORTGAGE No 717474442 29/08/2016 at 10:04
 WESTPAC BANKING CORPORATION A.B.N. 33 007 457 141

ADMINISTRATIVE ADVICES

Dealing	Type	Lodgement Date	Status
721751571	OWNER BUILD QUEENSLAND BUILDING AND CONSTRUCTION COMMISSION ACT 1991	10/06/2022 10:12	CURRENT

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **



Department of Environment and Science (DES)
ABN 46 640 294 485
400 George St Brisbane, Queensland 4000
GPO Box 2454, Brisbane QLD 4001, AUSTRALIA
www.des.qld.gov.au

SEARCH RESPONSE
ENVIRONMENTAL MANAGEMENT REGISTER (EMR)
CONTAMINATED LAND REGISTER (CLR)

Angus Scown
GPO Box 2746
Brisbane QLD 4001

Transaction ID: 50793289 EMR Site Id: 13 July 2022
Cheque Number:
Client Reference:

This response relates to a search request received for the site:
Lot: 292 Plan: RP739001
3 CYPRESS RD
COW BAY

EMR RESULT

The above site is NOT included on the Environmental Management Register.

CLR RESULT

The above site is NOT included on the Contaminated Land Register.

ADDITIONAL ADVICE

All search responses include particulars of land listed in the EMR/CLR when the search was generated.
The EMR/CLR does NOT include:-

1. land which is contaminated land (or a complete list of contamination) if DES has not been notified
2. land on which a notifiable activity is being or has been undertaken (or a complete list of activities) if DES has not been notified

If you have any queries in relation to this search please email emr.clr.registry@des.qld.gov.au

Administering Authority

SCHEDULE 3

PLANNING AND DEVELOPMENT CERTIFICATE



2 June 2022

Your Ref: 3 Cypress Rd
Our Ref: Doc ID 1089809

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

Kellie Roberts
3 Cypress Road
COW BAY QLD 4873

Email: kellie.roberts86@gmail.com

Dear Madam

**Planning and Development Certificate
For Property At 3 Cypress Road Cow Bay Qld 4873
Land Described as Lot 292 on RP739001**

Council refers to your request for a Standard Planning and Development Certificate request received by Council on 31 May 2022. The requested Certificate is enclosed.

Council has a free online property report that maps zoning and overlays. A property report for Lot 292 on RP739001 is enclosed. This property report does not form part of the Planning and Development Certificate.

Should you require any clarification regarding this matter, please contact Jenny Elphinstone on phone 07 4099 9444.

Yours faithfully



For

PAUL HOYE

Manager Environment and Planning

Encl. Property report

Encl. Planning & Development Certificate

Enclosure complimentary property report — Not part of the planning and development certificate

2018 Douglas Shire Council Planning Scheme Property Report

The following report has been automatically generated to provide a general indication of development related information applying to the premise.

For more information and to determine if the mapping layers are applicable, refer to the [2018 Douglas Shire Council Planning Scheme](#). This report is not intended to replace the need for carrying out a detailed assessment of Council and State controls or the need to seek your own professional advice on any town planning instrument, local law or other controls that may impact on the existing or intended use of the premise mentioned in this report. For further information please contact Council by phone: [07 4099 9444](tel:0740999444) or [1800 026 318](tel:1800026318) or email enquiries@douglas.qld.gov.au.

Visit Council's website to apply for an [official property search or certificate](#), or contact the [Department of Natural Resources, Mines and Energy](#) to undertake a title search to ascertain how easements may affect a premise.

Property Information

Property Address [3 Cypress Road COW BAY](#)

Lot Plan [292RP739001](#) (Freehold - 10640m²)



Selected Property



Easements



Land Parcels

Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

Zoning

Applicable Zone









Conservation

More Information

- [View Section 6.2.3 Conservation Zone Code](#)
- [View Section 6.2.3 Conservation Zone Compliance table](#)
- [View Section 6.2.3 Conservation Zone Assessment table](#)

Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

 Local Plans	Applicable Precinct or Area Diwan - Cow Bay Precinct 1	More Information
 Acid Sulfate Soils	Applicable Precinct or Area Acid Sulfate Soils (5-20m AHD)	More Information <ul style="list-style-type: none"> View Section 8.2.1 Acid Sulfate Soils Overlay Code View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table
 Bushfire Hazard	Applicable Precinct or Area Potential Impact Buffer High Potential Bushfire Intensity	More Information <ul style="list-style-type: none"> View Section 8.2.2 Bushfire Hazard Overlay Code View Section 8.2.2 Bushfire Hazard Overlay Compliance table
 Flood Storm	Applicable Precinct or Area Floodplain Assessment Overlay (Daintree River)	More Information <ul style="list-style-type: none"> View Section 8.2.4 Flood and Storm Tide Hazard Overlay Code View Section 8.2.4 Flood and Storm Tide Hazard Overlay Compliance table
 Landscape Values	Landscape Values High landscape values	More Information <ul style="list-style-type: none"> View Section 8.2.6 Landscape Values Overlay Code View Section 8.2.6 Landscape Values Overlay Compliance table
 Landslide	Applicable Precinct or Area Landslide Hazard (High & Medium Hazard Risk)	More Information <ul style="list-style-type: none"> View Section 8.2.9 Potential Landslide Hazard Overlay Code View Section 8.2.9 Potential Landslide Hazard Overlay Compliance table
 Natural Areas	Applicable Precinct or Area MSES - Wildlife Habitat MSES - Regulated Vegetation	More Information <ul style="list-style-type: none"> View Section 8.2.7 Natural Areas Overlay Code View Section 8.2.7 Natural Areas Overlay Compliance table
 Transport Road Hierarchy	Applicable Precinct or Area Access Road	More Information <ul style="list-style-type: none"> View Section 8.2.10 Transport Network Overlay Code View Section 8.2.10 Transport Network Overlay Compliance table

Zoning

Applicable Zone
Conservation

- More Information**
- [View Section 6.2.3 Conservation Zone Code](#)
 - [View Section 6.2.3 Conservation Zone Compliance table](#)
 - [View Section 6.2.3 Conservation Zone Assessment table](#)



☒ Selected Property

☐ Land Parcels

<input type="checkbox"/> Centre	<input type="checkbox"/> Community Facilities	<input type="checkbox"/> Conservation	<input type="checkbox"/> Environmental Management
<input type="checkbox"/> Industry	<input type="checkbox"/> Low Density Residential	<input type="checkbox"/> Low-medium Density Residential	<input type="checkbox"/> Medium Density Residential
<input type="checkbox"/> Recreation and Open Space	<input type="checkbox"/> Rural	<input type="checkbox"/> Rural Residential	<input type="checkbox"/> Special Purpose
<input type="checkbox"/> Tourism	<input type="checkbox"/> Tourist Accommodation		

Local Plans


Applicable Precinct or Area

Diwan - Cow Bay
Precinct 1

More Information



 Selected Property

 Land Parcels

Transport Investigation Corridor

 Transport Investigation Corridors

Major Road Connections

 Major Road Connections

Major Road Connections (No Arrow)

 Major Road Connections

Daintree River to Bloomfield

 Daintree River to Bloomfield

Creb Track and Quaid Road

 Creb Track


60 metre contour


 60 metre contour


Local Plan Boundary


 Local Plan Boundary


Local Plan Sub Precincts


 1d Limited Development

 1a Town Centre

 1b Waterfront North

 1c Waterfront South

 1e Community and Recreation

 1f Flagstaff Hill

Local Plan Precincts

Not Part of a Precinct

 Precinct 4

 Precinct 8

 Precinct 1

 Precinct 5

 Precinct 9


 Precinct 2

 Precinct 6


 Precinct 3

 Precinct 7

Live Entertainment Precinct

 Live Entertainment Precinct

Indicative Future Open Space

 Indicative Future Open Space

 Road Reserve Esplanade

Acid Sulfate Soils

Applicable Precinct or Area
Acid Sulfate Soils (5-20m AHD)

- More Information**
- [View Section 8.2.1 Acid Sulfate Soils Overlay Code](#)
 - [View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table](#)



☒ Selected Property

☐ Land Parcels

Acid Sulfate Soils

☒ Acid Sulfate Soils (< 5m AHD)

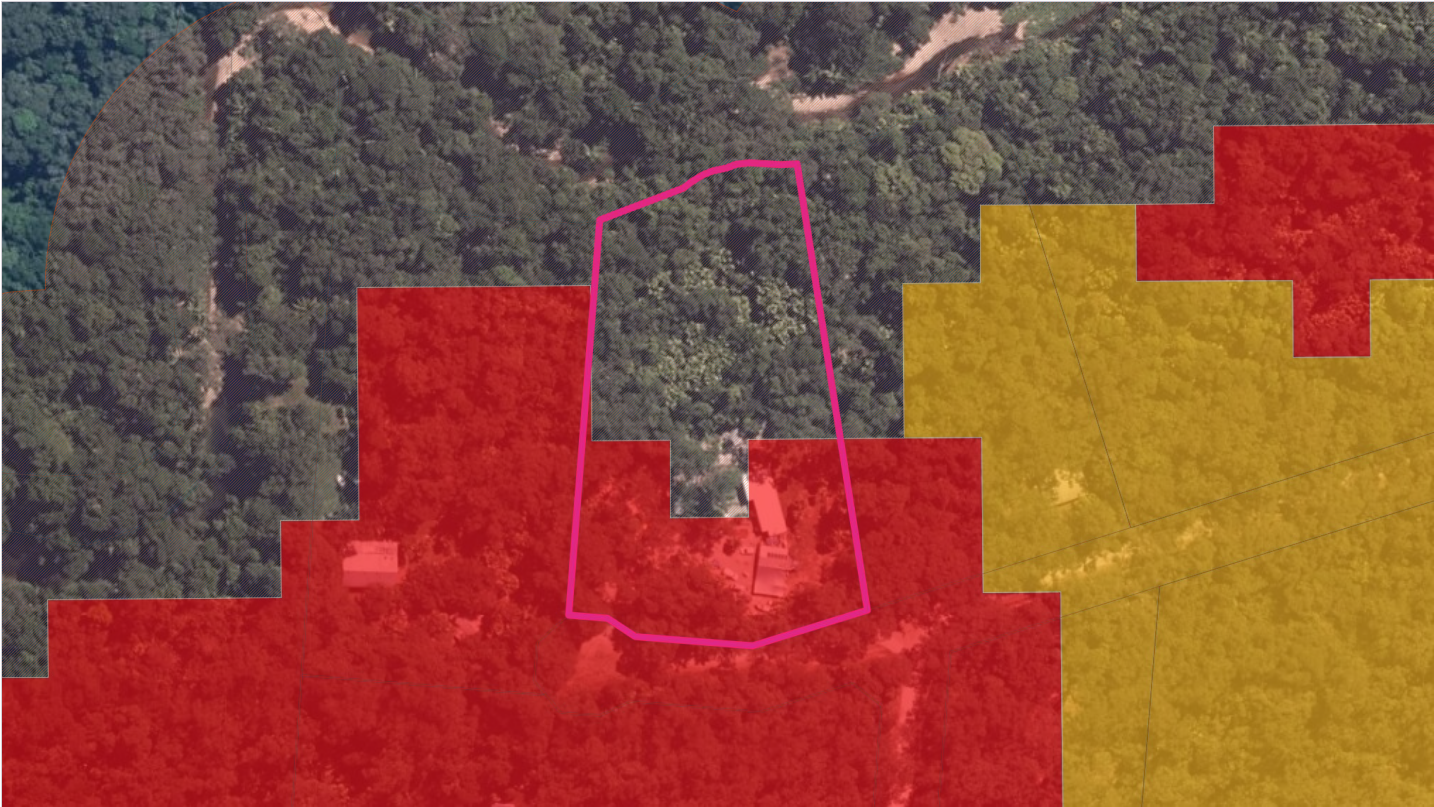
☐ Acid Sulfate Soils (5-20m AHD)

☐ all others

Bushfire Hazard

Applicable Precinct or Area
Potential Impact Buffer
High Potential Bushfire Intensity

- More Information**
- [View Section 8.2.2 Bushfire Hazard Overlay Code](#)
 - [View Section 8.2.2 Bushfire Hazard Overlay Compliance table](#)



☒ Selected Property

☐ Land Parcels

Bushfire_Hazard

☒ High Potential Bushfire Intensity

☒ Medium Potential Bushfire Intensity

☒ Potential Impact Buffer

☒ Very High Potential Bushfire Intensity







☐ all others

Flood Storm

Applicable Precinct or Area
Floodplain Assessment Overlay (Daintree River)

- More Information**
- [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Code](#)
 - [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Compliance table](#)



 Selected Property	 Land Parcels	 Medium Storm Tide Hazard	 High Storm Tide Hazard
 100 Year ARI - Mossman Port Douglas and Daintree Flood Studies		 Floodplain Assessment Overlay	

Landscape Values

Landscape Values
High landscape values

- More Information**
- [View Section 8.2.6 Landscape Values Overlay Code](#)
 - [View Section 8.2.6 Landscape Values Overlay Compliance table](#)



Selected Property	Land Parcels	Scenic Buffer Area			
		Gateway	Lookout	Scenic route	Scenic route buffer
		View corridor	all others		

Landscape Values			
Coastal scenery	High landscape values	Medium Landscape Value	all others


Landslide

Applicable Precinct or Area
Landslide Hazard (High & Medium Hazard Risk)

- More Information**
- [View Section 8.2.9 Potential Landslide Hazard Overlay Code](#)
 - [View Section 8.2.9 Potential Landslide Hazard Overlay Compliance table](#)



 Selected Property

 Land Parcels

 Potential Landslide Hazard

Natural Areas

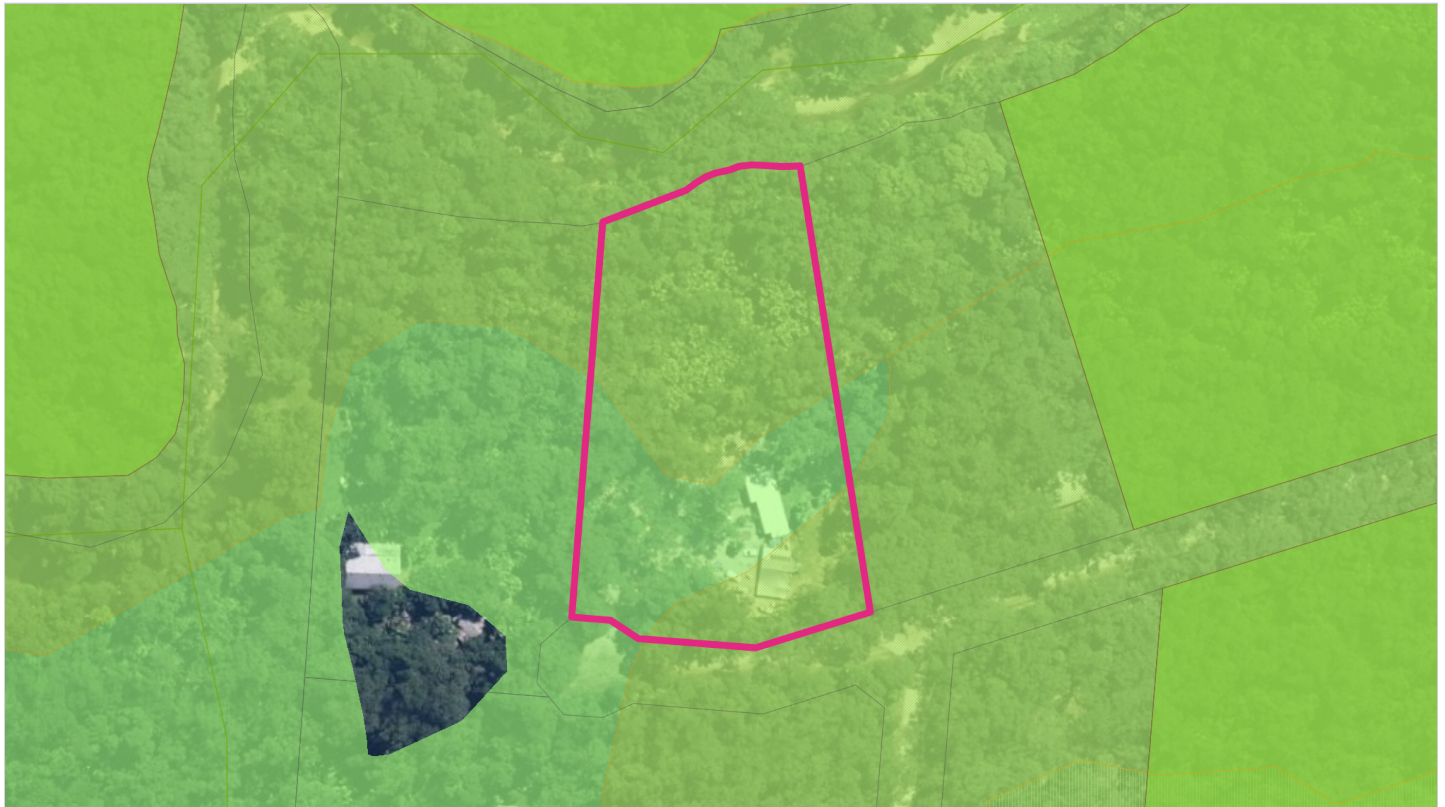
Applicable Precinct or Area

MSES - Wildlife Habitat

MSES - Regulated Vegetation

More Information

- [View Section 8.2.7 Natural Areas Overlay Code](#)
- [View Section 8.2.7 Natural Areas Overlay Compliance table](#)



 Selected Property

 Land Parcels

MSES - Regulated Vegetation (Intersecting a Watercourse)

MSES - High Ecological Value Waters (Watercourse)

MSES - Wildlife Habitat

MSES - Regulated Vegetation

MSES - Protected Area

MSES - Marine Park

MSES - Legally Secured Offset Area

MSES - High Ecological Value Waters (Wetland)

MSES - High Ecological Significance Wetlands

Transport Road Hierarchy

Applicable Precinct or Area

Access Road

More Information

- [View Section 8.2.10 Transport Network Overlay Code](#)
- [View Section 8.2.10 Transport Network Overlay Compliance table](#)



☒ Selected Property

☐ Land Parcels

Road Hierarchy

— Access Road

— Arterial Road

— Collector Road

— Industrial Road

— Major Rural Road

— Minor Rural Road

— Sub Arterial Road

— Unformed Road

— all others

☐ Major Transport Corridor Buffer Area

Disclaimer

This report is not a substitute for a Planning and Development Certificate and should not be relied upon where the reliance may result in loss, damage or injury. While every effort is taken to ensure the information in this report is accurate and up to date, Douglas Shire Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the report being inaccurate or incomplete in any way or for any reason.

PLANNING AND DEVELOPMENT CERTIFICATE

Pursuant to Section 265 of the *Planning Act 2016* and Schedule 23, Section 1 and 2 of Planning Regulation 2017

Administration

Date of Request:	31 May 2022
Date of Completion:	2 June 2022
Planning and Development Certificate Type	Standard Planning Certificate

Land in Respect of Which Application is Made:

Local Government Area:	Douglas Shire Council
Real Property Description:	Lot 292 on RP739001
Street Address:	3 Cypress Road Cow Bay Qld 4873
Parcel Number:	6852

Planning and Development Certificate – Information:

The following information is provided in accordance with Schedule 23, Section 1 of the *Planning Regulation 2017*.

(a) *a summary of the provisions of any planning scheme or charges resolution applying specifically to the premises.*

2018 Douglas Shire Planning Scheme		The 2018 Planning Scheme came into effect on 2 January 2018.
Provisions:	<i>The following planning scheme provisions apply specifically to the premises:</i>	
	Zone:	Conservation Zone
	Local Plan:	Cape Tribulation and Daintree Coast Local Plan Precinct 1 – Conservation Precinct
	Overlays	<ul style="list-style-type: none">• Acid sulphate Soils Overlay:<ul style="list-style-type: none">• the land is mapped as Acid Sulfate Soils (5-20m AHD)• Bushfire Hazard Overlay:<ul style="list-style-type: none">• Part of the land is mapped as High Potential Bushfire Intensity; and• Part of the land is mapped as Potential Impact Buffer.• Coast Processes Overlay:<ul style="list-style-type: none">• the land is not mapped as Erosion Prone Area; and• the land is not mapped within the Coastal Management District.

Provisions:	<i>The following planning scheme provisions apply specifically to the premises:</i>	
	Overlays	<ul style="list-style-type: none"> • Flood and Storm Tide Inundation Overlay: the land is mapped as within the Floodplain Assessment Overlay. • Hillslopes Overlay: the land is not mapped within the Area Affected by Hillslopes. • Landscape Values Overlay: the land is mapped as: <ul style="list-style-type: none"> • Landscape Values - High landscape values; • Landslide Hazard: <ul style="list-style-type: none"> • Part of the land is mapped as Potential Landslide Hazard; and • Part of the land is not mapped as Potential Landslide Hazard. • Natural Areas Overlay: <ul style="list-style-type: none"> • Part of the land is mapped as MSES - Wildlife Habitat; and • The land is mapped as MSES - Regulated Vegetation (Of concern Regional Ecosystem) • Places of Significance Overlay: the land is not mapped. • Transport Network Overlay: <ul style="list-style-type: none"> • On the Road Hierarchy Overlay: the adjacent Cypress Road is mapped as an Access Road. • Pedestrian and Cycle Overlay: the adjacent Cypress Road is not mapped; and • Transport Noise Corridors Overlay: the land is not mapped.

A copy of the 2018 Douglas Shire Planning Scheme is available on Council's website at <https://douglas.qld.gov.au/development/schemes-masterplans/douglas-shire-planning-scheme/>

The Planning Scheme available on the website includes the Planning Scheme maps.

<i>Provisions of any charges resolution applying specifically to the premises:</i>	
Provisions	Pursuant to section 113 of the Planning Act 2016 Douglas Shire Council has Adopted Infrastructure Charges in accordance with Council's Adopted Infrastructure Charges Resolution adopted on 5 June 2018 and commenced on 1 July 2018. These charges were amended by a further Resolution adopted by Council on 23 February 2021 with effect on 1 March 2021.

A copy of the Adopted Infrastructure Charges Resolution is available on Council's website at <https://douglas.qld.gov.au/development/planning-services/adopted-infrastructure-charges/>

(b) *if a TLPI applies to the premises and suspends or otherwise affects the operation of a planning scheme provision stated in paragraph (a)—a description of the way in which the TLPI suspends or otherwise affects the provision:*

None applicable.

- (c) *if a variation approval is in effect for the premises—a description of the way in which the variation approval varies the effect of a planning scheme provision stated in paragraph (a)*

None applicable.

- (d) *if a provision of a State planning instrument applies to the premises—a summary of the provision*

The State Planning Policy (SPP) commenced on 29 April 2016, contains 16 state interests that are important to protect and enhance through Queensland's continued development. It is a key component of the state's land use planning system that enables responsible development, contributing to a liveable, sustainable and prosperous Queensland. The SPP provides clarity to local governments when making and amending local planning instruments and assessing development applications and assists applicants in preparing development applications.

- (e) *a description of any designation applying to the premises*

None applicable.

- (f) *a copy of any information recorded for the premises in the infrastructure charges register kept by the local government:*

None recorded.

The following information is provided in accordance with Schedule 23, Section 2 – Standard Planning Certificate of the Planning Regulation 2017

Schedule 23, Section 2 of Planning Regulation 2017				Enclosed	N/A
(a) a copy of every decision notice or negotiated decision notice for a development approval in effect for the premises: ▪ As detailed below.				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date	DSC Application No	Private Certifier's Reference	Description	Attachment No.	
17 April 2009	CRC 8/7/1457 (DSC 2008_2830)	N/A	Development Permit issued for a material change of use (code) for a house. Approval issued by the Douglas Iconic Panel, Queensland Government.	1	
24 April 2009	2009_7354	GMA Certification Group 20080281	Development permit for building work for a single dwelling and shed.	2	
(b) details of any changes made to a development approval in effect for the premises: ▪ None known.				<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) details of any approval given to extend the currency period of a development approval in effect for the premises; ▪ None known.				<input type="checkbox"/>	<input checked="" type="checkbox"/>

(d)	a copy of every deemed approval notice relating to the premises, if the development approval that the notice relates to has not lapsed; ▪None applicable.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e)	a copy of every continuing approval stated in the repealed IPA, section 6.1.23(1)(a) to (d) relating to, and in effect for, the premises, including any approval, consent or permission that, under the repealed LGP&E Act, section 8.10(8) was continued in effect as if it were an approval, consent or permission stated in the repealed IPA, section 6.1.23(1)(a) to (d); ▪None applicable.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(f)	details of any decision to approve or refuse an application to amend a planning scheme made under the repealed LGP&E Act, section 4.3, including any conditions of approval, relating to the premises; ▪None applicable.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(g)	a copy of every compliance certificate given under the old Act relating to the premises and in effect at the time the standard planning and development certificate is given, including any changes made to the compliance certificate; ▪Included in attachment where applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(h)	a copy of any exemption certificate for development on the premises given by the local government under section 46 of the Act, including— (i) the day the certificate was given; and (ii) if the certificate is no longer in effect for the premises—the day it stopped having effect; ▪None Applicable.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(i)	a copy of any judgment or order of the P&E Court or a tribunal about— (i) a development approval in effect for the premises; or (ii) a condition included in a compliance certificate in effect for the premises; ▪None Applicable.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(j)	a copy of any agreement that the local government is a party to about a development condition of a development approval in effect for the premises; ▪None Applicable.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(k)	a copy of any agreement that a referral agency is a party to about a development condition of a development approval in effect for the premises, if the local government has been given a copy of the agreement ▪None Applicable.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<p>(l) a copy of any infrastructure agreement applying to the premises that the local government—</p> <p>(i) is a party to; or</p> <p>(ii) has received a copy of under section 153 of the Act;</p> <p>▪None Applicable.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>(m) a description of each amendment, proposed to be made by the local government to its planning scheme, that has not yet been made at the time the certificate is given;</p> <p>None Applicable.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>(n) if the premises are within a declared master planned area—</p> <p>(i) a copy of each master plan (<i>a current master plan</i>) applying to the premises that continues to have effect under section 315 of the Act; and</p> <p>(ii) a copy of each notice of decision or negotiated decision given under the old Act about a master plan application under that repealed Act for a current master plan; and</p> <p>(iii) a copy of any judgement or order of the P&E Court or a building and development committee under the old Act about a condition included in a current master plan</p> <p>▪Not in a declared master planned area.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Authorisation

I hereby certify that the information provided in this Planning Certificate is correct and in accordance with the *Planning Act 2016*.



For

PAUL HOYE

Manager Environment and Planning

2 June 2022

Attachment 2

BA 2009_7354 GMA 20080281

Development Permit for Building Work for a single dwelling and shed

24 April 2009

**Decision Notice
APPROVAL***Integrated Planning Act 1997 S 3.5.15*

Our Ref: Meeting 18 Item 2-1
Council Ref: 8/7/1457
EPA Ref: Ref IPAR01274408
Project manager: Nikki Huddy
Contact: 0447 323384

17 April 2009

Cairns Regional Council
PO Box 359
Cairns QLD 4870



Dear Simon

**Decision of the Douglas Development Assessment Panel
Material Change of Use (Code) House in Rainforest Conservation Precinct.
Lot 292 RP739001, Cypress Road, Cow Bay**

I wish to advise that, on 14 April 2009, the above development application was approved in full with conditions. The conditions relevant to this approval are attached. These conditions are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

The applicant has waived their appeal rights and this application has been forwarded to the EPA a submitter.

If you wish to discuss this matter further, please contact me on 0447 323384.

Yours sincerely,



Nikki Huddy
**Project Manager
Douglas Development Assessment Panel**

Att.

1. Details of the approval -

The following type of approval has been issued - *[delete those not applicable]*

	IPA schedule 8 reference	Development Permit	Preliminary Approval
• Material change of use made assessable by the planning scheme		✓	

2. The relevant period for the approval -

- ✓ The relevant periods stated in section 3.5.21 of the *Integrated Planning Act 1997* (IPA) apply to each aspect of development in this approval, as outlined below—

- X material change of use – 4 years;
☐ reconfiguring a lot not requiring operational works – 2 years;
☐ reconfiguring a lot requiring operational works – 4 years;
☐ any other development not listed above – 2 years.

If there is 1 or more subsequent related approvals¹ for a development approval for a material change of use or a reconfiguration, the relevant period for the approval will be taken to have started on the day the latest related approval takes effect.

3. The approved plans -

The approved plans and / or documents for this development approval are listed in the following table. These documents are contained in **Appendix 1**.

Drawing or Document	Reference	Date
Site Plan	A2 REV A	03 Sept 08 received 09/12/2008
Floor Plan	A3 REV A	03 Sept 08
Elevations	A8 REV A	03 Sept 08
Elevations	A9 REV A	03 Sept 08
Perspective Views	A12 REV A	03 Sept 08

4. Other necessary development permits -

Listed below are other development permits that are necessary to allow the development to be carried out –

- Development Permit for Building Work

¹ For the meaning of 'related approval', refer to section 3.5.21(7) of IPA

5. Conditions of approval

Assessment Manager Conditions

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-
 - a. The specifications, facts and circumstances as set out in the application submitted to Cairns Regional Council;
 - b. To ensure that the development complies in all respects with the following conditions of approval and the requirements of Cairns Regional Council's Planning Scheme and the FNQROC Development Manual; and

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Vegetation Clearing

3. Existing vegetation on the subject land must be retained in all areas outside the Designated Development Area, this being the area already cleared in accordance with a Permit to Damage Protected Vegetation issued 20 July 2004. Any further clearing on the site requires a Permit to Damage Protected Vegetation under Amendment 1 of 2006 Of Local Law No. 56 Vegetation Management.

Water Supply

4. Water storage tank(s) with a minimum capacity not less than 30,000 litres, and must be installed prior to occupation of the premises. Details of the water tank(s) must be shown on plans submitted with the building application. Such water tanks must be provided with:
 - a. Mosquito-proof screens of brass, copper, aluminium or stainless steel gauze not coarser than 1mm aperture mesh of substantial construction and installed in such manner as not to cause or accelerate corrosion; or
 - b. Flap valve at every opening of the tank or other receptacle; or
 - c. Other approved means for preventing the ingress or egress of mosquitoes; and
 - d. Where a tank or other receptacle is provided with a manhole, the manhole must have a diameter of no more than 40cm; and
 - e. The water tank(s) shall be fitted with a 50mm ball valve with a camlock fitting.
 - f. Provision of a connection to the tank system to enable attachment of fire fighting hose.

On-site Effluent Disposal

5. *The method of on-site effluent disposal must be in accordance with the Queensland Plumbing & Wastewater Code. Details of the wastewater treatment system to be installed must be approved by the Chief Executive Officer of Cairns Regional Council, prior to the issue of a Development Permit for Building Work.*

Generators

6. *All power generation devices are to be positioned and housed (including noise attenuation material) so as to mitigate noise nuisance to adjoining and nearby residents.*

Fuel Storage

7. *All fuels must be stored in an undercover and secure location at all times.*

Building Colours

8. *The exterior finishes and colours of Buildings are non-reflective and blend with the natural colours of the surrounding environment. Roofs must be of moderately dark to darker shades of green, grey, blue and brown. The following proposed building colours are approved for use:*
 - a. *Exterior Walls – Colorbond “Blue Ridge”*
 - b. *Roof – Colorbond “Windspray”*

The applicant/owner must also ensure that the above Building Exterior requirements are made known in writing to all prospective purchasers.

Sediment and Erosion Control

9. *The soil and water management measures must be installed/implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the Environmental Protection Act 1994, and the FNQROC Development Manual).*

Lawful Point of Discharge

10. *The applicant/owner must ensure that the flow of all external stormwater from the property is directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development, all to the requirements and satisfaction of the Chief Executive Officer of Cairns Regional Council.*

Minimum Fill and Floor Levels

11. *All floor levels in all buildings must be located 150mm above the Q100 flood immunity level of 3.4 metres AHD, plus any hydraulic grade effect (whichever is the greater), in accordance with FNQROC Development Manual and Planning Scheme requirements.*

Water Saving

12. *All toilet devices in the development must be fitted with dual flush cisterns and showers and hand basins in the development must be fitted with flow control valves or similar water control devices to generally restrict flow to 9 litres of water per minute.*

House

13. *The lot must not contain more than one House and such House is to be occupied by one household.*

Landscaping

14. *All landscaping to be installed must consist of 100% native and endemic species only and planted in an irregular and random fashion to blend with existing vegetation. Exotic species are not permitted.*

A Landscape Plan nominating the species and location of trees and shrubs to be planted must be endorsed by the Chief Executive Officer of Cairns Regional Council. The approval and completion of all landscaping works must be undertaken in accordance with the endorsed plan prior to the issue of a Certificate of Classification or Commencement of Use whichever occurs first. The landscape plan does not need to be professionally drawn but does need to be of a standard which clearly illustrates those areas to be planted.

Fences

15. *Fences are limited in extent to the confines of the cleared area around the House and associated gates are self-closing to ensure that wildlife movement, fauna habitat and habitat corridors are protected and domestic impacts minimised.*

External Lighting

16. *Any flood lights to be installed must not point upwards and areas of retained vegetation should not be illuminated. Where appropriate, outdoor lights should be controlled by movement detectors and/or have timers.*

Referral Agency Conditions & Requirements

Referral Agency	Referral Agency Reference	Date	Cairns Regional Council Electronic Reference
Environmental Protection Agency	CNS 8043 – 331120 IPAR01274408	19 November 2008	--

Refer to **Appendix 2: Referral Agency Advice**. (Please note that these conditions / requirements may be superseded by subsequent negotiations with the relevant referral agencies).

ADVICE

1. This approval, granted under the provisions of the Integrated Planning Act 1997, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of Section 3.5.21 of the Integrated Planning Act 1997.
2. The applicant/owner is advised that this approval does not approve the construction of the building works. The applicant will be required to obtain a Development Permit for Building Work in order for construction to commence.
3. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Cairns Regional Council Officers, prior to commencement of works.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. The taking of water, or interfering with water from streams or groundwater sources will require a permit administered under the Water Act 2000 and issued by the regional office of the Department of the Natural Resources and Water. Further information can be obtained from the Department of Natural Resources and Water on (07) 4039 8431 or at www.nrw.qld.gov.au.
6. For information relating to the Integrated Planning Act 1997 log on to www.ipa.qld.gov.au. To access Cairns Regional Council's Development Manual, Local Laws and other applicable Policies log on to www.cairns.qld.gov.au.

PROPERTY NOTATIONS

On-site Effluent and Designated Development Area

1. There is a Designated Development Area on this lot within which all buildings and structures must be contained, with the exception of the On-Site Effluent Disposal System. The owner(s) of this property must obtain Cairns Regional Council approval prior to building any structure outside of the approved Designated

Development Area. For further information contact Cairns Regional Council's Development Assessment department.

6. IDAS referral agencies - [Delete if not applicable to the application]

The IDAS referral agencies applicable to this application are –

For an application involving...	Name of referral agency	Status	Address
1. Item 38 of Table 2 of Schedule 2 of the Integrated Planning Regulations	Environmental Protection Agency – Attention Michael Trenerry	Advice Agency	Advice Agency

7. Submissions -

There was one submission. In accordance with s 3.5.15(2)(j) of the IPA, the name and address of the principal submitter for each properly made submission are as follows—

Name of principal submitter	Address
1. Environmental Protection Agency Attention Michael Trenerry Ref IPAR01274408	PO Box 2066 Cairns QLD 4870 Phone 4046 6694

8. Appeal rights -

Attached is an extract from the IPA which details your appeal rights and the appeal rights of any submitters regarding this decision.

9. When the development approval takes effect -

This development approval takes effect -

- from the time the decision notice is given, if there is no submitter and the applicant does not appeal the decision to the court

OR

- if there is a submitter and the applicant does not appeal the decision, the earlier date of either:
 - when the submitter's appeal period ends; or
 - the day the last submitter gives the assessment manager written notice that the submitter will not be appealing the decision.

OR

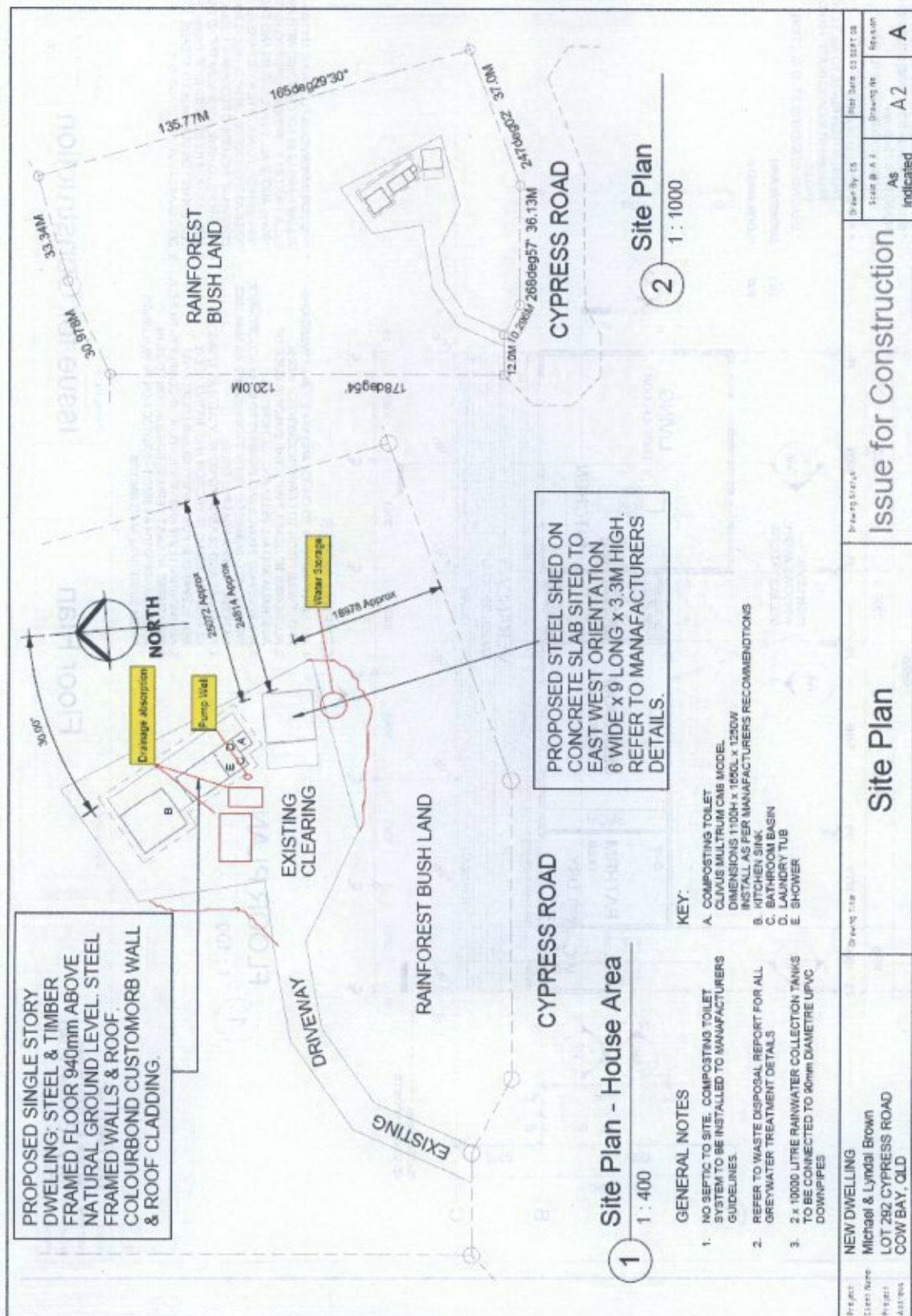
- subject to the decision of the court, when the appeal is finally decided, if an appeal is made to the court.

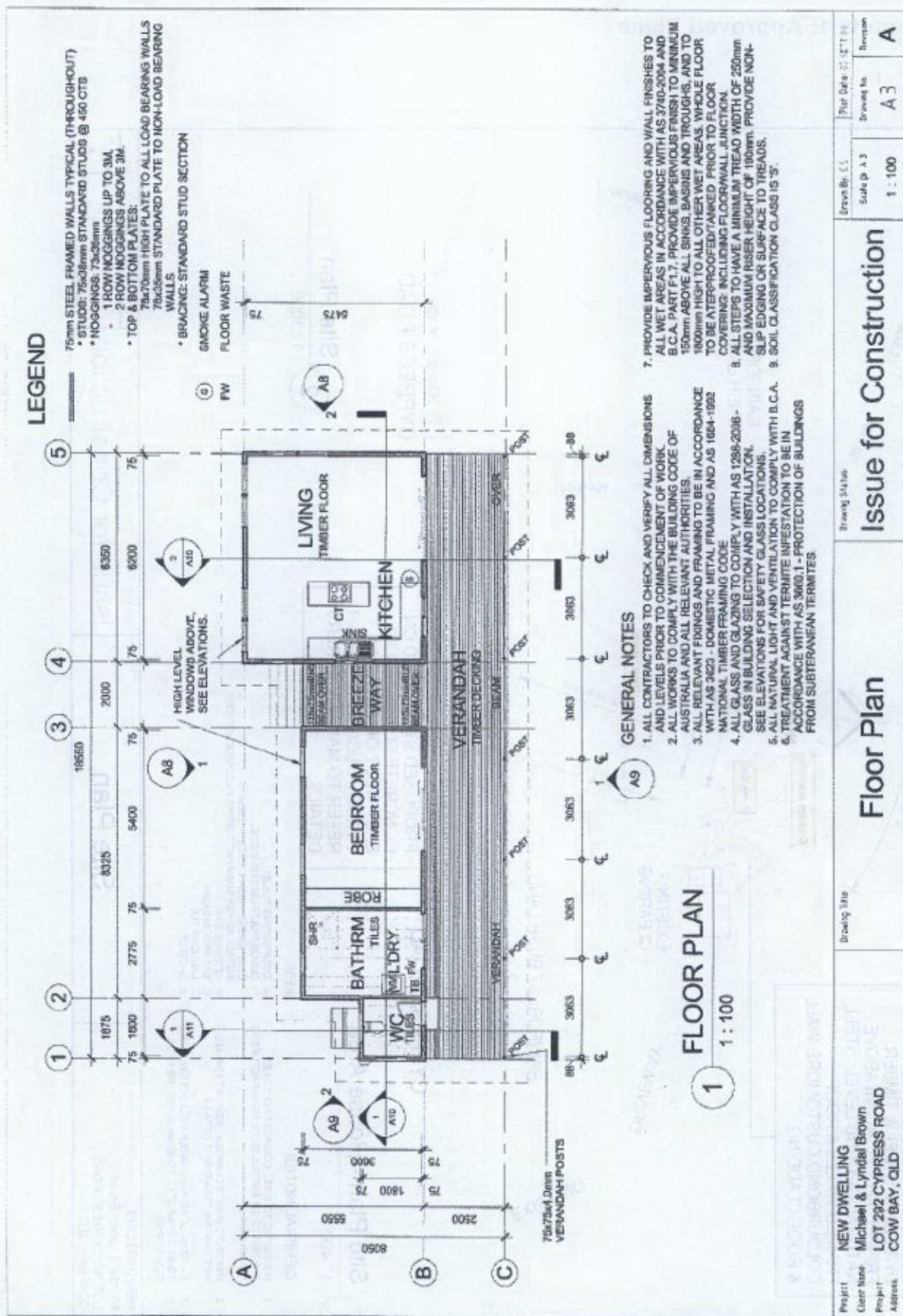
This approval will lapse if—

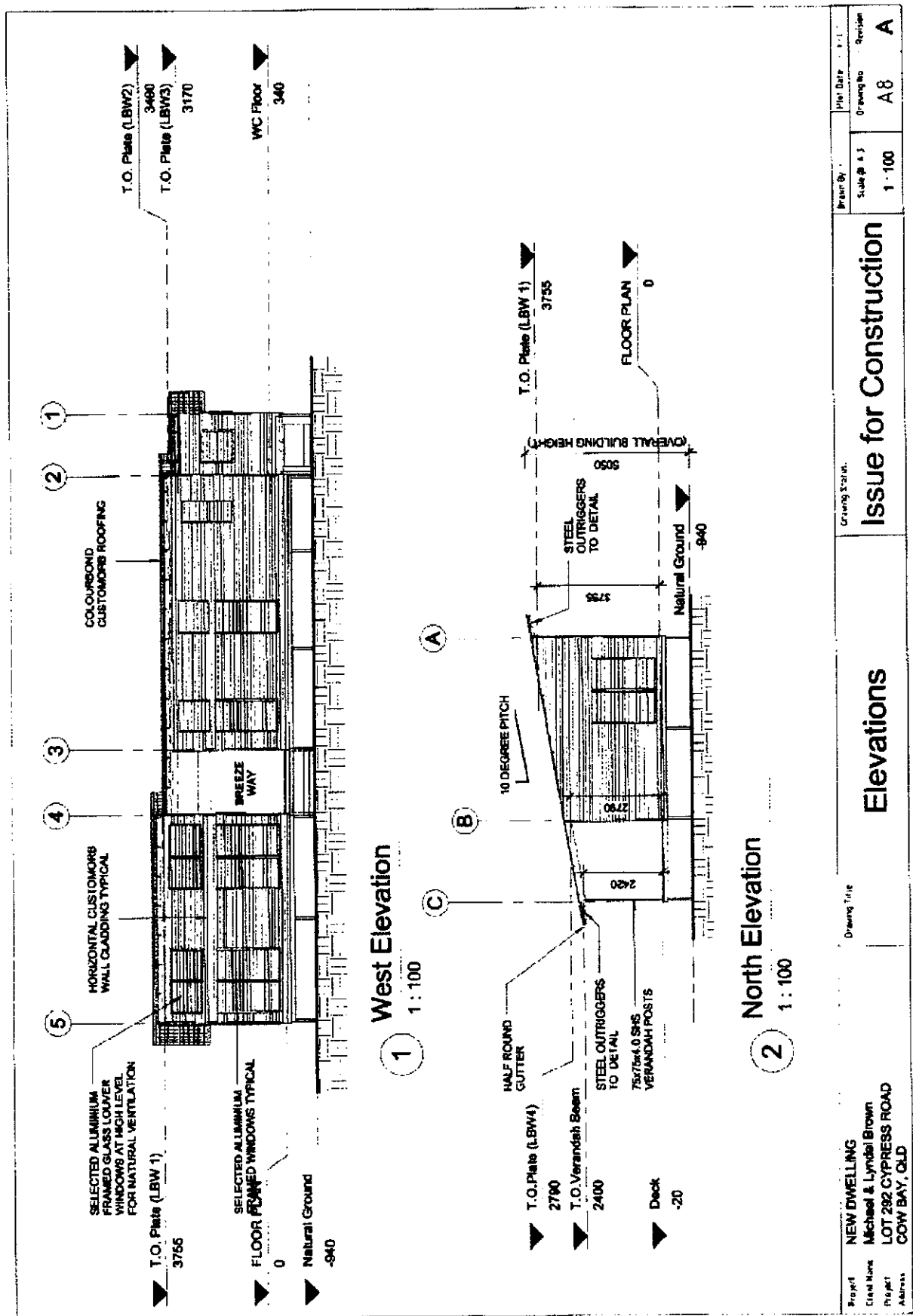
- for a material change of use, the first change of use under the approval does not start within the relevant period stated in section 2 of this decision notice;
- for a reconfiguration, a plan for the reconfiguration is not given to the local government within the relevant period stated in section 2 of this decision notice;
- for a development approval other than a material change of use or reconfiguration, the development does not substantially start within the relevant period stated in section 2 of this decision notice.

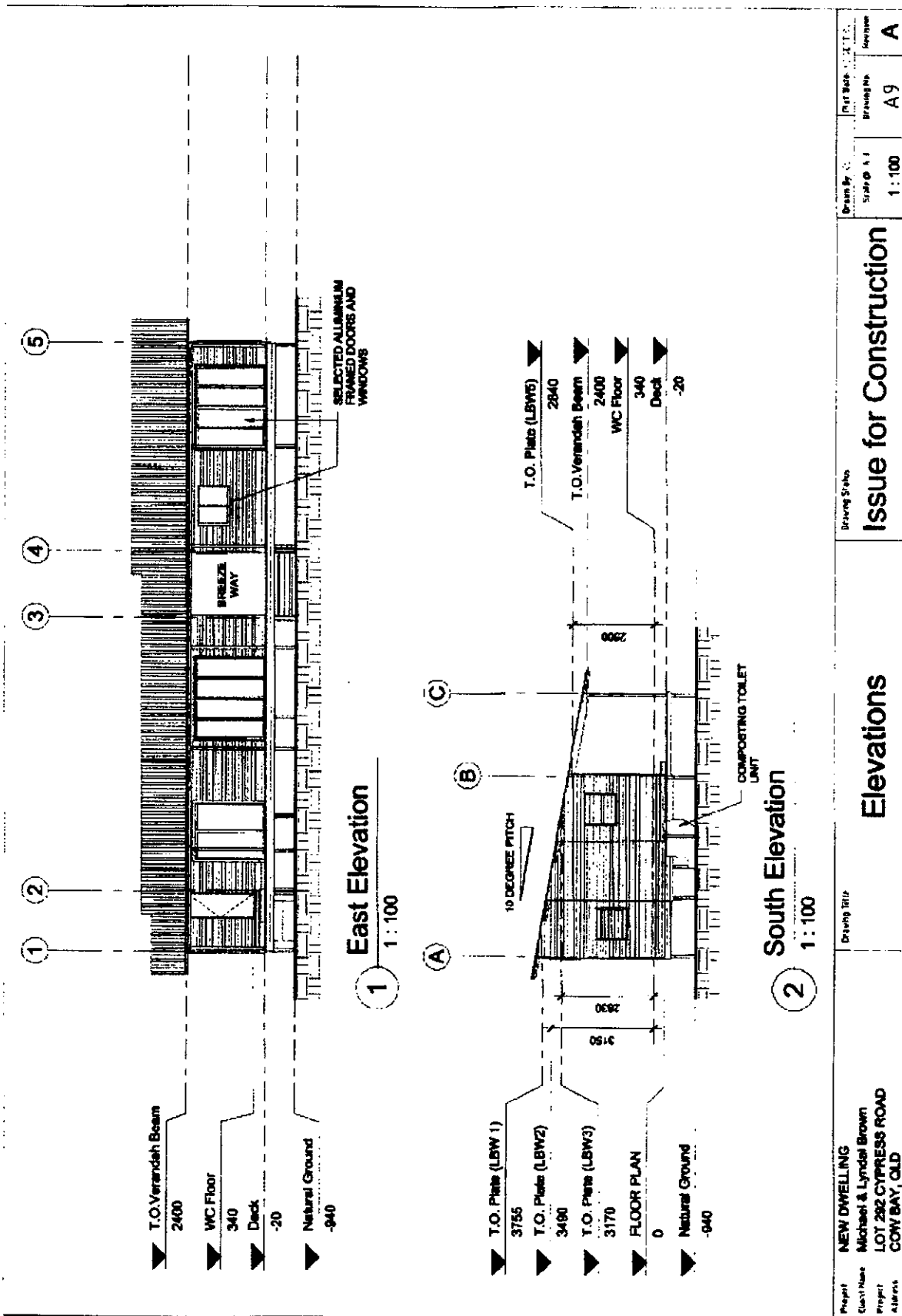
Note that in the case of a development approval for a material change of use or for reconfiguring a lot, if there is 1 or more subsequent related approvals the relevant period for the material change of use or reconfiguration will restart from the date of the related approval taking effect. Please refer to section 3.5.21 of IPA for further information.

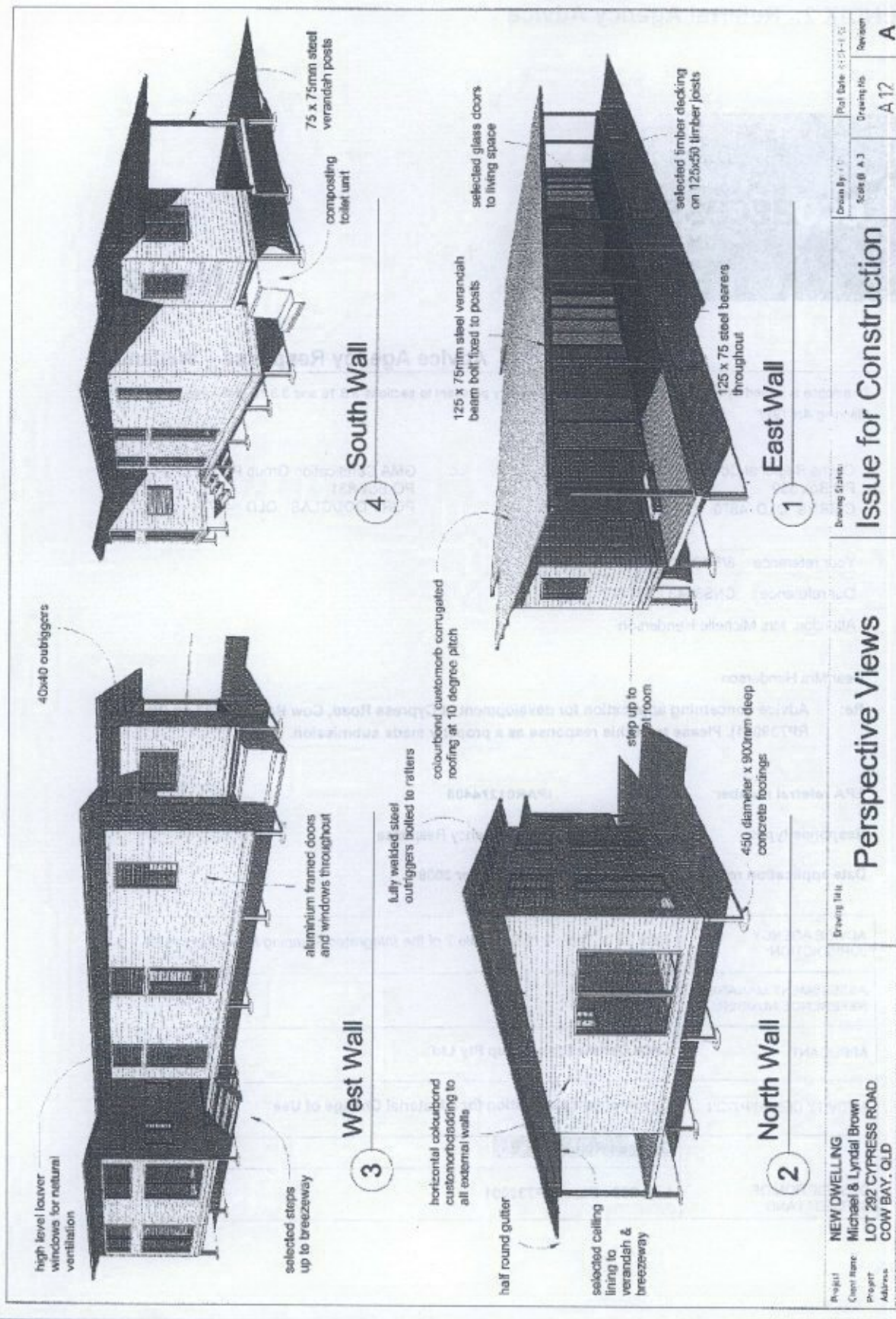
Appendix 1: Approved Plans











APPENDIX 2: Referral Agency Advice



Notice

Advice Agency Response – Wetlands

This notice is issued by the Environmental Protection Agency pursuant to sections 3.3.16 and 3.3.19 of the *Integrated Planning Act 1997*.

Cairns Regional Council
PO Box 359
CAIRNS QLD 4870

cc: GMA Certification Group Pty Ltd
PO Box 831
PORT DOUGLAS QLD 4877

Your reference : 8/8/1043

Our reference : CNS8043 - 331120

Attention: Mrs Michelle Henderson

Dear Mrs Henderson

Re: Advice concerning application for development at Cypress Road, Cow Bay (Lot 292 on Plan RP739001). Please treat this response as a properly made submission.

EPA referral number: IPAR01274408

Response type: Advice Agency Response

Date application received by EPA: 19 November 2008

ADVICE AGENCY JURISDICTION:	Item 38 of Table 2 of Schedule 2 of the <i>Integrated Planning Regulation 1998</i> .
ASSESSMENT MANAGER REFERENCE NUMBER:	8/8/1043
APPLICANT:	GMA Certification Group Pty Ltd
ACTIVITY DESCRIPTION:	Development application for a Material Change of Use
DESCRIPTION OF SUBJECT LAND:	Cypress Road, Cow Bay
	Lot: 292 Plan: RP739001

Advice Agency Response

Response to Development Application

The lot is within 100m of a referable wetland. The EPA, acting as an advice agency under the *Integrated Planning Act 1997*, provides the following advice to the application as detailed above.

EPA advice

The application is for a material change of use of Lot 292 on RP739001 (1 064ha), Cypress Road, Cow Bay, to allow the construction of a house and shed. It is noted that a previous material change of use approval from Douglas Shire Council (20/07/04) has now lapsed.

The property is entirely mapped as remnant vegetation with around 75% classified as 'of concern' vegetation and about 25% of the property in the south eastern corner being classified as 'endangered' vegetation (pursuant to the *Vegetation Management Act 1999*). It is understood that there is an existing cleared area not recognised in the Regional Ecosystem mapping available to this agency. Around 75% of the property is also identified as Essential Cassowary Habitat. It is likely that rare and threatened plant species pursuant to the *Nature Conservation Act 1992* will be present. Lot 292 also appears to be in a low area that may be subject to flooding.

The allotment clearly has high natural values; however it is acknowledged an approval has been previously granted. It would appear that by confining the building envelope, appropriately siting it and the access road and providing protection for the property's remaining vegetation, a compromise can be reached. Should Cairns Regional Council approve the application it should be conditional on the retention of the Essential Cassowary Habitat and the endangered Regional Ecosystem. By placing the house, shed and access road in cleared areas and 'of concern' vegetation that is not Essential Cassowary Habitat, ecological impacts will be minimised. The Site Plan provided shows the proposed placement may be correct or nearly so with a slight displacement (perhaps 20m) to the north possibly needed. As a condition of approval the remaining vegetation on the Lot should be protected by way of an agreement such as a covenant that is binding on title.

Additional information for applicants

It is a requirement of the *Environmental Protection Act 1994* that if the owner or occupier of this site becomes aware that a Notifiable Activity (as defined under Schedule 2 of the *Environmental Protection Act 1994*) is being carried out on this land or that the land has been affected by a hazardous contaminant, they must, within thirty (30) days after becoming aware the activity is being carried out, give notice to the Environmental Protection Agency. A list of Notifiable Activities is provided within Schedule 2 of the *Environmental Protection Act 1994*.

Yours sincerely



Signature

12/12/2008

Date

Gary Innis
Manager, Planning
Far Northern Region
Environmental Protection Agency

Enquiries:
Michael Trenerry
Environmental Protection Agency
PO Box 2066
CAIRNS QLD 4870
Telephone: (07) 4046 6694
Facsimile: (07) 4046 6606

Attachment 2

BA 2009_7354 GMA 20080281

Development Permit for Building Work for a single dwelling and shed



GMA Certification Group Pty Ltd
BUILDING SURVEYORS

Queensland's leaders in Building Certification Services

Unit 5, Owen Street
"Craigie Business Park"
Craigie QLD 4877

Phone: 07 4098 5150

Fax: 07 4098 5180

E-Mail: melanie@gmacert.com.au
www.geoffmitchell.com.au

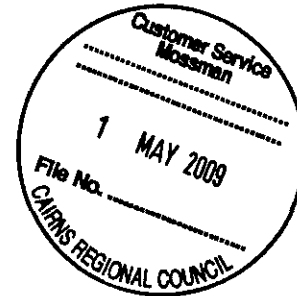
A.B.N. 68 724 117 521

Friday, 24 April 2009

Cairns Regional Council
P.O.Box 359
Cairns QLD 4870

Dear Sir / Madam

Re: GMA Certification Group Ref. No. 20080281
Lot 292 on RP 39001 Cypress Rd, Cow Bay QLD 4873



BUILDING WORKS APPROVAL

Please find enclosed Approved Plans and documentation for building works located at the above address.

Please find the \$ 130.00 Document Lodgement fee attached.

If you have any questions regarding the above mentioned, please contact Melanie Kendall on 07 40985150

Enclosed Documentation

- BSA
- Energy Efficiency
- Form 15 - Design Certificate
- Form A & B
- Soil Test Report & Foundation Design
- Form 20 - Lodgement of Documents
- Plans
- Development Application Decision Notice.

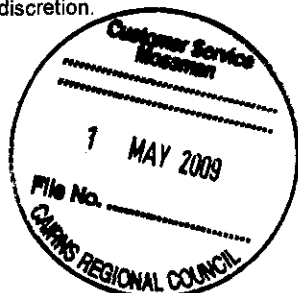
Kind Regards

Melanie Kendall
GMA Certification Group

Lodgement of building work documentation

20

1. Building description	<table border="1"> <tr> <td>Building Use Shed & Dwelling - 1 Storey</td> <td>Building Class 10a & 1a</td> <td>Shop / tenancy no.</td> <td>Storey / level 1</td> </tr> </table>	Building Use Shed & Dwelling - 1 Storey	Building Class 10a & 1a	Shop / tenancy no.	Storey / level 1
Building Use Shed & Dwelling - 1 Storey	Building Class 10a & 1a	Shop / tenancy no.	Storey / level 1		
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP/RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (Include no., street, suburb/locality & postcode) Cypress Rd Cow Bay Postcode 4873 Lot & plan details (Attach list if necessary) Lot 292 RP 39001 Shop / tenancy no. (If applicable) 10650m2 Storey / level (If applicable) Total area of land (m ² / ha) 10650m2 In which local government area is the land situated? Cairns Regional Council				
3. Documents lodged Please attach one copy of these documents, submitted under section 5.3.5 of the Integrated Planning Act 1997 and sections 86 and 87 of the Building Act 1975. (Tick applicable boxes) The private certifier must ensure each document is marked to identify it as a document approved by the private certifier and relating to the development approval. Before giving the documents to the assessment manager the private certifier must ensure the approved form for the application is completed.	<ul style="list-style-type: none"> • The application • The approval documents for the application • The decision notice of negotiated decision notice for the application • A copy of the plans, drawings and specifications and other documents and information lodged by the applicant, stamped approved or otherwise endorsed by the assessment manager • A list of required fire safety installations and required special fire services applying to the building work • Certificates relied on to decide the application • Information relied on to decide the application in relation to local government easements, encumbrances or estates or interests in land likely to be relevant to the application 				
4. Confirmation receipt If the assessment manager is a local government, the local government must immediately give the private certifier a document acknowledging the receipt of the archiving fee. The private certifier must not give the applicant any approved documents until the private certifier has received the acknowledgement from the assessment manager. If the certifier works for a company, a contact person must be shown.	Private certifier's name (in full) Tanya.M.Smith Company name (if applicable) GMA Certification Group Pty Ltd Contact person Tanya.M.Smith Postal address PO Box 831 Port Douglas Postcode 4877 Building certifier reference number 20080281				
5. Local Government acknowledgement This section is optional and to be used by the local government at their discretion.	<div style="text-align: center;"> Local Government use only The Local Government acknowledges payment of the archiving fee </div> For future enquiries concerning these documents please quote this reference: Local government reference Archiving fee \$ 130 Fee receipt number (if applicable) 389 0024 Date acknowledgement issued				



6. Development information relied on

The development information identified in this section was relied upon in deciding the attached development application.

Item No	Development Information Relied On	Tick if information relied upon
A – Infrastructure/services information		
A1	Plan of any sewer main or sanitary drain within or adjacent to the property, including approved connection point and any limitations on capacity	✓
A2	Plan of any water main within or adjacent to the property, including approved connection point and any limitations on capacity	✓
A3	Plan of any storm water main or drain within or adjacent to the property, including approved connection point and any limitations on capacity	✓
A4	Plans of any overland flow path within the property	✓
A5	Details of any required land application area for on-site disposal of sewerage, including any reserve area	✓
A6	Details of approved swimming pool discharge point	✓
A7	Location of mine subsidence areas	✓
B – Information specific to property		
B1	Details of any local government easements affecting the land	✓
B2	Flood level information, including minimum floor levels applicable to the property	✓
B3	Details of amenity aesthetic resolutions	✓
B4	Details of any land-slip area applicable to the property (including mine subsidence)	✓
B5	Details of the location and nature of any filling that has been placed on the property	✓
B6	Details of any erosion control requirements applicable to the property	✓
B7	Details of any acid-sulphate soils contained in the property	✓
B8	Details of any airport height limitations applicable to the property	✓
B9	Details of any known contaminated soil contained on the property	✓
B10	Details of any declared bushfire prone areas that affect the property	✓
B11	Details of any local laws that affect the property	✓
B12	Details of any conservation/protected areas that affect the property	✓
B13	Details of any vegetation management area that affects the property	✓
B14	Details of any nature conservation or wet-lands areas that affect the property	✓
C - Engineering information		
C1	Details of any design standards/location requirements for vehicle crossings applicable to the land	✓
C2	Details of any limitations applicable to on-site driveway gradients or locations, for the property	✓
C3	Details of any water supply catchments that affects the property	✓
C4	Details of any sewerage surcharge area that affects the property	✓
C5	Details of any drainage problem area that affects the property	✓
C6	Details of levels of proposed road or footway works that affect the property	✓
D – Existing building information		
D1	Details of existing buildings on the property if available	✓
D2	Copies of current Certificates of Classification for the property	✓
D3	Hydraulic services plans (existing commercial buildings)	✓
D4	Details of any heritage-listed buildings	✓
D5	Records relating to fire safety application and inspection	✓
E –Development/planning approvals		
E1	Details of any current development approvals applicable to the property	✓
E2	Details of any self-assessable requirements that may be relevant to the proposed building work. For example, in relation to domestic construction, covered car parking spaces, or water storage tanks.	✓
E3	Details of any other approvals (other than building work) necessary for the proposed development to proceed	✓
F – Local Government registers of information		
F1	Relevant sections of register of exemptions under the <i>Building Act 1975</i> , Chapter 8, Swimming Pool Fencing	✓
F2	Relevant sections of register of resolutions under the <i>Building Act 1975</i> about land liable to flooding	✓
F3	Relevant sections of register of show cause and enforcement notice information	✓



GMA Certification Group

Unit 5, Owen Street
"Craiglie Business Park"
Craiglie QLD 4877

PO Box 831
Port Douglas QLD 4877

Phone: 07 4098 5150
Fax: 07 4098 5180
Email: melanie@gmacert.com.au

Tanya.M.Smith Building Surveyor
BSA Lic No: A1092109

A.B.N: 68 724 117 521

Development Application Decision Notice.

Integrated Planning Act 1997 s 3.5.15

Building Certifier Reference Number: **20080281**
Approval Type: **Development Permit For Building Works**
The Development Application was Assessed and: **Approved with Conditions**
Building Certifier Decision Date: **24/04/2009**
Local Government Area: **Cairns Regional Council**
Applicant: **Lyndal Carter**
Builder: **Lyndal Carter**
PO BOX 6737
Cairns QLD 4870
Address of Site: **Cypress Rd**
Cow Bay QLD 4873

Building Class & Description of Works:

10a New Construction for Shed
1a New Construction for Dwelling - 1 Storey

Real Property Description of Site or GPS Coordinates:

Lot Type	Lot No:	Plan Type	Plan Numbers(s)
Current	292	RP	739001

THIS DEVELOPMENT PERMIT APPROVAL SHOULD BE READ IN CONJUNCTION WITH:

Referral and Concurrence Agencies and (If Applicable):	See Attachment A
Reason for Refusal (If Applicable):	See Attachment A
Required Inspections & Building Certifiers Conditions :	See Attachment A
Drawing and Documents Described as:	See Attachment A
Other Applicable Codes (if known) for Self Assessable Development:	See Attachment A

Date of This Notice: **Friday, 24 April 2009**

Certifier	CertificationNumber	Signature
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Jeff Evans	A706169	
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ATTACHMENT A

Required Inspections

<u>StageName</u>	<u>Description</u>	<u>Agent</u>	<u>Contact</u>	<u>Comments</u>
Footing Stage	Footing Inspection	GMA Certification Group	07 4098 5150	
Frame Stage	Frame Inspection	GMA Certification Group	07 4098 5150	
Final Stage	Final Inspection	GMA Certification Group	07 4098 5150	

Building Conditions

STANDARD CONDITIONS

- 1 SD2 In issuing this permit GMA Certification Group Pty Ltd does not certify that the design is correct and does not assume any responsibility for the correctness of the design.
- 2 SD3 Compliance with the Building Act 1975 and the relevant Planning Scheme is the responsibility of the applicant.
- 3 SD4 Building work approved on this building application has to be(a) commenced within [12] months of approval(b) finalised within [2] years of approval.
- 4 C10A This approval is given for the structure to be used as a Class 10a non-habitable building as defined in the Building Code of Australia. Any use for other than the approved use may require additional Development Approvals.
- 5 C6 To satisfy the Building Certifier that the Building work has been constructed to an acceptable standard, the following documentation will be required: (when relevant)i) Certificate/s for footing and/or slab inspection/s of Class 1a building work where a competent person carries out such inspections as nominated in the building application submitted to and approved by the Building Certifier. (Form 16)ii) Truss Manufacturer's Certificate, quoting the relevant wind classification. (Form 15)iii) Engineer's certification for structural work not in accordance with Building Code of Australia, Volume 2 or manufacturer's specification. (Form 16)iv) Licensed Applicator's Certificate for Termite Management in accordance with A.S.3660.1 - 2000 (Clause 3.1.3. BCA) (Form 16)v) Glass suppliers certification of window glass to AS 1288 for wind velocity and AS 2208 (Part 3.6 BCA). (Form 15)vi) Glass suppliers certification of shower screens to AS 2208. (Form 15)vii) A certificate from a licensed applicator wet areas is required, must comply with; * AS 3740 - 1994 * Part 3.8.1- BCA. (Form 16)viii) Manufacturers certificate for Balustrades. (Form 16)ix) Surveyors Setout Certificatex) Evidence of the R-Vale of the Insulation installedxi)Evidence of compliance with QDC 29 (Energy efficient lighting)
- 6 R66 Smoke alarms to be provided in accordance with BCA 3.7.2 and AS 3786.
- 7 ENG! The builder is to take all necessary steps to ensure that the properties of the foundation soils providing support to or otherwise in contact with the structure do not exceed the design limitations specified in the structural engineering design
- 8 W1000 Waterproofing to wet areas (bathrooms, laundries and WC's) to comply with the requirements of the BCA3.8.1 and AS3740.
- 9 Surface Water, resulting from a storm having an average recurrence interval of 100 years must not enter the building. The Local Government may hold records which provide information in relation to Flood levels, which may determine the minimum required floor level. (It is the applicants responsibility to obtain any necessary data)
- 10 Shower roses to have:
 - a. A AAA or higher rating when assessed against AS/NZS 6400:2004; or
 - b. A three star or higher rating under the Water Efficiency Labelling Scheme (WELS).Toilet cisterns to:
 - a. Have a dual flush function that does not exceed 6 litres full flush and 3 litres on half flush; and
 - b. Are compatible with the size of the toilet bowl to allow for proper function of the toilet.
- 11 A3 Comply with conditions of Approval issued by the Douglas Iconic Panel No. 8/7/1457 on 14 April 2009.
- 12 C70 WC Doors to comply with BCA Part 3.8 The door to open outward, or slide, or removal hinges unless a space of 1.2m between the pan and door is available.

Approved Drawing Numbers

Architectural

Plans Endorsed with BA 20080281

Energy Efficiency

Energy Efficiency report prepared by Northern Energy Ratings Office dated 3 September 2008

ATTACHMENT A

Approved Drawing Numbers

Structural

Structural Certification by CMG Consulting Engineers [RPEQ 1370] dated 27 August 2008.

*Left Intentionally Blank
Please refer to next page*

Information Regarding Appeals to the Building and Development Tribunal Relating to Development Applications

Appeal Rights-

You may appeal against any matter stated in this Decision Notice. The appeal must be started within 20 business days (10 days for building advice agencies), after the date this notice is given. Appeal forms are available on the Department's website www.dip.qld.gov.au from the Registrar at the Building and Development Tribunal on phone (07) 3237 0403.

Integrated Planning Act 1997

Chapter 4, Part 2, Division 3 - Appeals to tribunals relating to development applications

Appeals by applicants

4.2.9.(1) An applicant for a development application may appeal to a tribunal against any of the following:

- a) the refusal, or the refusal in part, of a development application;
- b) a matter stated in a development approval, including any condition applying to the development but not including the identification of a code under section 3.1.6;
- c) the decision to give a preliminary approval when development permit was applied for;
- d) the length of a period mentioned in section 3.5.21;
- e) a deemed refusal.

(2) An appeal under subsection (1)(a) to (d) must be started 20 business days ("the applicants appeal period") after the day the decision notice or negotiated decision notice is given to the applicant.

(3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.

Appeal by advice agency

4.2.10.(1) An advice agency may, within the limits of its jurisdiction, appeal to a tribunal about the giving of a development approval if the development application involves code assessment for the aspect of building work to be assessed against the Building Act 1975.

(2) The appeal must be started within 10 business days after the day the decision notice or negotiated decision notice is given to the advice agency.

Notes:

This building has been assessed in accordance with the relevant building legislation but it remains the responsibility of the owner, designer and builder to ensure compliance with other laws including the anti-discrimination legislation. Failure to provide EQUAL access and facilities may be unlawful by:

- i) Disability Discrimination Act- Australia
- ii) Anti-Discrimination Act - Queensland.

Further information may be obtained from:

Human Rights and Equal Opportunity Commission

GPO Box 5218

SYDNEY, NSW, 1042

PH: 02 9284 9761

FX: 02 9284 9789

TTY 1800 620 241

<http://www.hreoc.gov.au/disabil/access.htm>



QUEENSLAND BUILDING SERVICES AUTHORITY

OWNER BUILDER PERMIT

OWNER BUILDER PERMIT NUMBER : OB105393

DATE OF ISSUE : 16 September 2008

NOTIFIED VALUE OF WORK : \$180,000.00

REAL PROPERTY DESCRIPTION : Lot 292 on Plan RP 739001

**PROPERTY DESCRIPTION : Cypress Road
COW BAY QLD 4873**

**PERMIT HOLDERS : Lyndal Rae Carter
Po Box 6737
CAIRNS QLD 4870**

**Michael Brown
Po Box 6737
CAIRNS QLD 4870**

DESCRIPTION OF WORK : NEW DWELLING

**WORK DESCRIPTION DETAIL : One bedroom, one bathroom, single
storey, steel frame and cladding 9x6m
double garage of similar construction
included**

Note: An owner builder permit allows the holder of the permit, subject to any other relevant law, to carry out Domestic Building Work (other than work related to a multiple dwelling), as described, on land of which the holder is the owner.

idas

2. Identify if any of the following apply to the premises by completing Tables D, E, or F. (Note: In most instances, the premises will not involve any of the following characteristics, however some applications may involve one or more of these characteristics - complete only if applicable)

Table D Complete if the premises are adjacent to or associated with a water body, watercourse or aquifer (e.g. river, creek, lake, canal)

	Name of water body, watercourse or aquifer (if known)
1	Hutchinson Creek

Table E Complete if the premises are on Strategic Port Land under the *Transport Infrastructure Act 1994*

	Lot on plan description for strategic port land	Port Authority for the lot
1		

Table F Complete if the premises are in tidal water

	Name of local government for the tidal area (if applicable)	Name of port authority for the tidal area (if applicable)
1		

3. Indicate the total area of the premises on which the development is proposed: (Note: The total area may include land both above and below water)

Total area of premises
10,640.00 <input checked="" type="checkbox"/> m ² <input type="checkbox"/> hectares (Tick applicable unit)

Existing use of the premises

4. Current use/s of the premises: (e.g. vacant land, house, townhouses, apartment building, shop, service station, school, sugar cane farming etc.)

1	vacant
---	--------

5. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc.)?

☒ No ☐ Yes Ensure the type, location and dimensions of each easement are included in plans, submitted with the application

Proposal details

6. Brief description of the proposal (e.g. 6 unit apartment building, 30 lot residential subdivision, a bore, aquaculture)

1 Bedroom Residence

7. Does the proposal include new buildings or operational work (including any services) on the premises?

☒ No ☐ Yes - Ensure the nature, location and dimensions of the proposed works are included in plans, submitted with the application

Resource entitlement (if applicable) - further information is provided in the advice section at the end of the form

8. Does the application involve taking or interfering with a State resource and therefore require a resource entitlement? (e.g. the application involves State land (leased and freehold), declared Fish Habitat areas, taking quarry material, taking or interfering with water under the Water Act 2000, etc.)

☒ No - Go to Q9 ☐ Yes - Complete Table G - provide details for each evidence required on a separate row, if applicable. Evidence of resource allocation or entitlement must be submitted with the application. You do not need to answer Q9 - go to the next section.

Owner's consent (if applicable) - further information is provided in the advice section at the end of the form

9. Complete Table H for applications involving a material change of use; reconfiguration of a lot; work on land below high-water mark and not within a canal as defined under the *Coastal Protection and Management Act 1995*; or work on rail corridor land defined under the *Transport Infrastructure Act 1994* - provide details for each owner on a separate row, or on an attachment to this form if applicable

Table H	Premises Owner's name/s and postal address	Details of the premises owned (street address or lot on plan description)	Owner's signature*	Date consent was obtained
1				

* Owner's signature cannot be provided on the form if you intend to submit the application electronically. Owner's consent must be provided to the assessment manager on an attachment containing appropriate written documentation of the owner's consent. If the owner is a company, s127 of the *Corporations Act 2001* (Cwealth) details how a company may sign as owner. Templates for the provision of owner's consent are available on the [IPA website](#).

Attachments and supporting documentation (Complete Table I) - Use a separate row for each type of attachment or information, including information required under this Part. Please ensure all documentation submitted with this form, including other Parts of Form 1, or owner's consent, etc, are securely attached to this Part of the Form.

Table I	Description of attachment or information (e.g. Part D of Form 1, owner's consent, evidence of resource allocation/entitlement, plans, drawings, reports)	Title (if applicable) (e.g. General Authority, Jones Street (Traffic Report))	Date	Method of delivery to assessment manager
1				e-mail

Portable Long Service Leave (PLSL) levy (Applicable for certain building and construction work valued over \$90,000 only)

10. The Portable Long Service Leave Levy (PLSL) is not applicable to this application if any of the following apply: (Tick box if applicable)

- ☐ the application seeks a preliminary approval only;
- ☐ the application is not for building and construction work under the *Building and Construction Industry (Portable Long Service Leave) Act 1991, section 3AA* (e.g. the application is only for a change of use, or for the following types of work **carried out solely for farming purposes**: land clearing, site preparation, earthworks, fences, fodder harvesting, clearing of encroaching vegetation, clearing of regrowth, thinning vegetation or controlling weeds or pests);
- ☐ all costs, that relate to the work both directly and indirectly, are less than \$80,000, inclusive of GST; or
- ☒ the work is being carried out under an owner-builder permit issued under the *Queensland Building Services Authority Act 1991* - Complete and submit a QLeave Notification and Payment Form (no payment required if owner-builder permit number stated). The receipted form must be sighted by the assessment manager before a development permit can be given

11. Is payment of a PLSL levy applicable to this application? (Refer to Q10 and the Advice below for more information)?

- ☒ No - End of Part A
- ☐ Yes - Answer Q12 below

OFFICE USE ONLY (For use by the Assessment Manager / Private Certifier) (Optional)

Fee (\$)	Date received	Receiving officer's name	Reference numbers

NOTIFICATION OF ENGAGEMENT OF PRIVATE CERTIFIER

To: Council. I have been engaged as the private certifier for the building work referred to in this application.

Date of engagement	Name	BSA Certification number	Building classification/s

QLEAVE NOTIFICATION AND PAYMENT (for completion by assessment manager or private certifier if applicable)

	Description of the work	QLeave Project Number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form
1						

Privacy Statement

The information collected on Form 1 will be used by the Department of Infrastructure and Planning (DIP) in accordance with the processing and assessment of your Application. Your personal details will not be disclosed for a purpose outside of the IDAS process, except where required by legislation (including the Freedom of Information Act 1992) or as required by Parliament. This information may be stored in a DIP database. The information collected will be retained as required by the Public Records Act 2002.

Advice for completing Part A**General advice**

- Part A of IDAS Development Application Form 1 must be completed and accompany all development applications. The applicant is responsible for answering all questions fully and correctly, unless following a response there is a statement to go directly to another question. The Assessment Manager may refuse to receive an application that is not properly made.
- The IDAS Assessment Checklist must also be completed for all development applications, other than those requiring assessment against the *Building Act 1975* only, i.e. those applications requiring the completion of Parts A and B only.

Applicant details

- If the applicant is a company or organisation, a contact person must be nominated. The applicant's signature is not required to be provided under the IPA.

Form 1 Development Application

idas

Part B**Building work requiring assessment against the Building Act 1975****Nature of the building work**

1. Nature of the proposed building work:

☒ New building or structure - Complete Table A☐ Removal - Complete Table B☐ Alterations / additions - Complete Table A☐ Demolition - Complete Table B☐ Change of building classification - Complete Table C

Table A	Description of new buildings, structures, alterations or additions	Building classification	Maximum No. of storeys	Existing floor area to be retained	Proposed new floor area
1	one bedroom residence and shed	1a	1		

2. Are there any current approvals associated with this proposed building work? ☒ No ☐ Yes - Complete Table D

3. What is the dollar value of this proposed building work? (i.e. the total value including GST, materials and labour) 112000

Builder's details (if known at the time of lodgement)

Name (individual or company name in full)		Lyndal Carter	
Postal address		PO BOX 6737 Cairns 4870	
Telephone number		Mobile number	0416011297
Facsimile number		e-mail address	lyndal.carter@gmail.com
BSA Licence Number or Owner-builder Number		OB 106393	

Owner's details (The applicant is responsible for ensuring the owner's details are correct.) (NOTE: If there is more than one owner and therefore more than one applicable mailing address, you may need to provide the relevant details on an attachment to this form.)

Name/s (individual or company name/s in full)		AS ABOVE	
Postal address			
Telephone number		Mobile number	
Facsimile number		e-mail address	

Construction details

4. Proposed construction materials

External walls	<input type="checkbox"/> Double brick (11)	<input checked="" type="checkbox"/> Steel (60)	<input type="checkbox"/> Curtain glass (50)	<input type="checkbox"/> Stone / concrete (20)
	<input type="checkbox"/> Brick veneer (12)	<input type="checkbox"/> Aluminium (70)	<input type="checkbox"/> Timber (40)	<input type="checkbox"/> Fibre cement (3)
	<input type="checkbox"/> Other (80)			
Frame	<input type="checkbox"/> Timber (40)	<input checked="" type="checkbox"/> Steel (60)	<input type="checkbox"/> Aluminium (70)	<input type="checkbox"/> Other (80)
Floor	<input checked="" type="checkbox"/> Timber (40)	<input type="checkbox"/> Concrete (20)	<input type="checkbox"/> Other (80)	
Roof coverings	<input type="checkbox"/> Tiles (10)	<input type="checkbox"/> Slate / concrete (20)	<input type="checkbox"/> Fibre cement (30)	<input checked="" type="checkbox"/> Steel (60)
	<input type="checkbox"/> Aluminium (70)	<input type="checkbox"/> Other (80)		

Details of proposed new residential building work (complete only if applicable)

5. Dwelling type? (Tick applicable box(es))

Type of building work	No of existing dwelling units	No of dwelling units to be demolished	No of new additional self-contained dwelling units
<input checked="" type="checkbox"/> (i) Single detached house (includes a new house / alterations to an existing house)			
<input type="checkbox"/> (ii) Relocated single detached house			
<input type="checkbox"/> (iii) Kit house			
<input type="checkbox"/> (iv) Existing transportable / relocatable house	N/A	N/A	N/A
<input type="checkbox"/> (v) New transportable / relocatable house	N/A	N/A	N/A
<input type="checkbox"/> (vi) Semi-attached house (e.g. duplex, dual occupancy)			
<input type="checkbox"/> (vii) Apartment, unit or flat attached to an existing house			
<input type="checkbox"/> (viii) Apartment building / unit where units are layered one above the other			
<input type="checkbox"/> (ix) Attached housing (including row / terrace / townhouse)			

Release of owner's details and availability of information

6. Does the owner of the land agree to release their name and the premises address for marketing purposes?

☐ Yes ☒ No

7. Does the applicant have reasons why certain development information (e.g. private information about the applicant, plans, drawings and specifications for plans) should not be made available for inspection and purchase under IPA, sections 5.7.2 and 5.7.4?

☒ No ☐ Yes - Complete Table E

OFFICE USE ONLY

Date received

Reference numbers

FOR COMPLETION BY THE BUILDING CERTIFIER

Building classification/s of approved building work	Building Services Authority (BSA) Insurance receipt number	BSA Certification licence number

Assessor Certificate

Single Dwelling

Certificate Version 6.1. Prior versions not valid after 1 March 2006

Issued in accordance with the requirements of
BCA Part V2.6.2.1



Name: Michael Plunkett Company: SmartRate - Sensible Saving Solutions Assr #: 40116
Address: PO Box 914 EARLVILLE QLD 4870
Phone: (07) 4032 3533 Fax: (07) 4053 3205 Email: michael@smartrate.com.au
Declaration of Interest: The Assessor has provided design advice to the Applicant

Name: Michael Brown Company: None Specified
Address:
Phone: 4042 2667 Fax: Email: michael.z.brown@deta.qld.gov.au

Address: Lot 292 Cypress Road DAINTREE QLD 4873
Lot / DP: 292 / 739001 LGA: Cairns Regional Council
Applicant: Lyndal Carter and Michael Brown

Date: 3/09/2008 Job ID: 292CYP Filename: 292CYP Run # 1
Software: BERS Version: 4.1 Climate Zone: 32

All details, upon which this Assessment has been based, are included in the project documentation which has been stamped and signed by the Assessor issuing this Certificate, as detailed below:

Thermal Performance Specification / Commitments attached and affixed to drawings, page: A2
Drawings: A2, A3, A7, A8, A9 & A10

Specifications: Only specifications, detailed on Drawings identified above, have been referenced

BCA Part V2.6.2.1 - Building envelope thermal performance assessment

Net Conditioned Floor Area: 57 Net Unconditioned Floor Area 14

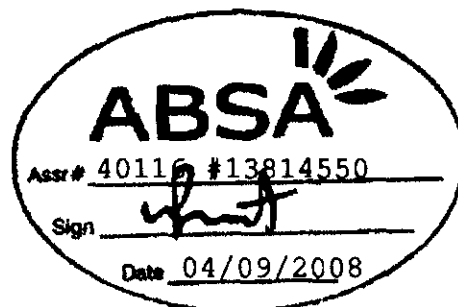
Heating: 2	Cooling (sensible plus latent) 137	Total: 139
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Area Adjusted Total: 139

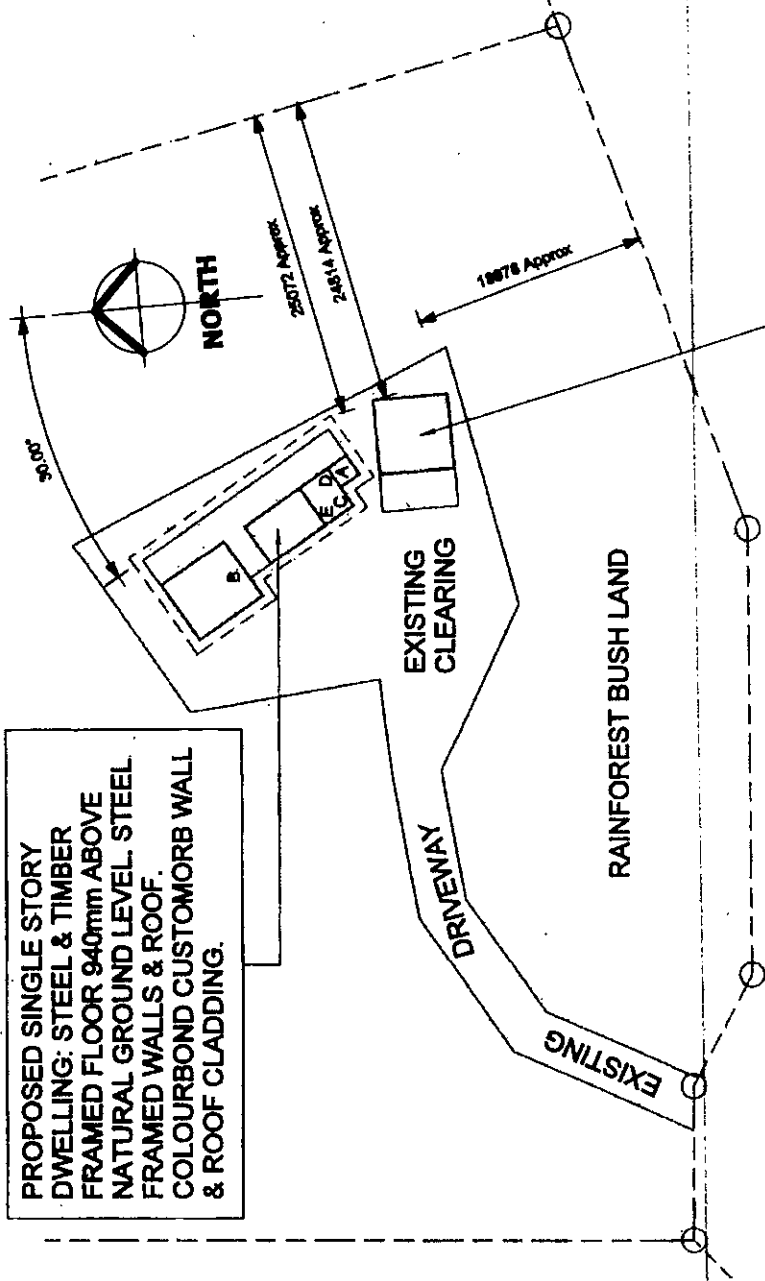


5.5 stars

ABSA Assessor stamp



PROPOSED SINGLE STORY DWELLING: STEEL & TIMBER FRAMED FLOOR 940mm ABOVE NATURAL GROUND LEVEL. STEEL FRAMED WALLS & ROOF. COLOURBOND CUSTOMORB WALL & ROOF CLADDING.



CYPRESS ROAD

PROPOSED STEEL SHED ON CONCRETE SLAB SITED TO EAST WEST ORIENTATION 6 WIDE x 9 LONG x 3.3M HIGH. REFER TO MANUFACTURERS DETAILS.

Site Plan - House Area

1 1:400

GENERAL NOTES

1. NO SEPTIC TO SITE. COMPOSTING TOILET SYSTEM TO BE INSTALLED TO MANUFACTURERS GUIDELINES.
2. REFER TO WASTE DISPOSAL REPORT FOR ALL GREYWATER TREATMENT DETAILS
3. 2 x 10000 LITRE RAINWATER COLLECTION TANKS TO BE CONNECTED TO 80mm DIAMETRE UPVC DOWNPIPES

KEY:

- A. COMPOSTING TOILET CLIVUS MULTITRIM CMB MODEL DIMENSIONS 1100H x 1650L x 1250W INSTALL AS PER MANUFACTURERS RECOMMENDATIONS
- B. KITCHEN SINK
- C. BATHROOM BASIN
- D. LAUNDRY TUB
- E. SHOWER

Site Plan

2 1:1000



Project: NEW DWELLING
Client Name: Michael & Lyndal Brown
Project: LOT 292 CYPRESS ROAD
Address: COW BAY, QLD

Drawing Title

Site Plan

Drawing Status

Issue for Construction

Drawn By: CS
Scale: A3
As Indicated
Drawing No: A2
Revision: A2
Plot Date: 18 AUG 2008

LEGEND

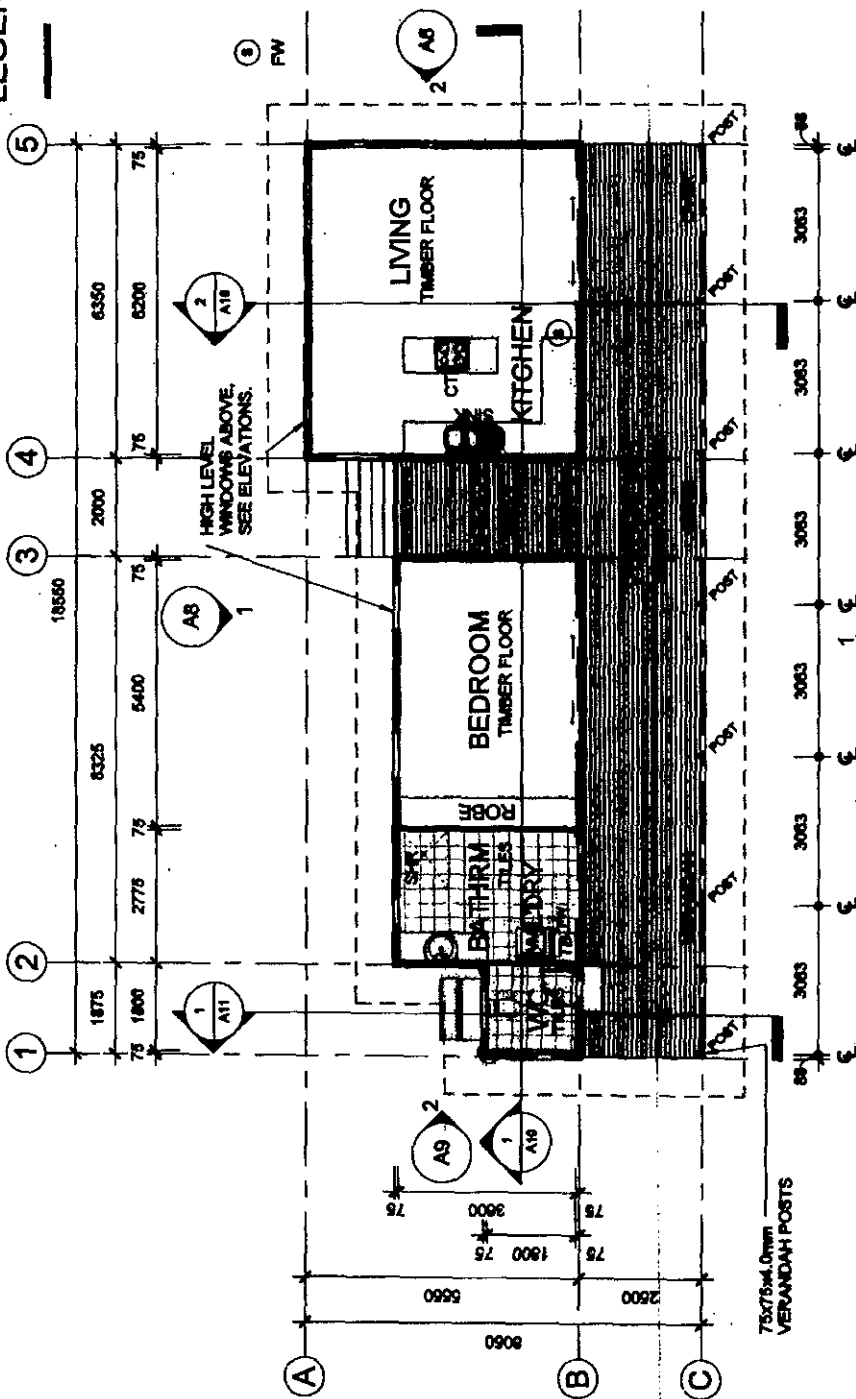
- 75mm STEEL FRAMED WALLS TYPICAL (THROUGHOUT)
- STUDS: 75x35mm STANDARD STUDS @ 450 CTS
- NOGGINGS: 75x35mm
- 1 ROW NOGGINGS UP TO 3M,
- 2 ROW NOGGINGS ABOVE 3M.
- TOP & BOTTOM PLATES:
- 75x75mm HIGH PLATE TO ALL LOAD BEARING WALLS
- 75x35mm STANDARD PLATE TO NON-LOAD BEARING WALLS
- BRACING: STANDARD STUD SECTION
- SMOKE ALARM
- FLOOR WASTE



WE CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2.

C.M.G. CONSULTING
208 BUCHAN ST
CAIRNS Q 487
PH 07 4031 2775
FAX 07 4031 9013
ACN 011 006 375

- PROVIDE IMPERVIOUS FLOORING AND WALL FINISHES TO ALL WET AREAS IN ACCORDANCE WITH AS 3749-2004 AND B.C.A. PART F1.7. PROVIDE IMPERVIOUS FINISH TO MINIMUM 1800mm ABOVE ALL SINKS, BATHS AND TROUGHES, AND TO 1800mm HIGH TO ALL OTHER WET AREAS. WHOLE FLOOR TO BE WATERPROOFED PRIOR TO FLOOR COVERING. INCLUDING FLOORWALL JUNCTION.
- ALL STEPS TO HAVE A MINIMUM TREAD WIDTH OF 250mm AND MAXIMUM RISE HEIGHT OF 150mm. PROVIDE NON-SLIP EDGING OR SURFACE TO TREADS.
- SOIL CLASSIFICATION CLASS IS 'S'.

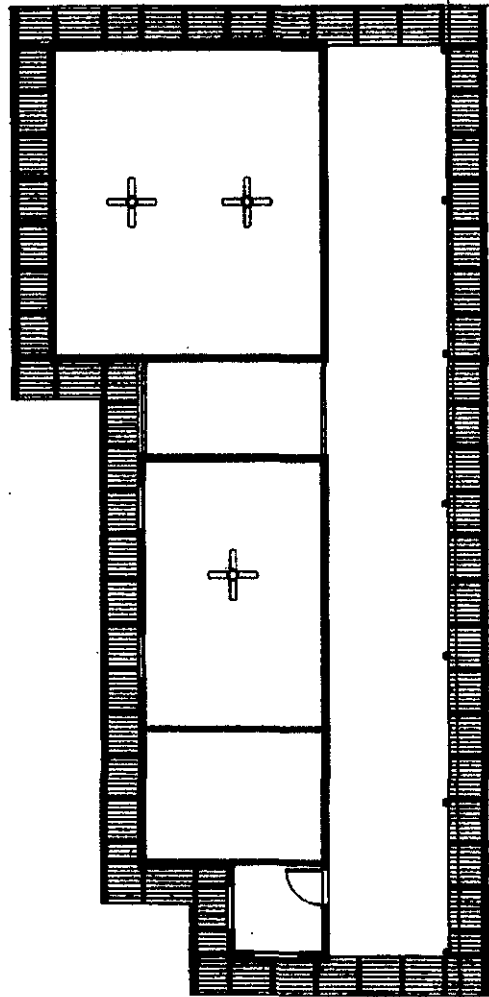


GENERAL NOTES

- ALL CONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.
- ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUTHORITIES.
- ALL RELEVANT FIXINGS AND FRAMING TO BE IN ACCORDANCE WITH AS 3603 - DOMESTIC METAL FRAMING AND AS 1684-1992 NATIONAL TIMBER FRAMING CODE.
- ALL GLASS AND GLAZING TO COMPLY WITH AS 1288-2006 - GLASS IN BUILDING SELECTION AND INSTALLATION. SEE ELEVATIONS FOR SAFETY GLASS LOCATIONS.
- ALL NATURAL LIGHT AND VENTILATION TO COMPLY WITH B.C.A. ACCORDANCE WITH AS 3902.1 - PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES.

1
F.F.L
1:100

Project	NEW DWELLING	Drawing Title	Floor Plan	Issue for Construction	Revision
Client Name:	Michael & Lyndal Brown	Scale @ A3	1:100	A3	
Project:	LOT 292 CYPRESS ROAD	Drawn By: C.S.			
Address:	COW BAY, QLD	Plot Date: 18 AUG 2008			



LEGEND



CEILING MOUNTED CEILING FAN

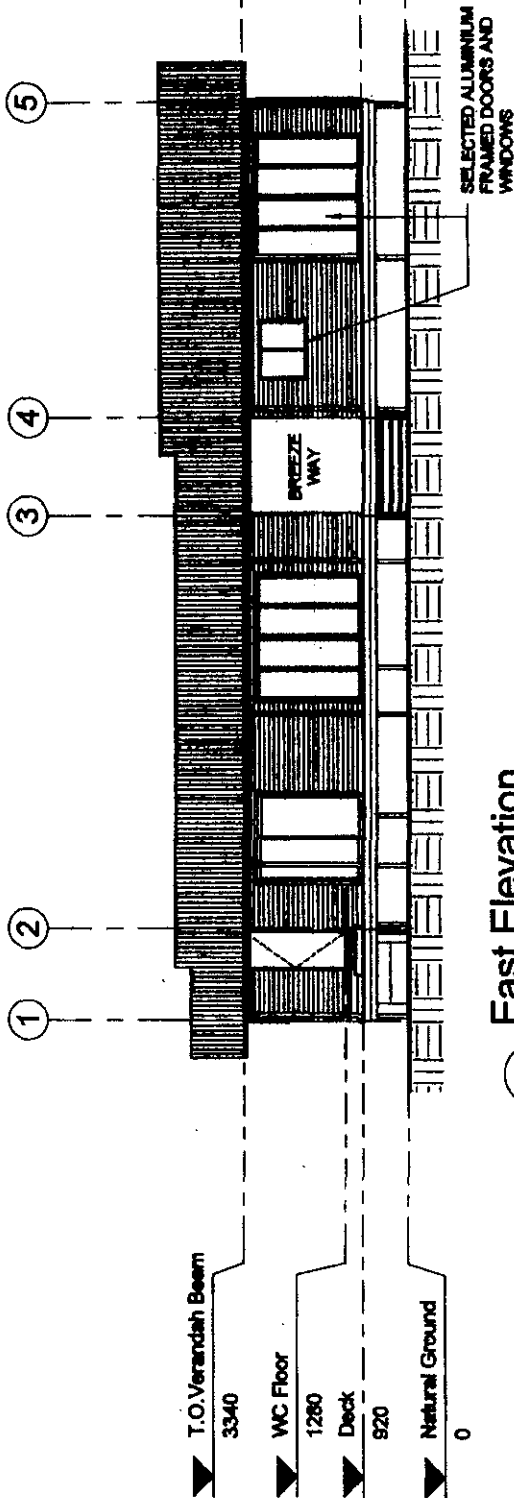
Electrical Plan

1

1 : 100

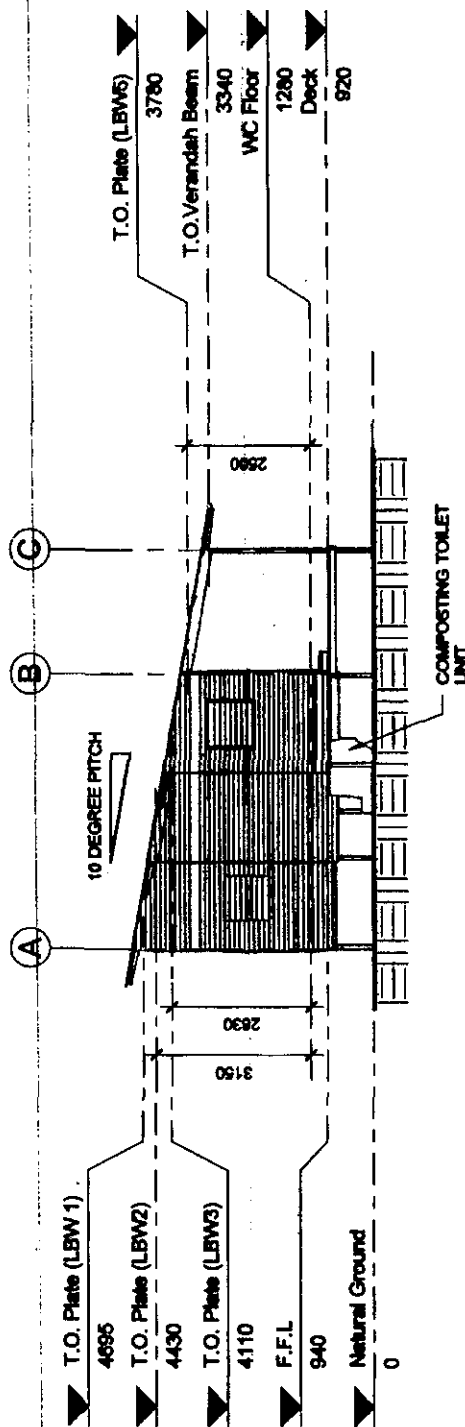


Project	NEW DWELLING	Drawing Title	Issue for Construction	Drawn By: CS	Plot Date: 04/09/2008
Client Name:	Michael & Lyndal Brown			Scale: A3	Drawing No.
Project	LOT 202 CYPRESS ROAD			1 : 100	A7
Address	COW BAY, QLD				Revision



East Elevation

1:100



South Elevation

1:100



Project	NEW DWELLING	Drawing Title	Elevations	Drawing Status	Issue for Construction	Drawn By: CS	Plot Date: 07/25/08
Client Name:	Michael & Lyndal Brown					Scale @ A3	Revision
Project	LOT 292 CYPRESS ROAD					1:100	A9
Address	COW BAY, QLD						

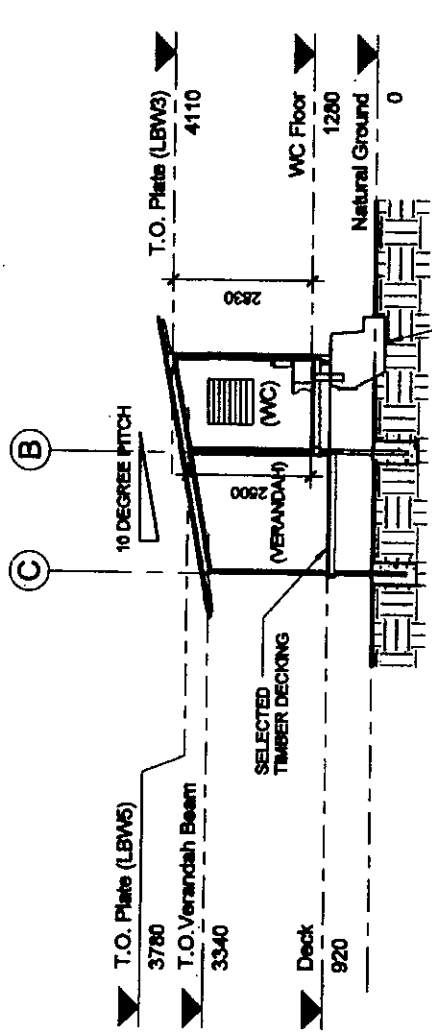
Project: Client Name: Project: Address:	NEW DWELLING Michael & Lyndal Brown LOT 282 CYPRESS ROAD COW BAY, QLD	Drawing Title <h1>Sections & Details</h1>	Drawing Status <h1>Issue for Construction</h1>	Drawn By: CS Scale @ A: 3 As Indicated Drawing No. A10 Revision: 	Print Date: 07/25/06
--------------------------------------------------	----------------------------------------------------------------------------------------------------------------	--------------------------------------------------	---------------------------------------------------	--------------------------------------------------------------------------------------------	----------------------

INSULATION NOTES:

ROOF: AIRCELL
WALLS: AIRCELL
FLOORS: NONE

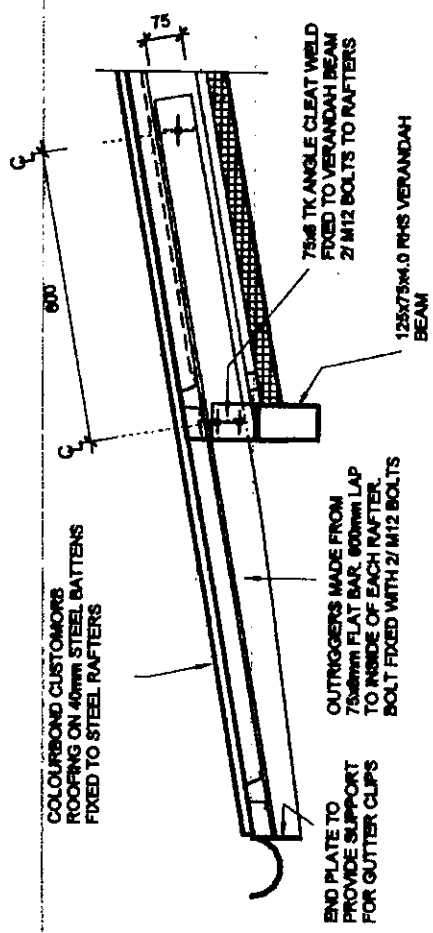


WE CERTIFY THE STRUCTURAL DESIGN
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASS 2
C2
C.M.G. CONSULTANTS
AON 011 006 375
FAX 07 46...

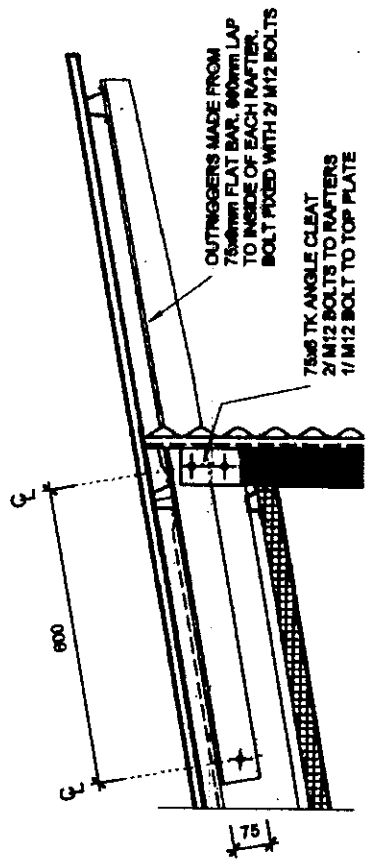


Section 3
1 1:100

COLORBOND CUSTOMERS
ROOFING ON 40mm STEEL BATTENS
FIXED TO STEEL RAFTERS



Outrigger Type 2
2 1:10



Outrigger Type 1
3 1:10

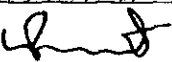
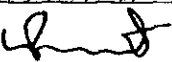
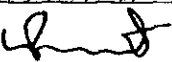
Project	NEW DWELLING	Drawing Title	Sections & Details	Drawing Status	Issue for Construction	Drawn By: CS	Final Date: 07/29/08
Client Name:	Michael & Lyndal Brown					Scale: A 3	Revision
Project	LOT 292 CYPRESS ROAD					As Indicated	A11
Address	COW BAY, QLD						

Compliance Certificate for building Design or Specification

15

<p>NOTE</p>	<p>A Compliance Certificate states building work complies with the building assessment provisions. To be used for all classes of building and structures to certify a material, system, method of building or building element complies with the BCA or a provision of the QDC.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / PP) are shown on this document or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Lot 292 Cypress Road</p> <p>Daintree Postcode 4873</p> <p>Lot & plan details (attach list if necessary)</p> <p>Lot 292 on SP739001</p> <p>In which local government area is the land situated?</p> <p>Cairns Regional Council</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate.</p>	<p>Compliance with the Energy Efficiency Requirements of the BCA</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Building Energy Rating System (BERS) – Version 4.1</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>Drawings A2, A3, A7, A8, A9 & A10</p> <p>Energy rating checklist dated 1st September 2008</p>

LOCAL GOVERNMENT USE ONLY

5. Building certifier reference number	Building certifier reference number <div></div>				
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) Michael John Plunkett Company name (if applicable) Northern Energy Ratings Office Contact person Michael Plunkett Phone no. business hours 07 4032 3533 Mobile no. 0418 778 615 Fax no. 07 4053 3205 Email address michael@smaratrate.net.au Postal address PO Box 914 Earlville Postcode 4870 Licence or registration number (if applicable) 40116				
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	I certify that the item/s described above, if installed or carried out under the certificate, including any referenced documentation, will comply with the <i>Building Act 1975</i> . <table border="1"> <tr> <td data-bbox="505 993 1068 1063"> Signature  </td> <td data-bbox="1101 993 1442 1063"> Date 3 September 2008 </td> </tr> </table>			Signature 	Date 3 September 2008
Signature 	Date 3 September 2008				

Compliance Certificate for building Design or Specification

15

NOTE

A Compliance Certificate states building work complies with the building assessment provisions.

To be used for all classes of building and structures to certify a material, system, method of building or building element complies with the BCA or a provision of the QDC.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carpet systems this section may not be applicable.

The description must identify all land the subject of the application

The lot & plan details (eg. SP / RP) are shown on title documents or a sales notice

If the plan is not registered by title, provide previous lot and plan details

Street address (include no., street, suburb / locality & postcode)

Various Regions A, B & C of Australia (AS 1170.2)

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate

Portal Framed Sheds - 4.0m to 9.0m Span

Importance Levels 2

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS 1170.0 General Principals (2002)

AS 1170.1 Permanent & Other Actions (2002)

AS 1170.2 Wind Actions (2002)

AS 1170.4 Earthquake Loads (2002)

AS 4100 Steel Structures Code (1998)

AS 4600 Cold Formed Section Code (2005)

AS 2870 Residential Slabs and Footings (1996)

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans

Aus-Steel Standard Drawings

AUS 1954-01, AUS 1954-02, AUS 1954-03, AUS 1954-04A, AUS 1954-04B, AUS 1954-05A,
 AUS 1954-05B, AUS 1954-06A, AUS 1954-06B, AUS 1954-07A, AUS 1954-07B,
 AUS 1954-08A, AUS 1954-08B, AUS 1954-09A, AUS 1954-09B, AUS 1954-18, AUS 1954-21,
 AUS 1954-22, AUS 1954-23, AUS 1954-24, AUS 1954-25 & AUS 1954-26

5. Building certifier reference number

Building certifier reference number

C6747-2

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

John L Towler

Company name (if applicable)

Suburban Engineering Solutions

Contact person

Phone no. business hours

5482 1146

Mobile no.

Fax no.

5482 3854

Email address

john@jlteng.net

Postal address

P.O. Box 783 Gympie, QLD

Postcode - 4570

Licence or registration number (if applicable)

N.P.E.R 131 7430 R P E Q No 4562, B.E (Civil) C.P.Eng (Structural) M.I.E (Aust)

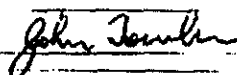
7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent

I certify that the item/s described above, if installed or carried out under the certificate, including any referenced documentation, will comply with the *Building Act 1975*.

Signature

Date




Building Act 1975 s10 & s50 Building Regulation s46 & s48

NOTE

A Compliance Certificate states building work complies with the building assessment provisions.

To be used for all classes of building and structures to certify a material, system, method of building or building element complies with the BCA or a provision of the QDC.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

The description must identify all land the subject of the application

The lot & plan details (eg SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title provide previous lot and plan details

Street address (include no., street, suburb / locality & postcode)

Cypress Road (24242L1) 27.08.08

Cowbay Postcode

Lot & plan details (attach list if necessary)

Lot 292

In which local government area is the land situated?

Cairns Regional Council

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate.

Foolings

Bracing

Tie-Down

Structural Steel

Floor, Wall and Roof Framing

Concrete Masonry

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon

Wind Classification - C2

Australian Standard Codes- AS 2870, AS 4055, AS 3600, AS4100, AS/NZS 1170 Parts 1 & 2

Local Authority Regulations

Assumed Class 'S' or 'M' to be verified by testing

4. Reference documentation

Clearly identify any relevant documentation e.g. numbered structural engineering plans

Michael & Lyndal Brown drawings A1 - A12

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State or territory of the project.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

The chief executive issues any guidelines for assessing a competent person. The building certifier must use the guidelines when assessing the person.

Name (in full) Licence or registration number (if applicable)

Charles Gianarakis RPEQ1370

Company name (if applicable)

CMG Consulting Engineers Pty Ltd

Contact person:

Charles Gianarakis

Phone no. business hours

07 40 312775

Mobile no

Fax no.

07 40519013

Email address

chas@cmgang.com.au

Postal address

P.O. Box 5901, Cairns Qld 4870

7. Signature of competent person

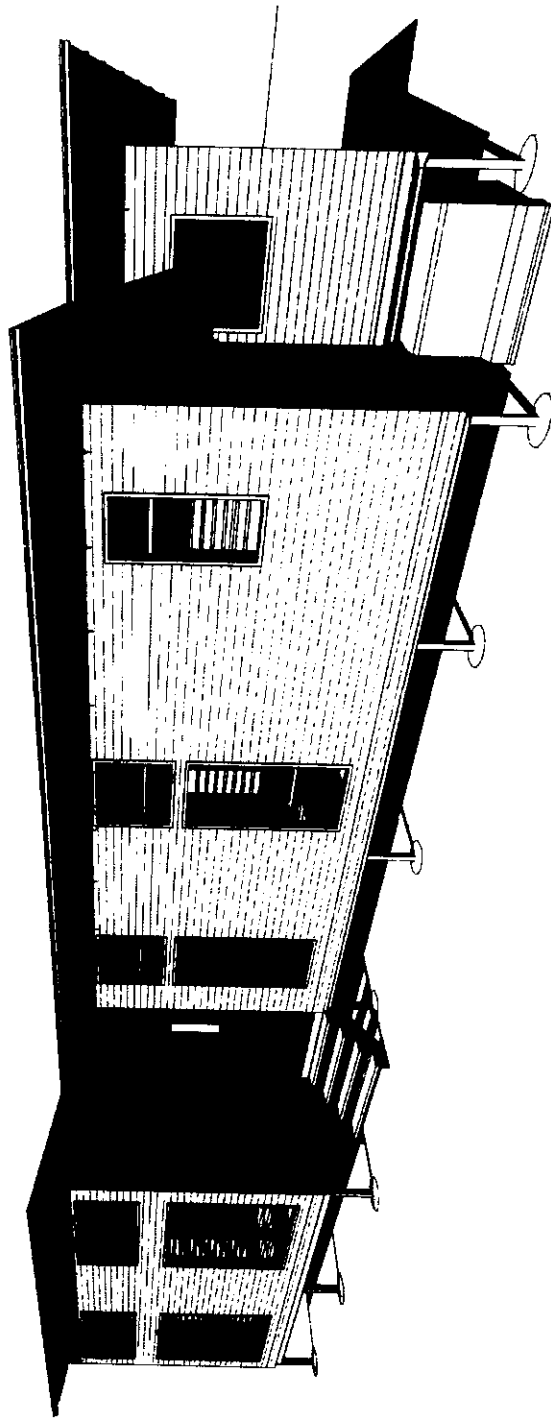
This certificate must be signed by the individual assessed by the building certifier as competent.

I certify that the item/s described above, if installed or carried out under the certificate including any referenced documentation, will comply with the Building Act 1975.

Signature

Date

27 August 2008



GMA Certification Group Pty Ltd
This document has been assessed for
Compliance with the Building Act 1975
and is APPROVED
Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20080281

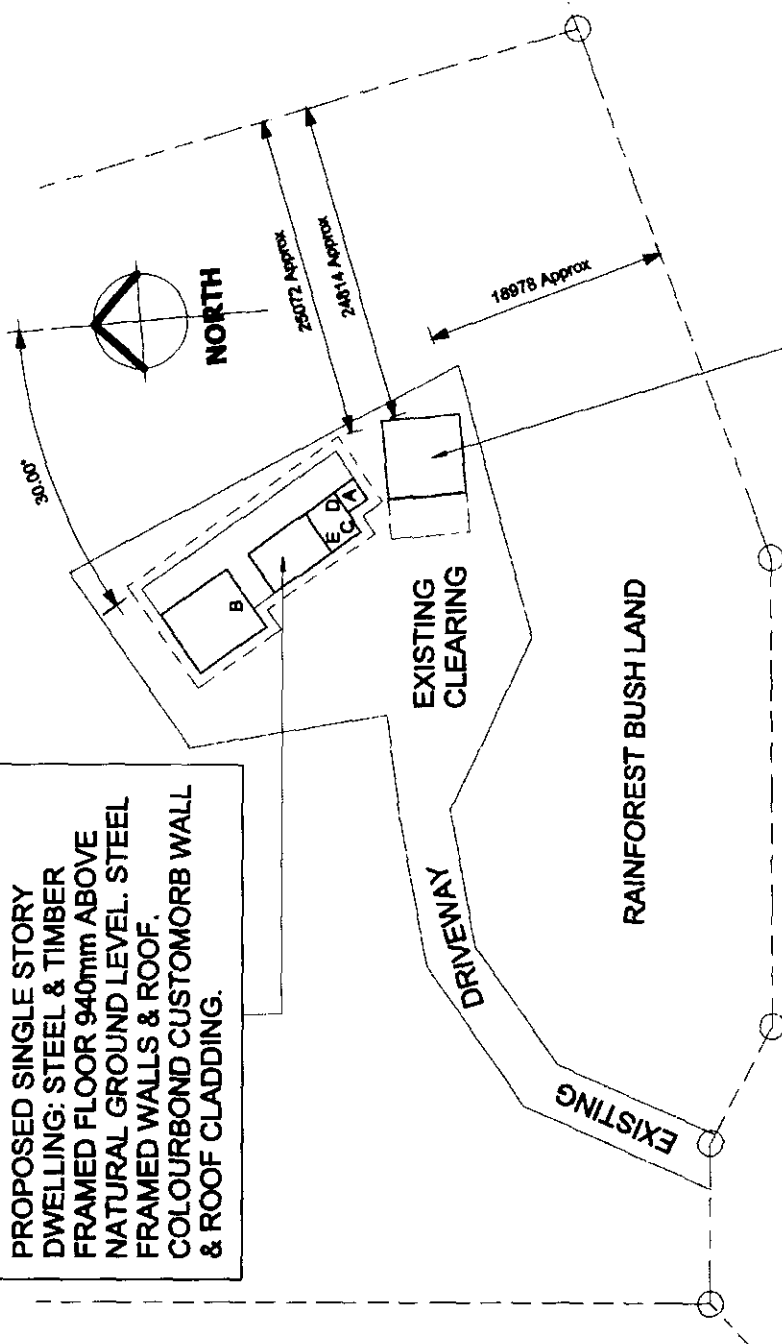
DRAWING LIST

- A1 - Cover Sheet
- A2 - Site Plan
- A3 - Floor Plan
- A4 - Wall Bracing Plan
- A5 - Subfloor Framing Plan
- A6 - Roof Framing Plan
- A7 - Electrical Plan
- A8 - Elevations
- A9 - Elevations
- A10 - Sections & Details
- A11 - Sections & Details
- A12 - Perspective Views

Revised Set - Rev A - 3 SEPT 08
LEVELS UPDATED TO MAKE FFL = 0.00
SUB FLOOR SETOUT REVISED
OUTRIGGER TYPE 3 DETAIL ADDED

Project Client Name Project Address		NEW DWELLING Michael & Lyndal Brown LOT 292 CYPRESS ROAD COW BAY, QLD		Drawing Title		Cover Sheet		Drawing Status		Issue for Construction		Drawn By : Scale @ A 3		Plot Date: 03/01/08 Drawing No A1		Revision A	
----------------------------------------------	--	--------------------------------------------------------------------------------	--	---------------	--	-------------	--	----------------	--	------------------------	--	---------------------------	--	-----------------------------------------	--	---------------	--

PROPOSED SINGLE STORY
DWELLING: STEEL & TIMBER
FRAMED FLOOR 940mm ABOVE
NATURAL GROUND LEVEL. STEEL
FRAMED WALLS & ROOF.
COLOURBOND CUSTOMORB WALL
& ROOF CLADDING.



CYPRESS ROAD

RAINFOREST BUSH LAND

EXISTING
CLEARING

DRIVEWAY

PROPOSED STEEL SHED ON
CONCRETE SLAB SITED TO
EAST WEST ORIENTATION
6 WIDE x 9 LONG x 3.3M HIGH.
REFER TO MANUFACTURERS
DETAILS.

Site Plan - House Area

1 : 400

GENERAL NOTES

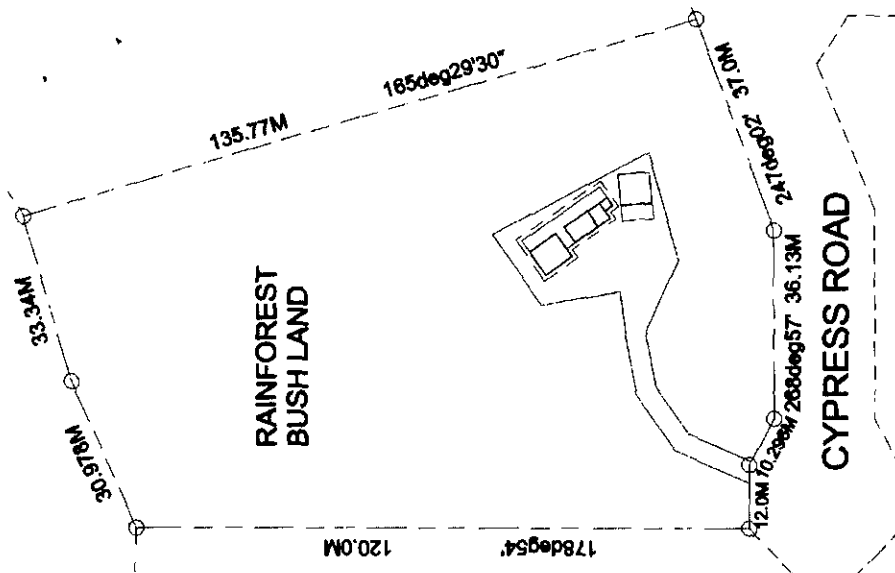
1. NO SEPTIC TO SITE. COMPOSTING TOILET SYSTEM TO BE INSTALLED TO MANUFACTURERS GUIDELINES.
2. REFER TO WASTE DISPOSAL REPORT FOR ALL GREY WATER TREATMENT DETAILS
3. 2 x 10000 LITRE RAINWATER COLLECTION TANKS TO BE CONNECTED TO 80mm DIAMETRE UPVC DOWNSPIES

KEY:

- A. COMPOSTING TOILET
CLIVUS MULTIRUM CMB MODEL
DIMENSIONS 1100H x 1550L x 1250W
INSTALL AS PER MANUFACTURERS RECOMMENDATIONS
- B. KITCHEN SINK
- C. BATHROOM BASIN
- D. LAUNDRY TUB
- E. SHOWER

Site Plan

2 : 1000



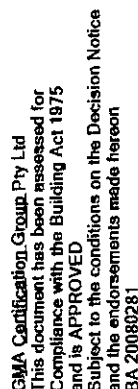
CYPRESS ROAD

RAINFOREST
BUSH LAND

GMA Certification Group Pty Ltd
This document has been assessed for
compliance with the Building Act 1975
and is APPROVED
Subject to the conditions on the Decision Notice
and the endorsements made hereon
BA 20080281

Project	NEW DWELLING	Drawing Title	Issue for Construction	Drawing Status	Plot Date	03/12/2007
Client Name	Michael & Lyndal Brown					
Project	LOT 292 CYPRESS ROAD					
Address	COW BAY, QLD					
Scale	A 3	As Indicated	A2	Revision	A	

- * 5mm STEEL FRAMED WALLS TYPICAL (THROUGHOUT)
- * STUDS: 75x30mm STANDARD STUDS @ 450 CTS
- * NOGGINGS: 73x35mm
 - 1 ROW NOGGINGS UP TO 3M,
 - 2 ROW NOGGINGS ABOVE 3M.
- * TOP & BOTTOM PLATES:
 - 75x70mm HIGH PLATE TO ALL LOAD BEARING WALLS
 - 75x30mm STANDARD PLATE TO NON-LOAD BEARING WALLS
- * BRACING: STANDARD STUD SECTION



1. ALL CONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.
2. ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUTHORITIES.
3. ALL RELEVANT FIXINGS AND FRAMING TO BE IN ACCORDANCE WITH AS 3023 - DOMESTIC METAL FRAMING AND AS 1684-1992 NATIONAL TIMBER FRAMING CODE
4. ALL GLASS AND GLAZING TO COMPLY WITH AS 1288-2008 - GLASS IN BUILDING SELECTION AND INSTALLATION.
SEE ELEVATIONS FOR SAFETY GLASS LOCATIONS.
5. ALL NATURAL LIGHT AND VENTILATION TO COMPLY WITH B.C.A.
6. TREATMENT AGAINST TERMITES INFESTATION TO BE IN ACCORDANCE WITH AS 3600.1 - PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES.

1
1 : 100

7. PROVIDE IMPERVIOUS FLOORING AND WALL FINISHES TO ALL WET AREAS IN ACCORDANCE WITH AS 3740-2004 AND B.C.A. PART F1.7. PROVIDE IMPERVIOUS FINISH TO MINIMUM 120mm ABOVE ALL SINKS, BASINS AND TROUPHS, AND TO 1800mm HIGH TO ALL OTHER WET AREAS. WHOLE FLOOR TO BE WATERPROOFED/TANKED PRIOR TO FLOOR COVERING, INCLUDING FLOORWALL JUNCTION.
8. ALL STEPS TO HAVE A MINIMUM TREAD WIDTH OF 250mm AND MAXIMUM RISER HEIGHT OF 100mm. PROVIDE NON-SLIP EDGING OR SURFACE TO STEPS.
9. SOIL CLASSIFICATION CLASS IS 'S'.

Project	NEW DWELLING	<div>Drawing Title</div> <div>Floor Plan</div>	<div>Drawing Status</div> <div>Issue for Construction</div>				Drawn By	Scale @ A3	Drawing No	Plot Date	Revision
Client Name	Michael & Lyndal Brown								A3		A
Project	LOT 282 CYPRESS ROAD								1:100		
Address	COW BAY, QLD										

LEGEND

- 75mm STEEL FRAMED WALLS TYPICAL (THROUGHOUT)
- * STUDS: 75x35mm STANDARD STUDS @ 450 CTS
- * NOGGINGS: 75x35mm
- 1 ROW NOGGINGS UP TO 3M.
- 2 ROW NOGGINGS ABOVE 3M.
- * TOP & BOTTOM PLATES:
- 75x70mm HIGH PLATE TO ALL LOAD BEARING WALLS
- 75x35mm STANDARD PLATE TO NON-LOAD BEARING WALLS
- * BRACING: STANDARD STUD SECTION

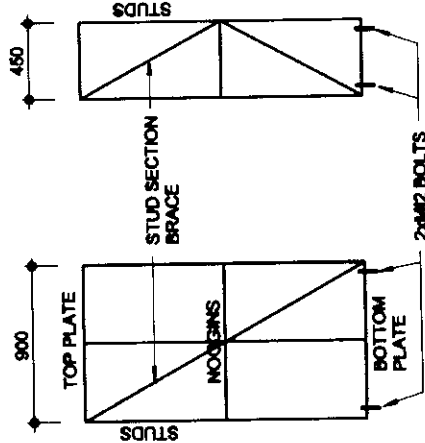
LWB1 LOAD BEARING WALL

| B 900 WIDE BRACED WALL FRAME

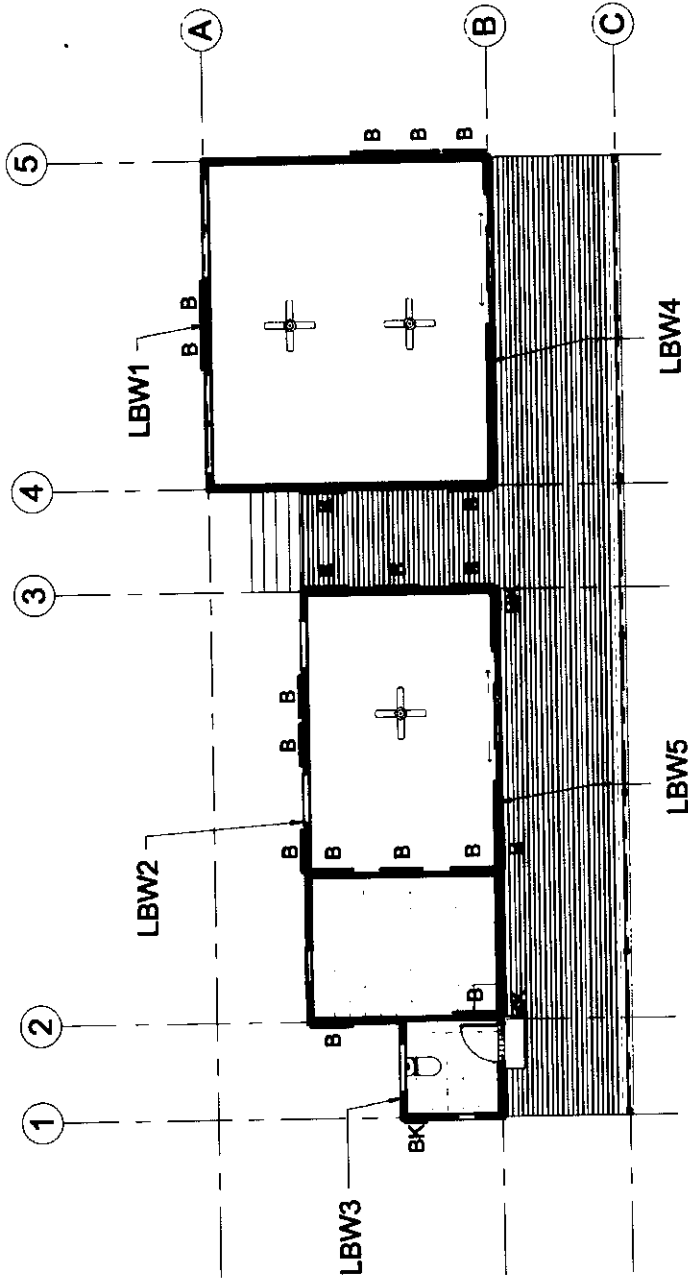
| BK 450 WIDE BRACED WALL FRAME

GENERAL NOTES

1. ALL STEEL FRAMED WALLS PREFABRICATED BY SELECTED STEEL FABRICATOR. REFER TO STEEL FABRICATORS SHOP DRAWINGS FOR FURTHER DETAIL.
2. ALL RELEVANT FIXINGS AND FRAMING TO BE IN ACCORDANCE WITH AS 3623 - DOMESTIC METAL FRAMING AND AS 1684-1982 NATIONAL TIMBER FRAMING CODE



TYPICAL WALL BRACING DETAILS



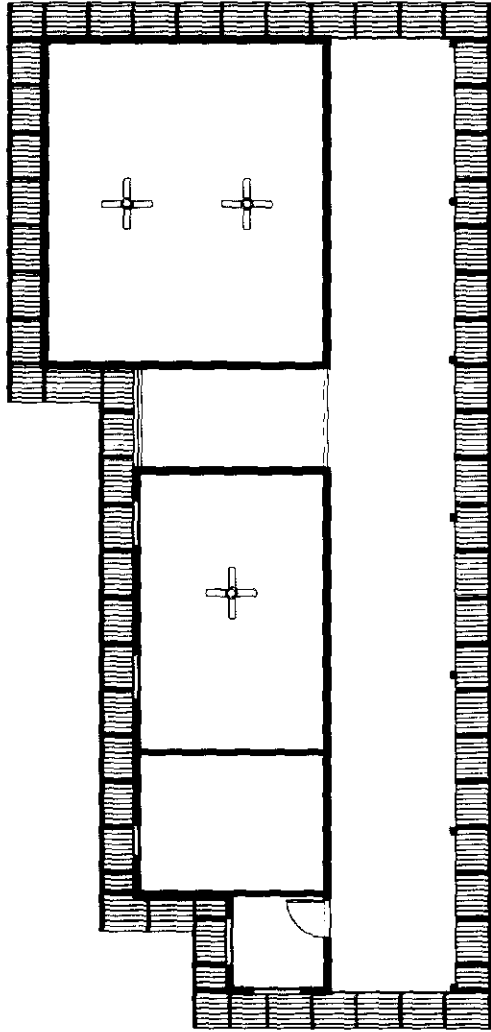
Wall Bracing Plan

1:100

WIND RATING CATEGORY C2

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BA 20080281

Project		Drawing Title		Drawing Status		Drawn By		Plot Date	
NEW DWELLING		Wall Bracing Plan		Issue for Construction		Scale @ A3		Drawing No	
Client Name		Michael & Lyndal Brown		Revision		1:100		A4	
Project		LOT 292 CYPRESS ROAD		A					
Address		COW BAY, QLD							



LEGEND



CEILING MOUNTED CEILING FAN

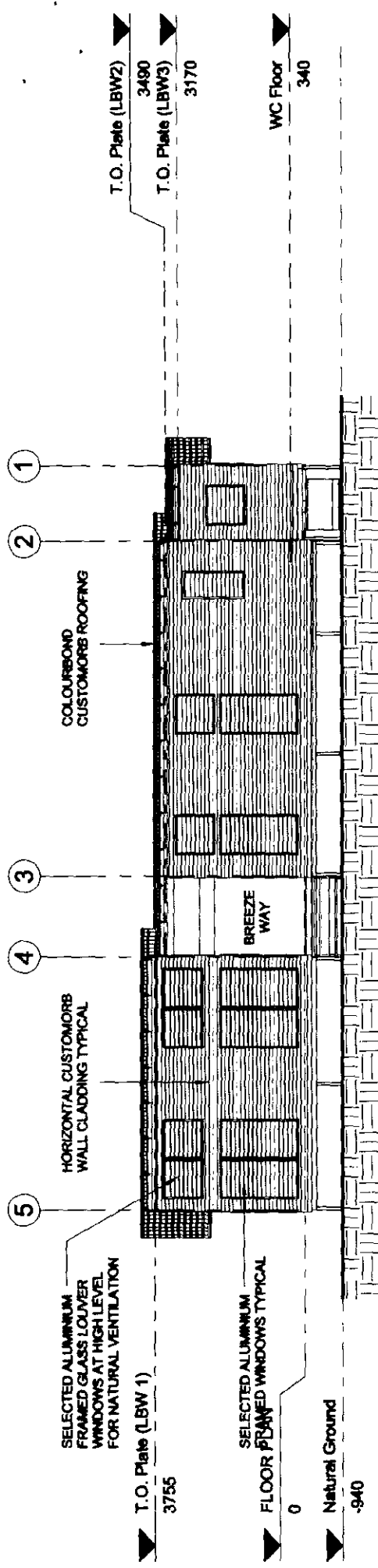
GMA Certification Group Pty Ltd
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BA 20080281

Electrical Plan

1

1 : 100

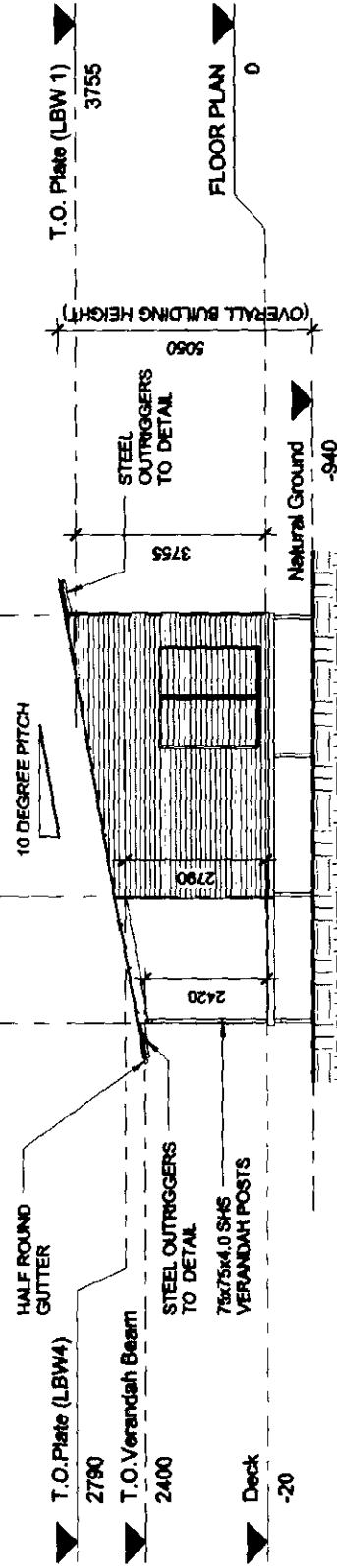
Project	NEW DWELLING	Drawing Title	Electrical Plan	Drawing Status	Issue for Construction	Drawn By	Scale	Plot Date	Revision
Client Name	Michael & Lyndal Brown						A 3		
Project	LOT 292 CYPRESS ROAD						1 : 100		
Address	COW BAY, QLD							A 7	A



West Elevation

1 : 100

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BA 20080281



North Elevation

1 : 100

Drawing Title

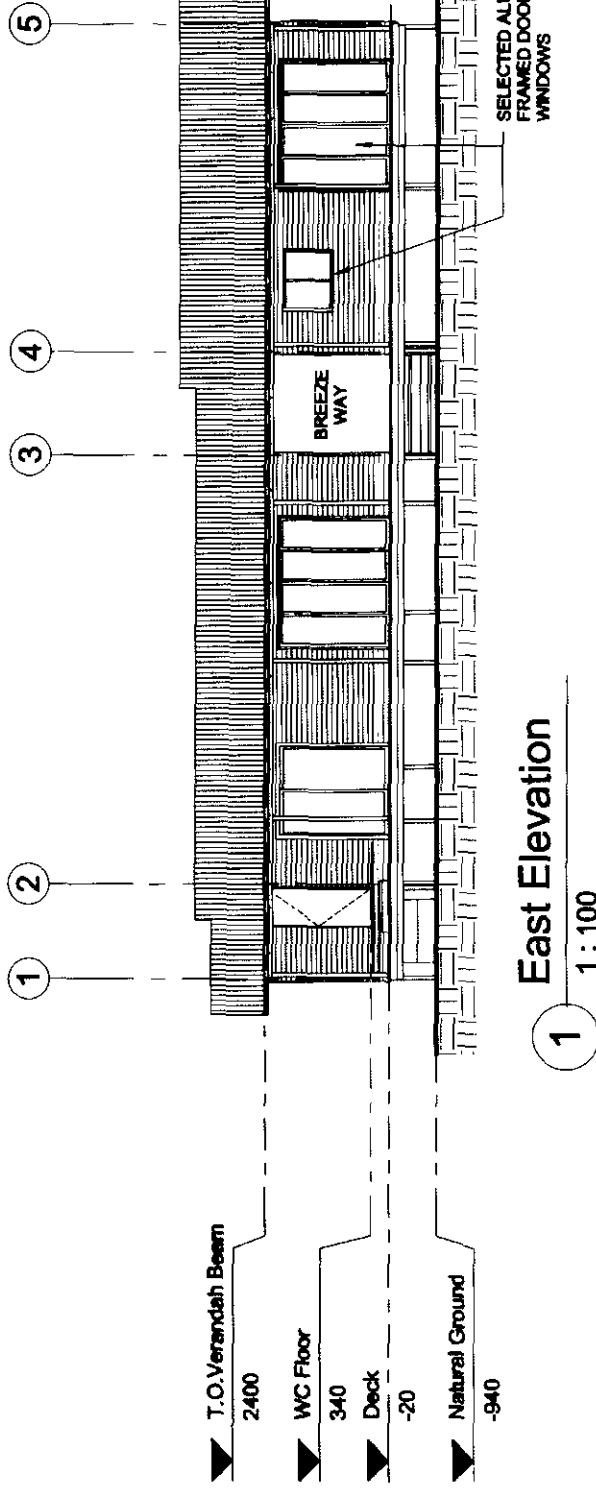
Drawing Status

Drawn By: A.3
Scale @ A.3
1 : 100
Plot Date: A.8
Drawing No: A.8
Revision: A

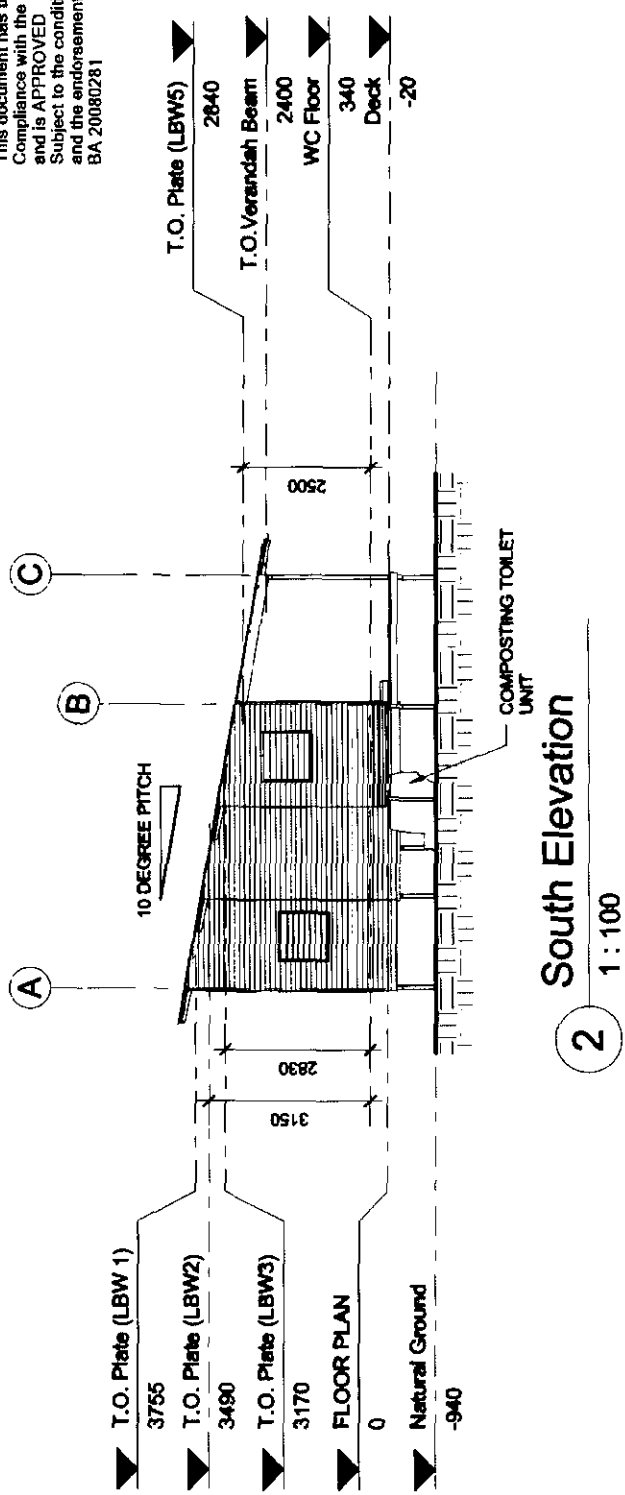
Project: NEW DWELLING
Client Name: Michael & Lyndal Brown
Project: LOT 292 CYPRESS ROAD
Address: COW BAY, QLD

Elevations

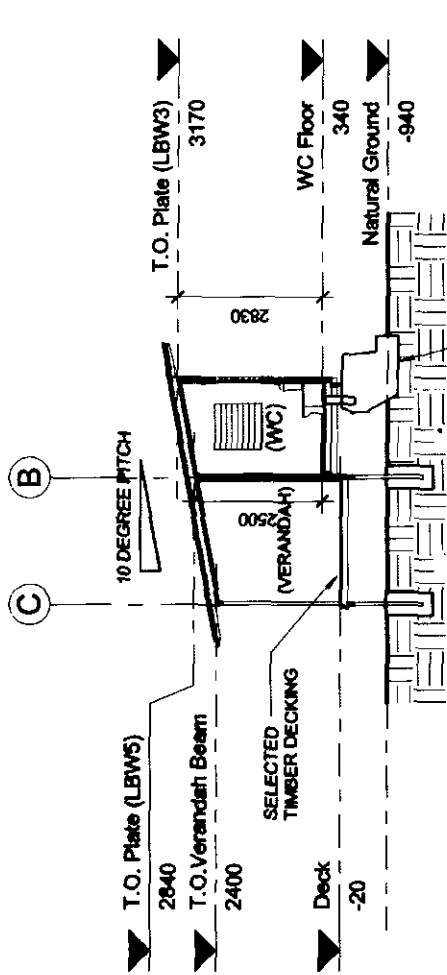
Issue for Construction



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BA 20080281



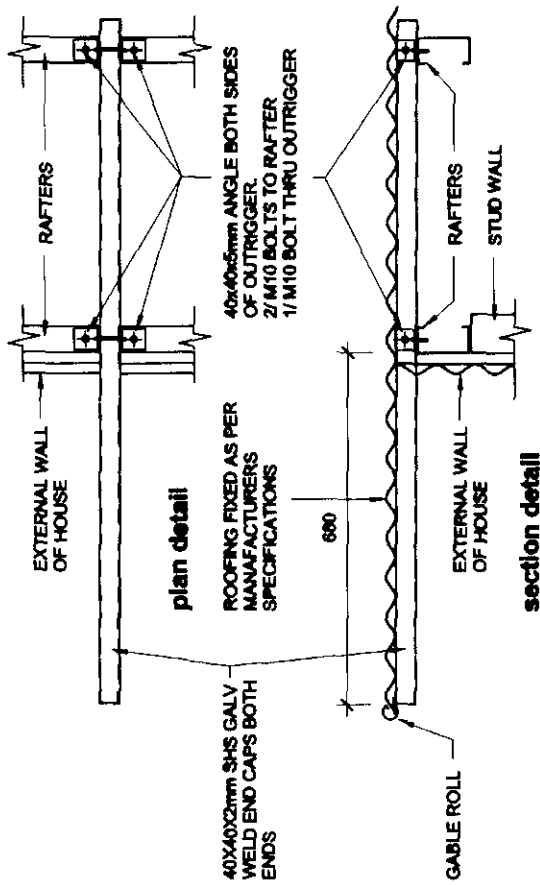
Project NEW DWELLING		Drawing Title		Drawing Status		Plot Date 20/01/10		
Client Name Michael & Lyndal Brown		Elevations		Issue for Construction		Drawing No		Revision A
Project LOT 282 CYPRESS ROAD						Scale @ A 3		
Address COW BAY, QLD						1 : 100		
						Drawing By		



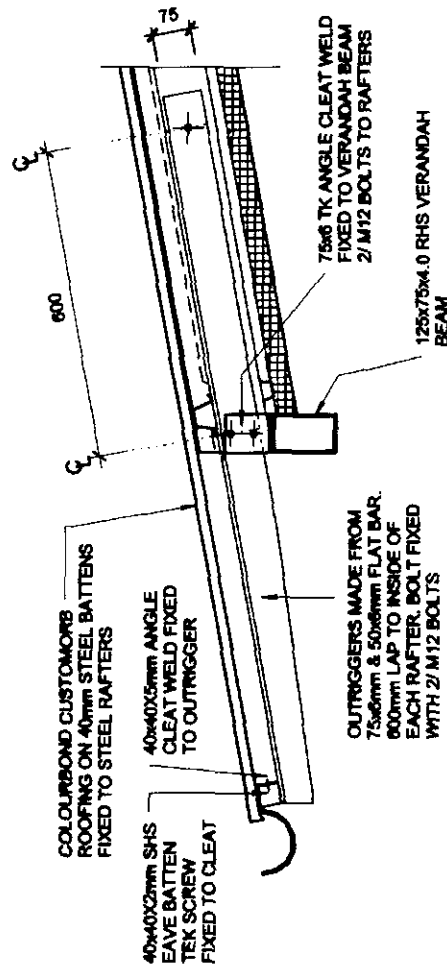
Section 3
1 1: 100

INSULATION NOTES:
ROOF: AIRCELL
WALLS: AIRCELL
FLOORS: NONE

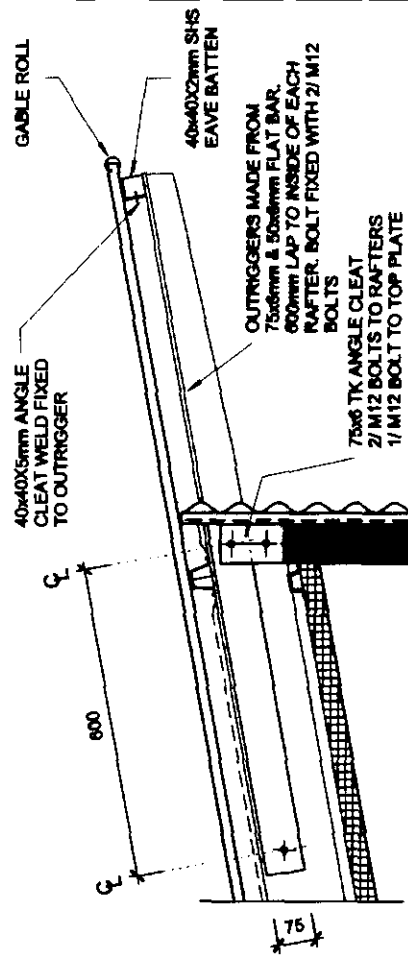
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BA 20080281



OUTRIGGER TYPE 3
4 1: 10

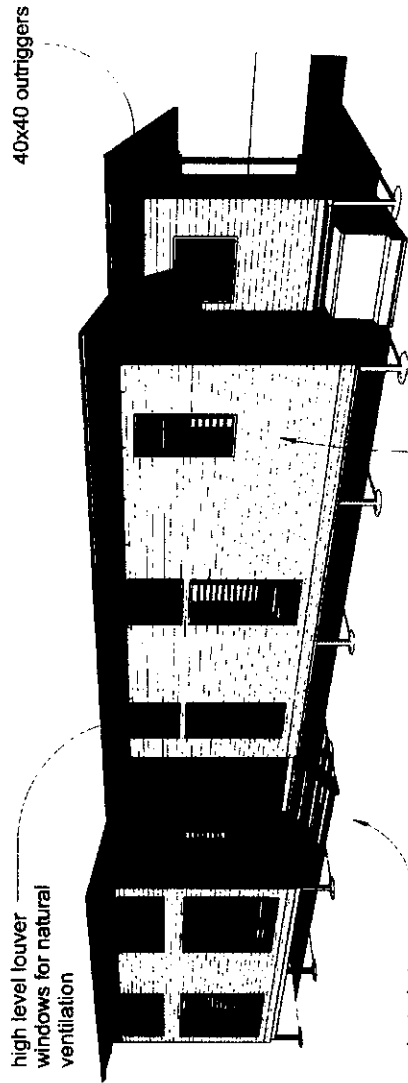


Outrigger Type 2
2 1: 10



Outrigger Type 1
3 1: 10

Project	NEW DWELLING	Drawing Title	Issue for Construction		
Client Name	Michael & Lyndal Brown	Drawing No	A11	Revision	A
Project	LOT 292 CYPRESS ROAD	Scale @ A3	As Indicated		
Address	COW BAY, QLD	Drawn By			
		Plot Date	07-SEP-17		



West Wall

3

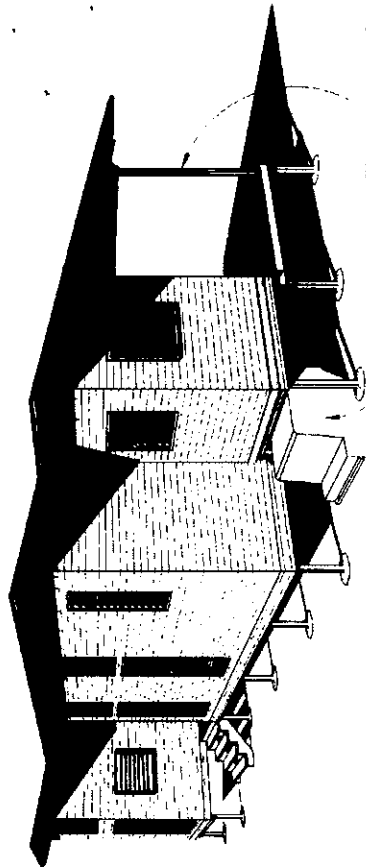
aluminium framed doors and windows throughout

GMA Certification Group Pty Ltd
This document has been assessed for Compliance with the Building Act 1975 and is APPROVED
Subject to the conditions on the Decision Notice and the endorsements made hereon
BA 20080281

fully welded steel outriggers bolted to rafters

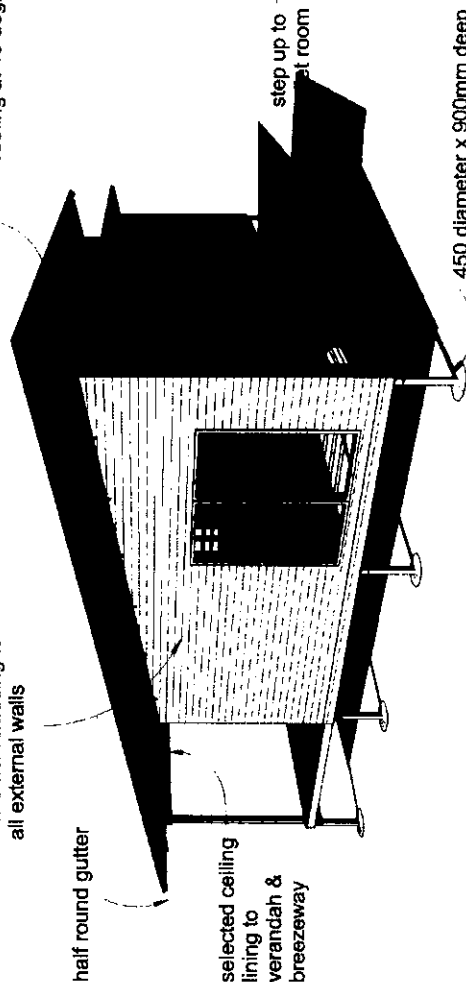
horizontal colourbond customorboladding to all external walls

colourbond customorb corrugated roofing at 10 degree pitch



South Wall

4

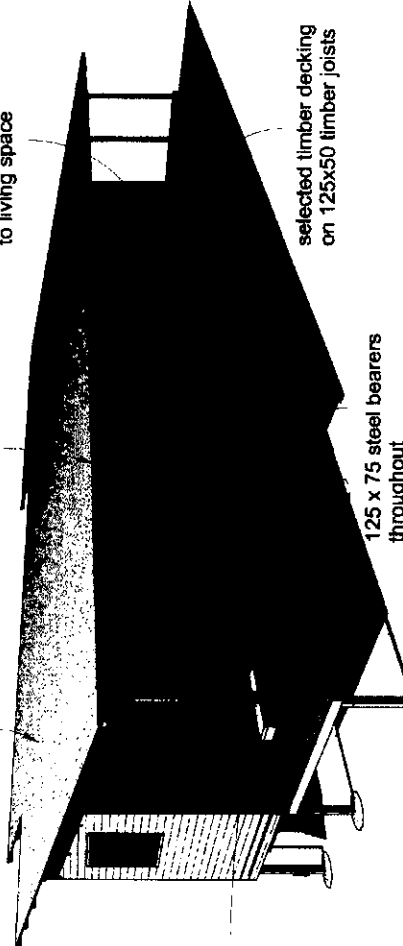


North Wall

2

125 x 75mm steel verandah beam bolt fixed to posts

selected glass doors to living space



East Wall

1

Project **NEW DWELLING**

Client Name **Michael & Lyndal Brown**

Project **LOT 292 CYPRESS ROAD**

Address **COW BAY, QLD**

Drawing Title

Perspective Views

Drawing Status

Issue for Construction

Drawn By

Scale @ A 3

Drawing No

A12

Plot Date

Revision

A

0740422657



PO BOX 359 CAIRNS Q 4870
 WEBSITE: www.cairns.qld.gov.au
 EMAIL: council@ Cairns.qld.gov.au
 ABN 24 310 025 910

ENQUIRIES: Plumbing Department
 PHONE: 4044 8235 Fax: 4044 8290
 PLEASE QUOTE OUR REF: # 2008 / 2124

8 December 2008

Applicant:
 L R Carter
 PO Box 6737
 CAIRNS QLD 4870

Plumber:
 To Be Advised
 Refer Building Dept CCC 4870

COMPLIANCE PERMIT

Dear Sir/Madam

Cypress Road COW BAY 4873

LOT: 292 RP: 739001

DESCRIPTION OF WORKS: Domestic Effluent Treatment Plant

I wish to advise that approval has been granted for the person nominated on your application to commence work subject to the following conditions, and shall within seven days after the completion thereof, notify Council on the prescribed form of such completion. A Compliance Certificate will be issued on request only after the receipt of the notice of completion.

1. All work to be in accordance with the requirements of the Plumbing & Drainage Act 2002.
2. Inspection & Testing shall be in accordance with S20 Standard Plumbing & Drainage Regulation 2003.
3. The issue of this permit does not:-
 - (i) Indicate the effluent disposal will be satisfactory or
 - (ii) Prejudice Council's right to require additional or remedial works.
4. The On-site Treatment System shall be operated and maintained in accordance with the Chief Executive Approval (DIP) and Manufacturer's specifications. The owner shall enter into an annual service agreement with a suitably qualified service person. The Service Agreement shall be renewed annually and a signed copy forwarded to Council prior to the expiry date of the previous agreement.
5. Council is to be notified of completion of plumbing and drainage work by completing and returning the Notification of Completion form. This should be done within 7 days of completion of the work.

Should you have any queries please contact Cairns Regional Council Water & Waste unit on telephone number (07) 4044 8235 or 1800 070 444 (Cairns region only, no STD rates apply).

Yours faithfully

B GARDINER
 GENERAL MANAGER
 CAIRNS REGIONAL COUNCIL
 WATER & WASTE

CAIRNS

119-145 Spence Street, Cairns Q 4870
 Ph: (07) 4044 3044 Fax: (07) 4044 3022

MOSSMAN

64-66 Front Street, Mossman Q 4873
 Ph: (07) 4099 9444 Fax: (07) 4098 2902

0740422657



PO BOX 359 CAIRNS Q 4870
 WEBSITE: www.cairns.qld.gov.au
 EMAIL: council@ Cairns.qld.gov.au
 ABN 24 310 025 910

ENQUIRIES: Plumbing Department
 PHONE: 4044 8235 Fax: 4044 8290
 PLEASE QUOTE OUR REF: # 2008 / 2121

8 December 2008

Plumber:
 To Be Advised

Refer Building Dept CCC 4870

COMPLIANCE PERMIT

Dear Sir/Madam

Cypress Road COW BAY 4873

LOT: 292 RP: 739001

DESCRIPTION OF WORKS: Dwelling with On-Site

I wish to advise that approval has been granted for the person nominated on your application to commence work subject to the following conditions, and shall within seven days after the completion thereof, notify Council on the prescribed form of such completion. A Compliance Certificate will be issued on request only after the receipt of the notice of completion.

1. All work to be in accordance with the requirements of the Plumbing & Drainage Act 2002.
2. Inspection & Testing shall be in accordance with S20 Standard Plumbing & Drainage Regulation 2003.
3. Dual Flush Cisterns are to be installed in all new installations
4. The issue of this permit does not:-
 - (i) Indicate the effluent disposal will be satisfactory OR
 - (ii) Prejudice Council's right to require additional or remedial works.
5. Council is to be notified of completion of plumbing and drainage work by completing and returning the Notification of Completion form. This should be done within 7 days of completion of the work.

Should you have any queries please contact Cairns Regional Council Water & Waste unit on telephone number (07) 4044 8235 or 1800 070 444 (Cairns region only, no STD rates apply).

Yours faithfully

B GARDINER
 GENERAL MANAGER
 CAIRNS REGIONAL COUNCIL
 WATER & WASTE

CAIRNS

119-145 Spence Street, Cairns Q 4870
 Ph: (07) 4044 3044 Fax: (07) 4044 3022

MOSSMAN

64-66 Front Street, Mossman Q 4873
 Ph: (07) 4099 9444 Fax: (07) 4098 2902



**Decision Notice
APPROVAL**

Integrated Planning Act 1997 S 3.5.15

Our Ref: Meeting 18 Item 2-1
Council Ref: 8/7/1457
Project manager: Nikki Huddy
Contact: 0447 323384

14 April 2009

GMA Certification Group
PO Box 831
Port Douglas QLD 4877

Dear Sir / Madam

**Decision of the Douglas Development Assessment Panel
Material Change of Use (Code) House in Rainforest Conservation Precinct.
Lot 292 RP739001, Cypress Road, Cow Bay**

I wish to advise that, on 14 April 2009, the above development application was approved in full with conditions. The conditions relevant to this approval are attached. These conditions are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them;

If you wish to discuss this matter further, please contact me on 0447 323384

Yours sincerely,

Nikki Huddy
Project Manager
Douglas Development Assessment Panel

Att.

cc: Cairns Regional Council
Environmental Protection Agency Cairns

1. Details of the approval -

The following type of approval has been issued - *[delete those not applicable]*

	IPA schedule 8 reference	Development Permit	Preliminary Approval
• Material change of use made assessable by the planning scheme		✓	

2. The relevant period for the approval -

- ✓ The relevant periods stated in section 3.5.21 of the *Integrated Planning Act 1997* (IPA) apply to each aspect of development in this approval, as outlined below—

- X material change of use – 4 years;
- ☐ reconfiguring a lot not requiring operational works – 2 years;
- ☐ reconfiguring a lot requiring operational works – 4 years;
- ☐ any other development not listed above – 2 years.

If there is 1 or more subsequent related approvals¹ for a development approval for a material change of use or a reconfiguration, the relevant period for the approval will be taken to have started on the day the latest related approval takes effect.

3. The approved plans -

The approved plans and / or documents for this development approval are listed in the following table. These documents are contained in Appendix 1.

<i>Drawing or Document</i>	<i>Reference</i>	<i>Date</i>
<i>Site Plan</i>	<i>A2 REV A</i>	<i>03 Sept 08 received 09/12/2008</i>
<i>Floor Plan</i>	<i>A3 REV A</i>	<i>03 Sept 08</i>
<i>Elevations</i>	<i>A8 REV A</i>	<i>03 Sept 08</i>
<i>Elevations</i>	<i>A9 REV A</i>	<i>03 Sept 08</i>
<i>Perspective Views</i>	<i>A12 REV A</i>	<i>03 Sept 08</i>

4. Other necessary development permits -

Listed below are other development permits that are necessary to allow the development to be carried out –

- Development Permit for Building Work

¹ For the meaning of 'related approval', refer to section 3.5.21(7) of IPA

5. Conditions of approval

Assessment Manager Conditions

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-
 - a. The specifications, facts and circumstances as set out in the application submitted to Cairns Regional Council;
 - b. To ensure that the development complies in all respects with the following conditions of approval and the requirements of Cairns Regional Council's Planning Scheme and the FNQROC Development Manual; and

Except where modified by these conditions of approval

Timing of Effect

2. *The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.*

Vegetation Clearing

3. *Existing vegetation on the subject land must be retained in all areas outside the Designated Development Area, this being the area already cleared in accordance with a Permit to Damage Protected Vegetation issued 20 July 2004. Any further clearing on the site requires a Permit to Damage Protected Vegetation under Amendment 1 of 2006 Of Local Law No. 56 Vegetation Management.*

Water Supply

4. *Water storage tank(s) with a minimum capacity not less than 30,000 litres, and must be installed prior to occupation of the premises. Details of the water tank(s) must be shown on plans submitted with the building application. Such water tanks must be provided with:*
 - a. *Mosquito-proof screens of brass, copper, aluminium or stainless steel gauze not coarser than 1mm aperture mesh of substantial construction and installed in such manner as not to cause or accelerate corrosion; or*
 - b. *Flap valve at every opening of the tank or other receptacle; or*
 - c. *Other approved means for preventing the ingress or egress of mosquitoes; and*
 - d. *Where a tank or other receptacle is provided with a manhole, the manhole must have a diameter of no more than 40cm; and*
 - e. *The water tank(s) shall be fitted with a 50mm ball valve with a camlock fitting.*
 - f. *Provision of a connection to the tank system to enable attachment of fire fighting hose.*

On-site Effluent Disposal

5. The method of on-site effluent disposal must be in accordance with the Queensland Plumbing & Wastewater Code. Details of the wastewater treatment system to be installed must be approved by the Chief Executive Officer of Cairns Regional Council, prior to the issue of a Development Permit for Building Work.

Generators

6. All power generation devices are to be positioned and housed (including noise attenuation material) so as to mitigate noise nuisance to adjoining and nearby residents.

Fuel Storage

7. All fuels must be stored in an undercover and secure location at all times.

Building Colours

8. The exterior finishes and colours of Buildings are non-reflective and blend with the natural colours of the surrounding environment. Roofs must be of moderately dark to darker shades of green, grey, blue and brown. The following proposed building colours are approved for use:
 - a. Exterior Walls – Colorbond “Blue Ridge”
 - b. Roof – Colorbond “Windspray”

The applicant/owner must also ensure that the above Building Exterior requirements are made known in writing to all prospective purchasers.

Sediment and Erosion Control

9. The soil and water management measures must be installed/implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the Environmental Protection Act 1994, and the FNQROC Development Manual).

Lawful Point of Discharge

10. The applicant/owner must ensure that the flow of all external stormwater from the property is directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development, all to the requirements and satisfaction of the Chief Executive Officer of Cairns Regional Council.

Minimum Fill and Floor Levels

11. *All floor levels in all buildings must be located 150mm above the Q100 flood immunity level of 3.4 metres AHD, plus any hydraulic grade effect (whichever is the greater), in accordance with FNQROC Development Manual and Planning Scheme requirements.*

Water Saving

12. *All toilet devices in the development must be fitted with dual flush cisterns and showers and hand basins in the development must be fitted with flow control valves or similar water control devices to generally restrict flow to 9 litres of water per minute.*

House

13. *The lot must not contain more than one House and such House is to be occupied by one household.*

Landscaping

14. *All landscaping to be installed must consist of 100% native and endemic species only and planted in an irregular and random fashion to blend with existing vegetation. Exotic species are not permitted.*

A Landscape Plan nominating the species and location of trees and shrubs to be planted must be endorsed by the Chief Executive Officer of Cairns Regional Council. The approval and completion of all landscaping works must be undertaken in accordance with the endorsed plan prior to the issue of a Certificate of Classification or Commencement of Use whichever occurs first. The landscape plan does not need to be professionally drawn but does need to be of a standard which clearly illustrates those areas to be planted.

Fences

15. *Fences are limited in extent to the confines of the cleared area around the House and associated gates are self-closing to ensure that wildlife movement, fauna habitat and habitat corridors are protected and domestic impacts minimised.*

External Lighting

16. *Any flood lights to be installed must not point upwards and areas of retained vegetation should not be illuminated. Where appropriate, outdoor lights should be controlled by movement detectors and/or have timers.*

Referral Agency Conditions & Requirements

Referral Agency	Referral Agency Reference	Date	Cairns Regional Council Electronic Reference
Environmental Protection Agency	CNS 8043 – 331120 IPAR01274408	19 November 2008	--

Refer to Appendix 2: Referral Agency Advice. (Please note that these conditions / requirements may be superseded by subsequent negotiations with the relevant referral agencies).

ADVICE

1. This approval, granted under the provisions of the Integrated Planning Act 1997, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of Section 3.5.21 of the Integrated Planning Act 1997.
2. The applicant/owner is advised that this approval does not approve the construction of the building works. The applicant will be required to obtain a Development Permit for Building Work in order for construction to commence.
3. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Cairns Regional Council Officers, prior to commencement of works.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. The taking of water, or interfering with water from streams or groundwater sources will require a permit administered under the Water Act 2000 and issued by the regional office of the Department of the Natural Resources and Water. Further information can be obtained from the Department of Natural Resources and Water on (07) 4039 8431 or at www.nrw.qld.gov.au.
6. For information relating to the Integrated Planning Act 1997 log on to www.ipa.qld.gov.au. To access Cairns Regional Council's Development Manual, Local Laws and other applicable Policies log on to www.cairns.qld.gov.au.

PROPERTY NOTATIONS

On-site Effluent and Designated Development Area

1. There is a Designated Development Area on this lot within which all buildings and structures must be contained, with the exception of the On-Site Effluent Disposal System. The owner(s) of this property must obtain Cairns Regional Council approval prior to building any structure outside of the approved Designated

Development Area. For further information contact Cairns Regional Council's Development Assessment department.

6. IDAS referral agencies - [Delete if not applicable to the application]

The IDAS referral agencies applicable to this application are –

For an application involving...	Name of referral agency	Status	Address
1. Item 38 of Table 2 of Schedule 2 of the Integrated Planning Regulations	Environmental Protection Agency – Attention Michael Trenerry	Advice Agency	Advice Agency

7. Submissions -

There was one submission. In accordance with s 3.5.15(2)(j) of the IPA, the name and address of the principal submitter for each properly made submission are as follows—

Name of principal submitter	Address
1. Environmental Protection Agency Attention Michael Trenerry Ref IPAR01274408	PO Box 2066 Cairns QLD 4870 Phone 4046 6694

8. Appeal rights -

Attached is an extract from the IPA which details your appeal rights and the appeal rights of any submitters regarding this decision.

9. When the development approval takes effect -

This development approval takes effect -

- from the time the decision notice is given, if there is no submitter and the applicant does not appeal the decision to the court

OR

- if there is a submitter and the applicant does not appeal the decision, the earlier date of either:
 - when the submitter's appeal period ends; or
 - the day the last submitter gives the assessment manager written notice that the submitter will not be appealing the decision.

OR

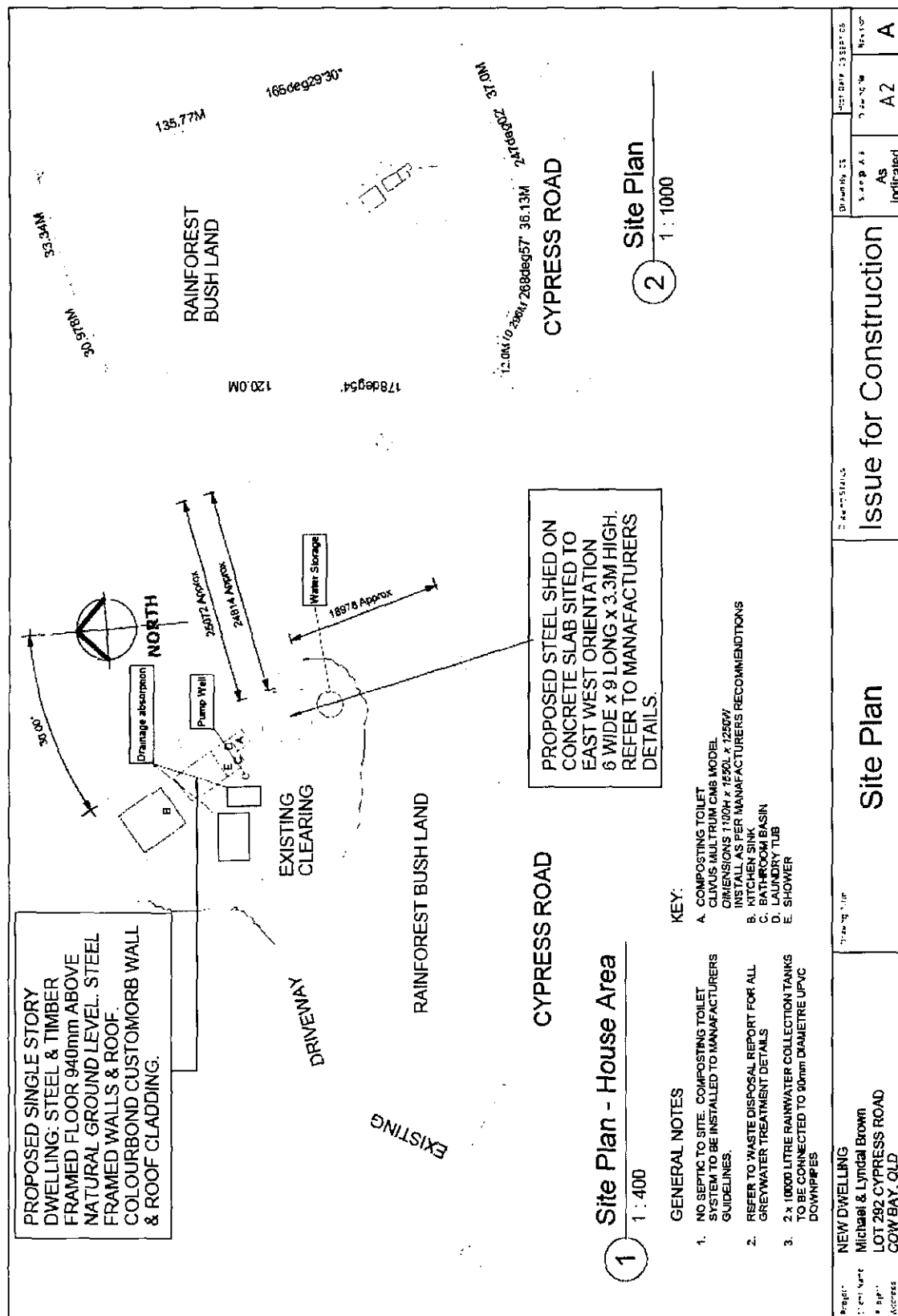
- subject to the decision of the court, when the appeal is finally decided, if an appeal is made to the court.

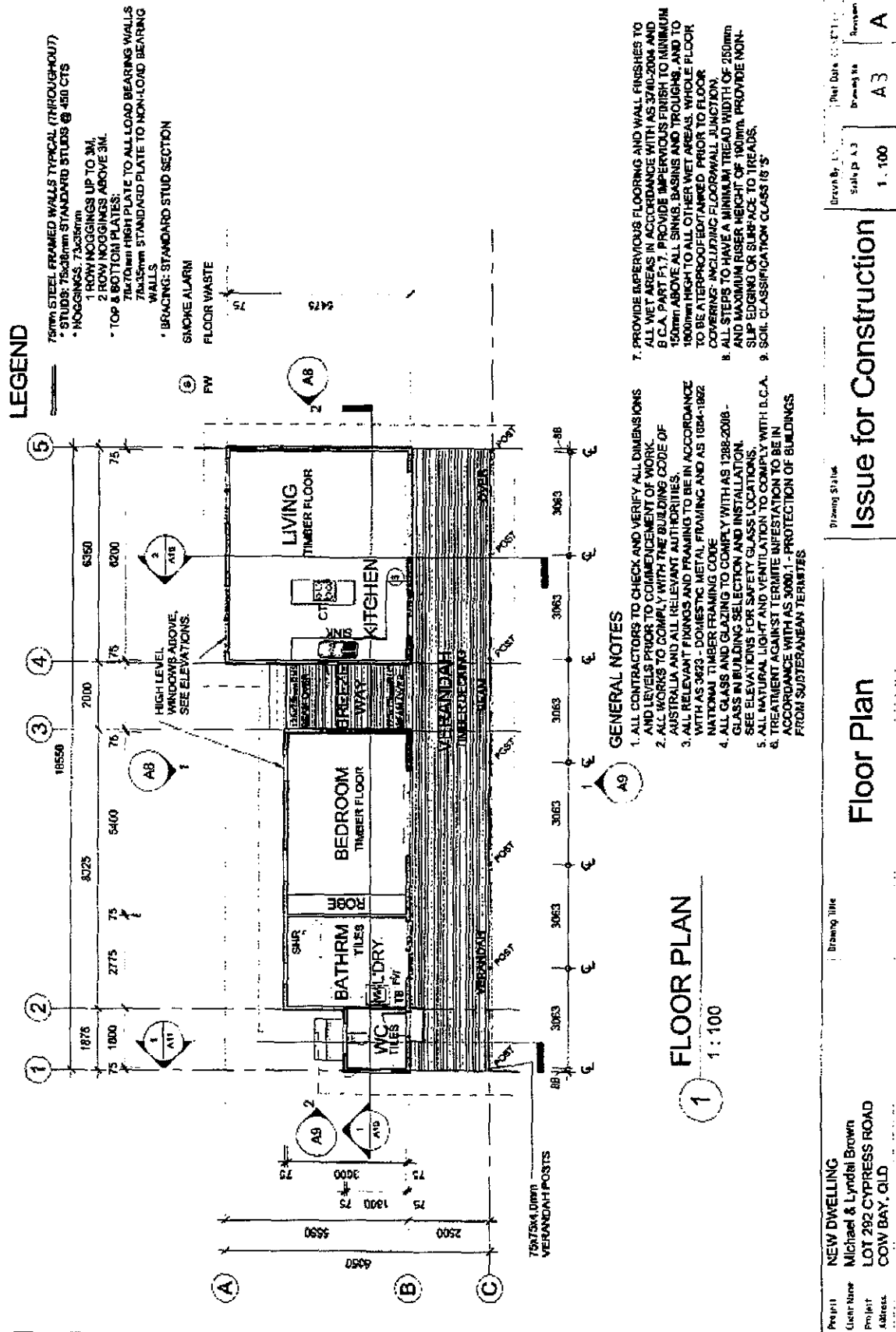
This approval will lapse if—

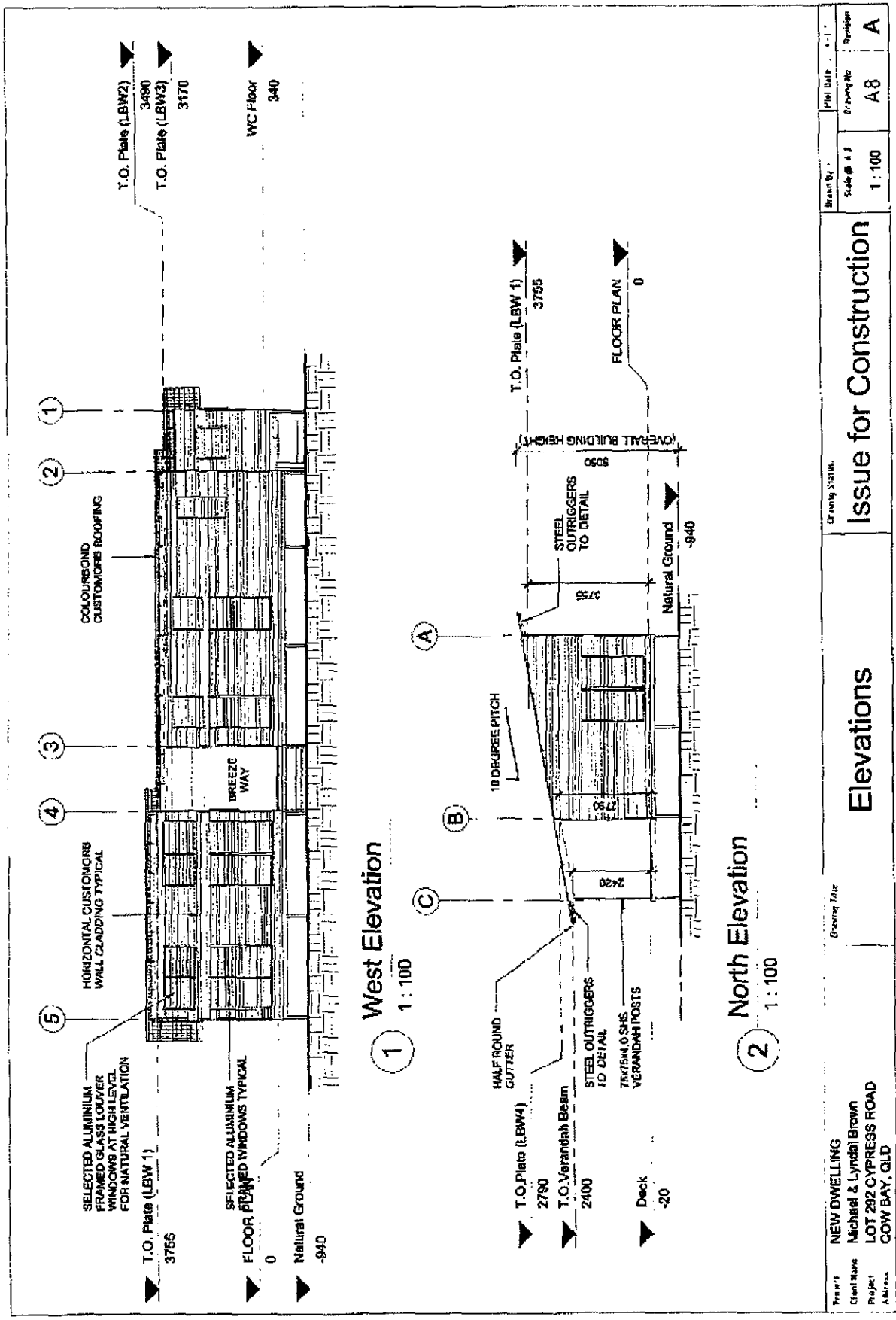
- for a material change of use, the first change of use under the approval does not start within the relevant period stated in section 2 of this decision notice;
- for a reconfiguration, a plan for the reconfiguration is not given to the local government within the relevant period stated in section 2 of this decision notice;
- for a development approval other than a material change of use or reconfiguration, the development does not substantially start within the relevant period stated in section 2 of this decision notice.

Note that in the case of a development approval for a material change of use or for reconfiguring a lot, if there is 1 or more subsequent related approvals the relevant period for the material change of use or reconfiguration will restart from the date of the related approval taking effect. Please refer to section 3.5.21 of IPA for further information.

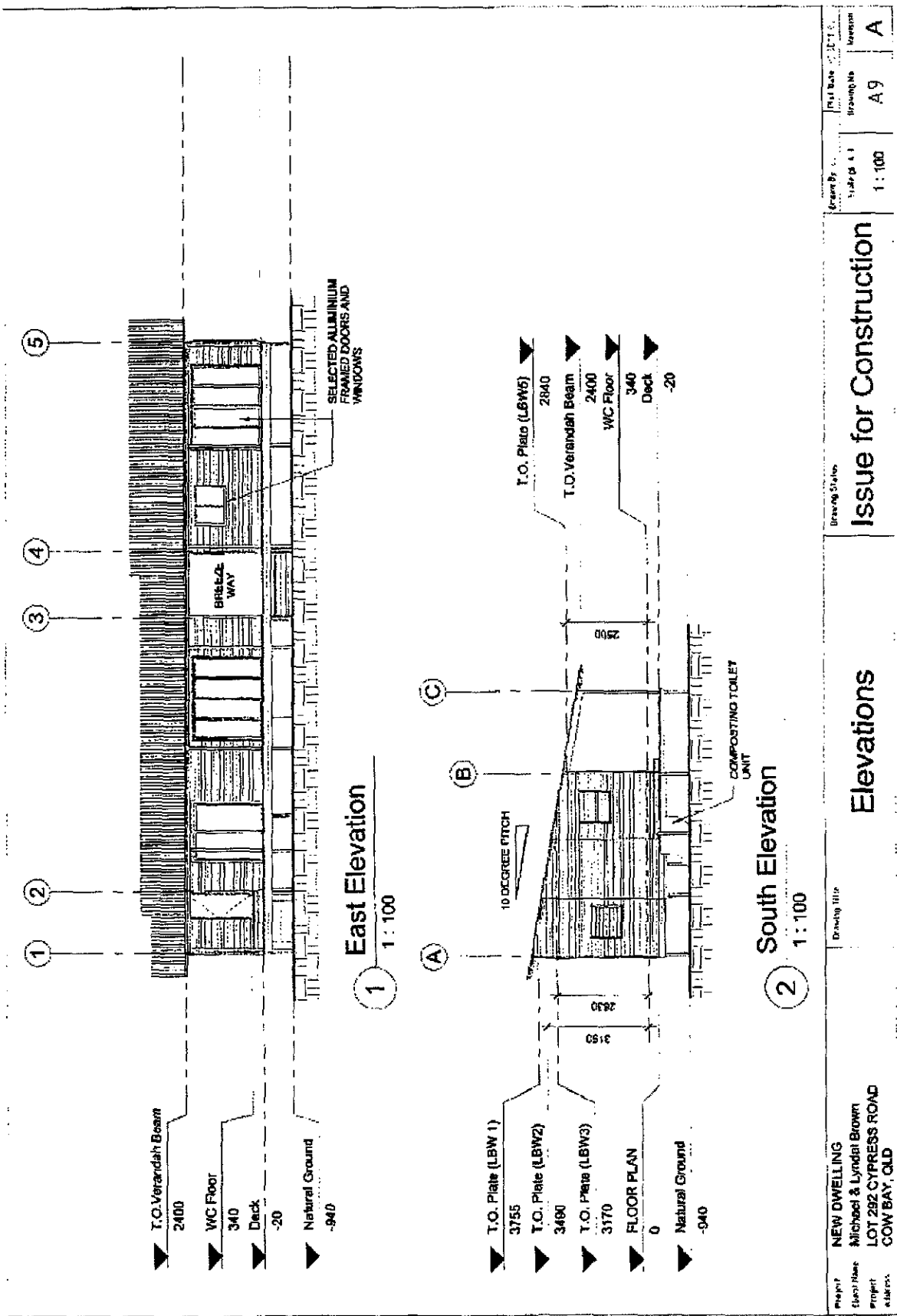
Appendix 1: Approved Plans

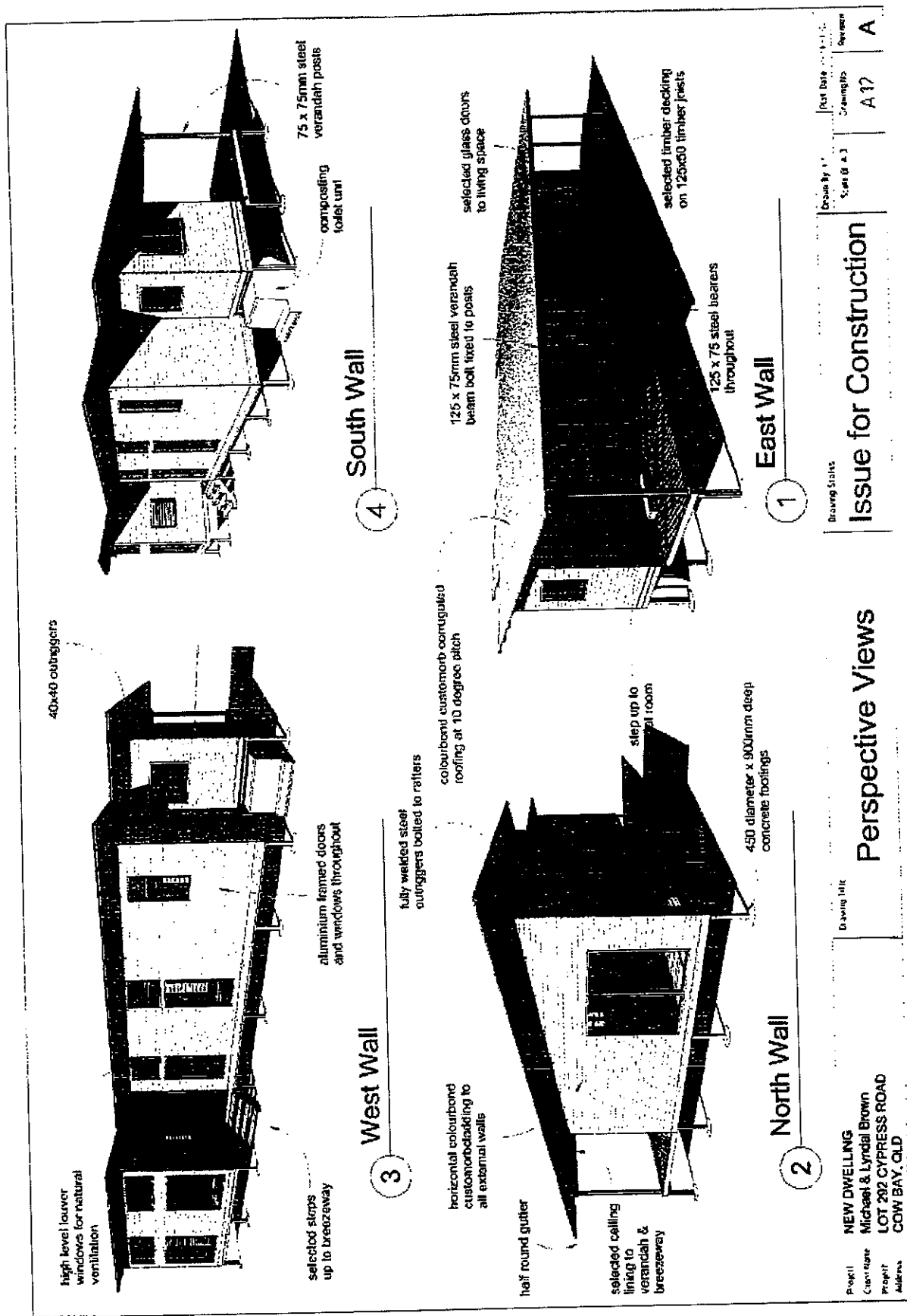






Project Name	NEW DWELLING	Drawing Title	Elevations	Drawing Status	Issue for Construction	Scale	1:100	Sheet No	A8	Revision	A
Client Name	Michael & Lyndal Brown										
Project	LOT 292 CYPRESS ROAD										
Address	COW BAY, QLD										





APPENDIX 2: Referral Agency Advice



Notice

Advice Agency Response – Wetlands

This notice is issued by the Environmental Protection Agency pursuant to sections 3.3.18 and 3.3.19 of the *Integrated Planning Act 1997*

Cairns Regional Council
PO Box 359
CAIRNS QLD 4870

cc: GMA Certification Group Pty Ltd
PO Box 831
PORT DOUGLAS QLD 4877

Your reference : 8/8/1043

Our reference : CNS8043 - 331120

Attention: Mrs Michelle Henderson

Dear Mrs Henderson

Re: Advice concerning application for development at Cypress Road, Cow Bay (Lot 292 on Plan RP739001). Please treat this response as a properly made submission.

EPA referral number: IPAR01274408

Response type: Advice Agency Response

Date application received by EPA: 19 November 2008

ADVICE AGENCY JURISDICTION:	Item 38 of Table 2 of Schedule 2 of the <i>Integrated Planning Regulation 1998</i> .
ASSESSMENT MANAGER REFERENCE NUMBER:	8/8/1043
APPLICANT:	GMA Certification Group Pty Ltd
ACTIVITY DESCRIPTION	Development application for a Material Change of Use
DESCRIPTION OF SUBJECT LAND:	Lot: 292 Plan: RP739001

Advice Agency Response

Response to Development Application

The lot is within 100m of a referrable wetland. The EPA, acting as an advice agency under the *Integrated Planning Act 1997*, provides the following advice to the application as detailed above.

EPA advice

The application is for a material change of use of Lot 292 on RP739001 (1 064ha), Cypress Road, Cow Bay, to allow the construction of a house and shed. It is noted that a previous material change of use approval from Douglas Shire Council (20/07/04) has now lapsed.

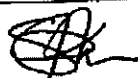
The property is entirely mapped as remnant vegetation with around 75% classified as 'of concern' vegetation and about 25% of the property in the south eastern corner being classified as 'endangered' vegetation (pursuant to the *Vegetation Management Act 1999*). It is understood that there is an existing cleared area not recognised in the Regional Ecosystem mapping available to this agency. Around 75% of the property is also identified as Essential Cassowary Habitat. It is likely that rare and threatened plant species pursuant to the *Nature Conservation Act 1992* will be present. Lot 292 also appears to be in a low area that may be subject to flooding.

The allotment clearly has high natural values; however it is acknowledged an approval has been previously granted. It would appear that by confining the building envelope, appropriately siting it and the access road and providing protection for the property's remaining vegetation, a compromise can be reached. Should Cairns Regional Council approve the application it should be conditional on the retention of the Essential Cassowary Habitat and the endangered Regional Ecosystem. By placing the house, shed and access road in cleared areas and 'of concern' vegetation that is not Essential Cassowary Habitat, ecological impacts will be minimised. The Site Plan provided shows the proposed placement may be correct or nearly so with a slight displacement (perhaps 20m) to the north possibly needed. As a condition of approval the remaining vegetation on the Lot should be protected by way of an agreement such as a covenant that is binding on title.

Additional information for applicants

It is a requirement of the *Environmental Protection Act 1994* that if the owner or occupier of this site becomes aware that a Notifiable Activity (as defined under Schedule 2 of the *Environmental Protection Act 1994*) is being carried out on this land or that the land has been affected by a hazardous contaminant, they must, within thirty (30) days after becoming aware the activity is being carried out, give notice to the Environmental Protection Agency. A list of Notifiable Activities is provided within Schedule 2 of the *Environmental Protection Act 1994*.

Yours sincerely



Signature

Gary Innis
Manager, Planning
Far Northern Region
Environmental Protection Agency

12/12/2008

Date

Enquiries:
Michael Trenerry
Environmental Protection Agency
PO Box 2066
CAIRNS QLD 4870
Telephone: (07) 4046 6694
Facsimile: (07) 4046 6606



SCANNED

Douglas Iconic Panel

Our ref: Meeting 9 1-2

Council ref: 8/8/1043

24 November 2008

GMA Certification Group P/L
PO Box 831
Port Douglas QLD 4877

Dear Sir / Madam

**Decision of the Douglas Development Assessment Panel
Lot 292 RP739001, Cypress Road, Cow Bay.**

Your application for a House in Rainforest Conservation Precinct, made to the Cairns Regional Council has been referred to the development assessment panel for the Douglas Iconic Places, as required under the *Iconic Queensland Places Act 2008*.

I am writing to advise that, as the panel considers your application may substantially affect the iconic values of the place, the panel's reference decision is that the panel will act as the assessment manager for this application in the place of the Cairns Regional Council. In carrying out the function of the assessment manager, the panel is bound by the assessment rules under the *Integrated Planning Act 1997* (IPA).

The Panel also resolved that Council and the applicant be advised that further information / clarification is required in relation to:

- Building finish
- Vegetation to be removed
- Whether the site is listed as developed or undeveloped on the Rainforest Conservation Precinct Register.

You should continue to carry out any actions required of you as the applicant under the IPA, including referral of the application to any referral agencies, responding to any information requests, and public notification. Council is required to assess and decide your application under the IPA however Council's decision will become a recommendation for the panel's consideration as the assessment manager.

Council will submit your application and its recommendation to the panel in due course. You are not required to carry out any additional actions relating to the referral of your application to the panel for a decision.

I will advise you further when the panel has made a decision on your application. In the meantime if you have any queries in relation to your application, you should contact the Cairns Regional Council.

Yours sincerely

Nikki Huddy
Project Manager
Douglas Development Assessment Panel

Douglas Iconic Panel
PO Box 5666
Townsville Qld 4810
Telephone +61 7 4760-7527
Facsimile +61 7 4760-7535
Website www.dip.qld.gov.au
Email douglas.panel@dip.qld.gov.au

NIKKI HUDDY
0447 323384

CARYN CIAPPARA

SITE CLASSIFICATION

**LOT 292 CYPRESS ROAD,
COWBAY.**

JUNE 2004

Revision No. 1

Ganza Consulting Services

Engineering Management Environmental

GANZA CONSULTING SERVICES
ENGINEERING MANAGEMENT ENVIRONMENTAL

Ganza Consulting and Construction Pty Ltd
ACN 087 293 598
PO Box 252
Bungalow QLD 4870

Telephone: 07 4031 0066
Facsimile: 07 4031 0077
Email: michaelg@ganza.com.au

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Document Status						
Revision No.	Author	Reviewer	Reason for Issue	Approved for Issue		
				Name	Signature	Date
1	A. Cullen	M. Ganza	Final			

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1.0 INTRODUCTION

Ganza Consulting Services was engaged by Caryn Ciappara to provide a site classification report for lot 292 Cypress Road, Cowboy.

The purpose of this report is to complete a Site Classification in accordance with AS2870 – 1996 “Residential Slabs and Footings – Construction.”

2.0 LOCATION

The site is located at lot 292 Cypress Road, Cowboy, on RP 39001 Parish of Alexandra in the county of Solander. The area of the allotment is approximately 976m².

3.0 SITE CHARACTERISTICS

The site inspection was conducted on the 6th May 2004 by Ganza consulting Services (GCS).

At the time of the investigation conducted on the 6th May 2004 there was no indication of any bores or wells located on the subject allotment there is a creek located at the rear of the allotment and shall be in excess of 125 metres to the selected disposal area. There was no indication of any earthworks and vegetation consisted of thick rain forest with a natural mulch ground cover.

4.0 ACTS, CODES AND STANDARDS

The Australian Standard AS2870 – 1996 sets out the requirements for the classification of a site for the design and construction of a footing system for a single dwelling house, townhouse or the like. Such houses include buildings classified as Class 1 and 10 (a) under the Building Code of Australia (BCA).

AS2870 – 1996 also applies to other forms of construction including some light industrial, commercial, and institutional buildings if they are similar to houses in size, loading and superstructure flexibility.

The Building Act specifies compliance with the BCA. Further, AS2870 –1996 is a nominated acceptable construction manual under Clause 3.2.0 (a) of the BCA Housing Provisions. This means that construction in accordance with AS2870 is deemed to satisfy the performance requirements of the BCA and the Building Act.

5.0 SITE INVESTIGATION

5.1 Dynamic Cone Penetrometer (DCP) Testing

Dynamic Cone Penetrometer tests were performed at locations P1 and P2, as shown in Appendix A, to minimum depths of 1500 mm. The results of the tests are presented in Appendix B.

5.2 Borehole Sampling

Two (2) boreholes (labeled BH1 & BH2) were excavated using a 75 mm diameter hand auger to determine the subsoil profile. The depth of excavation for the borehole was 1000 mm.

5.3 Laboratory Testing

A representative soil sample taken from (BH1 & BH2) and was determined to be a red brown clay loam.

6.0 RESULTS

6.1 Soil Profile

Laboratory identification of the various soil strata of the bore hole revealed the site to have a reasonably uniform soil profile.

Sampling was conducted and a representative soil sample taken. The sample was tested for liquid limit, plastic limit, plastic index and linear shrinkage as required by AS2870:1996 section 2.2.3A. The results of these tests are included in Appendix A of this report.

Based on the casagrande plasticity chart, the soil has been determined to have medium plasticity.

The most predominant soil encountered on the subject allotment was a Red Brown Clay Loam of medium plasticity which means the subject site will exhibit moderate ground movement due to moisture changes in the sub-soil.

The following is the borehole log for the site.

Depth (mm)	Soil Description
0 –150	<i>Brown Loam</i>
150-1000	<i>Red Brown Clay Loam.</i>

Bore Hole 1

Depth (mm)	Soil Description
0 –150	<i>Brown Loam</i>
150-1000	<i>Red Brown Clay Loam.</i>

Bore Hole 1

6.2 Estimation of Characteristic Surface Movement (y_s)

It is expected that this site will exhibit low to moderate ground movement due to moisture changes in the sub-soil.

6.3 Evaluation of Foundation Conditions

Dynamic Cone Penetrometer tests performed across the site indicated uniform foundation conditions throughout the subsoil. The material was classified as red brown clay loam with medium plasticity and expected foundation movements of between $20\text{mm} < y_s \leq 40$

6.4 Site Classification

An allowable bearing pressure of 100 kPa can be achieved at foundation levels (strip and pad footings) of 900 mm and greater, and therefore, the site is classified as a **CLASS – M** in accordance with Section 2.2.3 of AS 2870.1:1996 "Residential Slabs and Footings – Construction."

7.0 DESIGN INFORMATION

It is recommended that the footing design be carried out and certified by a Registered Professional Engineer Queensland (RPEQ) in accordance with the requirements of AS 2870.1:1996 'Residential Slabs and Footings – Construction.'

In lieu of constructing the footing system, it is recommended that the footings be inspected by the competent person following excavation of the footings to determine competent foundation material.

8.0 CONCLUSIONS AND RECOMMENDATIONS

A site investigation was conducted which included excavation of two (2) boreholes 1000 mm deep and two (2) Dynamic Cone Penetrometer tests to depths of 1500 mm.

The site was found to comprise of red brown clay loam which are considered to be slightly to moderately reactive.

An allowable bearing capacity of 100 kPa can be achieved at conventional footing depths (pad and strip footings). The site is classified **CLASS-M** in accordance with AS 2870.1:1996 "Residential Slabs and Footings – Construction".

The footing and slab design will be carried out by a Registered Professional Engineer Queensland (RPEQ) in accordance with the requirements of AS2870.1:1996 'Residential Slabs and Footings – Construction.'

Because this investigation was limited in scope and extent, it is possible that areas may exist which differ from those shown on the test hole records and used to determine the site classification. Should any variation from the reported conditions be encountered during excavation, it is strongly recommended that a reappraisal of the site classification be sought.

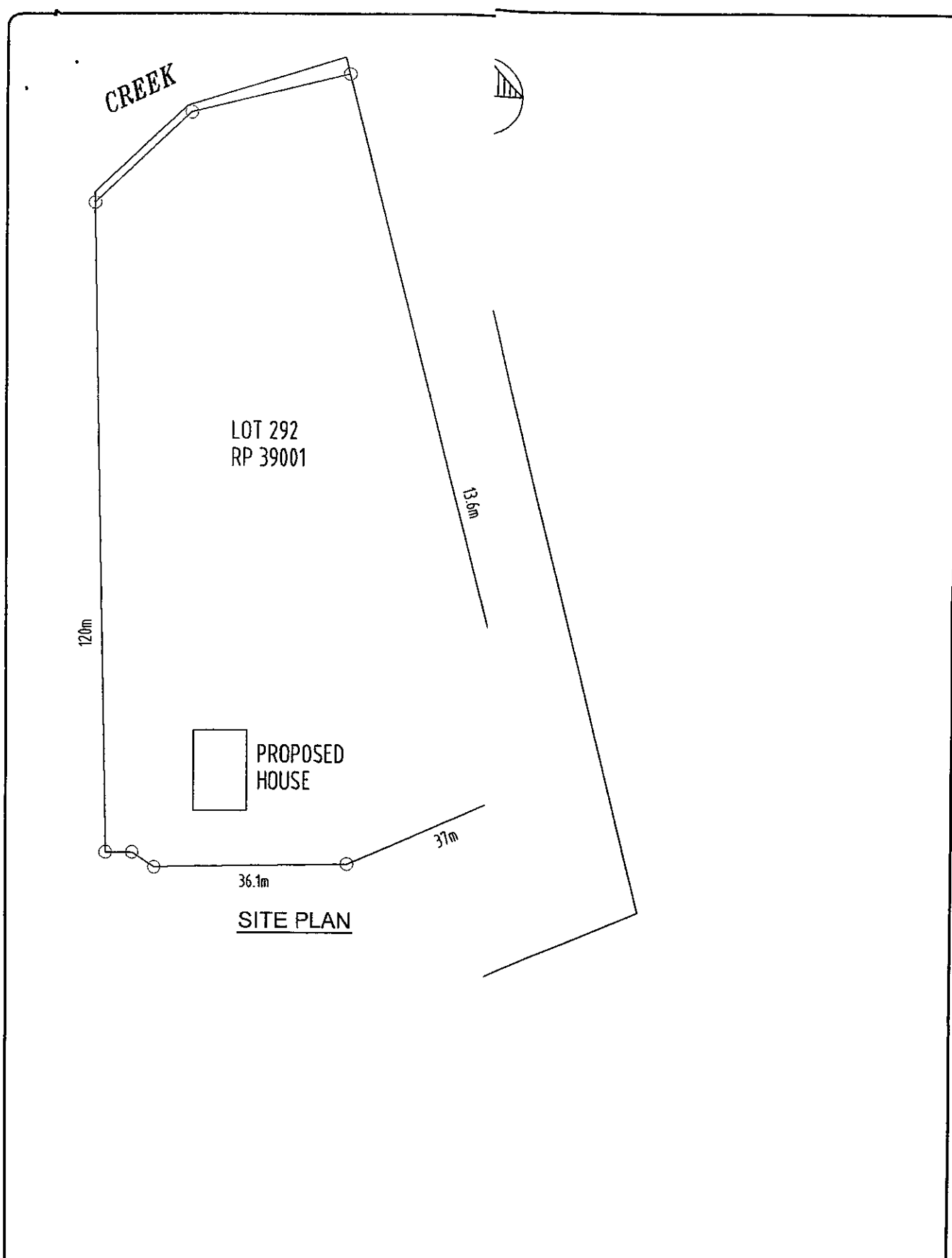
This report is based on the information provided by the Client. If any aspect of the site preparation or proposed construction changes from that originally advised, the Engineer shall be notified so that any amendments can be made. Should soil or environmental conditions encountered on the site differ significantly from those indicated, the Engineer shall be notified before proceeding, as modifications to the design may be required.

Attention is drawn to the present or any future owners of their responsibilities with respect to foundation maintenance as detailed in AS 2870.1:1996 (Appendix A). For the information of owners, a CSIRO brochure "Guide for Home Owners on Foundation Maintenance and Footing Performance" is included in Appendix C of this report.

Earthworks undertaken on the allotment prior to construction shall be completed as per the Australian Standard AS3798:1990 'Guidelines on Earthworks for Commercial and Residential Developments'.

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APPENDIX A – SITE LOCATION AND TEST RESULTS



REVISIONS				
	A	10/07/04	PRELIMINARY ISSUE	
	NO	DATE	DESCRIPTION	APPROV

SITE CLASSIFICATION			
FIGURE 1 - TEST PIT LOCATIONS			
LOT 292 RP 39001			
CYPRESS RD, COW BAY			
0 (DO NOT SCALE)		DRAWING NO	REVISION
		GCS04-109-FIG1	A



**CAIRNS ENGINEERING
TESTING SERVICES PTY LTD.**
171 Lyons St Cairns Qld 4870

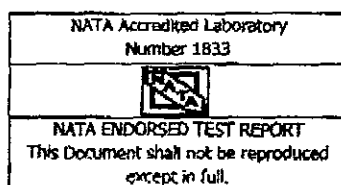
A.B.N 34 010 463 028
Telephone (07) 40 311122
Mobile 0407 181 622
Facsimile (07) 4061 9480
EMAIL: cets@ Cairns.net.au
WEBSITE: www.cets.com.au

ATTERBERG LIMITS TEST REPORT

Client Ganza Consulting Engineers PO Box 252 BUNGALOW QLD 4870	Report No. 6319
	Report Date 1-Jun-04
Project Caryn Cow Bay Qld 4873	Client Order No. *
	Client Job No *
Sample Location *	Sampled by CLIENT Date 20-May-04
Sample Description Yellow Brown Silty Clay	Tested by T.B. Date 1-Jun-04

ATTERBERG LIMITS

TEST METHOD		Sample 1 Result	Sample 2 Result	Sample 3 Result	Sample 4 Result
Liquid Limit	A.S.1289 3.1.2 - 1995	35%	*	*	*
Plastic Limit	A.S.1289 3.2.1 - 1995	22%	*	*	*
Plasticity Index	A.S.1289 3.3.1 - 1995	13%	*	*	*
Linear Shrinkage	A.S.1289 3.4.1 - 1995	7.0%	*	*	*
Length Of Shrinkage Mould (mm)		250mm	*	*	*
Insitu Moisture Content	A.S. 1289 2.1.1 - 1992	*	*	*	*
Sample History AIR DRIED Sample Preparation DRY SIEVED Moisture content To :AS1289 2.1.1					

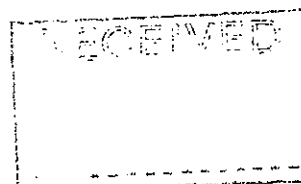


SIGNED

Leigh Jones
Leigh Jones
Manager

PAGE 1/1

R 1289 3.1.2 REV (1) / LTB 9/3/95
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APPENDIX B – ENGINEERING LOG

Engineering Log – DCP Tests

Depth (m)	Dynamic Cone Penetrometer Test Results							
	Test commenced at 0.0 metres below surface level							
	Site: P1		Site: P2		Site: P3		Site: P4	
	No. Blows	Np	No. Blows	Np	No. Blows	Np	No. Blows	Np
0.0 – 0.1	1		1					
0.1 – 0.2	2		1					
0.2 – 0.3	3	6	1	3				
0.3 – 0.4	3		2					
0.4 – 0.5	5		2					
0.5 – 0.6	7	15	3	7				
0.6 – 0.7	6		2					
0.7 – 0.8	4		2					
0.8 – 0.9	5	15	2	6				
0.9 – 1.0	4		6					
1.0 – 1.1	3		2					
1.1 – 1.2	5	12	4	12				
1.2 – 1.3	4		3					
1.3 – 1.4	3		4					
1.4 – 1.5	4	11	5	12				

(Np): Penetration Resistance = Blows per 300 mm

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APPENDIX C – SUPPLEMENTARY INFORMATION



Improving the Built Environment **information sheet**

Sheet No. 10-91

Revised August 1996

GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE (updated for AS 2870—1996)

Introduction

This guide was prepared by Dr P.E. Walsh, formerly of CSIRO and now with the University of Newcastle, with advice from the Standards Australia Committee on Residential Slabs and Footings, to provide guidance to home owners on their responsibilities for the care of clay foundations, and to discuss the performance that can be expected from a footing system. (The ground that supports a house is called a foundation, and the concrete structure that transfers the load to this foundation is the footing system.)

The best information about the design and construction of footing systems is contained in the Australian Standard AS 2870 'Residential Slabs and Footings'. The Standard gives a system of site classification, prescribed footing and slab designs, and construction methods that provide an excellent footing system for Australian houses. However, a warning is given that the chance of a footing failure is higher if extreme site conditions are permitted to occur, viz.:

- growth of trees too close to a footing;
- excessive or irregular watering of gardens adjacent to the house;
- lack of maintenance of site drainage; and
- failure to repair plumbing leaks.

The Standard further states that compliance with this guide is a way to avoid extreme site conditions.

Clay foundations are the cause of major problems for houses. Clays are very fine-grained soils that are plastic and sticky when wet, and hard and strong when dry. All clays swell or shrink to some degree as they become wet or dry out. 'Reactive' clays swell or shrink to such an extent that foundation movements can damage houses.

All house sites are classified. Reactive-clay sites are classified as S, M, H or E, in order of increasing reactivity. Proper maintenance of such clay sites requires that the moisture content of the clay should be kept reasonably constant.

Some minor cracking of masonry walls on reactive clay sites is almost inevitable despite proper design, construction and maintenance. Very slight cracks (up to 1 mm wide) could be expected in most houses. Larger cracks (up to 5 mm) may occur in some houses with properly designed and constructed footings, if reactive clay sites have been subject to large changes of moisture. Cracks larger than 5 mm are regarded as significant damage.

Non-reactive sites – sands, silts and certain clays of class A or S – need only be protected from becoming extremely wet. This requires adequate attention to site drainage and prompt repair of plumbing leaks.

Further information on these topics is given in the following sections. The guide has been updated to be consistent with the revised edition of AS 2870 (1996).

Site classification

AS 2870 requires all sites to be classified. The emphasis has been placed on reactive clays that swell and shrink with changes of moisture content, because these are the most common cause of problems. The classification system is fairly complicated but, as a general guide, the following may be helpful in understanding the system for clay sites.

- S Clays that have not given trouble in the past.
- M Moderately reactive clays that may cause minor damage to brick houses on old-style light strip footings. Moderately reactive clays are common.
- H Highly reactive clays that often damage houses, paths and fences.
- E Extremely reactive clays that frequently damage houses even with strong footings. Generally rare in major cities except Adelaide. Other occurrences include outback NSW, Darling Downs, Geelong and Horsham.

Since the precautions necessary depend on the reactivity of the site, the owner should check the classification that is shown on the house plans.

The maintenance of the building and the site is the responsibility of the owner, and so the owner should be familiar with the requirements of this guide.

Care of clay foundations

All clays move with changes of moisture content, so the aim is to minimise such changes in the clay by:

- draining the site;
- keeping gardens and trees away from the house;
- adequate but moderate garden watering; and
- repairing plumbing leaks.

On a reactive-clay site there are some restrictions on the way the owner can safely develop the garden around the house. These restrictions apply mainly to brick houses. In most cases, only minimal precautions are justified for framed houses clad with timber or sheeting.

a site must be well drained. Under no circumstances should water be allowed to lie against the house or even on the house. The ground immediately next to the house should be graded away with a slope of about 10 mm over the first metre. Suitable surface drains should be avoided to take the surface water away from the house, where topsoil is brought in, it should not interfere with site drainage, nor should it raise the ground level enough to block the weepholes in the brick walls or any subfloor vents. Even the subfloor of houses with timber floors should be drained so that water does not collect under the house.

Large garden beds are best not located near the house. This will avoid the possibility of introducing too much moisture to the foundation clay by overwatering. The one near the house should be planned for paths or covered with gravel and plastic sheeting. Small shrubs may be planted at reasonable spacings.

Gardens and lawns should be watered adequately but not excessively. Uniform, consistent watering can be important to prevent damage to the foundation during spells such as droughts or dry summers.

Trees and large shrubs require substantial amounts of water, and if the soil near the tree dries out, the roots will extend in search of soil moisture. Tree watering is important in late summer and in drought. The use of slow-drip watering systems may be appropriate. It has also been found useful to drill holes near trees and fill them with gravel to allow water better access to the tree roots. Otherwise, clays will shrink as they dry, and a house may settle as shown below.

Removal of large trees creates the opposite problem. As soil moisture is gradually restored, clays swell and may lift shallow footings.

Many factors determine the extent of clay drying by trees. The more important include soil type, and the size, number and species of trees. Trees obtain moisture from roots that spread sideways, and the drying zone is influenced by the extent of these roots. For single trees, the drying zone is usually half to twice the tree height, but it may be larger for groups or rows of trees. Although it is known that the species can influence the extent and severity of the drying zone, little definite information is available. Some Australian trees are particularly efficient in extracting water from very dry soils and can be more dangerous than non-Australian species that use large amounts of water in normal conditions. The effect of tree drying on the amount of movement is also related to the reactivity of the clay. To

minimise the risk of damage, trees (especially groups of trees) should not be planted near the house on a reactive clay site, and the following limits are recommended

$d = 1.5 h$ for Class E sites

$d = 1 h$ for Class H sites

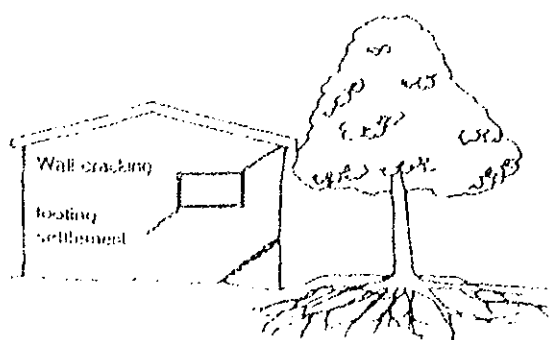
$d = 0.75 h$ for Class M sites

where d is the distance of the tree from the house, and h is the eventual mature height of the tree. These values should be increased by 50% if the trees are in a dense group. These rules mean that on the average suburban block, trees that grow higher than 8-9 m are often impractical unless the owner accepts the risk of some damage to the house. If large trees are desired, it may be practical to adopt a specially designed footing system, e.g. a piled footing system.

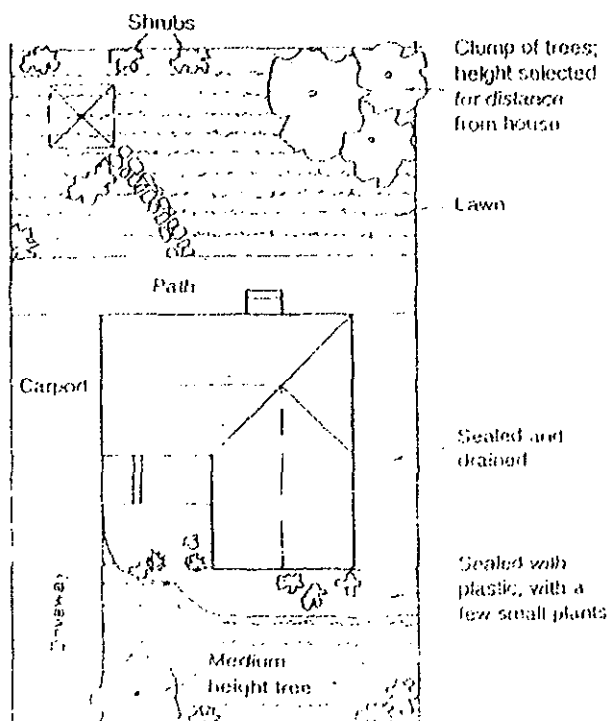
A leak in the plumbing can cause the footings of a house on a reactive clay to move. The water seeps into the clay causing it to swell and push the footing system upwards. Any obvious leaks in stormwater, drainage or sewerage pipes should be investigated. Leaking water pipes can be detected by turning off all the taps and checking if the water meter records any flow.

The above restrictions may seem onerous for new home owners, but lack of site maintenance on a reactive clay can cause damage to the house. The whole issue should be kept in some perspective. The damage to houses caused by reactive clays is mostly unsightly cracks in the brickwork. In the typical Australian brick-veneer house, the brickwork does not support the structure. It is the timber frame that carries the walls and roof loads, so brick cracks do not affect the structural safety of the house.

If owners choose to disregard some of the above restrictions and, say, plant large trees all around the house, they should not blame the builder, the engineer or the Council if the house suffers some cracking.



Trees cause clay shrinkage and house damage



Gardens for reactive sites

Performance of footing systems

All building materials move. Concrete and timber shrink, brick grows, and so on. Many building practices have been evolved to reduce the damage that such movements cause, and the minor difficulties that arise are usually repaired without significant problems.

Where footings are designed by an engineer, the basis of the design is the limitation of any vertical movement that might occur between the centre of the wall and a line joining the ends of the wall. This is termed the differential movement and limits are given in AS 2870 for various forms of house construction. For example, a masonry veneer house with articulation joints is designed for a movement limit of 30 mm. The amount of this movement at a house can be checked using a level or even a string line along a brick course in the wall. If the vertical differential movement is less than the prescribed limit then the footing system has performed up to standard.

Masonry wall cracking can have many causes other than footing movement, including bricks growing as they absorb moisture, the structural or shrinkage movements of the frame within the veneer skin or even accidental damage during construction. If the cracking is less than a few millimetres it is virtually impossible to determine the cause. Certainly if there is no evidence of excessive differential movement then footings should not be regarded as the cause of the cracking.

However, it must be accepted that on reactive clay sites, particularly Class H and E, some movement is likely and for some sensitive houses cracking may occur even for footings performing within expectations. In order to set realistic expectations, AS 2870 contains Appendix C which is included in this report.

The performance requirement of AS 2870 suggests that Category 0 to 1 damage may be expected for houses on a reactive-clay site, but that the damage is of little consequence. Category 2 damage (isolated cracks up to 5 mm wide) is clearly not satisfactory, but it still does not constitute significant failure and could be expected to occur under adverse environmental conditions.

For these categories of damage, it is the intention of AS 2870 that consequent repairs are part of the normal house maintenance, although during the warranty period this may be the responsibility of the builder.

Nonetheless, to ensure that the damage does not proceed to a more serious state, the owner should take some action.

- Check that the recommendations on site treatment, drainage, garden arrangement, trees etc., have been observed.
- Keep a record of the crack width against the time of the year. If the damage is as high as Category 2 and seems to be increasing, the owner should consult the builder who may be able to offer more specific advice. If this does not prove satisfactory, the owner should engage a consulting engineer who specialises in house footing.
- Engage a plumber to check for leaks if that is suspected to be the cause.

- Replace soil moisture in dry spells by watering. Such watering can be more effective if holes or trenches are dug into the clay. The holes or trenches should be filled with compacted crushed rock or gravel and moderately watered. Some trees may need to be removed or kept pruned.

Complete stability is difficult to achieve, so repairs to damaged walls should include methods that will disguise further movements. Extra joints should be included in external masonry walls and further cracking in internal walls can be concealed by flexible paints, wall paper or panelling. Repairing of cracks with brittle fillers should be avoided unless the cracks have stabilised.

For the more serious categories of damage, the steps to be taken are similar, but there should be little delay in seeking advice. Remedial action for significant failure may still only include attention to stabilising moisture conditions as described above, but could also involve constructing a concrete path or a wall in the ground to stop drying of the foundation clay. Walls may even be designed to span over sagging footings or to cantilever beyond sagging footings. Underpinning is usually not satisfactory in reactive clays.

Experience indicates that lack of maintenance is responsible for many failures. Even with proper design and site maintenance the occasional failure may still occur because footing behaviour is so complex.

Shrinkage of concrete floors

Concrete needs water. Firstly to allow the fresh concrete to flow, and secondly to develop strength during its first few weeks. As a slab starts to dry, it shrinks and tries to contract. Some of this movement is restrained or resisted by friction on the bottom of the slab and by the beams in the ground. This restraint causes tension or stretching forces in the slab and these forces are often large enough to crack the slab.

Shrinkage cracking is almost inevitable and does not represent failure. Most owners never notice the cracks because they often do not occur until after the carpets are laid. Cracks under brittle or sensitive floor coverings are of concern, but the risk of damage can be reduced by using flexible mortars and glues for fixing slate and tiles etc. Also it helps to delay installing the floor covering until after the shrinkage has occurred. The length of delay should be at least three months after the slab has started to dry (i.e. from the time the slab is last wet from rain or during construction).

Adhesive-fixed floor coverings

A concrete slab takes a long time to dry. For example, under temperate conditions a slab will take about three months to dry. Moisture in the concrete can interfere with the bond or break down the adhesive used to attach floor coverings. However, a range of adhesives is available for various floor coverings and these should perform quite well on slabs that have been allowed to dry sufficiently. If there is any doubt, the moisture condition of the slab should be assessed before coverings are placed.

Conclusion

This guide has been prepared to advise owners on how to care for the foundation of their houses and what to expect from a well-designed footing system. The main concern with foundation maintenance is to prevent the foundation soil becoming too wet or too dry, and a variety of recommendations are given to achieve this.

Further information

- Cameron, D. A. & Earl, I. 1982, *Frees and Houses. A Question of Function*, Cement & Concrete Association, Melbourne.
Cameron D. A. & Walsh, P. F. 1984, *Damage to Buildings on Clay Soils*, Technical Bulletin 5.1, Australian Council of National Trusts.

CSIRO 1995, *House Cracking in Drought Periods*, Information Sheet No. 10-88, CSIRO Australia, Division of Building, Construction and Engineering, Melbourne.

Martin, K. G., Lewis, P. K., Palmer, R. F. & Walsh, P. F. 1983, *Floor Coverings on Concrete Slab on ground*, CSIRO Australia, Division of Building Research Report, Melbourne.

Disclaimer

The information in this and other Information Sheets is advisory. It is provided in good faith and not claimed to be an exhaustive treatment of the relevant subject. Further professional advice needs to be obtained before taking any action based on the information provided.

APPENDIX C OF AS 2870

TABLE C1
CLASSIFICATION OF DAMAGE WITH REFERENCE TO WALLS

Description of typical damage and required repair	Approximate crack width limit (see Note 3)	Damage category
Hairline cracks	< 0.1 mm	0
Fine cracks which do not need repair	< 1 mm	1
Cracks noticeable but easily filled. Doors and windows stick slightly	< 5 mm	2
Cracks can be repaired and possibly a small amount of wall will need to be replaced. Doors and windows stick. Service pipes can fracture. Weathertightness often impaired	5 mm to 15 mm (or a number of cracks 3 mm or more in one group)	3
Extensive repair work involving breaking-out and replacing sections of walls, especially over doors and windows. Window and door-frames distort. Walls lean or bulge noticeably, some loss of bearing in beams. Service pipes disrupted	15 mm to 25 mm but also depends on number of cracks	4

TABLE C2
CLASSIFICATION OF DAMAGE WITH REFERENCE TO CONCRETE FLOORS

Description of typical damage	Approximate crack width limit in floor	Change in offset from a 3 m straight edge centred over defect (see Note 6)	Damage category
Hairline cracks, insignificant movement of slab from level	< 0.3 mm	< 8 mm	0
Fine but noticeable cracks. Slab reasonably level	< 1.0 mm	< 10 mm	1
Distinct cracks. Slab noticeably curved or changed in level	< 2.0 mm	< 15 mm	2
Wide cracks. Obvious curvature or change in level	2 mm to 4 mm	15 mm to 25 mm	3
Gaps in slab. Disturbing curvature or change in level	4 mm to 10 mm	> 25 mm	4

NOTES:

- Crack width is the main factor by which damage to walls is categorised. The width may be supplemented by other factors, including serviceability, in assessing category of damage.
- In assessing the degree of damage, account shall be taken of the location in the building or structure where it occurs, and also of the function of the building or structure.
- Where the cracking occurs in easily repaired plasterboard or similar clad framed partitions, the crack width limits may be increased by 50% for each damage category.
- Local deviations of slope from the horizontal or vertical of more than 1/100 will normally be clearly visible. Overall deviations in excess of 1/150 are undesirable.
- Account should be taken of the past history of damage in order to assess whether it is stable or likely to increase.
- The straight edge is centred over the defect, usually and supported at its ends by equal height spacers. The change in offset is then measured relative to this straight edge.



2009/1354
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BUILDING SURVEYORS
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www.gmacert.com.au

A.B.N. 53 150 435 617

15 Oct 2013

Cairns Regional Council
P.O.Box 359
Cairns QLD 4870

Dear Sir / Madam,

Re: GMA Certification Group Ref. No. 20080281
Lot 292 on RP 39001
Cypress Rd
Cow Bay QLD 4873



Please find attached copies of the necessary documents required to finalise the above building application.

If you have any queries in regard to the above, please do not hesitate to contact our office on 07 4098 5150.

Document
1 - Final and Supporting Certificates
2 - Form 16 - Inspection Certificate
3 - Form 21

Kind Regards

Raechel Oleszek

Raechel Oleszek
GMA Certification Group

Attach.



Form 21—Final inspection certificate

Single detached class 1a buildings; and class 10 buildings or structures.

NOTE	Please use form 17 for final certification of swimming pools and swimming pool fences.		
1. Owner details If the owner is a company, a contact person must be shown. All correspondence will be mailed to this address.	Name Lyndal Carter Company name if applicable Contact person Phone no. business hours 40568248 Mobile no. 0416011297 Fax no. Email address lyndal.carter@gmail.com Postal address PO BOX 6737 Cairns QLD Postcode 4870		
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (Include no., street, suburb/locality & postcode) Cypress Rd Cow Bay QLD Postcode 4873 Lot & plan details (Attach list if necessary) 292 on RP 39001 In which local government area is the land situated? Cairns Regional Council		
3. Building description	Work Type	Work Description	Building Class
	New Construction	for Shed	10a
		for Dwelling - 1 Storey	1a
4. Building certifier reference number / approval number	Building certifier reference number 20080281	Development approval number	
5. Performance Standards If the building work uses a performance based solution, list the performance requirements used.	Performance requirements N/A		

Date received	Reference Number/s
---------------	--------------------

6. Certification

This form must be used by building certifiers to certify compliance of single detached class 1a buildings and class 10 buildings or structures (excluding swimming pools and swimming pool fences) in accordance with section 32(3) of the *Building Regulation 2006*.

The building certifier must give both to the owner and assessment manager a copy of the final inspection certificate.

Under section 21 of the *Building Regulation 2006* only a building certifier must sign a certificate of inspection for the Foundation and Excavation stage and the Final Inspection certificate.

I certify that on an inspection carried out in accordance with best industry practice, the building work for the above building or structure was inspected and complies with the building approval or certificates of inspection were accepted from competent persons at the following stages of the construction.

Building Stage	Date of Inspection	Date of Certificate
Footings/Foundation Stage	07-Oct-09	12-Oct-09
Frame Stage	06-Nov-09	10-Nov-09
Final Stage	29-Aug-13	15-Oct-13

7. Building Certifier

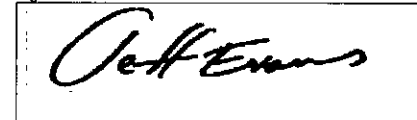
Name of building certifier (In full)

Jeff Evans

Licence no.

A706169

Signature



Date

15/10/13

Postal address

PO Box 831

Port Douglas QLD Postcode 4877

Phone no.

07 4098 5150

Mobile no.

Fax no.

07 4098 5180

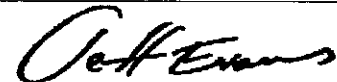
Date received	Reference Number/s
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Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .							
1. Indicate the type of certificate	<p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>							
	<p>Inspection Certificate for</p> <p><input checked="" type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) Final Stage</p> <p><input type="checkbox"/> Aspect of building work (indicate the aspect) _____</p> <hr/> <p>QBSA Licensee Aspect Certificate</p> <p>Scope of the work</p> <p>Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <table border="1"> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>							
2. Property description	<p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>							
	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Cypress Rd</p> <p>Cow Bay Postcode 4873</p> <p>Lot & plan details (Attach list if necessary)</p> <p>292 on RP 39001</p> <p>In which local government area is the land situated?</p> <p>Cairns Regional Council</p>							
3. Building/structure description	<table border="1"> <thead> <tr> <th>Building/structure description</th> <th>Class of building / structure</th> </tr> </thead> <tbody> <tr> <td>Dwelling - 1 Storey</td> <td>1a</td> </tr> <tr> <td>Shed</td> <td>10a</td> </tr> </tbody> </table>		Building/structure description	Class of building / structure	Dwelling - 1 Storey	1a	Shed	10a
Building/structure description	Class of building / structure							
Dwelling - 1 Storey	1a							
Shed	10a							

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED	REFERENCE NUMBER/S
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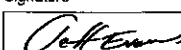
4. Description of component/s certified	Final Stage - Site Advice 8271 F1	
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.		
5. Basis of certification	Visual Inspection	
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.		
6. Reference documentation	Approved Plans Endorsed with BA 20080281	
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.		
7. Building certifier reference number and development approval number	Building certifier reference number 20080281	Development approval number
8. Building Certifier, competent person or QBSA licensee details	<p>Name (in full) Jeff Evans</p> <p>Company name if applicable GMA Certification Pty Ltd</p> <p>Contact person </p> <p>Phone no. business hours 07 4098 5150</p> <p>Mobile no. </p> <p>Fax no. 07 4098 5180</p> <p>Email address jevans@gmacert.com.au</p> <p>Postal address PO Box 831</p> <p>Port Douglas Postcode 4877</p> <p>Licence class Class A</p> <p>Licence number A706169</p> <p>Date approval to inspect received from building certifier </p>	
<p>A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.</p> <p>A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications.</p> <p>The competent person must be registered or licensed under a law applying in the State to practice the aspect.</p> <p>If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.</p> <p>If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</p>		
9. Signature of building certifier, competent person or QBSA licensee	<p>Signature </p> <p>Date 15 Oct 2013</p>	
<p>Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.</p>		

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE		This is to be used for the purposes of section 10(c) of the <i>Building Act 1975</i> and/or section 47 of the <i>Building Regulation 2006</i> .	
1. Indicate the type of certificate		<input checked="" type="checkbox"/> Inspection Certificate for <input checked="" type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) Frame Stage <input type="checkbox"/> Aspect of building work (indicate the aspect)	
		<input type="checkbox"/> QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".	
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.		Street address (include no., street, suburb / locality & postcode) Cypress Road Cow Bay QLD 4873 Lot & plan details (Attach list if necessary) Lot 292 RP39001 In which local government area is the land situated? Calms Regional Council	
3. Building description		Building description Dwelling and Shed Class of building / structure 1a & 10a	
4. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.		Frame Stage 	

Form 16 continued

5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Visual Inspection 	
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Approved Plans 	
7. Building certifier reference number and development approval number	Building certifier reference number 20080281	Development approval number
8. Building Certifier or competent person details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) Jeff Evans Company name if applicable GMA Certification Group Contact person Jeff Evans Phone no. business hours 07 4098 5150 Mobile no. Fax no. 07 4098 5180 Email address jevans@gmaocert.com.au Postal address PO Box 831 PORT DOUGLAS QLD Postcode 4877 Licence class Class A Licence number A706169 Date approval to inspect received from building certifier 	
9. Signature of building certifier, competent person or QBSA licensee	<input checked="" type="checkbox"/> Inspection Certificate for stage or aspect <input type="checkbox"/> QBSA Licensee Aspect Certificate <input type="checkbox"/> A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the <i>Building Regulation 2006</i> s44. Signature  Date 10 November 2009	

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DATE RECEIVED

REFERENCE NUMBERS

Approved form 16
Version 2 02/09

The Building Act 1975 is administered by the
Department of Infrastructure and Planning



Queensland Government
Department of Infrastructure and Planning

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE		This is to be used for the purposes of section 10(c) of the <i>Building Act 1975</i> and/or section 47 of the <i>Building Regulation 2006</i> .	
1. Indicate the type of certificate		<input checked="" type="checkbox"/> Inspection Certificate for <input checked="" type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) Footing Stage <input type="checkbox"/> Aspect of building work (indicate the aspect)	
		<input type="checkbox"/> QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".	
2. Property description		Street address (include no., street, suburb / locality & postcode) Cypress Road Cow Bay QLD 4873 Lot & plan details (Attach list if necessary) Lot 292 RP39001 In which local government area is the land situated? Cairns Regional Council	
3. Building description		Building description Dwelling & Shed Class of building / structure 1a & 10a	
4. Description of component/s certified		Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams. Footing Stage	

Form 16 continued

5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Visual Inspection	
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Approved Plans	
7. Building certifier reference number and development approval number	Building certifier reference number 20090281	Development approval number
8. Building Certifier or competent person details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) Jeff Evans Company name if applicable GMA Certification Group Contact person Jeff Evans Phone no. business hours 07 4098 5150 Mobile no. Fax no. 07 4098 5180 Email address jevans@gmcert.com.au Postal address PO Box 831 PORT DOUGLAS QLD Postcode 4877 Licence class Class A Licence number A706169 Date approval to inspect received from building certifier	
9. Signature of building certifier, competent person or QBSA licensee	<input checked="" type="checkbox"/> Inspection Certificate for stage or aspect <input type="checkbox"/> QBSA Licensee Aspect Certificate <input type="checkbox"/> A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the <i>Building Regulation 2006</i> s44. Signature Jeff Evans Date 12 October 2009	

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED	REFERENCE NUMBER/S	Approved form 16 Version 2, 01/08
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The Building Act 1975 is administered by the
Department of Infrastructure and Planning



Queensland Government
Department of Infrastructure and Planning

27 September 2013

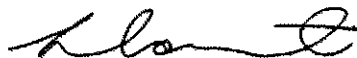
Ms Raechel Oleszek
GMA Certification Pty Ltd
Via email: Raechel.O@gmacert.com.au

Dear Raechel,

INSULATION USED AT 292 CYPRESS ROAD, COW BAY

I advise that the building at 292 Cypress Road, Cow Bay has been insulated in both the walls and ceiling using Aircell foil with a material R-Value rating of R0.14 which has been installed as per manufacturer's instructions and energy report.

Kind regards,

A handwritten signature in black ink, appearing to read 'Lyndal Carter', with a stylized flourish at the end.

LYNDAL CARTER



HOME-FAB STEEL TRUSS AND FRAME

PO Box 342 - 6 Slade Street Mareeba QLD 4880 ABN 42 067 844 393 ACN 067 844 393

MANUFACTURER'S DETAILS OF INSULATION SUPPLIED

Homefab Steel Truss and Frame of 6 Slade Street in Mareeba hereby certifies that the Insulation supplied below by this company meets the requirements of the Energy Efficiency Certificate.

MICHAEL BROWN &

Owner's Name/s: LYNDALL CARTER Job Code: CARBRO

Job Address Lot: 292 RP: Street: CYPRESS ROAD

City: LOW BAY Postcode: 4871

Plan Number:

Dated:

Insulation Type	Walls	Roof	Other
Insulbreak @ 65	✓ 1.8	✓ 2.7	
Insulbreak @ 85			
Permishield @ 65			
Permishield @ 85			
75mm Vapacheck			
Sisilation 439			
Wall Batts R 2.5			

Signed: SSJ
Silvano Scippa
General Manager
Homefab Steel Truss and Frame

Date: 10/09/2013



E: sales@homefab.com.au T: 07 4092 2369 F: 07 4092 2355 W: www.homefab.com.au



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NO.11	This form is to be used for the purposes of section 10(1) and 239 of the Building Act 1975 and/or sections 37, 44, 48, 74 and 74A of the Building Regulation 2006.	
1. Indicate the type of certificate	<input checked="" type="checkbox"/> Inspection Certificate for <input checked="" type="checkbox"/> Stage of building work (to include detached class 1 or class 10 building structure) (Indicate the stage) <u>Final</u> <input type="checkbox"/> Aspect of building work (Indicate the aspect) <input type="checkbox"/> QBSA requirement (under certificate)	
2. The stages of assessable building work are listed in section 24 of the Building Regulation 2006, as conditioned by the Building Act 1975.		
3. An aspect of building work is particular class (e.g. waterproofing)	(If QBSA requirement, indicate the scope of the work) The purpose of the work is to provide the building with the Queensland Building Services Authority (QBSA) for the purpose of building work to be completed within the scope of the work to be completed. The building work is to be completed by the contractor to prevent moisture penetration. An aspect of building work may include the following: (e.g. waterproofing)	
<p>Apply and install waterproofing including surface preparation and installing materials for preventing moisture penetration.</p>		
4. Property description The description must identify all land the subject of the application. The lot plan details (C/L or R/L) are shown on the documents or plans notes. If the plan is more detailed, the provide previous and plan details.	Street address (including street, suburb/locality & postcode) <u>292 CYPRESS ROAD</u> <u>COW BAY</u> Postcode Lot & plan details (Attach and necessary)	
In which local government area is the land situated? <u>Caloundra Regional Council</u>		
5. Building/structure description	Building/structure description	Class of building/structure
	<u>1 bed single storey</u>	<u>1</u>
6. The description of components is detailed in the description of building work. It is to be completed by the contractor to prevent moisture penetration.	<p>Waterproofing to floor and walls (to 1800mm high) to bathroom and floor to toilet</p>	

LOCAL GOVERNMENT USE ONLY

Statutory Declaration

QUEENSLAND
TO WIT

I, Michael Brown

of 12 Giangurra Esplanade EAST TRINITY

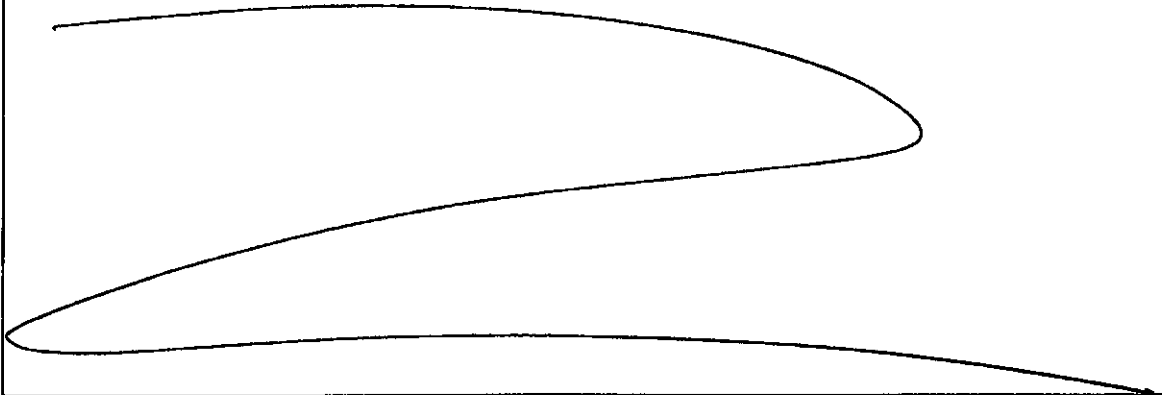
in the State of Queensland

do solemnly and sincerely declare that

At Lot 292 Cypress Road Cow Bay Queensland waterproofing to bathroom floor and walls and toilet floor was installed by a licensed waterproofer Lenny Darcy with my assistance.

Lenny Darcy passed away a few weeks after installing the waterproofing and tiling these areas so I am unable to obtain certification from him.

Floors were 19mm Sycon and were cleaned with Grace Aquaguard M Primer and sealed with Grace Chemflex LM PU Sealant. two coats of Grace Aquaguard M 40 R were applied with all joints and corners reinforced with Reinforcing Fabric. Walls were sealed to 1800mm with one coat of Grace Aquaguard M 40 R with all joints and corners reinforced with Reinforcing Fabric.



And I make this solemn declaration conscientiously believing the same to be true, and by virtue of the provisions of the Oaths Act 1867.



Signature of declarant/deponent

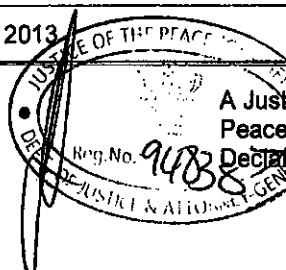
Taken and declared before me at

Cairns

this 17th

day of

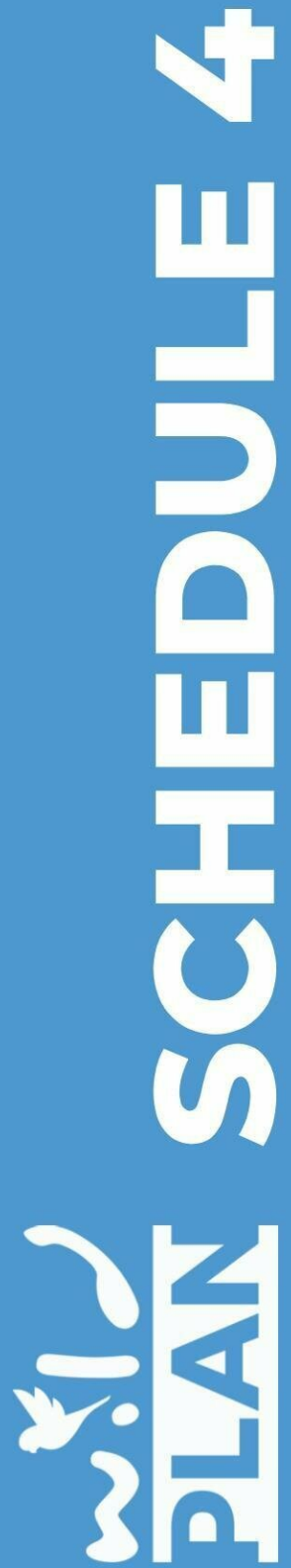
September 2013

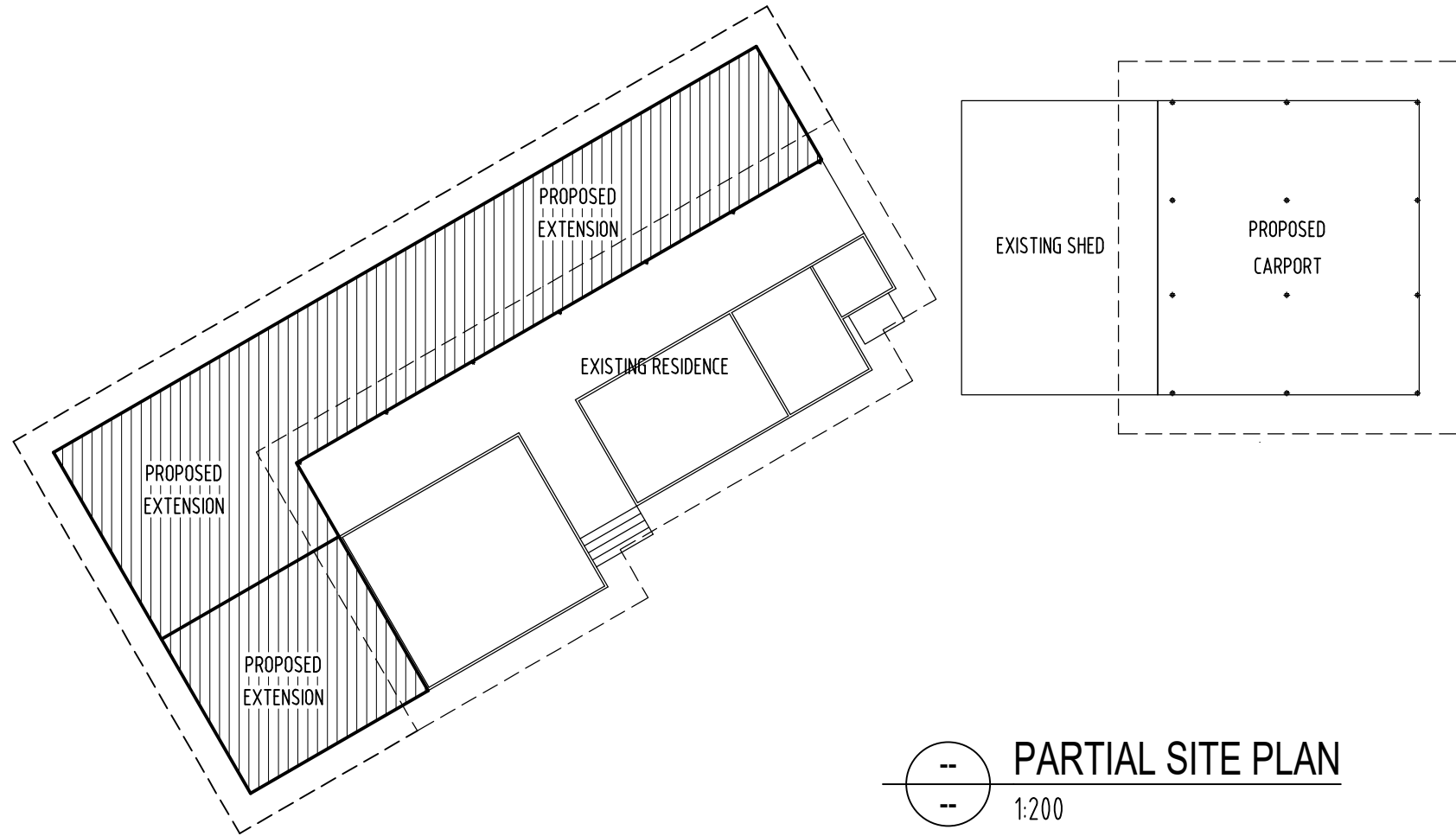


A Justice of the
Peace/Commissioner for
Declarations.

SCHEDULE 4

PROPOSAL PLANS





PARTIAL SITE PLAN
1:200

TERMITE CONTROL
ALL PRIMARY BUILDING ELEMENTS - TERMITE RESISTANT

GENERAL NOTES

- TIMBER MEMBER SIZES AND CONNECTIONS NOT SHOWN ON PLANS SHALL COMPLY WITH AS 1684.3
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT S.A.A. CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- EXECUTION AND CONTROL TESTING OF EARTHWORKS AND ASSOCIATED SITE PREPARATION WORKS SHALL COMPLY WITH A.S. 3798.
- ALL DIMENSIONS SHOWN SHALL BE VERIFIED ON SITE
- IF ANY DISCREPANCY OCCURS ON THE ENGINEERS DRAWINGS THE CONTRACTOR SHALL ASSUME THE LARGER/GREATER. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK. SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION AS CERTIFIED

T. W. KOLBER
Consulting Engineer

3 CORNISH CLOSE
ATHERTON - QLD 4883
PH: 07 48 915 092

WIND CLASSIFICATION	MAXIMUM DESIGN GUST WIND SPEED (M/S)	
	PERMISSIBLE STRESS	LIMIT STATE
C1	41 (W41C)	50
C2	50 (W50C)	61
C3	60 (W60C)	74

LOT 292
RP 739001
AREA = 1.064ha
PARISH OF ALEXANDRA
COUNTY SOLANDER



CYPRESS ROAD

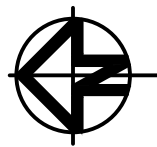
Title PROPOSED EXTENSION
3 CYPRESS ROAD
COW BAY
For KELLIE ROBERTS

MARSHALL DESIGN
20 KABAN GROVE, TRINITY PARK. Ph: 07 4057 9985
Email: george@marshalldesign.biz
Q.B.C.C. No. 63487

Drawn G.W.M. Job Number 09013
Scale AS SHOWN Sheet Number WD-1/1
Date OCT. 2018 © Copyright Retained

HUTCHINSON
CREEK

LOT 292
RP 739001
AREA = 1.064ha
PARISH OF ALEXANDRA
COUNTY SOLANDER



135.77 M 165° 29' 30"

PROPOSED CARPORT

EXISTING SHED

PROPOSED EXTENSION

EXISTING RESIDENCE

371.0 M 241° 02' 00"

CYPRESS ROAD

36.13 M 268° 57' 00"

10.296 M 298° 00' 00"

12.0 M 268° 57' 00"

120.0 M P. & T. 178° 54' 00"
122.0 M CK

 **SITE PLAN**
1:500

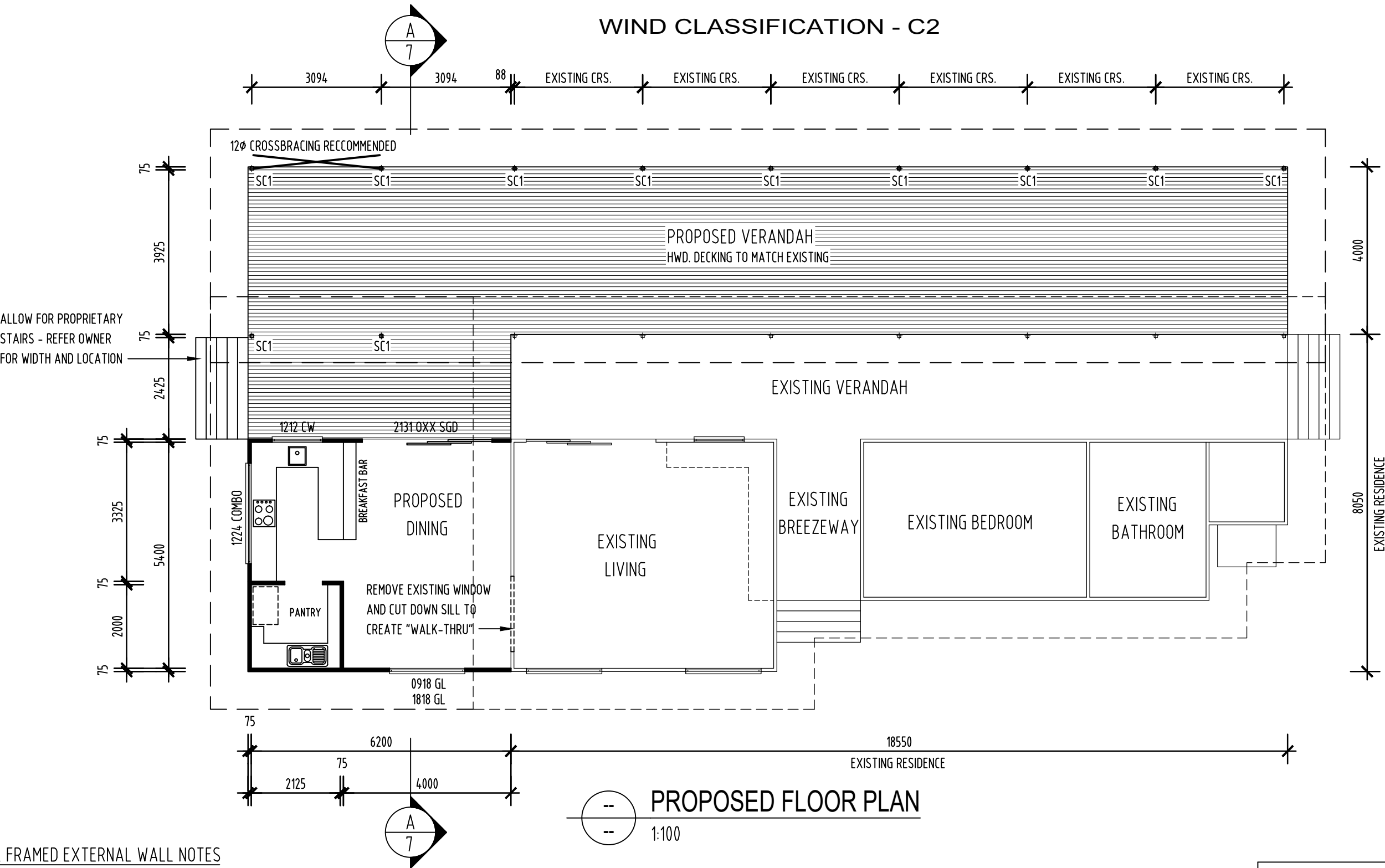
WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS
SHOWN ON THESE DRAWINGS FOR CONSTRUCTION
AS CERTIFIED

T. W. KOLBER
Consulting Engineer

3 CORNISH CLOSE
ATHERTON - QLD 4883
PH: 07 40 915 092

Drawn	G.W.M.	Job Number	19013
Scale	AS SHOWN	Sheet Number	WD-1/2
Date	OCT. 2018	© Copyright Retained	MARSHALL DESIGN
Client:-	KELLIE ROBERTS - 3 CYPRESS ROAD, COW BAY		

WIND CLASSIFICATION - C2



STEEL FRAMED EXTERNAL WALL NOTES

ALL WALL FRAMING SHALL COMPLY WITH RELEVANT PROVISIONS OF
AS3623 DOMESTIC METAL FRAMING
AS/NZS 4600 COLD-FORMED STEEL STRUCTURES
AS/NZS 1170.1 PERMANENT, IMPOSED AND OTHER ACTIONS
AS/NZS 1170.2 WIND ACTIONS AND OTHER STANDARDS REFERRED THEREIN.
THE DESIGN AND FABRICATION OF ROOF AND WALL FRAMING AND IT'S COMPONENT MEMBERS SHALL TAKE INTO ACCOUNT AS APPROPRIATE STABILITY, STRENGTH, SERVICABILITY AND FIRE RESISTANCE AS SET OUT IN RELEVANT STANDARDS.
PARTICULAR ATTENTION SHALL BE PAID TO THE FOLLOWING:
ADEQUATE NUMBER OF STUDS AT SIDES OF OPENINGS.
PROVIDE 2 STUDS AT SIDES OF OPENINGS OVER 1200mm WIDE.
ADEQUATE FIXING OF BOTTOM PLATE TO FLOOR TO RESIST UPLIFT AND SHEAR FORCES, ESPECIALLY AT SIDES OF OPENINGS.
ADEQUATE FIXING OF BRACING PANELS TO FLOOR FRAMING. FIX BOTTOM PLATE TO FLOOR FRAMING WITH 2-No.12-14 SCREWS BESIDE EACH STUD AND AT MAX, 600 CRS.
ADEQUATE STRENGTH AND SERVICABILITY OF LINTELS OVER OPENINGS TO LIMIT DEFLECTION OF LINTELS TO 1/250 O.T. SPAN OR 10mm WHICHEVER IS LESS. LINTELS OVER OPENINGS TRUSSED WITH VERTICALS AT MAX. 600 CRS, 72 x 34 x 1.2 SECTIONS.

THE FOLLOWING MINIMUM BRACING SHALL BE PROVIDED U.N.O.
EACH PANEL OF WALL FRAMING IS TO BE BRACED AGAINST LONGITUDINAL RAKING OR DISTORTION BY MEANS OF NOGGING CHANNEL FIXED DIAGONALLY BETWEEN STUDS.
THE FOLLOWING BASIC RULES SHALL BE OBSERVED:
1. NOT LESS THAN 1 SET OF "X" TYPE BRACING TO FRAMES UP TO 3600mm LONG
2. NOT LESS THAN 2 SETS OF "X" TYPE BRACING FOR FRAMES OVER 3600mm LONG
3. WHEN OPENINGS IN ANY FRAME INTERRUPT THE CONTINUITY OF NOGGING, ONE SET OK "K" TYPE BRACING SHALL BE INSTALLED ON EACH SIDE OF OPENING.
IT IS RECOMMENDED THAT ALL EXTERNAL WALLS SHALL HAVE:
75 x 32 x 1.2 STUDS AT MAX. 600 CRS.
78 x 31 x 1.2 TOP AND BOTTOM PLATES, HEADS & SILLS
72 x 34 x 1.2 DIAGONALS AND NOGGINGS-ONE ROW.
THE MEMBERS OF EACH FRAME ARE TO BE JOINED EITHER BY WELDING, RIVETING, SCREWING, BOLTING OR BY OTHER APPROVED CONNECTIONS.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION AS CERTIFIED

T. W. KOLBER
Consulting Engineer

3 CORNISH CLOSE
ATHERTON - QLD 4883
PH: 07 40 915 092

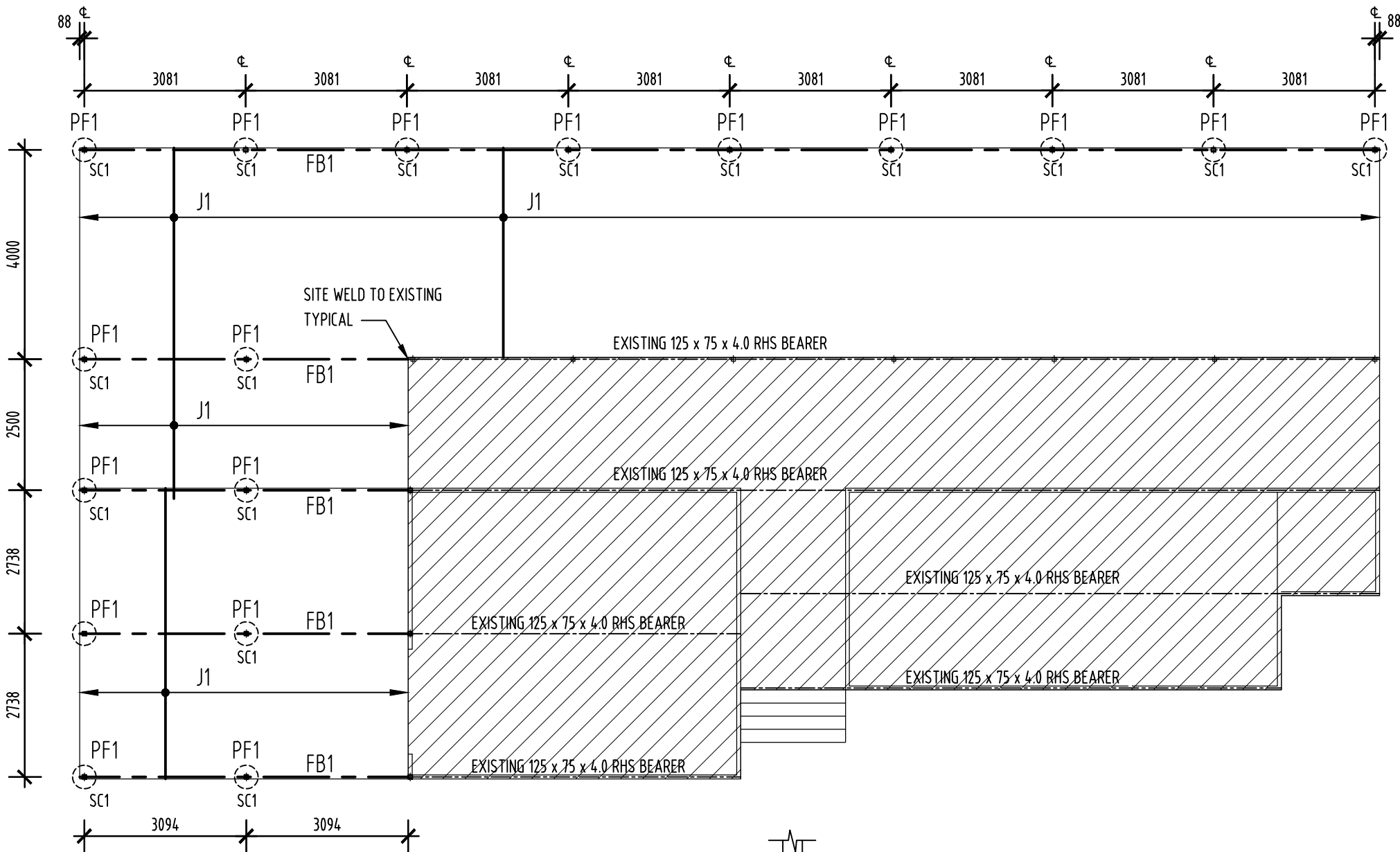
Drawn G.W.M. Job Number 19013
Scale AS SHOWN Sheet Number WD-1/3
Date OCT. 2018 © Copyright Retained
Client:- MARSHALL DESIGN
KELLIE ROBERTS - 3 CYPRESS ROAD, COW BAY Q.B.C.C. No. 63487

WIND CLASSIFICATION - C2

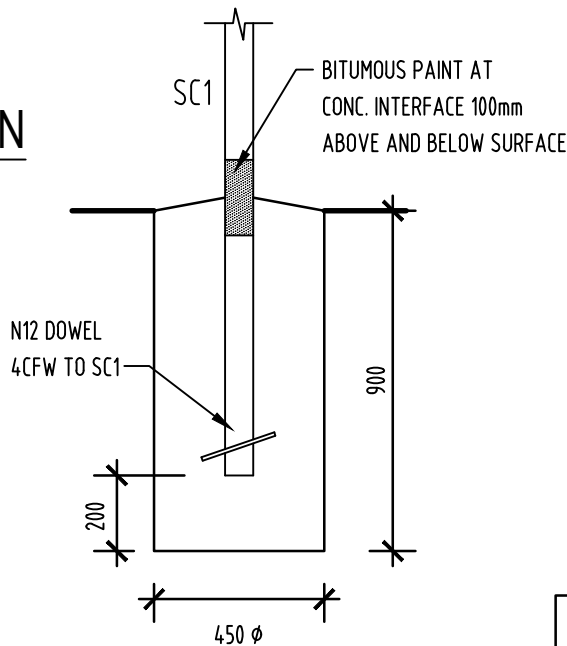
STRUCTURAL MEMBERS	
FB1	125 x 75 x 4.0 RHS FLOOR BEARER
J1	C15019 PURLIN/JOISTS @ 450 CRS. C10019 PURLIN MINIMUM
SC1	75 x 4.0 SHS COLUMN
R1	100 x 50 x 4.0 RHS RAFTERS
RB1	125 x 75 x 3.0 RHS ROOF BEAM
SS1	75 x 4.0 SHS STANCHION

FOOTING AND SLAB NOTES

- FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 100 kPa AND CLASS "S" SITE CLASSIFICATION ACCORDING TO A.S. 2870. BUILDER TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION.
- NATURAL FOUNDATIONS TO BE GRUBBED OUT AND FREE FROM ORGANIC MATTER AND DEBRIS AND COMPACTED TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT, OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS. FILL TO SLAB AND FOUNDATIONS SHALL BE AN APPROVED NON-PLASTIC MATERIAL, COMPACTED IN MAX. 150mm LAYERS, TO 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT, OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS.
- FOOTING TRENCHES SHALL BE CLEAN AND DRY AT THE TIME OF CASTING WITH ANY SOFTENED MATERIAL REMOVED. BASE OF FOOTINGS TO BE FOUNDED ON FIRM NATURAL GROUND WITH MIN. SAFE BEARING CAPACITY OF 100 kPa.
- REMOVE GRASS AND TOPSOIL CONTAINING ROOTS FROM SLAB SITE.
- PROVIDE COMPACTED SAND BEDDING UNDER SLAB.
- PROVIDE 0.2mm POLYTHENE MOISTURE BARRIER UNDER SLAB AND FOOTINGS.
- CONCRETE MUST COMPLY WITH THE FOLLOWING:
 - (a) CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS 3600; AND
 - (I) HAVE A STRENGTH AT 28 DAYS OF NOT LESS THAN 25 MPA (DENOTED AS N25 GRADE); AND
 - (II) HAVE A 20mm MAXIMUM NOMINAL AGGREGATE SIZE; AND
 - (III) HAVE A NOMINAL 100mm SLUMP.
 - (b) WATER MUST NOT BE ADDED TO THE MIX TO INCREASE THE SLUMP TO A VALUE IN EXCESS OF THAT SPECIFIED.
 - (c) CONCRETE MUST BE PLACED, COMPACTED AND CURED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- VIBRATE ALL CONCRETE, CURE SLAB 7 DAYS MINIMUM.
- CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED CHAIRS SPACED AT APPROX. 750 CRS. CONDUITS AND PIPES SHALL NOT BE PLACED WITHIN COVER CONCRETE.
- LAPS SHALL BE:- N12 - 450mm, N16 - 600mm, FABRIC - ONE COMPLETE MESH OVERLAP BETWEEN SHEETS.
- CAST IN ITEMS SHALL BE HOT-DIPPED GALVANISED.
- FOOTINGS SHALL NOT BE LOCATED CLOSER TO THE NEAREST EDGE OF A STORMWATER/SEWER TRENCH THAN THE DEPTH OF THE TRENCH.
- SITE AREA SHOULD BE GRADED TO READILY REMOVE SURFACE WATER AND PREVENT PONDING ADJACENT TO FOUNDATIONS & DRIVEWAY.



FOOTING & FLOOR FRAMING PLAN
1:100

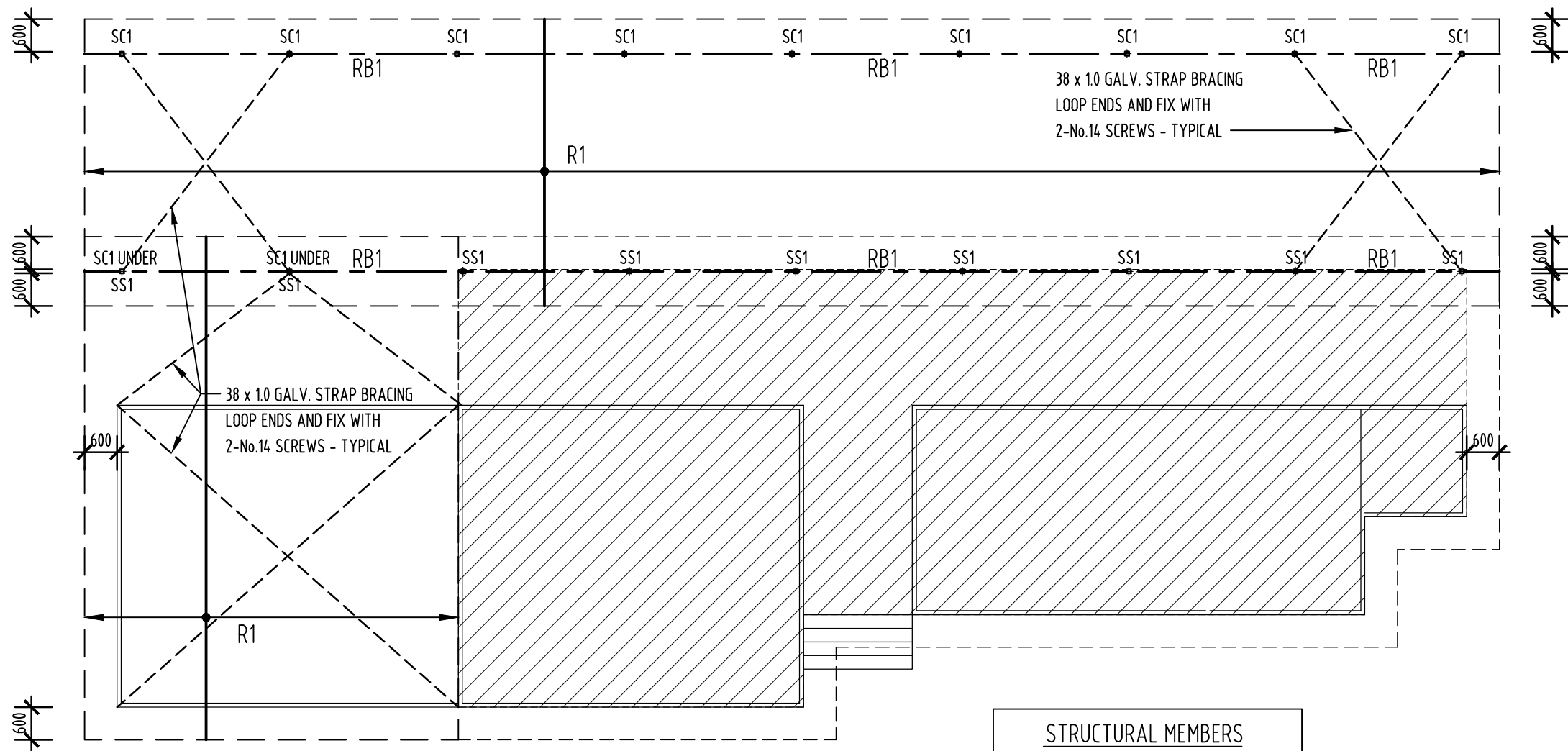


WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION AS CERTIFIED

T. W. KOLBER
Consulting Engineer

3 CORNISH CLOSE
ATHERTON - QLD 4883
PH: 07 40 915 092

Drawn G.W.M. Job Number 19013
Scale AS SHOWN Sheet Number WD-1/4
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KELLIE ROBERTS - 3 CYPRESS ROAD, COW BAY Q.B.C.C. No. 63487



ROOF BATTENS NEW & EXISTING
40 x 40 x 3.0 SHS
REFER FIXING DETAIL

STRUCTURAL MEMBERS	
FB1	125 x 75 x 4.0 RHS FLOOR BEARER
J1	C15019 PURLIN/JOISTS @ 450 CRS. C10019 PURLIN MINIMUM
SC1	75 x 4.0 SHS COLUMN
R1	100 x 50 x 4.0 RHS RAFTERS
RB1	125 x 75 x 3.0 RHS ROOF BEAM
SS1	75 x 4.0 SHS STANCHION

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION AS CERTIFIED

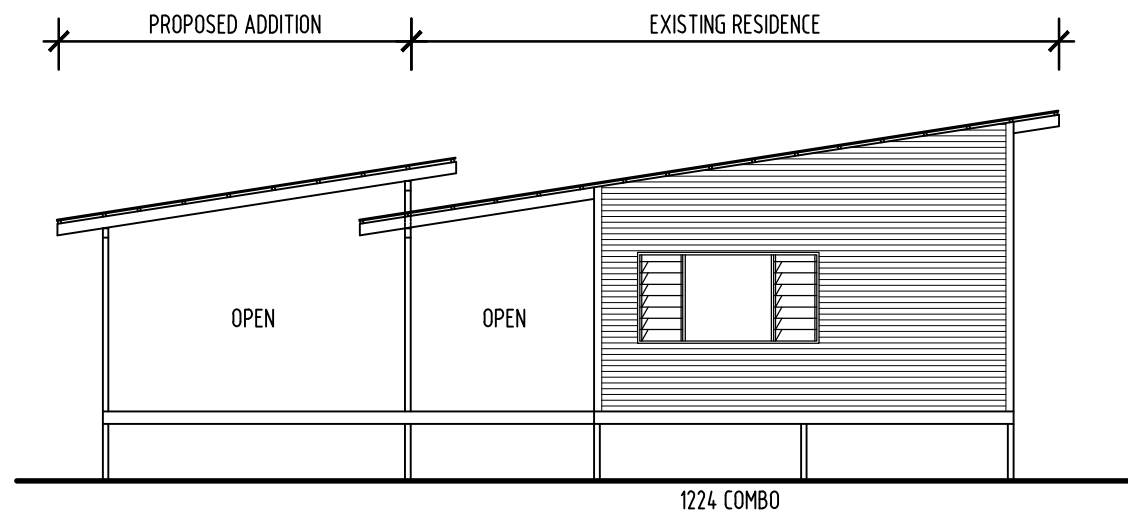
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T. W. KOLBER
Consulting Engineer

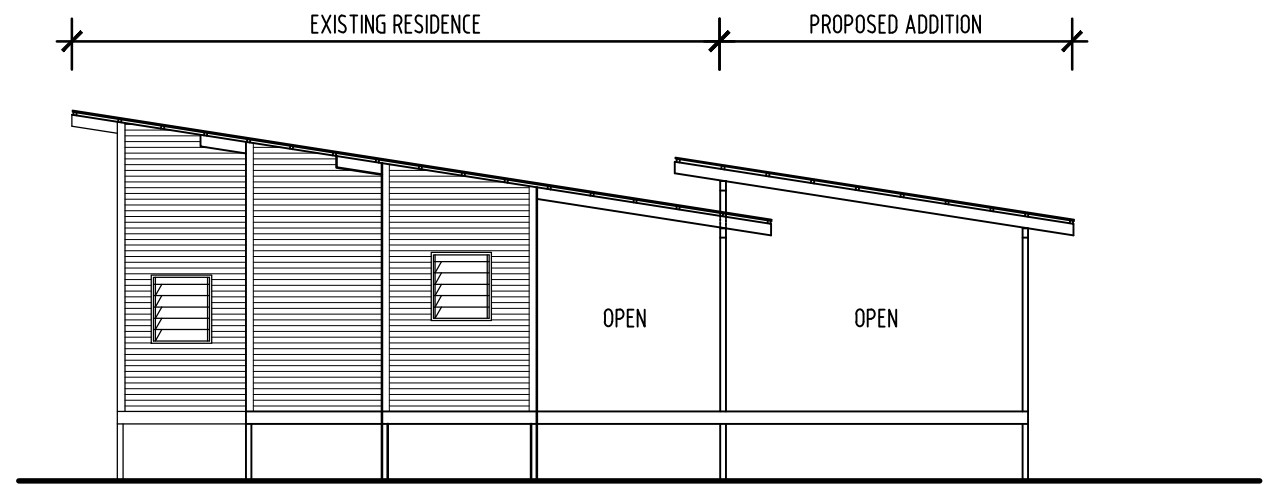
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ATHERTON - QLD 4883
PH: 07 40 915 092

ROOF FRAMING PLAN
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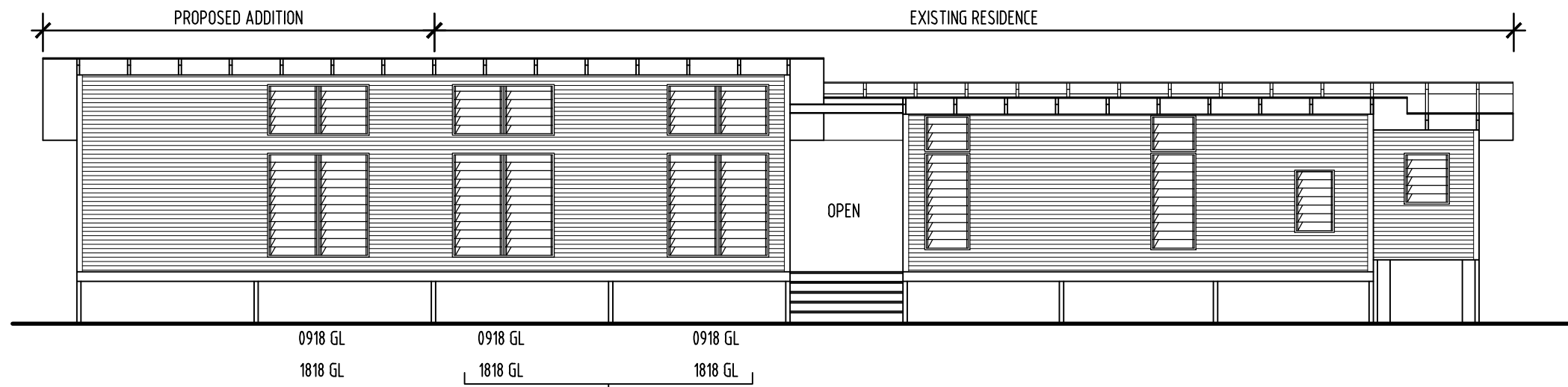
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Q.B.C.C. No. 63487
KELLIE ROBERTS - 3 CYPRESS ROAD, COW BAY



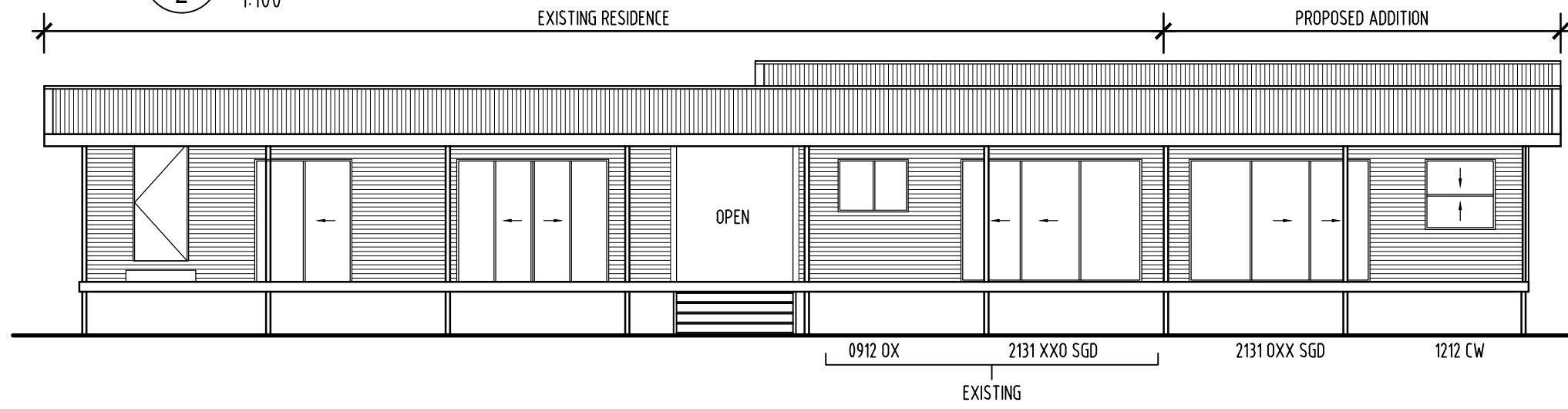
1 ELEVATION
2 1:100



2 ELEVATION
2 1:100



3 ELEVATION
2 1:100



4 ELEVATION
2 1:100

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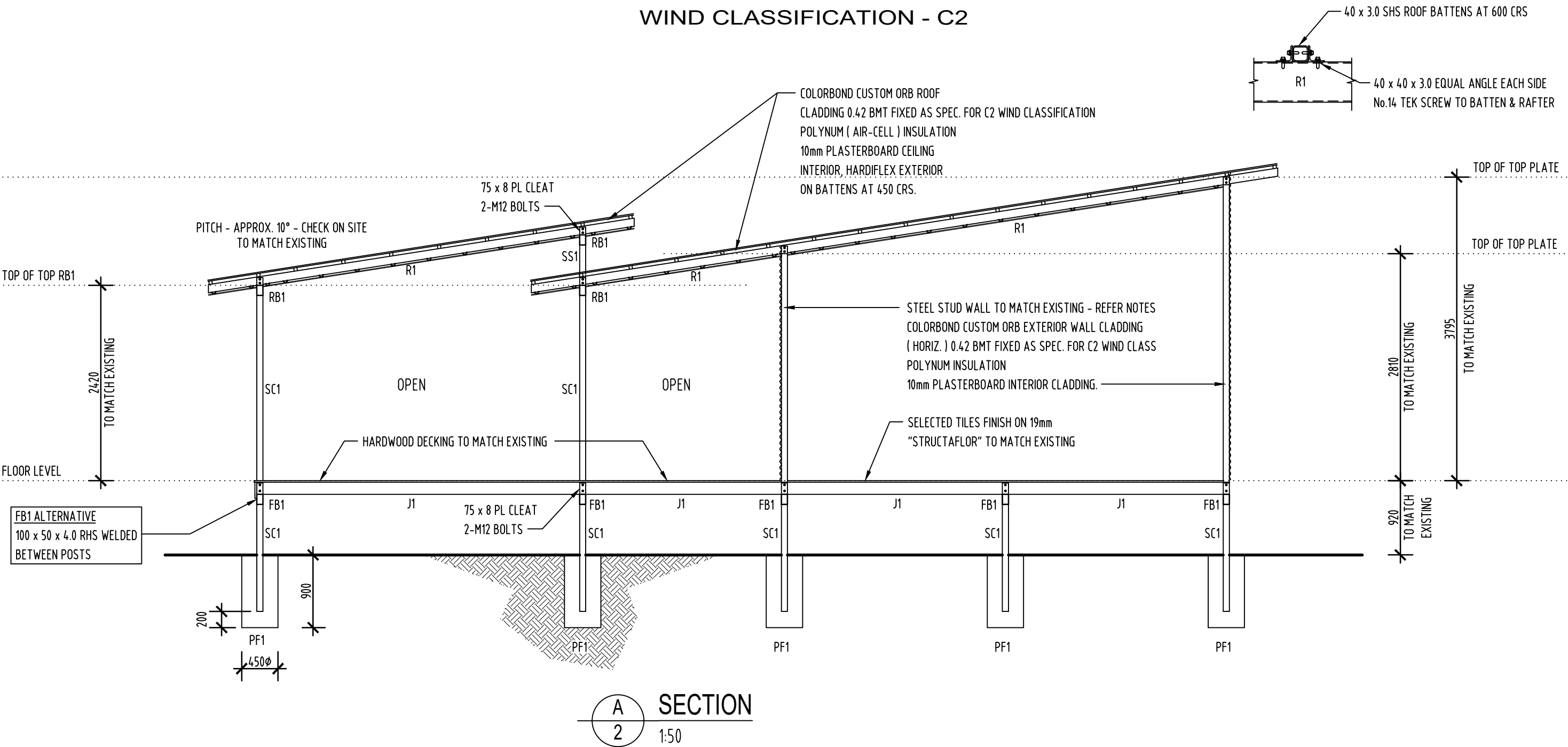
[Signature]

T. W. KOLBER
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KELLIE ROBERTS - 3 CYPRESS ROAD, COW BAY Q.B.C.C. No. 63487

WIND CLASSIFICATION - C2



STEELWORK

- ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS4100 STEEL STRUCTURES CODE. & AS/NZS 4600 COLD FORMED STEEL STRUCTURES.

STEEL SHALL BE:

- AS3679.1 GRADE 300 PLUS FOR HOT ROLLED SECTIONS.
- AS1163 GRADE 350 FOR HOLLOW SECTIONS.
- AS1397 G450 Z350 FOR C SECTIONS.
- BOLTS SHALL BE COMMERCIAL GRADE 4.6/S SNUG TIGHTENED GENERALLY U.N.O.
- BOLT SHALL BE GALVANISED AND OF SUFFICIENT LENGTH TO EXCLUDE THE THREAD FOR THE SHEAR PLANE.
- A SUITABLE WASHER SHALL BE USED UNDER ALL NUTS.

UNLESS OTHERWISE SPECIFIED THE FOLLOWING SHALL APPLY:

- WELDING 6mm CONTINUOUS FILLET WELD TO FULL PERIMETER CONTACT.
- MEMBER SPLICES IF REQUIRED SHALL BE FULL PENETRATION BUTT WELDS.
- CLEATS, BRACKETS, STIFFENERS - EX. 10mm PLATE
- 5 PL END PL TO ALL HOLLOW SECTIONS U.N.O.
- BOLT HOLE CLEARANCE 2mm
- HOLDDOWN BOLT HOLE CLEARANCE 4mm
- GROUT OF 2:1 CEMENT/SAND, MORTAR OF DAMP EARTH CONSISTANCY UNDER ALL BASE PLATES.
- CHEMSET ANCHORS TO BE RAMSET HAMMER CAPSULES or EQUIVALENT.
- ALL STEELWORK NOT HOT DIP GALVANISED SHALL BE ABRASIVE CLEANED TO CLASS 2.5 LEVEL AND PAINTED WITH APPROVED CORROSION PROTECTION SYSTEM.
- PAINTING SHALL CONSIST OF ONE COAT OF APPROVED METAL PRIMER & TWO FINISH COATS.

STRUCTURAL MEMBERS

FB1	125 x 75 x 4.0 RHS FLOOR BEARER
J1	C15019 PURLIN/JOISTS @ 450 CRS. C10019 PURLIN MINIMUM
SC1	75 x 4.0 SHS COLUMN
R1	100 x 50 x 4.0 RHS RAFTERS
RB1	125 x 75 x 3.0 RHS ROOF BEAM
SS1	75 x 4.0 SHS STANCHION

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION AS CERTIFIED

T. W. KOLBER
Consulting Engineer

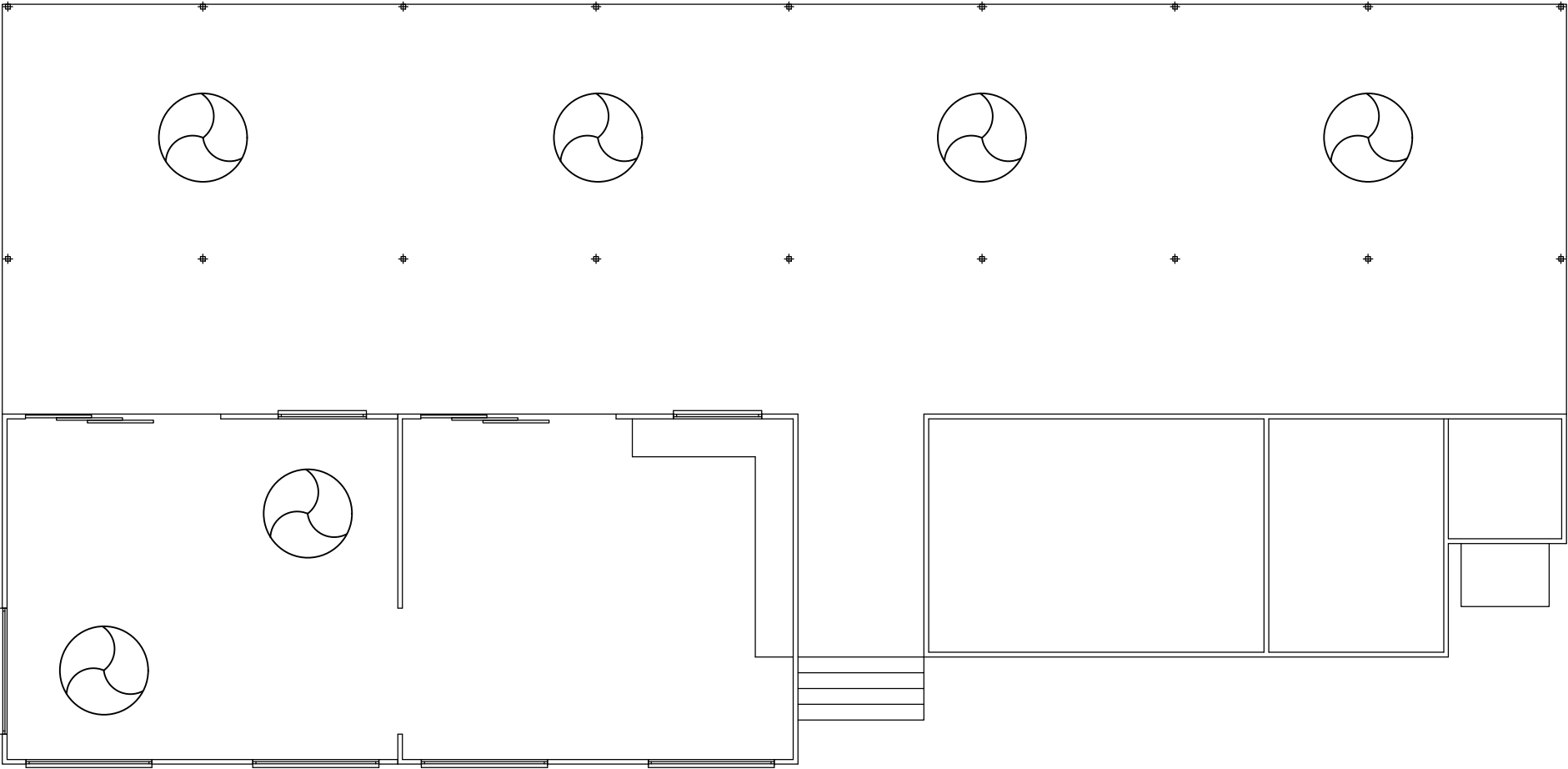
3 CORNISH CLOSE
ATHERTON - QLD 4883
PH: 07 40 915 092

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MARSHALL DESIGN
Q.B.C.C. No. 63487

KELLIE ROBERTS - 3 CYPRESS ROAD, COW BAY

WIND CLASSIFICATION - C2

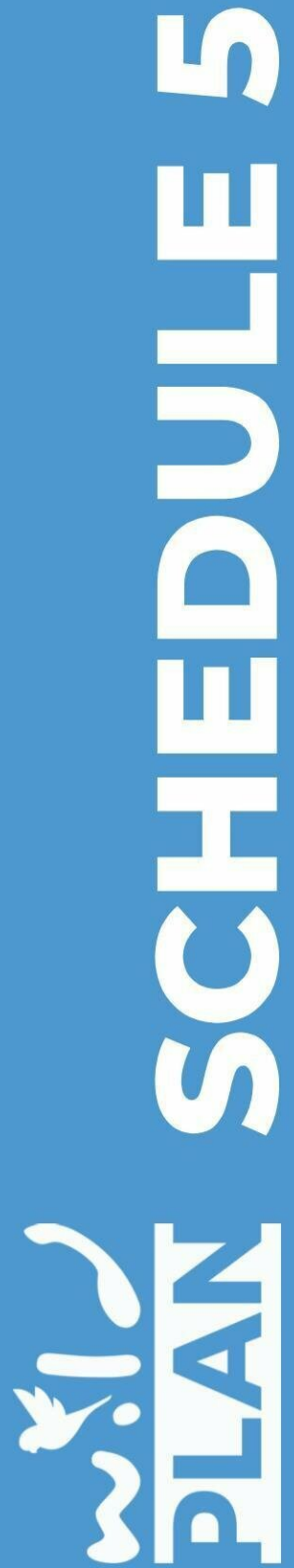


PROPOSED ELECTRICAL PLAN
1:100

Drawn	G.W.M.	Job Number	19013
Scale	AS SHOWN	Sheet Number	WD-1/8
Date	OCT. 2018	© Copyright Retained	
Client:-	MARSHALL DESIGN		
	Q.B.C.C. No. 63487		
	KELLIE ROBERTS - 3 CYPRESS ROAD, COW BAY		

SCHEDULE 5

CODE COMPLIANCE



6.2.3 Conservation zone code

6.2.3.1 Application

- (1) This code applies to assessing development in the Conservation zone.
- (2) When using this code, reference should be made to Part 5.

6.2.3.2 Purpose

- (1) The purpose of the Conservation zone code is to provide for the protection, restoration and management of areas identified as supporting significant biological diversity and ecological integrity.
- (2) The local government purpose of the code is to:
 - (a) implement the policy direction set in the Strategic Framework, in particular:
 - (i) Theme 2 : Environmental and landscape values, Element 3.5.2 – Aboriginal cultural heritage values, Element 3.5.3 – Biodiversity, Element 3.5.3 – Coastal zones.
 - (ii) Theme 3 – Natural resource management, Element 3.6.2 – Land and catchment management.
 - (iii) Theme 4 – Strong communities and identity, Element 3.7.8 – Strengthening indigenous communities.
 - (b) conserve and maintain the integrity of biodiversity values, wildlife, habitats and other significant ecological assets and processes over time, across public and private lands.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Biological diversity, ecological integrity and scenic amenity are protected;
 - (b) Any recreational or other uses of areas that are in the control of the Crown, or the Council, such as reserves, national parks and the Wet Tropics World Heritage Area or areas adjacent to these areas, are consistent with the management plans of the controlling authority so that conservation and scenic values of these areas are not adversely affected;
 - (c) Any use of land in private ownership does not affect the environmental, habitat, conservation or scenic values of that land or surrounding area;
 - (d) Any low intensity facilities based on the appreciation of the natural environment or nature based recreation only establish where there is a demonstrated need and provided they have a minimal impact on the environmental and scenic amenity values of the site or surrounding area.
 - (e) The provisions of the Return to Country Local Plan facilitate economic and social opportunities on traditional Indigenous lands;
 - (f) Further lot reconfigurations other than amalgamations, boundary realignments to resolve encroachments, or for the practical needs of essential community infrastructure, or to facilitate Return to Country outcomes do not occur.

6.2.3.3 Criteria for assessment

Table 6.2.3.3.a – Conservation zone – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
PO1 The establishment of uses is consistent with the outcomes sought for the Conservation zone and protects the zone from the intrusion of inconsistent uses.	AO1 Uses identified in Table 6.2.3.3.b are not established in the Conservation zone.	R1 Complies Dwelling House development is not identified as an 'inconsistent use' within the Conservation Zone. An existing Dwelling House is established on the premises. It is understood that the proposed Dwelling House does not require the clearing of vegetation. On this basis, the proposed development is considered consistent with the outcomes sought for the Conservation zone; including that the biological diversity, ecological integrity and scenic amenity of the locality will not be unduly impacted by the development. Contextually, the locality is characterised by Dwelling Houses on large land holdings. The proposed development does not prevent the protection, restoration and management of biological diversity, ecological integrity and scenic amenity. Development complies with PO1 on this basis.
PO2 The height of buildings is compatible with the character of the area and does not adversely affect the amenity of the area.	AO2 Buildings and structures are not more than 8.5 metres in height and two storeys. Note - Height is inclusive of roof height.	R2 Complies The proposed development is single storey and has a maximum building height of approximately 5.0 metres.
PO3 Development is setback from site boundaries so they are screened from view from the boundaries of adjoining properties and adjoining roads to maintain the scenic values of the area.	AO3 Buildings and structures are setback not less than: (a) 40 metres from the frontage of a State-controlled road, existing or proposed arterial road, existing or proposed	R3 Performance Solution (Complies) The proposed carport will be setback approximately 12 metres from the road frontage boundary and therefore does not comply with the

Performance outcomes	Acceptable outcomes	Applicant response
	<p>sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2;</p> <p>(b) 25 metres from Cape Tribulation Road frontage;</p> <p>(c) 20 metres from any other road frontage</p> <p>(d) 10 metres from side and rear boundaries.</p>	<p>20 metre Acceptable Outcome. Notwithstanding, the proposed carport is considered to be:</p> <ul style="list-style-type: none"> sufficiently screened from Cypress Road by existing vegetation and a concrete slab with a temporary tarpaulin cover exists at the location of the proposed carport structure; and generally consistent with the front setbacks of other Dwelling House development proximate to the site. <p>Side and rear boundary setbacks exceed the prescribed 10 metres.</p> <p>Development complies with PO3 on this basis.</p>
<p>PO4</p> <p>The site coverage of all buildings and structures does not have an adverse effect on the conservation or scenic amenity values of the site and surrounding area and buildings are subservient to the natural environment.</p>	<p>AO4</p> <p>Development is sited in an existing cleared area or an area approved for clearing, but which is not yet cleared until a development permit to carry out Building Works is issued. Any clearing is limited to a maximum area of 700m² and is sited clear of the high bank of any watercourse.</p> <p>Note – The 700m² area of clearing does not include an access driveway.</p>	<p>R4 Complies</p> <p>The development is proposed to be undertaken within an existing cleared area (refer Figure 1 in the Town Planning Report) as confirmed by Council's representative Ms Rebecca Taranto in email correspondence dated 29 June 2022 as follows: <i>'the proposed development does appear to comply with AO18 of the Cape Tribulation and Daintree Coast Local Plan, in that the clearing was lawfully cleared and remains cleared'</i>.</p>
<p>PO5</p> <p>Development is consistent with the overall outcomes sought for the Conservation zone.</p>	<p>AO5</p> <p>No acceptable outcomes are prescribed.</p>	<p>R5 Performance Solution (no Acceptable Outcome prescribed)</p> <p>Dwelling House development is not identified as an 'inconsistent use' within the Conservation Zone.</p> <p>In addition, it is understood that the proposed Dwelling House does not require the clearing of vegetation. On this basis, the proposed development is considered consistent with the outcomes sought for the Conservation zone.</p>

Performance outcomes	Acceptable outcomes	Applicant response
		<p>Relevantly, the proposed development will not unduly impact upon biological diversity, ecological integrity and/or scenic amenity.</p> <p>Further, the proposed development (a single storey Dwelling House on private land) will not affect the environmental, habitat, conservation or scenic values of that land or surrounding area.</p> <p>Development complies with PO5 on this basis.</p>

Performance outcomes	Acceptable outcomes	Applicant response
P06 Development complements, and is subservient to the surrounding environment and is in keeping with the ecological, landscape and scenic values of the area.	AO6 The exterior finishes and colours of all development are non-reflective and consist of colours that blend easily with surrounding native vegetation and view-shed.	R6 Will Comply The Applicant is willing to accept a condition of approval requiring that exterior finishes and colours of all development are non-reflective and consist of colours that blend easily with surrounding native vegetation and view-shed.
P07 Development is screened from view from adjoining roads and properties with a dense screen of endemic/native landscape which: (a) is informal in character and complementary to the existing natural environment; (b) provides screening; (c) enhances the visual appearance of the development. Note – Planning scheme policy – Landscaping provides further guidance on meeting the performance outcome.	AO7.1 For any development, the balance area of the site not built upon, including all setback areas must be landscaped/revegetated with dense three tier, endemic planting which is maintained to ensure successful screening is achieved. AO7.2 Endemic palm species, where used, are planted as informal accent features and not as avenues and not in a regular pattern.	R7.1 Performance Solution (Complies) The existing setbacks are not proposed to be subject to additional landscaping. However, existing vegetation located on the site is proposed to be retained. Development therefore complies with PO7, in that development is screened from view from adjoining roads and properties with a dense screen of endemic/native landscape which: (a) is informal in character and complementary to the existing natural environment; (b) provides screening; (c) enhances the visual appearance of the development. Development complies with PO7 on this basis.
P08 Development is complementary to the surrounding environment.	AO8.1 Development harmonises with the surrounding environment, for example, through suspended, light-weight construction on sloping sites, which requires minimal excavation or fill. AO8.2 A driveway or parking areas are constructed and maintained to: (a) minimise erosion, particularly in the wet season; (b) minimise cut and fill; (c) follow the natural contours of the site; (d) minimise vegetation clearing.	R8.1 Complies A suspended built form is proposed for the Dwelling House extension versus slab on ground construction. The nature and form of development is considered to be appropriate relevant to the site context. Note - The proposed carport is proposed to utilise the existing concrete slab. R8.2 Complies / Will Comply The proposed Dwelling House will be accessed via an existing driveway. It is understood that no vegetation clearing is required in respect of the development.

Performance outcomes	Acceptable outcomes	Applicant response
	AO8.3 Buildings and structures are erected on land not exceeding a maximum gradient of 1 in 6 (16.6%). Or On land steeper than 1 in 6 (16.6%) gradient: (a) A split level building form is utilised; (b) A single plane concrete slab is not utilised; (c) Any voids between building and ground level, or between outdoor decks and ground level are screened from view using lattice/battens and/or landscaping. and (d) is accompanied by a Geotechnical Report prepared by a qualified engineer at development application stage which includes certification that the site can be stabilised, followed by a certificate upon completion of works.	R8.3 Complies Development is not proposed on land with a gradient of greater than 1:6.
	AO8.4 Buildings and structures are sited below any ridgelines and are sited to avoid protrusion above the surrounding tree-level canopy.	R8.4 Complies Development on a ridgeline is not proposed.
PO9 Development is located to: (a) protect the ecological values of the site and surrounding land; (b) maintain the scenic values of the area; (c) maintain appropriate setbacks to waterways, watercourses, wetlands, tidal areas and overland flow paths; (d) avoid areas that are vulnerable to natural hazards; (e) minimise to the greatest extent possible on site excavation and filling; (f) provide buffers to cultural, historical or ecological features; (g) minimise visibility from external sites or public viewing points;	AO9 No acceptable outcomes are prescribed.	R9 Performance Solution (no Acceptable Outcome) proposed It is understood that development is proposed within an already cleared area of the site and requires no additional clearing. On this basis, the proposed development will not impact upon native vegetation and/or fauna habitat and is not expected to detrimentally impact upon the ecological values of the site. A suspended built form is proposed for the Dwelling House extension versus slab on ground. The nature and form of development is considered to be appropriate relevant to the site context. Note - The proposed carport is proposed to utilise the existing concrete slab.

Performance outcomes	Acceptable outcomes	Applicant response
(h) minimises to the greatest extent possible the loss of native vegetation and fauna habitat.		
PO10 Development does not result in adverse impacts on: <ul style="list-style-type: none"> (a) ecological function or features; (b) on-site or surrounding waterways and wetlands. 	AO10 No acceptable outcomes are prescribed.	R10 Performance Solution (no Acceptable Outcome) proposed It is understood that development is proposed within an already cleared area of the site and requires no additional clearing. Stormwater infrastructure is proposed to manage overland flow. The proposed development therefore will not result in adverse impacts on ecological function or features.
PO11 Rehabilitation of natural processes on disturbed sites is undertaken to improve the environmental integrity of the area.	AO11 No acceptable outcomes are prescribed	R11 Complies / Will Comply Where required by Council, minor and complementary rehabilitation may be undertaken in association with the Dwelling House extensions. However, it is considered that the site is sufficiently vegetated so as not to warrant further rehabilitation.
PO12 Fencing is designed to not impede the free movement of native fauna through the site.	AO12 No acceptable outcomes are prescribed.	R11 Performance Solution (no Acceptable Outcome) proposed No additional fencing is proposed relevant to the proposed development.
PO13 New lots contain a minimum lot size of 200 hectares, unless: <ul style="list-style-type: none"> (a) the lot reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments); (b) the reconfiguration is limited to one additional lot to accommodate an existing or approved: <ul style="list-style-type: none"> (i) Telecommunications facility; (ii) Utility installation; (c) the lot reconfiguration facilitates and outcome consistent with the Return to Country local plan. Note – Boundary realignments must result in an improved environmental outcome or resolve encroachments.	AO13 No acceptable outcomes are prescribed.	R13 Not Applicable No new lots are proposed.

7.2.1 Cape Tribulation and Daintree Coast local plan code

7.2.1.1 Application

- (1) This code applies to assessing development within the Cape Tribulation and Daintree Coast local plan area as identified on the Cape Tribulation and Daintree Coast local plan maps contained in Schedule 2.
- (2) When using this code, reference should be made to Part 5.

7.2.1.2 Context and setting

Editor's note - This section is extrinsic material under section 15 of the Statutory Instruments Act 1992 and is intended to assist in the interpretation of the Cape Tribulation and Daintree Coast local plan code.

The Cape Tribulation and Daintree Coast local plan area is located in the northern half of the Douglas Shire on land located predominantly to the north and east of the Daintree River. The local plan area contains land of extremely high biodiversity value and is where two World Heritage areas meet – the Wet Tropics World Heritage Area and the Great Barrier Reef World Heritage Area. The precinct is a biodiversity hotspot of international significance and predominantly consists of the Daintree National Park and other reserves. The local plan area provides significant habitat for the critically endangered Southern Cassowary, amongst many other species of fauna and flora and cultural and landscape heritage sites.

The natural environment, containing areas of the highest biodiversity value and flora and fauna unique to the area, are part of the immense drawcard to large numbers of domestic and international visitors. While such an economic resource is invaluable to the Shire, the area needs to be carefully managed to ensure these values are not diminished. However, a significant portion of the local plan area is privately owned freehold land and outside the boundaries of the Wet Tropics World Heritage Area, but is still equally important to the continued conservation of the biodiversity, environmental and scenic values of the area.

Prior to European settlement, the area formed part of the traditional land of the Eastern Kuku Yalanji people. In the late 1800s, limited European settlement commenced associated with timber getting and agriculture. From the 1920s onwards seasonal workers and miners also set up semi-permanent camps in the area. However such activity was restricted due to the relative isolation of the area. The settlement pattern in the area dramatically changed in the late 1970s to 1980s when approximately 950 residential lots were created. The 'rural residential style' allotments north of the Daintree River posed a risk of significant detrimental impacts on the ecology and landscape character of the area, particularly if fully developed. Such development would also result in a greater resident population leading to pressure for an increased level of service and extension of infrastructure, which in turn would lead to more development pressure. Such an outcome is contrary to the objectives of preserving the area's natural environment, landscape character and relative isolation to maintain the area's intrinsic attractiveness to tourists and residents.

Past successive planning regimes have progressively proceeded to rein in development rights within the area. Precincts were created and development was limited. In particular, decisive action was undertaken in 2004 to control and limit permanent residential development north of the Daintree River. This was necessary to ensure a critical population was not reached, and adverse effects from development were not felt on the water quality, biodiversity, scenic amenity and flora and fauna of the region.

Where development rights were extinguished, compensation was paid and / or land was bought as part of a buy-back scheme and retained for conservation purposes. The protection of the regional ecosystem and rare and threatened species is paramount in the limitation of development opportunities within the region.

7.2.1.3 Purpose

- (1) The purpose of the Daintree River - Bloomfield River local plan is to retain the attraction of the area as a very low-key, largely undeveloped nature-based recreation environment, based on the exploration and appreciation of the natural environment and to ensure that any development that does occur is appropriate and does not place additional pressures on the values of area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) areas within the local plan are appropriately managed to protect biological diversity, water catchment quality, ecological functioning, beach protection and coastal management, scenic amenity, and historical and cultural values;
 - (b) the natural character of the locality is protected, and where degraded, restored or enhanced;
 - (c) new development does not occur, with the exception of development located within, and consistent with the respective precinct intents for:
 - (i) Precinct 1 – Conservation precinct
 - (ii) Precinct 2 – Low impact residential precinct;
 - (iii) Precinct 3 – Low impact commercial precinct;
 - (iv) Precinct 4 – Low impact community purpose precinct;
 - (v) Precinct 5 – Low impact rural production and tourism enterprise precinct;
 - (vi) Precinct 6 – Low impact tourism accommodation precinct;
 - (d) where development occurs it is:
 - (i) very low scale and remains within the limits imposed by the vehicular capacity of the Daintree River ferry crossing, the Alexandra Range road crossing and the local road network;
 - (ii) sensitive and sympathetic to its remote location in an area of unique biodiversity, ecological, conservation and scenic amenity value;
 - (iii) self-contained through the use of appropriate on-site or nearby rain water collection and storage, sewerage treatment and electricity generation;
 - (e) adequate services and facilities for settlement areas and an appropriate level of economic opportunity for local residents are provided

7.2.1.4 Precinct 1 – Conservation precinct

- (1) The purpose of Precinct 1 as detailed on the Local Plan maps contained in Schedule 2 is to provide for the protection, restoration and management of areas identified as supporting significant biological diversity and ecological integrity.
- (2) The overall outcomes sought for Precinct 1 are to:
 - (a) ensure the conservation, protection and restoration of biological diversity and ecological integrity values of land , and to maintain scenic amenity values;
 - (b) ensure that further incompatible development, including houses, does not occur;
 - (c) ensure that where development does occur, it does not adversely affect environmental and scenic amenity values and is in keeping with the natural characteristics of the land.

7.2.1.5 Precinct 2- Low impact residential precinct

- (1) The purpose of Precinct 2 as detailed on the Local Plan maps contained in Schedule 2 is to allow for the construction of a single detached dwelling and necessarily associated infrastructure and outbuildings.
- (2) The overall outcomes sought for Precinct 2 are to:
 - (a) ensure development is for a single detached dwelling of limited scale and size and necessary outbuildings and infrastructure only;
 - (b) locate development within existing cleared areas, or where no cleared area exists, development is located such that impacts on conservation, biological, ecological and scenic amenity values are mitigated through the minimisation of excavation, fill and vegetation removal, to the maximum extent possible;
 - (c) ensure development is visually non-obtrusive.

7.2.1.6 Precinct 3 - Low impact commercial precinct

- (1) The purpose of Precinct 3 as detailed on the Local Plan maps contained in Schedule 2 is to recognise the existing commercial uses and permit their continued use.
- (2) The overall outcomes sought for Precinct 3 are to:
 - (a) ensure that is visually non-obtrusive.

7.2.1.7 Precinct 4 - Low impact community purpose precinct

- (1) The purpose of Precinct 4 as detailed on the Local Plan maps contained in Schedule 2 is to recognise the existing public purpose uses and permit their continued use.
- (2) The overall outcomes sought for Precinct 4 are to:



- (a) ensure the establishment and expansion of community and public purpose uses such as child care centre, community use, educational establishment, health care services, outdoor sport and recreation, utility installation on appropriate sites within the precinct;
- (b) locate development within existing cleared areas or where no cleared area exists, development is located such that impacts on conservation, biological, ecological and scenic amenity values are mitigated through the minimisation of excavation, fill and vegetation removal, to the maximum extent possible
- (c) services are provided which are appropriate and adequately cater for the demand;
- (d) carry out development in accordance with an Environmental Management Plan;
- (e) ensure development is visually non-obtrusive.

7.2.1.8 Precinct 5 - Low impact rural production and tourist enterprise precinct

- (1) The purpose of Precinct 5 as detailed on the Local Plan maps contained in Schedule 2 is to recognise existing rural areas and permit their continued use, while encouraging low-impact tourism enterprise including bed and breakfast, short term accommodation (being farm stay accommodation) and nature based tourism (being forest stay accommodation) as an alternative land use, where significant restoration and/or rehabilitation measures are undertaken as an incentive.
- (2) The overall outcomes sought for Precinct 5 are to:
 - (a) provide for continued rural production activities where lawfully established and to permit low-key ancillary tourism enterprise such as farm attractions, roadside stalls in appropriate locations;
 - (b) provide for other tourism enterprise in the form of bed and breakfast, farm stay accommodation or forest stay accommodation as an alternative land use to primary production, where significant rehabilitation of habitat is achieved.
 - (c) facilitate other existing tourism enterprises based on the appreciation of the natural environment.
 - (d) ensure development, including waste treatment is limited to existing cleared areas;
 - (e) development, including primary production, is carried out in accordance with an Environmental Management Plan.

7.2.1.9 Precinct 6 - Low impact tourism accommodation precinct

- (1) The purpose of Precinct 6 as detailed on the Local Plan maps contained in Schedule 2 is to recognise existing small-scale tourist accommodation and ancillary low-key activities, based on and compatible with an appreciation of the natural environment and permit their continued use.
- (2) The overall outcomes sought for Precinct 6 are to:
 - (a) provide for continued small-scale tourist accommodation and ancillary low-key activities, based on and compatible with an appreciation of the natural environment in appropriate locations;
 - (b) ensure development, including treatment of waste, is confined to existing cleared areas;

- (c) carry out development in accordance with an Environmental Management Plan;
- (d) ensure development is visually non-obtrusive.

Criteria for assessment

Table 7.2.1.10 a – Cape Tribulation and Daintree Coast local plan – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
All development in the Cape Tribulation and Daintree Coast local plan area		
PO1 Development does not result in a demand which exceeds the capacity of: <ul style="list-style-type: none"> (a) the Daintree River ferry crossing; (b) Alexandra Range Road; (c) the local road network. 	AO1 No acceptable outcomes are prescribed.	R1 Complies A Dwelling House exists on site and the proposed Building Work does not constitute a Material Change of Use. Therefore, the proposed development does not result in increased demand or impacts on: <ul style="list-style-type: none"> (a) the Daintree River ferry crossing; (b) Alexandra Range Road; (c) the local road network.
PO2 Development provides a suitable standard of self-sufficient service for: <ul style="list-style-type: none"> (a) potable water; water for fire fighting purposes; electricity supply. 	AO2.1 Water storage is provided in tank/s with a minimum capacity to service the proposed use, including fire fighting capacity, and access to the tank/s for fire trucks. Tank/s are to be: <ul style="list-style-type: none"> (a) fitted with a 50mm ball valve and camlock fitting; (b) installed and connected prior to occupation; (c) sited so as to be visually unobtrusive. 	R2.1 Complies / Will Comply A Dwelling House exists on site and the proposed Building Work does not constitute a Material Change of Use. The existing Dwelling House is considered to be provided with sufficient water storage on site in the form of water tanks that are installed and connected and are sited so as to be visually unobtrusive.
	AO2.2 Water storage tanks are to be fitted with screening at their inlets to prevent the intrusion of leaves and insects. AO2.3 An environmentally acceptable and energy efficient power supply is constructed, installed and connected	R2.2 Complies Water storage tanks are fitted with screening at their inlets to prevent the intrusion of leaves and insects. R2.3 Complies A Dwelling House exists on site and is provided with an appropriate power supply.



Performance outcomes	Acceptable outcomes	Applicant response
All development in the Cape Tribulation and Daintree Coast local plan area		
	prior to occupation and sited so as to be screened from the road.	
PO3 On-site waste water does not adversely impact on the environmental quality of the water and soil resources or amenity of residents, through the implementation of best environmental practice.	AO3 No acceptable outcomes are prescribed	R3 Performance Solution (no Acceptable Outcome prescribed) A Dwelling House exists on site and is supplied with appropriate on-site waste water infrastructure that is not proposed to be modified as part of the proposed Building Works.
PO4 The sustainability of the natural water resources of the area is protected for ecological and domestic consumption purposes.	AO4.1 If groundwater is to be used, development is limited to one bore per site and the bore is: not located within 100 metres of a septic disposal trench (on the site or adjoining sites); not located within 100 metres of another bore. AO4.2 Surface water is to be used for domestic purposes only.	R4.1 Not Applicable Groundwater is not proposed to be used by the development. R4.2 Will Comply Where surface water is used, it will be used for domestic purposes only.
PO5 Development does not adversely impact on areas of sensitive natural vegetation, foreshore areas, watercourses and/or areas of tidal inundation	AO5 No acceptable outcomes are prescribed	R5 Complies The development is proposed to be undertaken within an existing cleared area (refer Figure 1 in the Town Planning Report) as confirmed by Council's representative Ms Rebecca Taranto in email correspondence dated 29 June 2022 as follows: <i>'the proposed development does appear to comply with AO18 of the Cape Tribulation and Daintree Coast Local Plan, in that the clearing was lawfully cleared and remains cleared'</i> .

<p>PO6 Development is subservient to the surrounding natural environment in scale and intensity and is designed to be functional in a humid tropical rainforest environment.</p>	<p>AO6.1 The exterior finishes and colours of buildings are non-reflective and complement the colours of the surrounding vegetation and view shed.</p> <p>AO6.2 The noise of generators is controlled by design, or the generator is enclosed within a sound insulated building with a residential approved muffler. The noise level generated is less than 65 dBA when measured from a distance of 7 metres.</p>	<p>R6.1 Will Comply The Applicant is willing to accept a condition of approval requiring that exterior finishes and colours of all development are non-reflective and consist of colours that blend easily with surrounding native vegetation and view-shed.</p> <p>R6.2 Not Applicable No additional generators are proposed relevant to the extension.</p>
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Performance outcomes	Acceptable outcomes	Applicant response
	AO6.3 Any fuel storage associated with an on-site generator, with storage of 20 litres or more of fuel, is enclosed with a building and provided with a bund.	R6 Not Applicable The Applicant does not intend to store more than 20 litres or more of fuel on site.
P07 Landscaping of the development ensures that the endemic character of the local area is dominant.	AO7.1 Landscaping complies with the requirements of Planning Scheme Policy 7 – Landscaping; AO7.2 All of the existing landscaping to be retained and all of the proposed landscaping is 100% endemic or native species and the details are provided on a landscape plan.	R7.1 Not Applicable No landscaping is proposed. R7.2 Complies All of the existing landscaping is to be retained on site.
P08 Site access driveways and roads within the local plan area are retained as safe, slow speed, scenic drives.	AO8.1 Site access driveways and existing or proposed roads comply with the relevant requirements of Planning Scheme Policy 5 – FNQROC Development Manual and are maintained as low speed gravel roads to maintain the scenic drive experience and to discourage the use of roads by through-traffic; AO8.2 Where existing roads/tracks are 4-wheel drive only, upgrading to facilitate conventional vehicles and an increase in through traffic does not occur.	R8.1 Not Applicable No changes to the existing access arrangements are proposed. R8.2 Not Applicable No existing 4WD roads / tracks are located on site.
P09 The on-site impacts on natural flow regimes and erosion and sedimentation are minimised.	AO9.1 Filling and excavation is kept to a minimum and involves not more than 5% of the cleared area of the lot. AO9.2 All exposed surfaces must incorporate erosion and sediment controls during construction and must be maintained until revegetation, or other permanent stabilisation, has occurred.	R9.1 Complies Filling and excavation will be kept to a minimum and involves not more than 5% of the cleared area of the lot (refer Schedule 4). R9.2 Will Comply All exposed/disturbed surfaces as a consequence of the proposed Building Work will incorporate erosion and sediment controls during construction and will be maintained



Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO9.3 This is no disturbance to tree roots and trenching does not involve any damage to tree roots.</p> <p>AO9.4 On-site drainage and stormwater management: (a) maintains natural flow regimes; (b) minimises impervious surfaces; (c) avoids concentration of flows, but where there is any form of concentration of flow, energy dissipation measures are installed at the outlet to avoid erosion (e.g. rock rip rap, gravel beds, diffusers etc.)</p>	<p>until revegetation, or other permanent stabilisation, has occurred.</p> <p>R9.3 Will Comply There is no proposed disturbance to tree roots and trenching does not involve any damage to tree roots.</p> <p>R9.4 Complies On-site drainage and stormwater management is provided to the existing Dwelling House and any augmentation of the existing stormwater management will be the subject of further and related Building Work (Development Permit) and/or Plumbing and Drainage Permits.</p>
General requirements – Dwelling house		
<p>PO10 Development minimises the loss of vegetation and habitat connectivity on site and is sited to protect the environmental values of the site.</p>	<p>AO10.1 The elements of development and access to the site are included in a Designated Development Area (DDA).</p>	<p>R10 Performance Solution It is not known whether the site is included in a DDA. Notwithstanding, the development is proposed to be undertaken within an existing cleared area (refer Figure 1 in the Town Planning Report) as confirmed by Council's representative Ms Rebecca Taranto in email correspondence dated 29 June 2022 as follows: <i>'the proposed development does appear to comply with AO18 of the Cape Tribulation and Daintree Coast Local Plan, in that the clearing was lawfully cleared and remains cleared'</i>. Therefore, the proposed Building Work is considered to minimise the loss of vegetation and habitat connectivity on</p>



Performance outcomes	Acceptable outcomes	Applicant response
		site and is sited to protect the environmental values of the site. Development complies with PO10 on this basis.
	<p>AO10.2 Development is sited in an existing cleared area or in an area approved for vegetation clearing.</p> <p>AO10.3 Any new clearing is limited to a maximum area of 700m² and is sited to be clear of the high bank of any watercourse. Note – The 700m² of clearing does not include an access driveway</p>	<p>R10.2 Complies The development is proposed to be undertaken within an existing cleared area (refer Figure 1 in the Town Planning Report) as confirmed by Council's representative Ms Rebecca Taranto in email correspondence dated 29 June 2022 as follows: <i>'the proposed development does appear to comply with AO18 of the Cape Tribulation and Daintree Coast Local Plan, in that the clearing was lawfully cleared and remains cleared'</i>.</p> <p>R10.3 Not Applicable No vegetation clearing is proposed.</p>
<p>PO11 All existing native vegetation on a house site, other than that required and approved to be cleared for the construction of a house and access thereto, is protected to ensure the environmental integrity of the local plan area.</p>	<p>AO11 No acceptable solutions are prescribed.</p>	<p>R11 Performance Solution (no Acceptable Outcome prescribed) Existing vegetation located on the site is proposed to be retained. Development therefore complies with PO11, in that on-site vegetation is protected to ensure the integrity of the local plan area.</p>
<p>PO12 Wildlife movement, fauna habitat and habitat corridors are protected and domestic impacts are minimised.</p>	<p>AO12.1 Fences are limited in extent to the confines of the cleared area around the house and any associated gates are self-closing.</p> <p>AO12.2 External lighting is to be kept to the minimum necessary for orientation, safety and security. Flood lights must not point up, and areas of retained</p>	<p>R12.1 Not Applicable No additional fencing is proposed relevant to the proposed development.</p> <p>R12.2 Not Applicable External lighting (including on the verandah) will be kept to the minimum necessary for orientation, safety and security. Flood lights will not be oriented upwards, and areas of</p>



Performance outcomes	Acceptable outcomes	Applicant response
	vegetation should, in general, not be illuminated. Where appropriate, outdoor lights are controlled by movement detectors and/or timers.	retained vegetation are not proposed to be illuminated.
PO13 House sites have efficient and safe vehicle access and manoeuvring areas on site, and to the site, to an acceptable standard for the local plan area.	AO13.1 Vehicle access is limited to one access per lot and sited in an approved location, clear of any watercourses. AO13.2 Vehicular access is a maximum width of 4 metres, avoids large tree specimens and/or significant vegetation and habitat corridors and is constructed and maintained to a minimum gravel standard of 75mm of road base on a compacted soil surface. AO13.3 Vehicular access is constructed prior to house construction.	R13.1 Complies Vehicle access will be limited to the existing driveway. R13.2 Not Applicable No modification of the existing driveway is proposed and no vegetation is proposed to be cleared. R13.3 Complies Vehicle access to the Dwelling House exists; and was therefore constructed prior to any extensions the subject of any approval of the proposed Building Works.



Performance outcomes	Acceptable outcomes	Applicant response
Additional requirements for Nature based tourism, being Forest stay accommodation		
PO14 Forest stay accommodation provides a local economic opportunity for permanent residents of those parts of the Shire which are isolated and constrained by a lack of urban services and facilities.	AO14 Forest stay accommodation: (a) is confined to: (i) Precinct 2 – Low impact residential precinct; (ii) Precinct 5 – Low impact rural and tourism enterprise precinct; (iii) Precinct 6 – Low impact tourism accommodation precinct. (b) does not occur above the 60 metre contour; (c) is located on lots of 10 hectares or greater.	R14 Not Applicable
PO15 Forest stay accommodation remains ancillary to the primary residential use and the natural values of the land and the use is compatible with the character and amenity of the locality.	AO15.1 The maximum number of guests is 10 (10 bed spaces) with up to a maximum of 4 staff (4 bed spaces); Note – Staff includes permanent residents of the dwelling house involved in catering for the use. AO15.2 None of the accommodation, whether for guests or staff, is self-contained as the use operates only in association with an existing dwelling on the site. AO15.3 Forest stay accommodation is located on a site which has an existing cleared area. AO15.4 The natural values of the balance area of the site are protected and enhanced with organised tours being conducted for visiting guests.	R15 Not Applicable



Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO15.5 If forest stay accommodation is provided in buildings which are separate from the dwelling:</p> <p>(a) the maximum number of separate building/s is determined based on each building containing a minimum of 2 bed spaces each, provided that each building has a maximum area of 50m² (inclusive of verandahs/patios etc.);</p> <p>or</p> <p>(b) a maximum of one communal bunkhouse is provided with a maximum area of 150m² to accommodate 10 guests (10 bed spaces) (inclusive of verandahs/patios etc.);</p> <p>or</p> <p>(c) a maximum of two communal bunkhouses are provided with a maximum area of 150m² each to accommodate a maximum of 20 guests (20 bed spaces) (inclusive of verandahs/patios etc).</p> <p>AO15.6 No kitchen or cooking facilities, with the exception of those located within the existing dwelling on the site are provided in association with the forest stay accommodation.</p>	
<p>PO16 Development ensures guests are accommodated for short-stay and the dwelling is not the usual residence of the guest.</p>	<p>AO16 Development involves guests staying a maximum of 14 consecutive nights.</p>	R16 Not Applicable
<p>PO17 Development ensures that effluent disposal and treatment minimise odour and impacts on the natural environment.</p>	<p>AO17 Development provides an on-site effluent treatment system that is adequately sized to effectively treat effluent from the dwelling house and any additional persons occupying the premises as guests.</p>	R17 Not Applicable



Performance outcomes	Acceptable outcomes	Applicant response
Additional requirements for Precinct 1 – Conservation precinct		
<p>PO18 The biodiversity value of the area and the habitat of endemic species is protected on land included in the Rainforest Conservation precinct.</p>	<p>AO18 No new development occurs whether on undeveloped or developed land except for:</p> <p>Undeveloped land that meets one or more of the following criteria:</p> <p>Land which has been previously been lawfully cleared and currently remains cleared;</p> <p>(a) Land which is the subject of a current Clearing Permit, but has yet to be cleared;</p> <p>(b) Land which is subject of a current Operational Works Permit,</p> <p>can be developed for a house subject to compliance with all relevant codes.</p> <p>In addition, minor extensions can be undertaken to an existing development, provided:</p> <p>(a) The extensions are limited to 30% of the existing gross floor area of the house at the commencement date of the planning scheme.</p> <p>or</p> <p>(b) The extent of extensions are determined on a site specific/use specific basis for other land uses,</p> <p>and</p> <p>(c) No further clearing is required to accommodate the extensions for either a house or any other land use development.</p>	<p>R18 Complies The development is proposed to be undertaken within an existing cleared area (refer Figure 1 in the Town Planning Report) as confirmed by Council's representative Ms Rebecca Taranto in email correspondence dated 29 June 2022 as follows: <i>'the proposed development does appear to comply with AO18 of the Cape Tribulation and Daintree Coast Local Plan, in that the clearing was lawfully cleared and remains cleared'</i>.</p> <p>Further, the proposed Building Works constitute extensions that represent no more than 30% of the existing Gross Floor Area (GFA).</p>



Performance outcomes	Acceptable outcomes	Applicant response
Additional requirements for Precinct 2– Low impact residential precinct		
PO19 Development is for; <ul style="list-style-type: none"> (a) a detached dwelling of limited size and scale and necessary outbuildings and infrastructure; (b) home occupations, including bed and breakfast accommodation, where it can be demonstrated that the bed and breakfast accommodation can establish on the site and not detrimentally impact on the scenic values of the site and surrounding areas; (c) Nature based tourism, being Forest stay accommodation where in compliance with other requirements contained within this code. 	AO19.1 Development is limited to one dwelling house per lot. AO19.2 Establishment of bed and breakfast accommodation only occurs on land on which a dwelling house has been approved and constructed. AO19.3 Bed and breakfast accommodation is limited to cleared areas on the land; or AO19.4 Bed and breakfast accommodation is established within an existing house, where there is no additional vegetation clearing required to accommodate the use; AO19.5 Bed and breakfast accommodation occurs on a site with a minimum area of 1 hectare, and thereafter occurs at a rate of 1 bedroom (2 beds) per hectare, up to a maximum of 4 bedrooms (8) beds per site. AO19.6 Development is setback a minimum of 100 metres to an Esplanade or a foreshore frontage.	R19 Not Applicable
Additional requirements for Precinct 3 – Low impact commercial precinct		
PO20 Commercial development is located in a convenient location and meets the requirements of the local community and visitors to the area.	AO20 Commercial development is located within Precinct 3 and has frontage to Cape Tribulation Road.	R20 Not Applicable

Performance outcomes	Acceptable outcomes	Applicant response
PO21 Development is small scale and provides a necessary service to the surrounding community.	AO21 No acceptable outcomes are prescribed.	R21 Not Applicable
PO22 Development is carried out in accordance with a site-specific, and development specific Environmental Management Plan. Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.	AO22 No acceptable outcomes are prescribed.	R22 Not Applicable
Additional requirements for Precinct 4 – Low impact community purpose precinct		
PO23 Development results in a small scale expansion of an existing use which provides a necessary service to the surrounding community; or Development results in a new community use or public purpose use for which there is an identified need within the surrounding community.	AO23 No acceptable outcomes are prescribed.	R23 Not Applicable
PO24 Development is carried out in accordance with a site specific and development specific Environmental Management Plan. Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.	AO24 No acceptable outcomes are prescribed.	R24 Not Applicable



Performance outcomes	Acceptable outcomes	Applicant response
Additional requirements for Precinct 5 – Low impact rural production and tourism enterprise precinct		
PO25 Development complements, protects and enhances the environmental and scenic values of the site.	AO25.1 One dwelling house establishes per lot. AO25.2 Any other development is limited to existing cleared areas on the site. AO25.3 No development is to occur above the 60 metre contour line. AO25.4 Any new primary production activity or a change to a primary production activity has minimal impact on the existing natural values of the site and surrounding area.	R25 Not Applicable
PO26 Large cleared or partially cleared sites are revegetated and rehabilitated in association with suitably small scale environmentally sustainable development.	AO26 The balance area of the development, including any existing area/s not identified for development is/are revegetated / rehabilitated in accordance with a landscape plan.	R26 Not Applicable
PO27 Development is carried out in accordance with a site specific and development specific Environmental Management Plan. Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.	AO27 No acceptable outcomes are prescribed.	R27 Not Applicable



Performance outcomes	Acceptable outcomes	Applicant response
Additional requirements for Precinct 6 – Low impact tourist accommodation precinct		
PO28 Development complements, protects and enhances the environmental and scenic values of the site.	AO28.1 One dwelling house establishes per lot. AO28.2 Any other development is limited to existing cleared areas on the site. AO28.3 No development is to occur above the 60 metre contour line.	R28 Not Applicable
PO29 Development results in a small scale expansion of existing tourist accommodation and any associated activities, based on the appreciation of the natural environment.	AO29 No acceptable outcomes are prescribed.	R29 Not Applicable
PO30 Development is carried out in accordance with a site specific and development specific Environmental Management Plan. Note – Planning scheme policy – Environmental management plans SC6.4 provides further guidance on meeting the performance outcome.	AO30 No acceptable outcomes are prescribed.	R30 Not Applicable