

GMA Certification Group

BUILDING SURVEYORS

ACN 150 435 617

Leaders in Building Certification Services

CAIRNS

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19 September 2023

The Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

Attention: Development Assessment

Dear Sir/Madam,

Re: Application for Building Works Assessable Against the Planning Scheme
Proposed Development; Dwelling alterations and additions, pergola, pool alterations, awning
Site Address; 15 Wharf Street, Port Douglas

GMA Certification Group has been engaged to assess an application for dwelling alterations and additions including a pergola and awnings as illustrated on the enclosed plans. The allotment is zoned Environmental Management Zone and is affected by the following overlays:

- Acid Sulfate Soils
- Landscape Values
- Landslide

The application is identified as being Code Assessable and consideration is required to be given to the assessment benchmarks only. Accordingly, an application for a Building Works Assessable Against the Planning Scheme is enclosed for council's consideration which includes:

- DA Form 1
- DA Form 2
- Assessment against the relevant codes and provisions as detailed above including;
 - Planning Statement
 - Proposed Architectural Plans

The proposed development is considered to be consistent with the Assessment Benchmarks and is considered to be a suitable development of the site. The development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the development without adverse impact on the amenity of the area.

Should you require any further information or wish to discuss the application, please contact GMA Certification on 4041 0111 or by email adminpd@gmacer.com.au

www.gmacer.com.au

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Kind regards,

A handwritten signature in black ink, appearing to read 'R Mulligan', with a stylized flourish at the end.

Rebekah Mulligan
Building Certifier / Associate
GMA Certification Group

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use DA Form 2 – Building work details.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (DA Form 1) **and** parts 4 to 6 of DA Form 2 – Building work details.

Unless stated otherwise, all parts of this form must be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the Transport Infrastructure Act 1994, and airport land under the Airport Assets (Restructuring and Disposal) Act 2008. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Squillace Architectures / Interiors
Contact name <i>(only applicable for companies)</i>	C/o- GMA Certification
Postal address <i>(P.O. Box or street address)</i>	PO Box 2760
Suburb	NERANG
State	QLD
Postcode	4211
Country	Australia
Contact number	07 4041 0111
Email address <i>(non-mandatory)</i>	adminpd@gmacert.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	20232042

2) Owner's consents	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/>	Yes – the written consent of the owner(s) is attached to this development application
<input checked="" type="checkbox"/>	No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#)

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
- ☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		15	Wharf St	PORT DOUGLAS
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	12	RP 887371	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Longitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- ☐ Coordinates of premises by easting and northing

Longitude(s)	Longitude(s)	Zone Ref	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

- ☐ Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*

EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises? <i>Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.</i>	
<input type="checkbox"/> Yes – All easement locations, types and dimensions are included in plans submitted with this development application	
<input checked="" type="checkbox"/> No	

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect			
a) What is the type of development? <i>(tick only one box)</i>			
<input type="checkbox"/> Material change of use	<input type="checkbox"/> Reconfiguring a lot	<input type="checkbox"/> Operational work	<input checked="" type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>			
<input checked="" type="checkbox"/> Development permit	<input type="checkbox"/> Preliminary approval	<input type="checkbox"/> Preliminary approval that includes a variation approval	
c) What is the level of assessment?			
<input checked="" type="checkbox"/> Code assessment	<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>		
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>			
Additions to existing Dwelling - 2 or More Storeys & New Construction of Attached Patio & New Construction of Awning & Alterations to existing Swimming Pool			
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>			
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application			
6.2) Provide details about the second development aspect			
a) What is the type of development? <i>(tick only one box)</i>			
<input type="checkbox"/> Material change of use	<input type="checkbox"/> Reconfiguring a lot	<input type="checkbox"/> Operational work	<input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>			
<input type="checkbox"/> Development permit	<input type="checkbox"/> Preliminary approval	<input type="checkbox"/> Preliminary approval that includes a variation approval	
c) What is the level of assessment?			
<input type="checkbox"/> Code assessment	<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>		
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>			
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>			
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application			
6.3) Additional aspects of development			
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application			
<input checked="" type="checkbox"/> Not required			

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete DA Form 2 – <i>Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (<i>include each definition in a new row</i>)	Number of dwelling units (<i>if applicable</i>)	Gross floor area (m ²) (<i>if applicable</i>)

8.2) Does the proposed use involve the use of existing buildings on the premises?	
<input type="checkbox"/> Yes	
<input type="checkbox"/> No	

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?				

9.2) What is the nature of the lot reconfiguration? (<i>tick all applicable boxes</i>)	
<input type="checkbox"/> Subdivision (<i>complete 10</i>)	<input type="checkbox"/> Dividing land into parts by agreement (<i>complete 11</i>)
<input type="checkbox"/> Boundary realignment (<i>complete 12</i>)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (<i>complete 13</i>)

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes	
<input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?			
<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure	
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure	
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation	
<input type="checkbox"/> Other – please specify:			
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)			
<input type="checkbox"/> Yes – specify number of new lots:			
<input type="checkbox"/> No			
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)			
\$			

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application	
Douglas Shire Council	
16) Has the local government agreed to apply a superseded planning scheme for this development application?	
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No	

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places - Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridors and future State transport corridors
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports - Brisbane core port land - near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- ☐ Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity : <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council : <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994 : <input type="checkbox"/> Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane's port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority : <input type="checkbox"/> Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority : <input type="checkbox"/> Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service : <input type="checkbox"/> Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the DA Forms Guide.

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input checked="" type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?	
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No	

23) Further legislative requirements	
<u>Environmentally relevant activities</u>	
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i>?	
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No	
<i>Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</i>	
Proposed ERA number:	Proposed ERA threshold:
Proposed ERA name:	
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.	
<u>Hazardous chemical facilities</u>	
23.2) Is this development application for a hazardous chemical facility?	
<input type="checkbox"/> Yes – <i>Form 69: Notification of a facility exceeding 10% of schedule 15 threshold</i> is attached to this development application <input checked="" type="checkbox"/> No	
<i>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</i>	

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the *Planning Regulation 2017*?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at <http://www.daf.qld.gov.au/> for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – *this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the Prostitution Regulation 2014*
- ☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- ☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- ☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 ☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application ☒ Yes
☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application ☒ Yes

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#)

Relevant plans of the development are attached to this development application ☒ Yes

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21) ☒ Yes
☐ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the Electronic Transactions Act 2001

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER - FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work		
QLeave project number		
Amount paid (\$)		Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager		
Name of officer who sighted the form		

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Squillace Architectures / Interiors
Contact name (only applicable for companies)	C/- GMA Certification
Postal address (PO Box or street address)	PO Box 2760
Suburb	NERANG
State	QLD
Postcode	4211
Country	
Contact number	07 4041 0111
Email address (non-mandatory)	adminpd@gmacert.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	20232042

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), OR	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	15	Wharf St	PORT DOUGLAS
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4877	12	RP 887371	Douglas Shire Council

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☒ Yes – (proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

7) Information request under Part 3 of the DA Rules

- ☐ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application
- Note:** By not agreeing to accept an information request I, the applicant, acknowledge:
- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
 - Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
- Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application

<input checked="" type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice? <input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No
--

11) Identify any of the following further legislative requirements that apply to any aspect of this development application			
<input type="checkbox"/> The proposed development is on a place entered in the Queensland Heritage Register or in a local government's Local Heritage Register . See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place			
Name of the heritage place:		Place ID:	

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements? <input type="checkbox"/> Yes – the Referral checklist for building work is attached to this development application <input checked="" type="checkbox"/> No – proceed to Part 5
--

13) Has any referral agency provided a referral response for this development application? <input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)		

PART 5 – BUILDING WORK DETAILS

14) Owner's details <input type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) (individual or company full name)	Kurt & Nathalie Jaggard
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	C/- GMA Certification PO Box 2760
Suburb	NERANG
State	QLD
Postcode	4211
Contact number	4041 0111
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details			
<input checked="" type="checkbox"/> Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.			
Name(s) <i>(individual or company full name)</i>			
Contact name <i>(applicable for companies)</i>			
QBCC licence or owner – builder number			
Postal address <i>(P.O. Box or street address)</i>			
Suburb			
State			
Postcode			
Contact number			
Email address <i>(non-mandatory)</i>			
Mobile number <i>(non-mandatory)</i>			
Fax number <i>(non-mandatory)</i>			

16) Provide details about the proposed building work			
a) What type of approvals is being sought?			
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			
b) What is the level of assessment?			
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>			
c) Nature of the proposed building work (tick all applicable boxes)			
<input type="checkbox"/> New building or structure <input type="checkbox"/> Change of building classification <i>(involving building work)</i> <input type="checkbox"/> Demolition		<input checked="" type="checkbox"/> Repairs, alterations or additions <input type="checkbox"/> Swimming pool and/or pool fence <input type="checkbox"/> Relocation or removal	
d) Provide a description of the work below or in an attached schedule.			
Additions to existing Dwelling - 2 or More Storeys & New Construction of Attached Patio & New Construction of Awning & Alterations to existing Swimming Pool			
e) Proposed construction materials			
External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Steel <input checked="" type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input checked="" type="checkbox"/> Timber <input type="checkbox"/> Other	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input checked="" type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? <i>(if applicable)</i>			
1a, 10a, 10b			

g) New building use/classification? (if applicable)		
1a & 10a & 10a & 10b		
h) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .		
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application		
17) What is the monetary value of the proposed building work?		
\$TBA		
18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
20) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: It is unlawful to intentionally provide false or misleading information.	
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where: <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .	

PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
1a & 10a & 10a & 10b		
Name	QBCC Certification Licence number	QBCC Insurance receipt number
GMA Certification Group		

Notification of engagement of alternate chosen assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government				
Confirm proposed construction materials:				
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass	
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other	
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium	
	<input type="checkbox"/> Other			
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other	
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement	
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m ²)	797	Floor area (m ²)	0



GMA Certification Group

Leaders in Certification Services

PLANNING STATEMENT

For: Squillace Architectures / Interiors

At: 15 Wharf Street, Port Douglas

Prepared By: GMA Certification Group

File Ref No: 20232042

Revision: A



Liability limited by a scheme approved under the Professional Standards Legislation
Member Australian Institute of Building Surveyors Professional Standards Scheme

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1.0 Introduction

This report has been prepared in behalf of Squillace Architectures/Interiors in support of a Development to Douglas Shire Council for a Development Permit for Building Works Assessable Against the Planning scheme for the purpose of alterations and additions to an existing Dwelling House on land located at 15 Wharf Street, Port Douglas.

The application site is a single, irregular shaped residential allotment with an area of 797m² and a frontage to Wharf Street of approximately 12.5 metres. The locality containing the site is typical of the surrounding residential area and is characterised by occupied residential land and existing dwelling developments.

The application is identified as being Code Assessable and consideration is required to be given to the assessment benchmarks only. The proposed development is considered to be consistent with the Assessment Benchmarks and is considered to be a suitable development of the site. The development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the use without adverse impact on the amenity of the area.

The application is submitted for approval, subject to reasonable and relevant conditions.

2.0 Development Summary

Address:	15 Wharf Street, Port Douglas
Real Property Description:	Lot 12 on RP887371
Easements & Encumbrances:	Nil
Site Area/Frontage:	Area: 797m ² Frontage: 12.5 metres
Registered Owner:	Kurt & Nathalie Jaggard
Proposal:	Dwelling House
Approval Sought:	Development Permit
Level of Assessment:	Code Assessment
State Interests – State Planning Policy	<ul style="list-style-type: none"> • Nil
State Interests – SARA Mapping:	<ul style="list-style-type: none"> • Coastal Management Area
Referral Agencies:	Nil
State Development Assessment Provisions:	N/A
Regional Plan Designation:	Urban Footprint
Zone:	Rural Residential Zone
Overlays:	<ul style="list-style-type: none"> • Acid Sulfate Soils (5-20m AHD) • Landslide Hazard (High and Medium Hazard Risk) • Road Hierarchy – Collector Road • Landscape Values (Coastal Scenery)

3.0 Site and Locality

The application site is a single, irregular shaped rural residential allotment with an area of 797m² and a frontage to Wharf Street of approximately 12.5 metres. The land is currently occupied by a residential dwelling. A

The locality containing the site is typical of residential areas and is characterised by occupied residential land and existing dwelling developments.



Photo 1 – Site Location (SPP Mapping)

It is proposed to further develop the site for the existing Dwelling House use including the addition of an awning and alterations to the existing gazebo structure, pool and dwelling. The location of the Dwelling House would not change. The location of the gazebo structure, pool and awning would be generally the same as the existing structures but would be slightly closer to the rear road reserve frontage.



The key development features of the proposed development are summarised in the table below:

Development Feature	Proposal
Site Area:	797m ²
Frontage:	Approx. 12.5 metres
Height:	No change from existing
Site Cover:	No significant change from existing
Setbacks:	Approximately 1.5m from rear frontage 0m from Western side boundary No change otherwise
Land Slope	Existing benched site

5.0 Statutory Planning Considerations

This section provides a summary of the legislative framework affecting the application pursuant to the Planning Act 2016.

5.1 Planning Act 2016

5.1.1 Categorisation of Development

The proposed development is not identified as prohibited development having regard to the relevant instruments that can prohibit development under the *Planning Act 2016*, including

- Schedule 10 of the *Planning Regulations 2017*
- Relevant Categorising Instruments.

The development is made assessable under the Scenic Rim Planning Scheme 2020, which is a categorising instrument for the purpose of s43 of the *Planning Act 2016*.

5.1.2 Assessment Manager

Pursuant to Schedule 8 of the *Planning Regulations 2017*, the Assessment Manager for the application is the Scenic Rim Regional Council.

5.1.3 Level of Assessment

The application involves the development of a Dwelling House. The table below identifies the level of assessment and the categorising section of the Douglas Shire Council Planning Scheme.

Development	Categorising Section	Level of Assessment
Dwelling House	Table 5.6.d – Environmental Management Zone	Code Assessable

5.1.4 Statutory Considerations for Assessable Development

As the application is subject to Code Assessment, in deciding the application pursuant to s60 of the *Planning Act 2016*, the Council, as Assessment Manager, can only have regard to the matters established in the relevant planning benchmarks.

This assessment is further discussed in Section 6.0 of this report and a detailed assessment of the proposed development against the assessment benchmarks is provided at [Appendix 3](#).

5.1.5 State Planning Policy

The application site has the following State Planning Policy designations/classifications:

- Coastal Management District

It is understood that the Minister has identified that the State Planning Policy has been appropriately integrated into the Douglas Shire Council Planning Scheme and consequently no further assessment is required in this instance.

5.1.6 Regional Plan

The application site is identified in the Urban Area designation of the SEQ Regional Plan. Consistent with the State Planning Policies, it is understood that the Planning Scheme has been determined to appropriately advance the Regional Plan and, on that basis, no further assessment is required in this instance.

5.1.7 Referral Agencies

There are no referral agencies identified in respect of this application.

5.1.8 State Development Assessment Provisions

As there are no referral agencies for the application, no State Development Assessment Provisions Apply to the assessment.

6.0 Local Planning Considerations

6.1 Douglas Shire Planning scheme

Within the Douglas Shire Planning Scheme, the site is identified within the Environmental Management Zone and is affected by the following overlays:

- Acid Sulfate Soils
- Landscape Values
- Landslide
- Transport Road Hierarchy

The Table below identifies the applicable Assessment Benchmarks contained within the Planning Scheme.

Assessment Benchmark	Applicability	Compliance
Environmental Management Zone Code	Applies – Accepted subject to Requirements	Complies with All applicable Performance Outcomes. Further consideration is required
Acid Sulphate Soils Overlay code	Applies – Accepted subject to Requirements	Complies with all applicable Acceptable Outcomes
Landslide Hazard	Applies – Accepted subject to Requirements	Complies with all applicable Acceptable Outcomes
Access, Parking and Servicing Code	Applies – Accepted subject to Requirements	Complies with all applicable Acceptable Outcomes
Filling and Excavation Code	Applies – Accepted subject to Requirements	Complies with all applicable Acceptable Outcomes

Infrastructure Works Code	Applies – Accepted subject to Requirements	Complies with all applicable Acceptable Outcomes
---------------------------	--	--

6.1.1 Statement of Compliance – Benchmark Assessment

The development complies with the Acceptable Outcomes of the Scheme and generally complies with the Acceptable Outcomes of the Environmental Management Overlay Code. The proposed work can be shown to reach the performance requirements and satisfy the purpose of the Code.

The purpose of the Environmental management zone code is to recognise environmentally sensitive areas and provide for houses on lots and other low impact activities where suitable.

These areas are protected from intrusion of any urban, suburban, centre or industrial land use.

The local government purpose of the code is to:

- a) implement the policy direction set in the Strategic Framework, in particular:
 - a. Theme 2 : Environment and landscape values, Element 3.5.3 – Biodiversity, Element 3.5.5 – Scenic amenity.
- b) protect and buffer areas of environmental significance from inappropriate development.

The purpose of the code will be achieved through the following overall outcomes:

- a) Development is generally restricted to a dwelling house;
- b) Adverse impacts on natural systems, both on-site and on adjoining land are minimised through the location, design and management of development;
- c) Development reflects and responds to the natural features and environmental values of the area;
- d) Visual impacts are minimised through the location and design of development;
- e) Development does not adversely affect water quality;
- f) Development responds to land constraints, including but not limited to topography, vegetation, bushfire, landslide and flooding. Natural processes and the protective function of landforms and/or vegetation are maintained in landslide hazard areas;

The Dwelling House would be located within the required setbacks and have a white colour scheme. Though no changes to the location of the existing dwelling are proposed, the proposed new pergola is proposed within 6m of the road reserve located to the North of the allotment.

The pergola is proposed to be approximately 1.5m from the rear road reserve boundary and built to the boundary on the Western shared boundary line.

The proposed pergola is to replace the existing pergola structure and will therefore not adversely affect the views, privacy and comfort of the neighbouring residences. The views from the beach front will not also not be significantly changed. Furthermore, the setbacks proposed are reflective of the existing structures and the structures located on neighbouring properties including at 17 Wharf Street, Port Douglas.

In relation to colour schemes, the white colour scheme is reflective of the existing development and the surrounding developments. The buildings are generally hidden from view from the road with the use of existing landscape vegetation.

Consequently, the existing character, visual amenity quality of the area would not be adversely affected by the proposed development. The proposed development is considered to comply with Performance Outcome of the Environmental Management Zone Code and, therefore, the Assessment Benchmark.

7.0 Summary and Conclusion

This report has been prepared in behalf of Squillace Architectures/Interiors in support of a Development to Douglas Shire Council for a Development Permit for Building Works Assessable Against the Planning scheme for the purpose of alterations and additions to an existing Dwelling House on land located at 15 Wharf Street, Port Douglas.

The application is identified as being Code Assessable and consideration is required to be given to the assessment benchmarks only. The proposed development is considered to be consistent with the Assessment Benchmarks and is considered to be a suitable use of the site. The development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the use without adverse impact on the amenity of the area.

The application is submitted for approval, subject to reasonable and relevant conditions.

Appendix 1.

PLANNING BENCHMARK ASSESSMENT

6.2.4 Environmental management zone code

6.2.6.1 Application

- (1) This code applies to assessing development in the Environmental management zone.
- (2) When using this code, reference should be made to Part 5.

6.2.4.2 Purpose

- (1) The purpose of the Environmental management zone code is to recognise environmentally sensitive areas and provide for houses on lots and other low impact activities where suitable. These areas are protected from intrusion of any urban, suburban, centre or industrial land use.
- (2) The local government purpose of the code is to:
 - (a) implement the policy direction set in the Strategic Framework, in particular:
 - (i) Theme 2 : Environment and landscape values, Element 3.5.3 – Biodiversity, Element 3.5.5 – Scenic amenity.
 - (b) protect and buffer areas of environmental significance from inappropriate development.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development is generally restricted to a dwelling house;
 - (b) Adverse impacts on natural systems, both on-site and on adjoining land are minimised through the location, design and management of development;
 - (c) Development reflects and responds to the natural features and environmental values of the area;
 - (d) Visual impacts are minimised through the location and design of development;
 - (e) Development does not adversely affect water quality;
 - (f) Development responds to land constraints, including but not limited to topography, vegetation, bushfire, landslide and flooding.

6.2.4.3 Criteria for assessment

Table 6.2.4.3.a – Environmental management zone – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
PO1 The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-	AO1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height.	The overall height of the dwelling and pergola structures are not proposed to be increased in height from the existing dwelling structure.

Performance outcomes	Acceptable outcomes	Compliance
rise and not unduly visible from external sites	AO1.2 Buildings have a roof height not less than 2 metres	
PO2 Buildings and structures are set back to: (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages	AO2 Buildings and structures are set back not less than: (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.	No changes to the location of the existing dwelling are proposed, however, the proposed new pergola is proposed within 6m of the road reserve located to the North of the allotment. The pergola is proposed to be approximately 1.5m from the rear road reserve boundary and built to the boundary on the Western shared boundary line. The proposed pergola is to replace the existing pergola structure and will therefore not adversely affect the views, privacy and comfort of the neighbouring residences. The views from the beach front will not also not be significantly changed. Furthermore, the setbacks proposed are reflective of the existing structures and the structures located on neighbouring properties including at 17 Wharf Street, Port Douglas.
For assessable development		
PO3 Development is consistent with the purpose of the Environmental	AO3 Inconsistent uses as identified in Table 6.2.4.3.b are not established	

Performance outcomes	Acceptable outcomes	Compliance
management zone and protects the zone from the intrusion of inconsistent uses.	in the Environmental management zone.	The existing Dwelling House use is not inconsistent with the Planning Scheme.
<p>PO4</p> <p>The site coverage of all buildings and structures and associated services do not have an adverse effect on the environmental or scenic values of the site.</p>	<p>AO4</p> <p>No acceptable outcomes are prescribed.</p>	<p>The site coverage of the building will be slightly increased to include an outdoor barbeque area, shower space and covered walkway. The minor increase in site cover will not have an adverse affect on the environment of scenic values of the site as;</p> <ul style="list-style-type: none"> a) The additional roofed areas are located on the opposite side of the rear yard area to the beach front b) The shower space is shielded and not visible from the beach front c) The development does not require the removal of any natural vegetation.
<p>PO5</p> <p>Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics,</p>	<p>AO5.1</p> <p>Buildings, structures and associated access, infrastructure and private open space are sited:</p> <ul style="list-style-type: none"> (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; 	<p>All proposed structures are located on existing cleared areas which are already developed with an existing deck and pergola. No removal of natural vegetation or degradation of any natural land areas is necessary for the development proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
features and constraints of a site and its surrounds.	(c) to minimise additional vegetation clearing.	
	AO5.2 Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline	The land on which the proposed development is to be located is an existing benched side with no requirements for additional earthworks.
PO6 Buildings and structures are responsive to steep slope through innovative construction techniques so as to: (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; (c) minimise the overall height of development	AO6.1 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised.	Not applicable. Refer to AO5.2
	AO6.2 Access and vehicle manoeuvring and parking areas are constructed and maintained to: (a) minimise erosion; (b) minimise cut and fill; (c) follow the natural contours of the site.	No alterations to the existing on-site carparking is proposed.
PO7 The exterior finishes of buildings and structures are consistent with the surrounding natural environment	AO7 The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.	The exterior colours of the buildings and structures will be white shades and natural timbers. The buildings are generally hidden from view from the road with the use of landscaping. the white colour

Performance outcomes	Acceptable outcomes	Compliance
		scheme is reflective of the existing development and the surrounding developments.
PO8 Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	AO8 No acceptable outcomes are prescribed.	The development is minor in nature and will not adversely affect the amenity of the zone. All construction work will be completed within Council regulated noise levels.
PO9 The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	AO9 The maximum residential density is one dwelling house per lot.	The proposal does not include the construction of an additional dwelling house.
PO10 Lot reconfiguration results in no additional lots. Note - Boundary realignments to resolve encroachments and lot amalgamation are considered appropriate.	AO10 No acceptable outcomes are prescribed.	Not applicable

Table 6.2.4.3.b — Inconsistent uses within the Environmental management zone.

Inconsistent uses		
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Air services • Aquaculture • Bar 	<ul style="list-style-type: none"> • Hardware and trade supplies • Health care services • High impact industry • Hospital 	<ul style="list-style-type: none"> • Renewable energy facility • Relocatable home park • Research and technology industry • Residential care facility

<ul style="list-style-type: none"> • Brothel • Bulk landscape supplies • Car wash • Caretaker's accommodation • Cemetery • Child care centre • Club • Community care centre • Community residence • Community use • Crematorium • Cropping • Detention facility • Dual occupancy • Dwelling unit • Educational establishment • Food and drink outlet • Function facility • Garden centre 	<ul style="list-style-type: none"> • Hotel • Indoor sport and entertainment • Intensive animal industry • Intensive horticulture • Landing • Low impact industry • Major electricity infrastructure • Major sport, recreation and entertainment facility • Marine industry • Market • Motor sport facility • Multiple dwelling • Nightclub entertainment facility • Office • Outdoor sales • Outstation • Parking station • Place of worship • Port services 	<ul style="list-style-type: none"> • Resort complex • Retirement facility • Rooming accommodation • Rural industry • Rural workers accommodation • Sales office • Service Station • Shop • Shopping centre • Short-term accommodation • Showroom • Special industry • Substation • Theatre • Transport depot • Utility installation • Veterinary services • Warehouse • Wholesale nursery • Winery
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Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.

8.2.1 Acid sulfate soils overlay code

8.2.1.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Acid sulfate soils overlay, if:
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Acid sulphate soils overlay is identified on the Acid sulfate soils overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Land at or below the 5m AHD sub-category;
 - (b) Land above the 5m AHD and below the 20m AHD sub-category.
- (3) When using this code, reference should be made to Part 5.

8.2.1.2 Purpose

- (1) The purpose of the acid sulfate soils overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 2: Environment and landscape values, Element 3.5.4 Coastal zones.
 - (ii) Theme 3: Natural resource management, Element 3.6.2 land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.
- (2) enable an assessment of whether development is suitable on land within the Acid sulfate soils overlay sub-categories.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development ensures that the release of any acid and associated metal contaminant is avoided by not disturbing acid sulfate soils when excavating, removing soil or extracting ground water or filling land;
 - (b) Development ensures that disturbed acid sulphate soils, or drainage waters, are treated and, if required, on-going management practices are adopted that minimise the potential for environmental harm from acid sulfate soil and protect corrodible assets from acid sulfate soil.

8.2.1.3 Criteria for assessment

Table Error! No text of specified style in document..a – Acid sulphate soils overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For assessable development		
<p>PO1</p> <p>The extent and location of potential or actual acid sulfate soils is accurately identified.</p>	<p>AO1.1</p> <p>No excavation or filling occurs on the site.</p> <p>or</p> <p>AO1.2</p> <p>An acid sulfate soils investigation is undertaken.</p> <p>Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.</p>	<p>No filling or excavation is required for the proposed development. All structures are proposed on an existing benched site.</p>
<p>PO2</p> <p>Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants.</p>	<p>AO2.1</p> <p>The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by:</p> <p>(a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils;</p> <p>(b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils;</p>	<p>No filling or excavation is required for the proposed development. All structures are proposed on an existing benched site.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>(c) not undertaking filling that results in:</p> <p>(d) actual acid sulfate soils being moved below the water table;</p> <p>(e) previously saturated acid sulfate soils being aerated.</p> <p>or</p> <p>AO2.2</p> <p>The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by:</p> <p>(f) neutralising existing acidity and preventing the generation of acid and metal contaminants;</p> <p>(g) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment;</p> <p>(h) preventing the in situ oxidisation of potential acid sulfate soils and actual acid sulfate soils through ground water level management;</p> <p>(i) appropriately treating acid sulfate soils before disposal occurs on or off site;</p> <p>(j) documenting strategies and reporting requirements in an</p>	

Performance outcomes	Acceptable outcomes	Compliance
	<p>acid sulfate soils environmental management plan.</p> <p>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p>	
<p>PO3</p> <p>No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.</p>	<p>AO3</p> <p>No acceptable outcomes are prescribed.</p>	<p>No filling or excavation is required for the proposed development. All structures are proposed on an existing benched site.</p>

8.2.9 Potential landslide hazard overlay code

8.2.9.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Potential landslide hazard overlay; if
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Potential landslip hazard overlay is identified on the Potential landslide hazard overlay maps in Schedule 2 and includes the following sub-categories:
 - (a) Places of potential landslide hazard sub-category.
- (3) When using this code, reference should be made to Part 5.

Note – The Potential landslide hazard overlay shows modelled areas where the factors contributing to landslip potential accumulate to provide a moderate or higher risk if certain factors are exacerbated (e.g. factors include significant vegetation clearing, filling and excavation, changes to soil characteristics, changes to overland water flow, or changes to sub-surface water flow). It shows areas that the Council has identified where landslides may occur and where land may be impacted by a landslide, but does not mean that landslides will occur or that the land will be impacted by a landslide. Other areas not contained within the potential landslide hazard overlay may sustain landslides or be impacted by landslides and consideration should be given to this issue, where appropriate.

8.2.9.2 Purpose

- (1) The purpose of the Potential landslide hazard overlay code is:
 - (a) implement the policy direction of the Strategic Framework, in particular:
 - (i) Theme 1: Settlement pattern Element 3.4.7 Mitigation of hazards.
 - (b) enable an assessment of whether development is suitable on land within the Potential landslip hazard overlay.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is located, designed and constructed to not put at risk the safety of people, property and the environment;
 - (b) development is not at risk from and does not pose a risk to adjacent and nearby sites from landslides;
 - (c) ensures that community infrastructure is protected from the effects of potential landslides;

- (d) ensures that vegetation clearing, stormwater management and filling and/or excavation does not create a landslide hazard and/or rectifies potential pre-existing landslide risks;
- (e) development does not occur where works to provide a solution for safety of people, property or the environment involves complex engineering solutions to overcome the risk, or would result in a built form or outcome that causes an adverse visual impact on the Hillslopes or Landscape values of Douglas Shire.

8.2.9.3 Criteria for assessment

Table Error! No text of specified style in document..b – Potential landslide hazard overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
PO1 The siting and design of development does not involve complex engineering solutions and does not create or increase the potential landslide hazard risk to the site or adjoining premises through: <ul style="list-style-type: none"> (k) building design; (l) increased slope; (m) removal of vegetation; (n) stability of soil; (o) earthworks; (p) alteration of existing ground water or surface water paths; (q) waste disposal areas. 	AO1.1 Development is located on that part of the site not affected by the Potential landslide hazard overlay. or AO1.2 Development is on an existing stable, benched site and requires no further earthworks or AO1.3 A competent person certifies that: <ul style="list-style-type: none"> (r) the stability of the site, including associated buildings and infrastructure, will be maintained during the course of the development and will remain stable for the life of the development; (s) development of the site will not increase the risk of landslide hazard activity on other land, including land above the site; (t) the site is not subject to the risk of landslide activity on other land; (u) any measures identified in a site-specific geotechnical report for stabilising the site or 	Development is proposed on an existing stable, benched site and requires no further earthworks

Performance outcomes	Acceptable outcomes	Compliance
	<p>development have been fully implemented;</p> <p>(v) development does not concentrate existing ground water and surface water paths;</p> <p>(w) development does not incorporate on-site waste water disposal.</p> <p>Note – Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geo-technical assessment.</p> <p>Note – Development may alter the conditions of ground water and surface water paths in accordance with a site-specific geotechnical report, but should ensure that its final disbursement is as-per pre-developed conditions.</p> <p>Consideration for location, velocity, volume and quality should be given.</p>	
<p>PO2</p> <p>The siting and design of necessary retaining structures does not cause an adverse visual impact on landscape character or scenic amenity quality of the area.</p>	<p>AO2</p> <p>Excavation or fill:</p> <p>(a) is not more than 1.2 metres in height for each batter or retaining wall;</p> <p>(b) is setback a minimum of 2 metres from property boundaries;</p> <p>(c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping;</p> <p>(d) does not exceed a maximum of 3 batters and 3 berms (i.e. Not greater than 3.6 metres in height) on any one lot.</p>	<p>Development is proposed on an existing stable, benched site and requires no further earthworks</p>
Additional requirements for Community infrastructure		
<p>PO3</p> <p>Development for community infrastructure:</p> <p>(a) is not at risk from the potential landslide hazard areas;</p>	<p>AO3</p> <p>Development is designed in accordance with the recommendations of a site-specific geotechnical assessment which makes reference to the community</p>	<p>Development is proposed on an existing stable, benched site and requires no further earthworks</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>(b) will function without impediment from a landslide;</p> <p>(c) provides access to the infrastructure without impediment from the effects of a landslide;</p> <p>(d) does not contribute to an elevated risk of a landslide to adjoining properties.</p>	<p>infrastructure and its needs and function.</p> <p>Note - A site specific geotechnical assessment will detail requirements that will address the Acceptable Outcomes of this Performance Outcome. Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geotechnical assessment.</p>	

9.4.1 Access, parking and servicing code

9.4.1.1 Application

- (1) This code applies to assessing:
 - (a) operational work which requires a compliance assessment as a condition of a development permit;
or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

9.4.1.2 Purpose

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
 - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
 - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
 - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
 - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
 - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.

9.4.1.3 Criteria for assessment

Table Error! No text of specified style in document..c – Access, parking and servicing code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
PO1	AO1.1	

Performance outcomes	Acceptable outcomes	Compliance
<p>Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:</p> <p>(a) the desired character of the area;</p> <p>(b) the nature of the particular use and its specific characteristics and scale;</p> <p>(c) the number of employees and the likely number of visitors to the site;</p> <p>(d) the level of local accessibility;</p> <p>(e) the nature and frequency of any public transport serving the area;</p> <p>(f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building</p> <p>(g) whether or not the use involves a heritage building or place of local significance;</p> <p>(h) whether or not the proposed use involves the retention of significant vegetation.</p>	<p>The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p>	<p>The proposed development does not include any alterations to the existing on-site carparking.</p>
	<p>AO1.2</p> <p>Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.</p>	<p>The proposed development does not include any alterations to the existing on-site carparking.</p>
	<p>AO1.3</p> <p>Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p>	<p>Not applicable</p>
	<p>AO1.4</p> <p>For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>	<p>Not applicable</p>
PO2	AO2	

Performance outcomes	Acceptable outcomes	Compliance
Vehicle parking areas are designed and constructed in accordance with relevant standards.	Vehicle parking areas are designed and constructed in accordance with Australian Standard: (a) AS2890.1; (b) AS2890.3; (c) AS2890.6.	The proposed development does not include any alterations to the existing on-site carparking.
PO3 Access points are designed and constructed: (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area; (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements; (f) so that they do not adversely impact current and future on-street parking arrangements;	AO3.1 Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with: (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.	The proposed development does not include any alterations to the existing on-site carparking including the existing driveway.
	AO3.2 Access, including driveways or access crossovers: (a) are not placed over an existing: (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer utility hole; (iv) water valve or hydrant. (b) are designed to accommodate any adjacent footpath;	The proposed development does not include any alterations to the existing on-site carparking including the existing driveway.

Performance outcomes	Acceptable outcomes	Compliance
(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;	(c) adhere to minimum sight distance requirements in accordance with AS2980.1.	
(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).	<p>AO3.3</p> <p>Driveways are:</p> <p>(a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual;</p> <p>(b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;</p> <p>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;</p> <p>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs</p>	The proposed development does not include any alterations to the existing on-site carparking including the existing driveway.

Performance outcomes	Acceptable outcomes	Compliance
	storm water runoff to the storm water drainage system.	
	AO3.4 Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.	The proposed development does not include any alterations to the existing on-site carparking including the existing driveway.
PO4 Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.	AO4 The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.	Not applicable
PO5 Access for people with disabilities is provided to the building from the parking area and from the street.	AO5 Access for people with disabilities is provided in accordance with the relevant Australian Standard.	Not applicable
PO6 Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.	AO6 The number of on-site bicycle parking spaces complies with the rates specified in Error! Reference source not found..	Not applicable
PO7 Development provides secure and convenient bicycle parking which:	AO7.1 Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);	Not applicable

Performance outcomes	Acceptable outcomes	Compliance
<p>(a) for visitors is obvious and located close to the building's main entrance;</p> <p>(b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building;</p> <p>(c) is easily and safely accessible from outside the site.</p>	<p>AO7.2</p> <p>Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.</p>	Not applicable
	<p>AO7.3</p> <p>Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	Not applicable
<p>PO8</p> <p>Development provides walking and cycle routes through the site which:</p> <p>(a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes;</p> <p>(b) encourage walking and cycling;</p> <p>(c) ensure pedestrian and cyclist safety.</p>	<p>AO8</p> <p>Development provides walking and cycle routes which are constructed on the carriageway or through the site to:</p> <p>(a) create a walking or cycle route along the full frontage of the site;</p> <p>(b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.</p>	Not applicable
<p>PO9</p> <p>Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p>	<p>AO9.1</p> <p>Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.</p>	The proposed development does not include any alterations to the existing on-site carparking including the existing driveway.

Performance outcomes	Acceptable outcomes	Compliance
<p>(a) in accordance with relevant standards;</p> <p>(b) so that they do not interfere with the amenity of the surrounding area;</p> <p>(c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.</p>	<p>AO9.2</p> <p>Service and loading areas are contained fully within the site.</p>	Not applicable
	<p>AO9.3</p> <p>The movement of service vehicles and service operations are designed so they:</p> <p>(a) do not impede access to parking spaces;</p> <p>(b) do not impede vehicle or pedestrian traffic movement.</p>	Not applicable
<p>PO10</p> <p>Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p>AO10.1</p> <p>Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses:</p> <p>(a) car wash;</p> <p>(b) child care centre;</p> <p>(c) educational establishment where for a school;</p> <p>(d) food and drink outlet, where including a drive-through facility;</p>	Not applicable

Performance outcomes	Acceptable outcomes	Compliance
	(e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station.	
	AO10.2 Queuing and set-down areas are designed and constructed in accordance with AS2890.1.	Not applicable

Table Error! No text of specified style in document..d – Access, parking and servicing requirements

Note – Where the number of spaces is not a whole number, the number of spaces to be provided is the next highest whole number.

Note – Where the proposed development involves one or more land use, the minimum number of spaces for the proposed development will be calculated using the minimum number of spaces specified for each land use component.

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Dwelling house	A minimum of 2 spaces which may be in tandem plus 1 space for a secondary dwelling	n/a	n/a	n/a

9.4.4 Filling and excavation code

9.4.4.1 Application

- (1) This code applies to assessing:
- (a) operational work for filling or excavation which is self-assessable or code assessable development if this code is an applicable code identified in the assessment criteria column of a table of assessment; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where this code is identified as a prescribed secondary code in the assessment criteria column of a table of assessment; or
 - (ii) impact assessable development, to the extent relevant.

Note—This code does not apply to building work that is regulated under the Building Code of Australia.

- (2) When using this code, reference should be made to Part 5.

9.4.4.2 Purpose

- (1) The purpose of the Filling and excavation code is to assess the suitability of development for filling or excavation.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) filling or excavation does not impact on the character or amenity of the site and surrounding areas;
 - (b) filling and excavation does not adversely impact on the environment;
 - (c) filling and excavation does not impact on water quality or drainage of upstream, downstream or adjoining properties;
 - (d) filling and excavation is designed to be fit for purpose and does not create land stability issues;
 - (e) filling and excavation works do not involve complex engineering solutions.

9.4.4.3 Criteria for assessment

Table Error! No text of specified style in document..e – Filling and excavation code – for self-assessable and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Filling and excavation - General		
PO1 All filling and excavation work does not create a detrimental impact on	AO1.1 The height of cut and/or fill, whether retained or not, does not	Development is proposed on an existing stable, benched site and requires no further earthworks

Performance outcomes	Acceptable outcomes	Compliance
the slope stability, erosion potential or visual amenity of the site or the surrounding area.	<p>exceed 2 metres in height.</p> <p>and</p> <p>Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.</p>	
	<p>AO1.2</p> <p>Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation.</p>	Development is proposed on an existing stable, benched site and requires no further earthworks
	<p>AO1.3</p> <p>Cuts are screened from view by the siting of the building/structure, wherever possible.</p>	Development is proposed on an existing stable, benched site and requires no further earthworks
	<p>AO1.4</p> <p>Topsoil from the site is retained from cuttings and reused on benches/terraces.</p>	Development is proposed on an existing stable, benched site and requires no further earthworks
	<p>AO1.5</p> <p>No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.</p>	Development is proposed on an existing stable, benched site and requires no further earthworks

Performance outcomes	Acceptable outcomes	Compliance
	AO1.6 Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.	Development is proposed on an existing stable, benched site and requires no further earthworks
Visual Impact and Site Stability		
PO2 Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.	AO2.1 The extent of filling and excavation does not exceed 40% of the site area, or 500m ² whichever is the lesser, except that AO2.1 does not apply to reconfiguration of 5 lots or more.	Development is proposed on an existing stable, benched site and requires no further earthworks
	AO2.2 Filling and excavation does not occur within 2 metres of the site boundary.	Development is proposed on an existing stable, benched site and requires no further earthworks
Flooding and drainage		
PO3 Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves.	AO3.1 Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves.	Development is proposed on an existing stable, benched site and requires no further earthworks
	AO3.2 Filling and excavation does not result in an increase in the flow of	Development is proposed on an existing stable, benched site and requires no further earthworks

Performance outcomes	Acceptable outcomes	Compliance
	water across a site or any other land or road reserves.	
	AO3.3 Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths.	Development is proposed on an existing stable, benched site and requires no further earthworks
	AO3.4 Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	Development is proposed on an existing stable, benched site and requires no further earthworks
Water quality		
PO4 Filling and excavation does not result in a reduction of the water quality of receiving waters.	AO4 Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	Development is proposed on an existing stable, benched site and requires no further earthworks The development will not affect the existing water quality from the site.
Infrastructure		
PO5 Excavation and filling does not impact on Public Utilities.	AO5 Excavation and filling is clear of the zone of influence of public utilities.	Development is proposed on an existing stable, benched site and requires no further earthworks

9.4.5 Infrastructure works code

9.4.5.1 Application

- (1) This code applies to assessing:
 - (a) operational work which requires an assessment as a condition of a development permit or is assessable development if this code is identified in the assessment criteria column of a table of assessment;
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.

Note – The Filling and excavation code applies to operational work for filling and excavation.

- (2) When using this code, reference should be made to Part 5.

9.4.5.2 Purpose

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by, and connected to, infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
 - (b) development maintains high environmental standards;
 - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;
 - (d) the integrity of existing infrastructure is maintained;
 - (e) development does not detract from environmental values or the desired character and amenity of an area.

9.4.5.3 Criteria for assessment

Table Error! No text of specified style in document..f – Infrastructure works code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Works on a local government road		
PO1 Works on a local government road do not adversely impact on	AO1.1 Footpaths/pathways are located in the road verge and are provided	The development does not include or require footpaths of pathways

Performance outcomes	Acceptable outcomes	Compliance
<p>footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.</p>	<p>for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p>located in the road reserve.</p>
	<p>AO1.2</p> <p>Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 – FNQROC Regional Development Manual.</p>	<p>The development does not include or require kerb ramps.</p>
	<p>AO1.3</p> <p>New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths:</p> <p>(h) are installed via trenchless methods; or</p> <p>(i) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section.</p>	<p>The development does not include or require new pipes, cables, conduits of other similar infrastructure to cross any existing footpaths or road reserve areas.</p>
	<p>AO1.4</p> <p>Where existing footpaths are damaged as a result of development, footpaths are</p>	<p>The development does not include or construction near any existing footpaths, however, Council may</p>

Performance outcomes	Acceptable outcomes	Compliance
	reinstated ensuring: (a) similar surface finishes are used; (b) there is no change in level at joins of new and existing sections; (c) new sections are matched to existing in terms of dimension and reinforcement. Note – Error! Reference source not found. provides guidance on meeting the outcomes.	place conditions on any Development Approval if required.
	AO1.5 Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.	The proposed work including the pergola, pool, stairs, posts and other structures located will not be located in the road reserve.
Accessibility structures		
PO2 Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient and safe use of footpaths. Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.	AO2.1 Accessibility structures are not located within the road reserve.	No structures are proposed within the road reserve
	AO2.2 Accessibility structures are designed in accordance with AS1428.3.	Not applicable
	AO2.3 When retrofitting accessibility	Not applicable

Performance outcomes	Acceptable outcomes	Compliance
	features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.	
Water supply		
<p>PO3</p> <p>An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p>AO3.1</p> <p>The premises is connected to Council's reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p>AO3.2</p> <p>Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	<p>The site has an existing connection to Councils reticulated water supply.</p>

Performance outcomes	Acceptable outcomes	Compliance
Treatment and disposal of effluent		
PO4 Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.	AO4.1 The site is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual; or AO4.2 Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i> .	The site has an existing connection to Councils sewerage system.
Stormwater quality		
	AO5.1 A connection is provided from the premises to Council's drainage system; or AO5.2 An underground drainage system is constructed to convey stormwater	The existing stormwater system will not be adversely altered other than adding additional downpipes to the system for the catchment of the roof stormwater from the proposed pergola and walkways/awnings. Furthermore, any Development

Performance outcomes	Acceptable outcomes	Compliance
	from the premises to Council's drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.	Approval for Building Works will include conditions relating to stormwater control in accordance with the Planning Scheme and Building Code of Australia.
	<p>AO5.3</p> <p>A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Error! Reference source not found. and Error! Reference source not found., reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> (a) erosive, dispersive and/or saline soil types; (b) landscape features (including landform); (c) acid sulfate soil and management of nutrients of concern; (d) rainfall erosivity. 	No adverse changes to the existing stormwater system on-site is proposed. Any Development Approval for Building Works will include conditions relating to stormwater control in accordance with the Planning Scheme and Building Code of Australia.
	<p>AO5.4</p> <p>Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan.</p>	No adverse changes to the site are proposed. Erosion and sediment controls will be implement during the construction phase and for the life of the structures.

Performance outcomes	Acceptable outcomes	Compliance
<p>PO5</p> <p>Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by:</p> <ul style="list-style-type: none"> (a) achieving stormwater quality objectives; (b) protecting water environmental values; (c) maintaining waterway hydrology. 	<p>AO5.5</p> <p>Development incorporates stormwater flow control measures to achieve the design objectives set out in Error! Reference source not found. and Error! Reference source not found., including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act 1994</i>.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	<p>No adverse changes to the existing stormwater system on-site is proposed. Any Development Approval for Building Works will include conditions relating to stormwater control in accordance with the Planning Scheme and Building Code of Australia.</p>
Non-tidal artificial waterways		
<p>PO6</p> <p>Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <ul style="list-style-type: none"> (j) protect water environmental values; (k) be compatible with the 	<p>AO6.1</p> <p>Development involving non-tidal artificial waterways ensures:</p> <ul style="list-style-type: none"> (o) environmental values in downstream waterways are protected; (p) any ground water recharge areas are not 	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>land use constraints for the site for protecting water environmental values;</p> <p>(l) be compatible with existing tidal and non-tidal waterways;</p> <p>(m) perform a function in addition to stormwater management;</p> <p>(n) achieve water quality objectives.</p>	<p>affected;</p> <p>(q) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway;</p> <p>(r) existing areas of ponded water are included.</p>	
	<p>AO6.2</p> <p>Non-tidal artificial waterways are located:</p> <p>(s) outside natural wetlands and any associated buffer areas;</p> <p>(t) to minimise disturbing soils or sediments;</p> <p>(u) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.</p>	Not applicable
	<p>AO6.3</p> <p>Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures:</p> <p>(v) there is sufficient flushing or a tidal range of >0.3 m; or</p> <p>(w) any tidal flow alteration does not adversely impact</p>	Not applicable

Performance outcomes	Acceptable outcomes	Compliance
	on the tidal waterway; or (x) there is no introduction of salt water into freshwater environments.	
	AO6.4 Non-tidal artificial waterways are designed and managed for any of the following end-use purposes: (y) amenity (including aesthetics), landscaping or recreation; or (z) flood management, in accordance with a drainage catchment management plan; or (aa) stormwater harvesting plan as part of an integrated water cycle management plan; or (bb) aquatic habitat.	Not applicable
	AO6.5 The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.	Not applicable
	AO6.6 Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of	Not applicable

Performance outcomes	Acceptable outcomes	Compliance
	the waterway.	
	AO6.7 Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.	Not applicable
Wastewater discharge		
PO7 Discharge of wastewater to waterways, or off site: (a) meets best practice environmental management; (b) is treated to: (i) meet water quality objectives for its receiving waters; (ii) avoid adverse impact on ecosystem health or waterway health; (iii) maintain ecological processes, riparian vegetation and waterway integrity; (iv) offset impacts on high ecological value waters.	AO7.1 A wastewater management plan is prepared and addresses: (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best practice environmental management.	No adverse changes to the existing systems on-site is proposed. Any Development Approval for Building Works will include conditions relating to stormwater control in accordance with the Planning Scheme and Building Code of Australia.
	AO7.2 The waste water management plan is managed in accordance with a waste management hierarchy that: (e) avoids wastewater discharge to waterways; or (f) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and	No adverse changes to the existing systems on-site is proposed. Any Development Approval for Building Works will include conditions relating to stormwater control in accordance with the Planning Scheme and Building Code of Australia.

Performance outcomes	Acceptable outcomes	Compliance
	treatment for disposal to sewer, surface water and ground water.	
	<p>A07.3</p> <p>Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.</p>	No adverse changes to the existing systems on-site is proposed. Any Development Approval for Building Works will include conditions relating to stormwater control in accordance with the Planning Scheme and Building Code of Australia.
	<p>A07.4</p> <p>Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <ul style="list-style-type: none"> (g) avoids lowering ground water levels where potential or actual acid sulfate soils are present; (h) manages wastewater so that: <ul style="list-style-type: none"> (i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and 	The development is on an existing benched site. No disturbances or changes to existing artificial or natural hydrology or the site, or of the surrounding areas. Is proposed or required for the construction of the proposed buildings and structures.

Performance outcomes	Acceptable outcomes	Compliance
	<p>other metals;</p> <p>(ii) holding times of neutralised wastewater ensures the flocculation and removal of any dissolved iron prior to release;</p> <p>(iii) visible iron floc is not present in any discharge;</p> <p>(iv) precipitated iron floc is contained and disposed of;</p> <p>(v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method.</p>	
Electricity supply		
<p>PO8</p> <p>Development is provided with a source of power that will meet its energy needs.</p>	<p>AO8.1</p> <p>A connection is provided from the premises to the electricity distribution network;</p> <p>or</p>	<p>An existing electrical connection exists. No changes are proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>AO8.2</p> <p>The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Areas north of the Daintree River have a different standard.</p>	
	<p>AO9.1</p> <p>Pad-mount electricity infrastructure is:</p> <ul style="list-style-type: none"> (i) not located in land for open space or sport and recreation purposes; (j) screened from view by landscaping or fencing; (k) accessible for maintenance. 	Not applicable
<p>PO9</p> <p>Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p>AO9.2</p> <p>Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage.</p> <p>Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.</p>	Not applicable
Telecommunications		

Performance outcomes	Acceptable outcomes	Compliance
PO10 Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.	AO10 The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.	No changes to the existing connections are proposed.
PO11 Provision is made for future telecommunications services (e.g. fibre optic cable).	AO11 Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	No changes to the existing connections are proposed.
Road construction		
PO12 The road to the frontage of the premises is constructed to provide for the safe and efficient movement of: <ul style="list-style-type: none"> (l) pedestrians and cyclists to and from the site; (m) pedestrians and cyclists adjacent to the site; (n) vehicles on the road adjacent to the site; (o) vehicles to and from the site; (p) emergency vehicles. 	AO12.1 The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.	Not applicable
	AO12.2 There is existing road, kerb and channel for the full road frontage of the site.	Not applicable
	AO12.3 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.	Not applicable

Performance outcomes	Acceptable outcomes	Compliance
Alterations and repairs to public utility services		
PO13 Infrastructure is integrated with, and efficiently extends, existing networks.	AO13 Development is designed to allow for efficient connection to existing infrastructure networks.	No changes to the existing connections, systems or networks are proposed
PO14 Development and works do not affect the efficient functioning of public utility mains, services or installations.	AO14.1 Public utility mains, services and installations are not required to be altered or repaired as a result of the development; or AO14.2 Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.	No changes to the existing connections, systems or networks are proposed
Construction management		
PO15 Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.	AO15 Works include, at a minimum: (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory	All existing natural vegetation will be protected during construction.

Performance outcomes	Acceptable outcomes	Compliance
	<p>signage;</p> <p>(c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation;</p> <p>(d) removal from the site of all declared noxious weeds.</p>	
<p>PO16</p> <p>Existing infrastructure is not damaged by construction activities.</p>	<p>AO16</p> <p>Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.</p>	<p>No changes to the existing connections, systems or networks are proposed</p>
For assessable development		
High speed telecommunication infrastructure		
<p>PO17</p> <p>Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.</p>	<p>AO17</p> <p>No acceptable outcomes are prescribed.</p>	<p>No changes to the existing connections, systems or networks are proposed</p>

Performance outcomes	Acceptable outcomes	Compliance
Trade waste		
<p>PO18</p> <p>Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that:</p> <ul style="list-style-type: none"> (a) off-site releases of contaminants do not occur; (b) the health and safety of people and the environment are protected; (c) the performance of the wastewater system is not put at risk. 	<p>AO18</p> <p>No acceptable outcomes are prescribed.</p>	<p>Not applicable</p>
Fire services in developments accessed by common private title		
<p>PO19</p> <p>Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p>AO19.1</p> <p>Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.</p>	<p>No changes to the existing connections, systems or networks are proposed</p>
	<p>AO19.2</p> <p>Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and</p>	<p>No changes to the existing connections, systems or networks are proposed</p>

Performance outcomes	Acceptable outcomes	Compliance
	warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.	
<p>PO20</p> <p>Hydrants are suitable identified so that fire services can locate them at all hours.</p> <p>Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.</p>	<p>AO20</p> <p>No acceptable outcomes are prescribed.</p>	<p>No changes to the existing connections, systems or networks are proposed</p>

Appendix 2

PROPOSED PLANS

HAVANA - PORT DOUGLAS RESIDENCE

15 WHARF STREET, PORT DOUGLAS, QLD

DOCUMENTATION



LOCATION PLAN (NOT TO SCALE)

SHEET LIST	
NUMBER	NAME
A-0000	COVER SHEET AND DRAWING LIST
A-1000	EXISTING/DEMOLITION PLAN GROUND LEVEL
A-1001	EXISTING/DEMOLITION PLAN LEVEL 1
A-1010	GENERAL ARRANGEMENT FLOOR PLAN GROUND LEVEL
A-1011	GENERAL ARRANGEMENT FLOOR PLAN LEVEL 1
A-2001	NORTH AND SOUTH ELEVATIONS
A-2002	EAST AND WEST ELEVATIONS
A-3001	SECTIONS

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STATUS

TENDER

Do not scale drawing. Verify all dimensions on site. This drawing is for tender purposes only and not suitable for construction. Report any discrepancies in documentation to architect before commencing works.

GRAPHIC SCALE

NOT TO SCALE

DRAWING NOTES

P3	12.09.2023	FOR INFORMATION
P2	06.09.2023	FOR INFORMATION
P1	01.08.2023	PRELIMINARY
ISS	DATE	PURPOSE OF ISSUE

CLIENT
KURT & NATHALIE
JAGGARD

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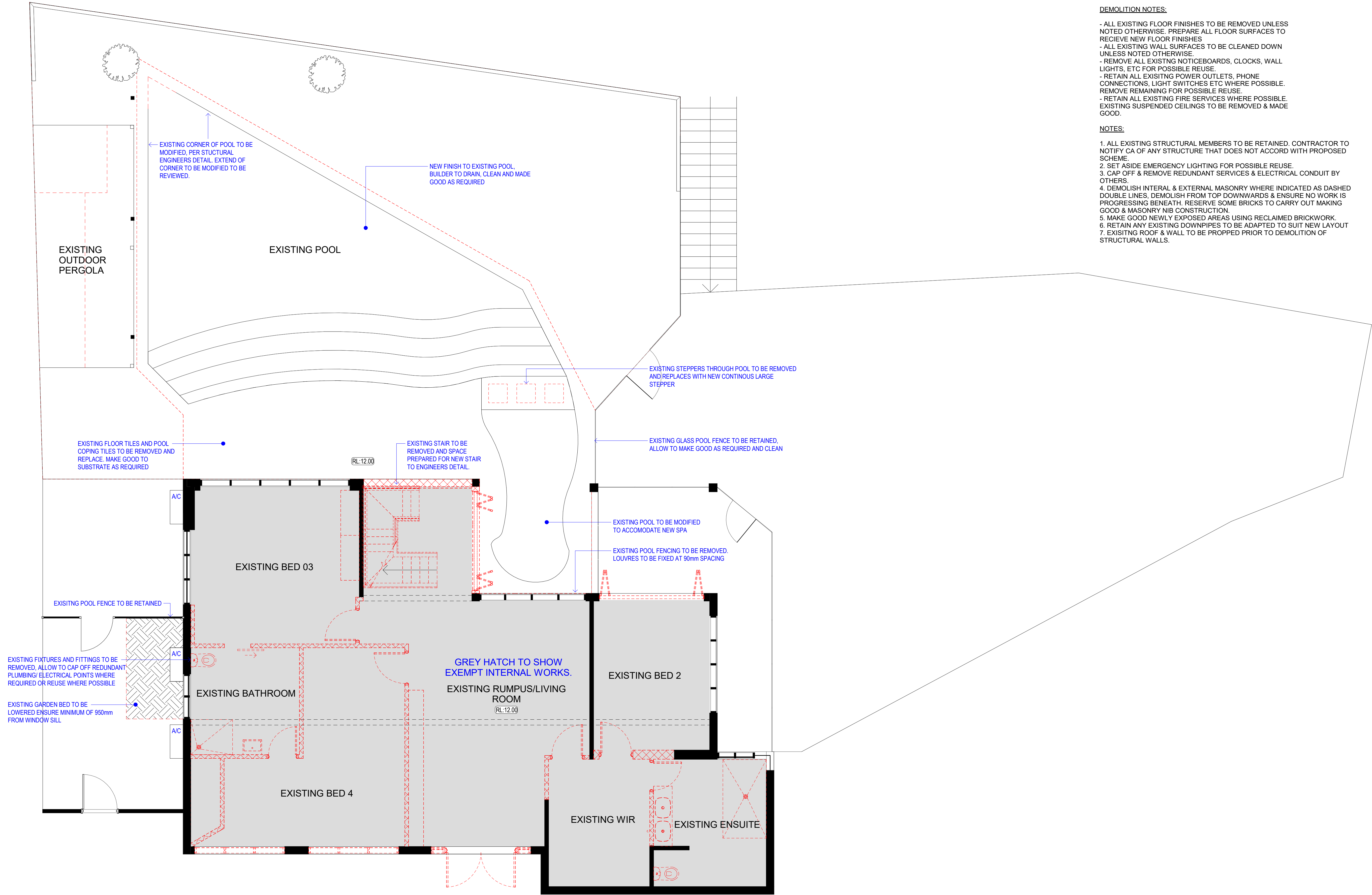
PROJECT
PORT DOUGLAS

15 WHARF STREET, PORT DOUGLAS

DRAWING NO.	ISSUE	
A-0000	P3	
JOB NO.	SCALE	DATE
JAG2301	@ A1	12.09.2023

DRAWING TITLE
COVER SHEET AND DRAWING LIST

DRAWN BY	CHECKED BY
CK	GC



LEGEND

--- STRUCTURE TO BE DEMOLISHED

█ EXISTING WALL TO REMAIN

- DEMOLITION NOTES:**
- ALL EXISTING FLOOR FINISHES TO BE REMOVED UNLESS NOTED OTHERWISE. PREPARE ALL FLOOR SURFACES TO RECIEVE NEW FLOOR FINISHES
 - ALL EXISTING WALL SURFACES TO BE CLEANED DOWN UNLESS NOTED OTHERWISE.
 - REMOVE ALL EXISTING NOTICEBOARDS, CLOCKS, WALL LIGHTS, ETC FOR POSSIBLE REUSE.
 - RETAIN ALL EXISITNG POWER OUTLETS, PHONE CONNECTIONS, LIGHT SWITCHES ETC WHERE POSSIBLE. REMOVE REMAINING FOR POSSIBLE REUSE.
 - RETAIN ALL EXISTING FIRE SERVICES WHERE POSSIBLE. EXISTING SUSPENDED CEILINGS TO BE REMOVED & MADE GOOD.

- NOTES:**
1. ALL EXISTING STRUCTURAL MEMBERS TO BE RETAINED. CONTRACTOR TO NOTIFY CA OF ANY STRUCTURE THAT DOES NOT ACCORD WITH PROPOSED SCHEME.
 2. SET ASIDE EMERGENCY LIGHTING FOR POSSIBLE REUSE.
 3. CAP OFF & REMOVE REDUNDANT SERVICES & ELECTRICAL CONDUIT BY OTHERS.
 4. DEMOLISH INTERNAL & EXTERNAL MASONRY WHERE INDICATED AS DASHED DOUBLE LINES. DEMOLISH FROM TOP DOWNWARDS & ENSURE NO WORK IS PROGRESSING BENEATH. RESERVE SOME BRICKS TO CARRY OUT MAKING GOOD & MASONRY NIB CONSTRUCTION.
 5. MAKE GOOD NEWLY EXPOSED AREAS USING RECLAIMED BRICKWORK.
 6. RETAIN ANY EXISTING DOWNPIPES TO BE ADAPTED TO SUIT NEW LAYOUT
 7. EXISTING ROOF & WALL TO BE PROPPED PRIOR TO DEMOLITION OF STRUCTURAL WALLS.

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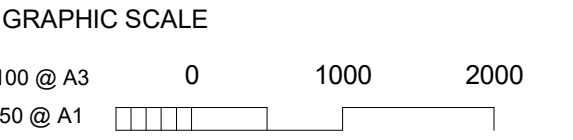
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DRAWING NOTES

█ EXCEMPT INTERNAL WORKS

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ISS	DATE	PURPOSE OF ISSUE

CLIENT
KURT & NATHALIE
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NOMINATED ARCHITECT
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17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT
PORT DOUGLAS

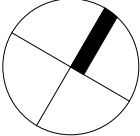
15 WHARF STREET, PORT DOUGLAS

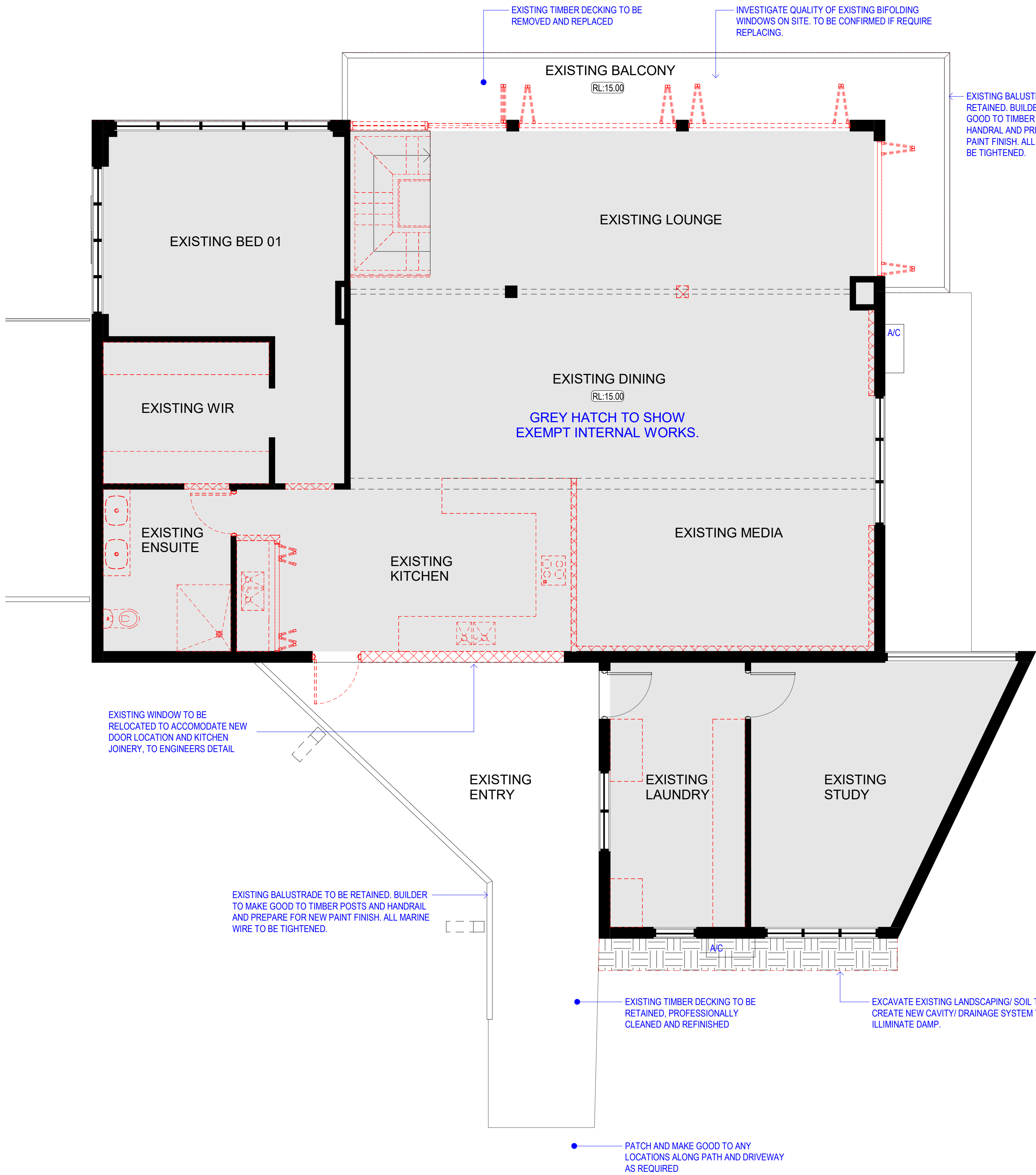
DRAWING NO.	ISSUE
A-1000	P3
JOB NO. JAG2301	SCALE 1 : 50@ A1
DATE 12.09.2023	

DRAWING TITLE
EXISTING/DEMOLITION PLAN GROUND
LEVEL

DRAWN BY
CK

CHECKED BY
GC





1 EXISTING/DEMOLITION PLAN LEVEL 1
1 : 50 @ A1

LEGEND

- STRUCTURE TO BE DEMOLISHED
- EXISTING WALL TO REMAIN

DEMOLITION NOTES:

- ALL EXISTING FLOOR FINISHES TO BE REMOVED UNLESS NOTED OTHERWISE. PREPARE ALL FLOOR SURFACES TO RECIEVE NEW FLOOR FINISHES
- ALL EXISTING WALL SURFACES TO BE CLEANED DOWN UNLESS NOTED OTHERWISE.
- REMOVE ALL EXISTING NOTICEBOARDS, CLOCKS, WALL LIGHTS, ETC FOR POSSIBLE REUSE.
- RETAIN ALL EXISITNG POWER OUTLETS, PHONE CONNECTIONS, LIGHT SWITCHES ETC WHERE POSSIBLE. REMOVE REMAINING FOR POSSIBLE REUSE.
- RETAIN ALL EXISTING FIRE SERVICES WHERE POSSIBLE. EXISTING SUSPENDED CEILINGS TO BE REMOVED & MADE GOOD.

NOTES:

1. ALL EXISTING STRUCTURAL MEMBERS TO BE RETAINED. CONTRACTOR TO NOTIFY CA OF ANY STRUCTURE THAT DOES NOT ACCORD WITH PROPOSED SCHEME.
2. SET ASIDE EMERGENCY LIGHTING FOR POSSIBLE REUSE.
3. CAP OFF & REMOVE REDUNDANT SERVICES & ELECTRICAL CONDUIT BY OTHERS.
4. DEMOLISH INTERNAL & EXTERNAL MASONRY WHERE INDICATED AS DASHED DOUBLE LINES. DEMOLISH FROM TOP DOWNWARDS & ENSURE NO WORK IS PROGRESSING BENEATH. RESERVE SOME BRICKS TO CARRY OUT MAKING GOOD & MASONRY NIB CONSTRUCTION.
5. MAKE GOOD NEWLY EXPOSED AREAS USING RECLAIMED BRICKWORK.
6. RETAIN ANY EXISTING DOWNPIPES TO BE ADAPTED TO SUIT NEW LAYOUT
7. EXISTING ROOF & WALL TO BE PROPPED PRIOR TO DEMOLITION OF STRUCTURAL WALLS.

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STATUS

TENDER

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GRAPHIC SCALE

1:100 @ A3 0 1000 2000
1:50 @ A1

DRAWING NOTES

EXCEMPT INTERNAL WORKS

P3	12.09.2023	FOR INFORMATION
P2	06.09.2023	FOR INFORMATION
P1	01.08.2023	PRELIMINARY
ISS	DATE	PURPOSE OF ISSUE

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PROJECT

PORT DOUGLAS

15 WHARF STREET, PORT DOUGLAS

DRAWING NO.

A-1001

ISSUE

P3

JOB NO.

JAG2301

SCALE

1 : 50@ A1

DATE

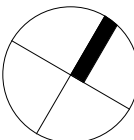
12.09.2023

DRAWING TITLE

EXISTING/DEMOLITION PLAN LEVEL 1

DRAWN BY
CK

CHECKED BY
GC



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GRAPHIC SCALE

100 @ A3 0 1000 2000

50 @ A1 

DRAWING NOTES

EXISTING

NEW

☐ EXCEPT INTERNAL WORKS

P3	12.09.2023	FOR INFORMATION
P2	06.09.2023	FOR INFORMATION
P1	01.08.2023	PRELIMINARY
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PROJECT PORT DOUGLAS

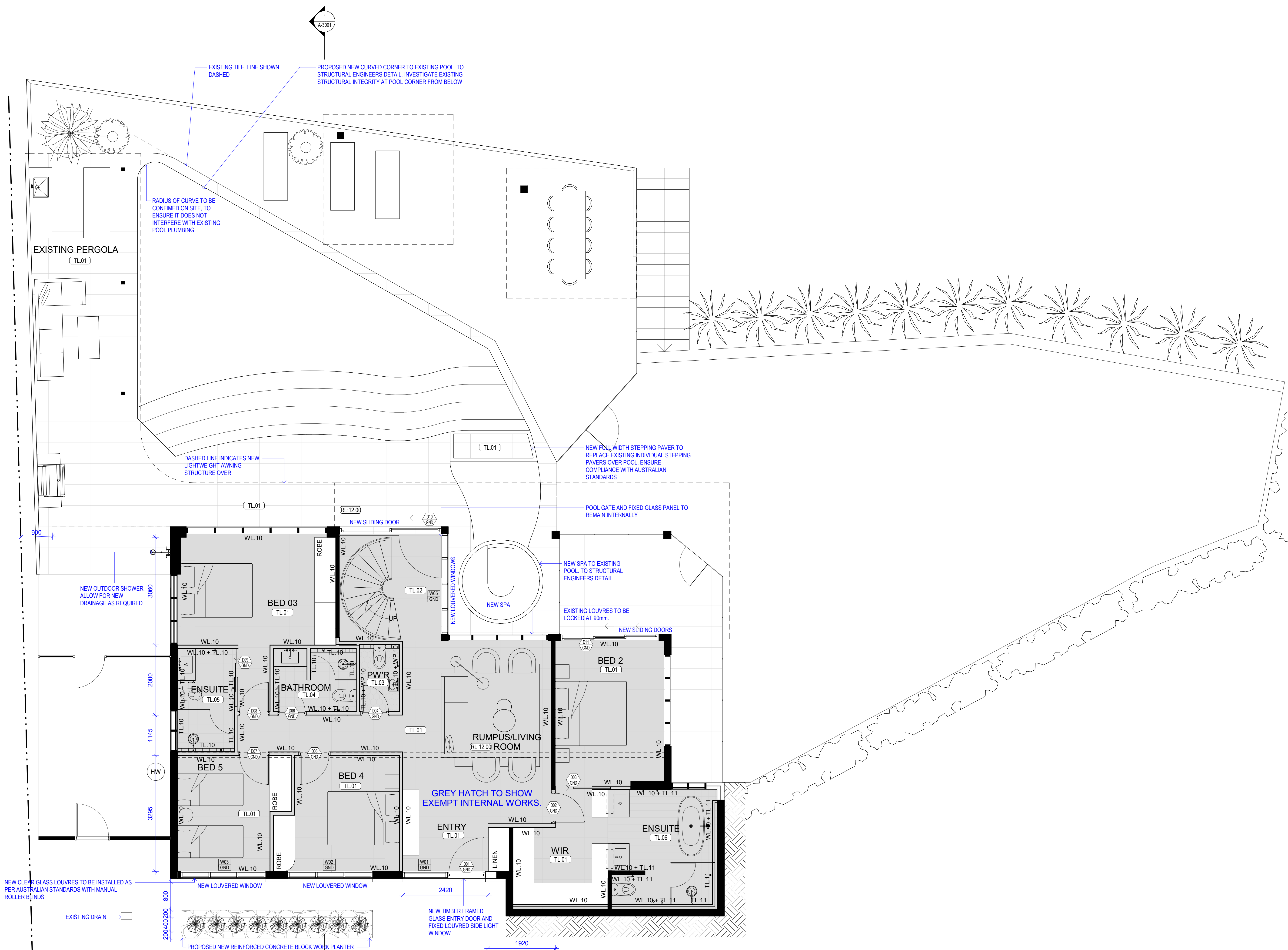
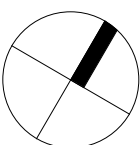
15 WHARF STREET, PORT DOUGLAS

DRAWING NO. **A-1010** ISSUE **P3**

JOB NO.	SCALE	DATE
JAG2301	1 : 50@ A1	12.09.2023

DRAWING TITLE
GENERAL ARRANGEMENT FLOOR
PLAN GROUND LEVEL

DRAWN BY CK
CHECKED BY GC



GENERAL ARRANGEMENT FLOOR PLAN GROUND LEVEL

1 : 50 @ A1



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GRAPHIC SCALE

Figure 1: Schematic representation of the experimental design. The top part shows a timeline for '100 @ A3' with markers at 0, 1000, and 2000. The bottom part shows a timeline for '50 @ A1' with a shaded region from 0 to 1000 and an unshaded region from 1000 to 2000.

DRAWING NOTES

 EXISTING
 NEW
 EXCEPT INTERNAL WORKS

P3	12.09.2023	FOR INFORMATION
P2	06.09.2023	FOR INFORMATION
P1	01.08.2023	PRELIMINARY
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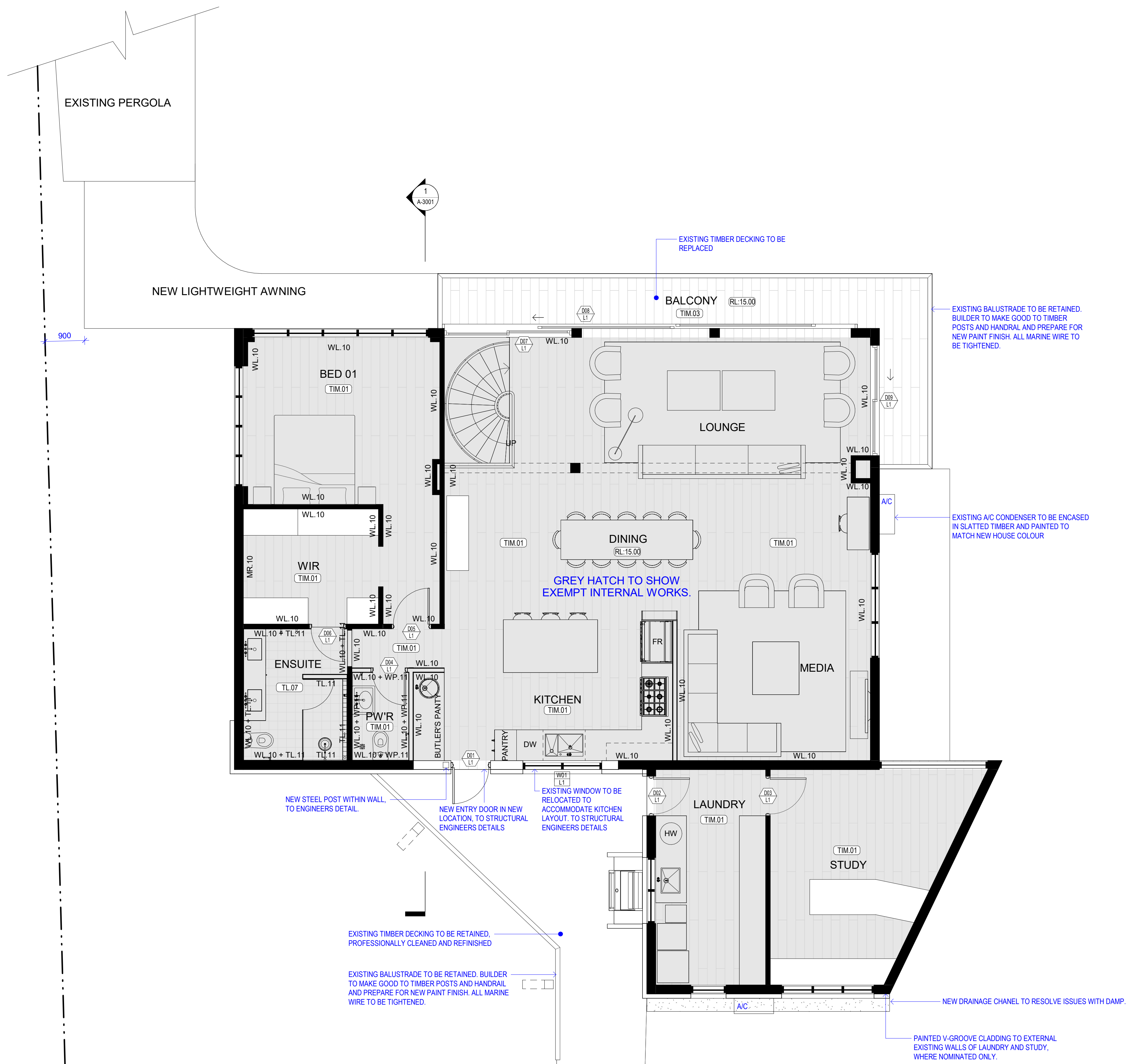
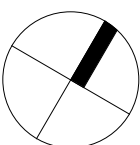
PROJECT PORT DOUGLAS

15 WHARF STREET, PORT DOUGLAS

DRAWING NO.		ISSUE
A-1011		P3
JOB NO.	SCALE	DATE
JAG2301	1 : 50@ A1	12.09.2023

DRAWING TITLE
GENERAL ARRANGEMENT FLOOR
PLAN LEVEL 1

DRAWN BY CK
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1 GENERAL ARRANGEMENT FLOOR PLAN LEVEL 1
1 : 50 @ A1



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GRAPHIC SCALE

1:100 @ A3
1:50 @ A1

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PROJECT

PORT DOUGLAS

15 WHARF STREET, PORT DOUGLAS

DRAWING NO.

A-2001

ISSUE

P2

JOB NO.

JAG2301

SCALE

1 : 50@ A1

DATE

12.09.2023

DRAWING TITLE

NORTH AND SOUTH ELEVATIONS

DRAWN BY

CK

CHECKED BY

GC

EXISTING BIFOLDING DOORS TO BE REPLACED WITH NEW SLIM PROFILE ALUMINUM SLIDING DOORS, POWDERCOAT COLOUR TO MATCH EXISTING.

EXISTING TIMBER BALUSTRADE TO BE PREPARED AND MADE GOOD AS REQUIRED, SANDED AND PAINTED. EXISTING MARINE WIRES TO BE TIGHTENED.

EXISTING BIFOLDING DOORS TO BE REPLACED WITH NEW SLIM PROFILE ALUMINUM SLIDING DOORS, POWDERCOAT COLOUR TO MATCH EXISTING.

NEW ELEVATED SPA, TO ENGINEERS DETAIL.

NEW PAINT FINISH TO EXISTING BLOCK WORK FACADE.

NEW LIGHTWEIGHT AWING
EXTENDING FROM EXISTING BALCONY
TO PROVIDE SHADING

EXISTING POOL TO BE REFINISHED,
MAKE GOOD TO EXISTING POOL
STRUCTURE AS REQUIRED

1

NORTH ELEVATION.

1 : 50 @ A1

EXISTING ELECTRICAL CONDUITS TO BE
INTERNALISED

EXISTING TIMBER BALUSTRADE TO BE
REPAIRED AND MADE GOOD AS REQUIRED,
SANDED AND PAINTED. EXISTING MARINE
WIRES TO BE TIGHTENED.

NEW HORIZONTAL PAINTED V-
GROOVE CLADDING TO EXTERIOR

NEW SOLID TIMBER CLADDING TO
CONCEAL EXPOSED EDGE OF
TIMBER DECK, TIMBER TO MATCH
DECKING.

NEW CLEAR GLASS LOUVRE BLADES
TO EXISTING LOUVRED OPENINGS.

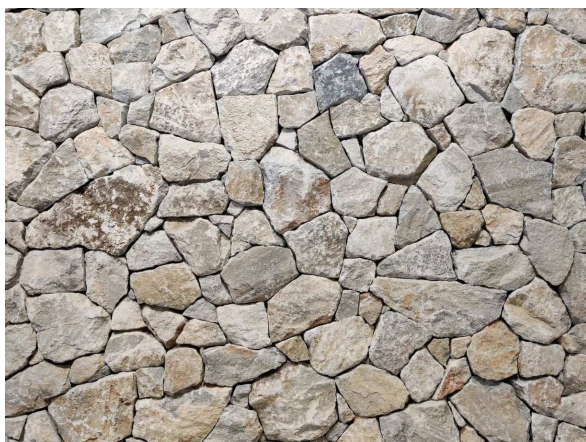
NEW 700mm STONE CLAD
REINFORCED CONCRETE BLOCK
PLANTER, TO ENGINEERS DETAIL.
ALLOW FOR IRRIGATION AND
WATERPROOFING AS REQUIRED.

EXISTING LOUVRED WINDOW TO BE RELOCATED,
BUILDER TO CHECK OPENING SIZE ONSITE.

2

SOUTH ELEVATION.

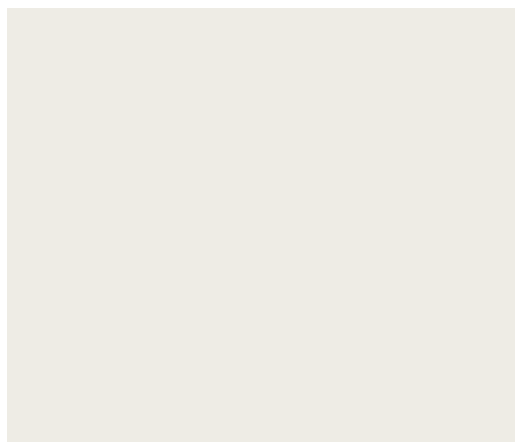
1 : 50 @ A1



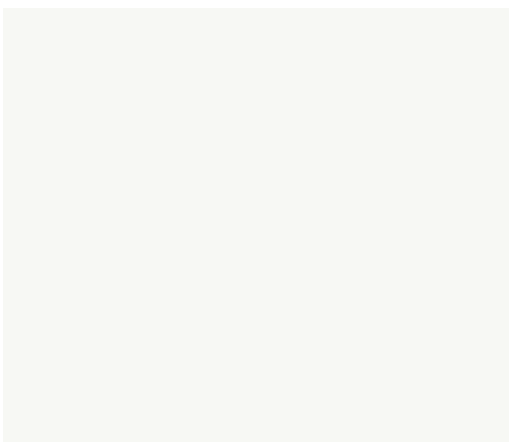
ST.50 NATURAL STONE WALL CLADDING



TIM.50 PAINTED V-GROOVE LINING
BOARD



PT.50 WARM WHITE EXTERNAL PAINT COLOUR



PT.51 WHITE EXTERNAL PAINT COLOUR



EXISTING POWDERCOAT COLOUR



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GRAPHIC SCALE

1:100 @ A3 0 1000 2000
1:50 @ A1

DRAWING NOTES

P2 12.09.2023 FOR INFORMATION
P1 06.09.2023 FOR INFORMATION
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PROJECT

PORT DOUGLAS

15 WHARF STREET, PORT DOUGLAS

DRAWING NO.

A-2002

ISSUE

P2

JOB NO.

JAG2301

SCALE

1 : 50@ A1

DATE

12.09.2023

DRAWING TITLE

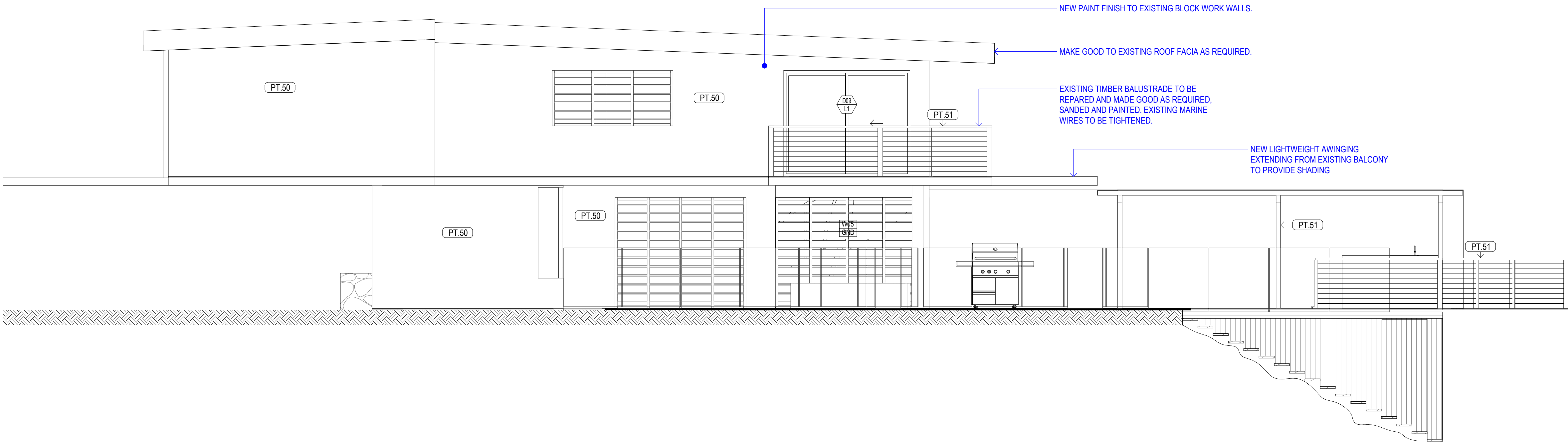
EAST AND WEST ELEVATIONS

DRAWN BY

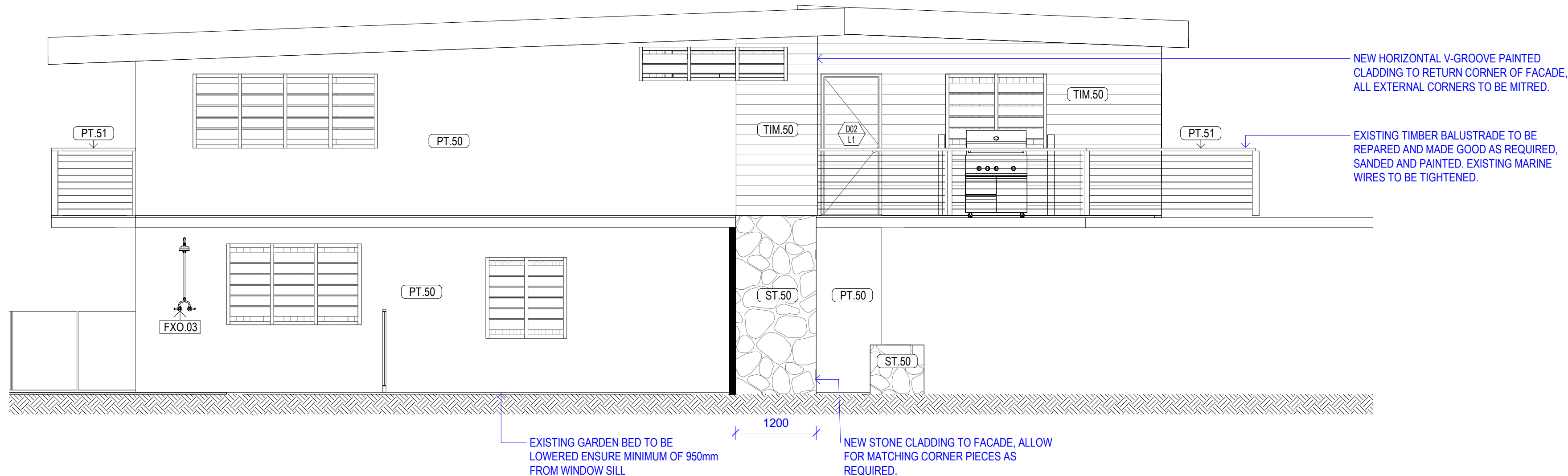
CK

CHECKED BY

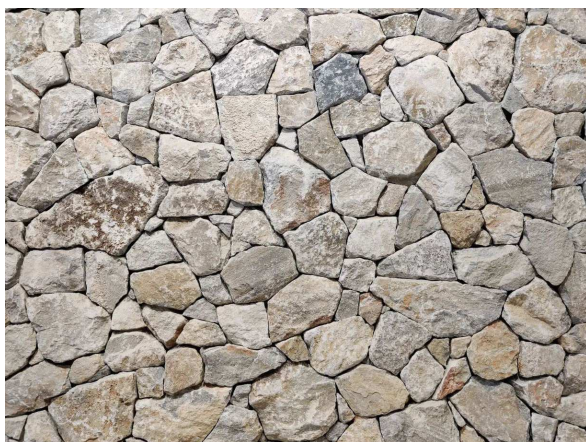
GC



1 EAST ELEVATION. 1 : 50 @ A1



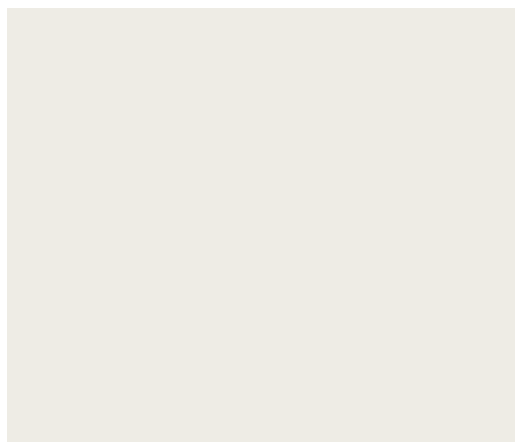
2 WEST ELEVATION. 1 : 50 @ A1



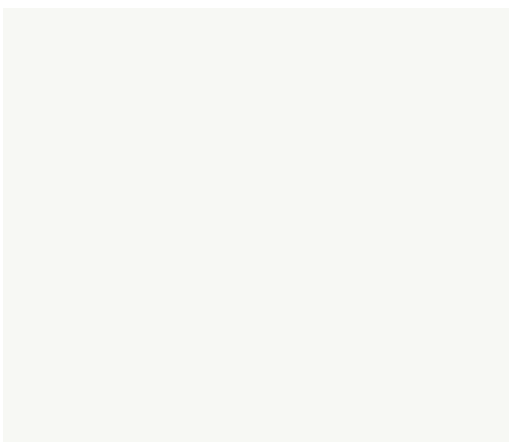
ST.50 NATURAL STONE WALL CLADDING



TIM.50 PAINTED V-GROOVE LINING BOARD



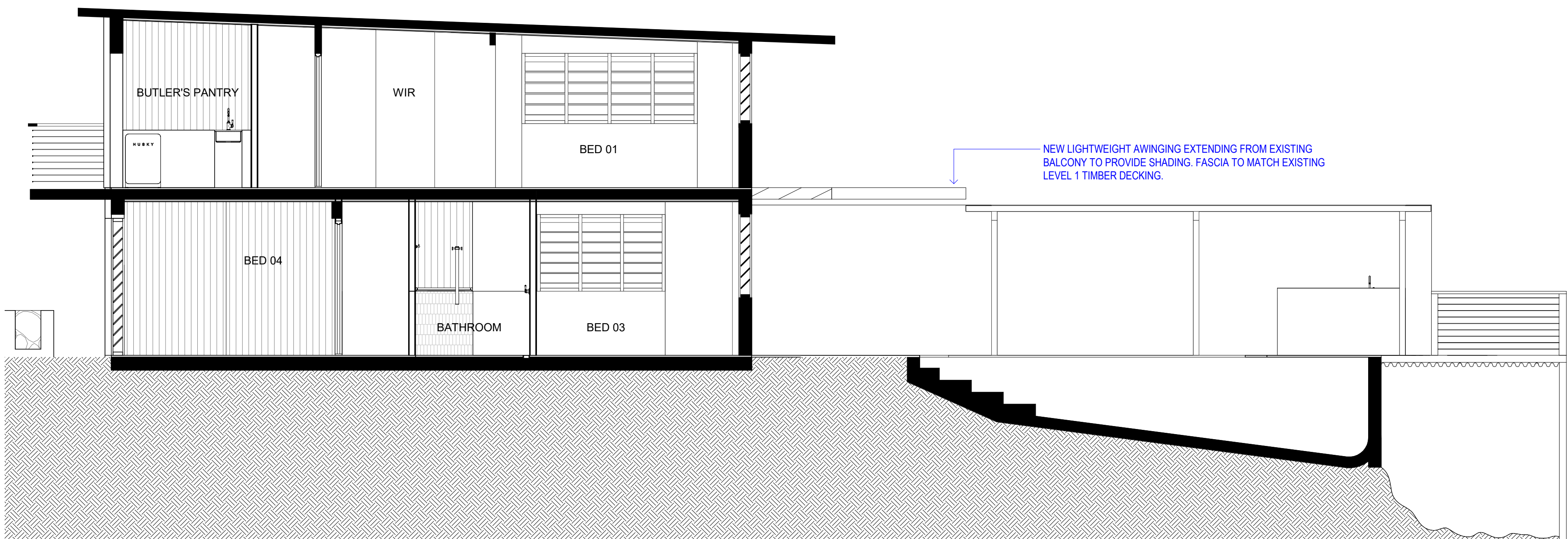
PT.50 WARM WHITE EXTERNAL PAINT COLOUR



PT.51 WHITE EXTERNAL PAINT COLOUR



EXISTING POWDERCOAT COLOUR



1 SECTION
1 : 50 @ A1

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GRAPHIC SCALE

1:100 @ A3 0 1000 2000
1:50 @ A1

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P1	01.08.2023	PRELIMINARY
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PROJECT

PORT DOUGLAS

15 WHARF STREET, PORT DOUGLAS

DRAWING NO.

A-3001

ISSUE

P3

JOB NO.

JAG2301

SCALE

1 : 50@ A1

DATE

12.09.2023

DRAWING TITLE

SECTIONS

DRAWN BY

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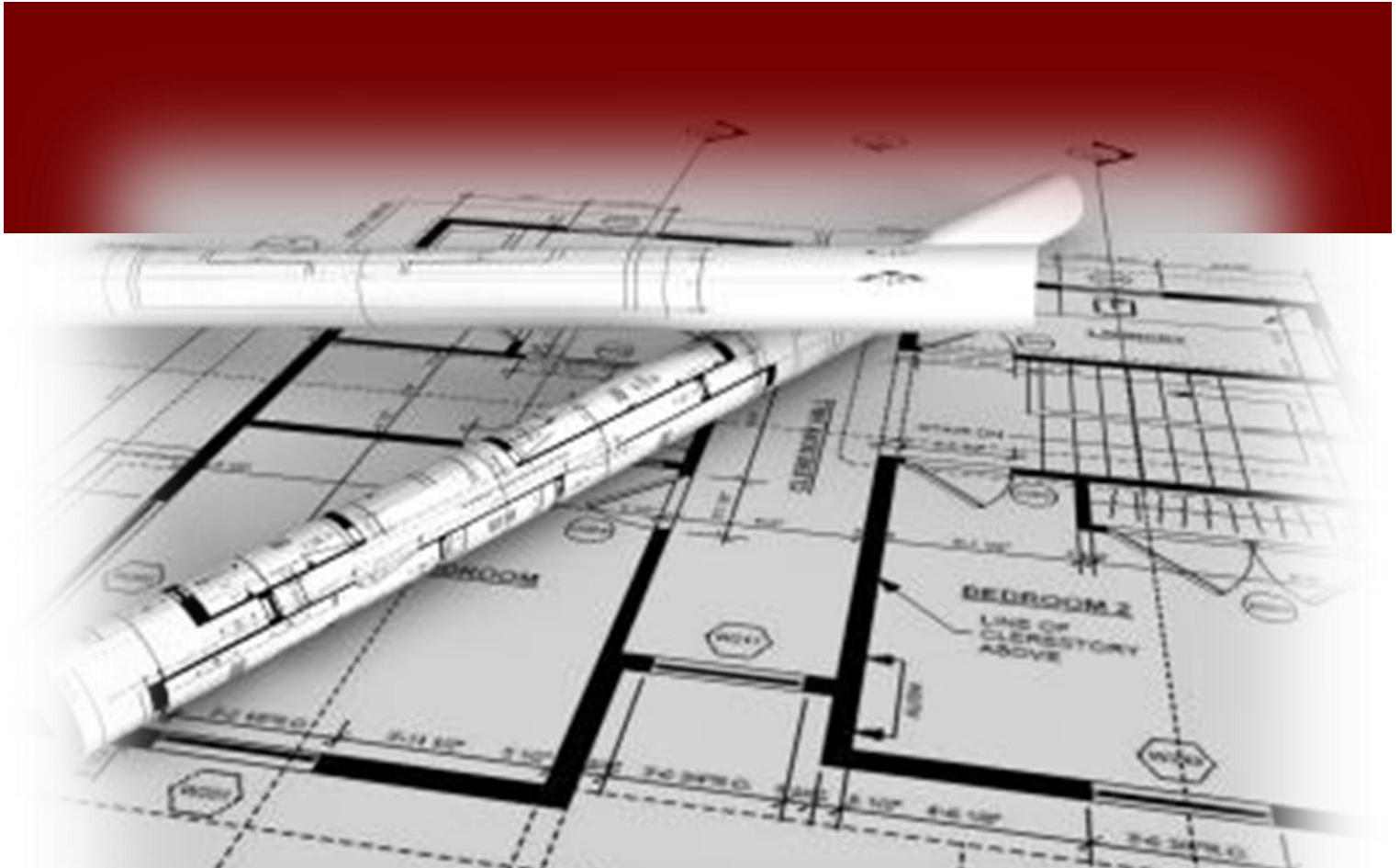
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