

10/10/2023

The Chief Executive Officer  
Douglas Shire Council  
PO Box 723  
Mossman QLD 4873

Dear Sir/Madam,

**Minor Change application for a Dwelling, Swimming Pool and Swimming Pool Fence located at 24 Murphy Street, Port Douglas QLD 4877 (1 PTD2095)**

Please find minor change application and report for a proposed Dwelling, Swimming Pool and Swimming Pool Fence located at 24 Murphy Street, Port Douglas QLD 4877 (Lot1 PTD2095)

The subject property is located within the Environmental Management Zone under the Douglas Shire Planning Scheme 2018 and this minor change application is in relation to the Decision Notice BW 2023\_5481/1 dated 3 August 2023.

If you have any queries or require any additional information, please do not hesitate to contact Michael Kunze on 07 4222 9888

Yours faithfully,



**Michael Kunze**  
**The Building Approval Company**

10/10/2023

The Chief Executive Officer  
Douglas Shire Council  
PO Box 723  
Mossman QLD 4873

Attn: The Manager of Strategic Planning and Approvals

**RE: CHANGE APPLICATION (MINOR CHANGE) UNDER S83 PLANNING ACT 2016**

**Development Application: BW 2023\_5481/1**

**Property Address: 24 Murphy Street, Port Douglas**

**Property Description: Lot1 PTD2095**

**Application Proposal: Proposed amended design and setback to approved plans.**

The Building Approval Company on behalf of Angel Constructions hereby seek approval for a Minor Change to Development Approval BW 2023\_5481/1 over land at 24 Murphy Street, Port Douglas QLD 4877 (1 PTD2095) in accordance with Section 83 of the Planning Act 2016.

The Approved Plans affected by this Minor Change are as follows.

Drawing or Document	Reference	Date
Approved Plans	Pages 5/21-12/21	3 August 2023

The Approval Conditions affected by this Minor Change are.

1. Approval Condition 1 – Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-
  - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
  - b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval.

This Minor Change is considered to be compliant with the requirements of **Schedule 1 of the DA Rules** as this Minor Change:

- does not result in 'substantially different development'.
- does not include prohibited development.
- does not introduce impact assessment where previously code.
- does not introduce new grounds for assessment by a referral agency.
- does not introduce a new or additional referral agency.

Furthermore, this Minor Change is NOT considered to be 'substantially different development' as the Minor Change:

- does not involve a new use.
- does not apply to a new parcel of land.
- does not dramatically change the built form.
- does not change the operation of the development from that intended.
- does not impact on traffic flow or transport networks.
- does not introduce new impacts or increase severity of known impacts.
- does not remove an offset component.
- does not impact on infrastructure provisions.

In support of this Minor Change Application, the following is attached.

- Assessment against Schedule 1 of the DA Rules
- Change Application Form 5
- Amended Plans

Please contact The Building Approval Company should you require further information.

**Regards**  
**Michael Kunze**



The Building Approval Company

# Change application form

**Planning Act Form 5 (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.**

This form is to be used for a change application made under section 78 of the *Planning Act 2016*. It is important when making a change application to be aware of whether the application is for a minor change that will be assessed under section 81 of the *Planning Act 2016* or for an other change that will be assessed under section 82 of the *Planning Act 2016*.

An applicant must complete all parts of this form, and provide any supporting information that the form identifies as being required to accompany the change application, unless stated otherwise. Additional pages may be attached if there is insufficient space on the form to complete any part.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Angel Construction
Contact name (only applicable for companies)	Angela Whittaker
Postal address (P.O. Box or street address)	10/50 Macrossan Street
Suburb	Port Douglas
State	QLD
Postcode	4877
Country	Australia
Email address (non-mandatory)	admin@angelconstruction.com.au
Mobile number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

2) Owner's consent - Is written consent of the owner required for this change application?	
<b>Note:</b> Section 79(1A) of the <i>Planning Act 2016</i> states the requirements in relation to owner's consent.	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this change application	
<input checked="" type="checkbox"/> No	

## PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)				
3.1) Street address and lot on plan				
<input checked="" type="checkbox"/> Street address <b>AND</b> lot on plan (all lots must be listed), <b>or</b>				
<input type="checkbox"/> Street address <b>AND</b> lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).				
a)	Unit No.	Street No.	Street Name and Type	Suburb
		24	Murphy Street	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	1	PTD2095	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb



**Queensland  
Government**



Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

**3.2) Coordinates of premises** (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)  
**Note:** Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

**3.3) Additional premises**

☐ Additional premises are relevant to the original development approval and the details of these premises have been attached in a schedule to this application

☒ Not required

## PART 3 – RESPONSIBLE ENTITY DETAILS

**4) Identify the responsible entity that will be assessing this change application**

**Note:** see section 78(3) of the Planning Act 2016

Douglas Shire Council

## PART 4 – CHANGE DETAILS

**5) Provide details of the existing development approval subject to this change application**

Approval type	Reference number	Date issued	Assessment manager/approval entity
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval	BW 2023_5481/1	03/08/2023	Douglas Shire Council
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			

**6) Type of change proposed**

**6.1) Provide a brief description of the changes proposed to the development approval (e.g. changing a development approval for a five unit apartment building to provide for a six unit apartment building):**

Change to design including new carport, pool area and house extensions.

**6.2) What type of change does this application propose?**

☒ Minor change application – proceed to Part 5

☐ Other change application – proceed to Part 6

## PART 5 – MINOR CHANGE APPLICATION REQUIREMENTS

### 7) Are there any affected entities for this change application

☒ No – proceed to Part 7

☐ Yes – list all affected entities below and proceed to Part 7

**Note:** section 80(1) of the Planning Act 2016 states that the person making the change application must give notice of the proposal and the details of the change to each affected entity as identified in section 80(2) of the Planning Act 2016.

Affected entity	Pre-request response provided? (where a pre-request response notice for the application has been given, a copy of the notice must accompany this change application)	Date notice given (where no pre-request response provided)
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	

## PART 6 – OTHER CHANGE APPLICATION REQUIREMENTS

**Note:** To complete this part it will be necessary for you to complete parts of DA Form 1 – Development application details and in some instances parts of DA Form 2 – Building work details, as mentioned below. These forms are available at <https://planning.dsdmip.qld.gov.au>.

### 8) Location details - Are there any additional premises included in this change application that were not part of the original development approval?

☐ No

☐ Yes

### 9) Development details

#### 9.1) Is there any change to the type of development, approval type, or level of assessment in this change application?

☐ No

☐ Yes – the completed Sections 1 and 2 of Part 3 (Development details) of DA Form 1 – Development application details as these sections relate to the new or changed aspects of development are provided with this application.

#### 9.2) Does the change application involve building work?

☐ No

☐ Yes – the completed Part 5 (Building work details) of DA Form 2 – Building work details as it relates to the change application is provided with this application.

### 10) Referral details – Does the change application require referral for any referral requirements?

**Note:** The application must be referred to each referral agency triggered by the change application as if the change application was the original development application including the proposed change.

☐ No

☐ Yes – the completed Part 5 (Referral details) of DA Form 1 – Development application details as it relates to the change application is provided with this application. Where referral is required for matters relating to building work the [Referral checklist for building work](#) is also completed.

### 11) Information request under Part 3 of the DA Rules

☐ I agree to receive an information request if determined necessary for this change application

☐ I do not agree to accept an information request for this change application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this change application will be assessed and decided based on the information provided when making this change application and the assessment manager and any referral agencies relevant to the change application are not obligated under the DA Rules to accept any additional information provided by the applicant for the change application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide: Forms 1 and 2](#).

## 12) Further details

☐ Part 7 of *DA Form 1 – Development application details* is completed as if the change application was a development application and is provided with this application.

# PART 7 – CHECKLIST AND APPLICANT DECLARATION

## 13) Change application checklist

I have identified the:

- responsible entity in 4); and
- for a minor change, any affected entities; and
- for an other change all relevant referral requirement(s) in 10)

☒ Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

For an other change application, the relevant sections of [DA Form 1 – Development application details](#) have been completed and is attached to this application

☐ Yes

☒ Not applicable

For an other change application, where building work is associated with the change application, the relevant sections of [DA Form 2 – Building work details](#) have been completed and is attached to this application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is attached to this application

**Note:** This includes any templates provided under 23.6 and 23.7 of *DA Form 1 – Development application details* that are relevant as a result of the change application, a planning report and any technical reports required by the relevant categorising instrument(s) (e.g. the local government planning scheme, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning report template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all relevant aspects of this change application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

## 14) Applicant declaration

☒ By making this change application, I declare that all information in this change application is true and correct.

☐ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the responsible entity and any relevant affected entity or referral agency for the change application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*.

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the responsible entity and/or chosen assessment manager, any relevant affected entity or referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the change application.

All information relating to this change application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 8 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	Dwelling, Swimming Pool and Swimming Pool Fence		
QLeave project number	S339429		
Amount paid (\$)	\$5,289.00	Date paid (dd/mm/yy)	16/05/2023
Date receipted form sighted by assessment manager	12/07/2023		
Name of officer who sighted the form	Michael Kunze		

TAMASINE DALE - 24 MURPHY ST



DRAWING REGISTER		
SHEET	TITLE	REV
B1	WINDOWS	
B2	POLES	
C01	TITLE PAGE, GENERAL NOTES & LEGEND	
C02	SITE	
C03	GROUND FLOOR	
C04	FIRST & SECOND FLOOR	
C05	ELEVATIONS	
C06 A	SECTIONS	
C06 B	SECTIONS	
C07 A	GROUND FLOOR (ELECTRICAL)	
C07 B	FIRST & SECOND FLOOR (ELECTRICAL)	
C08 A	GROUND FLOOR (TILE)	
C08 B	FIRST & SECOND FLOOR (TILE)	
C09 A	RENDERS	

**GENERAL:**  
**Poles:**  
Turpentine poles F17 with 250 dia min. at first floor level  
**Stud Walls:**  
100x50 studs at 450 $\phi$ . Studs over 3600 long max  $\phi$  to be 300.  
100x50 top and bottom plates spiked to joists and purlins with 2x75x3.15 nails.  
100x75 studs to sides of all openings.  
100x100 lintels to all openings.  
Double joists under walls.  
All internal sheeting to walls to be flushed 'villa boards'  
All external cladding to be weatherboard.  
All ceiling to ve vee jointed pinus fixed directly to purlins.  
Trim between purlins as required for top plate fixings.  
Noggings @ 1/3 pts to all stud walls > 3000  
Noggings @ hip height to all stud walls < 3000  
**Washers to bolts**  
M10 + M12 Bolts ----- 50SQ x 3PL  
M20 Bolts ----- 65SQ x 5PL  
M24 Bolts ----- 75SQ x 6PL  
**Roofing**  
Trimdek hiten fixed in accordance with manufacturers spec. for ter. Cat. 2.  
125x50 purlins F17 at spacings as shown in roof plan.  
Found poles in sound natural ground.

**Drawing terms**  
Drawing dimensinos are to be checked and confirmed onsite by builder.  
Furniture and display items within plans and renders are for drawing purposes and not to be included in tendering documentation unless noted on plan.  
Artistic drawing and renders are for visual representation only and may not be the exact finish, colour, item,pattern or material to be used. Always consult building specifications for exact finish, colour, item or material.

LEGEND -

	L01	LINTEL NUMBER
	D01	DOOR NUMBER
	W01	WINDOW NUMBER
	A 04	SECTION MARKER
	03 N VIEW DIRECTION SHEET REFERENCE	ELEVATION KEY
	01 PC SHEET REFERENCE	DETAIL CALLOUT
	LOUNGE 2800 PB CT	ROOM NAME CEILING HEIGHT CEILING MATERIAL FLOOR FINISH
	RL 00.000	REDUCED LEVEL
	100	SLAB SETDOWN
	FALL .	SLAB FALL
	-100-	SLAB THICKNESS

@	ACCORD.	AT
AL	SELECT ALUCOBOND FINISH	ACCORDING
AS	AUSTRALIAN STANDARD CODES	SELECT ALUCOBOND FINISH
B	BENCHTOP	AUSTRALIAN STANDARD CODES
BFC	BROOM FINISH CONCRETE	BENCHTOP
CMB	CONCRETE MASONRY BLOCK	BROOM FINISH CONCRETE
CONC	CONCRETE	CONCRETE MASONRY BLOCK
COS	CONFIRM ON SITE	CONCRETE
CPT	SELECT CARPET	CONFIRM ON SITE
CPD	CUPBOARD	SELECT CARPET
CRS	CENTRES	CUPBOARD
CS	CAVITY SLIDER	CENTRES
CSK	COUNTERSUNK	CAVITY SLIDER
CT	SELECT CERAMIC TILE	COUNTERSUNK
CKT	COOKTOP	SELECT CERAMIC TILE
CFW	CONTINUOUS FILLET WELD	COOKTOP
DIA.	DIAMETER	CONTINUOUS FILLET WELD
DPC	DAMP PROOF COURSE	DIAMETER
DK	DECKING	DAMP PROOF COURSE
DW	DISHWASHER	DECKING
D.P	DOWN PIPE	DISHWASHER
EA	EQUAL ANGLE	DOWN PIPE
EJ	EXPANSION JOINT	EQUAL ANGLE
FC	FIBRE-CEMENT	EXPANSION JOINT
FFL	FINISHED FLOOR LEVEL	FIBRE-CEMENT
FH	FLAT HEAD NAILS	FINISHED FLOOR LEVEL
g	GAUGE (BOLTS, SCREWS)	FLAT HEAD NAILS
GAL	GALVANIZING	GAUGE (BOLTS, SCREWS)
GB	SELECT GLASS BALUSTRADE	GALVANIZING
HH	HEAD HEIGHT	SELECT GLASS BALUSTRADE
HEX.	HEXAGONAL HEAD (BOLT)	HEAD HEIGHT
HR	SELECT SS HANDRAIL	HEXAGONAL HEAD (BOLT)
HT	HEIGHT	SELECT SS HANDRAIL
HWD	HARDWOOD	HEIGHT
HWS	HOT WATER SYSTEM	HARDWOOD
LOSP	LIGHT ORGANIC SOLVENT PRESERVATIVE	HOT WATER SYSTEM
MM	MILLIMETRES	LIGHT ORGANIC SOLVENT PRESERVATIVE
MANUF.	MANUFACTURER	MILLIMETRES
MAX.	MAXIMUM	MANUFACTURER
MIN.	MINIMUM	MAXIMUM
MGP	MACHINE GRADED PINE	MINIMUM
MIC	MICROWAVE OVEN	MACHINE GRADED PINE
MS	MILD STEEL	MICROWAVE OVEN
NCH	NICHE	MILD STEEL
NCC	NATIONAL CONSTRUCTION CODE	NICHE
NGL	NATURAL GROUND LEVEL	NATIONAL CONSTRUCTION CODE
OFC	OFF-FORM CONCRETE FINISH	NATURAL GROUND LEVEL
OG	OBSCURE GLASS	OFF-FORM CONCRETE FINISH
OHC	OVERHEAD CUPBOARD	OBSCURE GLASS
PB	PLASTERBOARD LINING	OVERHEAD CUPBOARD
PC	POLISHED CONCRETE	PLASTERBOARD LINING
PF	SELECT 1200H POOL FENCE	POLISHED CONCRETE
PL	PLATE	SELECT 1200H POOL FENCE
PVC	POLYVINYL CHLORIDE	PLATE
REINF	REINFORCING	POLYVINYL CHLORIDE
RGH	ROUGHER HEADER H3 TREATED PINE	REINFORCING
RHS	RECTANGULAR HOLLOW SECTION	ROUGHER HEADER H3 TREATED PINE
SCJ	SAW CUT JOINT	RECTANGULAR HOLLOW SECTION
SFL	STRUCTURAL FLOOR LEVEL	SAW CUT JOINT
SHS	SQUARE HOLLOW SECTION	STRUCTURAL FLOOR LEVEL
SLC	SELECT HWD SHIPLAPPED CLADDING	SQUARE HOLLOW SECTION
SS	STAINLESS STEEL	SELECT HWD SHIPLAPPED CLADDING
ST	SELECT TILES	STAINLESS STEEL
SW	STONE WALL	SELECT TILES
SPEC	SPECIFICATION	STONE WALL
SHS	SQUARE HOLLOW SECTION	SPECIFICATION
TBR	SELECT TIMBER LAMINATE FLOORING	SQUARE HOLLOW SECTION
TC	SELECT TIMBER CEILING	SELECT TIMBER LAMINATE FLOORING
TOW	TOP OF WALL	SELECT TIMBER CEILING
UA	UNEQUAL ANGLE	TOP OF WALL
UNO	UNLESS NOTED OTHERWISE	UNEQUAL ANGLE

Angel Construction  
PO Box 303 Port Douglas 4877 Qld Australia  
  
Ph: 07 4099 4516  
www.angelconstruction.com.au  
designs@angelconstruction.com.au  
  
Over 25 years of Construction Experience  
  
© All designs are protected by copyright Act 1968  
Angel Construction QBCC LIC NO. 15128072  
licenced builders



CERTIFIED AS  
STRUCTURALLY ADEQUATE

CERTIFIED BY THE BUILDING  
APPROVAL COMPANY

PLAN ISSUE: 21/09/2023 2:10:46 PM

ISSUED FOR CONSTRUCTION

PROJECT: NEW DALE RESIDENCE  
PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS, 4877

SHEET: TITLE PAGE, GENERAL NOTES & LEGEND SCALE AS SHOWN @ A3

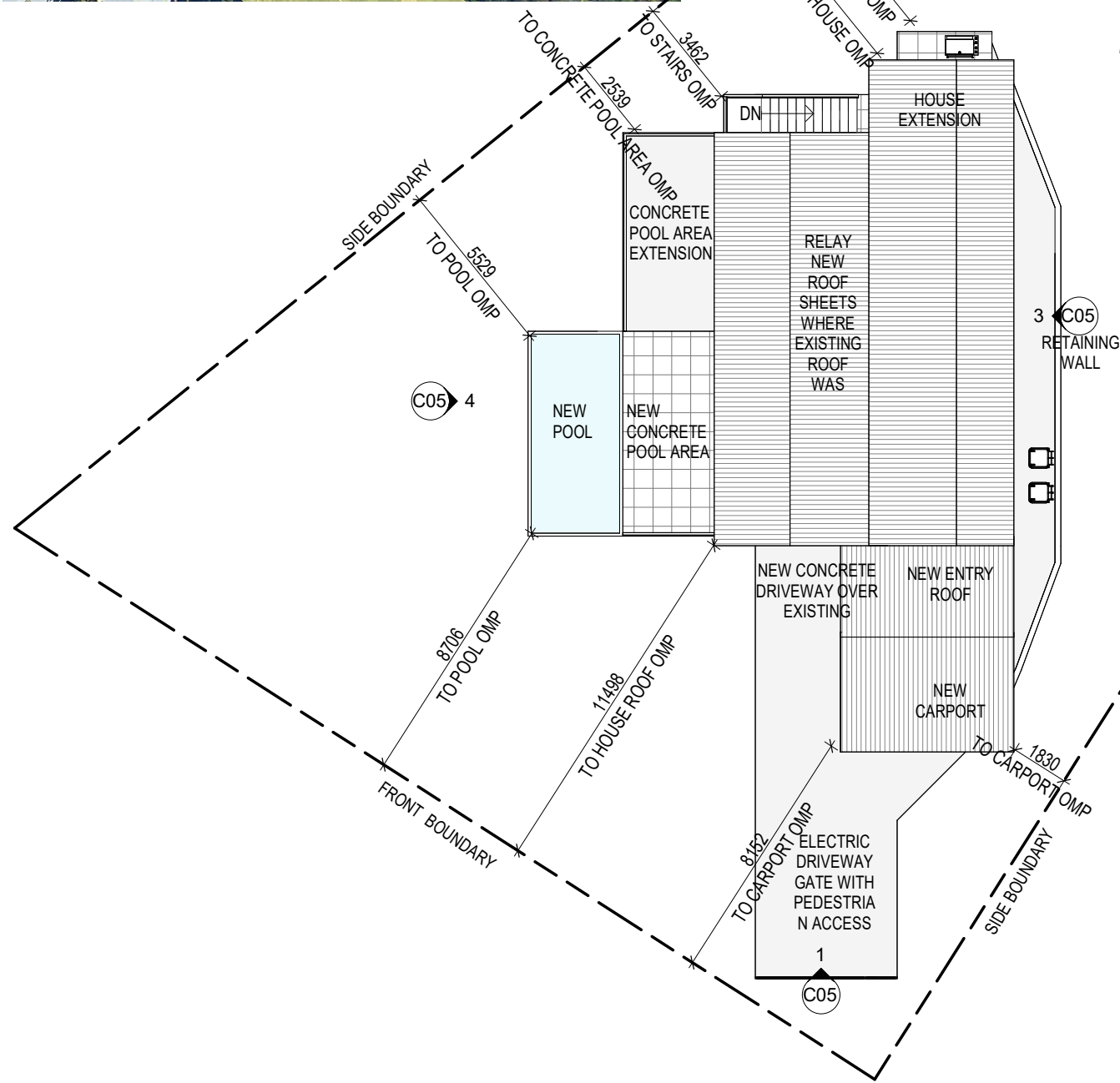
DESIGNED BY: ANGEL CONSTRUCTION

DRAWN BY: JAYDEN CHADWICK

PROJECT NUMBER: 281122

SHEET: C01 REV: C





LOT 1  
PTD2095  
1275m<sup>2</sup>

#### SITE INFORMATION -

BUILDING CLASS: 1A

WIND CLASSIFICATION: C2

SOIL CLASSIFICATION: S

#### AREA KEY - SITE COVERAGE

SITE AREA	1275m <sup>2</sup>
GF INTERNAL	15m <sup>2</sup>
GF EXTERNAL	64m <sup>2</sup>
FF INTERNAL	66m <sup>2</sup>
FF EXTERNAL	14m <sup>2</sup>
SF INTERNAL	30m <sup>2</sup>
SF EXTERNAL	4m <sup>2</sup>
GFA	79m <sup>2</sup>
COVERAGE %	6.2%

## SUSTAINABILITY REPORT BERS INFORMATION

#### BERS INFORMATION (BUILDING ENERGY RATING SCHEME)

RESIDENTIAL HOME MUST MEET 6 STAR MINIMUM AS PER NCC SECTION

EXTERNAL WALLS: FC CLADDING

INTERNAL WALLS: TIMBER

FLOORS: TIMBER DECKING BOARDS / SLATE TILES TO WET AREAS / CRAZY

PAVING OVER CONCRETE SLAB ON GROUND FLOOR UNDER COVER

ROOFING: TRIMDECK COLORBOND ULTRA

WINDOWS: DECOWOOD ALUMINUM

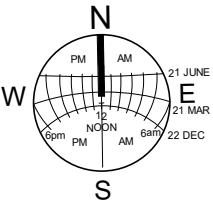
CEILING FANS: TIMBER


LIGHTING/ELECTRICAL: SEE ATTACHED PLAN

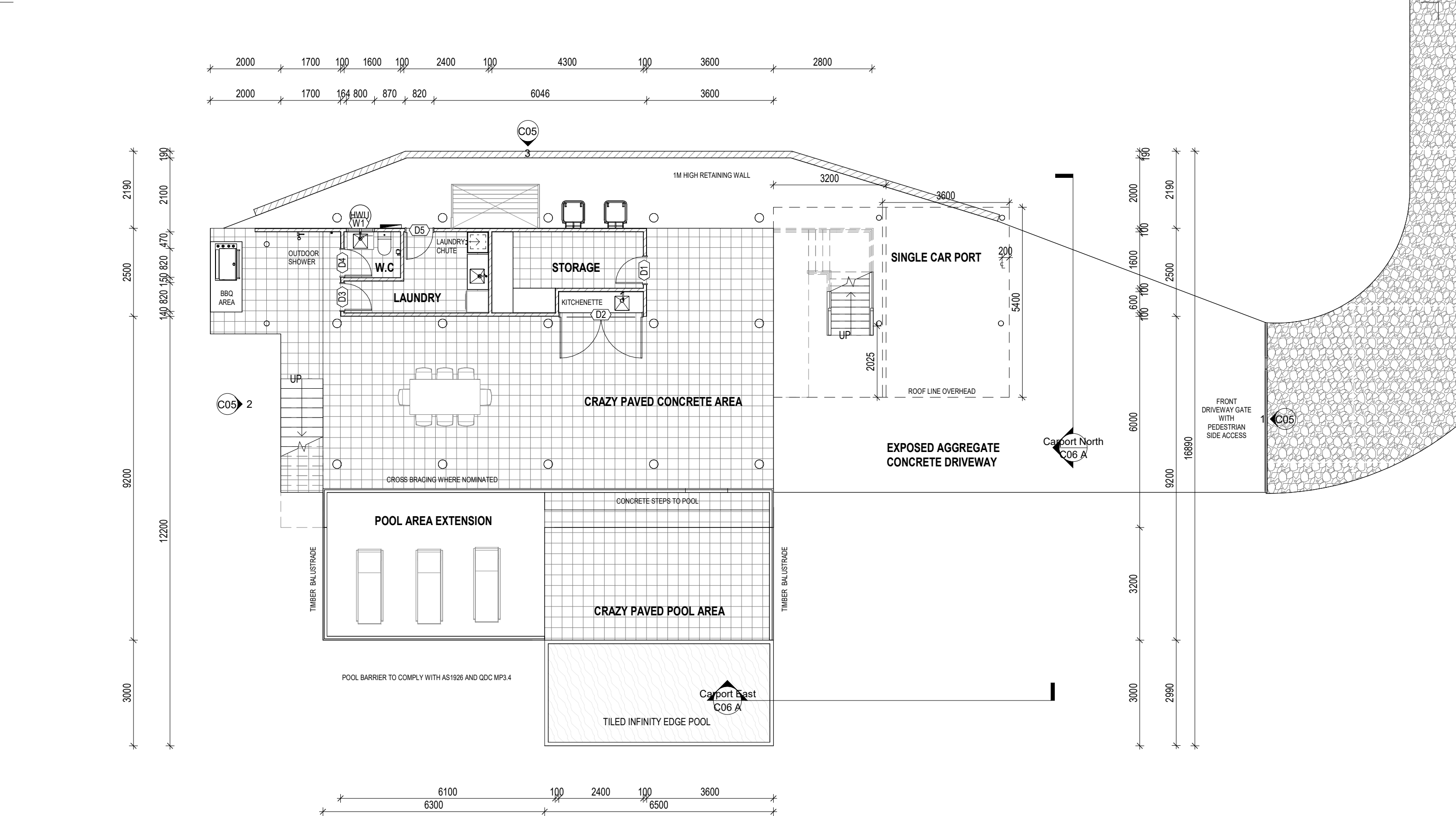
#### LEGEND - SOIL CLASSIFICATION

CLASS	FOUNDATION
A	MOST SAND AND ROCK SITES WITH LITTLE OR NO GROUND MOVEMENT FROM MOISTURE CHANGES
S	SLIGHTLY REACTIVE CLAY SITES WITH ONLY SLIGHT GROUND MOVEMENT FROM MOISTURE CHANGES
M	MODERATELY REACTIVE CLAY OR SILT SITES WHICH CAN EXPERIENCE MODERATE GROUND MOVEMENT FROM MOISTURE CHANGES
H	HIGHLY REACTIVE CLAY SITES WHICH CAN EXPERIENCE HIGH GROUND MOVEMENT FROM MOISTURE CHANGES
E	EXTREMELY REACTIVE CLAY SITES WHICH CAN EXPERIENCE EXTREME GROUND MOVEMENT FROM MOISTURE CHANGES
A TO P	FILLED SITES - SEE AS 2870
P	SITES WHICH INCLUDE SOFT SOILS, SUCH AS SOFT CLAY OR SILT OR LOOSE SANDS; LANDSLIP; MINE SUBSIDENCE; COLLAPSING SOILS; SOILS SUBJECT TO EROSION; REACTIVE SITES SUBJECT TO ABNORMAL MOISTURE CONDITIONS OR SITES WHICH CANNOT BE CLASIFIED OTHERWISE

**SITE PLAN**  
1 : 200



<p>Angel Construction PO Box 303 Port Douglas 4877 Qld Australia</p> <p>Ph: 07 4099 4516 www.angelconstruction.com.au designs@angelconstruction.com.au</p> <p>Over 25 years of Construction Experience</p> <p>© All designs are protected by copyright Act 1968 Angel Construction QBCC LIC NO. 15128072 licenced builders</p>	 <p><b>ANGEL</b> CONSTRUCTION QBCC 15128072</p>	<p><b>CERTIFIED AS STRUCTURALLY ADEQUATE</b></p>	<p><b>CERTIFIED BY THE BUILDING APPROVAL COMPANY</b></p>	<p><b>PLAN ISSUE:</b></p> <p><b>ISSUED FOR CONSTRUCTION</b></p>	<p>PROJECT: NEW DALE RESIDENCE PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS, 4877</p> <p>SHEET: SITE DESIGNED BY: ANGEL CONSTRUCTION DRAWN BY: JAYDEN CHADWICK PROJECT NUMBER: 281122</p> <p>SCALE AS SHOWN @ A3 SHEET: <b>C02</b> REV: <b>D</b></p>
--	--	--	--	---	---



GROUND FLOOR PLAN  
1 : 100

Angel Construction  
PO Box 303 Port Douglas 4877 Qld Australia  
Ph: 07 4099 4516  
www.angelconstruction.com.au  
designs@angelconstruction.com.au  
Over 25 years of Construction Experience  
© All designs are protected by copyright Act 1968  
Angel Construction QBCC LIC NO. 15128072  
licenced builders

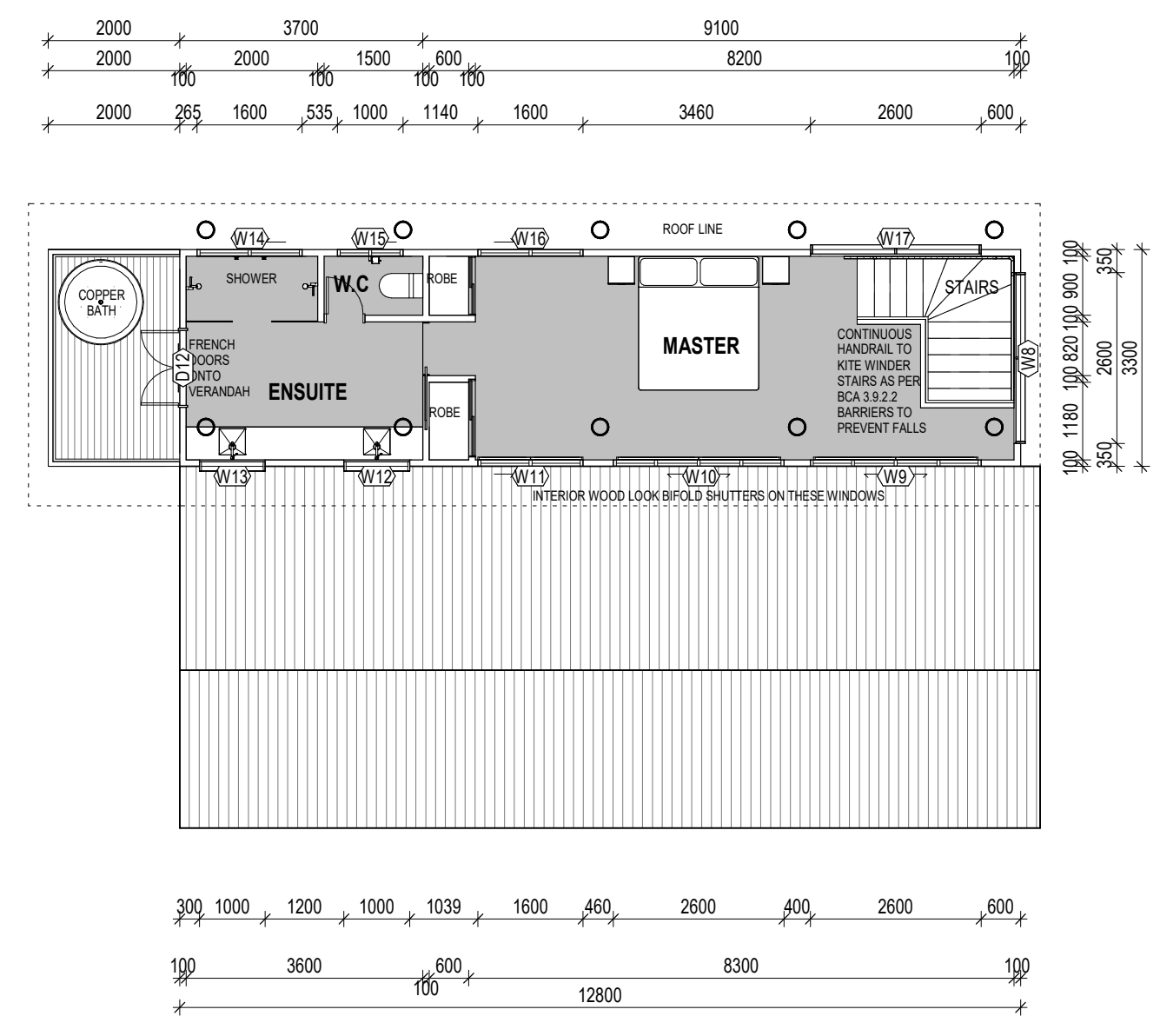
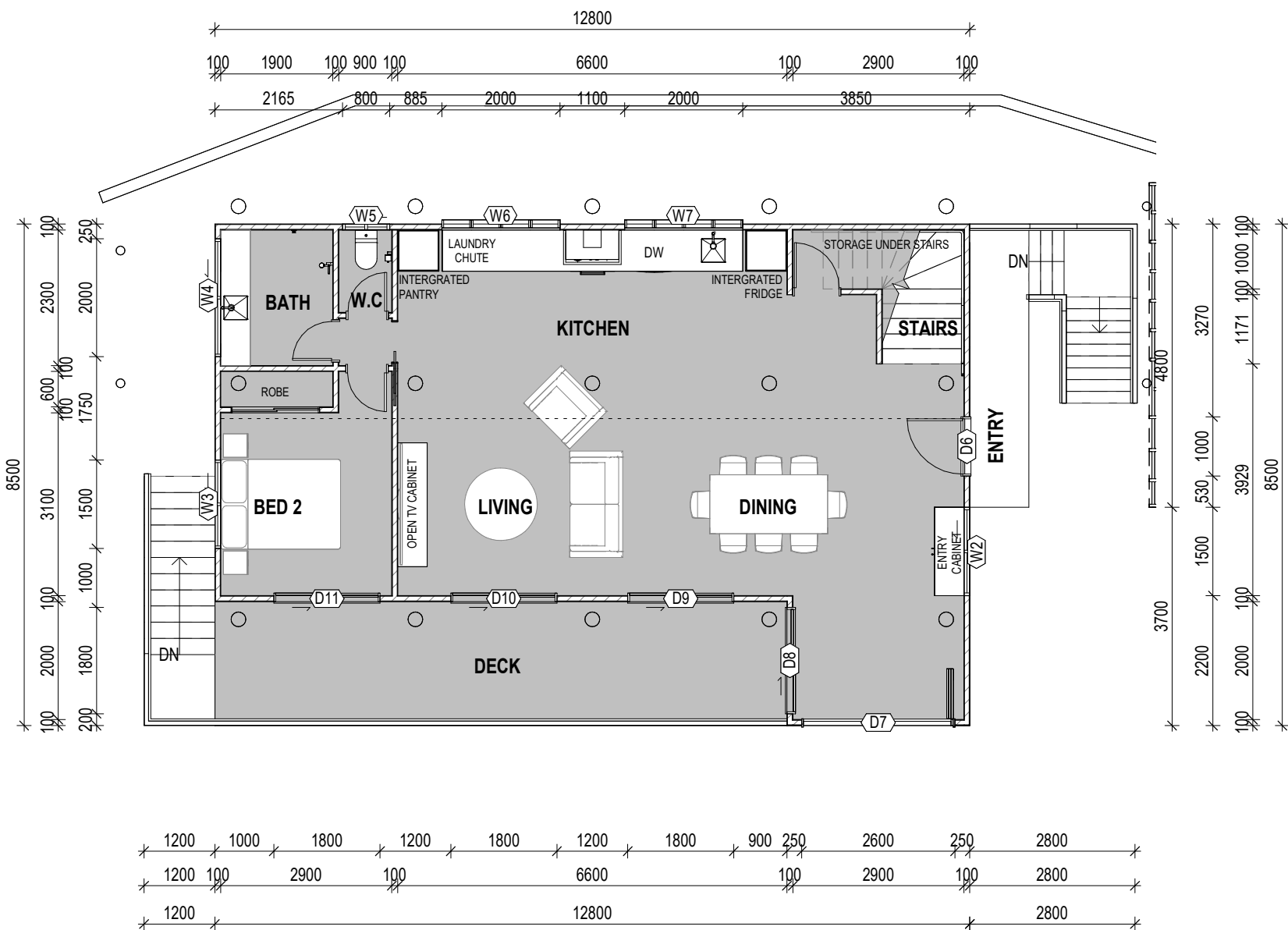


CERTIFIED AS  
STRUCTURALLY ADEQUATE

CERTIFIED BY THE BUILDING  
APPROVAL COMPANY

PLAN ISSUE: 21/09/2023 2:10:47 PM  
ISSUED FOR CONSTRUCTION

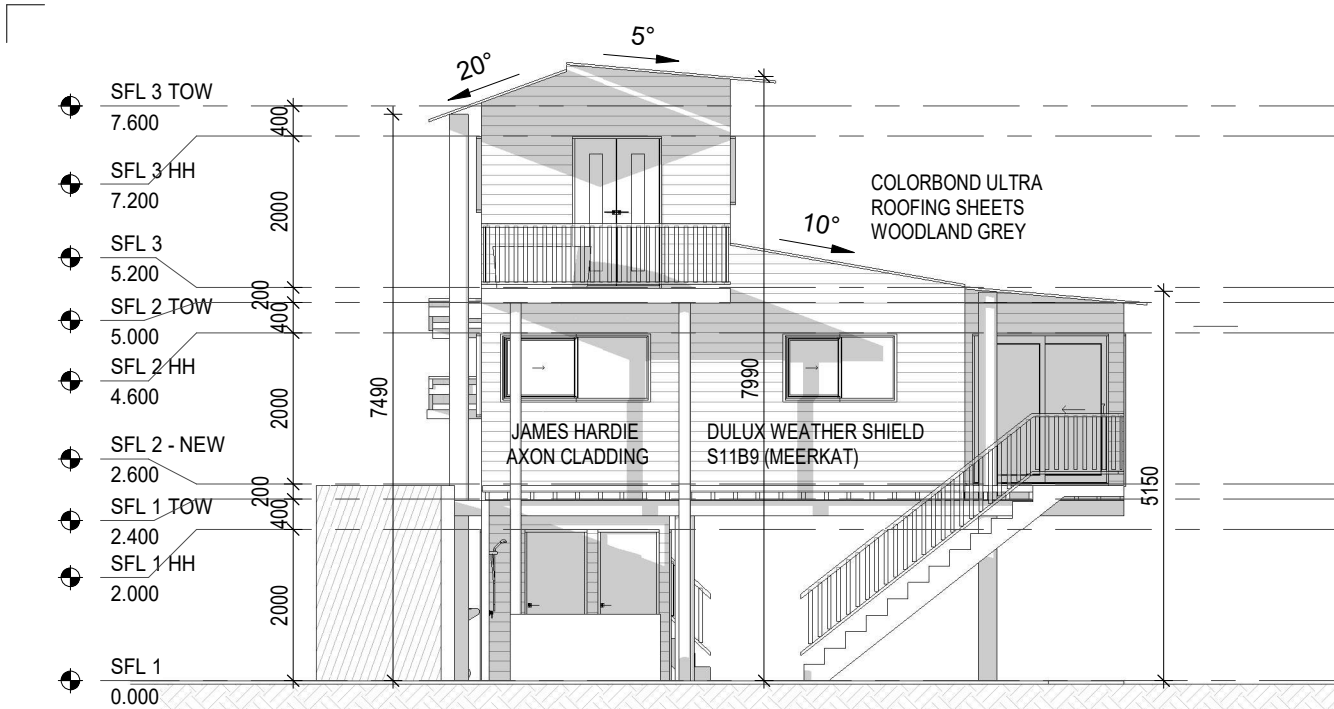
PROJECT: NEW DALE RESIDENCE  
PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS, 4877  
SHEET: GROUND FLOOR  
DESIGNED BY: ANGEL CONSTRUCTION  
DRAWN BY: JAYDEN CHADWICK  
PROJECT NUMBER: 281122  
SCALE AS SHOWN @ A3  
SHEET: **C03** REV: **C**



FIRST FLOOR PLAN  
1 : 100

SECOND FLOOR PLAN  
1 : 100

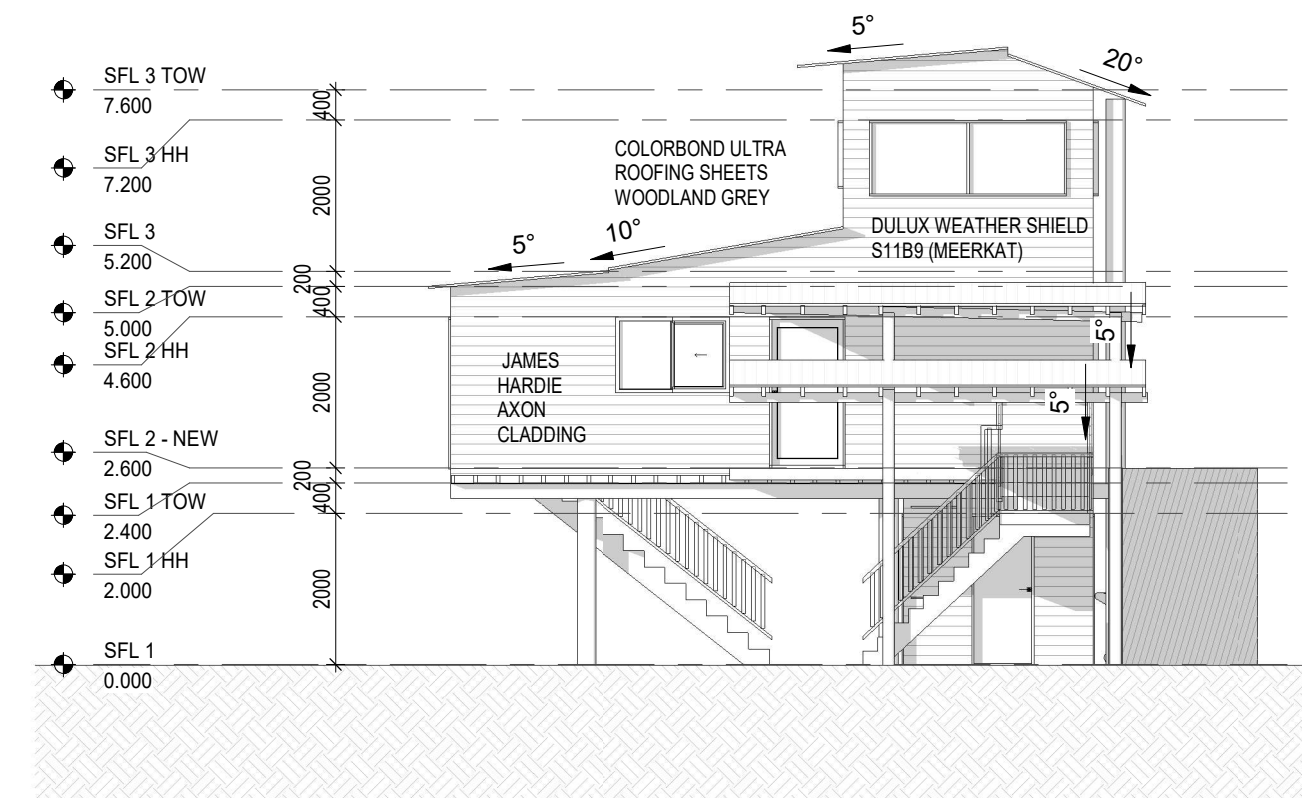




**NORTH**  
1 : 100



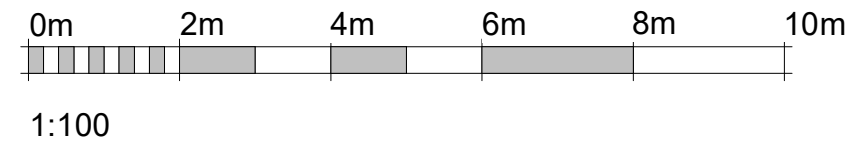
**EAST**  
1 : 100

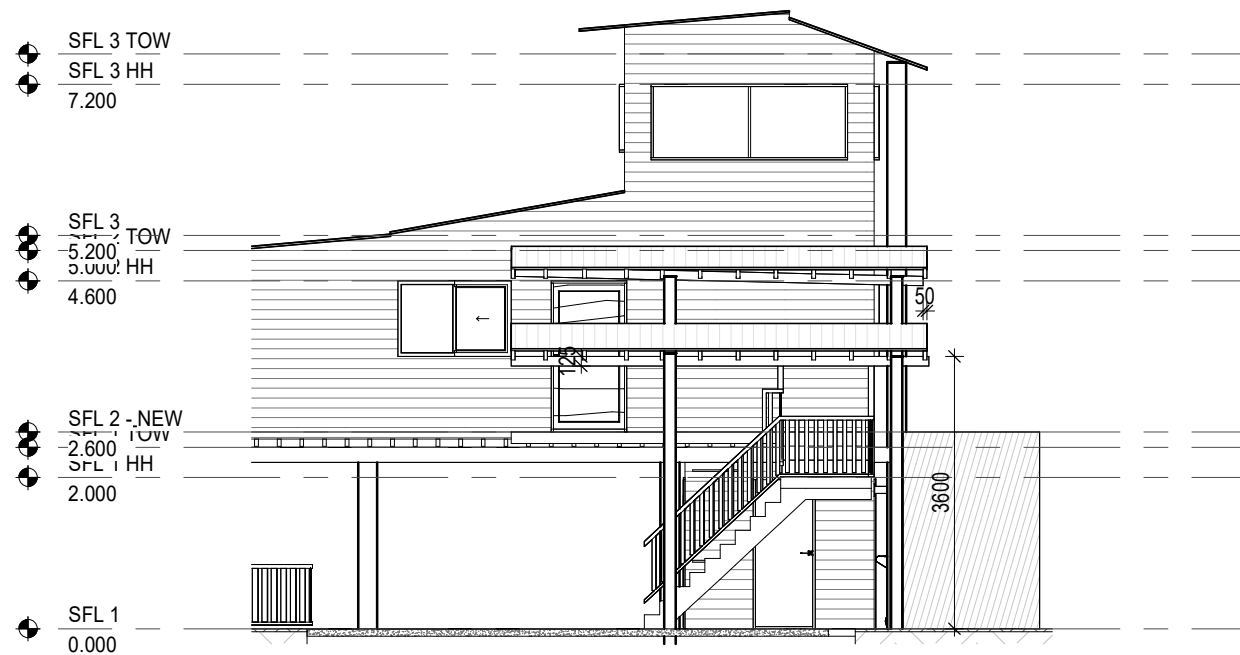


**SOUTH**  
1 : 100

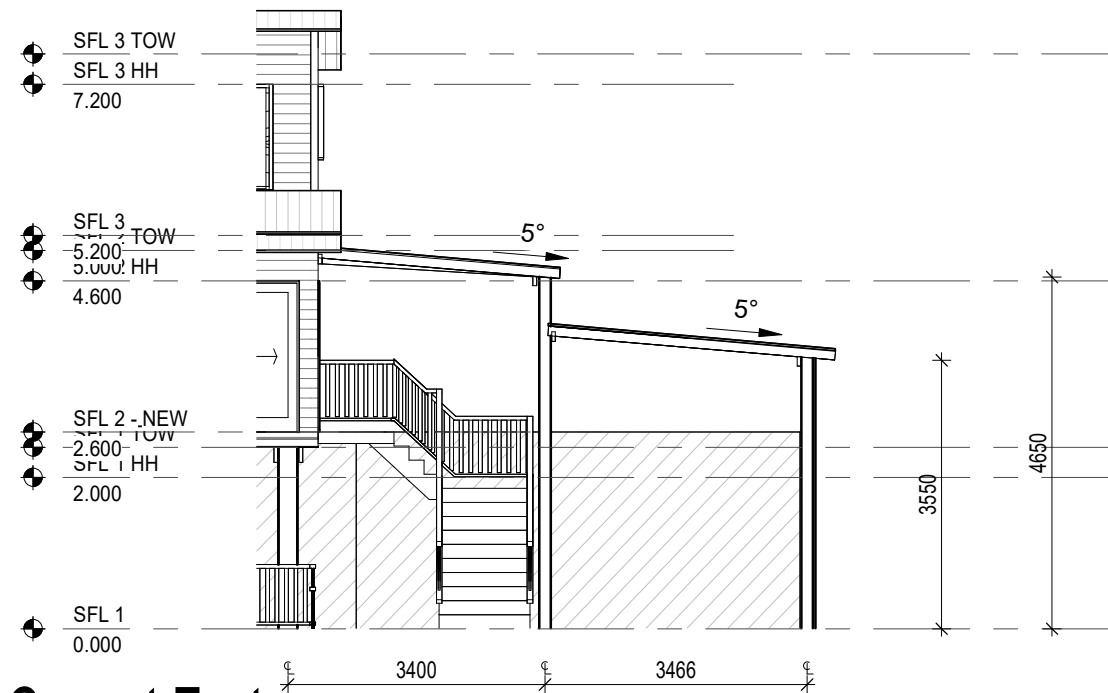


**WEST**  
1 : 100





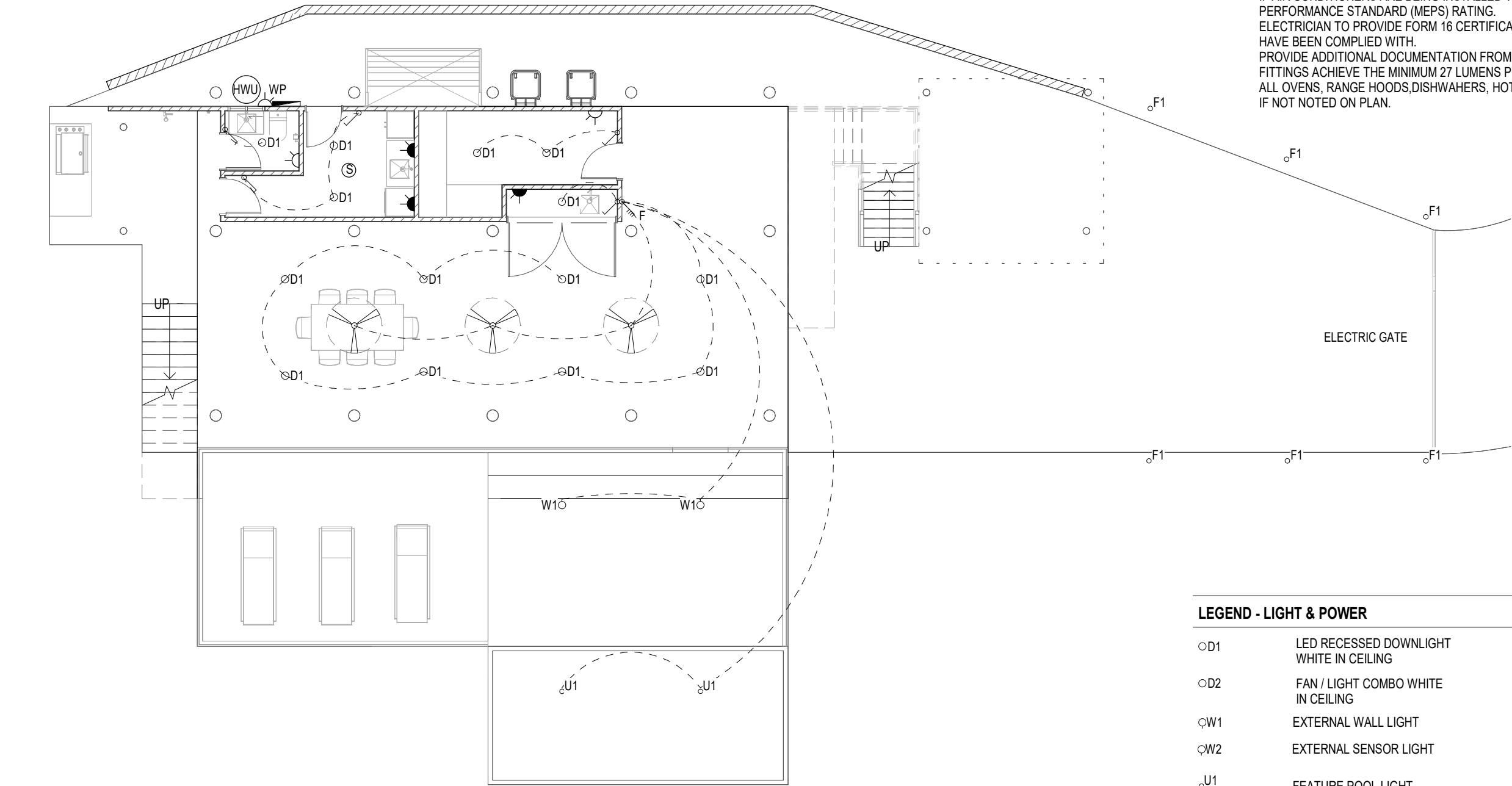
○ Carport North  
1 : 100



○ Carport East  
1 : 100

NOTE :

A MINIMUM 80% OF THE TOTAL FIXED INTERNAL LIGHTING WILL BE FITTED WITH ENERGY EFFICIENT LIGHTING AS DEFINED BY QDC PART MP 4.1 (MIN. 27 LUMENS PER WATT).  
IF AIR CONDITIONERS ARE BEING INSTALLED THEY WILL HAVE A MINIMUM 4-STAR MINIMUM ENERGY PERFORMANCE STANDARD (MEPS) RATING.  
ELECTRICIAN TO PROVIDE FORM 16 CERTIFICATE FOR ALL ABOVE ITEMS THAT HAVE BEEN COMPLIED WITH.  
PROVIDE ADDITIONAL DOCUMENTATION FROM LIGHT MANUFACTURER CONFIRMING THE LIGHT FITTINGS ACHIEVE THE MINIMUM 27 LUMENS PER WATT.  
ALL OVENS, RANGE HOODS, DISHWASHERS, HOT WATER SYSTEMS TO HAVE POWER SUPPLIED AS REQ IF NOT NOTED ON PLAN.



LEGEND - LIGHT & POWER

○D1	LED RECESSED DOWNLIGHT WHITE IN CEILING	⏏	DOUBLE 10A GPO AT 300 HEIGHT ABOVE FFL UNO
○D2	FAN / LIGHT COMBO WHITE IN CEILING	⏏	DOUBLE 10A GPO AT 1100 HEIGHT ABOVE FFL UNO
○W1	EXTERNAL WALL LIGHT	⏏WP	DOUBLE 10A GPO WEATHERPROOF AT 300 HEIGHT ABOVE FFL
○W2	EXTERNAL SENSOR LIGHT	⏏CT	COOKER POINT POWER SUPPLY
○U1	FEATURE POOL LIGHT	TV	TV / FOXTEL CABLE AERIAL POINT
○F1	EXTERNAL FLOOR LIGHT	TEL	TELEPHONE POINT
⏏	SWITCH	⏏	METER BOX / SWITCHBOARD ( INCLUDING GENERATOR INPUT )
⏏F	FAN SWITCH	(HWU)	ELECTRIC HOT WATER SERVICE
⏏	1400 DIA. CEILING FAN	Ⓢ	SMOKE DETECTOR
		HOOD	EXTRACT HOOD / LIGHT

GROUND FLOOR ELECTRICAL  
1 : 100

Angel Construction  
PO Box 303 Port Douglas 4877 Qld Australia  
Ph: 07 4099 4516  
www.angelconstruction.com.au  
designs@angelconstruction.com.au  
Over 25 years of Construction Experience  
© All designs are protected by copyright Act 1968  
Angel Construction QBCC LIC NO. 15128072  
licenced builders



CERTIFIED AS  
STRUCTURALLY ADEQUATE

CERTIFIED BY THE BUILDING  
APPROVAL COMPANY

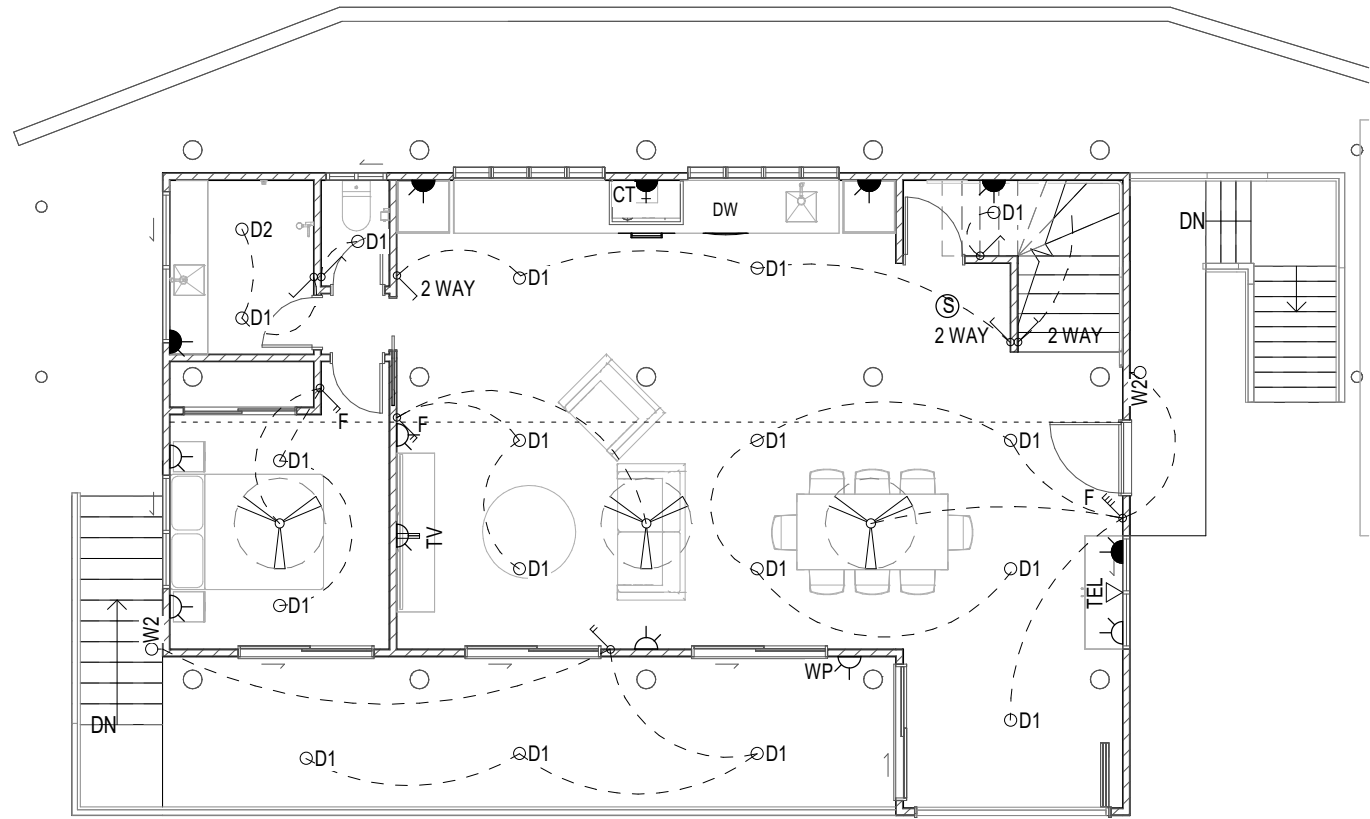
PLAN ISSUE: 21/09/2023 2:10:51 PM

ISSUED FOR CONSTRUCTION

PROJECT: NEW DALE RESIDENCE  
PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS, 4877

SHEET: GROUND FLOOR (ELECTRICAL) SCALE AS SHOWN @ A3  
DESIGNED BY: ANGEL CONSTRUCTION  
DRAWN BY: JAYDEN CHADWICK  
PROJECT NUMBER: 281122 SHEET: **C07** REV: **C**  
**A**



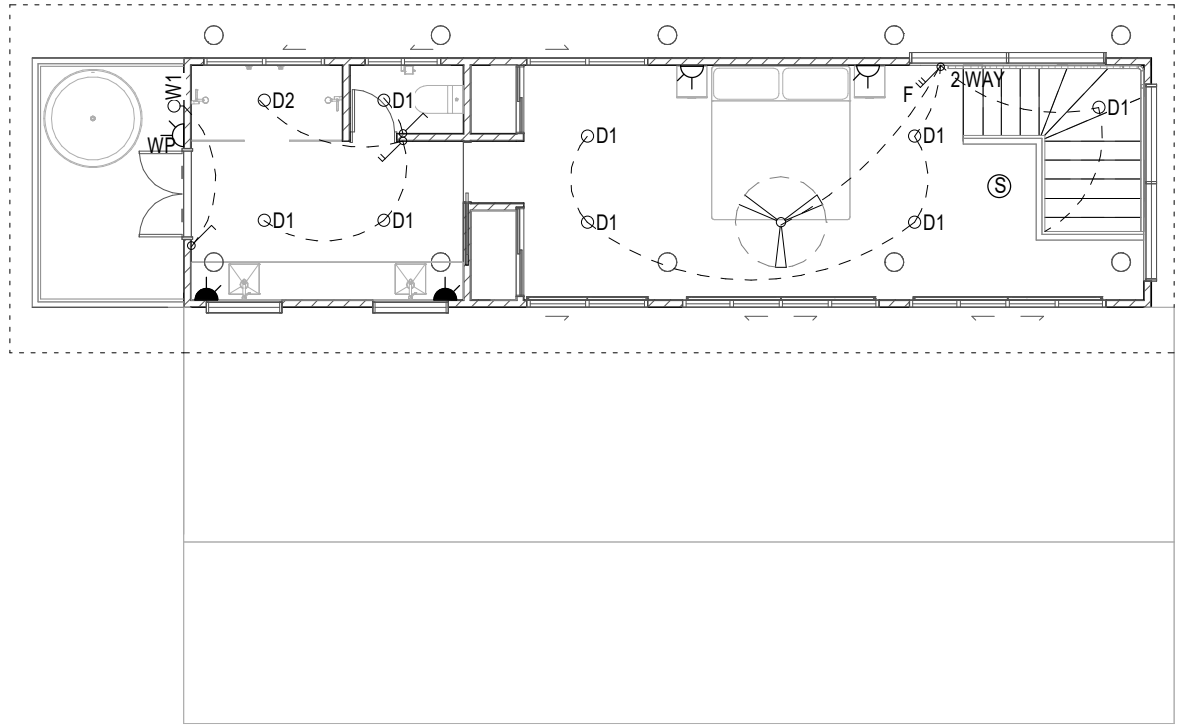


# FIRST FLOOR ELECTRICAL

1 : 100

## LEGEND - LIGHT & POWER

○D1	LED RECESSED DOWNLIGHT WHITE IN CEILING	⌂	DOUBLE 10A GPO AT 300 HEIGHT ABOVE FFL UNO
○D2	FAN / LIGHT COMBO WHITE IN CEILING	⌂	DOUBLE 10A GPO AT 1100 HEIGHT ABOVE FFL UNO
◊W1	EXTERNAL WALL LIGHT	⌂WP	DOUBLE 10A GPO WEATHERPROOF AT 300 HEIGHT ABOVE FFL
◊W2	EXTERNAL SENSOR LIGHT	⌂CT	COOKER POINT POWER SUPPLY
○U1	FEATURE POOL LIGHT	TV	TV / FOXTEL CABLE AERIAL POINT
	EXTERNAL FLOOR LIGHT	TEL	TELEPHONE POINT
⌂	SWITCH	⌂	METER BOX / SWITCHBOARD ( INCLUDING GENERATOR INPUT )
⌂F	FAN SWITCH	(HWU)	ELECTRIC HOT WATER SERVICE
⌂	1400 DIA. CEILING FAN	Ⓢ	SMOKE DETECTOR
		HOOD	EXTRACT HOOD / LIGHT

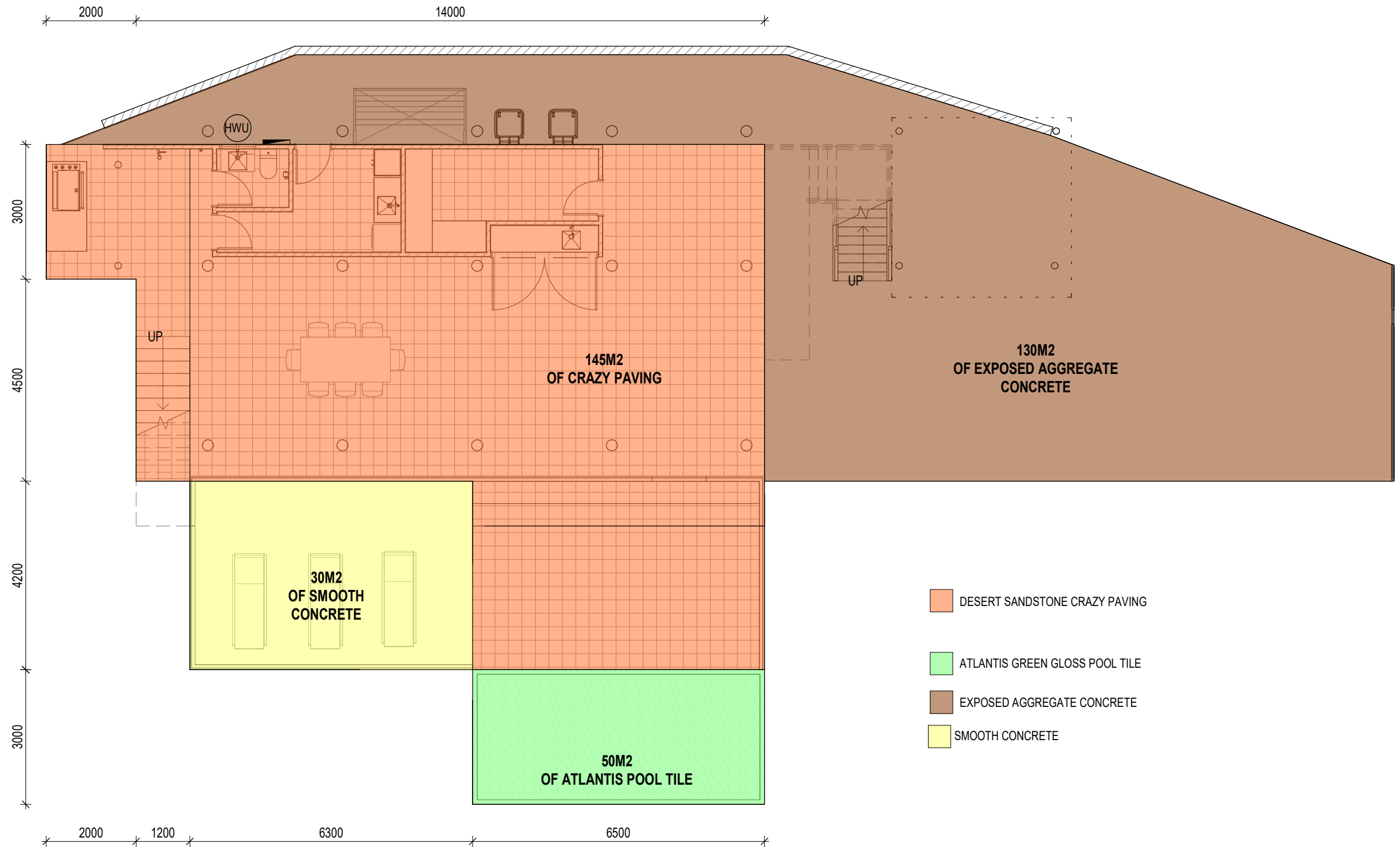


# SECOND FLOOR ELECTRICAL

1 : 100

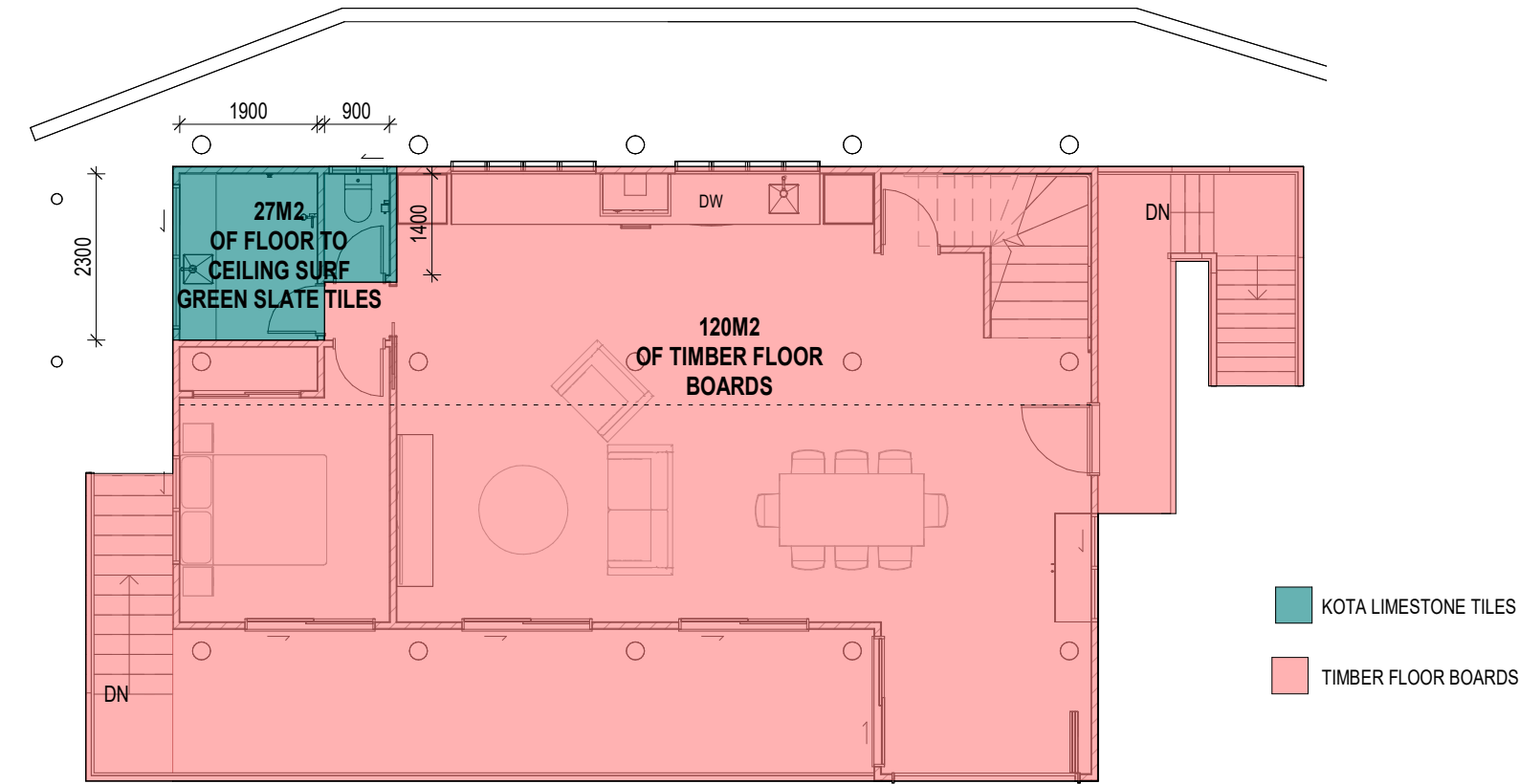
## NOTE :

A MINIMUM 80% OF THE TOTAL FIXED INTERNAL LIGHTING WILL BE FITTED WITH ENERGY EFFICIENT LIGHTING AS DEFINED BY QDC PART MP 4.1 (MIN. 27 LUMENS PER WATT).  
IF AIR CONDITIONERS ARE BEING INSTALLED THEY WILL HAVE A MINIMUM 4-STAR MINIMUM ENERGY PERFORMANCE STANDARD (MEPS) RATING.  
ELECTRICIAN TO PROVIDE FORM 16 CERTIFICATE FOR ALL ABOVE ITEMS THAT HAVE BEEN COMPLIED WITH.  
PROVIDE ADDITIONAL DOCUMENTATION FROM LIGHT MANUFACTURER CONFIRMING THE LIGHT FITTINGS ACHIEVE THE MINIMUM 27 LUMENS PER WATT.  
ALL OVENS, RANGE HOODS, DISHWASHERS, HOT WATER SYSTEMS TO HAVE POWER SUPPLIED AS REQ IF NOT NOTED ON PLAN.



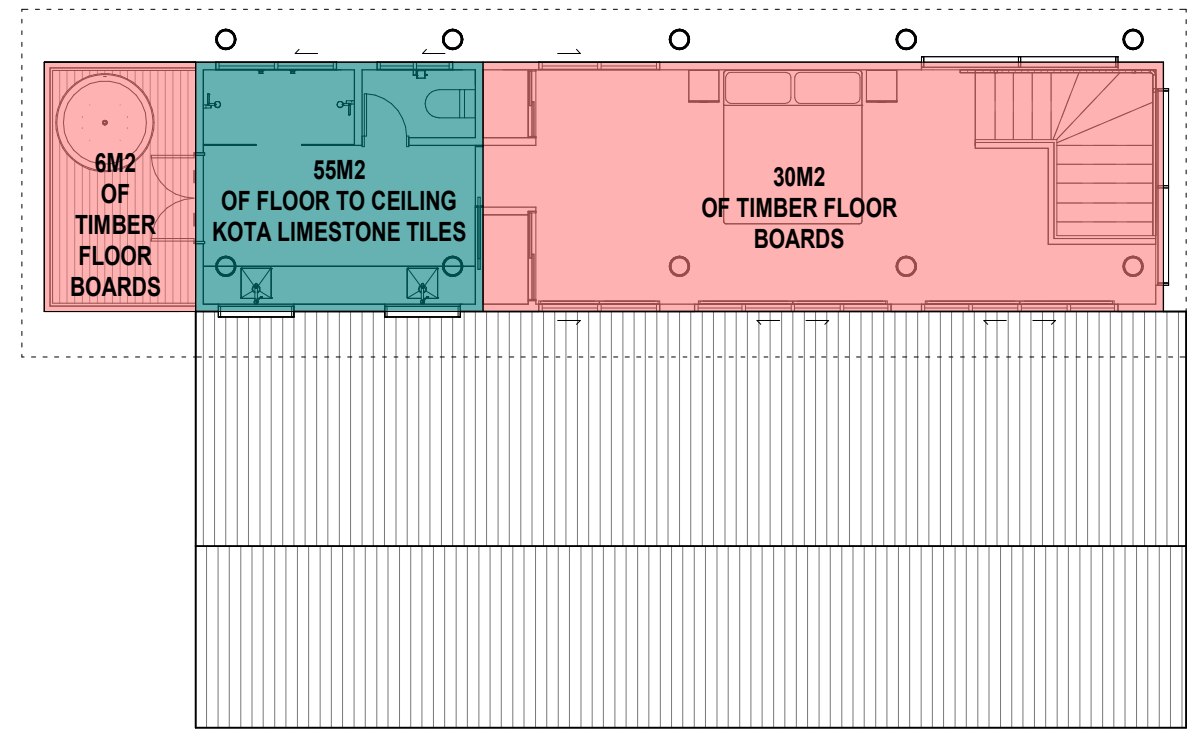
GROUND FLOOR TILE PLAN  
1 : 100

<div>Angel Construction</div> <div>PO Box 303 Port Douglas 4877 Qld Australia</div> <div>Ph: 07 4099 4516</div> <div>www.angelconstruction.com.au</div> <div>designs@angelconstruction.com.au</div> <div>Over 25 years of Construction Experience</div> <div>© All designs are protected by copyright Act 1968</div> <div>Angel Construction QBCC LIC NO. 15128072</div> <div>licenced builders</div>	<div></div>	CERTIFIED AS STRUCTURALLY ADEQUATE	CERTIFIED BY THE BUILDING APPROVAL COMPANY	PLAN ISSUE: 21/09/2023 2:10:51 PM  ISSUED FOR CONSTRUCTION	PROJECT: NEW DALE RESIDENCE PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS, 4877
					SHEET: GROUND FLOOR (TILE) SCALE AS SHOWN @ A3 DESIGNED BY: ANGEL CONSTRUCTION DRAWN BY: JAYDEN CHADWICK PROJECT NUMBER: 281122 SHEET: <b>C08</b> REV: <b>C</b> <b>A</b>



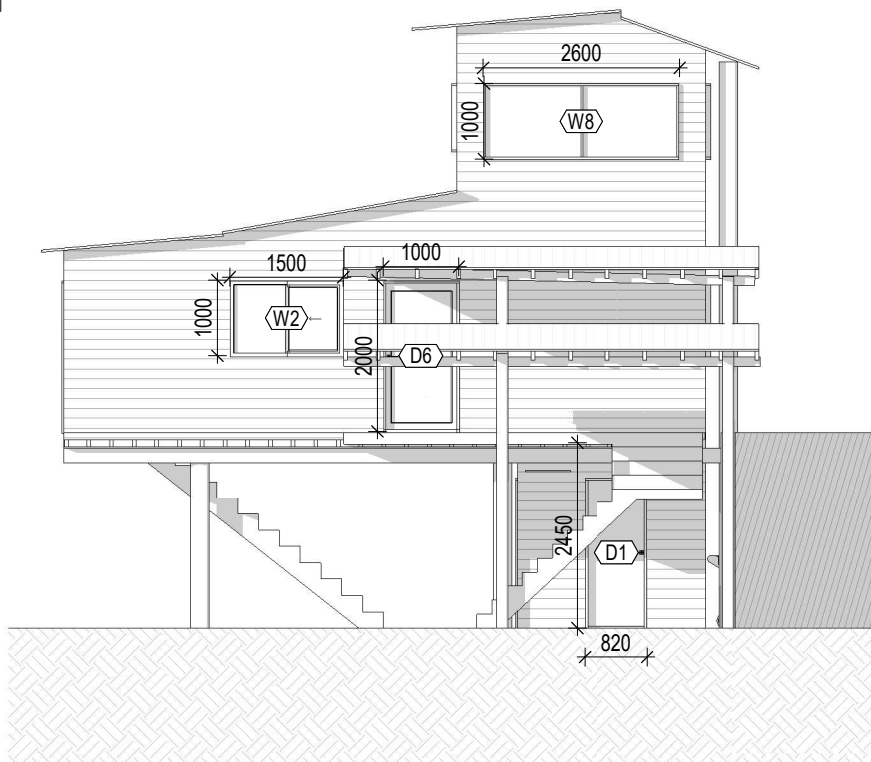
FIRST FLOOR ELECTRICAL

1 : 100



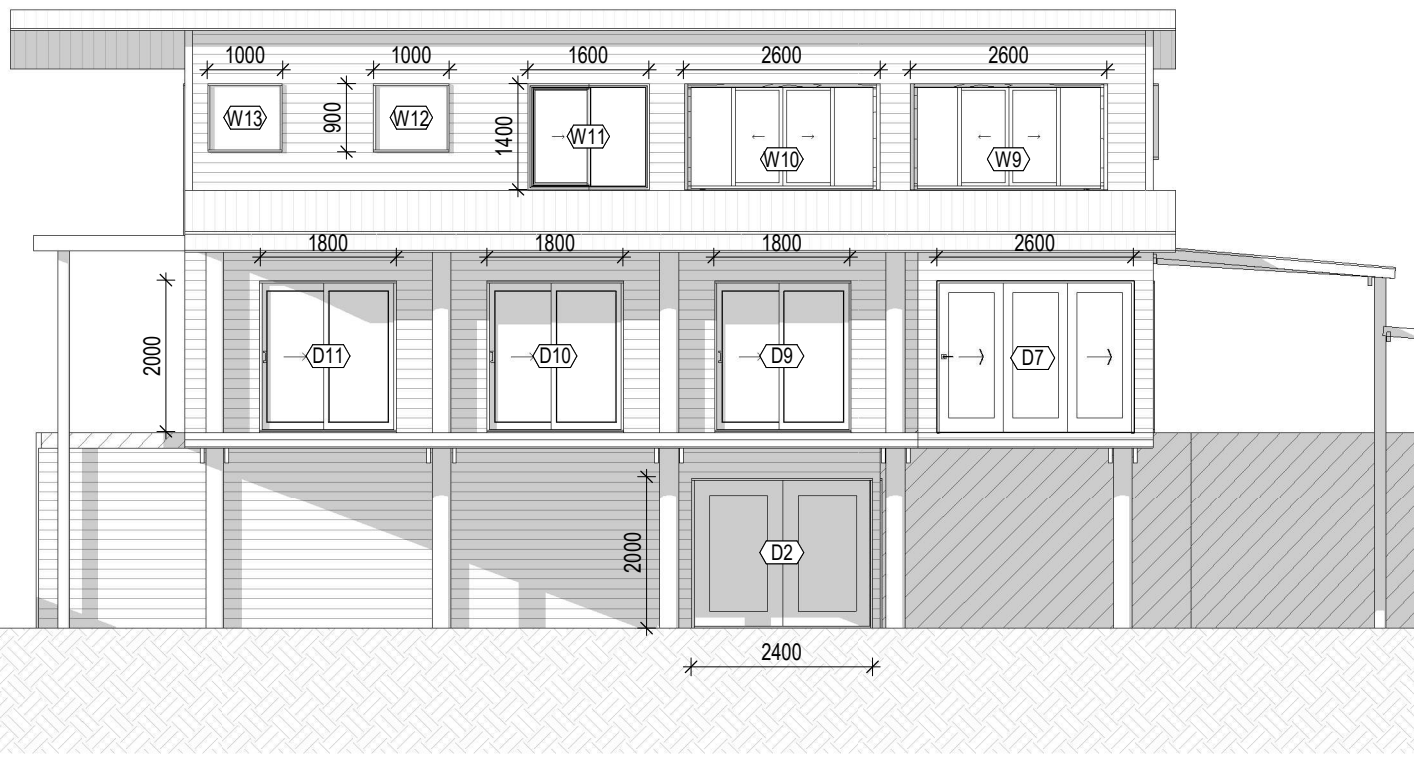
SECOND FLOOR ELECTRICAL

1 : 100



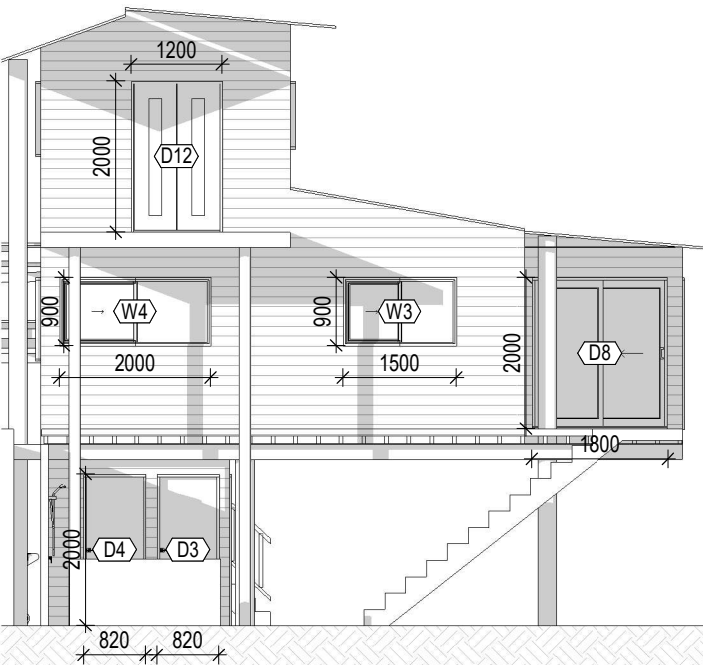
## SOUTH WINDOWS

1 : 100



## WEST WINDOWS

1 : 100



## NORTH WINDOWS

1 : 100



## EAST WINDOWS

1 : 100

### LEGEND & NOTES

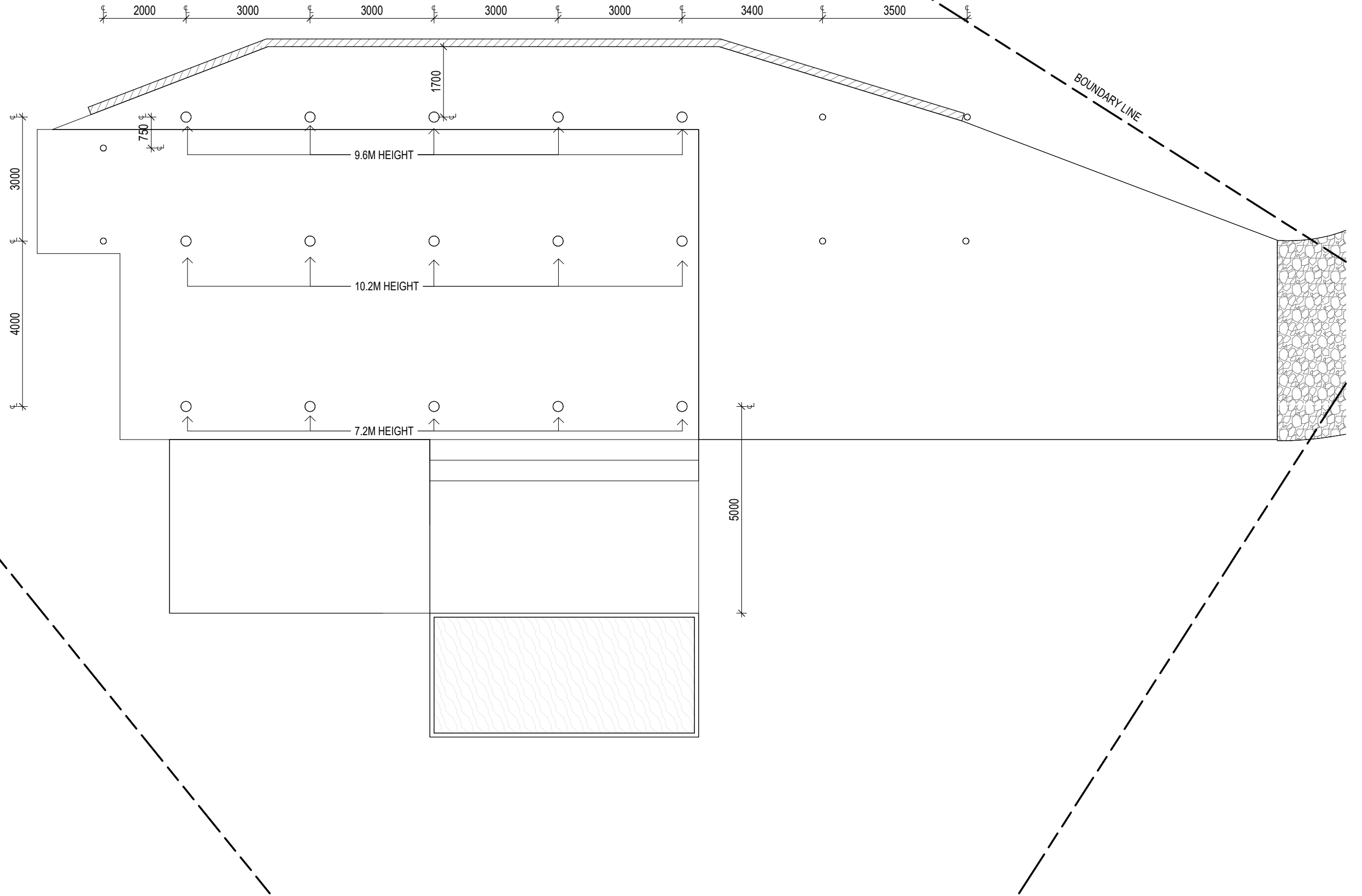
O = FIXED PANEL  
X = SLIDING PANEL

ALL OPENABLE GLASS WINDOWS AND DOORS  
TO BE INSTALLED WITH ALU-GUARD SECURITY  
SCREENS. UPSTAIRS WINDOWS TO BE  
SECURELY FIXED FOR SAFETY

W1 = XO  
W2 = OX  
W3 = XO  
W4 = XO  
W5 = XO  
W6 = OOOO  
W7 = OOOO  
W8 = OO  
W9 = OXXO  
W10 = OXXO  
W11 = XO  
W12 = O  
W13 = O  
W14 = XO  
W15 = XO  
W16 = OX  
W17 = OO

D1 = TIMBER  
D2 = TIMBER  
D3 = TIMBER  
D4 = TIMBER  
D5 = TIMBER  
D6 = TIMBER  
D7 = BI-FOLD  
D8 = XO  
D9 = XO  
D10 = XO  
D11 = XO  
D12 = TIMBER FRENCH





## GROUND FLOOR PLAN

1 : 100

Angel Construction  
PO Box 303 Port Douglas 4877 Qld Australia

Ph: 07 4099 4516  
www.angelconstruction.com.au  
designs@angelconstruction.com.au

Over 25 years of Construction Experience

© All designs are protected by copyright Act 1968  
Angel Construction QBCC LIC NO. 15128072  
licenced builders



TO BE CERTIFIED AS  
STRUCTURALLY ADEQUATE

TO BE CERTIFIED BY THE  
BUILDING APPROVAL  
COMPANY

PLAN ISSUE: 21/09/2023 2:10:54 PM

CONCEPT DESIGN  
NOT FOR CONSTRUCTION

PROJECT: NEW DALE RESIDENCE  
PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS, 4877

SHEET: POLES  
DESIGNED BY: ANGEL CONSTRUCTION  
DRAWN BY: JAYDEN CHADWICK  
PROJECT NUMBER: 281122

SCALE AS SHOWN @ A3

SHEET: **B2** REV: **C**



## GENERAL

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
2. THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR STRUCTURAL ENGINEERING PURPOSES ONLY. IN ALL OTHER MATTERS, THE APPROVED ARCHITECTS' DRAWINGS SHALL TAKE PRECEDENCE. ALL DISCREPANCIES THAT COULD RESULT IN CHANGES TO THE STRUCTURAL DETAILS SHALL BE REFERRED TO THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.  
IF IN DOUBT - ASK
3. CONSTRUCTION FROM THESE DRAWINGS AND ASSOCIATED CONSULTANTS' DRAWINGS SHALL NOT COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT AUSTRALIAN STANDARDS AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES AND THE NCC EXCEPT WHERE VARYED BY THE PROJECT SPECIFICATION.
5. ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR ON SITE. ENGINEERS' DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
6. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR TO KEEP WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
7. THE CONTRACTOR SHALL GIVE 48 HOURS NOTICE FOR ALL ENGINEERING INSPECTIONS.
8. UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.

## DESIGN CRITERIA

1. THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND LOCAL GOVERNMENT ORDINANCES FOR THE FOLLOWING DESIGN CRITERIA :

DESIGN LOADS		
AREA	LIVE LOAD	SUPERIMPOSED DEAD LOAD
GENERAL	1.5 kPa	NIL
DECK	2 kPa	NIL
ROOF	0.25 kPa	NIL

2. WIND
- WIND LOADS ARE IN ACCORDANCE WITH AS1170.2 AS FOLLOWS:
- |  |        |
|--|--------|
| DESIGN WIND VELOCITY ( $V_{90s}$ ) ..... | 61 m/s |
| REGION .....                             | C      |
| WIND CLASSIFICATION .....                | C2     |
| TERRAIN CATEGORY .....                   | 2      |
- BCS STRUCTURE IMPORTANCE LEVEL .....
- 2
3. CONCRETE ELEMENTS HAVE BEEN DESIGNED FOR THE FOLLOWING
- DURABILITY EXPOSURE TO AS 3600 (B1 EXPOSURE U.N.O.)
- |                |    |
|----------------|----|
| EXTERNAL ..... | B1 |
| FOOTINGS ..... | B1 |
4. FOOTINGS
- ASSUMED 100 kPa ALLOWABLE BEARING PRESSURE AND 25 kPa SKIN FRICTION.
- CONTRACTOR SHALL CONFIRM ON SITE.
5. RETAINING WALLS
- FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING INTENSITY OF 100 kPa.
- |  |       |
|--|-------|
| SURCHARGE LOAD .....                         | 5 kPa |
| ACTIVE PRESSURE COEFFICIENT ( $K_a$ ) .....  | 0.4   |
| PASSIVE PRESSURE COEFFICIENT ( $K_p$ ) ..... | 2.5   |

## SAFETY IN DESIGN

1. CONSTRUCTION WORK UNDERTAKEN BY THE BUILDER/CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE WORK PLACE HEALTH AND SAFETY ACT.
2. CONSTRUCTION ACTIVITY CAN BE HAZARDOUS. POTENTIAL SAFETY HAZARDS CONSIDERED BY THE DESIGNERS TO HAVE A HIGHER RISK THAN NORMAL CONSTRUCTION ACTIVITY ARE IDENTIFIED WITH APPROPRIATE NOTATION ON THE DRAWINGS. IT IS RECOGNIZED THAT DESIGNERS HAVE A LOWER LEVEL OF UNDERSTANDING OF THE RISKS INVOLVED IN CONSTRUCTION COMPARED TO THAT OF A COMPETENT CONTRACTOR. IT IS THEREFORE ESSENTIAL THAT AN ADEQUATE SAFETY PLAN IS PREPARED BY THE CONTRACTOR FOR THE WORKS. SAFETY PLANS ARE TO BE PREPARED IN COMPLIANCE WITH THE STATUTORY REQUIREMENTS. THE DESIGNERS MAY NOT BE AWARE OF ALL SAFETY RISKS AND HAZARDS INVOLVED IN THIS PROJECT AND THE ABSENCE OF COMMENT DOES NOT IMPLY THAT THERE ARE ONLY LOW LEVEL RISKS OR HAZARDS INVOLVED IN THIS PROJECT. APPROPRIATE WORK METHOD STATEMENTS ARE TO BE PREPARED FOR ANY HIGH RISK ACTIVITY BY THE CONTRACTOR. THE DESIGNERS ARE REQUIRED TO BE CONSULTED WHEN REQUIRED CONCERNING THEIR AREA OF CONTROL, WITH REGARD TO SAFETY PLANS.
3. PRIOR TO FABRICATION OF STEELWORK THE CONTRACTOR SHALL AGREE WITH THE ENGINEER ON AREAS OF RISK WHICH HAVE BEEN ADDRESSED BY THE DESIGN WHERE POSSIBLE AND AGREE ON SUITABLE CONSTRUCTION PROCEDURES WHERE AREAS OF RISK STILL EXIST.
4. PRIOR TO ANY FABRICATION THE CONTRACTOR SHALL HAVE COMPLETED A RISK ASSESSMENT OF ALL CONSTRUCTION PROCEDURES AND ENSURED THAT WHERE POSSIBLE, ALL RISKS HAVE BEEN ELIMINATED AND WHERE NOT POSSIBLE THEIR SAFETY PLAN HAS ADDRESSED THOSE ISSUES AND IT HAS BEEN FORMULATED AND DOCUMENTED FOR STRICT ADHERENCE AFTER COMMISSIONING.
5. PRIOR TO THE USE OF THE PROJECT AS DESIGNED, THE OWNER SHALL HAVE COMPLETED A RISK ASSESSMENT OF ALL WORK PRACTICES AND ENSURED THAT WHERE POSSIBLE, ALL RISKS HAVE BEEN ELIMINATED AND WHERE NOT POSSIBLE THEIR SAFETY PLAN HAS ADDRESSED THOSE ISSUES AND IT HAS BEEN FORMULATED AND DOCUMENTED FOR STRICT ADHERENCE AFTER COMMISSIONING.

## FOOTING NOTES

1. THE BUILDER SHALL ALLOW TO ENGAGE AN APPROVED GEOTECHNICAL ENGINEER IN ACCORDANCE WITH THE EARTHWORKS AND THE BORED PIER SECTIONS OF THE SPECIFICATIONS TO CARRY OUT ALL INSPECTIONS AND TESTING TO CERTIFY THAT THE FOUNDING MATERIAL FOR HIGH LEVEL FOOTINGS AND OR THE CAPACITY OF BORED PIERS COMPLIES WITH THAT NOMINATED IN THE DOCUMENTATION. THE CERTIFICATION IS TO BE SIGNED BY A REGISTERED PROFESSIONAL ENGINEER OF QUEENSLAND. THE SLAB HAS BEEN DESIGNED AS A 'S' SITE CLASSIFICATION IN ACCORDANCE WITH AS2870. THE ENGINEER SHALL BE CONTACTED IF THE SITE CONDITIONS VARY.
3. AN ALLOWABLE BEARING PRESSURE FOR HIGH LEVEL FOOTINGS OF 100 kPa HAS BEEN ASSUMED IN THE DESIGN OF THE FOOTINGS. FOR BORED PIERS AN ULTIMATE END BEARING PRESSURE OF 100 kPa AND SKIN FRICTION OF 25 kPa HAS BEEN ASSUMED IN THE DESIGN OF THE FOOTINGS.
4. WHERE REQUIRED FOUNDING MATERIAL IS DEEPER THAN THE UNDERSIDE OF THE HIGH LEVEL FOOTINGS AS DETAILED ALLOW TO BACKFILL ADDITIONAL EXCAVATION WITH N20 CONCRETE.
5. WHERE EXCAVATION WORK IS TO BE CARRIED OUT ADJACENT TO EXISTING FOOTINGS THE EXACT LEVEL OF THE UNDERSIDE OF THE FOOTINGS SHALL BE DETERMINED BY TEST PITS PRIOR TO EXCAVATION. UNDERPINNING SHALL BE CARRIED OUT AS DETAILED OR REQUIRED BY THE STRUCTURAL ENGINEER.
6. ALL FOOTING EXCAVATIONS SHALL BE FORMED AS NECESSARY WHEN EXCAVATED FACE IS NOT STABLE, DEWATERED AND CLEANED OF LOOSE AND SOFT MATERIAL PRIOR TO PLACING CONCRETE.
7. ALL WALLS AND COLUMNS SHALL BE CONCENTRIC WITH SUPPORTING FOOTINGS UNLESS NOTED OTHERWISE ON THE DRAWINGS.

## CONCRETE

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH CURRENT EDITIONS OF AS 1379, AS 3600 AND AS 53610 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. REFER ALSO TO INSITU CONCRETE, FORMWORK AND REINFORCEMENT SECTION OF THE SPECIFICATIONS.
2. CONCRETE STRENGTH GRADE FOR PARTICULAR ELEMENTS SHALL BE AS NOTED ON THE DRAWINGS.
3. SIZE OF ELEMENTS IS AS EXCLUSIVE OF APPLIED FINISHES. BEAMS DEPTHS INCLUDE SLAB THICKNESS AND ARE THE FIRST DIMENSION SPECIFIED, FOLLOWED BY WIDTH. UNLESS NOTED OTHERWISE ALL FORMED EDGES AND CORNERS OF CONCRETE MEMBERS SHALL HAVE 20mm CHAMFERS.
4. CONSTRUCTION JOINTS SHALL BE MADE ONLY AT APPROVED LOCATIONS, AND, IN BEAMS AND SLABS SHALL BE CONSTRUCTED WITH A SHEAR KEY TO ENGINEER'S DETAIL U.O. SURFACES OF CONCRETE AT ALL JOINTS SHALL BE THOROUGHLY MECHANICALLY SCABBLED, FULLY EXPOSING THE AGGREGATE MIX, UNLESS OTHERWISE NOTED.
5. ALL REINFORCEMENT SHALL BE TO AS/NZS 4671 AND REINFORCEMENT GRADE IS DESIGNATED AS FOLLOWS:  
R: PLAIN ROUND BAR, GRADE 250  
N: DEFORMED BAR, GRADE 500  
SL/RL: WIRE REINFORCING FABRIC GRADE 500
6. REINFORCEMENT SHALL BE BENT COLD IN ACCORDANCE WITH AS3600 EXCEPT WHERE APPROVED BY THE STRUCTURAL ENGINEER. NO REBENDING SHALL BE PERMITTED.
7. DO NOT CUT REINFORCEMENT ON SITE TO CLEAR PENETRATIONS. DISPLACE REINFORCEMENT SLIGHTLY AS NECESSARY TO CLEAR BLOCKOUTS.
8. CONCRETE COVER AND LAPS TO REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS.
9. APPLY EVAPORATION RETARDER AND CURE ALL CONCRETE IN ACCORDANCE WITH THE CONCRETE SPECIFICATIONS.
10. FORMWORK SHALL REMAIN UNDISTURBED FOR THE MINIMUM STRIPPING TIMES SPECIFIED IN AS3610, UNLESS OTHERWISE APPROVED.

TABLE 1 - CONCRETE QUALITY			
ELEMENT	STRENGTH GRADE	SUMP (mm)	MAX. AGGREGATE SIZE (mm)
BORED PIERS	N25	80 ± 15	20
FOOTINGS	N25	80 ± 15	20
SLAB ON GROUND	N25	80 ± 15	20
POOL SLAB & WALL	N32	80 ± 15	20
BLINDING	N7	80 ± 15	

ELEMENT	TOP (mm)	BOTTOM (mm)	SIDE (mm)
BORED PIERS	70	100	70
FOOTINGS	50	50	50
INT SLAB ON GROUND	30	50	50
EXT SLAB ON GROUND	40	50	50
POOL SLAB	50	50	50

## REINFORCEMENT

1. ALL REINFORCING BARS SHALL BE GRADE D500N TO A56471 UNLESS NOTED OTHERWISE. IT SHALL BE CUT AND BENT IN ACCORDANCE WITH A53600. ACCEPTABLE MANUFACTURERS AND PROCESSORS OF STEEL REINFORCEMENT MUST HOLD A VALID CERTIFICATE OF APPROVAL, ISSUED BY THE AUSTRALIAN CERTIFICATION AUTHORITY FOR REINFORCING STEELS (ACRS), OR TO SUCH AN EQUIVALENT CERTIFICATION SYSTEM AS MAY BE APPROVED IN WRITING BY THE SPECIFIER. EVIDENCE OF COMPLIANCE WITH THIS CLAUSE MUST BE OBTAINED WHEN CONTRACT BIDS ARE RECEIVED. ALL MESH SHALL BE GRADE 500L TO A56471 AND SHALL BE SUPPLIED IN FLAT SHEETS.
2. THE FABRICS FOLLOWING THE FABRIC SYMBOLS RL, SL, L, TM IS THE REFERENCE NUMBER FOR FABRIC TO A56471.
3. REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.
- 2 SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN POSITIONS SHOWN OR OTHERWISE APPROVED IN WRITING BY THE ENGINEER. LAPS SHALL BE IN ACCORDANCE WITH AS 3600 AND NOT LESS THAN THE DEVELOPMENT LENGTH FOR EACH BAR, AS SHOWN IN THE TABLE BELOW.

BAR DIA.	LENGTH (mm)	BAR DIA.	LENGTH (mm)
R6	300	N20	800
R10	400	N24	1000
N12	500	N28	1800
N16	600	N32	2200

4. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER. WHERE APPROVED, WELDING MUST COMPLY WITH AS1554.3 STANDARD STEEL WELDING, PART 3 : WELDING OF REINFORCING STEEL. NO WELDING IS ALLOWED WITHIN 120mm OF BENDS.
5. FABRIC SHALL BE LAPPED TWO TRANSVERSE WIRES PLUS 25mm. BUNDLED BARS SHALL BE TIED TOGETHER AT 30 BAR DIAMETER CENTRES WITH 3 WRAPS OF THE WIRE.
6. WELLS TRANSVERSE THE BARS ARE NOT SHOWN PROVIDED N12-300 SPLICED WHERE NECESSARY AND LAP WITH MAIN BARS 400 mmr UNLESS NOTED
7. JOGGLES TO BARS SHALL COMPRISE A LENGTH OF 12 BAR DIAMETERS BETWEEN BEGINNING AND END OF A OFFSET OF 1 BAR DIAMETER.
8. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1 METRE CENTRES BOTHWAYS, AND 800 EACH WAY FOR FABRIC. WHEN POURED ON GROUND AS FORMWORK PROVIDE PLATES UNDER ALL BARS. PLASTIC TIPPED STEEL CHAIRS SHALL NOT BE USED ON EXPOSED FACES IN EXPOSURE CLASSIFICATION B1, B2 AND ONLY PLASTIC OR CONCRETE CHAIRS.
9. SITE BENDING OF REINFORCEMENT SHALL BE AVOIDED IF POSSIBLE. WHERE SITE BENDING IS UNAVOIDABLE IT SHALL BE CARRIED OUT COLD, WITHOUT THE APPLICATION OF HEAT, AND IN ACCORDANCE WITH THE PRACTICE NOTE REIN OF THE STEEL REINFORCEMENT INSTITUTE OF AUSTRALIA. REINFORCEMENT SHALL NOT BE REBENT WITHOUT APPROVAL OF THE SUPERINTENDENT
10. THE STRUCTURAL ENGINEER SHALL BE GIVEN 24 HOURS NOTICE FOR REINFORCEMENT INSPECTION AND CONCRETE SHALL NOT BE DELIVERED UNTIL FINAL APPROVAL HAS BEEN OBTAINED FROM THE STRUCTURAL ENGINEER.

## STRUCTURAL STEELWORK

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH CURRENT EDITIONS OF AS4100, ASINZS 1554 - 1 AND 2 AND AS6800 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. REFER ALSO TO THE STRUCTURAL STEELWORK SECTION OF THE SPECIFICATIONS.
2. ALL STEEL SHALL COMPLY WITH THE FOLLOWING U.N.O.:
- WELDED SECTION - GRADE 300 TO ASINZS 3678.2
  - ROLLED SECTION - GRADE 300 TO ASINZS 3679.2
  - SHS AND RHS - GRADE 350/GRADE 450 TO AS 41163
  - CHS - GRADE 250/GRADE 350 TO AS 1163
  - FLAT PLATE - GRADE 300 TO ASINZS 3679.2
  - STANDARD PLATE - GRADE 250 TO ASINZS 367
3. THE CONTRACTOR SHALL UNLESS SPECIFIED ELSEWHERE:
- (a) PROVIDE AND EMPLOY ANY ADDITIONAL TEMPORARY BRACING ETC. NECESSARY TO ADEQUATELY HOLD STEELWORK IN POSITION DURING CONSTRUCTION. CARRY OUT ERECTION OF STEELWORK IN ACCORDANCE WITH AS3628 GUIDELINES FOR THE ERECTION OF BUILDING STEELWORK.
  - (b) PROVIDE ALL PLATES, BOLTS (INCL. H.D. BOLTS) ETC. REQUIRED FOR TEMPORARY AND PERMANENT ERECTION OF STEELWORK AND FOR ATTACHMENT OF TIMBER AND MISCELLANEOUS FRAMING.
  - (c) SUBMIT TWO (2) COPIES OF WORKSHOP DRAWINGS TO THE ENGINEER FOR PERUSAL. FABRICATION SHALL NOT COMMENCE WITHOUT A WRITTEN RESPONSE. THE CONTRACTOR IS TO ALLOW 14 BUSINESS DAYS FOR REVIEW AND APPROVAL OF SHOP DRAWINGS.
4. ALL STRUCTURAL STEELWORK TO BE HOT DIP GALVANISED. UNLESS NOTED OTHERWISE.
5. PROPRIETARY ITEMS (E.G. PURLINS, ROOF/WALL SHEETING, BOLTS ETC.) SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION. FOR LAPPED PURLINGS/GIRTS USE M12 4/6/S PURLIN BOLTS AND FOR UNLAPPED PURLINS/GIRTS USE M12 4/6/S SHOULDERED PURLIN BOLTS. SHOULDERED PURLIN BOLT HEAD TO BE AGAINST COLD FORMED SECTION. ALL PURLING/GIRTS BOLTS SHALL HAVE INTEGRAL WASHERS.
6. MINIMUM WELDING REQUIREMENTS IF NOT OTHERWISE SPECIFIED SHALL BE AS FOLLOWS:-
- ALL WELDS CATEGORY SP 6mm CONTINUOUS FILLET WELDS, OR WHERE NOTED, COMPLETE PENETRATION BUTT WELDS (C.P.B.W.) USING E48XX ELECTRODES WITH CATEGORY SP. INSPECTION WITH ALL WELDS 100% VISUALLY CHECKED. ALSO TO ASINZS 1554.1 UNLESS NOTED OTHERWISE. ALL WELDING SHALL BE PERFORMED BY A QUALIFIED WELDER IN ACCORDANCE WITH ASINZS 1554.1.
7. EXTENT OF WELD INSPECTION/TESTING TO BE:
- VISUAL SCANNING : 100% OF WELDS
  - VISUAL EXAMINATION: 100% OF BUTT WELDS IN TENSION MEMBERS AND 50% OF OTHER WELDS.
  - RADIOGRAPHIC OR ULTRASONIC: 10% OF BUTT WELDS IN TENSION MEMBERS AND 5% OF OTHER WELDS.
  - GRIND WELDS SMOOTH AND FLUSH WITH PARENT METAL WHERE NOMINATED ON DRAWINGS.
  - GRIND ONLY IN LONGITUDINAL DIRECTION OF MEMBER. WELDS TO BE INSPECTED BY INDEPENDENT NATA ACCREDITED QUALIFIED WELDING INSPECTOR TO AS2214. PROVIDE WELDING INSPECTORS REPORT TO SUPERINTENDENT.
8. SITE WELDS WHERE NOTED IN THE DOCUMENTATION SHALL BE THOROUGHLY WIRE BRUSHED CLEANED AND PAINTED IN ACCORDANCE WITH THE SPECIFICATION.
9. THE ENGINEER MAY ORDER NON-DESTRUCTIVE TESTING OF SELECTED WELDS. WELDS PROVED TO BE BELOW THE SPECIFIED QUALITY SHALL BE CUT OUT, REWELDED AND RE-TESTED AT CONTRACTOR'S EXPENSE.
10. ALL BOLTS, NUTS AND WASHERS, INCLUDING HOLD DOWN BOLTS, CAST-IN FERRULES, CAST-IN PLATES AND MASONRY ANCHORS ARE TO BE HOT DIP GALVANIZED U.N.O. ALL GALVANIZED COMPONENTS TO BE CAST INTO CONCRETE MUST BE PASSIVATED. UNLESS NOTED OTHERWISE STEEL TO STEEL CONNECTIONS ARE M20 8/S AND HOLD DOWN BOLTS ARE M20 4/6/S.
11. BOLT TYPES SHALL BE AS FOLLOWS:-
- \* 4/6/S - COMMERCIAL BOLTS TO AS1111 AND AS1112, SNUG TIGHTENED.
  - \* 8/8/S - HIGH STRENGTH STRUCTURAL BOLTS TO ASINZS 1252, SNUG TIGHTENED ONLY.
- USE BOLTS WITH THREADS IN COMPLIANCE WITH AS1275.
- USE BOLT LENGTHS SO THAT PROJECTION BEYOND NUT IS AT LEAST TWO (2) THREADS, AND NOT MORE THAN 10 mm. PROVIDE A QUALIFIER FLASH AT JOINTS OF TF AND TB BOLTS. SLIP NUTS ASSUMED FOR FRICTION TYPE BOLTS = 0.35. TREAT CONTACT SURFACES BY WIRE BRUSHING OR BLASTING AS REQUIRED TO ACHIEVE ASSUMED SLIP FACTOR. DEGREASE AND LIGHTLY OIL TF AND TB BOLTS PRIOR TO INSTALLATION. TENSION TF AND TB BOLTS USING PART-TURN METHOD OR TAMPER PROOF LOAD INDICATING WASHERS TO AS4100. DO NOT USE CALIBRATED TORQUE WRENCHES. PROVIDE WITNESS MARKS ON BOLT AND NUT. PROVIDE A HARDENED WASHER UNDER BOLT HEAD OR NUT, WHICHEVER IS ROTATED. DO NOT REUSE TB OR TF BOLTS ONCE TENSIONED.
12. ALL STRUCTURAL STEEL FIXING DETAILS ARE TO BE BASED ON AISC STANDARDIZED STRUCTURAL CONNECTIONS U.N.O
13. ALL PLATES ARE TO BE 10mm THICK UNO. ALL PLATES TO BE FROM STANDARD SQUARE EDGE FLATS U.N.O.
14. THE FABRICATION AND ERECTION OF THE STRUCTURAL STEELWORK SHALL BE SUPERVISED BY A QUALIFIED PERSON EXPERIENCED IN SUCH SUPERVISION, IN ORDER TO ENSURE THAT ALL REQUIREMENTS OF THE DESIGNS ARE MET. ALL BEAMS AND RAFTERS SHALL BE FABRICATED AND ERECTED WITH NATURAL CAMBER UP. BEAMS AND RAFTERS SHALL BE PRECAMBERED 1 IN 500 UNLESS NOTED OTHERWISE. ALL MEMBERS SHALL BE SUPPLIED IN SINGLE LENGTHS. SPLICES SHALL ONLY BE PERMITTED IN LOCATIONS SHOWN ON THE STRUCTURAL DRAWINGS.
15. THE CONTACT SURFACES FOR HIGH STRENGTH FULLY TENSIONED BOLT CONNECTIONS SHALL BE CLEAN "AS ROLLED" AND NOT PAINTED. FULLY TENSION BOLTS BY THE "PART TURN METHOD OF TIGHTENING", OR BY LOAD INDICATING WASHERS.
16. GROUT TO BASE PLATES: A SPACE FOR 40mm of 2:1 SAND:CEMENT MORTAR OF DAMP EARTH CONSISTENCY RAMMED FOR COMPACTION. FLASHLY USE NON-SHRINK GROUT APPLIED TO MANUFACTURER'S SPECIFICATIONS.
17. COATING REPAIRS: REINSTATE COATING TO DAMAGED AREAS TO PROTECTIVE COATINGS SPECIFICATION. FIELD WELD REPAIRS: DO NOT WELD THROUGH EXISTING GALVANISING OR COATINGS. REMOVE WELD SPATTER, RESIDUAL FLUX etc BY CHIPPING, GRINDING OR ABRASIVE BLAST CLEANING, GRIND FLUSH WITH WELD BEADS. PREPARE SURFACE FOR PAINTING AS PER COATING SPECIFICATION. REMOVE RUST, LOOSE ANTS AND PAINT REINSTATE SOUND COATING SO PAINT EDGE IS FEATHERED AND SMOOTH. STRIP COAT ALL WELDS, EDGES AND ROUGH SURFACES USING A BRUSH. REINSTATE COATING AS PER PROTECTIVE COATINGS SPECIFICATION.
18. REPAIR DAMAGED TO GALVANIZED COATING TO ASINZS 4680 SECTION 8 REPAIR AFTER GALVANIZING. USE ORGANIC TWO-PACK ZINC RICH EPOXY COATING COMPLYING WITH ASINZS 3750.9 APPLIED IN TWO COATS EACH 50 MICRON, MINIMUM TOTAL DRY FILM THICKNESS 100 MICRONS. DO NOT USE SPRAY CANS OF 'COLD GALV' OR ZINC ALLOY SOLDER 'STICKS'. SURFACE PREPARATION OF EXPOSED BARE STEEL TO BE ABRASIVE BLAST CLEANED TO AS 1627.4, CLASS 2.3 (PREFERRED) OR POWER TOOL CLEANED TO AS 1627.2 CLASS ST.3. LIGHTLY SWEPT BLAST GALVANIZED SURFACES.
19. PROTECTIVE COATINGS ARE TO BE SHOP APPLIED AND CURED IN WORKSHOP IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS APPROVED OTHERWISE IN WRITING BY SUPERINTENDENT. PROTECTIVE COATINGS ARE TO BE SMOOTH, UNIFORM AND WITHOUT RUNS, BEADS, PINHOLES, SURFACE CRAZING OR OTHER IMPERFECTIONS.
20. UNLESS NOTED OTHERWISE THE DRAWINGS OR IN THE SPECIFICATION, SURFACE TREATMENT OF EXPOSED STEELWORK FOR ATMOSPHERIC CORROSION PROTECTION TO BE PURS. APPLY PROTECTIVE COATINGS AS PER SYSTEMS/SYSTEMS PURS OF ASINZS2312 TABLE 6.3 IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. REPORT QA RECORDS IN A FORMAT SIMILAR TO AS3894 PARTS 10 TO 14. NON-SPECIFIED COLOURS WILL BE SELECTED BY THE SUPERINTENDENT.
21. DISSIMILAR METALS TO BE SEPERATED WITH INERT MATERIAL.
22. REFER SPECIFICATION AND ARCHITECTURAL DRAWINGS FOR DECORATIVE COATINGS.

## REINFORCED CONCRETE MASONRY

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE CURRENT EDITION OF AS3700 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
2. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF 20 MPa IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 4455.1.
3. PROVIDE ADEQUATE TEMPORARY PROPPING TO WALLS DURING CONSTRUCTION IN ACCORDANCE WITH AS/NZS 4455.1 AND AS 4456.0.
4. PROVIDE VERTICAL CONTROL JOINTS IN WALLS AT MAXIMUM 6 METRE CENTRES OR WHERE INDICATED ON DRAWINGS.
5. ALL WALLS SHALL BE FULLY BONDED OR TIED AT THEIR INTERSECTIONS UNLESS DETAILED OTHERWISE.
6. MORTAR SHALL BE MECHANICALLY MIXED AND TYPE M3 U.N.O. CONSISTING OF 1 PART CEMENT, 1 PART HYDRATED LIME AND 6 PARTS OF WELL GRADED SAND, AND SHALL COMPLY WITH THE REQUIREMENTS OF AS 3700. MORTAR SHALL BE SAMPLED AND TESTED, IN ACCORDANCE WITH THE SPECIFICATION.
7. CORES OF ALL BLOCKS SHALL BE CLEAN AND FREE FROM PROJECTING MORTAR. PROVIDE CLEAN OUT OPENINGS AT BASE OF EACH LIFT. FORM THE FACE OF CLEAN OUT BLOCKS. INFILL BLOCK SHELLS SHALL NOT BE USED WITHOUT APPROVAL BY THE STRUCTURAL ENGINEER.
8. CORE FILLING CONCRETE SHALL BE MIXED USING MAX 10mm AGGREGATE, SHALL HAVE FC 20 MPa AND MAXIMUM SLUMP OF 230mm. CONCRETE SHALL BE PLACED TO COMPLETELY FILL CORES WITHOUT SEGREGATION OR LOSING OF COMPACT BY INTERNAL VIBRATION OR RODDING AND STRENGTH TEST IN ACCORDANCE WITH THE MASONRY SPECIFICATION.
9. FILL CORES TO MAXIMUM 2.4 METRE HIGH FREE DROP IN ONE POUR.
10. BACKFILL RETAINING WALLS, ON ENGINEER'S APPROVAL, WITH CLEAN 20mm GRAVEL FILLING FREE FROM CLAY OR OTHER ORGANIC MATTER.
11. RETAINING WALLS SHOULD NOT BE BACKFILLED UNTIL A MINIMUM OF 14 DAYS AFTER GROUT FILLING. PROPPED RETAINING WALLS SHALL NOT BE BACKFILLED UNTIL THE SLAB OVER HAS BEEN CAST A MINIMUM OF 7 DAYS AND THE WALL HAS BEEN GROUT FILLED A MINIMUM OF 14 DAYS.)
12. PROVIDE ALL AGRICULTURAL PIPES OR WEEPHOLES TO EARTH FACE OF ALL RETAINING WALLS AS NOTED IN THE DOCUMENTATION. ALL AGRICULTURAL PIPES OR WEEPHOLES TO BE PROTECTED FROM SILTATION BY THE USE OF GEOFABRIC. AGRICULTURAL DRAINS TO BE CONNECTED TO THE STORMWATER SYSTEM TO HYDRAULIC ENGINEERS DETAILS.
13. PROVIDE WATERPROOF MEMBRANE & D.P.C. AS REQUIRED BY THE ARCHITECTURAL SPECIFICATION.

## TIMBER

1. ALL TIMBER DESIGN, MATERIAL AND CONSTRUCTION SHALL BE TO AS 1720.1 AND AS 1720.2.
2. SOFTWOOD TO BE MINIMUM STRESS GRADE F7 UNO, HARDWOOD TO BE MINIMUM GRADE F14 UNLESS NOTED OTHERWISE. SUBMIT SUPPLIERS CERTIFICATE AS TO STRESS GRADE OF TIMBER MEMBERS. ALL TIMBER SHALL BE BRANDED.
3. EXTERNAL TIMBER SHALL BE EITHER SEASONED HARDWOOD WITH DURABILITY CLASS I OR II, JOINT CLASS JD2 OR JD3 TO AS 1720.2 OR IMPREGNATED PINE GRADE F7, PRESSURE TREATED MINIMUM H3 TREATMENT UNLESS SPECIFIED OTHERWISE, TO AS 1604 AND RE-DRIED PRIOR TO USE. SUPPLEMENTARY TREATMENT SHALL BE APPLIED TO ALL CUT SURFACES. SUPPLY SUPPORTING DOCUMENTATION FOR PRESERVATIVE TREATMENT.
4. ALL BOLTS IN TIMBER CONSTRUCTION SHALL BE MINIMUM M16 UNLESS NOTED AND SHALL BE GALVANISED. BOLTS SHALL BE RETIGHTENED AT THE END OF THE MAINTENANCE PERIOD. BOLT HOLES SHALL BE DRILLED NO MORE THAN 1 mm OVERSIZE.  
FLAT WASHERS ARE TO BE USED ANYWHERE THE HEAD OF A BOLT OR COACH SCREW, A NUT, OR SPRING WASHER WOULD OTHERWISE BEAR ON A TIMBER ELEMENT. FLAT WASHERS ARE NOT REQUIRED WHERE THE HEAD OR NUT BEARS ON A STEEL PLATE. UNLESS NOTED OTHERWISE, FLAT WASHERS BEARING AGAINST TIMBER SHALL HAVE THE FOLLOWING MINIMUM OUTSIDE DIAMETER

WASHERS				
NOMINAL FASTENER SIZE	M8	M16	M20	M24
NOMINAL OUTSIDE DIAMETER	36mm	55mm	65mm	75mm

SPRING WASHERS SHALL BE STANDARD HELICAL SPRING-LOCK WASHERS. SPRING WASHERS ARE TO BE INSTALLED UNDER THE NUT ON ALL BOLTS CONNECTING TIMBER ELEMENTS.


5. TIMBER DIMENSIONS SHALL BE NOT LESS THAN:

TIMBER DIMENSIONS TOLERANCES	
SEASONED SOFTWOOD	+5mm , -0mm
UNSEASONED SOFTWOOD	< F7 +3mm , -3mm
UNSEASONED SOFTWOOD	> F7 +2mm , -4mm
SEASONED HARDWOOD	+2mm , -0mm
UNSEASONED HARDWOOD	+3mm , -3mm
SEE ALSO CLAUSE 1.6.2 IN AS 2082	

6. ALL TIMBER JOINTS AND NOTCHES ARE TO BE 100mm MINIMUM AWAY FROM LOOSE KNOTS. SEVERE SLOPING GRAIN, GUM VEINS OR OTHER MINOR DEFECTS. ALL TRUSSES AND RAFTERS SHALL BE FIXED TO TOP PLATE WITH METAL PLATE CONNECTORS.
7. FIELD-CUT SURFACES ARE TO BE TREATED TO REFUSAL / SATURATION WITH COPPER NAPHTHENATE PRESERVATIVE. END GRAIN IS TO BE COATED WITH ANCHOR SEAL PARAFFIN SEALANT. TREAT BEAMS AS SOON AS POSSIBLE AFTER CUTTING. ENSURE CUTS ARE CLEAN AND FREE OF SAWDUST OR DEBRIS PRIOR TO TREATING.

[illegible]

CERTIFICATION



M. LANCINI RPE0 18786

COPYRIGHT (C)

These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 636 773 781). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figured dimensions take precedence over scale. Do not scale from this drawing.



**MAL**  
Engineers

Drawn	Date
NB	22.3.23
Checked	Date
ML	22.3.23
Designed	Date
ML	22.3.23
Verified	Date
ML	22.3.23
Approved	
M. LANCINI	16.5.23

Client	
Project	DALE RESIDENCE 24 MURPHY STREET, PORT DOUGLAS
Title	GENERAL CONSTRUCTION NOTES

Status			
FOR CONSTRUCTION			
Datum	Scale	Size	
AHD	AS SHOWN	A1	
Drawing Number			Revision
Q23076-ST-01			A



DATE PLOTTED: 16 September 2023 8:43 AM BY: NEIL BROWNING

SCREW FIX WALL TOP PLATE TO FLOOR FRAMING WITH BATTEN SCREW AT 450 CTS. PROVIDE NOGGIN BETWEEN JOISTS IF REQUIRED. TYP.

INDICATES M24 DIAGONAL ROD BRACING.

### WALL BRACING SCHEDULE AND NOTES

- P(x) PLYWOOD BRACING ( 6kN/m RATING ) FIXED IN ACCORDANCE WITH AS1684.2 TABLE 8.18(h).  
(x) DENOTES LENGTH OF PLY BRACING. REFER DRAWING ST-13.  
..... DOUBLE BRACED WALLS TO HAVE M16 TIE DOWN RODS.  
..... WALLS SHORTER THAN 900mm TO HAVE M12 TIE DOWN RODS EACH END.  
..... CEILING DIAPHRAGM ACTION IS REQUIRED TO DISTRIBUTE LOADS TO BRACING WALLS.  
..... EXISTING WALLS.  
..... NEW 200 SERIES BLOCKWORK.  
..... NEW STUD WALL.  
..... WALL 75 x 5 SHS 'K' BRACE. REFER DWG ST-12.

### FRAMING LEGEND

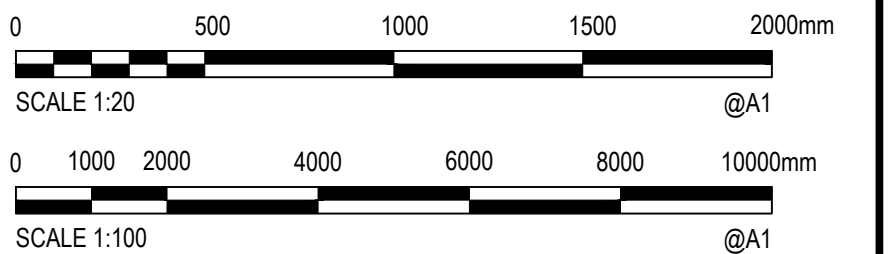
- Ec ..... EXISTING HWD POLE. (TO BE REPLACED)  
C1 ..... 250Ø F17 UNS HWD F5 TREATED POLE.  
C2 ..... 150Ø F17 UNS HWD F5 TREATED POLE.  
FB1 ..... 225 x 75 F17 H4 TREATED FLOOR BEAMER.  
J1 ..... 150 x 50 F17 H4 TREATED JOIST AT 450 CTS MAX. (UNO)  
RB1 ..... 225 x 50 F17 ROOF BEAM.  
R1 ..... 125 x 50 F14 RAFTER AT 900 CTS MAX.  
P1 ..... 125 x 50 F14 PURLINS AT 600 CTS MAX.  
PP1 ..... 100 x 50 F14 POLE PLATE

### LEGEND

- BP1 ..... 600 DIA. x 2000 DEEP MIN. BORED PIER.  
BP2 ..... 450 DIA. x 1500 DEEP MIN. BORED PIER.  
BP3 ..... 450 DIA. BORED PIER. SEE DWG ST-12.  
RW# ..... RETAINING WALL TYPE.  
ET1 ..... 200 DEEP x 300 WIDE SLAB EDGE THICKENING.  
EB1 ..... 300 DEEP x 300 WIDE SLAB EDGE BEAM.  
IB1 ..... 300 DEEP x 300 WIDE SLAB INTERNAL BEAM.  
DJ ..... SLAB DOWEL JOINT TYPE.  
SJ ..... SLAB SAWCUT JOINT.  
BJ ..... SLAB BUTT JOINT.

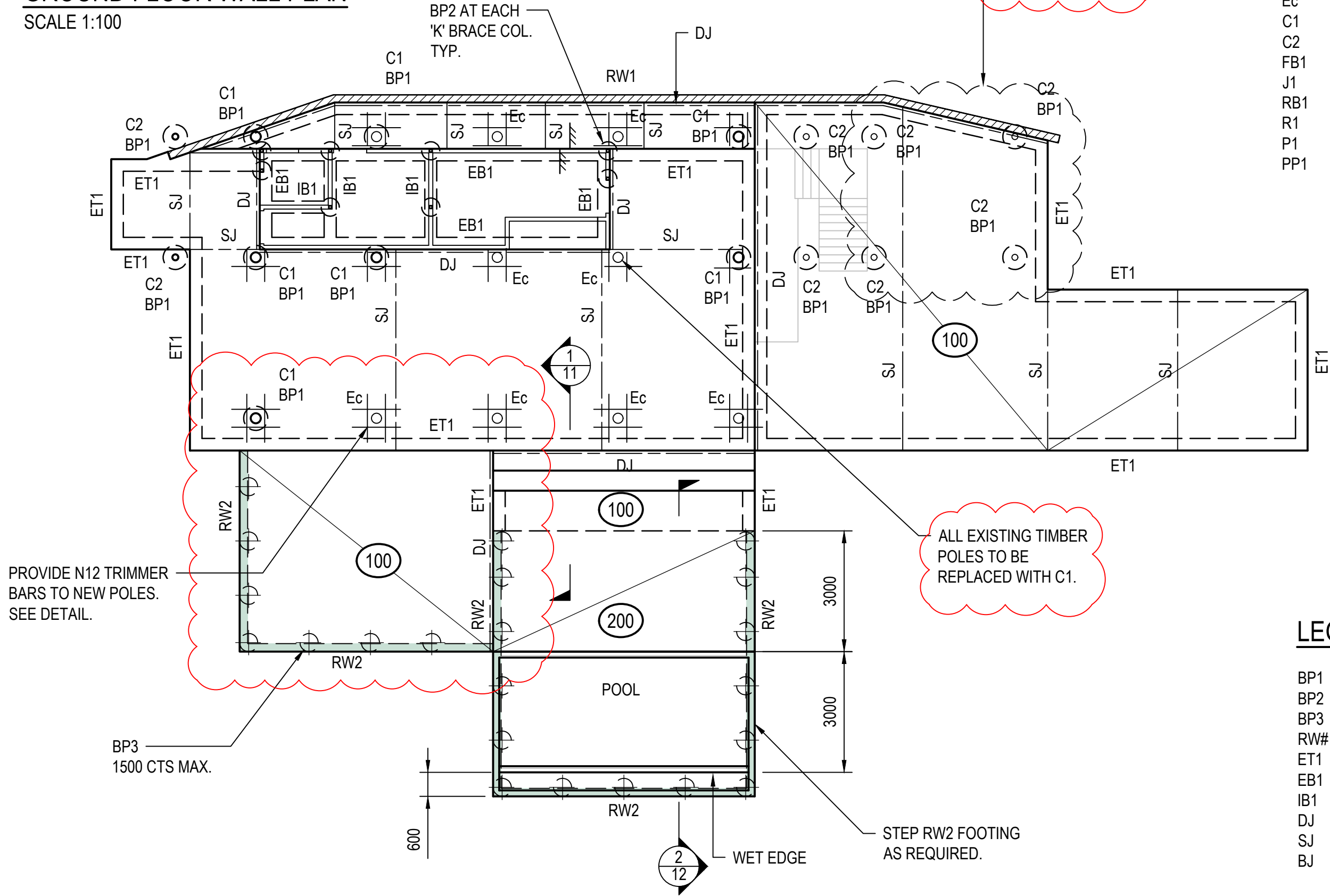
### SLAB LEGEND

- ..... 100 THK EXTERNAL PATH SLAB.  
..... SL82 MESH TOP AND N12 SLAB EDGE TRIMMER BAR.  
..... WET AREA



### GROUND FLOOR WALL PLAN

SCALE 1:100



### GROUND SLAB AND FOOTING PLAN

SCALE 1:100

- ..... FOOTING DESIGN BASED ON ASSUMED STIFF CLAY/DENSE SAND WITH 100 kPa ALLOWABLE BEARING PRESSURE AND 20 kPa ALLOWABLE SKIN FRICTION ON SITE, AND CLASS 'S' SITE.  
..... SOIL CONDITIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.  
..... REFER ARCHITECTS DRAWINGS FOR ALL SETOUT, FINISHES, STEPS AND FALLS TO SLAB.  
..... 100mm MINIMUM THICK SLAB ON GROUND. (UNO)  
..... 1 LAYER SL72 MESH TOP THROUGHOUT. 350mm LAP MINIMUM. 0.2mm THK POLYETHYLENE MEMBRANE WITH TAPED JOINTS ON 50mm THK COMPACTED SAND BEDDING UNDER SLAB ON GROUND.  
..... N12 TRIMMER CONTINUOUS TOP UNDER SLAB REINFORCEMENT TO ALL SLAB EDGES. LAP 600 MINIMUM.

CAD File: C:\Users\neilb\OneDrive - MAL Engineers\Documents\Projects\Jobs\Cams\2023\Q23076 - 24\_Murphy\_ST\_1\_CAD & Models\Acad\Q23076-ST-MURPHY REV/C.dwg

Rev.	Date	Description	Des.	Verif.	Appd.
C	18.9.23	FLOOR PLANS EXTENDED	ML	ML	ML
B	12.6.23	REVISED AS CLOUDED	ML	ML	ML
A	16.5.23	ISSUED FOR CONSTRUCTION	ML	ML	ML

**ANGEL**  
CONSTRUCTION  
QBCC 15128072

#### CERTIFICATION

M. LANCINI RPEQ 18786

#### COPYRIGHT ©

These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 636 773 731). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figure dimensions take precedence over scale. Do not scale from this drawing.



Drawn	Date	Client
NB	22.3.23	
Checked	Date	
ML	22.3.23	
Designed	Date	
ML	22.3.23	
Verified	Date	
ML	22.3.23	
Approved	Date	
M. LANCINI	16.5.23	

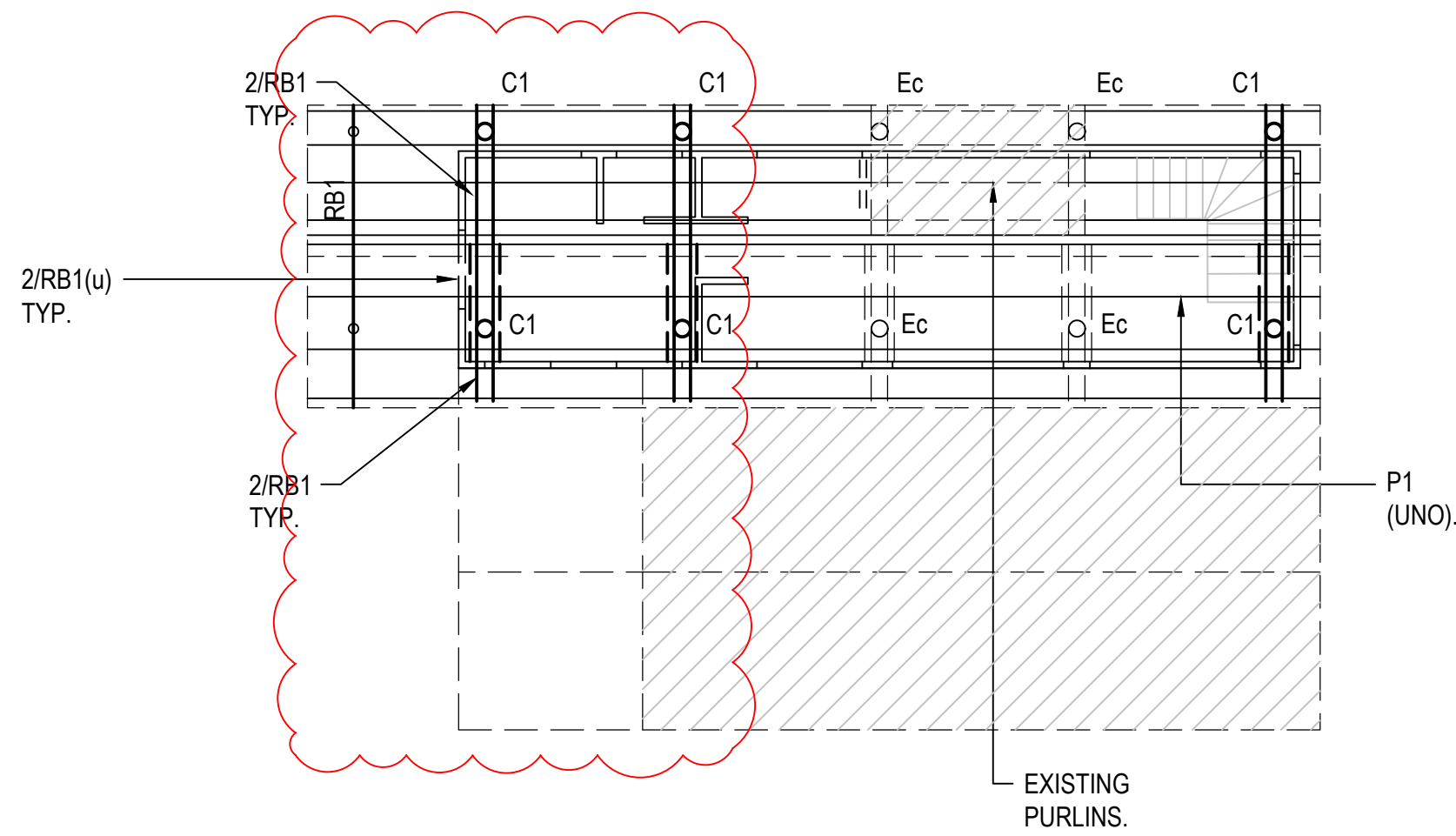
Project	DALE RESIDENCE 24 MURPHY STREET, PORT DOUGLAS
Title	GROUND FLOOR SLAB PLAN

Status	FOR CONSTRUCTION
Datum	AHD
Scale	AS SHOWN
Size	A1
Drawing Number	Q23076-ST-02
Revision	C

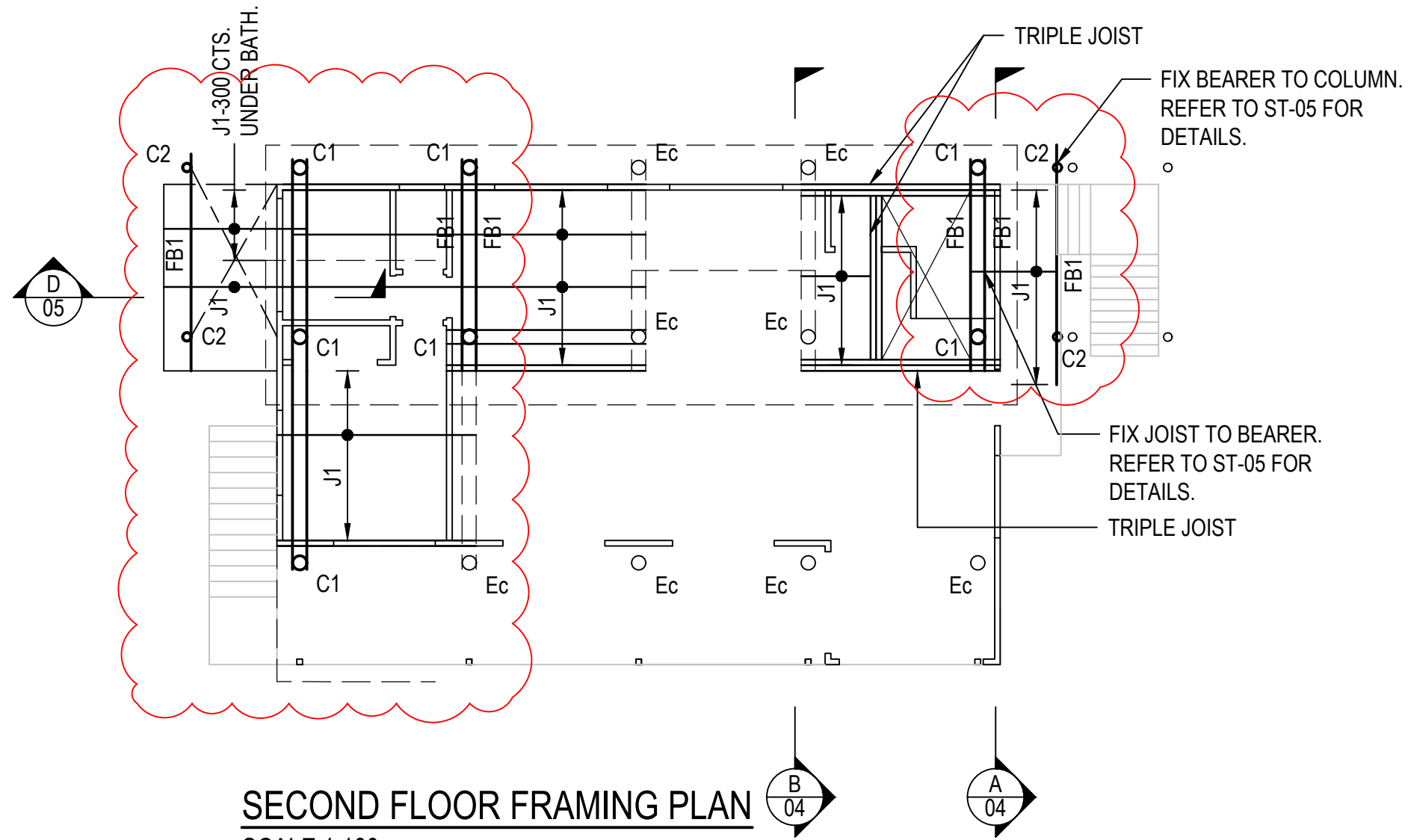


DATE PLOTTED: 16 September 2023 8:50 AM BY: NEIL BROWNING

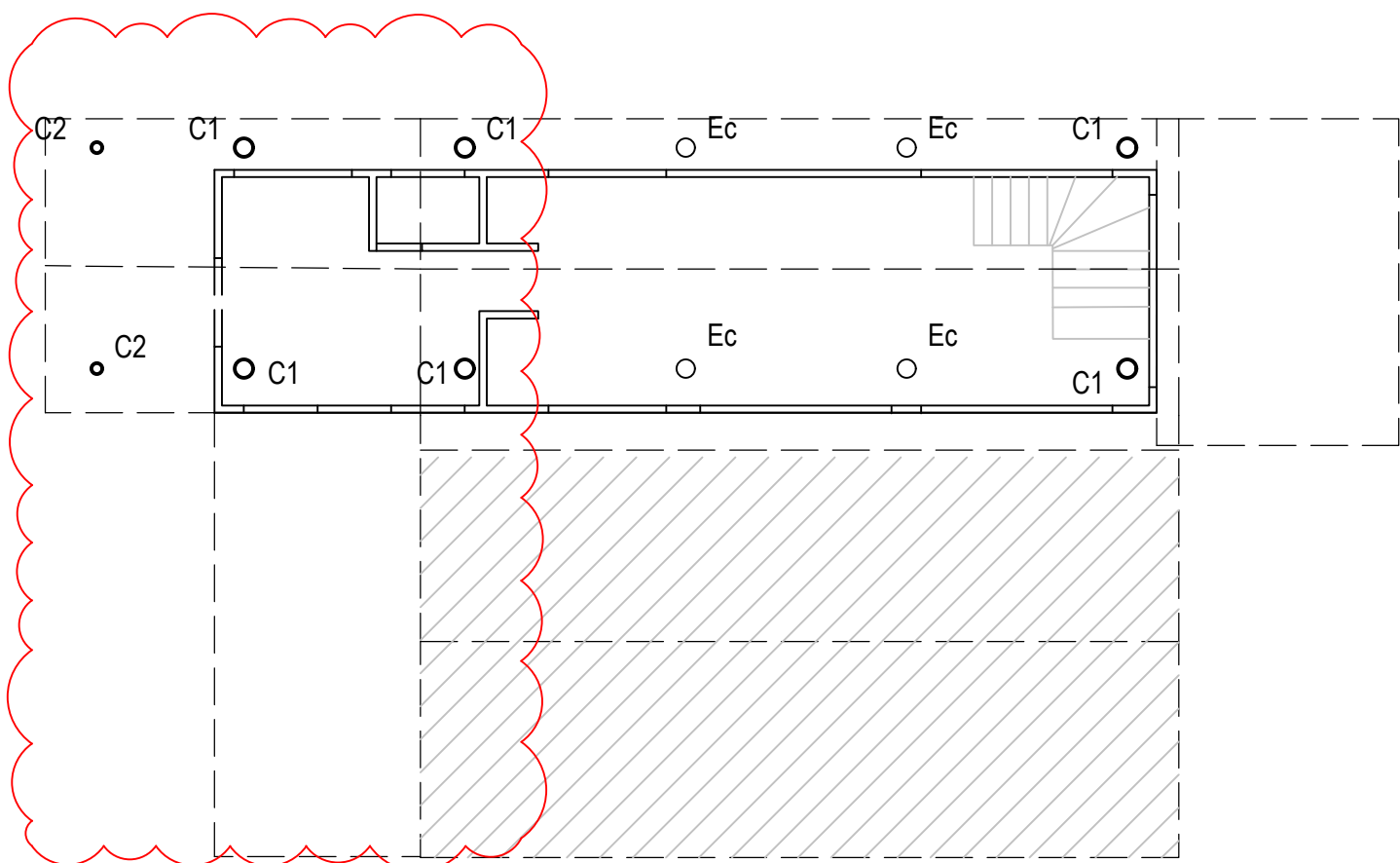
CAD File: C:\Users\neilb\OneDrive - MAL Engineers\Documents\Projects\Loas\Carrns\2023\Q23076 - 24 Murphy St. CAD & Models\Kaal\Q23076-ST-MURPHY REV.C.dwg



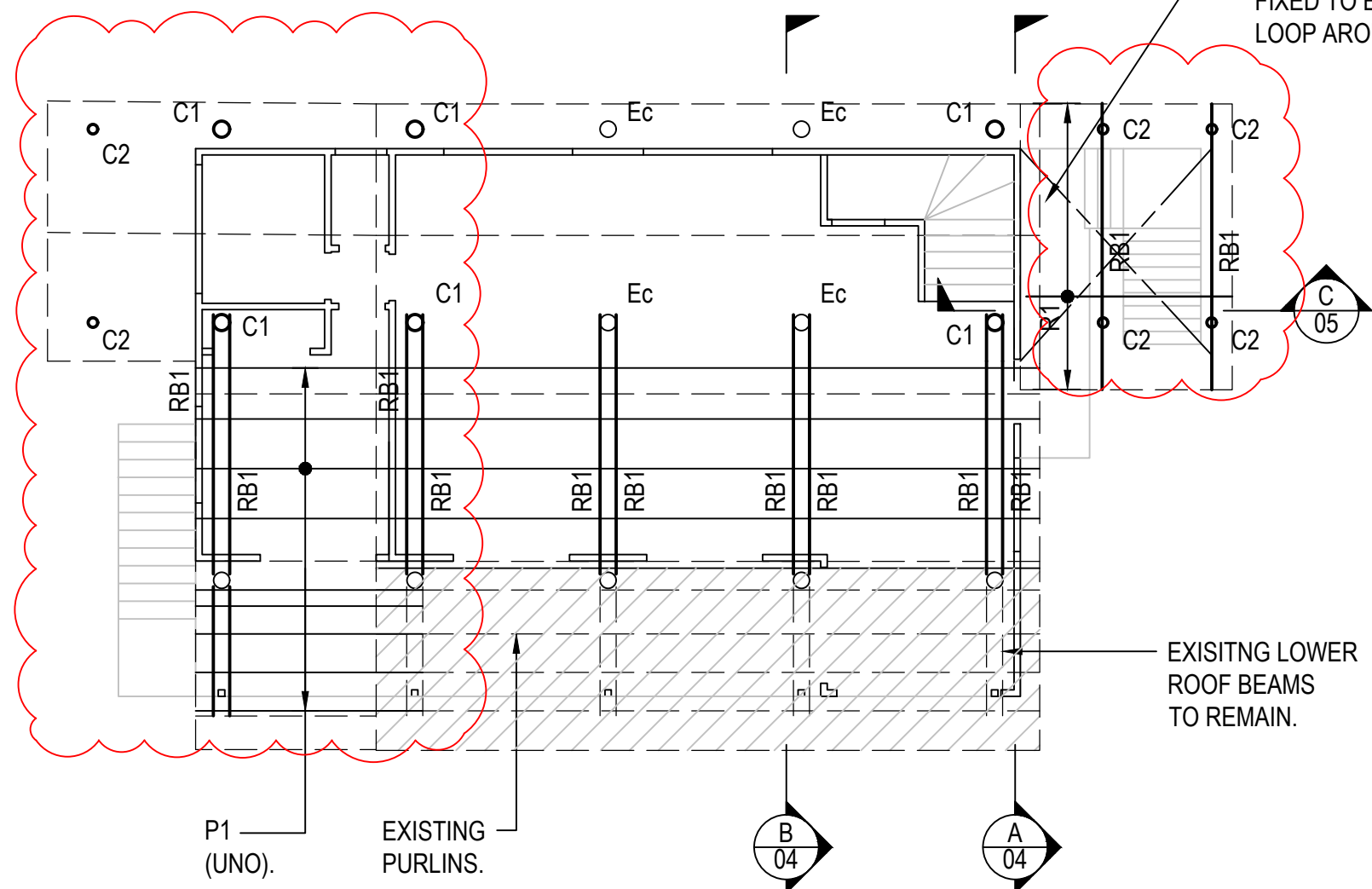
UPPER ROOF FRAMING PLAN  
SCALE 1:100



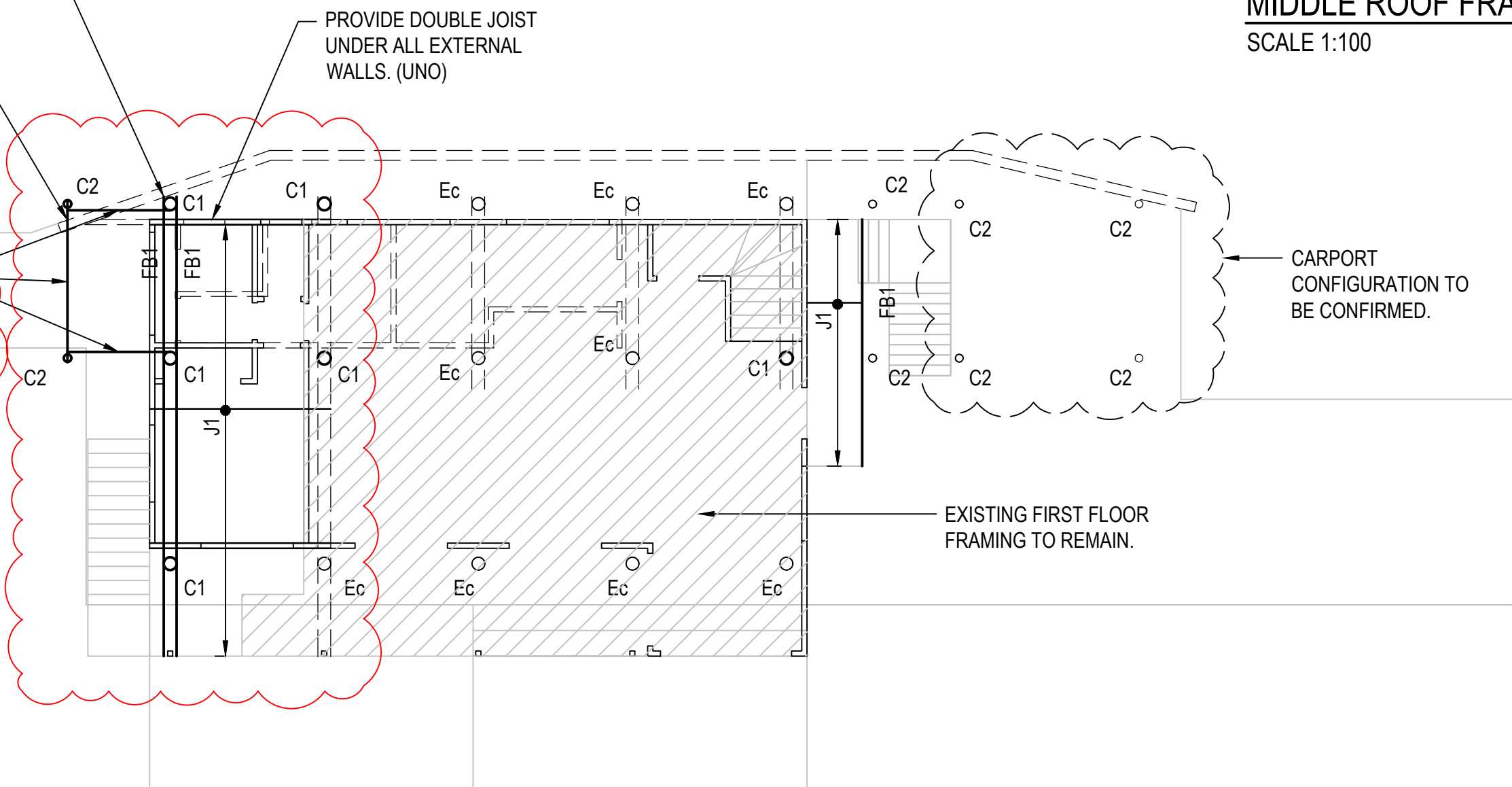
SECOND FLOOR FRAMING PLAN  
SCALE 1:100



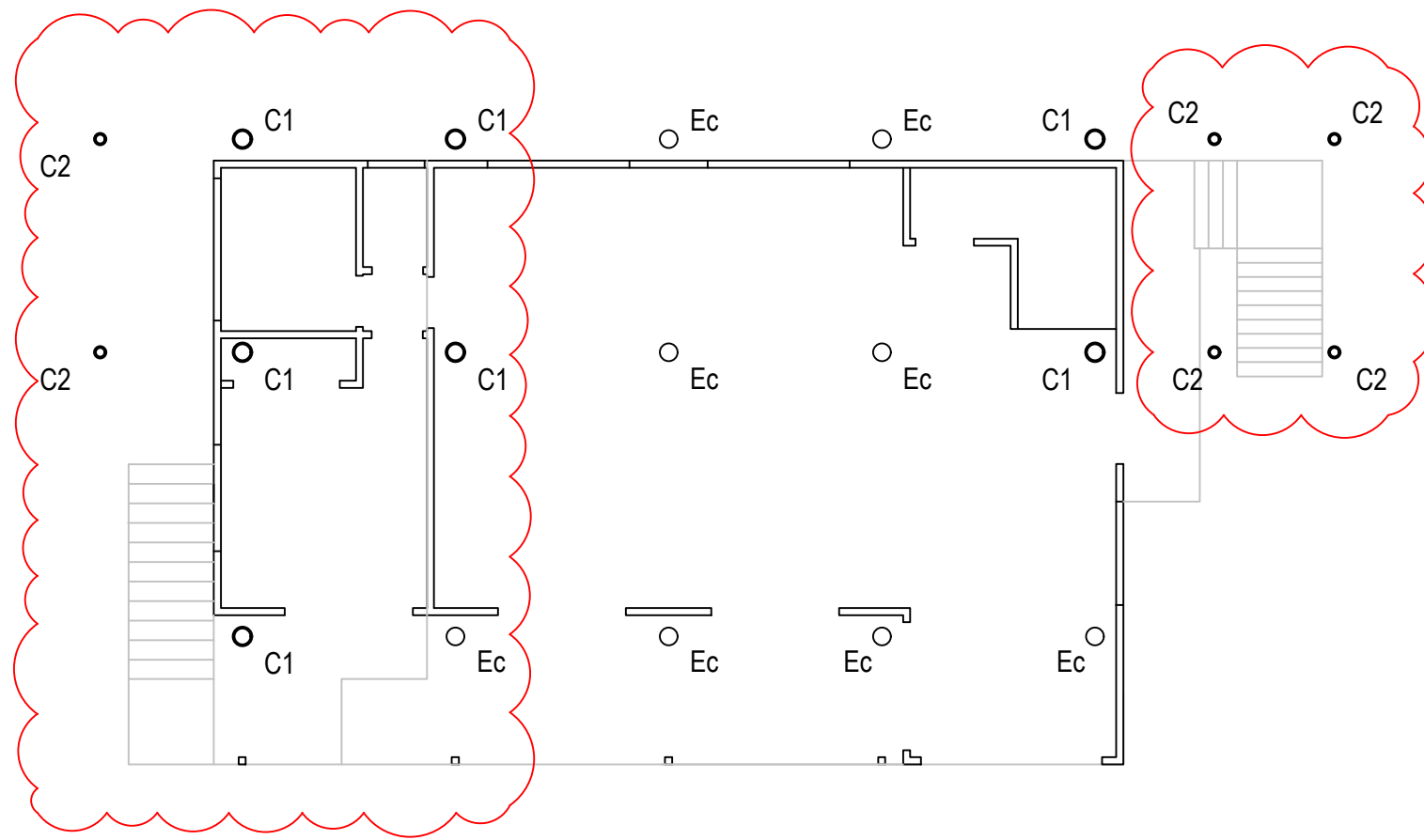
SECOND FLOOR WALL PLAN  
SCALE 1:100



MIDDLE ROOF FRAMING PLAN  
SCALE 1:100



FIRST FLOOR FRAMING PLAN  
SCALE 1:100

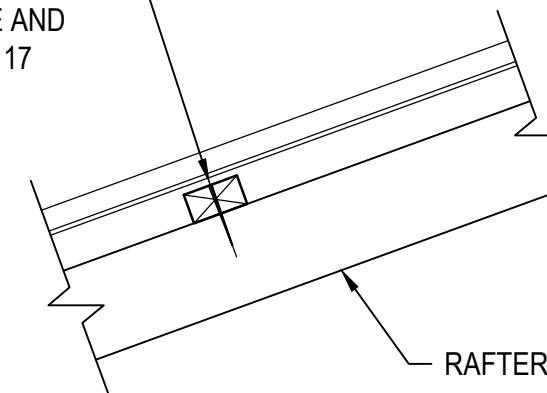


FIRST FLOOR WALL PLAN  
SCALE 1:100

### FRAMING LEGEND

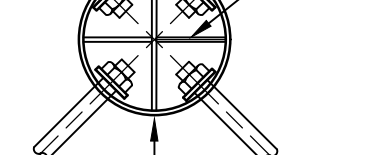
Ec	.....	EXISTING HWD POLE. (TO BE REPLACED)
C1	.....	250Ø F17 UNS HWD F5 TREATED POLE.
C2	.....	150Ø F17 UNS HWD F5 TREATED POLE.
FB1	.....	225 x 75 F17 H4 TREATED FLOOR BEARER.
J1	.....	150 x 50 F17 H4 TREATED JOIST AT 450 CTS MAX. (UNO)
RB1	.....	225 x 50 F17 ROOF BEAM.
R1	.....	125 x 50 F14 RAFTER AT 900 CTS MAX.
P1	.....	125 x 50 F14 PURLINS AT 600 CTS MAX.
PP1	.....	100 x 50 F14 POLE PLATE

38 x 75 F14 UNS HWD ROOF  
BATTENS AT 900 CTS.  
GENERALLY AND 600 CTS  
WITHIN 1200 CTS OF EDGE AND  
RIDGE. 1/90mm No.14 TYPE 17  
BATTEN SCREW EACH  
RAFTER.

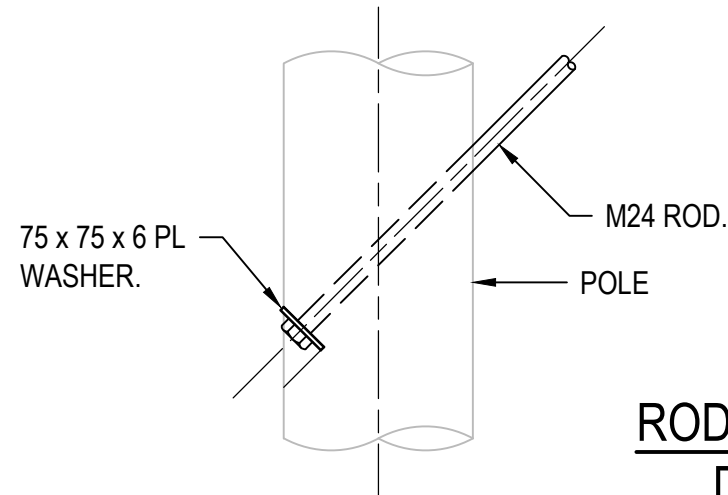


TYPICAL BATTEN FIXING  
1:10

6 THK STIFFENERS  
AND BRACING PL.



ROD BRACING  
DETAIL  
1:10

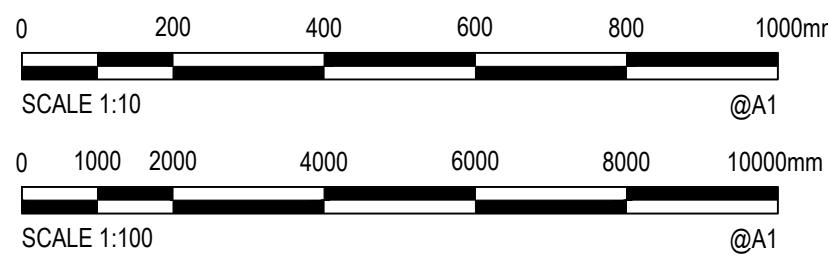


### WALL BRACING SCHEDULE AND NOTES

P(x)	PLYWOOD BRACING ( 6kN/m RATING ) FIXED IN ACCORDANCE WITH AS1684.2 TABLE 8.18(h).
(x)	DENOTES LENGTH OF PLY BRACING. REFER DRAWING ST-12.
.....	DOUBLE BRACED WALLS TO HAVE M16 TIE DOWN RODS.
.....	WALLS SHORTER THAN 900mm TO HAVE M12 TIE DOWN RODS EACH END.
.....	CEILING DIAPHRAGM ACTION IS REQUIRED TO DISTRIBUTE LOADS TO BRACING WALLS.
.....	EXISTING WALLS.
.....	NEW 200 SERIES BLOCKWORK.
.....	NEW STUD WALL.

### HARDWOOD TIMBER WALL FRAMING NOTES:

.....	STUDS TO BE 100 x 50 F14 AT 450 CTS. STUDS OVER 3600mm LONG TO BE AT 300 CTS.
.....	100 x 50 TOP AND BOTTOM PLATE BATTEN SCREWED TO JOISTS AND PURLINS ADJACENT TO JOISTS (MAX 450 CTS)
.....	100 x 75 F14 STUD NEXT TO OPENINGS UP TO 2000mm.
.....	100 x100 F14 STUD NEXT TO OPENINGS UP TO 3000mm.
.....	2/75 x 100 F14 STUDS NEXT TO OPENINGS UPTO 3500mm.
.....	100 x 100 F14 LINTELS TO OPENINGS UP TO 2000mm.
.....	2/150 x 50 F14 LINTELS TO OPENINGS UP TO 3000mm.
.....	2/175 x 50 F14 LINTELS TO OPENINGS 3001mm UPTO 3500mm.



Rev.	Date	Description	Des.	Verif.	Appd.
C	18.9.23	FLOOR PLANS EXTENDED	ML	ML	ML
B	12.6.23	REVISED AS CLOUDED	ML	ML	ML
A	16.5.23	ISSUED FOR CONSTRUCTION	ML	ML	ML

**ANGEL**  
CONSTRUCTION  
QBCC. 15128072

#### CERTIFICATION

M. LANCINI RPEQ 18786

#### COPYRIGHT ©

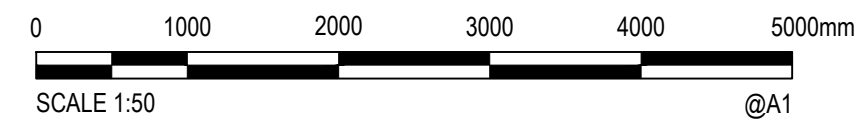
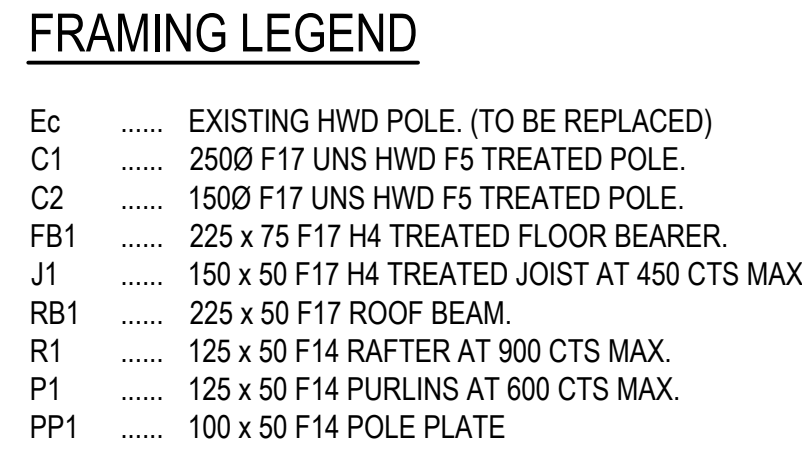
These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 630 773 731). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figured dimensions take precedence over scale. Do not scale from this drawing.



Drawn	NB	Date	22.3.23	Client	
Checked	ML	Date	22.3.23	Project	DALE RESIDENCE
Designed	ML	Date	22.3.23		24 MURPHY STREET, PORT DOUGLAS
Verified	ML	Date	22.3.23	Title	UPPER FLOORS AND ROOF PLANS
Approved	M. LANCINI	Date	16.5.23		

Status	FOR CONSTRUCTION
Datum	AHD
Scale	AS SHOWN
Size	A1
Drawing Number	Q23076-ST-03
Revision	C



[illegible]

CERTIFICATION

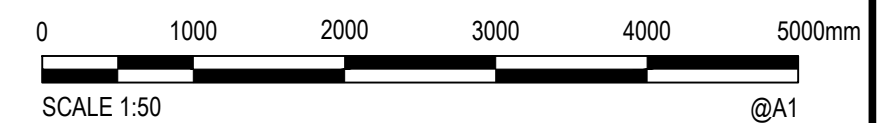
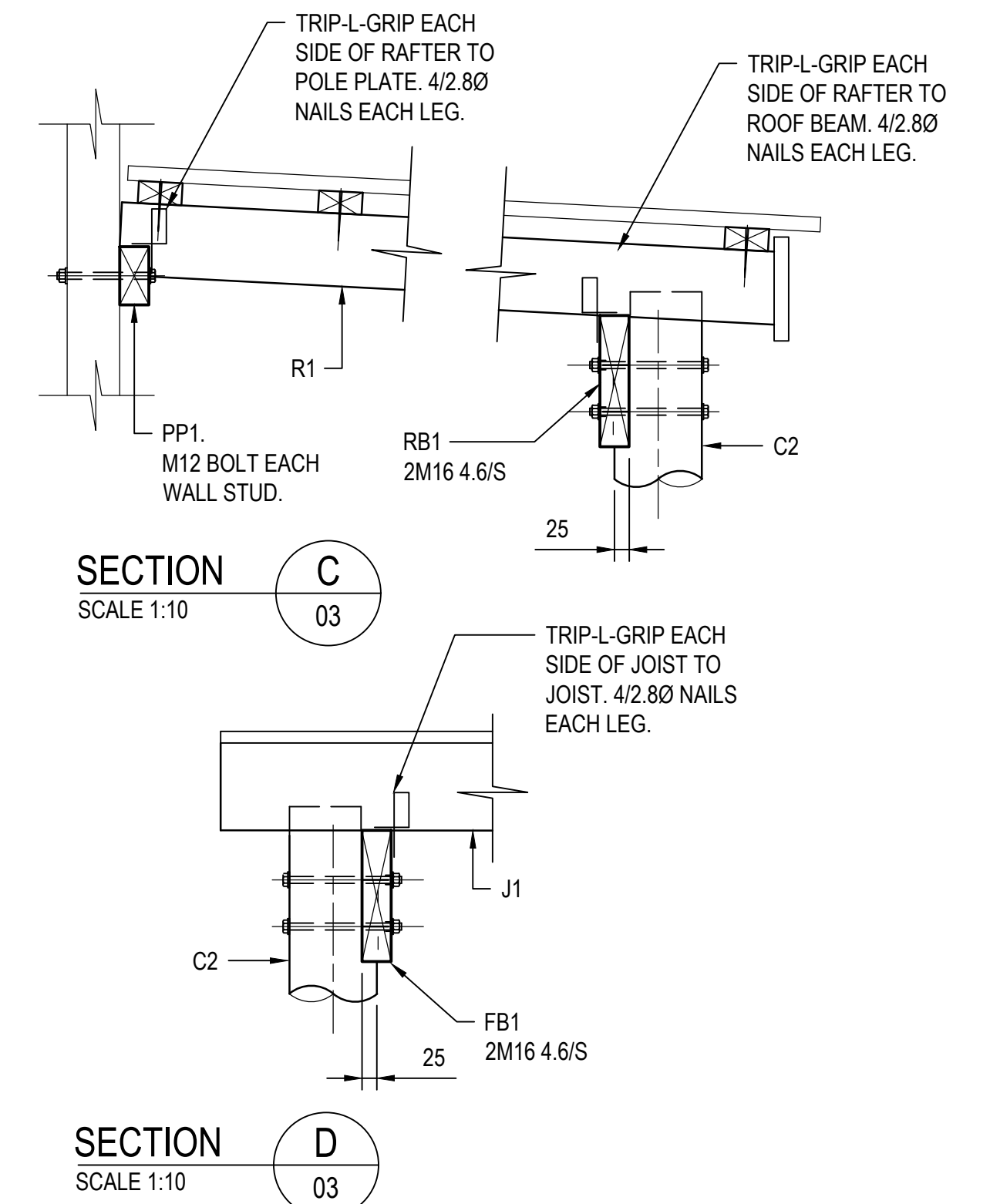
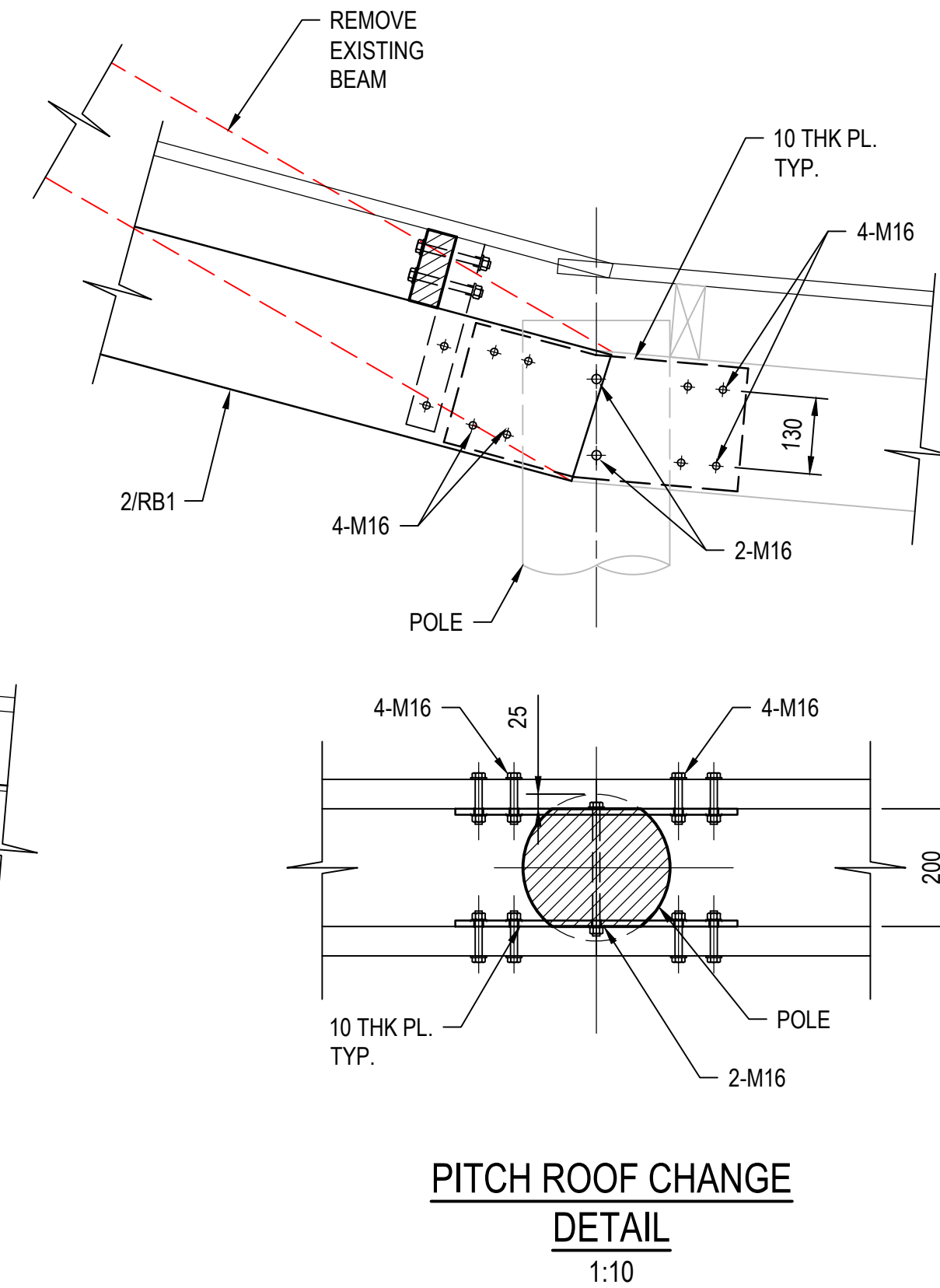
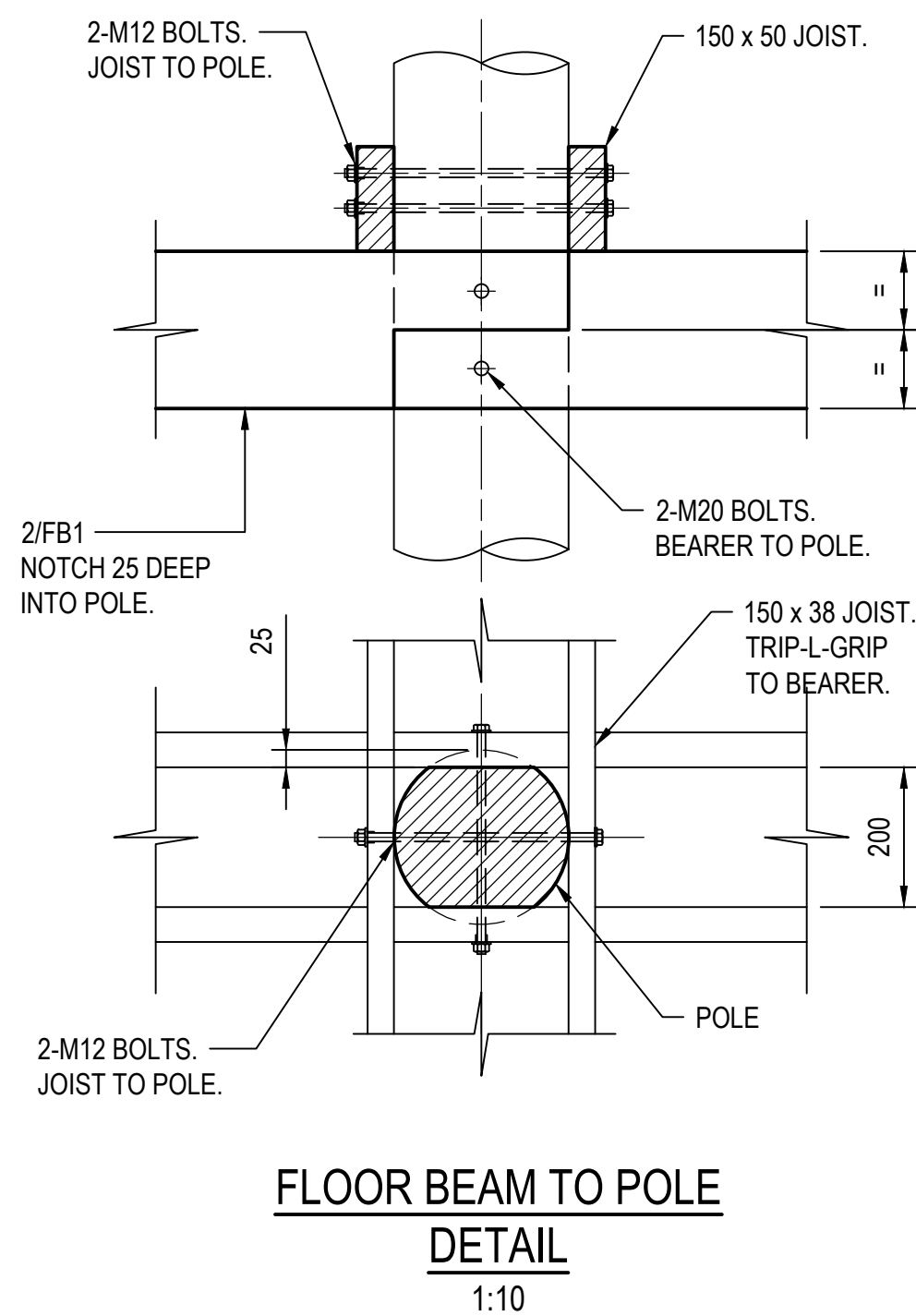
M. LANCINI RPEQ 18786

COPYRIGHT (C)

These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 636 773 781). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figured dimensions take precedence over scale. Do not scale from this drawing.



Drawn NB	Date 22.3.23	Client				
Checked ML	Date 22.3.23	Project DALE RESIDENCE 24 MURPHY STREET, PORT DOUGLAS	Status  FOR CONSTRUCTION			
Designed ML	Date 22.3.23		Datum AHD			
Verified ML	Date 22.3.23		Scale AS SHOWN		Size A1	
Approved			Drawing Number Q23076-ST-04		Revision B	
M. LANCINI	16.5.23	Title BUILDING SECTIONS				

[illegible]

These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 636 737 781). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figured dimensions take precedence over scale. Do not scale from this drawing.



Drawn	Date
NB	22.3.23
Checked	Date
ML	22.3.23
Designed	Date
ML	22.3.23
Verified	Date
ML	22.3.23
Approved	
M. LANCINI	16.5.23

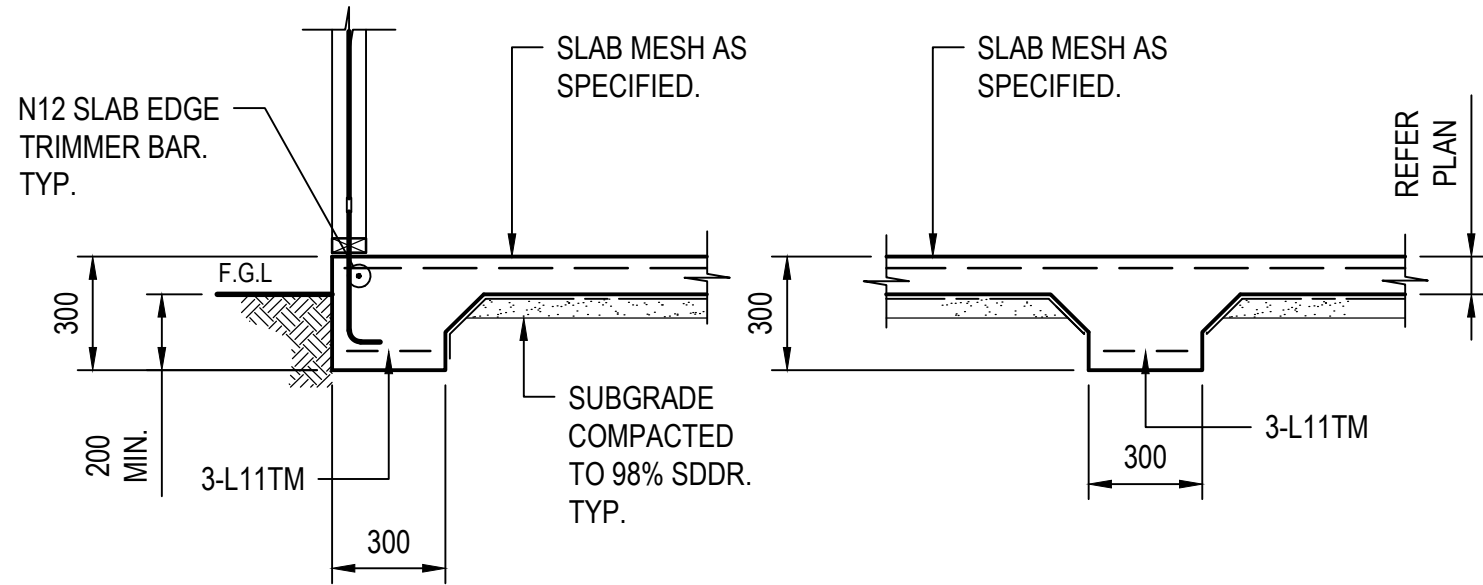
## ROOF FRAMING DETAILS

Revision	A
----------	---

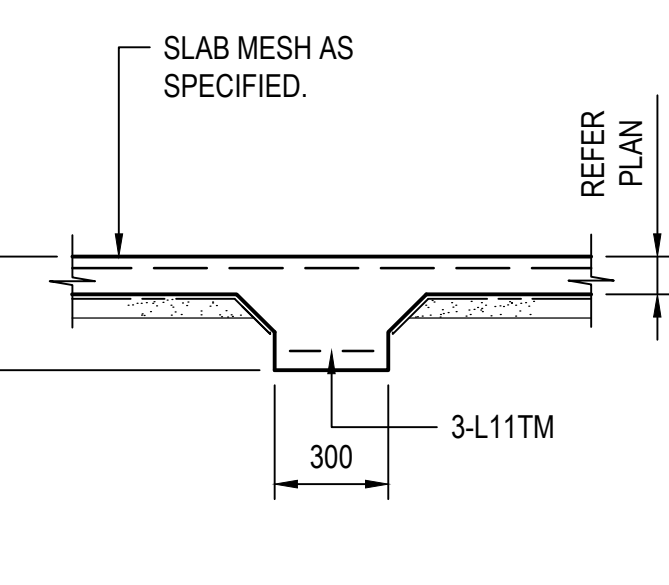


DATE PLOTTED: 16 September 2023 8:47 AM BY: NEIL BROWNING

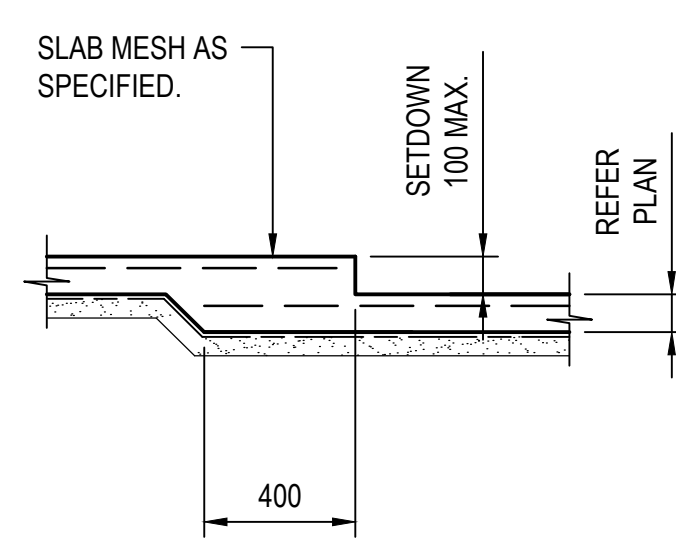
CAD File: C:\Users\neilb\OneDrive - MAL Engineers\Documents\Projects\Jobs\Carns\2023\Q23076 - 24 Murphy St. CAD & Models\Aeal\Q23076-ST-MURPHY REV.C.dwg



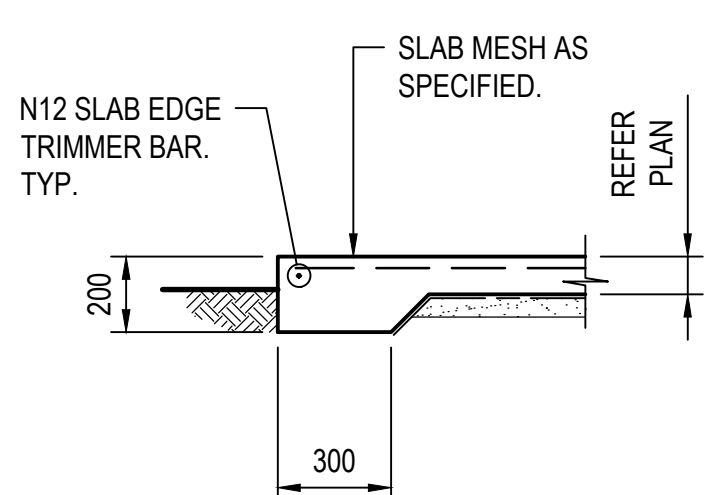
**TYPICAL EDGE BEAM (EB1) AT EXTERNAL WALL**  
1:20



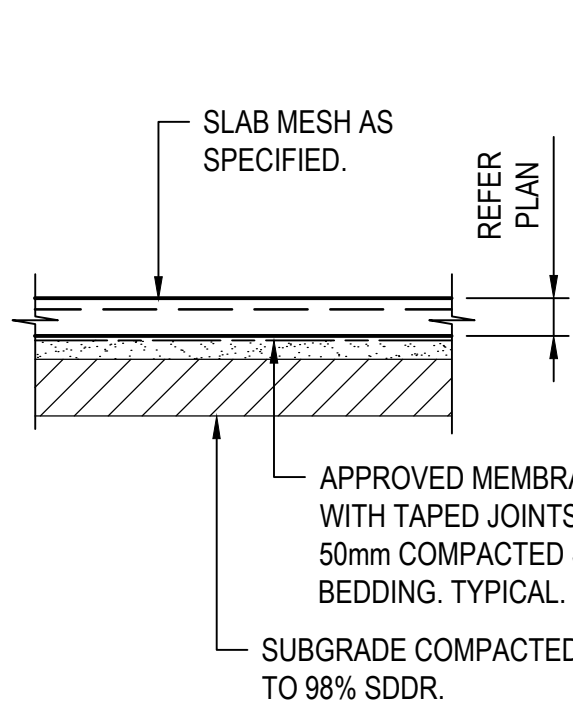
**TYPICAL INTERNAL BEAM (IB)**  
1:20



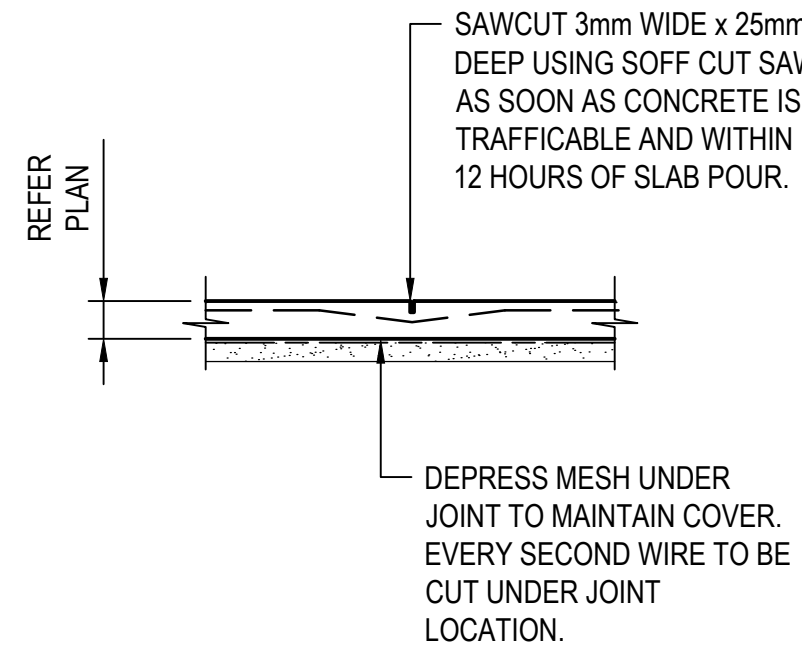
**TYPICAL STEP TOP OF SLAB**  
1:20



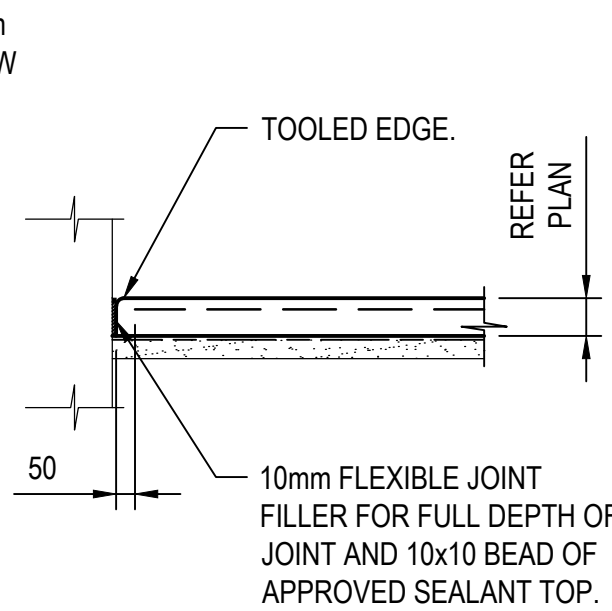
**TYPICAL EDGE THICKENING (ET1)**  
1:20



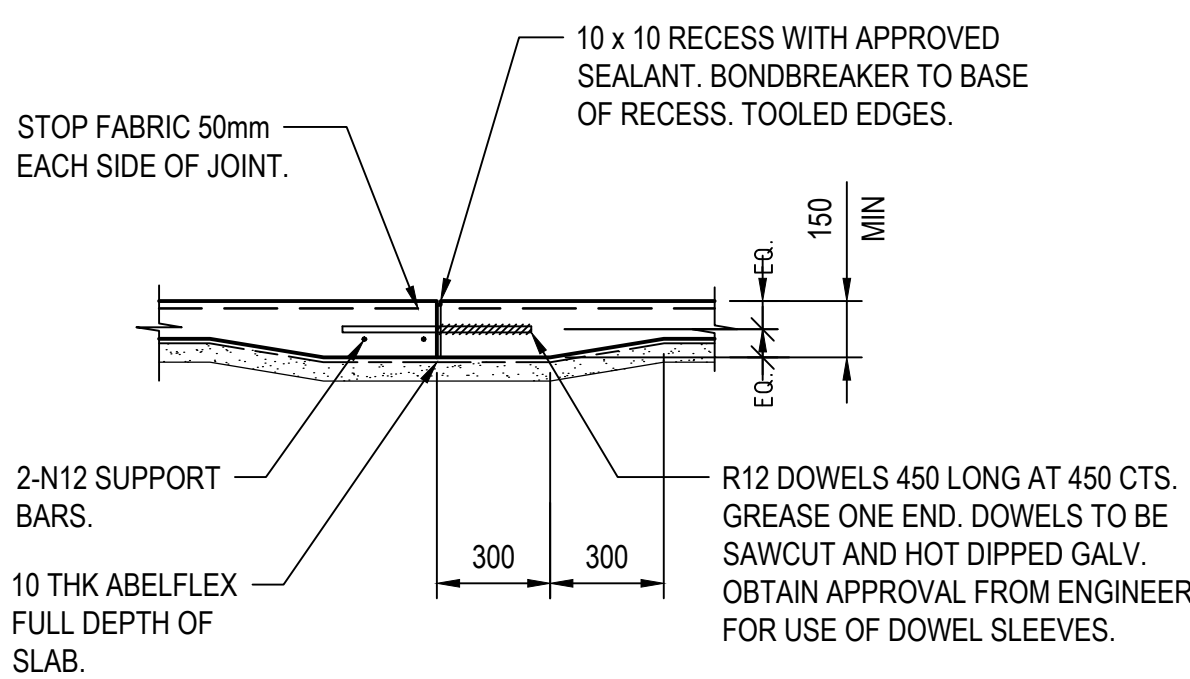
**TYPICAL SLAB ON GRADE DETAIL**  
1:20



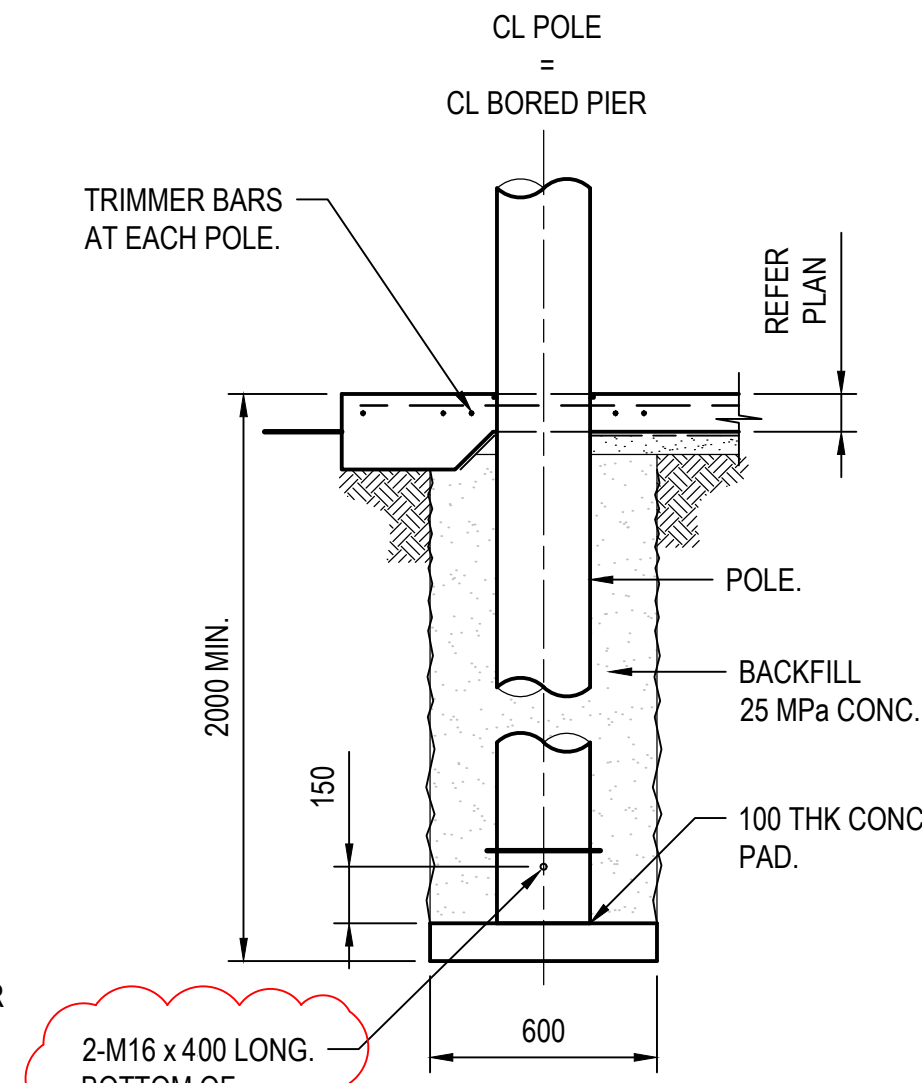
**SAWN JOINT DETAIL (SJ)**  
1:20



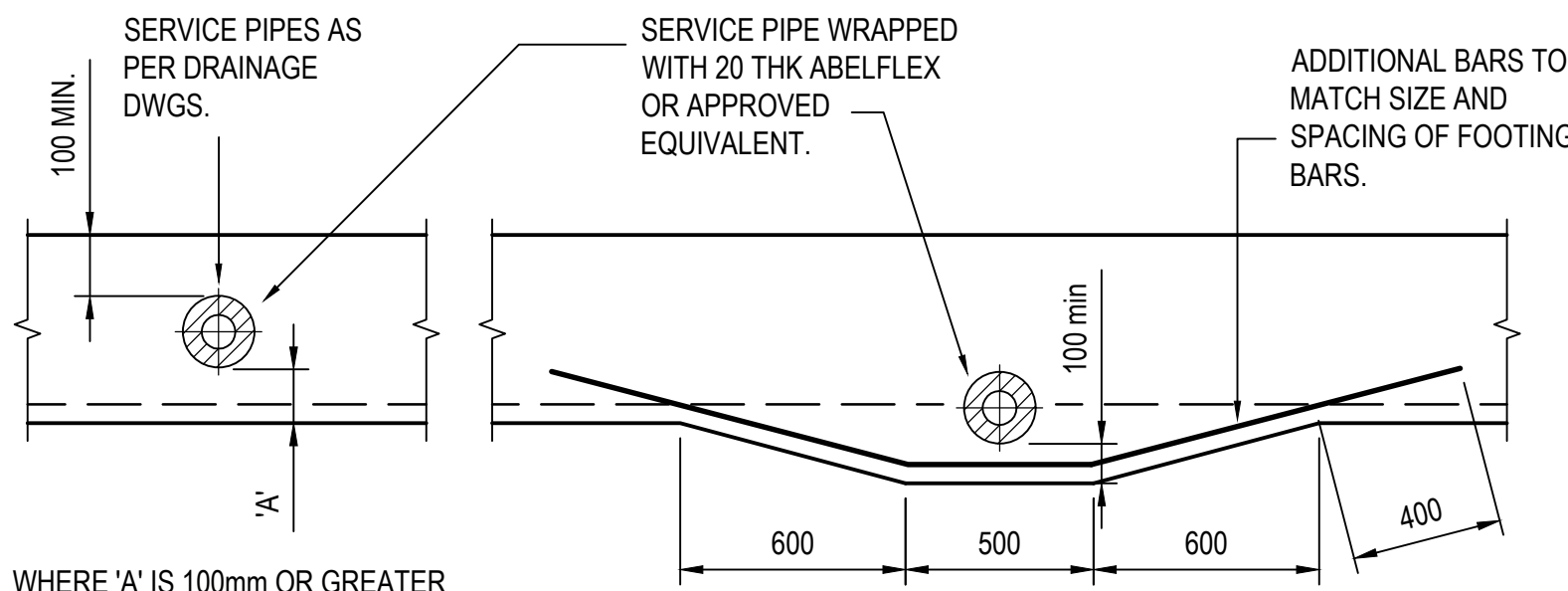
**BUTT JOINT (BJ)**  
1:20



**TYPICAL DOWELLED JOINT (DJ)**  
1:20

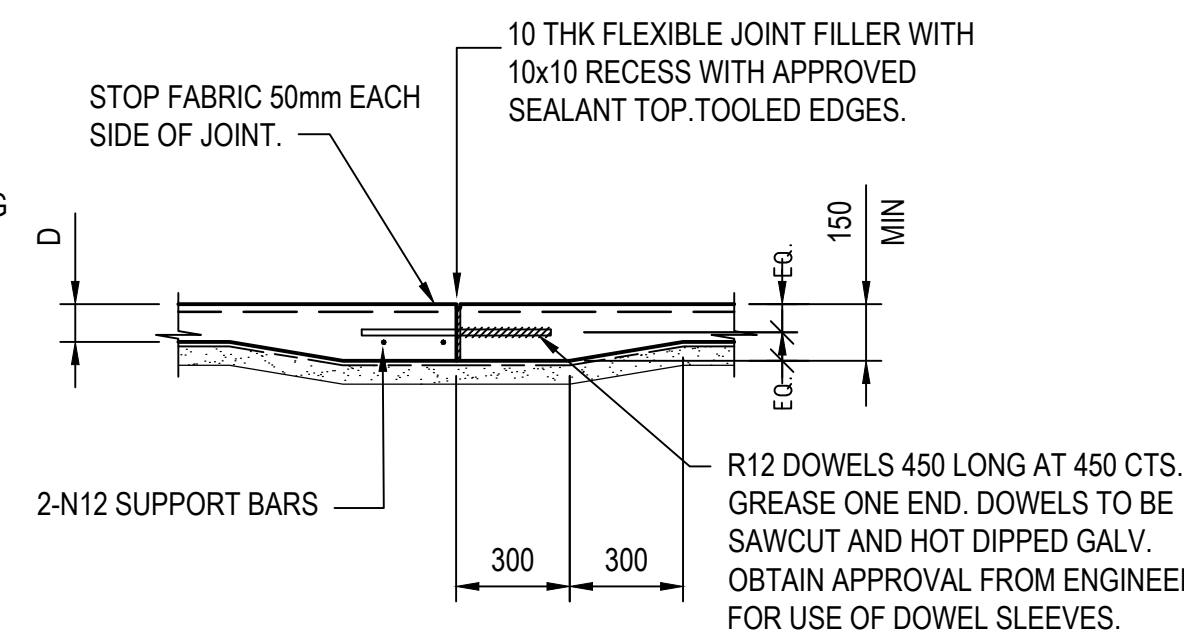


**TYPICAL BORED PIER**  
1:20

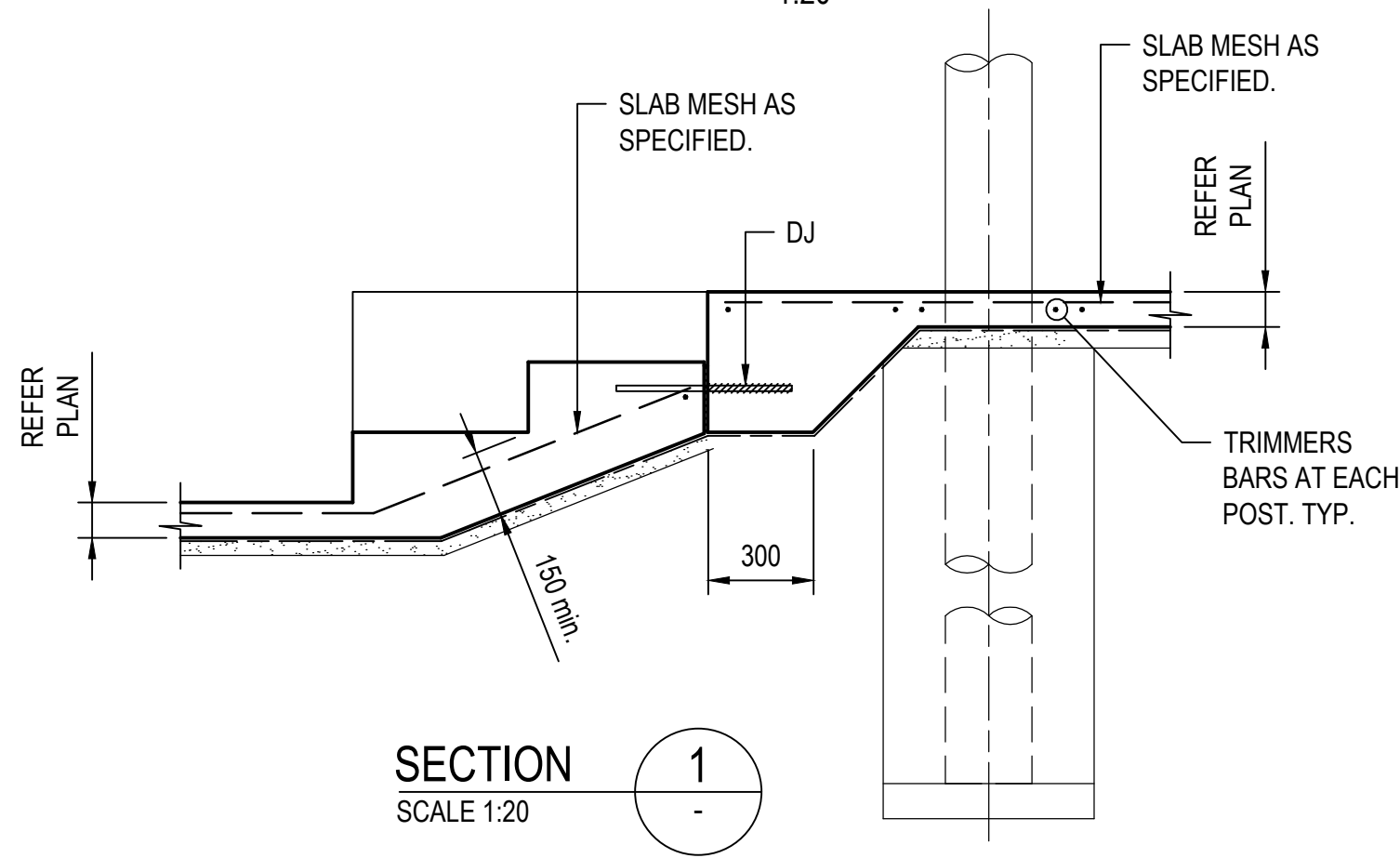


**PENETRATION DETAIL FOR PIPE PASSING THROUGH LOWER THIRD OF STRIP FOOTING OR SLAB RIB**

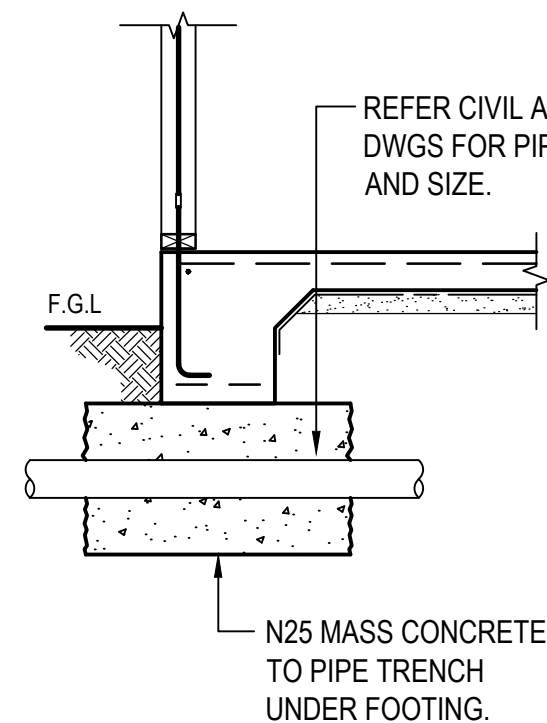
FOR PIPES RELEVANT TO THIS DETAIL REFER TO CIVIL & HYDRAULIC ENGINEERS DRAWINGS



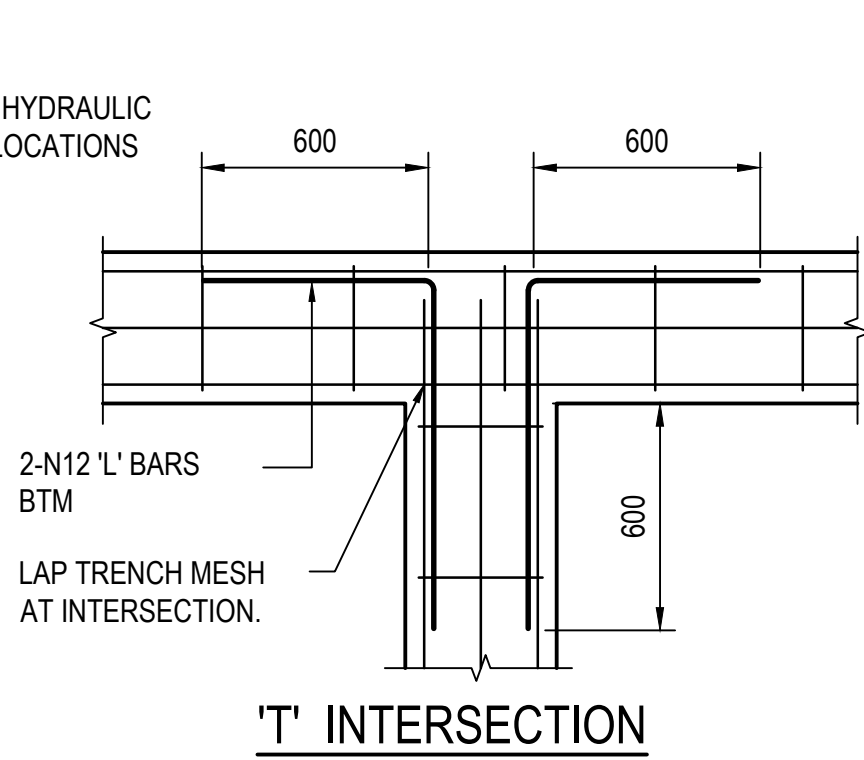
**TYPICAL EXPANSION JOINT (EJ)**  
1:20



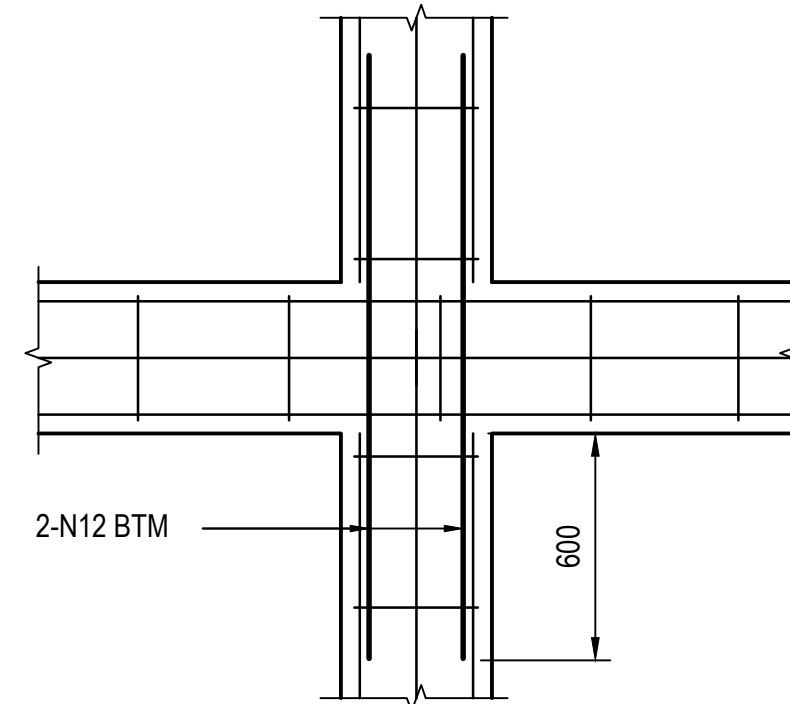
**SECTION 1**  
SCALE 1:20



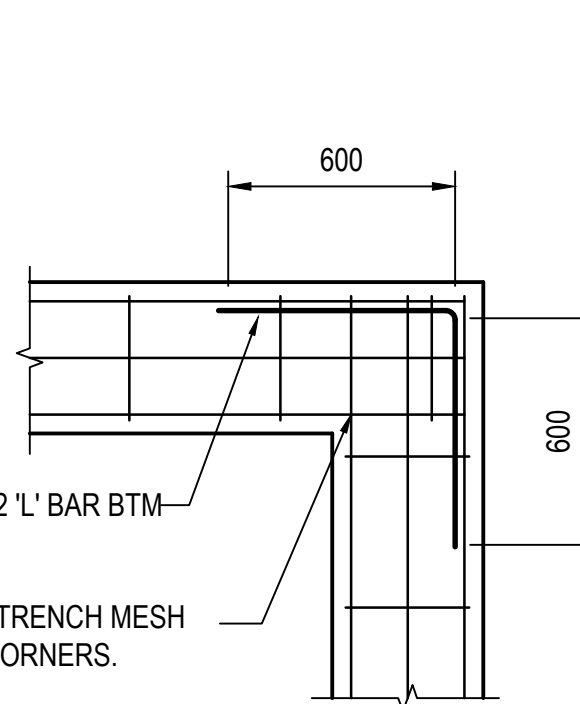
**TYPICAL PIPE UNDER FOOTING DETAIL**  
1:20



**'T' INTERSECTION**

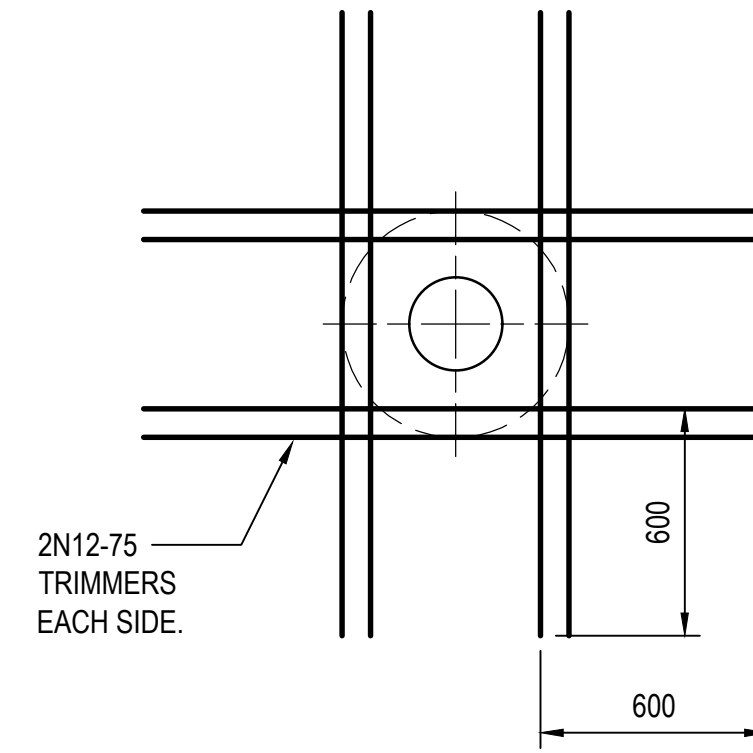


**INTERSECTION**

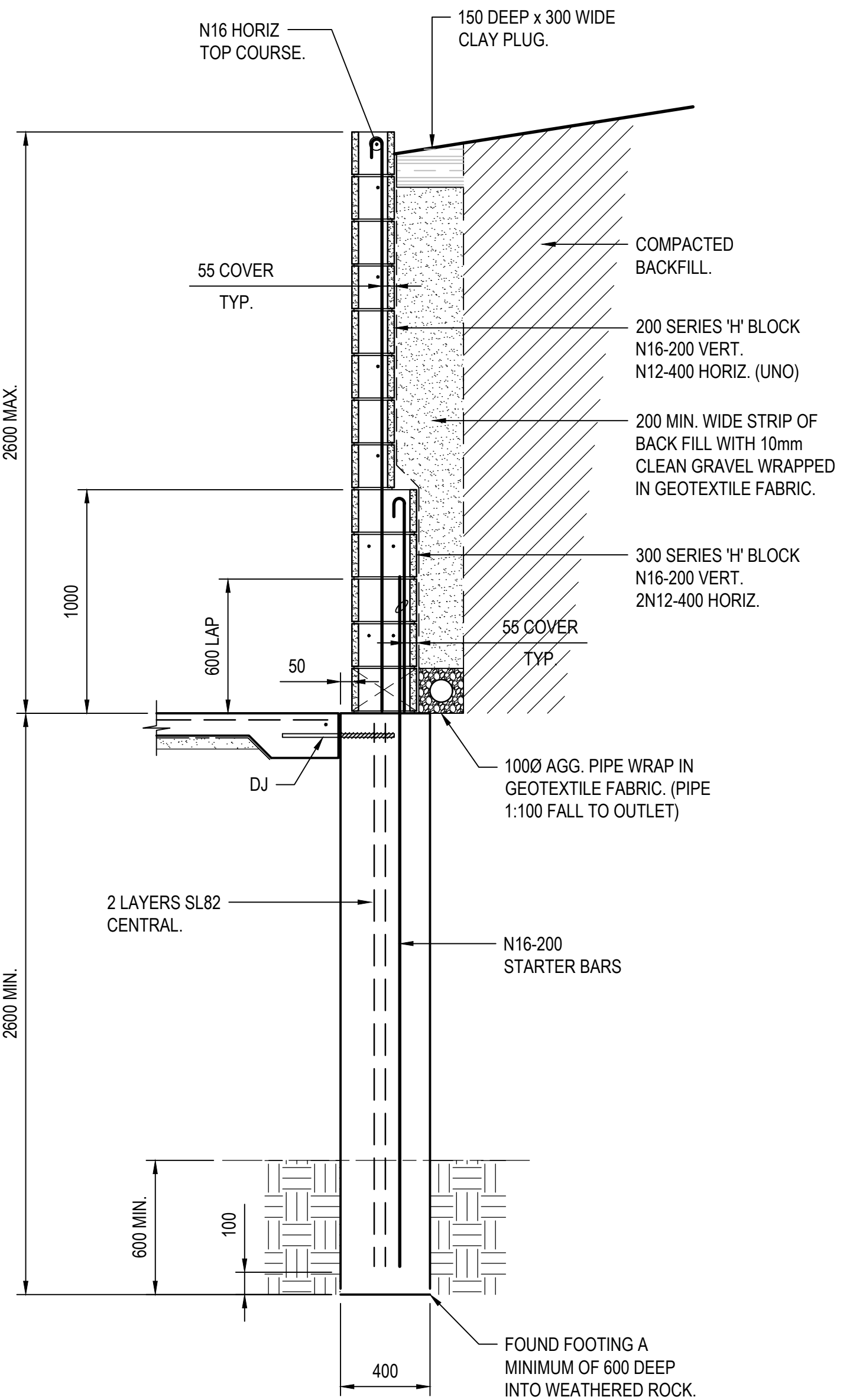


**CORNER**

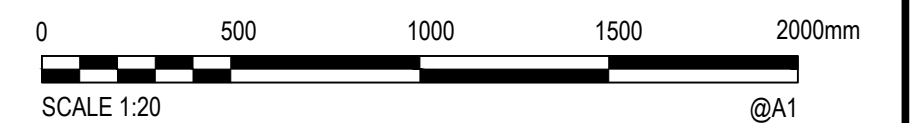
**TYPICAL FOOTING BEAM INTERSECTION DETAILS**



**TYPICAL TRIMMER BARS AT TIMBER POLES**  
1:20



**TYPICAL RETAINING WALL TYPE RW1**  
NTS



**RETAINING WALL NOTES:**

- ALL RETAINING WALLS TO BE CONSTRUCTED ON SOIL WITH 100 KPa ALLOWABLE BEARING PRESSURE.
- PROVIDE TANKING BEHIND ALL RETAINING WALLS. WATERPROOFING MEMBRANE TO FULL EXTENT OF RETAINING WALL. PROVIDE 3 COATS OF ORMINOID AS PER MANUFACTURER'S REQUIREMENTS. PLACE 4.5mm FC SHEET BEHIND WALL ONCE DRY AND PRIOR TO BACKFILLING.
- REFER CIVIL/ARCHITECTURAL DWGS FOR ALL RETAINING WALL LOCATIONS AND TOP RL's.
- CONTRACTOR TO ENSURE THAT ALL RETAINING WALL FOOTINGS FOUND BELOW ADJACENT STORMWATER PIPES AND DRAINS REFER TO CIVIL PLANS FOR LEVELS OF PIPES.
- 200 SERIES 'H' BLOCK TO BE USED.
- DISCHARGE AGG PIPES TO OUTLET (1:100 FALL) AS DIRECTED ON SITE.

Rev.	Date	Description	Des.	Verif.	Appd.
B	18.9.23	REVISED AS CLOUDED	ML	ML	ML
A	16.5.23	ISSUED FOR CONSTRUCTION	ML	ML	ML

**ANGEL**  
CONSTRUCTION  
QBCC 15128072

CERTIFICATION  
M. LANCINI RPEQ 18786  
COPYRIGHT ©  
These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 636 773 731). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figure dimensions take precedence over scale. Do not scale from this drawing.



Drawn	NB	Date	22.3.23
Checked	ML	Date	22.3.23
Designed	ML	Date	22.3.23
Verified	ML	Date	22.3.23
Approved	M. LANCINI	Date	16.5.23

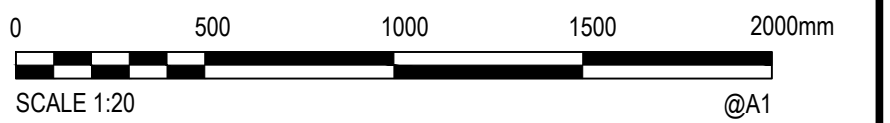
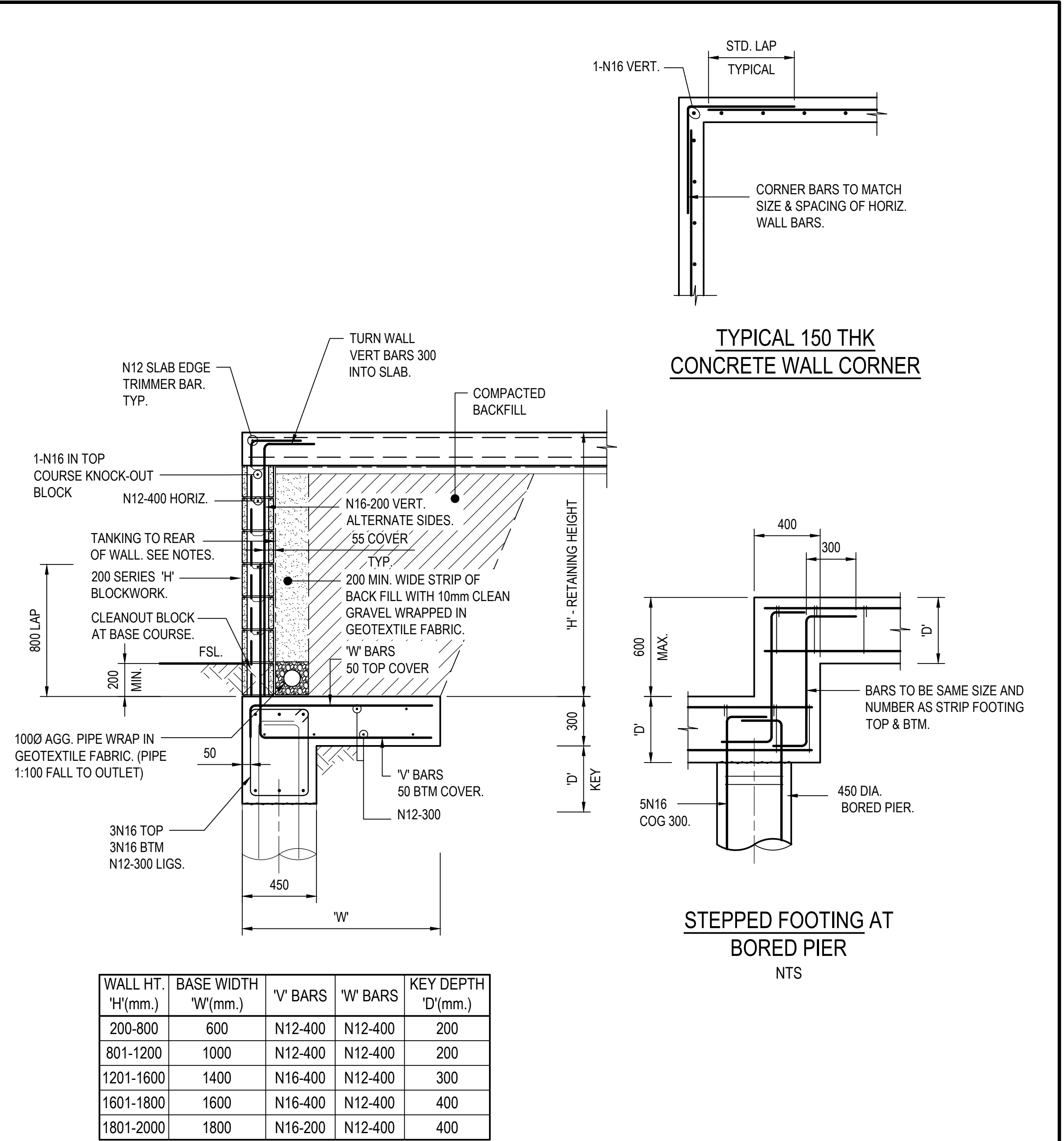
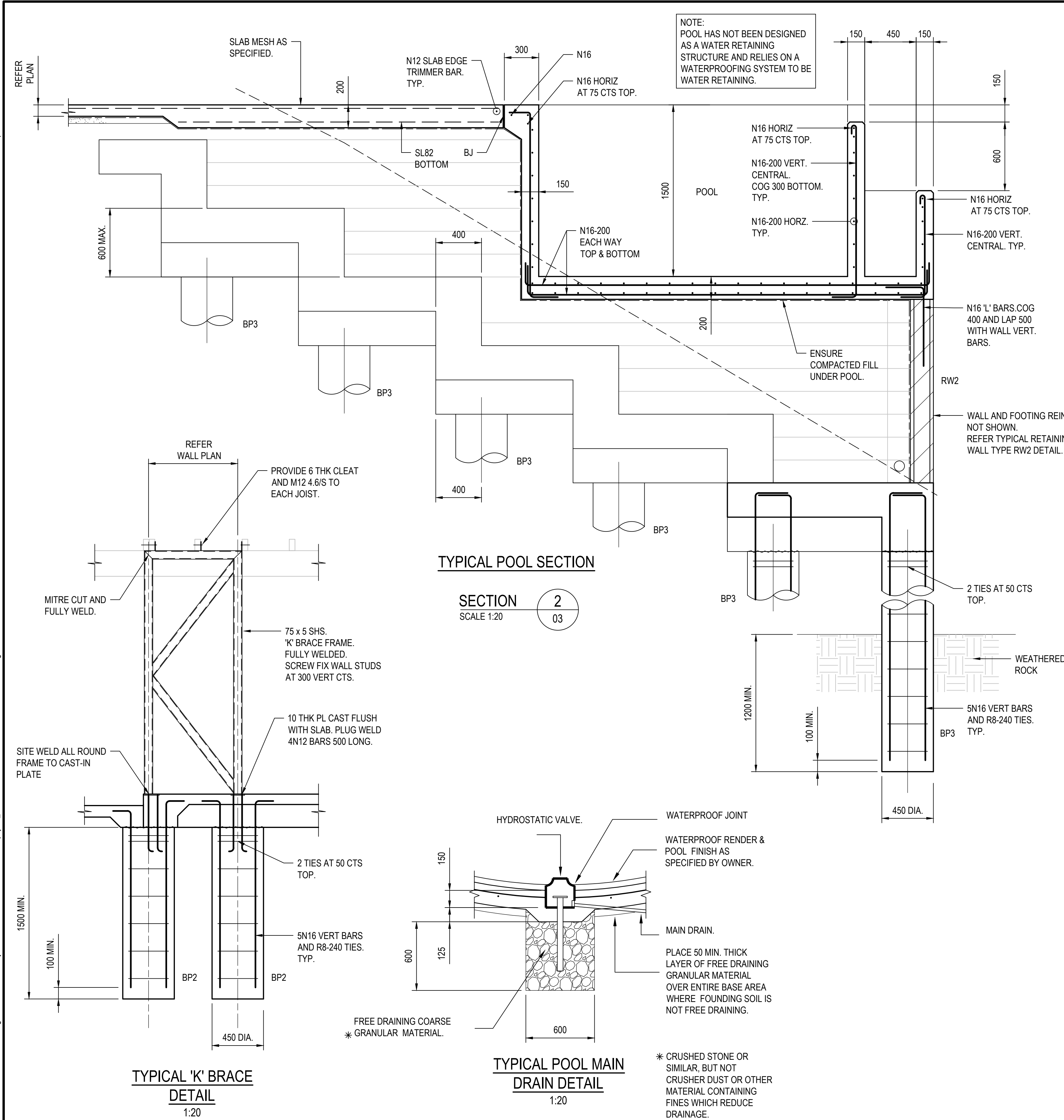
Client  
Project DALE RESIDENCE  
24 MURPHY STREET, PORT DOUGLAS  
Title  
TYPICAL SLAB AND FOOTING DETAILS

Status	FOR CONSTRUCTION			
Datum	AHD	Scale	AS SHOWN	Size
Drawing Number	Q23076-ST-11			Revision
				A



DATE PLOTTED: 16 September 2023 8:47 AM BY: NEIL BROWNING

CAD File: C:\Users\neilb\OneDrive - MAL Engineers\Documents\Projects\Jobs\Carrns\2023\Q23076 - 24 Murphy St. CAD & Models\carrn\Q23076-ST-MURPHY REV/C.dwg



Rev.	Date	Description	Des.	Verif.	Appd.
A	16.5.23	ISSUED FOR CONSTRUCTION	ML	ML	ML



CERTIFICATION

M. LANCINI RPEQ 18786

COPYRIGHT ©

These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 638 773 731). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figured dimensions take precedence over scale. Do not scale from this drawing.

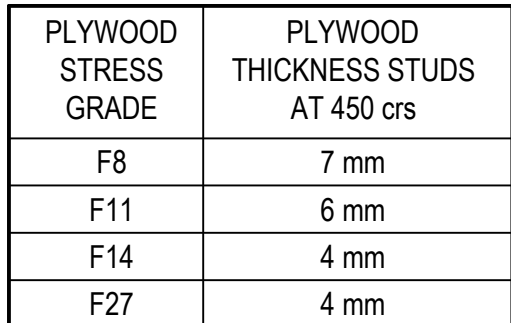


Drawn NB Date 22.3.23  
Checked ML Date 22.3.23  
Designed ML Date 22.3.23  
Verified ML Date 22.3.23  
Approved M. LANCINI Date 16.5.23

Client  
Project DALE RESIDENCE  
24 MURPHY STREET, PORT DOUGLAS  
Title POOL DETAILS

Status  
**FOR CONSTRUCTION**  
Datum AHD Scale AS SHOWN Size A1  
Drawing Number Q23076-ST-12 Revision A





2700 MAX HIGH WALL  
TYPICAL PLYWOOD BRACING WALL

- 

TIMBER WALL FRAMING SCHEDULE - CYCLONIC AREA		
EXTERNAL LOAD BEARING WALLS (LBW) - MGP12 UNO.		
MEMBER	SIZE	FIXING & TIE-DOWN
TOP PLATE	45 x 90	SPACING OF TIE-DOWN FIXINGS: M12 4.6/S CYCLONE ROD / HOLD DOWN BOLT TO BE AT 900 MAX. CTS
STUDS		
< 2700	35 x 90 AT 450 CTS	
2700 UPTO 3000	45 x 90 AT 450 CTS	
3000 UPTO 3300	45 x 90 AT 300 CTS	
3300 UPTO 4000	2/45 x 90 AT 300 CTS	
BTM PLATE	35 x 90	
NOGGINS	35 x 90 AT 1350 MAX CTS	
SILLS	SEE SILL SCHEDULE	
INTERNAL NON LOAD BEARING WALLS (NLBW) - MGP10 UNO.		
MEMBER	SIZE	FIXING & TIE-DOWN
TOP PLATE	35 x 70	FIX BTM PLATES TO FLOOR STRUCTURE WITH M12 4.6/S AT ENDS OF WALL, EACH END OF LINTEL AND INTERMEDIATE AT 1200 MAX. CTS
STUDS		
< 2700	35 x 70 AT 450 CTS	
2700 UPTO 3600	2/35 x 70 AT 450 CTS or 1/35 x 90 AT 450 CTS	
3600 UPTO 4200	2/35 x 90 AT 450 CTS	
BTM PLATE	35 x 90	
NOGGINS	35 x 90 AT 1350 MAX CTS	
WALL STUDS, TOP AND BTM PLATES SHALL NOT BE NOTCHED OR TRENCHED. WALL FRAMING TO BE SEASONED AND L.O.S.P. TREATED. RIBBON TOP PLATE SPLICES TO BE STAGGERED.		

NOTE: THE No. OF STUDS INCLUDES THE SECONDARY JAMB STUD.

NOTE: USE 70 or 90mm TO MATCH NOMINAL STUD SIZE.

A	16.5.23	ISSUED FOR CONSTRUCTION	ML	ML	ML
Rev.	Date	Description	Des.	Verif.	Appd.



These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 636 773 781). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figured dimensions take precedence over scale. Do not scale from this drawing.

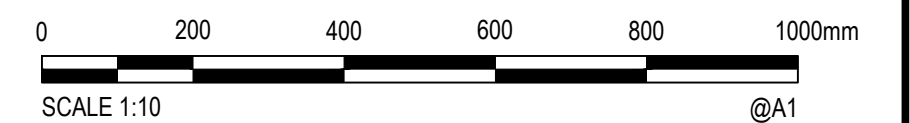
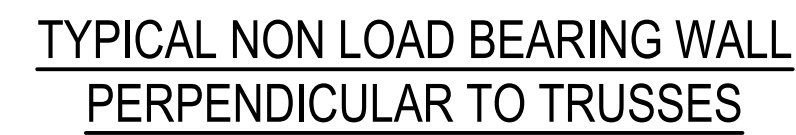
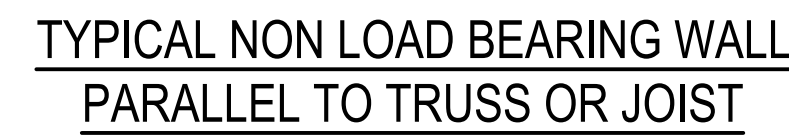
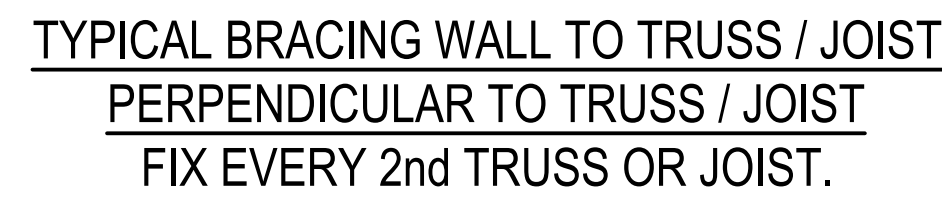
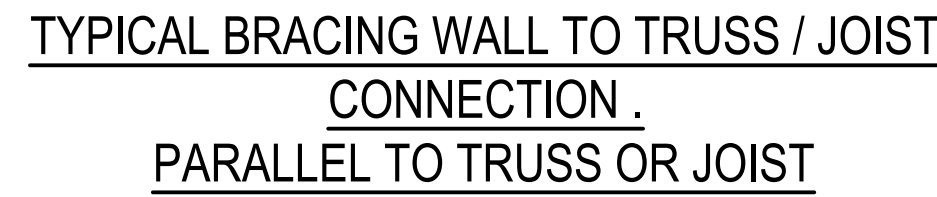


Drawn	Date
NB	22.3.23
Checked	Date
ML	22.3.23
Designed	Date
ML	22.3.23
Verified	Date
ML	22.3.23
Approved	
M. LANCINI	16.5.23

Client	
Project	DALE RESIDENCE 24 MURPHY STREET, PORT DOUGLAS
Title	TYPICAL STUD WALL FRAMING DETAILS

Status			
FOR CONSTRUCTION			
Date	Scale	Size	
AHD	AS SHOWN		A1
Drawing Number			Revision
Q23076-ST-13			A





A	16.5.23	ISSUED FOR CONSTRUCTION		ML	ML
Rev.	Date	Description		Des.	Verif.
					Appd.



These designs and drawings are copyright and are not to be used or reproduced without the written permission of MAL ENGINEERS PTY LTD (ACN 636 737 781). The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they were intended. This is an uncontrolled document issued for information purposes only, unless the checked sections are signed and approved. Figured dimensions take precedence over scale. Do not scale from this drawing.

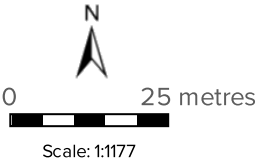


Drawn NB	Date 22.3.23
Checked ML	Date 22.3.23
Designed ML	Date 22.3.23
Verified ML	Date 22.3.23
Approved	
M. LANCINI	16.5.23

Client	
Project	DALE RESIDENCE 24 MURPHY STREET, PORT DOUGLAS
Title	TYPICAL BRACING WALL DETAILS

Status			
FOR CONSTRUCTION			
Date	Scale	Size	
AHD	AS SHOWN	A1	
Drawing Number			Revision
Q23076-ST-14			A

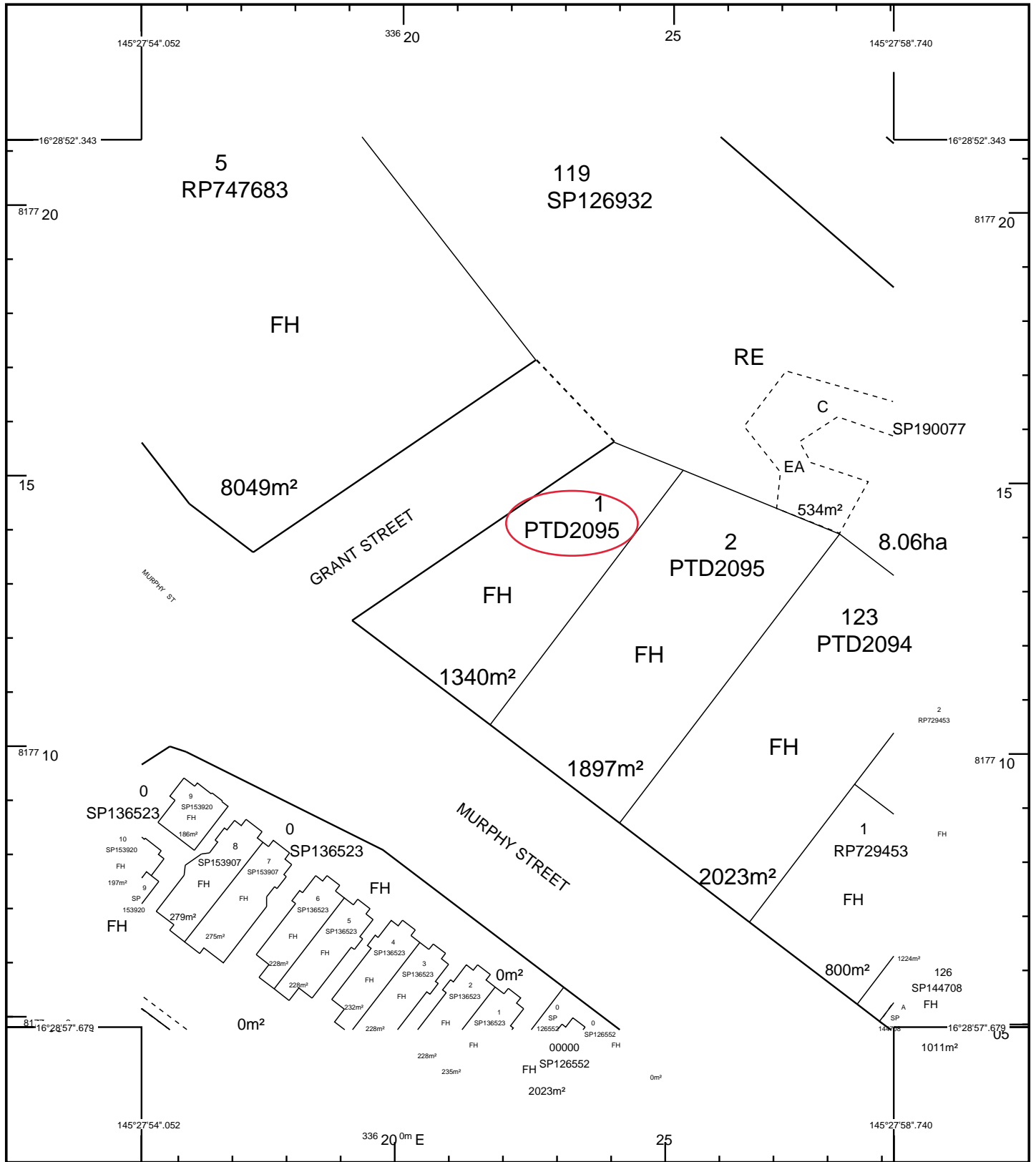




Printed at: A4  
Print date: 29/6/2023  
Not suitable for accurate measurement.  
Projection: Web Mercator EPSG 102100 (3857)

For more information, visit  
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>





STANDARD MAP NUMBER  
7965-22231

MAP WINDOW POSITION &  
NEAREST LOCATION

145°27'56\"/>

+



#### SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	1/PTD2095
Area/Volume	1340m <sup>2</sup>
Tenure	FREEHOLD
Local Government	DOUGLAS SHIRE
Locality	PORT DOUGLAS
Segment/Parcel	8697/2

#### CLIENT SERVICE STANDARDS

PRINTED 29/06/2023

DCDB 28/06/2023

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

Despite Department of Resources best efforts, RESOURCES makes no representations or warranties in relation to the Information, and, to the extent permitted by law, exclude or limit all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information

For further information on SmartMap products visit  
<https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

**SmartMap**

An External Product of  
SmartMap Information Services

Based upon an extraction from the  
Digital Cadastral Data Base



**Queensland  
Government**  
(c) The State of Queensland,  
(Department of Resources) 2023.

3 August 2023

**Enquiries:** Rebecca Taranto  
**Our Ref:** BW 2023\_5481/1 (Doc ID:1173722)  
**Your Ref:** 231305/01

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

Angel Construction  
C/- The Building Approval Company  
PO Box 74  
Redlynch QLD 4870

Email: mkunze@tbac.com.au

Dear Sir/Madam

**Development Application for Building Work Assessable Against the Planning Scheme  
(Dwelling renovations and construction of a pool)  
At 24 Murphy Street Port Douglas  
On Land Described as Lot 1 on PTD2095**

Please find attached the Decision Notice for the above-mentioned development application.

Please quote Council's application number: BW 2023\_5481/1 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this, please contact Rebecca Taranto on telephone 07 4099 9444.

Yours faithfully



**For**  
**Paul Hoyer**  
**Manager Environment & Planning**

encl.

- Decision Notice
  - Approved Drawing(s) and/or Document(s)
  - Concurrence Agency Response
  - Reasons for Decision - response to properly made submissions.
- Advice For Making Representations and Appeals (Decision Notice)



## Decision Notice

### Approval (with conditions)

*Given under s 63 of the Planning Act 2016*

#### Applicant Details

Name: Angel Construction  
Postal Address: C/- The Building Approval Company  
PO Box 74  
Redlynch QLD 4870  
Email: info@tbac.com.au

#### Property Details

Street Address: 24 Murphy Street Port Douglas  
Real Property Description: Lot 1 on PTD2095  
Local Government Area: Douglas Shire Council

#### Details of Proposed Development

Development Permit for BW, Requests & Referrals (Building Work Assessable Against the Planning Scheme (Dwelling renovations and construction of a pool))

#### Decision

Date of Decision: 3 August 2023  
Decision Details: Approved (subject to conditions)

#### Approved Drawing(s) and/or Document(s)

Copies of the following plans, specifications and/or drawings are enclosed.

The term 'approved drawing(s) and/or document(s) or other similar expressions means:

Drawing or Document	Reference	Date
Site Plan	Angel Construction Project No. 281122 Sheet C02 Rev.I	28/07/2023
Ground Floor Plan	Angel Construction	29/06/2023

	Project No. 281122 Sheet C04 Rev.C	
Demolition	Angel Construction Project No. 281122 Sheet C03 Rev.C	29/06/2023
First Floor Plan Second Floor Plan	Angel Construction Project No. 281122 Sheet C05 Rev.C	29/06/2023
Elevations	Angel Construction Project No. 281122 Sheet C06 Rev.C	29/06/2023
Engineering Details	Angel Construction Project No. 281122 Sheet C09 Rev.C	29/06/2023
Building Sections	Angel Construction Drawing Number Q23076-ST-04 Rev B	16/05/2023
<b>FNQROC Regional Development Manual Standard Drawing/s for Vehicle Access</b>		
Access Crossovers	Standard Drawing S1015 Issue E	27 August 2020

### **Assessment Manager Conditions & Advices**

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-
  - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
  - b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval.

### **Timing of Effect**

2. The conditions of the Development Permit must be effected prior to Commencement of use, except where specified otherwise in these conditions of approval.

### **Building Colours**

3. The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown.

### **Vehicle Access**

4. Vehicle access to the property must be constructed in accordance with the Standard Drawing for such works as detailed in the FNQROC Regional Development Manual. A copy of the Standard Drawing forms part of the Approved Plans attached to this Concurrence Agency response.

## Advice

1. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
2. This approval does not negate the requirement for compliance with all other relevant Council Local Laws and other statutory requirements.
3. For information relating to the *Planning Act 2016* log on to <https://planning.dsdmip.qld.gov.au/>. To access the *FNQROC Regional Development Manual*, Local Laws, the Douglas Shire Planning Scheme and other applicable Policies log on to [www.douglas.qld.gov.au](http://www.douglas.qld.gov.au).

## Further Development Permits

---

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- All Building Work

All Plumbing and Drainage Work must only be carried in compliance with the Queensland *Plumbing and Drainage Act 2018*.

## Currency Period for the Approval

---

This approval, granted under the provisions of the *Planning Act 2016*, shall lapse two (2) years from the day the approval takes effect in accordance with the provisions of Section 85 of the *Planning Act 2016*.

## Rights to make Representations & Rights of Appeal

---

The rights of applicants to make representations and rights to appeal to a Tribunal or the Planning and Environment Court against decisions about a development application are set out in Chapter 6, Part 1 of the *Planning Act 2016*.

A copy of the relevant appeal provisions are attached.

A01  
3

1275m<sup>2</sup>

SITE AREA	1275m <sup>2</sup>
GF INTERNAL	15m <sup>2</sup>
GF EXTERNAL	64m <sup>2</sup>
FF INTERNAL	66m <sup>2</sup>
FF EXTERNAL	14m <sup>2</sup>
SF INTERNAL	30m <sup>2</sup>
SF EXTERNAL	4m <sup>2</sup>
GFA	79m <sup>2</sup>
COVERAGE %	6.2%

Angel Construction  
PO Box 303 Port Douglas 4877 Qld Australia  
Ph: 07 4099 4516  
[www.angelconstruction.com.au](http://www.angelconstruction.com.au)  
[designs@angelconstruction.com.au](mailto:designs@angelconstruction.com.au)

Over 25 years of Construction Experience

© All designs are protected by copyright Act 1968  
Angel Construction QBCC LIC No. 15128072  
licensed builders

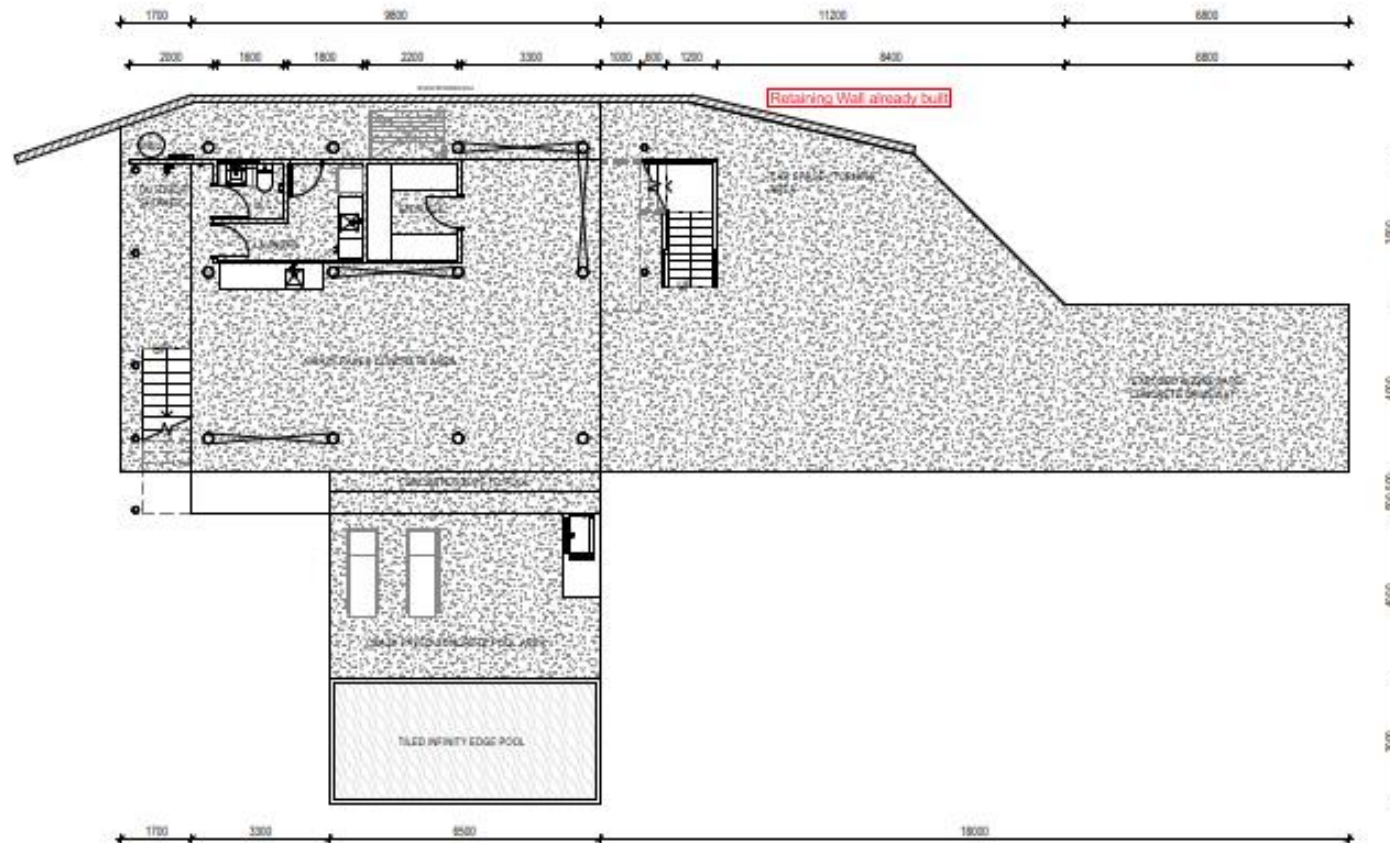
**ANGEL**  
CONSTRUCTION  
QBCC 15128072

CERTIFIED BY THE BUILDING  
APPROVAL COMPANY

ISSUED FOR CONSTRUCTION

SHEET: SITE PLANS SCALE: AS SHOWN @ A3  
DESIGNED BY: ANGEL CONSTRUCTION  
DRAWN BY: JAYDEN CHADWICK  
PROJECT NUMBER: 281122 SHEET: C02 REV: 1



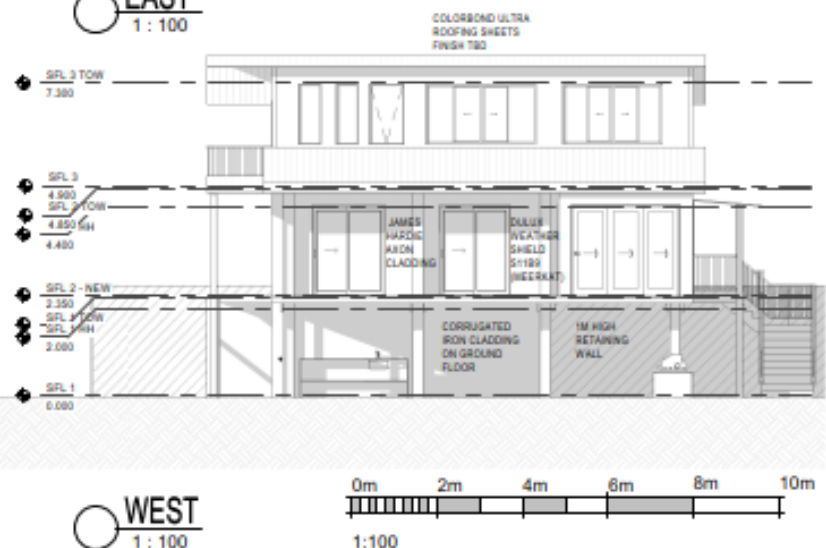
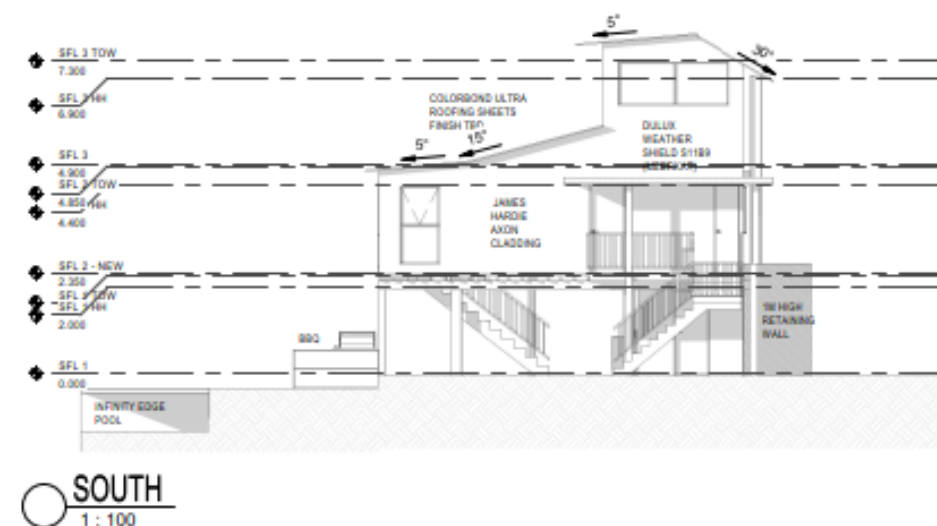
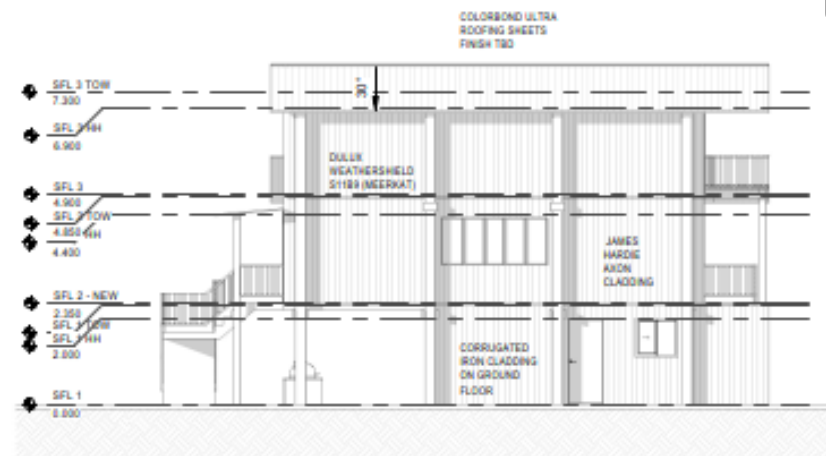
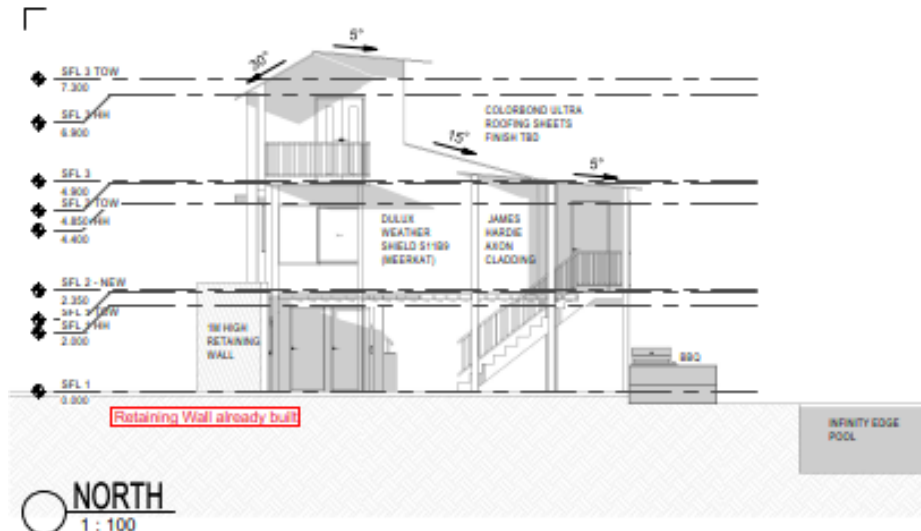


**GROUND FLOOR PLAN**  
1 : 100

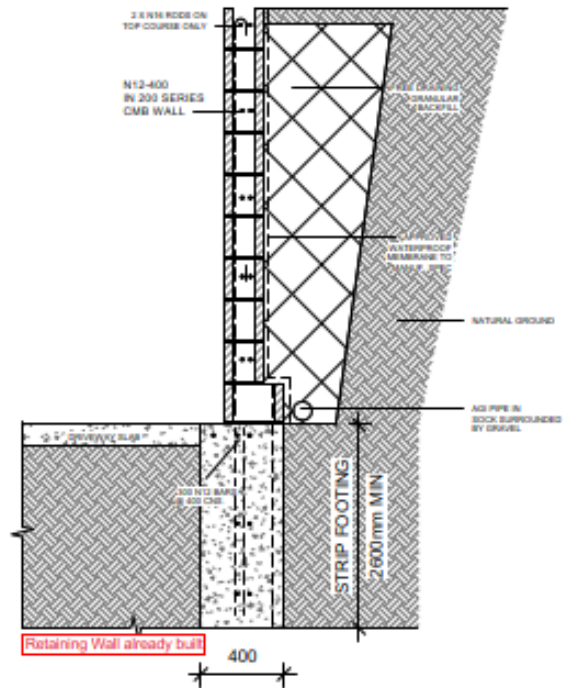
<p>Angel Construction PO Box 303 Port Douglas 4817 Qld Australia Ph: 07 4699 4818 www.angelconstruction.com.au design@angelconstruction.com.au Over 35 years of Construction Experience All designs are protected by copyright Act 1968 Angel Construction QBCC LIC NO. 15128072 licensed builders</p>	<p><b>ANGEL</b> CONSTRUCTION QBCC 15128072</p>	<p>CERTIFIED AS STRUCTURALLY ADEQUATE</p>	<p>CERTIFIED BY THE BUILDING APPROVAL COMPANY</p>	<p>PLAN ISSUE: 28/06/2023 10:17:40 AM  ISSUED FOR CONSTRUCTION</p>	<p>PROJECT: SALE RESIDENCE PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS 4817  SHEET: GROUND FLOOR PLAN SCALE: AS SHOWN @ A3 DESIGNED BY: ANGEL CONSTRUCTION DRAWN BY: JAYDEN CHADWICK PROJECT NUMBER: 281122 SHEET: C04 REV: C</p>
--	--	---	---	--	---







<p>Angel Construction PO Box 303 Port Douglas 4877 Qld Australia Ph: 07 4089 4516 www.angelconstruction.com.au design@angelconstruction.com.au</p> <p>Over 25 years of Construction Experience © All designs are protected by copyright Act 1968 Angel Construction QBCC LIC NO. 15128072 licensed builders</p>	<p><b>ANGEL</b> CONSTRUCTION QBCC 15128072</p>	<p>CERTIFIED AS STRUCTURALLY ADEQUATE</p>	<p>CERTIFIED BY THE BUILDING APPROVAL COMPANY</p>	<p>PLAN ISSUE: 28/06/2023 10:17:43 AM</p> <p>ISSUED FOR CONSTRUCTION</p>	<p>PROJECT: DALE RESIDENCE PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS, 4877</p> <p>SHEET: ELEVATIONS SCALE: AS SHOWN @ A3 DESIGNED BY: ANGEL CONSTRUCTION DRAWN BY: JAYDEN CHADWICK PROJECT NUMBER: 281122 SHEET: C06 REV: C</p>
---	--	---	---	--	---



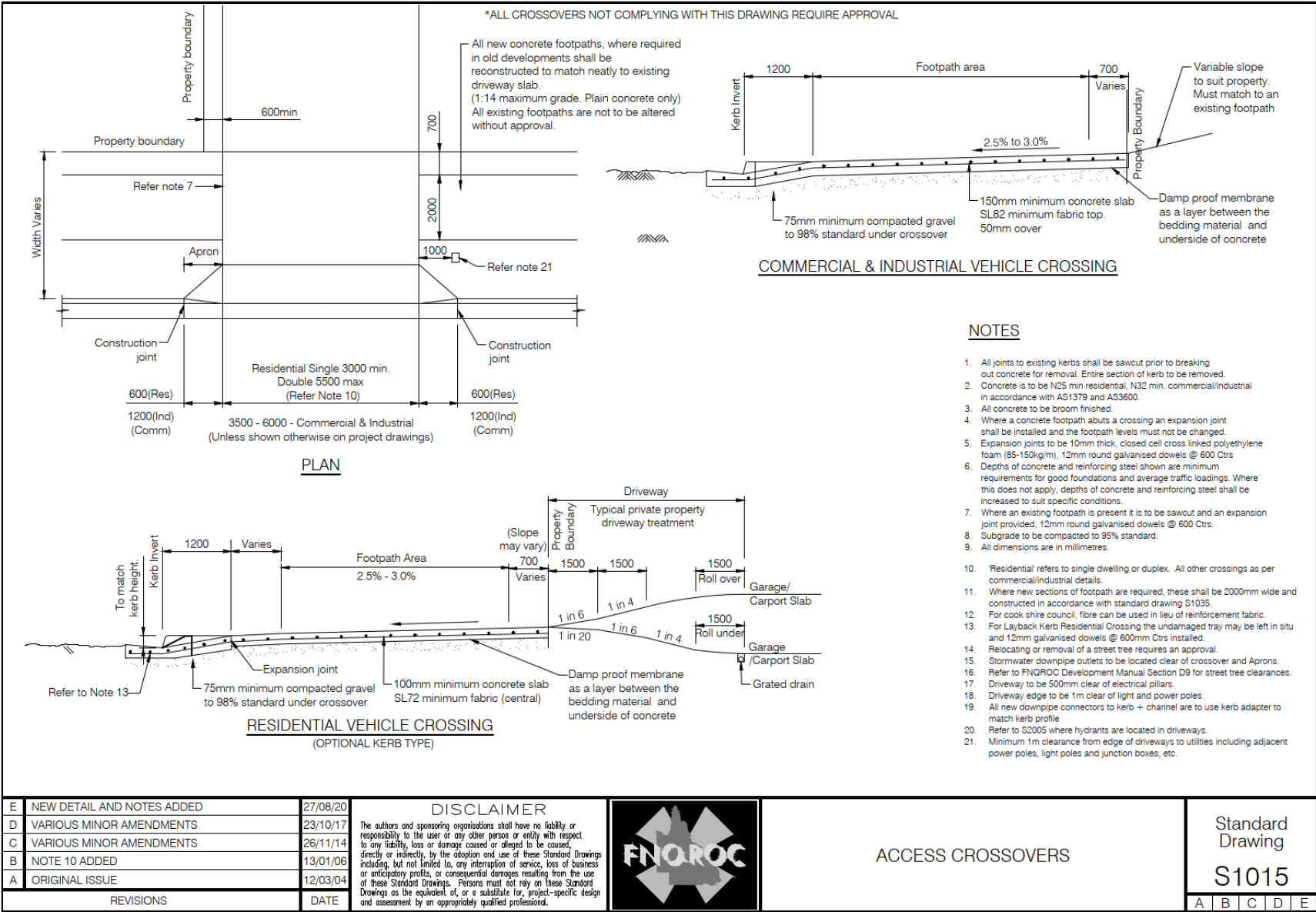
RETAINING WALL MAX 2600  
1:20

Angel Construction PO Box 303 Port Douglas 4877 Qld Australia Ph: 07 4599 4516 www.angelconstruction.com.au design@angelconstruction.com.au Over 25 years of Construction Experience © All designs are protected by copyright Act 1968 Angel Construction QBCC LIC NO. 15128072 Licensed builder		CERTIFIED AS STRUCTURALLY ADEQUATE	CERTIFIED BY THE BUILDING APPROVAL COMPANY	PLAN ISSUE: 28/06/2023 10:17:44 AM  ISSUED FOR CONSTRUCTION	PROJECT: DALE RESIDENCE PROJECT ADDRESS: 24 MURPHY ST, PORT DOUGLAS, 4877  SHEET: ENGINEERING DETAILS SCALE: AS SHOWN @ A3 DESIGNED BY: ANGEL CONSTRUCTION DRAWN BY: JAYDEN CHADWICK PROJECT NUMBER: 281122 SHEET: C09 REV: C
--	---	---------------------------------------	---	---	---





FNQROC Regional Development Manual Standard Drawing/s for Vehicle Access



## Reasons for Decision

1. The reasons for this decision are:
  - a. Sections 60, 62 and 63 of the *Planning Act 2016*;
  - b. to ensure the development satisfies the benchmarks of the 2018 Douglas Shire Planning Scheme Version 1.0; and
  - c. to ensure compliance with the *Planning Act 2016*.
2. Findings on material questions of fact:
  - a. the development application was properly lodged to the Douglas Shire Council 18/07/2023 under section 51 of the *Planning Act 2016* and Part 1 of the *Development Assessment Rules*;
  - b. the development application contained information from the applicant which Council reviewed together with Council's own assessment against the 2017 State Planning Policy and the 2018 Douglas Shire Planning Scheme Version 1.0 in making its assessment manager decision.
3. Evidence or other material on which findings were based:
  - a. the development triggered assessable development under the Assessment Table associated with the Environmental Management Zone Code;
  - b. Council undertook an assessment in accordance with the provisions of sections 60, 62 and 63 of the *Planning Act 2016*; and
  - c. the applicant's reasons have been considered and the following findings are made:
    - i. Subject to conditions, the development satisfactorily meets the Planning Scheme benchmarks.

Planning Act 2016  
Chapter 3 Development assessment

[s 74]

---

## **Division 2            Changing development approvals**

### **Subdivision 1        Changes during appeal period**

#### **74        What this subdivision is about**

- (1) This subdivision is about changing a development approval before the applicant's appeal period for the approval ends.
- (2) This subdivision also applies to an approval of a change application, other than a change application for a minor change to a development approval.
- (3) For subsection (2), sections 75 and 76 apply—
  - (a) as if a reference in section 75 to a development approval were a reference to an approval of a change application; and
  - (b) as if a reference in the sections to the assessment manager were a reference to the responsible entity; and
  - (c) as if a reference in section 76 to a development application were a reference to a change application; and
  - (d) as if the reference in section 76(3)(b) to section 63(2) and (3) were a reference to section 83(4); and
  - (e) with any other necessary changes.

#### **75        Making change representations**

- (1) The applicant may make representations (*change representations*) to the assessment manager, during the applicant's appeal period for the development approval, about changing—
  - (a) a matter in the development approval, other than—
    - (i) a matter stated because of a referral agency's response; or

- 
- (ii) a development condition imposed under a direction made by the Minister under chapter 3, part 6, division 2; or
  - (b) if the development approval is a deemed approval—the standard conditions taken to be included in the deemed approval under section 64(8)(c).
- (2) If the applicant needs more time to make the change representations, the applicant may, during the applicant's appeal period for the approval, suspend the appeal period by a notice given to the assessment manager.
- (3) Only 1 notice may be given.
- (4) If a notice is given, the appeal period is suspended—
- (a) if the change representations are not made within a period of 20 business days after the notice is given to the assessment manager—until the end of that period; or
  - (b) if the change representations are made within 20 business days after the notice is given to the assessment manager, until—
    - (i) the applicant withdraws the notice, by giving another notice to the assessment manager; or
    - (ii) the applicant receives notice that the assessment manager does not agree with the change representations; or
    - (iii) the end of 20 business days after the change representations are made, or a longer period agreed in writing between the applicant and the assessment manager.
- (5) However, if the assessment manager gives the applicant a negotiated decision notice, the appeal period starts again on the day after the negotiated decision notice is given.

## **76 Deciding change representations**

- (1) The assessment manager must assess the change representations against and having regard to the matters that



- must be considered when assessing a development application, to the extent those matters are relevant.
- (2) The assessment manager must, within 5 business days after deciding the change representations, give a decision notice to—
- (a) the applicant; and
  - (b) if the assessment manager agrees with any of the change representations—
    - (i) each principal submitter; and
    - (ii) each referral agency; and
    - (iii) if the assessment manager is not a local government and the development is in a local government area—the relevant local government; and
    - (iv) if the assessment manager is a chosen assessment manager—the prescribed assessment manager; and
    - (v) another person prescribed by regulation.
- (3) A decision notice (a *negotiated decision notice*) that states the assessment manager agrees with a change representation must—
- (a) state the nature of the change agreed to; and
  - (b) comply with section 63(2) and (3).
- (4) A negotiated decision notice replaces the decision notice for the development application.
- (5) Only 1 negotiated decision notice may be given.
- (6) If a negotiated decision notice is given to an applicant, a local government may give a replacement infrastructure charges notice to the applicant.

## Chapter 6 Dispute resolution

### Part 1 Appeal rights

#### 229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
  - (a) matters that may be appealed to—
    - (i) either a tribunal or the P&E Court; or
    - (ii) only a tribunal; or
    - (iii) only the P&E Court; and
  - (b) the person—
    - (i) who may appeal a matter (the *appellant*); and
    - (ii) who is a respondent in an appeal of the matter; and
    - (iii) who is a co-respondent in an appeal of the matter; and
    - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
  - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
  - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
  - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for an appeal relating to the *Plumbing and Drainage Act 2018*—
  - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
  - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
  - (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
  - (iv) otherwise—20 business days after the day the notice is given; or
- (g) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

*Note—*

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.



- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
  - (a) the adopted charge itself; or
  - (b) for a decision about an offset or refund—
    - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
    - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

## **230 Notice of appeal**

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
  - (a) is in the approved form; and
  - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
  - (a) the respondent for the appeal; and
  - (b) each co-respondent for the appeal; and
  - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
  - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and



- (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
  - (f) for an appeal to the P&E Court—the chief executive; and
  - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
  - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
  - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
  - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
  - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

## **231 Non-appealable decisions and matters**

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—  
**decision** includes—
  - (a) conduct engaged in for the purpose of making a decision; and
  - (b) other conduct that relates to the making of a decision; and
  - (c) the making of a decision or the failure to make a decision; and
  - (d) a purported decision; and
  - (e) a deemed refusal.**non-appealable**, for a decision or matter, means the decision or matter—
  - (a) is final and conclusive; and
  - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
  - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

## 232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.