

# DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use **DA Form 1 – Development application details** and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

| 1) Applicant details                                |                            |
|---|----------------------------|
| Applicant name(s) (individual or company full name) | Melanie and James Bladin   |
| Contact name (only applicable for companies)        |                            |
| Postal address (PO Box or street address)           | P.O Box 1127               |
| Suburb  | Port Douglas               |
| State   | Qld                        |
| Postcode  | 4877                       |
| Country   | Australia                  |
| Contact number                                      | 0403 339787                |
| Email address (non-mandatory)                       | melanie.bladin@hotmail.com |
| Mobile number (non-mandatory)                       |                            |
| Fax number (non-mandatory)                          |                            |
| Applicant's reference number(s) (if applicable)     |                            |

## PART 2 – LOCATION DETAILS

| 2) Location of the premises (complete 2.1 and 2.2 if applicable)   |  |
|--|--|
| <b>Note:</b> Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <i>DA Forms Guide: Relevant plans</i> .  |  |
| 2.1) Street address and lot on plan  |  |
| <input type="checkbox"/> Street address AND lot on plan (all lots must be listed), or  |  |
| <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed). |  |



Queensland  
Government



|          |            |                                    |                          |
|----------|------------|------------------------------------|--------------------------|
| Unit No. | Street No. | Street Name and Type               | Suburb                   |
|          | 268        | Mowbray River Rd                   | Mowbray                  |
| Postcode | Lot No.    | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| 4877     | 25         | SP108625                           | Douglas Shire Council    |

### 2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☐ Not required

### 3) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the DA Forms Guide*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

## PART 3 – FURTHER DETAILS

### 4) Is the application only for building work assessable against the building assessment provisions?

- ☐ Yes – proceed to 8)
- ☐ No

### 5) Identify the assessment manager(s) who will be assessing this development application

### 6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☐ No

### 7) Information request under Part 3 of the DA Rules

- ☐ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

*Note: By not agreeing to accept an information request I, the applicant, acknowledge:*

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

*Further advice about information requests is contained in the DA Forms Guide.*

### 8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

| List of approval/development application         | Reference | Date | Assessment manager |
|--|-----------|------|--------------------|
| <input type="checkbox"/> Approval                |           |      |                    |
| <input type="checkbox"/> Development application |           |      |                    |
| <input type="checkbox"/> Approval                |           |      |                    |
| <input type="checkbox"/> Development application |           |      |                    |



9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
|-------------|----------------------|--------------------------------|
| \$          |                      |                                |

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☐ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

| Name of the heritage place: | Place ID: |
|-----------------------------|-----------|
|                             |           |

## PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☐ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

| Referral requirement | Referral agency | Date referral response |
|----------------------|-----------------|------------------------|
|                      |                 |                        |
|                      |                 |                        |

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

## PART 5 – BUILDING WORK DETAILS

14) Owner's details

☐ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

|   |                          |
|---|--------------------------|
| Name(s) (individual or company full name)   | Melanie and James Bladin |
| Contact name (applicable for companies)     | Melanie                  |
| Postal address (P.O. Box or street address) | P.O. Box 1127 P          |
| Suburb                                      | Port Douglas             |
| State                                       | Qld 4877                 |



|                               |                            |
|-------------------------------|----------------------------|
| Postcode                      | 4877                       |
| Country                       | Australia                  |
| Contact number                | 0403339787                 |
| Email address (non-mandatory) | Melanie-bladin@hotmail.com |
| Mobile number (non-mandatory) |                            |
| Fax number (non-mandatory)    |                            |

#### 15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

|   |                                   |
|---|-----------------------------------|
| Name(s) (individual or company full name)   | Eastbuild Designer homes          |
| Contact name (applicable for companies)     | Ron Easterbook                    |
| QBCC licence or owner – builder number      | 75319                             |
| Postal address (P.O. Box or street address) | PO Box 420 Trinity Beach QLD 4879 |
| Suburb                                      |                                   |
| State                                       |                                   |
| Postcode                                    |                                   |
| Contact number                              | 0438 876221                       |
| Email address (non-mandatory)               | eastbuildqld@gmail.com            |
| Mobile number (non-mandatory)               |                                   |
| Fax number (non-mandatory)                  |                                   |

#### 16) Provide details about the proposed building work

What type of approval is being sought?

- ☐ Development permit  
☐ Preliminary approval

b) What is the level of assessment?

- ☐ Code assessment  
☐ Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

- |  |  |
|--|--|
| <input type="checkbox"/> New building or structure                                   | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification (involving building work) | <input type="checkbox"/> Swimming pool and/or pool fence   |
| <input type="checkbox"/> Demolition  | <input type="checkbox"/> Relocation or removal             |

d) Provide a description of the work below or in an attached schedule.

Renovation and alteration of existing dwelling

e) Proposed construction materials

|                |   |                                       |  |
|----------------|---|---------------------------------------|--|
| External walls | <input type="checkbox"/> Double brick   | <input type="checkbox"/> Steel        | <input type="checkbox"/> Curtain glass |
|                | <input type="checkbox"/> Brick veneer   | <input type="checkbox"/> Timber       | <input type="checkbox"/> Aluminium     |
|                | <input type="checkbox"/> Stone/concrete | <input type="checkbox"/> Fibre cement | <input type="checkbox"/> Other         |
| Frame          | <input type="checkbox"/> Timber         | <input type="checkbox"/> Steel        | <input type="checkbox"/> Aluminium     |
|                | <input type="checkbox"/> Other          |                                       |  |
| Floor          | <input type="checkbox"/> Concrete       | <input type="checkbox"/> Timber       | <input type="checkbox"/> Other         |
| Roof covering  | <input type="checkbox"/> Slate/concrete | <input type="checkbox"/> Tiles        | <input type="checkbox"/> Fibre cement  |
|                | <input type="checkbox"/> Aluminium      | <input type="checkbox"/> Steel        | <input type="checkbox"/> Other         |

f) Existing building use/classification? (if applicable)



|  |  |  |
|--|--|--|
| g) New building use/classification? (if applicable)  |  |  |
|  |  |  |
| h) Relevant plans  |  |  |
| <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i> |  |  |
| <input type="checkbox"/> Relevant plans of the proposed works are attached to the development application  |  |  |

|   |  |  |
|---|--|--|
| 17) What is the monetary value of the proposed building work? |  |  |
| \$ 995,000  |  |  |

|  |                      |                  |
|--|----------------------|------------------|
| 18) Has Queensland Home Warranty Scheme Insurance been paid? |                      |                  |
| <input type="checkbox"/> Yes – provide details below         |                      |                  |
| <input type="checkbox"/> No                                  |                      |                  |
| Amount paid  | Date paid (dd/mm/yy) | Reference number |
| \$   |                      |                  |

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

|  |   |
|--|---|
| 19) Development application checklist  |   |
| The relevant parts of <i>Form 2 – Building work details</i> have been completed  | <input type="checkbox"/> Yes  |
| This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>  | <input type="checkbox"/> Yes<br><input type="checkbox"/> Not applicable |
| Relevant plans of the development are attached to this development application<br><i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i> | <input type="checkbox"/> Yes  |
| The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)   | <input type="checkbox"/> Yes<br><input type="checkbox"/> Not applicable |

|  |  |
|--|--|
| 20) Applicant declaration  |  |
| <input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct   |  |
| <input type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i>   |  |
| <i>Note: It is unlawful to intentionally provide false or misleading information.</i>  |  |
| <b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the DA Rules except where: |  |
| <ul style="list-style-type: none"> <li>such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>otherwise required by law.</li> </ul>  |  |
| This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .   |  |



## PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:

Reference numbers:

For completion by the building certifier

### Classification(s) of approved building work

| Name | QBCC Certification Licence number | QBCC Insurance receipt number |
|------|-----------------------------------|-------------------------------|
|      |                                   |                               |

Notification of engagement of alternative assessment manager

|   |  |
|---|--|
| Prescribed assessment manager                           |  |
| Name of chosen assessment manager                       |  |
| Date chosen assessment manager engaged                  |  |
| Contact number of chosen assessment manager             |  |
| Relevant licence number(s) of chosen assessment manager |  |

Additional information required by the local government

### Confirm proposed construction materials:

|                |   |                                       |  |
|----------------|---|---------------------------------------|--|
| External walls | <input type="checkbox"/> Double brick   | <input type="checkbox"/> Steel        | <input type="checkbox"/> Curtain glass |
|                | <input type="checkbox"/> Brick veneer   | <input type="checkbox"/> Timber       | <input type="checkbox"/> Aluminium     |
|                | <input type="checkbox"/> Stone/concrete | <input type="checkbox"/> Fibre cement | <input type="checkbox"/> Other         |
| Frame          | <input type="checkbox"/> Timber         | <input type="checkbox"/> Steel        | <input type="checkbox"/> Aluminium     |
|                | <input type="checkbox"/> Other          |                                       |  |
| Floor          | <input type="checkbox"/> Concrete       | <input type="checkbox"/> Timber       | <input type="checkbox"/> Other         |
| Roof covering  | <input type="checkbox"/> Slate/concrete | <input type="checkbox"/> Tiles        | <input type="checkbox"/> Fibre cement  |
|                | <input type="checkbox"/> Aluminium      | <input type="checkbox"/> Steel        | <input type="checkbox"/> Other         |

QLeave notification and payment

*Note: For completion by assessment manager if applicable*

|   |  |
|---|--|
| Description of the work                           |  |
| QLeave project number                             |  |
| Amount paid (\$)                                  |  |
| Date paid (dd/mm/yy)                              |  |
| Date receipted form sighted by assessment manager |  |
| Name of officer who sighted the form              |  |

Additional building details required for the Australian Bureau of Statistics

|   |  |
|---|--|
| Existing building use/classification? (if applicable) |  |
| New building use/classification?                      |  |
| Site area (m <sup>2</sup> )                           |  |
| Floor area (m <sup>2</sup> )                          |  |





**BUSHFIRE MITIGATION REPORT  
FM 6424  
for  
EASTBUILD DESIGNER HOMES  
at  
268 MOWBRAY RIVER ROAD  
MOWBRAY**

**PREPARED BY  
ELDON BOTTCHER ARCHITECT PTY LTD  
145 VARSITY PARADE  
VARSITY LAKES  
PH 07 55920082  
EMAIL [bushfires@eb-a.com.au](mailto:bushfires@eb-a.com.au)  
7/11/2023**





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**DISCLAIMER**

Experienced fire fighters with extensive knowledge of building have prepared this Report. Their practical knowledge of fire fighting has been backed up by academic study.

However, fire is an element of nature. Small natural occurrences can disastrously affect the outcome of the best planning. Human actions similarly can have disastrous results.

Whilst every care has been taken in the formulation of this management report, there can be no guarantee that even the strictest adherence to its recommendations can guarantee safety of life and property.

The authors of this report accept no responsibility for any damage to life or property caused by fire or any other cause to persons using land or structures, which could in any way be construed to be the subject of this report.

**The report has been commissioned as the land falls within an area deemed a fire risk by the local authority.**

**As such, it must be recognized that structures upon this land and those using the structures could be deemed at risk.**

**Logo by LogoInstant**

**Very Important Note:**

This report is valid for the following periods;

- a) A maximum time of 5 years from date of preparation.
- b) The currency of the legislation referred to in Section 1 Report Brief
- c) Changes to any legislation generally that may impact on the report outcomes.
- d) Changes to vegetation, both on and off site, which may impact on the results of this report.
- e) Any other changes that may impact on the report in any manner.



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**THIS REPORT RELIES ON THE AS 3959 FOR THE CALCULATION OF CONSTRUCTION LEVELS.**

**ANY POSSIBLE ERRORS IN THE STANDARD ARE NOT THE RESPONSIBILITY OF THE AUTHOR.**

**THIS REPORT IS ONLY TO BE USED AND DISTRIBUTED AS A COMPLETE REPORT CONTAINING AS A MINIMUM SECTIONS 1,2,3,4 AND 5 (SECTIONS 5.1 & 5.2)**

**THIS REPORT IS NOT TO BE AMENDED IN ANY WAY BY ANY PERSONS OTHER THAN THE ORIGINAL AUTHOR.**

**THIS REPORT IS ONLY TO BE USED FOR PROJECTS IDENTIFIED IN THE REPORT AND REPRESENTED ON THE SITE PLAN ACCOMPANYING THE REPORT.**

## INTRODUCTION

This Fire Management Report has been written for the benefit of future occupants of this proposed site and developed in accordance with the requirements of;

- The Douglas Shire Council Town Plan,
- SPP 07/2017.
- Queensland Planning Act 2016
- "Bushfire Resilient Communities Technical Reference Guide for the State Planning Policy State Interest" Natural Hazards, Risk and Resilience-Bushfire" published by QFES and Queensland Government.
- Natural hazards, risk and resilience-Bushfire State Planning Policy-state interest guidance material published by Queensland Government
- Bushfire Resilient Building Guidance for Queensland Homes published by CSIRO and Queensland Government
- The National Construction Code
- Queensland Bushfire Plan published by Queensland Government prepared by QFES.
- Australian Standard AS3959,
- International Fire Safety Engineering Guidelines

The report has been prepared as supporting documentation for a Material Change of Use (Extension to existing Building) Application.

- 1.1. Address:**  
268 Mowbray River Road  
Mowbray
- 1.2. Local Authority**  
Douglas Shire Council
- 1.3. R.P.D.**  
Lot 25 on SP108625
- 1.4. Site area**  
11410m<sup>2</sup>
- 1.5. Responsible Fire Authority**  
Rural Fire Service Queensland via the rural fire brigade for rural fires and QFES for Structural fires.
- 1.6. Potential Bushfire Hazard Rating.**  
The draft risk rating maps prepared for the State Government show the ratings on this property ranging from High to Very High  
It must be noted that State Government is currently revising the mapping and there may be changes to mapped areas.
- 1.7. Land tenure**  
Freehold
- 1.8. Adjoining owners are:**  
Freehold
- 1.9. Current Land Use:**  
Residential
- 1.10. Fire danger Index**  
FDI 40 (nominated by AS 3959 as advised by Queensland Government Dept. of Housing and Public Works)
- 1.11. Topography**  
Steep Hills
- 1.12. Predominant Wind Direction**  
The predominate wind direction is from the South East. In times of severe fire weather, the wind direction will be from the North West. The Topography will create microclimates, which will cause swirling, which will modify the apparent wind direction according to primary direction and velocity.
- 1.13. Slope**  
16<sup>0</sup>  
-18<sup>0</sup>



**1.14. Aspect**  
North

**1.15. Fuel Type**  
**Predominate vegetation.**

| REGIONAL ECOSYSTEM | VHC | VHC DESCRIPTION  | SURFACE FUEL LOAD | TOTAL FUEL LOAD |
|--------------------|-----|--|-------------------|-----------------|
| 7.11.49            |     | Eucalyptus loptophleba, Corymbia clarksonia and E. platyphylla open forest to woodland on moist metamorphic foothills. | 7                 | 7               |

**1.16. Threat Vegetation Location**  
Subject and adjoining sites

**1.17. Fire History**  
There is no evidence of a recent fire event.

**1.18. Location of Access Tracks**  
The site is served by an unsealed access track from a sealed road system.

**1.19. Location of Fire Breaks**  
There are formal firebreaks of varying widths around the existing house, ranging from

**1.20. Location of existing firefighting Infrastructure**  
The site is served by reticulated water.

**1.21. Historical and Cultural Sites**  
There is no evidence of Historical and Cultural sites on the property.

**1.22. Koala Habitat**  
The site is not located in a Koala Habitat Area  
.

## 2. SITE AND HAZARD ASSESSMENT

### 2.1. Discussion with Responsible Fire Authority

The fires management report has not been discussed with the First Officer of the Rural Fire Brigade, due to a Commissioners Directive in relation to advice provided by Rural Fire Brigade members.

### 2.2. Vegetation Types

The vegetation type predominate to this site are as scheduled in section 1.15.

### 2.3. Potential Bushfire Hazard Rating.

Desktop study, and assessment against the State Planning Policy Mapping Methodology generally confirms the intent of both Local Government and State Mapping in that the area is in a Potential Bushfire Hazard Area, and the relevant aspects required for Town Planning and Building are to be addressed.

### 2.4. Building Construction

All buildings situated within the site are in a Designated Risk Area. There is a requirement that certain Buildings within this area be constructed in accordance with the National Construction Code/Building Code of Australia, which refers to either the Australian Standard for Construction in Bushfire Prone Areas (AS 3959) or NASH Standard-Steel Framed Construction in Bushfire Areas as Deemed to Satisfy Solutions.

The levels determined effect the types and usage of materials in relation to the type of Bushfire Attack, which may occur as assessed under the Standard. The Level of Bushfire Attack is assessed taking the vegetation types, slope, and distance from vegetation into account. The most common elements affected are Windows and flyscreening, with some restrictions on cladding and timber types. A comprehensive breakdown is available in either the National Construction Code, the Australian Standard for Construction in Bushfire Prone Areas or NASH Standard-Steel Framed Construction in Bushfire Areas.

Extracts of these documents are not provided due to copyright reasons. Full details can be obtained from your building designer or certifier.

**Note that the Building Code of Australia only requires Classes 1,2 and 3 buildings, certain Class 9 buildings and Class 10a building associated with those buildings to comply with the bushfire provisions of the NCC /BCA.**

Building Class requirements AS 3959

|        |                           |  |
|--------|---------------------------|--|
| 2.4.1. | FDI                       | 20                                     |
| 2.4.2. | Vegetation Classification | Site Specific Fuel Loads<br>RE 7.11.49 |
| 2.4.3. | Land slope                | Downslope<br>16 degrees                |

| Distance of building from Predominate vegetation class (m)<br>(Vegetation Management Zone) | Primary Bushfire Attack Level |
|--|-------------------------------|
| 0-<3.2   | BAL -FZ                       |
| 3.2-<4.5   | BAL-40                        |
| 4.5-<7   | BAL-29                        |
| 7-<10.6  | BAL-19                        |
| 10.6-<100  | BAL-12.5                      |
| 100-   | BAL-LOW                       |

|        |            |                            |
|--------|------------|----------------------------|
| 2.4.4. | Land slope | Upslope<br>Default maximum |
|--------|------------|----------------------------|

| Distance of building from Predominate vegetation class (m)<br>(Vegetation Management Zone) | Primary Bushfire Attack Level |
|--|-------------------------------|
| 0-<1.2   | BAL -FZ                       |
| 1.2-<1.7   | BAL-40                        |
| 1.7-<2.5   | BAL-29                        |
| 2.5-<3.6   | BAL-19                        |
| 3.6-<100   | BAL-12.5                      |
| 100-   | BAL-LOW                       |

Note:

Critical dimensions for the existing house from threat vegetation are 14.69 to the west (downslope) and 3.9 south(upslope).

This would assess the existing residence at BAL 12.5 if built now.

The distance to the west will remain the same as noted above, however the proposed extension will place the new building closer to the threat vegetation than the current existing building.

Section 3.6 requires the construction of a pedestrian fire trail around the building. Section 3.7 requires that this trail have a minimum width of 4m cleared of vegetation. This will then enable the proposed extension to comply with BAL 12.5.

The levels shown above have been produced using Method 2 as outlined in the AS 3959. Printouts of these calculations are included as Appendix 5.3.1. Site specific fuel loads provided by the State Government are utilised as a Performance Solution to provide more accurate site-specific loads than those provided in AS 3959.

The Vegetation management zone is described as all areas managed to a Low Threat condition encompassed by the distance between the building and threat vegetation from which construction levels are taken.

**The distances shown above are horizontal distances, not measured along the slope.**

**ALL ELEVATIONS ARE TO BE THE SAME CONSTRUCTION LEVEL DUE TO VEGETATION MASS DISTRIBUTION.**

Note. Section 61 of the Queensland Building Act 1975 states as follows;

**61 Alterations to safe existing work may be approved on basis of earlier *building assessment provisions*.**

*(1) This section applies for a building development application if—*

*(a) the building work is alterations to an existing building or structure; and*

*(b) the building certifier is satisfied the general safety and structural standards of the building or structure would not be at risk if the alterations were to be carried out under earlier building assessment provisions.*

*(2) The building certifier may carry out building assessment work for the application on the basis that the building work is to be carried out under the earlier building assessment provisions.*

*(3) Subsection (4) applies if the building's BCA classification as shown on the certificate of classification for the building has changed only because of an amendment to building classifications under the BCA made after the certificate was given.*

*(4) Without limiting subsection (2), the building certifier may carry out building assessment work for the application on the basis that the building work is to be carried out under the building assessment provisions applying for the BCA classification shown on the certificate of classification.*

*(5) In this section—*

***building assessment provisions*** includes the former Standard Building By-laws and Standard Building Law under this Act and the repealed Standard Building Regulation 1993.

***earlier building assessment provisions*** means the building assessment provisions as they were in force at a particular time before the application was made.



It is our opinion that with the required pedestrian fire trail in place, the risk to the extension will be the same as that to the original building, in that the original building, if constructed now, would be required to be in accordance with the table above.

The extension would also be required to be in that construction level.

Therefore, the risk to the original building is the same as the risk to the extension.

It is therefore our opinion that the extensions **“may be approved on basis of earlier building assessment provisions.”**

## 2.5. Ecological Requirements

There are no specific ecological requirements in relation to bushfire management.

### **Note;**

***The Category of Bushfire Attack referred to in the Australian Standard is different to the Hazard/Risk area referred to above.***

***Extensive modification of the existing vegetation types including that on adjoining sites could result in a change of Category of Bushfire Attack and therefore variation in the Level of construction required.***

***It is the responsibility of the owner of each individual site to ensure that plantings after their occupation of the site do not reduce the safety of their buildings in a manner, which could require a higher level of Construction than that originally utilised.***

### 3. RISK MANAGEMENT PLAN

#### 3.1. Agencies / Persons Responsible

The responsible Fire Authority is the Rural Fire Service Queensland through the Rural Fire Brigade being responsible for Bush Fires and the Queensland Fire and Emergency Service being responsible for Structural Fires

It is the responsibility of the Developers and Owners of the properties to ensure that the relevant measures required by this Management Report are in place prior to inspection by the Council and the Building Certifier and to ensure that those measures are in place prior to the occupation of any buildings, which are the subject of this report. It is the responsibility of Council and Building Certifiers to ensure that relevant measures within their responsibility are in place prior to the issuance of any certification.

#### 3.2. Bushfire Safety Objective

The objective of this report is to minimise potential risk to life and property by protecting the buildings from the effects of bushfire.

#### 3.3. Aims

The aims to achieve this objective are to mitigate the effect of the bushfire attack mechanisms of: -

- 3.3.1. Radiant Heat
- 3.3.2. Direct Flame Contact
- 3.3.3. Wind
- 3.3.4. Ember Attack
- 3.3.5. Smoke

#### 3.4. Functional Requirements

The functional requirements to achieve this objective are: -

- 3.4.1. The provision of safe conditions for fire fighters
- 3.4.2. The provision of safe conditions for residents
- 3.4.3. Ensure adequate and safe access to and from the property.
- 3.4.4. Ensure adequate and safe water supply to the property and the establishment of firefighting water reserves.
- 3.4.5. Provide a system of fire breaks and trails to protect the building component.
- 3.4.6. Remove vegetation that is considered dangerous and a hazard in Fire Conditions
- 3.4.7. To ascertain the required standard of construction of the buildings in accordance with the requirements of the National Construction Code and the Australian Standard for Construction in Bushfire Prone Areas or the provision of a satisfactory alternative solution
- 3.4.8. Facilitate the return to "normalcy "

#### 3.5. Proposed Fire Fighting Infrastructure

- 3.5.1. The proposed building works are served by a reliable reticulated water supply.

#### 3.6. Construct a Fire Trail/Emergency Access track.

- 3.6.1. A new pedestrian fire trail is to be established around the building envelopes. This trail is to comply fully with the standards as set out in this Report.
- 3.6.2. All Building Envelopes are to have a 6m wide defendable space, generally complying with the requirements (except for width) of the vehicular fire trail requirements to the whole perimeter. This space is not to be obstructed by structures or landscaping.
- 3.6.3. The road access and all boundary crossings through fences to these trails can be either a gate or a fence cutting point consisting of strainer posts 3.6m apart with fencing wire between

#### 3.7. Minimum Pedestrian Fire Trail Standards

The Fire/Maintenance trail has: -

- 3.7.1. A minimum width of 4m cleared of midstorey vegetation.
- 3.7.2. A minimum trafficable width of 1.5m
- 3.7.3. A maximum gradient of 25% (or stairs complying with BCA exits stair requirements) with adequate drainage to prevent soil erosion and minimise ongoing trail maintenance.

#### 3.8. Vegetation management

- 3.8.1. Any grass and existing mid storey vegetation within the Vegetation Management Zone used to calculate a BAL 12.5 shall be always kept to a maximum of 100mm or be of less flammable or rain forest species.
- 3.8.2. Existing non rainforest trees within this area are to be reduced to give a noncontinuous canopy cover between trees with a total cover of less than 30% of the area.
- 3.8.3. Generally, no trees that are of protected size are required to be removed to comply with the above requirements, subject to the comments below in relation to wind during a bushfire event.
- 3.8.4. The above vegetation management scenario will produce a Low Threat scenario like "maintained public reserves and parklands" as cited in section 2.2.3.2(f) of AS 3959.
- 3.8.5. The width of the vegetation management zone noted above can be used to calculate the required BAL.
- 3.8.6. All other grass within a further 15 m or to the boundary, whichever is lesser shall be always kept to a maximum of 200 mm, with a reduction to 100mm during Fire Season.

- 3.8.7. All dead and damaged timber to be removed from the building envelope and the surrounding areas indicated to be fuel reduced and removed from site.
- 3.8.8. Requirements noted above may be subject to State and Local Authority approval. Those approvals must be obtained prior to implementation of any of these measures.
- 3.8.9. Refer to Sections 14 and 19 of the Planning Act 2016 in relation to Local Authority Approval.
- 3.8.10. The management referred to above is regarded as "Essential Management "(necessary to remove or reduce the imminent risk that the vegetation poses of serious personal injury or damage to infrastructure" under the Sustainable Planning Regulation Schedule 24. It is recommended that the owner register any clearing work with [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au), "Vegetation management notification form for self-assessable codes".
- 3.8.11. This legislation is currently under review. It is the owner's responsibility to make any necessary enquiries to ensure compliance with the current legislation with important amendments made in December 2019., as noted below:  
Under changes to **Planning Regulation 2017 effective December 13, 2019**, permitted operational work includes the following:

**Schedule 6, Part 3, Section 20A - Operational work for necessary firebreaks or fire management lines**

*Operational work that is clearing native vegetation if—*

*(a) the clearing is necessary for—*

- (i) establishing or maintaining a necessary firebreak to protect infrastructure, other than a fence, road or vehicular track, and the maximum width of the firebreak is equal to 1.5 times the height of the tallest vegetation next to the infrastructure, or 20m, whichever is the wider; or*
- (ii) establishing a necessary fire management line, and the maximum width of the clearing for the fire management line is 10m; and*

*(b) the clearing—*

- (i) is on freehold land; or*
- (ii) is on indigenous land; or*
- (iii) is on land leased under the Land Act 1994 for agriculture or grazing purposes; or*
- (iv) is on land leased under the Land Act 1994, other than for agriculture or grazing purposes, and is consistent with the purpose of the lease; or*
- (v) is on trust land under the Land Act 1994, other than indigenous land, is carried out, or allowed to be carried out, by the trustee and is consistent with achieving the purpose of the trust; or*
- (vi) is on unallocated State land and is carried out, or allowed to be carried out, by the chief executive of the department in which the Land Act 1994 is administered; or*
- (vii) is on land that is subject to a licence or permit under the Land Act 1994 and is carried out by the licensee or permittee.*

As an example, with a height of the tallest vegetation being between 30 – 35m, the width of clearing would be calculated as between 45 – 52.5m.

***Under Planning (Spit Master Plan and Other Matters) Amendment Regulation 2019 (Subordinate Legislation 2019 No.243) amends Schedule 6 Part 3 stating that "Development local categorising instrument is prohibited from stating if the above operational work is assessable development".***

Under Schedule 7 Part 3 this is placed in context, stating that *the above operational work is accepted development.*

It must be noted that the distances noted above in relation to 20m, and vegetation height are not related to distances necessary to achieve a BAL but relate more to damage that may occur from a tree falling. In relation to bushfire this could be from wind which is one of the attack mechanisms of bushfire and could be exacerbated by the drying impacts of a bushfire loosening tree roots through drying out of the soil.

Note. The major fire threat to this building is from ember attack from fire in vegetation outside the control of the owner located on surrounding land. As such, there is little that the owner can do to manage this.

**The management is a component of the Construction Level. Therefore, the Building Certifier must ensure that the management has occurred in accordance with this report before issuing final certification.**

**Recent research (Project Vesta) indicates that tree canopy without mid storey and surface fuels forms an important filter for control of ember attack, which is responsible for more than 90% all bushfire related house fires.**

### 3.9. Fencing

Any new boundary fencing located adjoining bushland, or a fire access trail is to be.

- 3.9.1. A maximum of 1000mm high
- 3.9.2. At least 75 % transparency
- 3.9.3. Contain at least 1 personal gate from each lot to the threat vegetation.



- 3.9.4. Contain personal gates between each lot on the fire trail easement.
- 3.9.5. Fencing materials to be non-combustible materials or wood compliant with Appendix F of AS 3959.
- 3.9.6. No CCA treated timbers are to be used due to the potential toxicity of the products of combustion

### 3.10. Effluent Disposal Areas

Where possible, effluent disposal shall be located on the downhill side of the building envelope and be maintained in a band with a minimum 6m width. Grass in this area should be kept to a maximum of 50mm and any landscaping should be of Less Flammable Vegetation

### 3.11. Fire Trail and Fire Break Maintenance

- 3.11.1. The existing Driveway and any proposed driveways are to be always kept in a condition suitable for 2wd Heavy Vehicles.
- 3.11.2. The fire trails are to be kept always mowed to a maximum of 50mm and to be kept in a manner to the satisfaction of the Fire Brigade.

### 3.12. Building Construction

All construction is to be in accordance with National Construction Code/Building Code of Australia, which refers to either the Australian Standard for Construction in Bushfire Prone Areas (AS 3959) or NASH Standard-Steel Framed Construction in Bushfire Areas as Deemed to Satisfy Solutions. and the Level of construction assessed under "Site and Hazard Assessment ", subject to the recommendation in Section 2.4 in relation to construction in accordance with the requirements at the time of the original building.

### 3.13. Street Numbering

Numbering is to be installed in accordance with the current Street Numbering System at time of completion of building.

### 3.14. Less Flammable Landscaping

Any new landscaping within the vegetation management zone is to be Less Flammable, in accordance with the list enclosed as an Appendix at the rear of this Report, rainforest species, or cultivated gardens, and comply with the requirements of " *Bushfire Resilient Communities Technical Reference Guide for the State Planning Policy State Interest* " Natural Hazards , Risk and Resilience-Bushfire" published by QFES and Queensland Government, and "Natural hazards, risk and resilience-Bushfire-Assessment Benchmark 5" which cite a maximum Fuel Load of 8t/ha for revegetation or rehabilitation within bushfire prone areas.

"Bushfire Resilient Building Guidance for Queensland Homes" published by Qld State Government provides a schedule of species in Appendix E.

<https://www.qra.qld.gov.au/bushfireguideline>

### 3.15. Insurance

Failure to comply with this management report may have a detrimental effect upon the Insurance of the subject Buildings.

### 3.16. Emergency Response Procedures

In the event of Fire Emergency, assistance is to be obtained by dialling 000.

- 3.16.1. The owner should read thoroughly the brochures contained and those recommended at the rear of this report. They contain valuable information that could assist in the saving of lives and property in a fire event!

### 3.17. Community Awareness Strategies

- 3.17.1. Each subsequent owner is to be provided with a copy of this Fire Management report with an alert placed on either Title or Council Rate searches that the Report is in existence and is to be made available to ensuing owners.

### 3.18. Administering Staff

It is the responsibility of the owners to ensure compliance with this Report and the Town Plan, and to ensure that each of the new owners is provided with a copy of this report.

**It is the responsibility of the Council and the Building Certifier to ensure that the relevant measures required by this management report are in place prior to the final completion stage inspection of any buildings on any sites which are the subject of this report as noted in Clause 3.1 of this report.**

**It is the responsibility of the ensuing owners of the properties to maintain the properties in the conditions outlined in this report.**

## 4. FIRE MANAGEMENT ACTION SUMMARY AND SCHEDULE

| DEVELOPMENT REQUIREMENTS  | BUILDING REQUIREMENTS   | MAINTENANCE   |
|---|---|---|
| <p>Provision of fire access trails</p> <p>All dead and damaged timber to be removed from the areas indicated to be mowed and removed from site.</p> | <p>Buildings to comply with the National Construction Code/Building Code of Australia, subject to the recommendation in Section 2.4 in relation to construction in accordance with the requirements at the time of the original building.</p> <p>No occupation until compliance with Standard and Management Report</p> <p>Pedestrian access around Building Site</p> | <p>Regular mowing and maintenance of the vegetation management areas as set out in this report.</p> <p>Drive and fire trail access to be kept clear and accessible to satisfaction of the Fire Brigade.</p> <p>Building materials are to be maintained in "as new" condition to preserve the integrity of the relevant materials.</p> |

## 5. APPENDICES

- 5.1. Form 15
- 5.2. Site Plans
- 5.3. Site Photos
- 5.4. Supporting Information:
  - 5.4.1. Method 2 Calculation printouts
  - 5.4.2. Fuel Load Calculation

**Note. These items below are referenced for information purposes only and are not to be construed as being part of the management report.**

**This information is generic and not provided for approval purposes.**

**It is only provided for end user knowledge and only included within the report hardcopy.**

- 5.4.3. Planning Regulation Fact Sheet December 2019
- 5.4.4. Prepare. Act. Survive
- 5.4.5. Rural property Fire Management Guide 2010
- 5.4.6. Notes for Landholders
- 5.4.7. Bushfire Action Guide
- 5.4.8. Bushfire Safety in Urban Fringe Areas
- 5.4.9. Water + Power -Vital for Fire fighting
- 5.4.10. Less Flammable Vegetation
- 5.4.11. Fire Retardant Native Plants
- 5.4.12. Tree selection for Fire-Prone Areas
- 5.4.13. Bushfire Resilient Building Guidance for Queensland Homes Appendix E
- 5.4.14. First Draft (specifying timber in bush fire zones)
- 5.4.15. External water spray system
- 5.4.16. Fire Retardant Coating Solutions
- 5.4.17. Archicentre Bushfire Design Guide
- 5.4.18. Section 3.8 Sign Types - Fire Trail Signage of the GCCC Natural Areas Management Unit      Signage      Guidelines  
(Page 16)
- 5.4.19. Trail Number and Key Point signage
- 5.4.20. Bushfire Hydrant detail
- 5.4.21. Tank detail
- 5.4.22. Recycled Water for Firefighting
- 5.4.23. Sample Easement Document
- 5.4.24. Bushfire Windows and Shutters
- 5.4.25. A guide to retrofit your home for better protection from a bushfire.
- 5.4.26. FireFly BAL-FZ System
- 5.4.27. Bushfire Planning and Design Certification Scheme Update
- 5.4.28. Eaves Water System
- 5.4.29. Aussi Ember Guard
- 5.4.30. The Australian "False Alarm: the great rainforest fire that wasn't".
- 5.4.31. Hijacking Australian 2019 Bushfire Tragedies to Fearmonger Climate Change
- 5.4.32. Bushfires have been in Australia for over 60 million years.

We also recommend that the landholder obtains and reads the following;

- 5.4.33. Bushfire Hazard Planning in Queensland
  - 5.4.34. Protecting your home against Bushfire
- Both available from the Dept. of Local Government and Planning, and

- 5.4.35. Fire in Bushland Conservation
- Available from Queensland Heritage Trust.

- 5.4.36. Bushfire Resilient Building Guidance for Queensland Homes

<https://www.qra.qld.gov.au/bushfireguideline>

Signed

.....  
Eldon Bottcher

Grad. Dip. DEPA (UWS) Dip. Arch. (QIT), Cert. R.F.M. (USQ), F.R.A.I.A., M.A.I.E.S. AIFireE  
Architect  
BPAD-L3 Practitioner





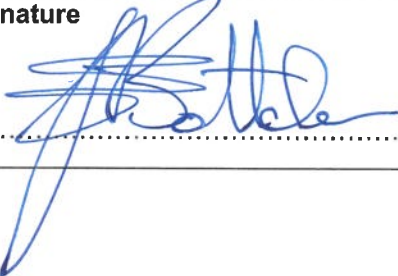
**APPENDIX 5.1  
FORM 15**

**Form 15****Compliance certificate for  
building design or specification**

This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

|  |  |
|--|--|
| <p><b>1. Property description</b></p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g., in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g., SP/RP) are shown on title documents or rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p> | <p>Street address <i>(include no., street, suburb/locality, and postcode)</i><br/>268 Mowbray River Road Mowbray</p> <p>State <b>QLD</b> Postcode</p> <p>Lot and plan details <i>(attach list if necessary)</i><br/>Lot 25 on SP108625</p> <p>Local government area the land is situated in.<br/>Douglas Shire Council</p>   |
| <p><b>2. Description of aspect/s certified</b></p> <p>Clearly describe the extent of work covered by this certificate, e.g., all structural aspects of the steel roof beam.</p>  | <p>Work as required for bushfire mitigation purposes as set out in the Bushfire Management Report FM 6424 prepared by Eldon Bottcher Architect Pty Ltd including assessment of Construction Levels assessed under AS 3959 and nominated in Section 2.4 of the report as BAL 12.5 ", subject to the recommendation in Section 2.4 in relation to construction in accordance with the requirements at the time of the original building.</p> |
| <p><b>3. Basis of certification</b></p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>   | <p>Compliance with the Bushfire Management Report FM 6424 prepared by Eldon Bottcher Architect Pty Ltd</p> <p><b>No certification of components covered by The Building Act 1975, The building Code of Australia or AS 3959.</b></p> <p>Douglas Shire Council Town Plan Bushfire Management Constraint code.</p>   |
| <p><b>4. Reference documentation</b></p> <p>Clearly identify any relevant documentation, e.g., numbered structural engineering plans.</p>  | <p>Bushfire Mitigation Report FM 6424</p>  |

|  |  |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
|--|--|------------------------------|--|---|--|-----------------------------|--------------------------------------|--|---|--|---|----------------------|---|--|--|--|
| <b>5. Building certifier reference number and building development application number</b>  | Building certifier reference number<br><br>Building development application number ( <i>if available</i> )<br>Not Available  |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
| <b>6. Appointed Competent person details.</b><br>Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design -specification) by the relevant building certifier. | <table border="0"> <tr> <td>Name (<i>in full</i>)<br/>Eldon John Bottcher</td> <td>Contact person<br/><b>Eldon Bottcher</b></td> </tr> <tr> <td>Company name (<i>if applicable</i>)<br/><b>Eldon Bottcher Architect Pty Ltd</b></td> <td>Mobile number<br/>0412434134</td> </tr> <tr> <td>Business phone number<br/>07 55920082</td> <td></td> </tr> <tr> <td>Email address<br/><b>bushfires@eb-a.com.au</b></td> <td></td> </tr> <tr> <td>Postal address<br/>P.O. Box 3606<br/>Robina Town Centre</td> <td>Postcode <b>4230</b></td> </tr> <tr> <td colspan="2">Licence Class or registration type (<i>if applicable</i>)<br/><br/>.....<br/>.....</td> </tr> <tr> <td colspan="2">Licence or registration number (<i>if applicable</i>)<br/>Reg Architect Qld 1325<br/>FPA Australia BPAD Level 3 practitioner 16935</td> </tr> </table> |                              | Name ( <i>in full</i> )<br>Eldon John Bottcher | Contact person<br><b>Eldon Bottcher</b> | Company name ( <i>if applicable</i> )<br><b>Eldon Bottcher Architect Pty Ltd</b> | Mobile number<br>0412434134 | Business phone number<br>07 55920082 |  | Email address<br><b>bushfires@eb-a.com.au</b> |  | Postal address<br>P.O. Box 3606<br>Robina Town Centre | Postcode <b>4230</b> | Licence Class or registration type ( <i>if applicable</i> )<br><br>.....<br>..... |  | Licence or registration number ( <i>if applicable</i> )<br>Reg Architect Qld 1325<br>FPA Australia BPAD Level 3 practitioner 16935 |  |
| Name ( <i>in full</i> )<br>Eldon John Bottcher   | Contact person<br><b>Eldon Bottcher</b>  |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
| Company name ( <i>if applicable</i> )<br><b>Eldon Bottcher Architect Pty Ltd</b>   | Mobile number<br>0412434134  |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
| Business phone number<br>07 55920082   |  |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
| Email address<br><b>bushfires@eb-a.com.au</b>  |  |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
| Postal address<br>P.O. Box 3606<br>Robina Town Centre  | Postcode <b>4230</b>   |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
| Licence Class or registration type ( <i>if applicable</i> )<br><br>.....<br>.....  |  |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
| Licence or registration number ( <i>if applicable</i> )<br>Reg Architect Qld 1325<br>FPA Australia BPAD Level 3 practitioner 16935   |  |                              |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |
| <b>7. Signature of appointed competent person</b><br>This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.            | <b>Signature</b><br><br>.....  | <b>Date</b><br>7 November 23 |  |   |  |                             |                                      |  |   |  |   |                      |   |  |  |  |

## LOCAL GOVERNMENT USE ONLY

| Date received | Reference Number/s |
|---------------|--------------------|
|---------------|--------------------|



## APPENDIX 5.2 SITE PLANS



**APPENDIX 5.3**  
**SITE PHOTOS**  
(supplied by Aaron Sweeney)



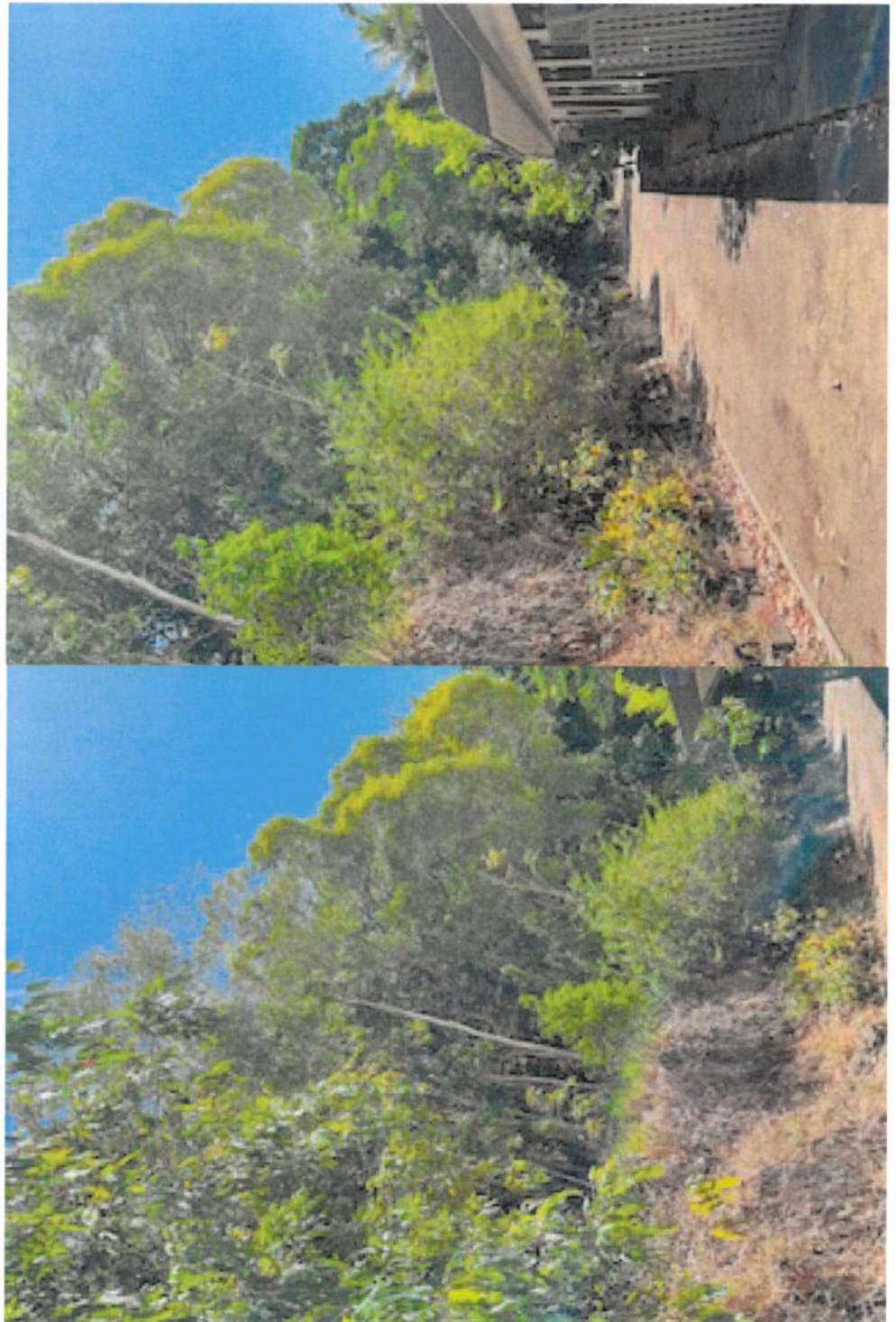
















## **APPENDIX 5.4 SUPPORTING INFORMATION**

(NOTE: SOME OF THIS INFORMATION IS GENERIC AND NOT PROVIDED FOR APPROVAL PURPOSES. IT IS ONLY PROVIDED FOR END USER KNOWLEDGE)

# BUSHFIRE CONSTRUCTION STANDARD (BAL) ASSESSMENT



## ELDON BOTTCHER ARCHITECT PTY LTD

145 VARSITY PARADE  
VARSITY LAKES  
QLD. 4327

PH 0755920082  
E architects@eb-a.com.au



THIS ASSESSMENT USES AS 3959 METHOD 2

### PROJECT

### PROPOSED RESIDENCE

### SITE ADDRESS

268 MOWBRAY RIVER ROAD  
MOWBRAY

### DOWNSLOPE

### INPUTS

|  |           |  |
|--|-----------|--|
| FDI                                      |           | <input type="text" value="20"/>          |
| VEGETATION TYPE                          | SEE TABLE | Site Specific Fuel Loads                 |
| TOTAL FUEL LOAD                          |           | <input type="text" value="7"/> tonnes/ha |
| SLOPE UNDER VEGETATION                   |           | <input type="text" value="16"/> degrees  |
| SLOPE BETWEEN VEGETATION AND BUILDING    |           | <input type="text" value="16"/> degrees  |
| FLAME WIDTH                              |           | <input type="text" value="100"/> m       |
| ELEVATION OF RECEIVER                    |           | <input type="text" value="1"/> m         |
| DISTANCE BETWEEN VEGETATION AND BUILDING |           | <input type="text" value="3.2"/> m       |

### RESULTS

|                             |  |
|-----------------------------|--|
| RADIANT HEAT                | <input type="text" value="38.93"/> kw/m <sup>2</sup> |
| FLAME LENGTH                | <input type="text" value="4.13"/> m                  |
| RATE OF SPREAD              | <input type="text" value="0.51"/> km/hr              |
| ATMOSPHERIC TRANSMISSIVITY  | <input type="text" value="89%"/>                     |
| PEAK ELEVATION OF RECEIVER  | <input type="text" value="1"/> m                     |
| FLAME ANGLE                 | <input type="text" value="68"/> degrees              |
| CONSTRUCTION LEVEL REQUIRED | <input type="text" value="BAL-40"/> BAL              |

# BUSHFIRE CONSTRUCTION STANDARD (BAL) ASSESSMENT



**ELDON BOTTCHER ARCHITECT PTY LTD**  
145 VARSITY PARADE  
VARSITY LAKES  
QLD. 4327  
PH 0755920082  
E architects@eb-a.com.au



**THIS ASSESSMENT USES AS 3959 METHOD 2**

## PROJECT

## PROPOSED RESIDENCE

## SITE ADDRESS

**268 MOWBRAY RIVER ROAD  
MOWBRAY**

## DOWNSLOPE

## INPUTS

|  |           |   |
|--|-----------|---|
| FDI                                      |           | <input type="text" value="20"/>                       |
| VEGETATION TYPE                          | SEE TABLE | <input type="text" value="Site Specific Fuel Loads"/> |
| TOTAL FUEL LOAD                          |           | <input type="text" value="7"/> tonnes/ha              |
| SLOPE UNDER VEGETATION                   |           | <input type="text" value="16"/> degrees               |
| SLOPE BETWEEN VEGETATION AND BUILDING    |           | <input type="text" value="16"/> degrees               |
| FLAME WIDTH                              |           | <input type="text" value="100"/> m                    |
| ELEVATION OF RECEIVER                    |           | <input type="text" value="0.74"/> m                   |
| DISTANCE BETWEEN VEGETATION AND BUILDING |           | <input type="text" value="4.5"/> m                    |

## RESULTS

|                             |  |
|-----------------------------|--|
| RADIANT HEAT                | <input type="text" value="28.51"/> kw/m <sup>2</sup> |
| FLAME LENGTH                | <input type="text" value="4.13"/> m                  |
| RATE OF SPREAD              | <input type="text" value="0.51"/> km/hr              |
| ATMOSPHERIC TRANSMISSIVITY  | <input type="text" value="89%"/>                     |
| PEAK ELEVATION OF RECEIVER  | <input type="text" value="0.74"/> m                  |
| FLAME ANGLE                 | <input type="text" value="80"/> degrees              |
| CONSTRUCTION LEVEL REQUIRED | <input type="text" value="BAL-29"/> BAL              |



# BUSHFIRE CONSTRUCTION STANDARD (BAL) ASSESSMENT



**ELDON BOTTCHER ARCHITECT PTY LTD**  
145 VARSITY PARADE  
VARSITY LAKES  
QLD. 4327  
PH 0755920082  
E architects@eb-a.com.au



**THIS ASSESSMENT USES AS 3959 METHOD 2**

## PROJECT

## PROPOSED RESIDENCE

## SITE ADDRESS

**268 MOWBRAY RIVER ROAD  
MOWBRAY**

## DOWNSLOPE

## INPUTS

|  |           |  |
|--|-----------|--|
| FDI                                      |           | <input type="text" value="20"/>          |
| VEGETATION TYPE                          | SEE TABLE | Site Specific Fuel Loads                 |
| TOTAL FUEL LOAD                          |           | <input type="text" value="7"/> tonnes/ha |
| SLOPE UNDER VEGETATION                   |           | <input type="text" value="16"/> degrees  |
| SLOPE BETWEEN VEGETATION AND BUILDING    |           | <input type="text" value="16"/> degrees  |
| FLAME WIDTH                              |           | <input type="text" value="100"/> m       |
| ELEVATION OF RECEIVER                    |           | <input type="text" value="0.06"/> m      |
| DISTANCE BETWEEN VEGETATION AND BUILDING |           | <input type="text" value="7"/> m         |

## RESULTS

|                             |  |
|-----------------------------|--|
| RADIANT HEAT                | <input type="text" value="18.83"/> kw/m <sup>2</sup> |
| FLAME LENGTH                | <input type="text" value="4.13"/> m                  |
| RATE OF SPREAD              | <input type="text" value="0.51"/> km/hr              |
| ATMOSPHERIC TRANSMISSIVITY  | <input type="text" value="88%"/>                     |
| PEAK ELEVATION OF RECEIVER  | <input type="text" value="0.06"/> m                  |
| FLAME ANGLE                 | <input type="text" value="89"/> degrees              |
| CONSTRUCTION LEVEL REQUIRED | <input type="text" value="BAL-19"/> BAL              |

# BUSHFIRE CONSTRUCTION STANDARD (BAL) ASSESSMENT



**ELDON BOTTCHER ARCHITECT PTY LTD**

145 VARSITY PARADE  
VARSITY LAKES  
QLD. 4327

PH 0755920082  
E architects@eb-a.com.au



**THIS ASSESSMENT USES AS 3959 METHOD 2**

## PROJECT

## PROPOSED RESIDENCE

## SITE ADDRESS

**268 MOWBRAY RIVER ROAD  
MOWBRAY**

## DOWNSLOPE

## INPUTS

|  |           |  |
|--|-----------|--|
| FDI                                      |           | <input type="text" value="20"/>          |
| VEGETATION TYPE                          | SEE TABLE | Site Specific Fuel Loads                 |
| TOTAL FUEL LOAD                          |           | <input type="text" value="7"/> tonnes/ha |
| SLOPE UNDER VEGETATION                   |           | <input type="text" value="16"/> degrees  |
| SLOPE BETWEEN VEGETATION AND BUILDING    |           | <input type="text" value="16"/> degrees  |
| FLAME WIDTH                              |           | <input type="text" value="100"/> m       |
| ELEVATION OF RECEIVER                    |           | <input type="text" value="0"/> m         |
| DISTANCE BETWEEN VEGETATION AND BUILDING |           | <input type="text" value="10.6"/> m      |

## RESULTS

|                             |  |
|-----------------------------|--|
| RADIANT HEAT                | <input type="text" value="12.39"/> kw/m <sup>2</sup> |
| FLAME LENGTH                | <input type="text" value="4.13"/> m                  |
| RATE OF SPREAD              | <input type="text" value="0.51"/> km/hr              |
| ATMOSPHERIC TRANSMISSIVITY  | <input type="text" value="86%"/>                     |
| PEAK ELEVATION OF RECEIVER  | <input type="text" value="0"/> m                     |
| FLAME ANGLE                 | <input type="text" value="95"/> degrees              |
| CONSTRUCTION LEVEL REQUIRED | <input type="text" value="BAL-12.5"/> BAL            |

# BUSHFIRE CONSTRUCTION STANDARD (BAL) ASSESSMENT



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145 VARSITY PARADE  
VARSITY LAKES  
QLD. 4327  
PH 0755920082  
E architects@eb-a.com.au



**THIS ASSESSMENT USES AS 3959 METHOD 2**

## PROJECT

## PROPOSED RESIDENCE

## SITE ADDRESS

**268 MOWBRAY RIVER ROAD  
MOWBRAY**

## UPSLOPE

## INPUTS

|  |           |  |
|--|-----------|--|
| FDI                                      |           | <input type="text" value="20"/>          |
| VEGETATION TYPE                          | SEE TABLE | Site Specific Fuel Loads                 |
| TOTAL FUEL LOAD                          |           | <input type="text" value="7"/> tonnes/ha |
| SLOPE UNDER VEGETATION                   |           | <input type="text" value="-15"/> degrees |
| SLOPE BETWEEN VEGETATION AND BUILDING    |           | <input type="text" value="-15"/> degrees |
| FLAME WIDTH                              |           | <input type="text" value="100"/> m       |
| ELEVATION OF RECEIVER                    |           | <input type="text" value="0.7"/> m       |
| DISTANCE BETWEEN VEGETATION AND BUILDING |           | <input type="text" value="1.2"/> m       |

## RESULTS

|                             |  |
|-----------------------------|--|
| RADIANT HEAT                | <input type="text" value="39.90"/> kw/m <sup>2</sup> |
| FLAME LENGTH                | <input type="text" value="1.23"/> m                  |
| RATE OF SPREAD              | <input type="text" value="0.06"/> km/hr              |
| ATMOSPHERIC TRANSMISSIVITY  | <input type="text" value="90%"/>                     |
| PEAK ELEVATION OF RECEIVER  | <input type="text" value="0.7"/> m                   |
| FLAME ANGLE                 | <input type="text" value="43"/> degrees              |
| CONSTRUCTION LEVEL REQUIRED | <input type="text" value="BAL-40"/> BAL              |

# BUSHFIRE CONSTRUCTION STANDARD (BAL) ASSESSMENT



**ELDON BOTTCHER ARCHITECT PTY LTD**

145 VARSITY PARADE  
VARSITY LAKES  
QLD. 4327

PH 0755920082  
E architects@eb-a.com.au



**THIS ASSESSMENT USES AS 3959 METHOD 2**

## PROJECT

## PROPOSED RESIDENCE

## SITE ADDRESS

**268 MOWBRAY RIVER ROAD  
MOWBRAY**

## UPSLOPE

## INPUTS

|  |           |  |
|--|-----------|--|
| FDI                                      |           | <input type="text" value="20"/>          |
| VEGETATION TYPE                          | SEE TABLE | Site Specific Fuel Loads                 |
| TOTAL FUEL LOAD                          |           | <input type="text" value="7"/> tonnes/ha |
| SLOPE UNDER VEGETATION                   |           | <input type="text" value="-15"/> degrees |
| SLOPE BETWEEN VEGETATION AND BUILDING    |           | <input type="text" value="-15"/> degrees |
| FLAME WIDTH                              |           | <input type="text" value="100"/> m       |
| ELEVATION OF RECEIVER                    |           | <input type="text" value="0.9"/> m       |
| DISTANCE BETWEEN VEGETATION AND BUILDING |           | <input type="text" value="1.7"/> m       |

## RESULTS

|                             |  |
|-----------------------------|--|
| RADIANT HEAT                | <input type="text" value="27.65"/> kw/m <sup>2</sup> |
| FLAME LENGTH                | <input type="text" value="1.23"/> m                  |
| RATE OF SPREAD              | <input type="text" value="0.06"/> km/hr              |
| ATMOSPHERIC TRANSMISSIVITY  | <input type="text" value="90"/>                      |
| PEAK ELEVATION OF RECEIVER  | <input type="text" value="0.9"/> m                   |
| FLAME ANGLE                 | <input type="text" value="54"/> degrees              |
| CONSTRUCTION LEVEL REQUIRED | <input type="text" value="BAL-29"/> BAL              |



# BUSHFIRE CONSTRUCTION STANDARD (BAL) ASSESSMENT



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E architects@eb-a.com.au



**THIS ASSESSMENT USES AS 3959 METHOD 2**

## PROJECT

## PROPOSED RESIDENCE

## SITE ADDRESS

**268 MOWBRAY RIVER ROAD  
MOWBRAY**

## UPSLOPE

## INPUTS

|  |           |  |
|--|-----------|--|
| FDI                                      |           | <input type="text" value="20"/>          |
| VEGETATION TYPE                          | SEE TABLE | Site Specific Fuel Loads                 |
| TOTAL FUEL LOAD                          |           | <input type="text" value="7"/> tonnes/ha |
| SLOPE UNDER VEGETATION                   |           | <input type="text" value="-15"/> degrees |
| SLOPE BETWEEN VEGETATION AND BUILDING    |           | <input type="text" value="-15"/> degrees |
| FLAME WIDTH                              |           | <input type="text" value="100"/> m       |
| ELEVATION OF RECEIVER                    |           | <input type="text" value="1.2"/> m       |
| DISTANCE BETWEEN VEGETATION AND BUILDING |           | <input type="text" value="2.5"/> m       |

## RESULTS

|                             |  |
|-----------------------------|--|
| RADIANT HEAT                | <input type="text" value="18.35"/> kw/m <sup>2</sup> |
| FLAME LENGTH                | <input type="text" value="1.23"/> m                  |
| RATE OF SPREAD              | <input type="text" value="0.06"/> km/hr              |
| ATMOSPHERIC TRANSMISSIVITY  | <input type="text" value="90%"/>                     |
| PEAK ELEVATION OF RECEIVER  | <input type="text" value="1.2"/> m                   |
| FLAME ANGLE                 | <input type="text" value="61"/> degrees              |
| CONSTRUCTION LEVEL REQUIRED | <input type="text" value="BAL-19"/> BAL              |

# BUSHFIRE CONSTRUCTION STANDARD (BAL) ASSESSMENT



## ELDON BOTTCHER ARCHITECT PTY LTD

145 VARSITY PARADE  
VARSITY LAKES  
QLD. 4327

PH 0755920082  
E architects@eb-a.com.au



THIS ASSESSMENT USES AS 3959 METHOD 2

### PROJECT

### PROPOSED RESIDENCE

### SITE ADDRESS

268 MOWBRAY RIVER ROAD  
MOWBRAY

### UPSLOPE

### INPUTS

|  |           |  |
|--|-----------|--|
| FDI                                      |           | <input type="text" value="20"/>          |
| VEGETATION TYPE                          | SEE TABLE | Site Specific Fuel Loads                 |
| TOTAL FUEL LOAD                          |           | <input type="text" value="7"/> tonnes/ha |
| SLOPE UNDER VEGETATION                   |           | <input type="text" value="-15"/> degrees |
| SLOPE BETWEEN VEGETATION AND BUILDING    |           | <input type="text" value="-15"/> degrees |
| FLAME WIDTH                              |           | <input type="text" value="100"/> m       |
| ELEVATION OF RECEIVER                    |           | <input type="text" value="1.5"/> m       |
| DISTANCE BETWEEN VEGETATION AND BUILDING |           | <input type="text" value="3.6"/> m       |

### RESULTS

|                             |  |
|-----------------------------|--|
| RADIANT HEAT                | <input type="text" value="12.46"/> kw/m <sup>2</sup> |
| FLAME LENGTH                | <input type="text" value="1.23"/> m                  |
| RATE OF SPREAD              | <input type="text" value="0.06"/> km/hr              |
| ATMOSPHERIC TRANSMISSIVITY  | <input type="text" value="89%"/>                     |
| PEAK ELEVATION OF RECEIVER  | <input type="text" value="1.5"/> m                   |
| FLAME ANGLE                 | <input type="text" value="65"/> degrees              |
| CONSTRUCTION LEVEL REQUIRED | <input type="text" value="BAL-12.5"/> BAL            |

**PROJECT**                      **PROPOSED RESIDENCE**  
**268 MOWBRAY RIVER ROAD**  
**MOWBRAY**

**ASPECT**                      **REMNANT RE 7.11.49**

**CALCULATION OF SITE-SPECIFIC FUEL LOAD**

(AS A PERFORMANCE SOLUTION TO THE DEFAULT FUEL LOADS CONTAINED IN AS 3959)

The vegetation type predominate to this site is RE 7.11.49 "Open Forest to Woodland" which would attract a rating of A within the Australian Standard.

Note that site inspection reveals that there is a sparse rainforest understorey with no Elevated Fuel and Low Bark Hazard.

The default loadings utilised under the Australian Standard are generic across the whole of Australia, and have a substantial impact on the calculation of radiant heat and therefore the required construction levels of the proposed residence.

Therefore, further investigation based on fuel loading has been carried out across a number of sites with the same Regional Ecosystem, with the results the same, based on the recommendations of the booklet "Overall Fuel Hazard Guide 3<sup>rd</sup> Edition" published by the Victorian Government Department of Sustainability and Environment as a PERFORMANCE SOLUTION to the default fuel loads listed in the Table B2 of Appendix B of the Australian Standard AS 3959-2009. This version is used as it enables specific fuel loads to be calculated based on measurement of surface fuels

The aim of this investigation is to obtain an accurate site-specific fuel load, which can then be used to ascertain an appropriate alternative site-specific fuel load to be used in the calculation of the BAL when utilising Method 2 of AS 3959.

The methodologies used in this book were used by the University of Western Sydney in its Planning and Design in Bushfire Prone Areas Graduate Diploma Course, and by Rural Fire Service Queensland in its training courses.

Fuel Levels were measured and calculated in accordance with the "Overall Fuel Hazard Guide 3<sup>rd</sup> Edition" and addressed as below:

Surface Fine Fuel Hazard.

|         |       |
|---------|-------|
| Hole 1  | 10mm  |
| Hole 2  | 25mm  |
| Hole 3  | 25mm  |
| Hole 4  | 30mm  |
| Hole 5  | 20mm  |
| Total   | 110mm |
| Average | 22mm  |

Equivalent litter load (in accordance with Table 1) equals 7 t/ha.

Elevated Fuel Hazard

Growth on the site was compared with the relevant photographs.  
 Generally, area was "Low".

Fuel Load in accordance with Table 3 was assessed as 0t/ha

Bark

Bark Hazard was assessed as Low and therefore in accordance with Table 3 has 0t/ha.

**Total equivalent fuel load is 7 t/ha.**

In preparing calculations based on Method 2 of the AS 3959 we have used the total fuel loads as calculated above.



Queensland Government home > For Queenslanders > Environment, land and water > Plants and animals > Plants > Regional ecosystems > Regional ecosystem descriptions > Regional ecosystem details for 7.11.49

## Regional ecosystem details for 7.11.49

|                                 |  |
|---------------------------------|--|
| Regional ecosystem              | 7.11.49  |
| Vegetation Management Act class | Of concern   |
| Wetlands                        | Not a Wetland  |
| Biodiversity status             | Of concern   |
| Subregion                       | 8, 9, (3), (3.2)   |
| Estimated extent <sup>1</sup>   | Pre-clearing 4000 ha; Remnant 2021 4000 ha   |
| Short description               | Eucalyptus leptophleba, Corymbia clarksoniana and E. platyphylla open forest to woodland on metamorphic foothills  |
| Structure code                  | Open Forest  |
| VMA structure category          | Mid-dense  |
| Description                     | Eucalyptus leptophleba (Molloy red box), Corymbia clarksoniana (Clarkson's bloodwood) and E. platyphylla open forest to woodland. Moist metamorphic foothills. Not a Wetland. (BVG1M: 9b).   |
| Supplementary description       | Stanton and Stanton (2005), M34; Tracey and Webb (1975), 16h   |
| Protected areas                 | Macalister Range NP, Mowbray NP, Ngalba-bulal NP (CYPAL), Kuranda NP, Annan River (Yuku Baja-Muliku) NP, Smithfield CP, Annan River (Yuku Baja-Muliku) RR, Daintree NP (CYPAL), Earl Hill CP, Mount Whitfield CP, Macalister Range FR, Kuranda FR, Ngalba Bulal  |
| Fire management guidelines      | SEASON: Cool, dry season (April-Sep). INTENSITY: Low to moderate. INTERVAL: 2-5 years. INTERVAL_MIN: 2. INTERVAL_MAX: 5. STRATEGY: Mosaic burn < 30%. Begin burning early in the fire season, with progressive patch fires burnt through the year. Stop burning when the network of fires and other breaks is sufficient to impede fire spread later in the year. Storm-burning may be used to add further diversity to the fire mosaic. ISSUES: An occasional moderate severity fire may be used to manage overabundant recruitment of trees. Maintaining a fire mosaic will ensure protection of animal habitats and mitigate against wildfires. |
| Comments                        | 7.11.49: Distinguished from 7.11.21 by its occurrence in moister, near-coastal areas and by the absence of species such as Erythrophleum chlorostachys, Melaleuca monantha, and Allocasuarina luehmannii. Earths or podzols. Near-coastal areas north of Cairns. Subject to invasion by molasses grass (Melinis minutiflora).  |

<sup>1</sup> Estimated extent is from version 13 pre-clearing and 2021 remnant regional ecosystem mapping. Figures are rounded for simplicity. For more precise estimates, including breakdowns by tenure and other themes see [remnant vegetation in Queensland](https://www.qld.gov.au/environment/plants-animals/plants/ecosystems/remnant-vegetation/) ( <https://www.qld.gov.au/environment/plants-animals/plants/ecosystems/remnant-vegetation/> ).

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Last updated 14 June 2023

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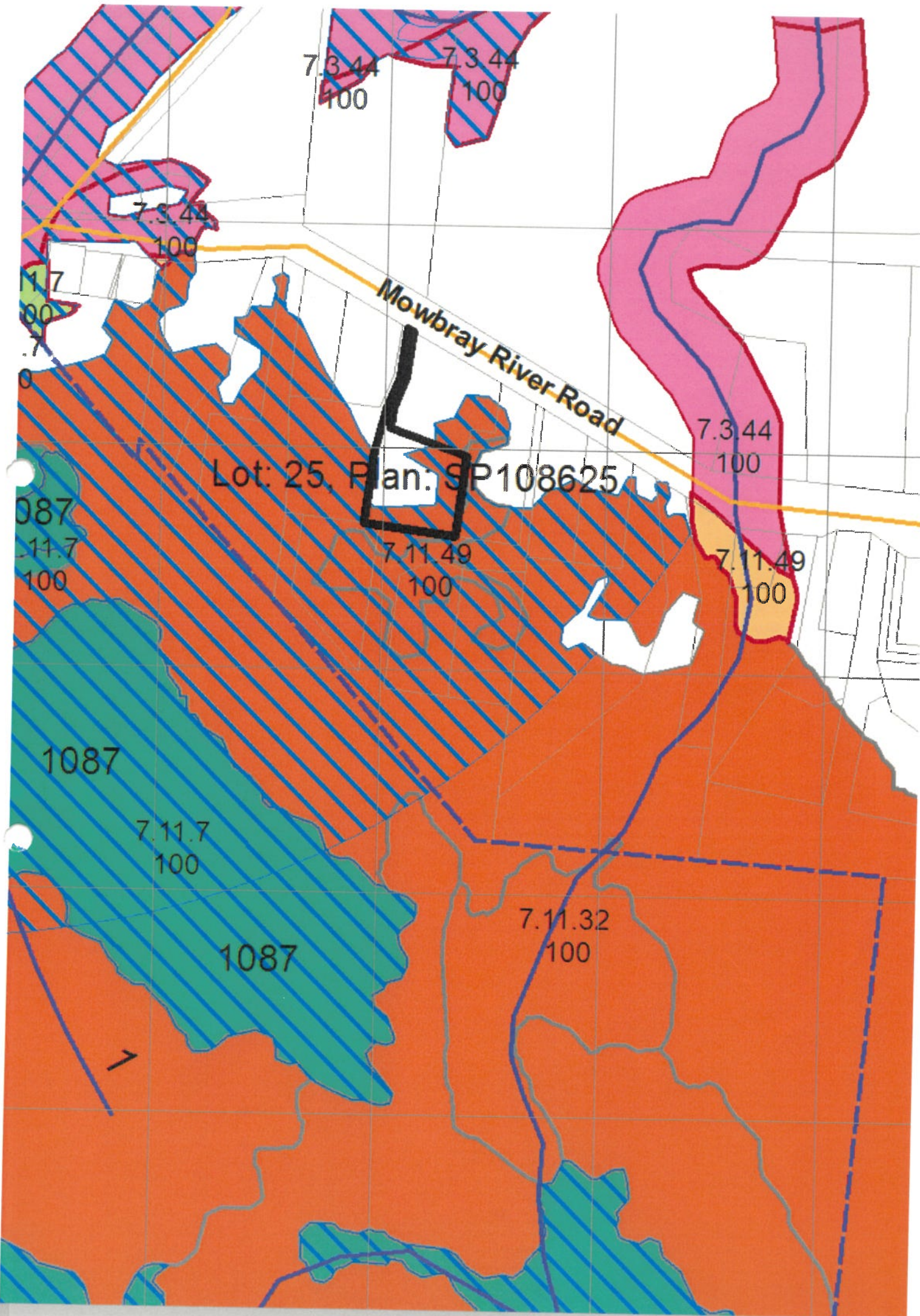
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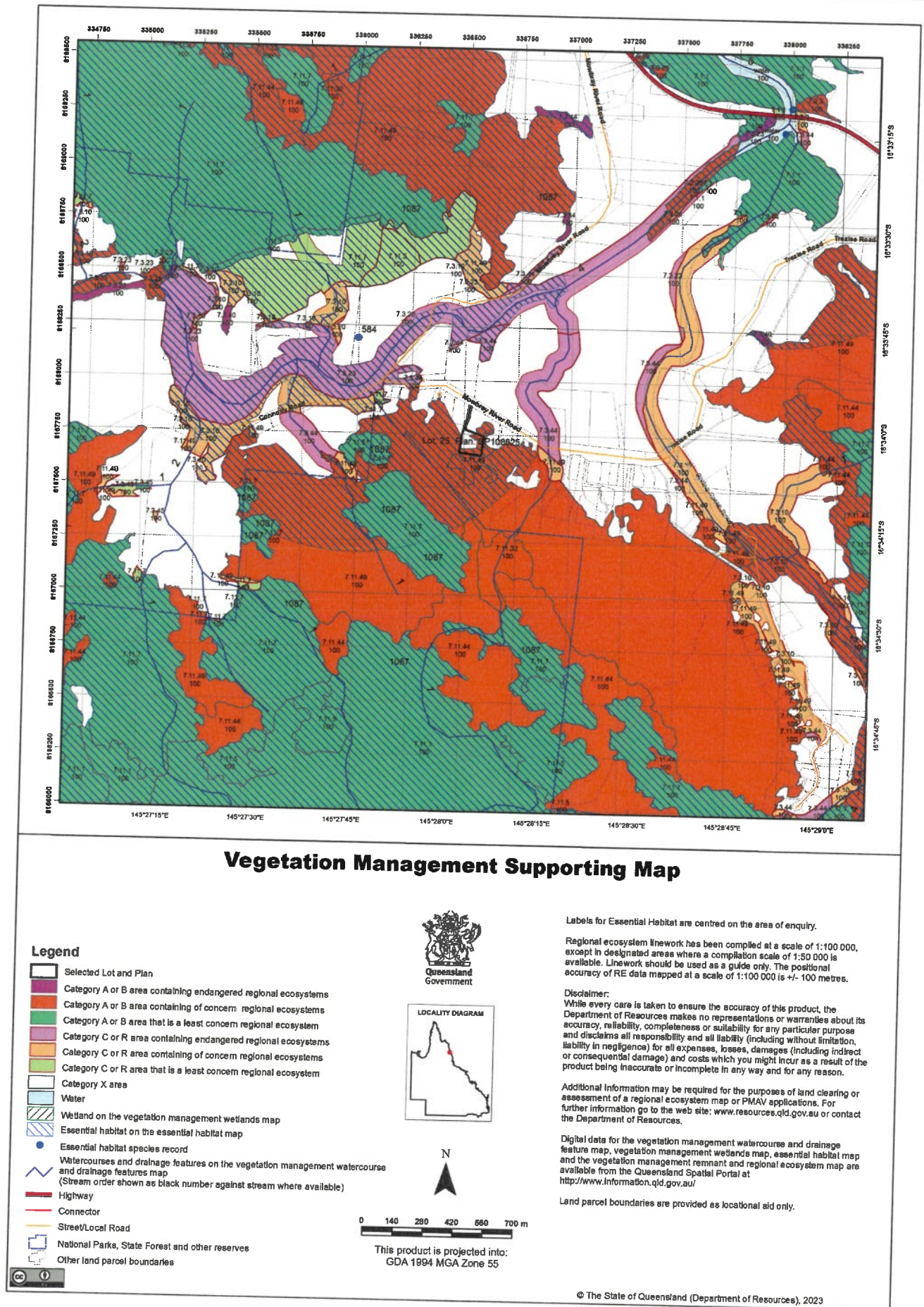
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Queensland Government ( <https://www.qld.gov.au/> )

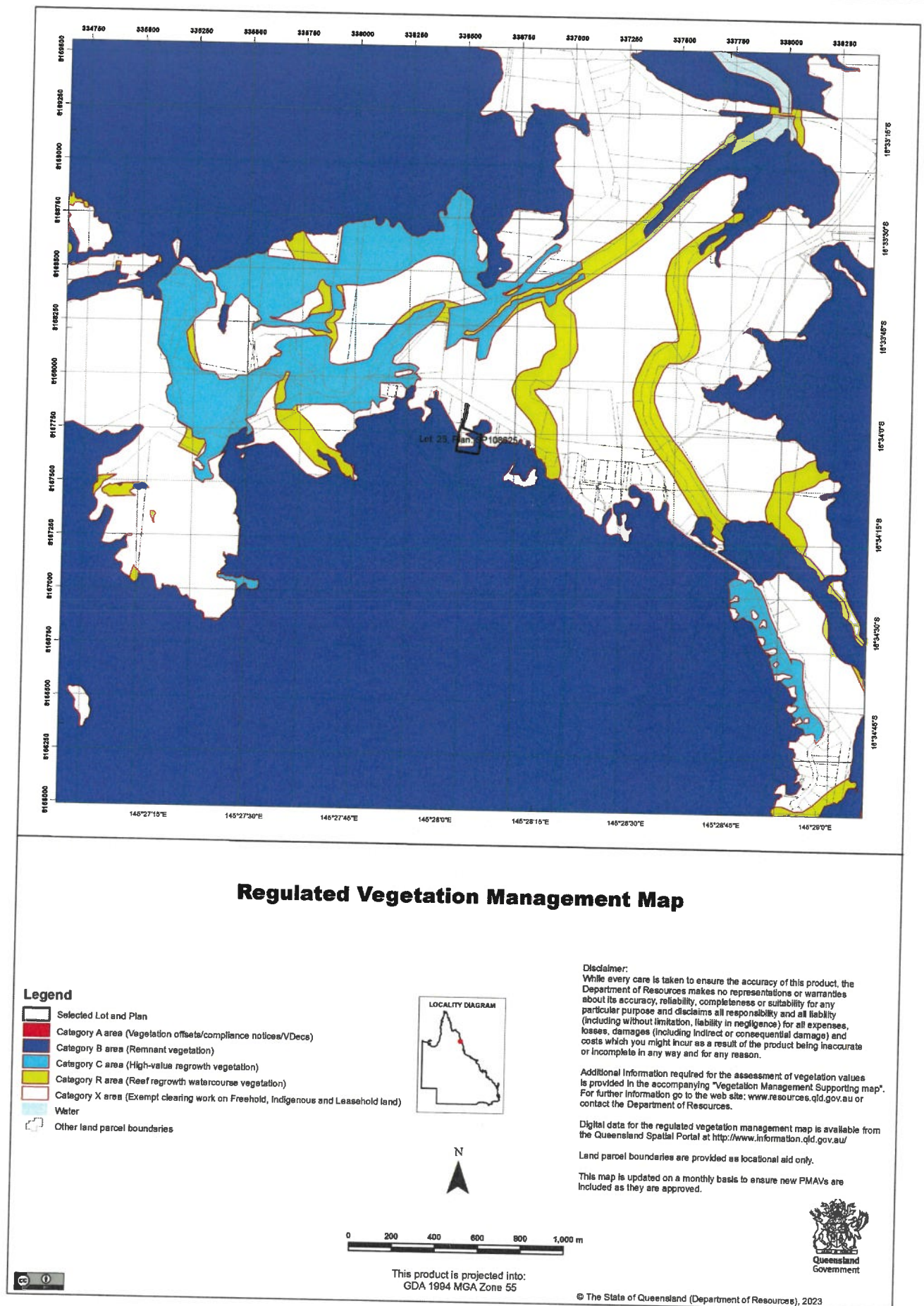




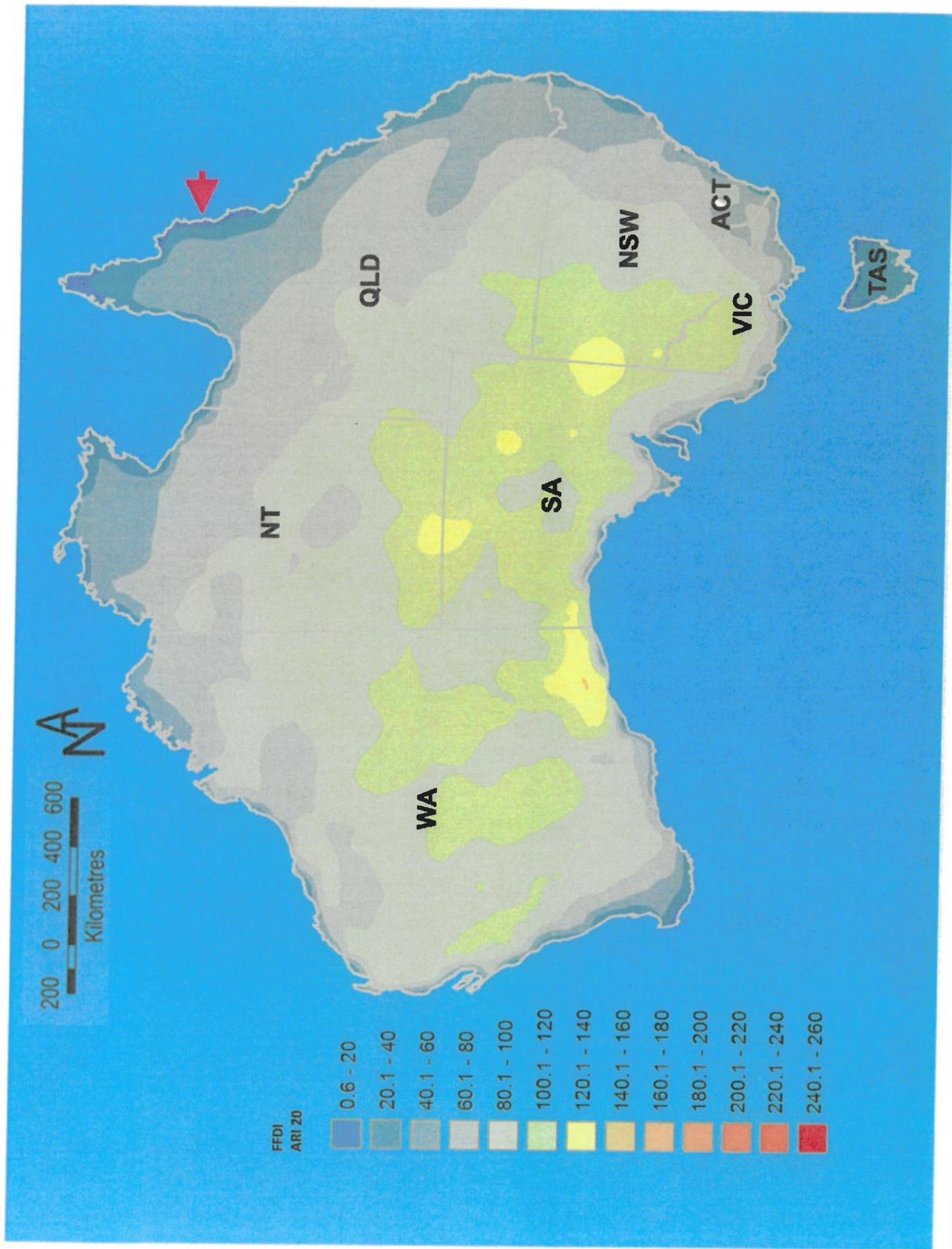




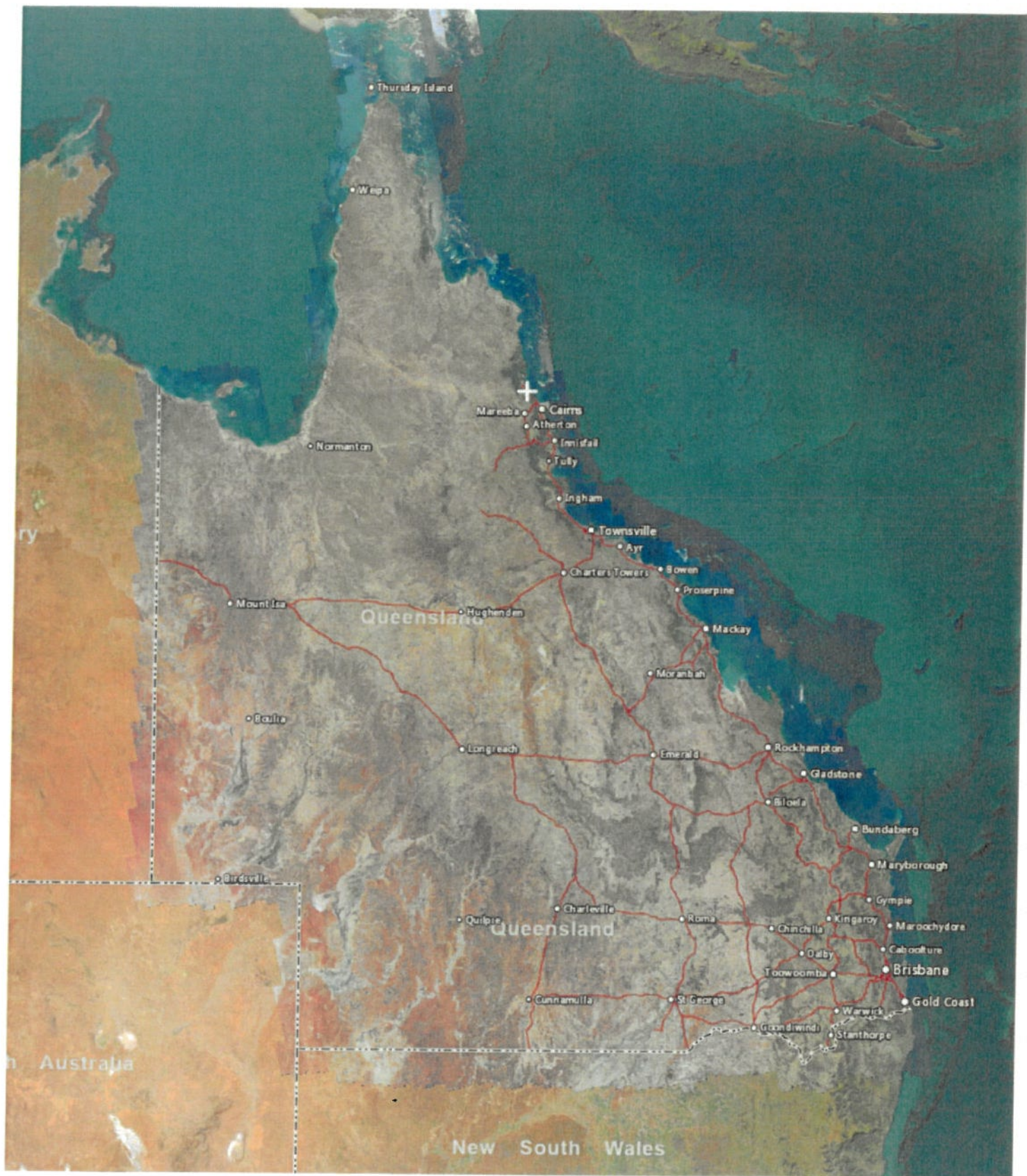














**ELDON BOTTCHER****EDUCATION AND QUALIFICATIONS**

**Graduate Diploma in Design in Bushfire Prone Areas**

University of Western Sydney

**Diploma in Architecture**

Queensland Institute of Technology

**Certificate of Rural Fire Management**

University of Southern Queensland

**Registered Architect**

Queensland

**A+ Architect**

Australian Institute of Architects

**FPA Australia Certified Practitioner (BPAD-Level 3-16935)**

Bushfire Planning and Design (BPAD-LEVEL 3), Alternate Solutions & DTS

**PROFESSIONAL MEMBERSHIPS**

**Fellow**

Australian Institute of Architects

**Member**

Australian Institute of Emergency Services

**Member**

Australian Institute of Engineers Society of Fire Safety

**Member**

Queensland Environmental Law Association.

**Member Board of Experts**

Bushfire Building Council of Australia

**Associate Member**

Institution of Fire Engineers

**Corporate Member**

Fire Protection Association of Australia

**PROFESSIONAL EXPERIENCE**

**Director**

Eldon Bottcher Architect Pty Ltd since 1978

**Bushfire Assessment and Planning Consultant** since 1998 with involvement in more than 6,000 Bushfire Mitigation Projects ranging from single dwellings to major subdivisions, burn plans and general mitigation advice.

**Group Officer**

Albert Rural Fire Brigades Group  
Queensland Fire and Rescue Service

**Group Officer**

Gold Coast Rural Fire Brigades Group  
Queensland Fire and Rescue Service

**Group Officer**

South East Regional Support Group  
Queensland Fire and Rescue Service

**Planning Officer**

Gold Coast Rural Fire Brigades Group  
Queensland Fire and Rescue Service

**Life Member**

Guanaba Rural Fire Brigade

**Member**

Clagiraba Rural Fire Brigade

**Member Practice Committee AIA Qld Chapter**

**AIA delegate to Building Industry and Research Consultation Panel on Bushfire Hazard advising Queensland State Bushfire Committee**

**BBCA representation to Australian Standards Committee FP20 (AS 3959 & AS 5414)**

**Research Consultant to Queensland University of Technology Scenic Rim Black Saturday Recovery Project**

**OTHER BUSHFIRE RELATED COURSES AND TRAINING**

I.C.S./AIIIMS (40 hr. course) In Incident Command Systems

Certificate 4 (Workplace Training and Assessment)

RFSQ Level 1

RFSQ Level 2 (Officer)

RFSQ Fire Management 1

RFSQ Crew Leader

Certificate II in Public Safety (Firefighting Operations)

Fire Weather 1

QELA Expert Witness Workshop 2020

**BUSHFIRE RELATED AWARDS**

**National Planning Award**

**State Planning Award**

**Planning Institute of Australia**

Gold Coast Bushfire Management Strategy

(Co-Initiator and Member of Preparation Committee)

**Australian Government**

**National Medal**

Long and Distinguished Service to Fire fighting

**Queensland Fire and Rescue Service**

**Diligent and Ethical Service Medal + Clasp**

Service to Fire fighting

**Queensland Government**

**Australia Day Medallion**

Services to Rural Fire Fighting

**Queensland Government**

**Year of the Volunteer Medallion**

Services to Fire fighting

**UDIA**

Best Consultancy Team Award in 2007.

**SERVICES OFFERED**

**Bushfire management Reports**

**Bushfire Safety Engineering**

**Bushfire Planning and Design**

**Bushfire Hazard Assessment**

**Alternative Solutions**

**Expert Witnessing**

(See Planning and Environment Court of Queensland Determination

File No. BD 624 of 2005 sections 28 to 35)

**Continuing Professional Development Lectures**

**Tertiary Education Lectures and Tutorials**

**Town Planning Bushfire Codes for Local Authorities**

**Bushfire Burn Planning**

**General consultancy relating to all aspects of Bushfire**

LOT NUMBER: 25  
SP NUMBER: SP 108625  
LOCAL GOVERNMENT: DOUGLAS SHIRE COUNCIL  
LOCALITY: MOWBRAY  
AREA: 114.10m<sup>2</sup>

LEGEND

--- DENOTES 100mm Ø UPVC SEWER DRAIN  
33m 150d17'20" DENOTES BOUNDARY LINE WITH LOCATED PEG

KEY

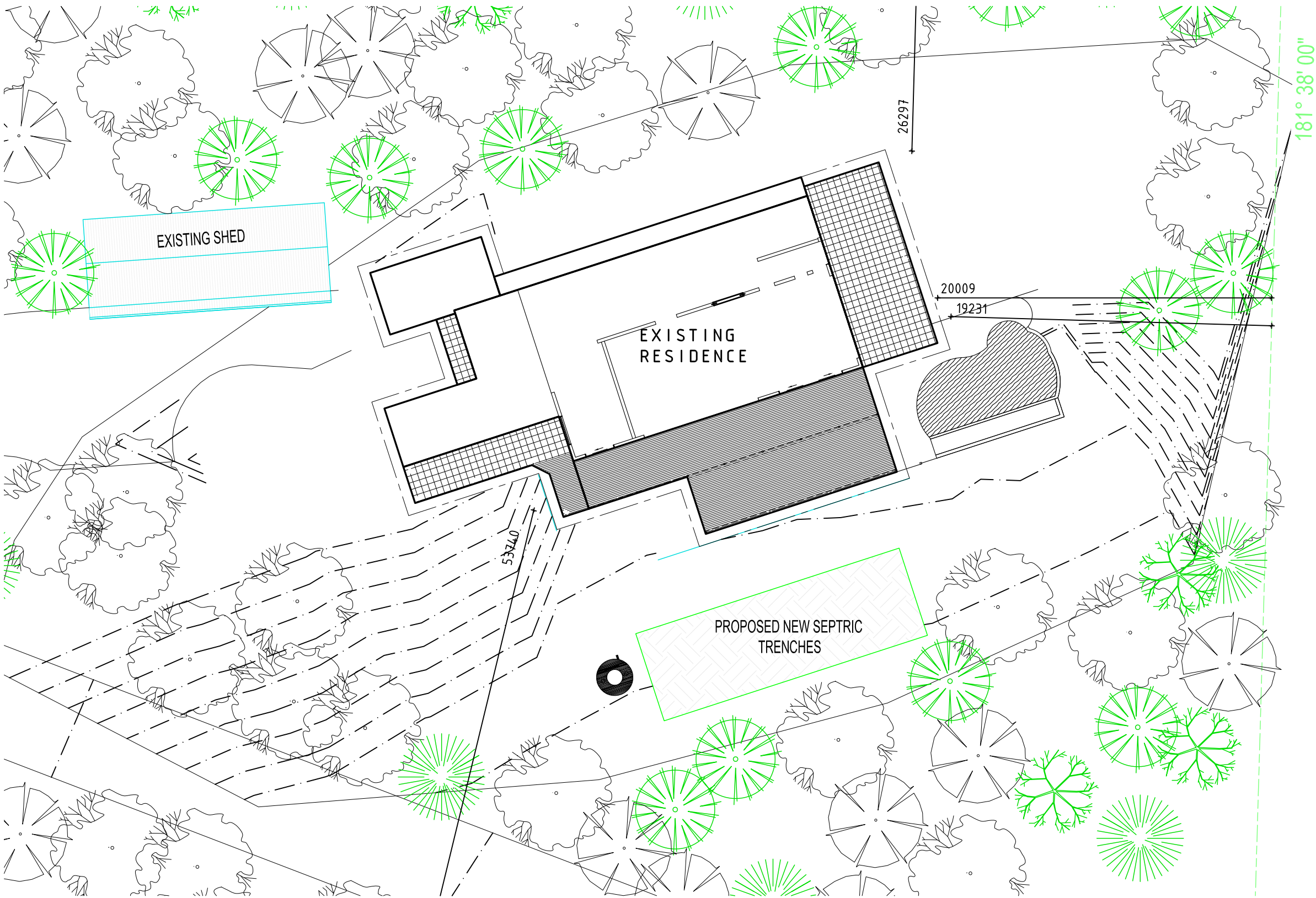
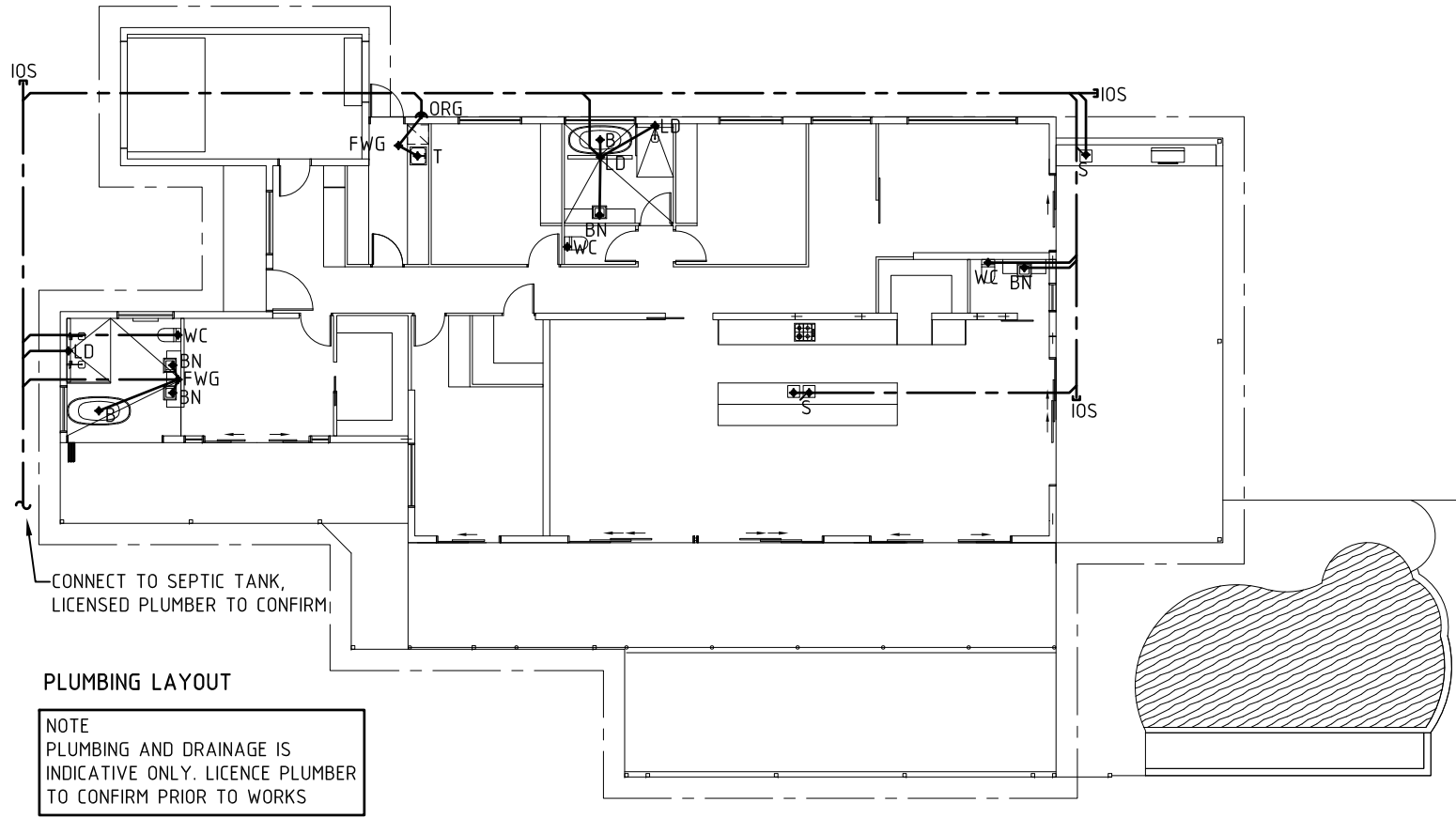
B BATH  
BN BASIN  
WC WATER CLOSET  
SH SHOWER  
S SINK  
WM WASHING MACHINE  
LD LINEAR DRAIN  
FWG FLOOR WASTE GULLY  
GD GRATED DRAIN  
IOS INSPECTION OPENING  
IOS IO TO SURFACE  
V VENT  
O OVERFLOW RELIEF GULLY

GENERAL NOTES

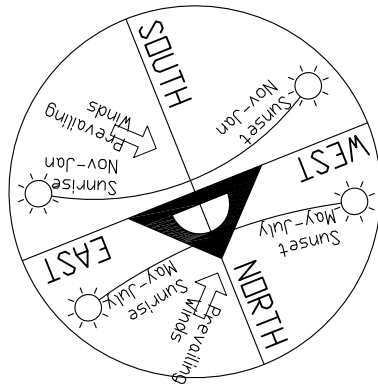
-DO NOT SCALE FROM THIS DRAWING - FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALED WORK  
-ANY DISCREPANCIES WHICH MAY BE FOUND IN THIS DRAWING MUST BE BROUGHT TO THE ATTENTION OF FNQ Design and Drafting  
-ALL BUILDERS WORK TO BE CARRIED OUT WITHIN SITE BOUNDARY. THIS NOTE TO TAKE PRECEDENCE OVER ANY OTHER DOCUMENTATION.  
-ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REGULATIONS  
-FOOTINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH ASSOCIATED SOIL TESTS AND/OR ENGINEERS SPECIFICATIONS  
-DRAWINGS TO BE READ IN CONJUNCTION WITH ATTACHED ENGINEERS NOTES  
-ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH ALL RELEVANT S.A.A. CODES

SITE NOTES

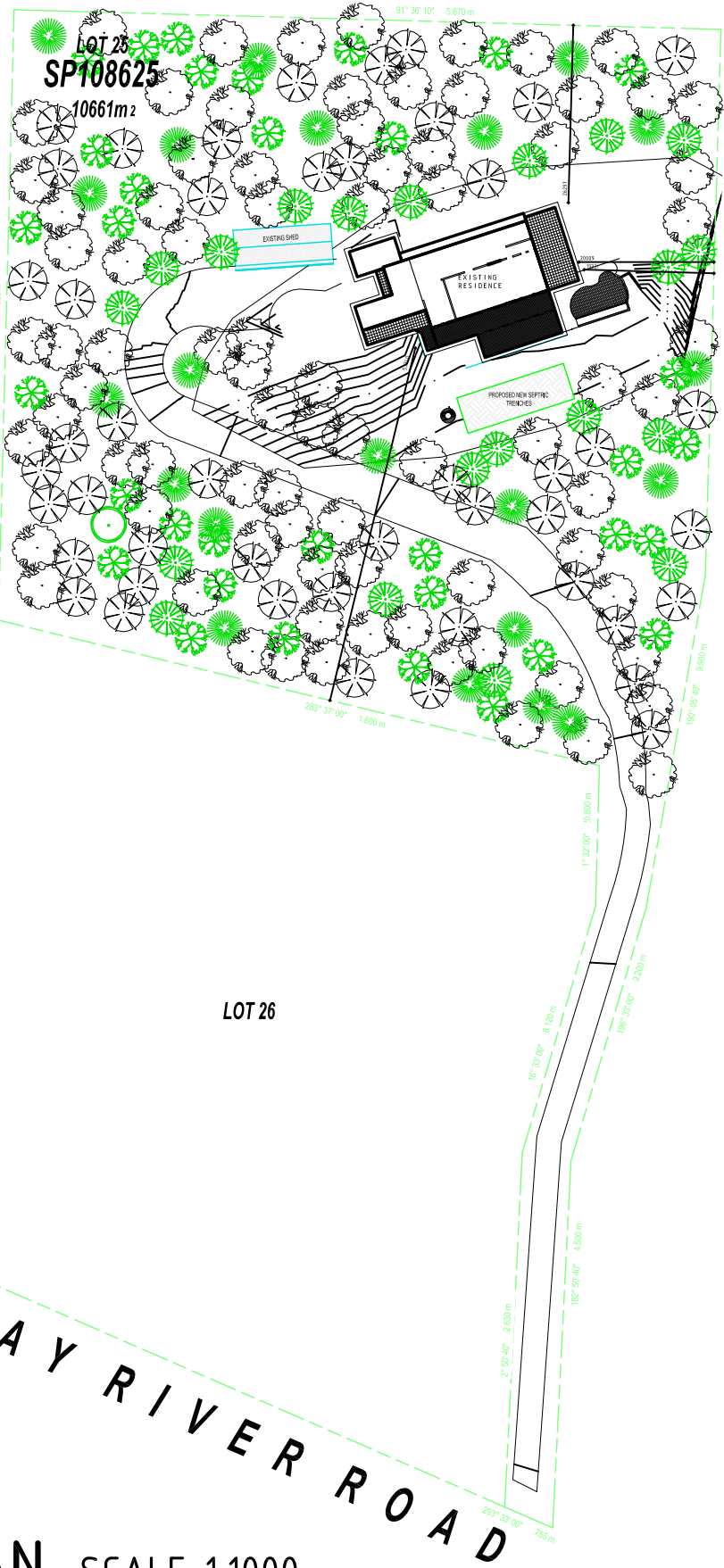
-ALL BUILDERS WORK TO BE CARRIED OUT WITHIN SITE BOUNDARY. THIS NOTE TO TAKE PRECEDENCE OVER ANY OTHER DOCUMENTATION.  
-BUILDING PLATFORM PREPARATION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3798, GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT.  
-ALL WORK INCLUDING TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND CODES OF PRACTICE TO PROVIDE AN ENGINEERED (CONTROLLED) FILLED PLATFORM.  
-STRIP BUILDING PLATFORM EXTENDING TO MINIMUM 1.5 METERS OUTSIDE BUILDING STRUCTURE FOOTPRINT OF TOPSOIL, DELETERIOUS ORGANICS AND UNCONTROLLED FILL.  
-THE BUILDING PLATFORM SHALL BE RAISED TO LEVEL WITH ENGINEERED FILL.  
-FOUNDATION MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CSIRO BROCHURE, "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCES".  
PLUMBING SHOWN IS DIAGRAMATIC ONLY. LICENSED PLUMBER TO CONFIRM FINAL ALIGNMENT OF HOUSE SEWER AND STORMWATER AND DOWNPIPE QUANTITIES AND POSITIONS. CONFIRM ALL FALLS PRIOR TO CONSTRUCTION.  
-CLIENT TO PROVIDE SKETCH PLAN SHOWING ANY FUTURE ALTERATIONS, EXTENSIONS, SWIMMING POOLS ETC. SO HOUSE SEWER AND STORMWATER CAN BE ALIGNED TO ACCOMMODATE REQUIREMENTS.



PART SITE PLAN SCALE 1:250



LOT 27



SITE PLAN SCALE 1:1000

The colour for the roof, facia and gutters will be monument and the walls will be Dune.

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| AMENDMENTS: |     |             |
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| DATE        | REV | DESCRIPTION |
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NOTE:  
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WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: C2

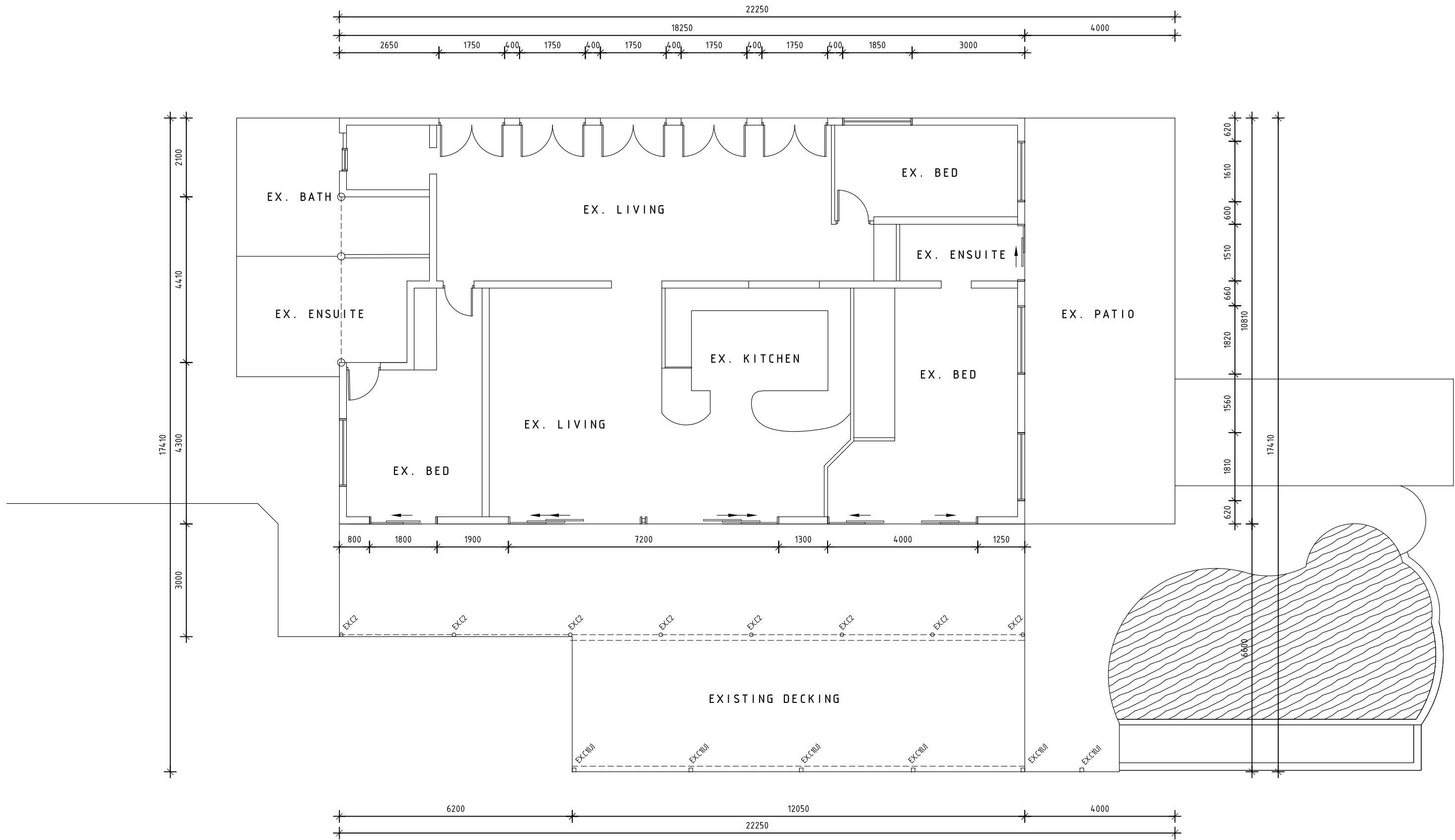
DATE: 10/09/2023

CMG CONSULTING ENGINEERS PTY LTD.

20 Winkworth Street  
Bungelore QLD 4870  
PH (0401) 793 248  
russell@fnqdesign.com  
FNQ DESIGN & DRAFTING  
QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title: SITE PLAN  
Date: AUG 23  
Job No: 24003  
Scale: AS SHOWN@A2  
Sheet No: 001



EXISTING FLOOR PLAN SCALE 1:100

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DATE: 10/09/2023

CMG. CONSULTING ENGINEERS PTY. LTD.

20 Winkworth Street  
Bungalow QLD 4870  
PH (0401) 793 248  
russell@fnqdesign.com

208 BUCHANAN ST.  
CAPEVIEW QLD 4870  
PH (07) 4033 2775  
FAX (07) 4031 9070

**FNQ DESIGN & DRAFTING**  
QBCC Licence No. 1117748

Clients Name: EASTBUILD

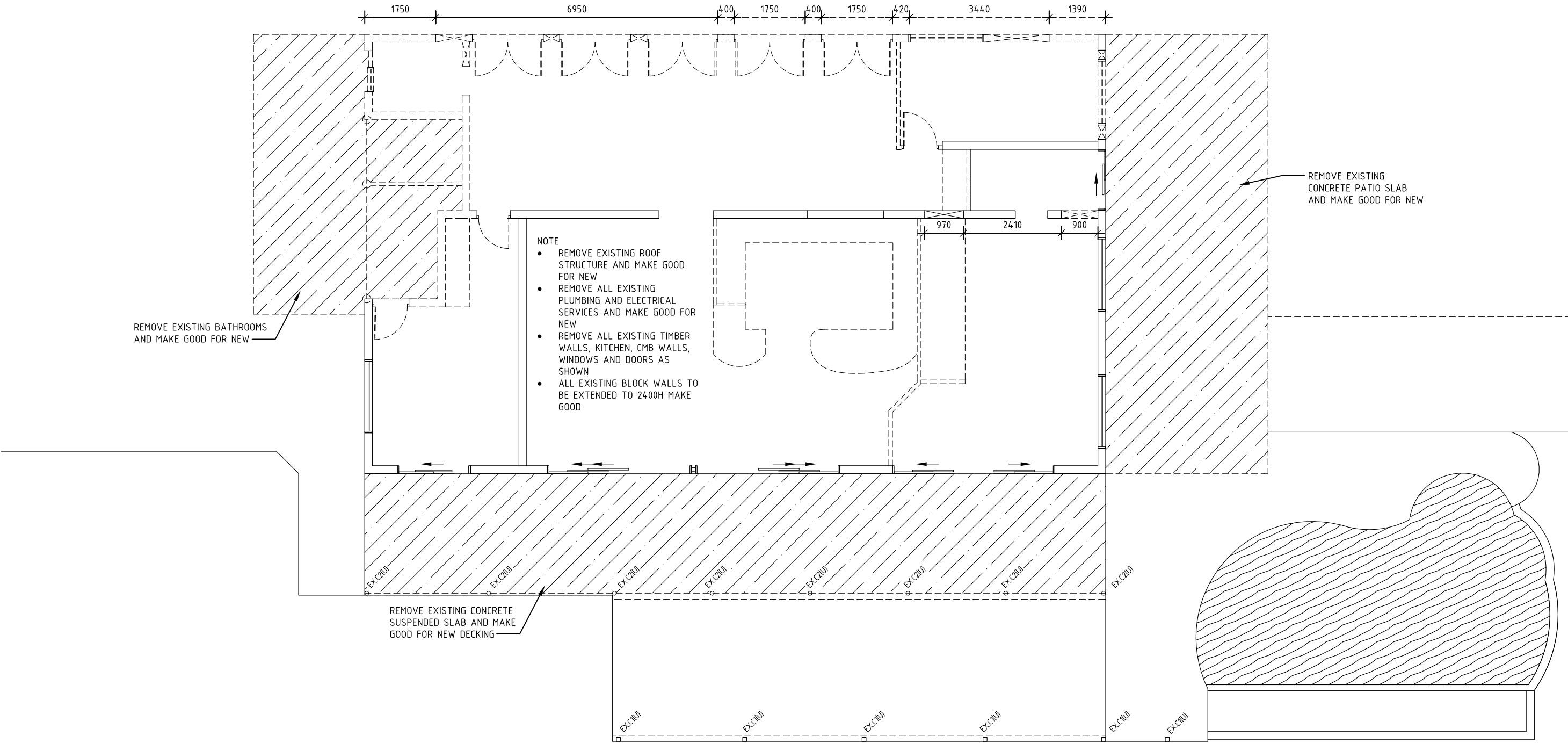
Description: PROPOSED RENOVATIONS

Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title: EXISTING FLOOR PLAN

Date: AUG 23 Scale: 1:100@A2

Job No: 24003 Sheet No: 002



EXISTING FLOOR PLAN SCALE 1:100

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DATE: 10/09/2023

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20 Winkworth Street  
Bungalow QLD 4870  
PH (0401) 793 248  
russell@fnqdesign.com

208 BRUGHAN ST.  
CAPEWORTH QLD 4870  
PH (07) 4033 2755  
FAX (07) 4031 9070

FNQ DESIGN & DRAFTING  
QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title: DEMOLITION PLAN

Date: AUG 23 Scale: 1:100@A2  
Job No: 24003 Sheet No: 003



WIND CLASSIFICATION - C2

ROOF PITCH - 5°

ROOF OVERHANG - 600

WALL CONSTRUCTION

200 SERIES WALL REINFORCEMENT

UNLESS OTHERWISE NOTED PROVIDE:

BOND BEAM

-PROVIDE DOUBLE COURSE BONDBEAM TO TOP OF WALL.

REINFORCE WITH 2-N12 OR 1-N16

- MIN 500mm LAP

TYP. LINTEL

-SEE DETAILS

VERTICAL REINFORCING TO 3400mm HIGH WALLS

-U.N.O. PROVIDE N16 VERTICAL REINFORCEMENT AT ENDS, CORNERS AND EACH SIDE OF OPENINGS AND 800mm CENTRES MAX BETWEEN

-PROVIDE ADDITIONAL N16 VERTICAL REINFORCEMENT ADJACENT EACH SIDE OF OPENINGS WHERE SHOWN

STARTER BARS

-N16 STARTER BARS TO BE PROVIDED AT EACH VERTICAL REINFORCING BAR BENT 200mm AT FOOTING AND LAPPING VERTICAL BAR MIN 500mm

SILLS

-PROVIDE SINGLE COURSE BONDBEAM IMMEDIATELY UNDER ALL WINDOW OPENINGS. REINFORCE WITH 1-N16 HORIZONTAL BAR. BONDBEAM TO EXTEND 200mm PAST EACH SIDE OF OPENING

CONCRETE CORE FILL

-ALL CONCRETE MASONRY CORES CONTAINING REINFORCING TO BE CLEAN AND FILLED WITH S20 CONCRETE

WALL FINISHES

EXTERNAL

-200 SERIES CONCRETE MASONRY BLOCKWORK

-SELECT CEMENT RENDER - PAINT FINISH

INTERNAL STUDWORK WALLS

70mm THICK WALLS - ALL MGP 10 (H2)

-70x35 MGP10 STUDS @MAX. 450mm CRS.

-70x35 MGP10 TOP & BOTTOM PLATES - 1 ROW NOGGINS

-70x45 MGP10 TOP & BOTTOM PLATES TO BRACE WALLS

90mm THICK WALL

-90x35 MGP10 STUDS @MAX. 450mm CRS.

-90x35 MGP10 TOP & BOTTOM PLATES - 1 ROW NOGGINS

-90x45 MGP10 TOP & BOTTOM PLATES TO BRACE WALLS

HOLD DOWN RODS

-PROVIDE M12 GALV. CYCLONE RODS AT ENDS, CORNERS AND EACH SIDE OF OPENINGS AND AT MAX. 1200mm CRS BETWEEN.

-PROVIDE 2-M12 GALV. CYCLONE RODS AT GIRDER TRUSS.

BRACING WALLS

DENOTES STRUCTURAL PLYWOOD BRACING WALLS. THICKNESS AND FIXINGS IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION AND AS 1684.3 FOR 6.4kN/m RACKING RESISTANCE.

U.N.O. PROVIDE M12 GALV. CYCLONE RODS AT EACH END OF BRACING WALL AND AT 1800mm CRS. BETWEEN.

PROVIDE ANTI-RACKING CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH AS 1684.3 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - CYCLONIC

WALL CONSTRUCTION

EXTERNAL STUDWORK WALLS

STUDWORK - ALL MGP 12 (H3)

-35x90 MGP12 STUDS @MAX. 450mm CRS FOR WALL

HEIGHTS LESS THAN 3000mm.

-35x90 MGP12 STUDS @MAX. 300mm CRS FOR WALL

HEIGHTS 3000mm TO 3300mm.

-2/35x90mm MGP 12 TOP PLATE.

-45x90mm BOTTOM PLATE ON TIMBER FLOOR.

-35x90mm BOTTOM PLATE ON CONCRETE FLOOR.

-2 ROWS OF NOGGINS

-PROVIDE STUDS AT SIDES OF ALL OPENINGS AS SHOWN:-

OPENING WIDTH

NUMBER OF STUDS

|             |   |
|-------------|---|
| 900         | 1 |
| 1200 - 2100 | 2 |
| 2400 - 3000 | 3 |
| 3000 - 4000 | 4 |

9. LINTELS

UNLESS NOTED OTHERWISE LINTEL SIZES TO BE -

| SPAN | (LVL 15)   | SPAN | SIZE (F14) |
|------|------------|------|------------|
| 900  | - 95x58    | 900  | - 75x75    |
| 1200 | - 2/95x42  | 1200 | - 100x75   |
| 1500 | - 2/130x42 | 1500 | - 125x75   |
| 1800 | - 2/150x42 | 1800 | - 150x75   |
| 2100 | - 170x42   | 2100 | - 175x75   |
| 2400 | - 200x42   | 2400 | - 200x75   |
| 2700 | - 240x42   | 2700 | - 225x75   |
| 3000 | - 240x58   | 3000 | - 250x75   |
| 3300 | - 240x58   | 3300 | - 250x75   |
| 3600 | - 240x58   | 3600 | - 250x75   |
| 4000 | - 300x58   | 4000 | - 300x75   |

TERMITE PROTECTION

-TERMITE TREATMENT TO BE AS REQUIRED

BY AS 3660.1 -TERMITE PROTECTION GENERALLY SHALL

BE BY:

A/GROUND FLOOR SLAB AS BARRIER AND EXPOSED EDGE OF SLAB AS VISUAL

BARRIER.

B/TERMITE-MESH OR SIMILAR APPROVED COLLARS TO SLAB PENETRATIONS; & C/TERMITE RESISTANCE (HAZARD LEVEL H2 TIMBER FRAMING GENERALLY

-BUILDER TO PROVIDE ACCESS FOR CLEAR VISUAL INSPECTIONS TO THE ENTIRE

PERIMETER OF THE HOUSE AND THE EXPOSED EDGE OF CONCRETE SLABS

-A DURABLE NOTICE SHOWING FULL DETAILS OF TERMITE TREATMENT USED AND THE DATE PROVIDED TO BE POSTED INSIDE THE METER BOX OR SIMILAR

APPROVED

LOCATION

-OWNER TO MAINTAIN ACCESS FOR CLEAR VISUAL INSPECTIONS AND MAKE

PERIODIC INSPECTIONS

WATERPROOFING

-ANY EXPOSED STRUCTURAL TIMBER WHICH HAS ANY AREA IN CONTACT WITH ANOTHER MATERIAL AND WHICH WILL BE INACCESSIBLE AFTER FIXING IS TO BE GIVEN A COAT OF PRIMER BEFORE FIXING.

-WET AREA WATER PROOFING TO COMPLY PART 10.2.6 OF THE NCC HOUSING PROVISIONS AND WITH AS3740 - 2010

CONDENSATION MANAGEMENT

EXHAUST SYSTEMS INSTALLED IN A KITCHEN, SANITARY COMPARTMENT OR LAUNDRY MUST COMPLY WITH PART 10.8.2 OF THE NCC HOUSING PROVISIONS

SUSTAINABLE BUILDING REQUIREMENTS

COMPLY WITH THE CURRENT MANDATORY SUSTAINABLE HOUSING MEASURES UNDER THE QUEENSLAND DEVELOPMENT CODE MP-4.1 INCLUDING:-

-3 STAR RATED SHOWER ROSES AND TAPWARE TO KITCHEN

SINKS, BATHROOM BASINS AND LAUNDRY TUBS.

-4 STAR RATED DUAL FLUSH TOILETS.

-ANY IRRIGATION SYSTEM USED MUST BE WATER EFFICIENT IN

RELATION TO THE CODE.

-ENERGY EFFICIENT LIGHTING TO BE UTILISED FOR 80% OF ALL

LIGHT FITTINGS TO ILLUMINATE THE INTERNAL FLOOR SPACE.

-INSTALLATION OF MIN. EER 2.9 FOR HARD WIRED

AIR-CONDITIONERS.

-ALL AIR-CONDITIONERS 5 STAR RATED.

SMOKE ALARMS

ALL SMOKE ALARMS ARE:

\* TO BE PHOTOELECTRIC

\* TO NOT CONTAIN IONISATION SENSOR

\* TO BE HARD WIRED TO MAINS POWER WITH

SECONDARY SOURCE

\* BE INTERCONNECTED WITH ALL SMOKE ALARMS IN DWELLING (ALL ACTIVE TOGETHER)

LOCATION OF ALARMS ARE INDICATIVE ONLY AND ARE TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS (AS 3786) PART 3A OF THE BUILDING REGULATIONS AND PART 9.5.1 OF THE NCC HOUSING PROVISIONS

LOAD BEARING WALL - LBW

• STUDS - 90x45 MGP12 AT 450 CRS FOR HEIGHT < 3000

STUDS - 90x35 MGP12 AT 300 CRS FOR HEIGHT > HT < 3300 NOGGINS AT 1350 CRS MAX

• TOP PL. - 2/90x45 MGP12

• BTM PL. - 90x45 MGP12 ON CONCRETE FLOOR

• PROVIDE M12 GALV. CYCLONE RODS AT ENDS, CORNERS, EACH SIDE OF OPENING AND 900 CTS MAX BETWEEN.

NOTES

- BUILDER TO CONFIRM EXACT FIT OUT WITH CLIENT PRIOR TO WORKS.

- NEW FLOORING THROUGHOUT AS PER CLIENTS SPEC.

- BUILDER TO CONFIRM PAINTING SPECIFICATIONS WITH CLIENTS.

- ALL ELECTRICAL WORK AND RE-WIRING TO BE CONFIRMED WITH CLIENT PRIOR TO WORKS.

FLOOR AREAS

|                   |                      |
|-------------------|----------------------|
| EXISTING LIVING:  | 197.20m <sup>2</sup> |
| EXISTING DECKING: | 98.50m <sup>2</sup>  |
| GARAGE:           | 26.70m <sup>2</sup>  |
| PORCH:            | 4.90m <sup>2</sup>   |
| PATIO:            | 53.60m <sup>2</sup>  |
| NEW DECKING:      | 28.30m <sup>2</sup>  |
| NEW LIVING:       | 76.20m <sup>2</sup>  |
| TOTAL             | 485.40m <sup>2</sup> |

CONTROL JOINT - CJ

-STACK BOND BLOCKS WITH 10mm GAP FILLED WITH COMPRESSIBLE MATERIAL, ELASTIC SEALANT EACH FACE. BOND BEAM BAR TO CONTINUE THROUGH JOINT. VERTICAL N12 BAR EACH SIDE OF JOINT.

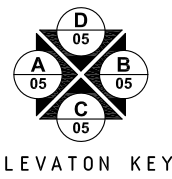
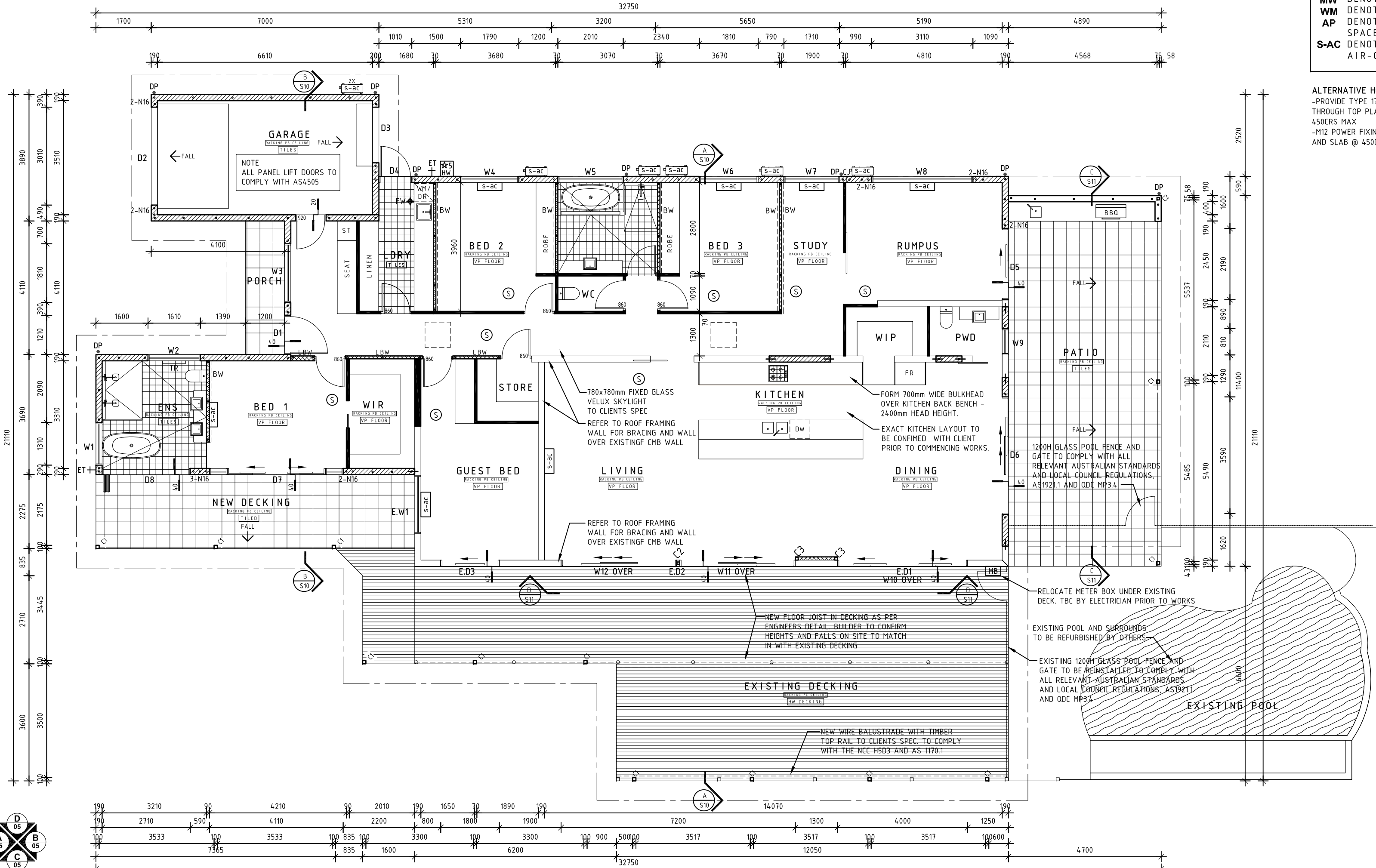
KEY

|      |  |
|------|--|
| —    | DENOTES 90mm EXTERNAL STUD WALL                    |
| —    | DENOTES 70mm THICK STUD INTERNAL WALLS FULL HEIGHT |
| —    | DENOTES 70mm THICK STUD BRACING WALLS              |
| LBW  | DENOTES LOAD BEARING WALL                          |
| S    | DENOTES SMOKE DETECTOR                             |
| DP   | DENOTES DOWNPIPE POSITION                          |
| ET   | DENOTES EXTERNAL TAP POSITION                      |
| TR   | DENOTES TOWEL RAIL POSITION                        |
| TR   | DENOTES TOILET ROLL HOLDER                         |
| MB   | DENOTES METER BOX POSITION                         |
| I    | DENOTES TAP POSITIONS                              |
| V    | DENOTES SHOWER ROSE/TAP POSITION                   |
| MH   | DENOTES CEILING MANHOLE                            |
| FW   | DENOTES FLOOR WASTE                                |
| FR   | DENOTES FRIDGE SPACE                               |
| OV   | DENOTES OVEN SPACE                                 |
| P    | DENOTES PANTRY                                     |
| DW   | DENOTES DISHWASHER SPACE                           |
| MW   | DENOTES MICROWAVE SPACE                            |
| WM   | DENOTES APPLIANCE CUP'D SPACE                      |
| AP   | DENOTES WASHING MACHINE SPACE                      |
| S-AC | DENOTES SPLIT SYSTEM AIR-CONDITIONING UNIT         |

ALTERNATIVE HOLD DOWN

-PROVIDE TYPE 17 No. 16 BATTEN SCREWS THROUGH TOP PLATES INTO RAFTERS @ 450CRS MAX

-M12 POWER FIXINGS TO STEEL COLUMNS AND SLAB @ 450CRS MAX



PROPOSED FLOOR PLAN SCALE 1:100

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AMENDMENTS:

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WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: C2

DATE: 10/09/2023

CMG CONSULTING ENGINEERS PTY. LTD.

20 Winkworth Street  
Bungalow QLD 4890  
Ph: 0401 793 240  
russell@fnqdesign.com

FNQ DESIGN & DRAFTING  
QBCC Licence No. 1117748

Clients Name: EASTBUILD

Description: PROPOSED RENOVATIONS

Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title:

PROPOSED FLOOR PLAN

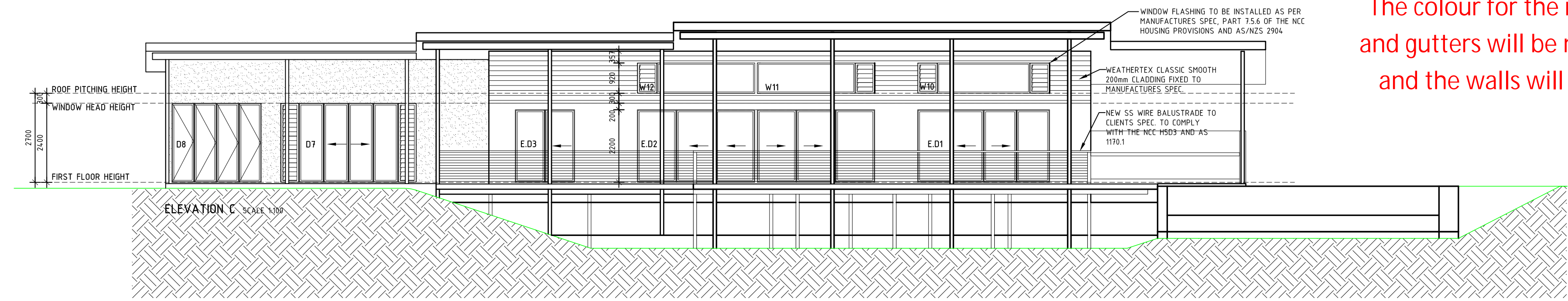
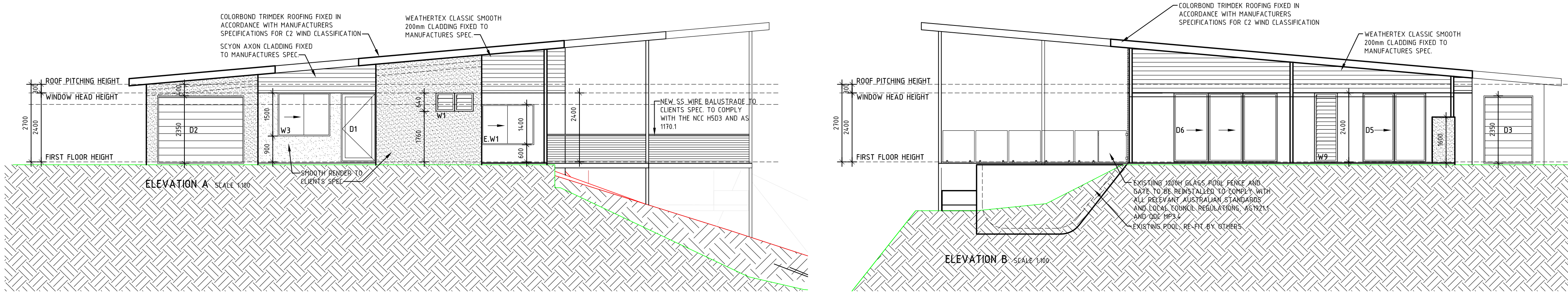
Date: AUG 23

Job No: 24003

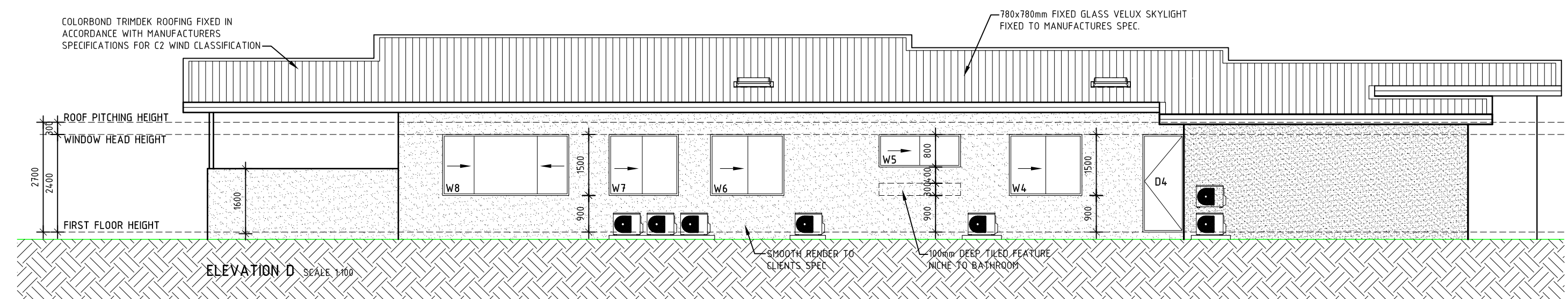
Scale: 1:100@A2

Sheet No: 004





The colour for the roof, facia and gutters will be monument and the walls will be Dune.



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DATE: 10/09/2023

208 BUCHANAN ST.  
CARRIBLO QLD 4815  
PH: 07 4031 2755  
FAX: 07 4031 8055

**CMG CONSULTING ENGINEERS** PTY LTD.

20 Winkworth Street  
Bungelore QLD 4870  
PH: 0401 793 240  
russell@fnqdesign.com

**FNQ DESIGN & DRAFTING**

QBCC Licence No. 1117748

Clients Name: EASTBUILD

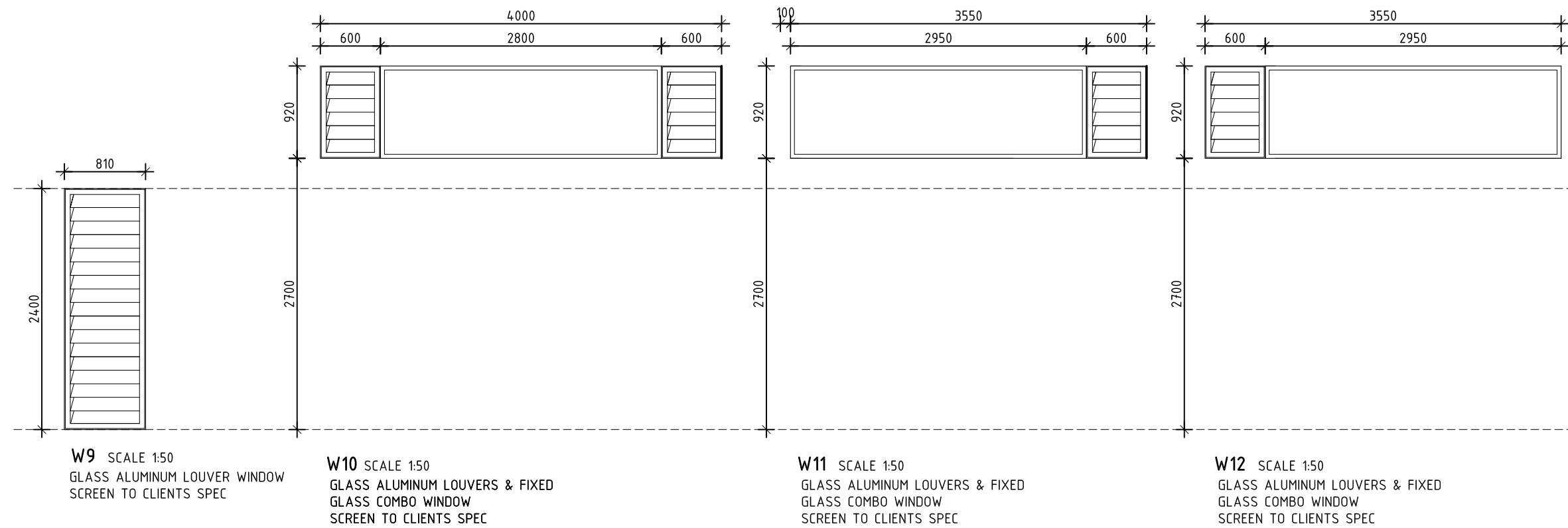
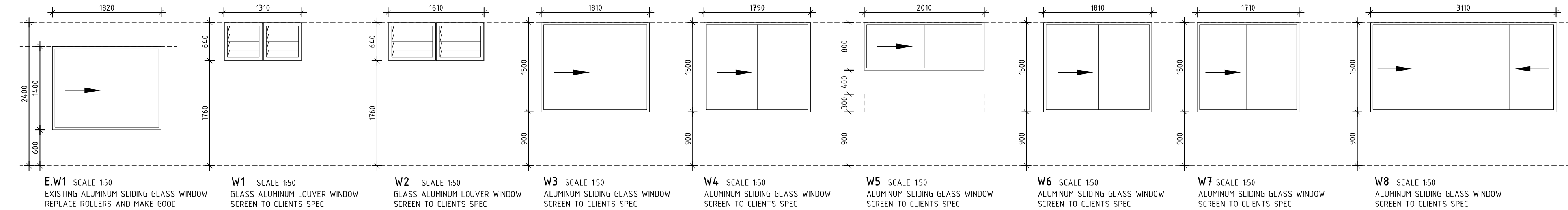
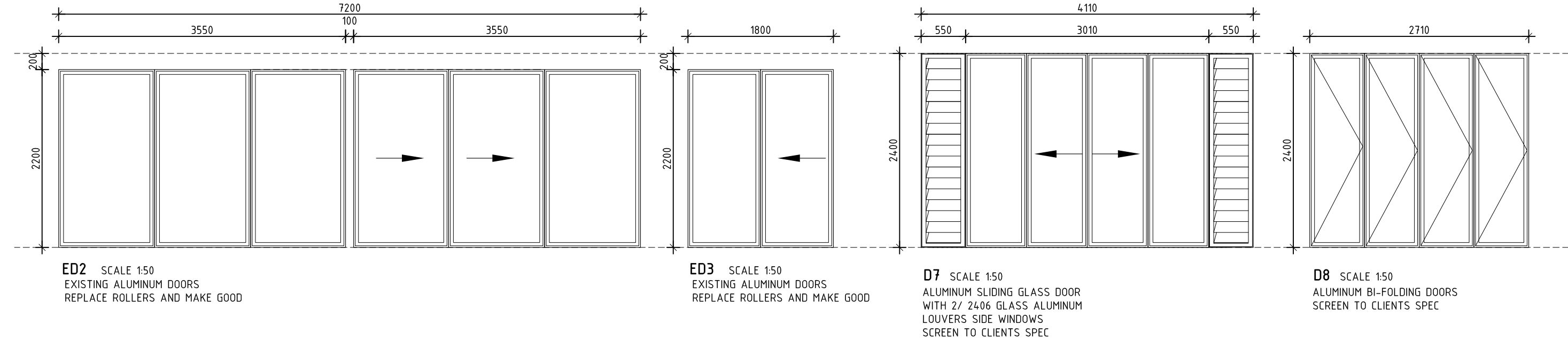
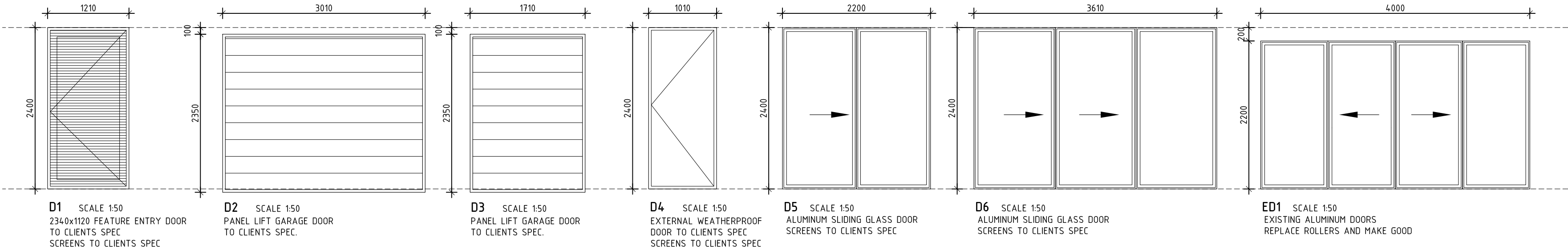
Description: PROPOSED RENOVATIONS

Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title: ELEVATIONS

Date: AUG 23    Scale: 1:100@A2

Job No: 24003    Sheet No: 005



WINDOW AND DOOR NOTE  
UNLESS OTHERWISE NOTED:  
-ALL LOUVRE BLADES TO BE 152mm U.N.O.  
-ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR  
TO MANUFACTURE.  
-ALL WINDOWS ARE VIEWED FROM THE OUTSIDE.  
-GLAZING TO AS 1288-1994. CERTIFICATE TO BE  
SUPPLIED.  
-ALL GLASS TO BE CLEAR GLASS U.N.O.  
-FRAMES POWDER COATED ALUMINIUM  
-ALL WINDOWS WITHIN THE POOL AREA TO BE  
POOL SAFETY COMPLAINT

INTERNAL DOORS  
-INTERNAL DOORS TO BE 2340mm HIGH x WIDTH  
DENOTED ON PLAN.  
-ALL DOORS TO HAVE TIMBER DOOR FRAMES.  
-WC DOOR TO BE FITTED WITH 'LIFT-OFF'  
HINGES

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AS SHOWN ON THESE DRAWINGS FOR  
CONSTRUCTION IN WIND CLASSIFICATION: C2

DATE: 10/09/2023

CMG CONSULTING  
ENGINEERS PTY LTD.

20 Winkworth Street  
Bungelore QLD 4870  
PH: 0401 793 240  
russel@fnqdesign.com

FNQ DESIGN & DRAFTING  
QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title:  
WINDOW AND DOOR SCHEDULE  
Date: AUG 23 Scale: 1:100@A2  
Job No: 24003 Sheet No: 006

WIND CLASSIFICATION - C2

ROOF PITCH - 5°

ROOF OVERHANG - 600

#### FOOTING AND SLAB NOTES

FOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWANCE BEARING PRESSURE OF 100kPa AND ASSUMED CLASS 'S' SITE

CLASSIFICATION ACCORDING TO AS. 2870.

BUILDER TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION.

-NATURAL FOUNDATIONS TO BE GRUBBED OUT AND FREE FROM ORGANIC MATTER AND DEBRIS AND COMPACTED TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIVENESS SOILS. FILL TO SLAB AND FOUNDATIONS SHALL BE AN APPROVED NON-PLASTIC MATERIAL COMPACTED IN MAX. 150mm LAYERS TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIVENESS SOILS.

-FOOTING TRENCHES SHALL BE CLEAN AND DRY AT THE TIME OF CASTING WITH ANY SOFTENED MATERIAL REMOVED. BASE OF ALL FOOTINGS TO BE FOUNDED ON FIRM NATURAL GROUND WITH MIN. SAFE BEARING CAPACITY OF 100kPa.

-N20 CONCRETE SLAB AS INDICATED ON PLAN - VIBRATE ALL CONCRETE AND CURE SLAB FOR MIN. 7 DAYS.

-CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED CHAIRS SPACED @APPROX. 750mm CRS. CONDUITS AND PIPES SHALL NOT BE PLACED WITHIN COVER CONCRETE.

-FOOTINGS SHALL NOT BE LOCATED CLOSER TO THE NEAREST EDGE OF A STORMWATER / SEWER TRENCH THAN THE DEPTH OF THE TRENCH.

-CONCRETE SPECIFICATION UNLESS NOTED OTHERWISE:

ELEMENT CONCRETE GRADE S LUMP MAX. SIZE AGG. CEMENT TYPE

FOOTING N20 80 20 GP

GROUND N20 80 20 GP

SLAB

-REINFORCEMENT NOTATION:

'N' DENOTES GRADE D500N HOT ROLLED REBAR TO AS4671

'S' DENOTES GRADE D250N HOT ROLLED REBAR TO AS4671

'R' DENOTES GRADE R500L COLD DRAWN ROUND WIRE TO AS4671

'W' DENOTES GRADE R500L COLD DRAWN ROUND WIRE TO AS4671

'DW' DENOTES GRADE D500L COLD DRAWN RIBBED WIRE TO AS4671

'RL', 'SL', 'L TM' DENOTES FRADE D500 DEFORMED WIRE MESHES TO AS4671

-ADDITIVES SHALL NOT BE USED WITHOUT THE SUPERINTENDENT'S APPROVAL

-MECHANICALLY VIBRATE CONCRETE IN THE FORM TO GIVE MAXIMUM COMPACTION WITHOUT SEGREGATION OF THE CONCRETE

-CURE CONCRETE AS REQUIRED BY SECTION 19 OF AS3600

-CONCRETE SIZES SHOWN ARE MINIMUM AND DO NOT INCLUDE APPLIED FINISHES

DO NOT REDUCE OR HOLE CONCRETE WITHOUT SUPERINTENDENT'S APPROVAL

-DO NOT PLACE CONDUITS, PIPES AND THE LIKE WITHIN THE COVER CONCRETE

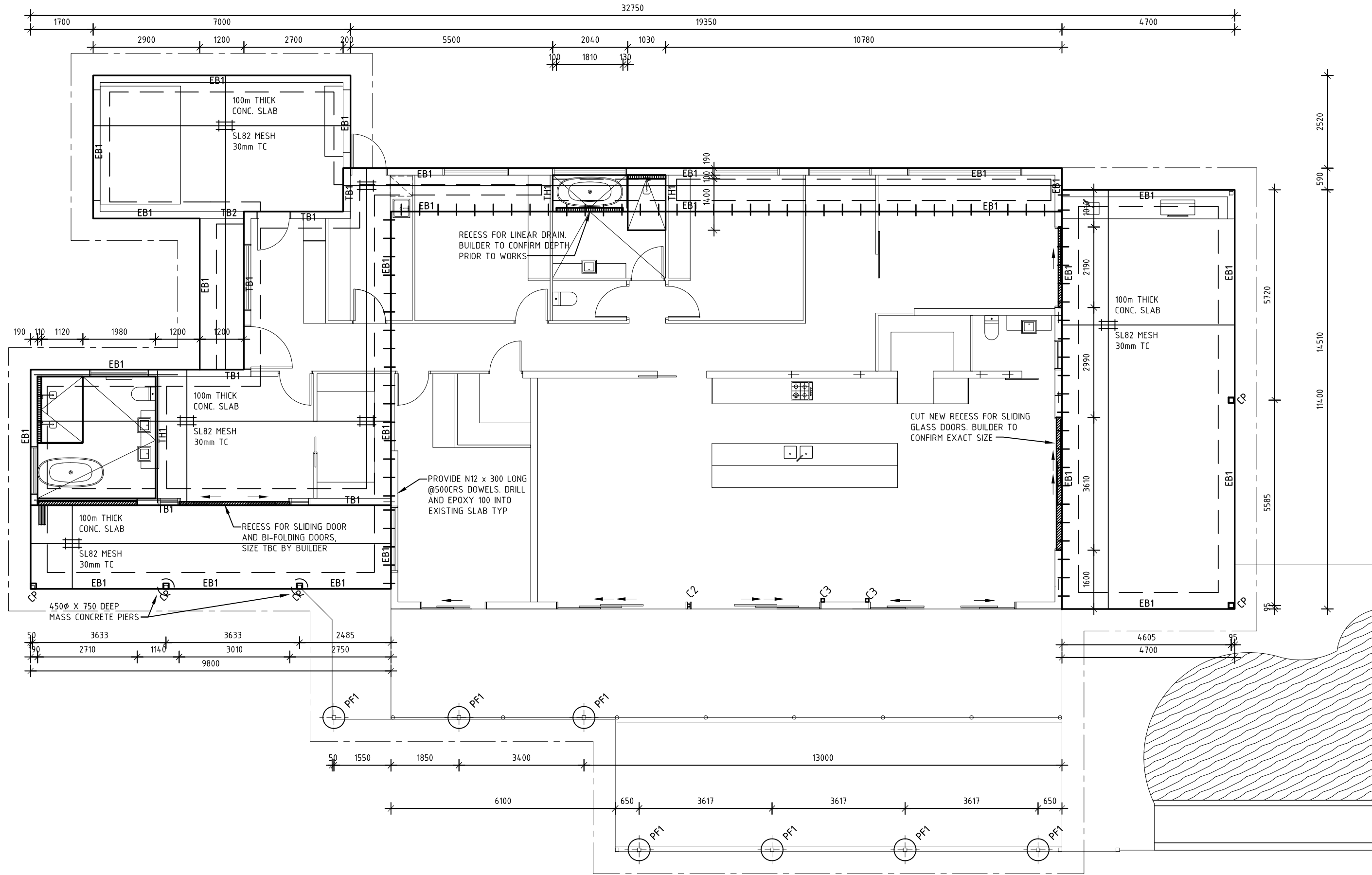
-FORMWORK SHALL GENERALLY COMPLY WITH AS3610

-STRIPPING OF FORMWORK SHALL COMPLY WITH SECTION 19 OF AS3600

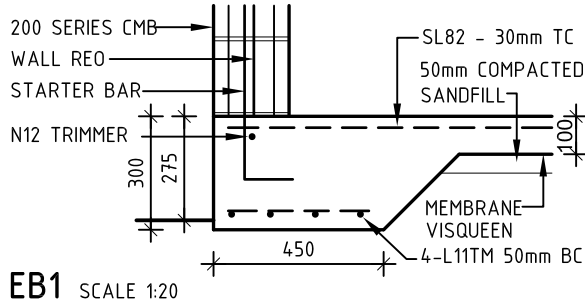
STRIPPING TIMES:

REMOVAL OF FORMS 3 DAYS

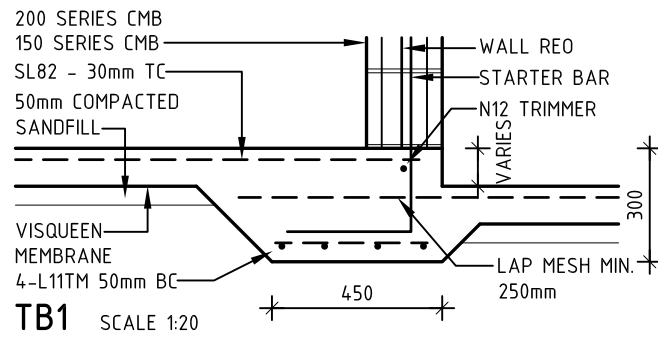
REMOVAL OF PROPS 28 DAYS



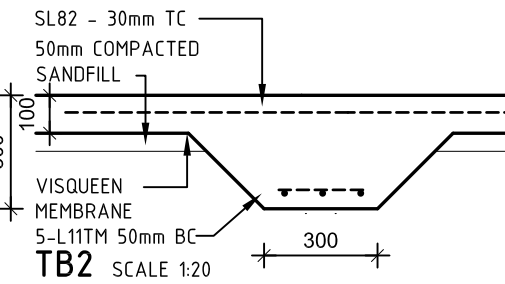
SLAB / FOOTING PLAN SCALE 1:100



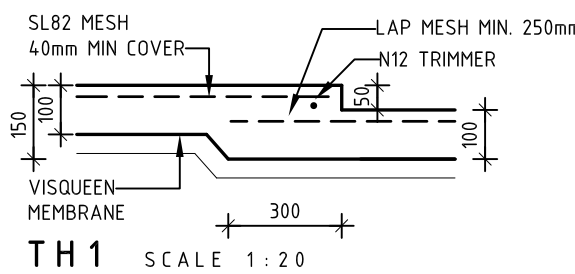
EB1 SCALE 1:20



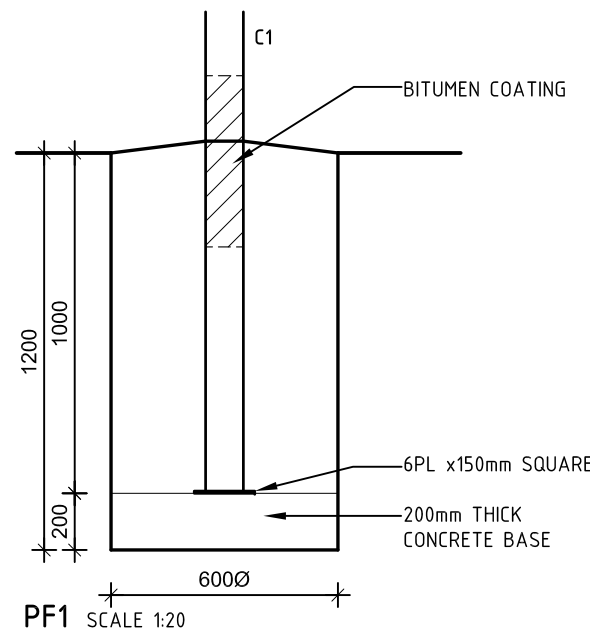
TB1 SCALE 1:20



TB2 SCALE 1:20



TH1 SCALE 1:20



PF1 SCALE 1:20

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#### AMENDMENTS:

| DATE | REV | DESCRIPTION |
|------|-----|-------------|
|      |     |             |
|      |     |             |
|      |     |             |
|      |     |             |

#### NOTE:

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- Verify all dimensions & levels prior to construction commencing.
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- All work to comply with BCA, Relevant Australian Standards & Local Authority Requirements.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: C2

DATE: 10/09/2023

CM.G. CONSULTING ENGINEERS

208 RICHMAN ST. CAIRNS QLD 4870 PH: 071 6031 2775 FAX: 071 6031 9012

20 Winkworth Street Bungalow QLD 4870 PH: 0461 793 240 russel@fnqdesign.com

FNQ DESIGN & DRAFTING QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD MOWBRAY OLD

Drawing Title: FOOTING PLAN & DETAILS

Date: AUG 23 Scale: 1:100@A2  
Job No: 24003 Sheet No: 007

|               |   |     |
|---------------|---|-----|
| ROOF OVERHANG | - | 600 |
|---------------|---|-----|



SCALE 1:20



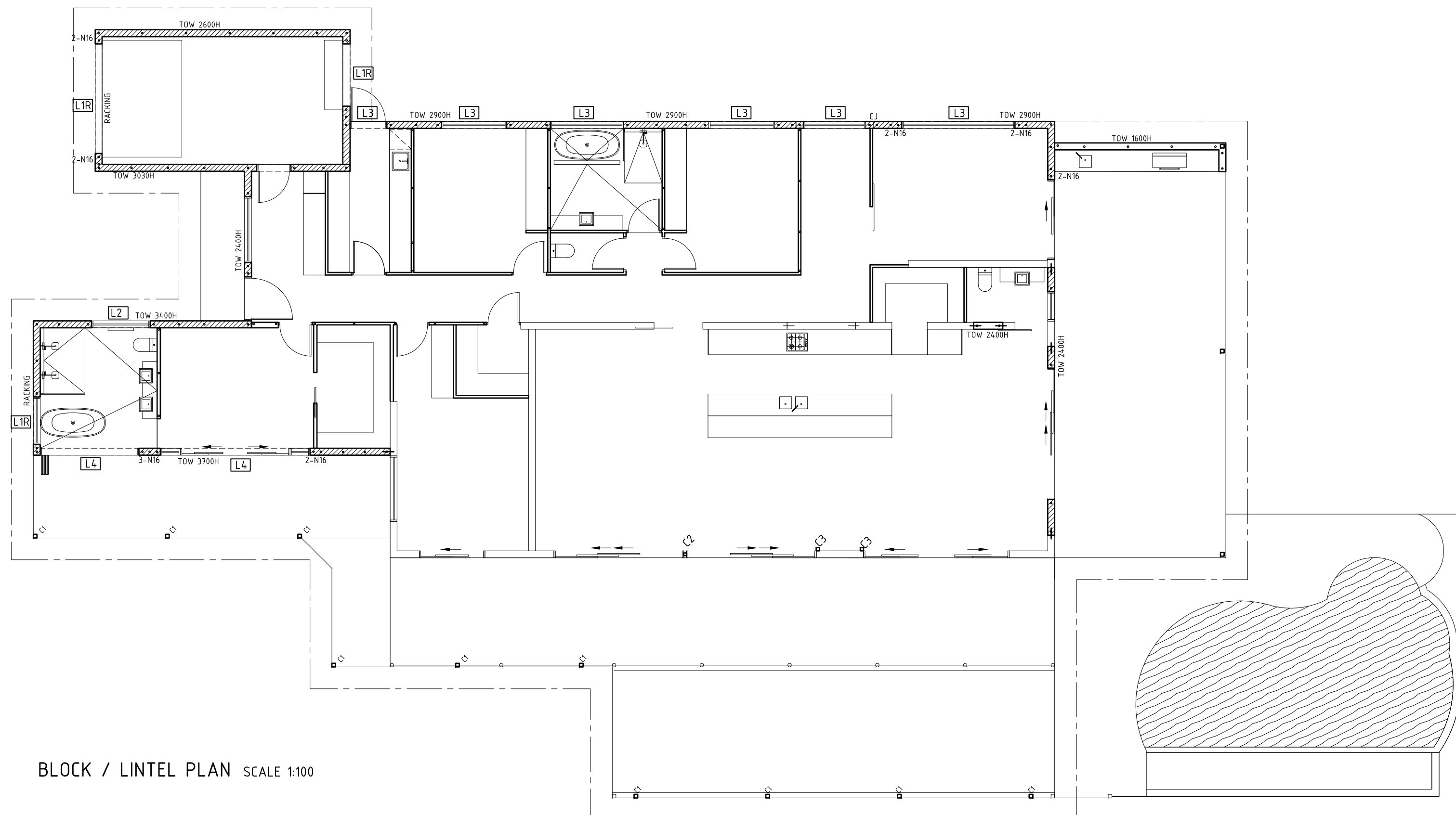
SCALE 1:20



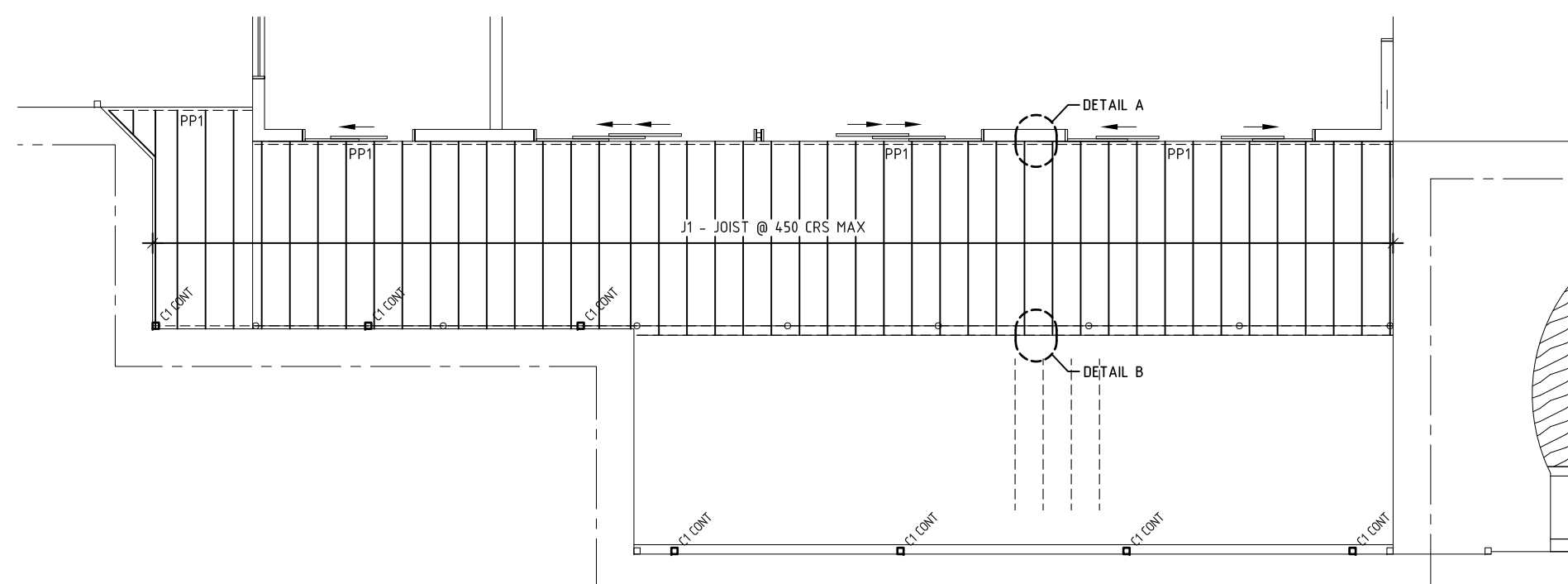
SCALE 1:20



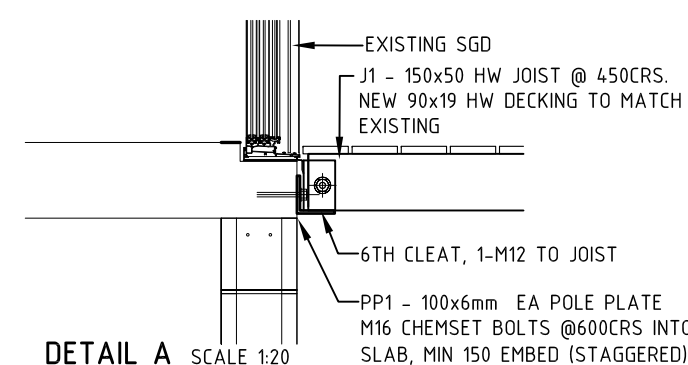
SCALE 1:20



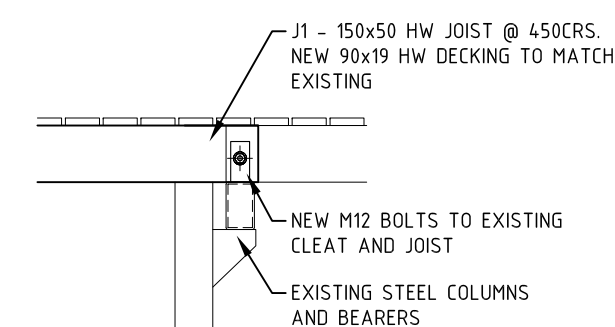
BLOCK / LINTEL PLAN SCALE 1:100



FLOOR FRAMING PLAN SCALE 1:100



DETAIL A SCALE 1:20



DETAIL B SCALE 1:20

- |     |                                 |
|-----|---------------------------------|
| C1  | 100x4mm SHS COLUMNS             |
| C2  | 75x4mm SHS COLUMN               |
| PP1 | 100x50 F14 HW POLE PLATE        |
| J1  | 150x50 F14 HW JOIST @450CRS MAX |
| RB1 | 150x100x4mm RHS ROOF BEAM       |
| SL1 | 125x75x4mm RHS STEEL LINTLS     |
| R1  | C20019 RAFTERS @ 900CRS MAX     |
| R2  | C20015 RAFTERS @ 900CRS MAX     |

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| AMENDMENTS: |     |             |
|-------------|-----|-------------|
| DATE        | REV | DESCRIPTION |
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|             |     |             |

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3. Figured dimensions take precedence over scaled dimensions.
4. All work to comply with BCA, Relevant Australian Standards & Local Authority Requirements.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS  
AS SHOWN ON THESE DRAWINGS FOR  
CONSTRUCTION IN WIND CLASSIFICATION: C2

DATE: 10/09/2023

**C.M.G. CONSULTING ENGINEERS PTY. LTD.**

208 BUCHANAN ST.  
CARNS GLD. 4  
PH. (07) 4031 2  
FAX (07) 4051

20 Winkworth Street  
Bungalow QLD 4870  
PH: 0401 793 240  
russel@fnodesign.com

**FNQ DESIGN & DRAFTING**  
QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

|                |   |
|----------------|---|
| Drawing Title: | BLOCK / LINTEL PLAN<br>FLOOR FRAMING PLAN & DETAILS |
|----------------|---|

Date: AUG 23      Scale: 1:100@A2  
Job No: 24003      Sheet No: 008





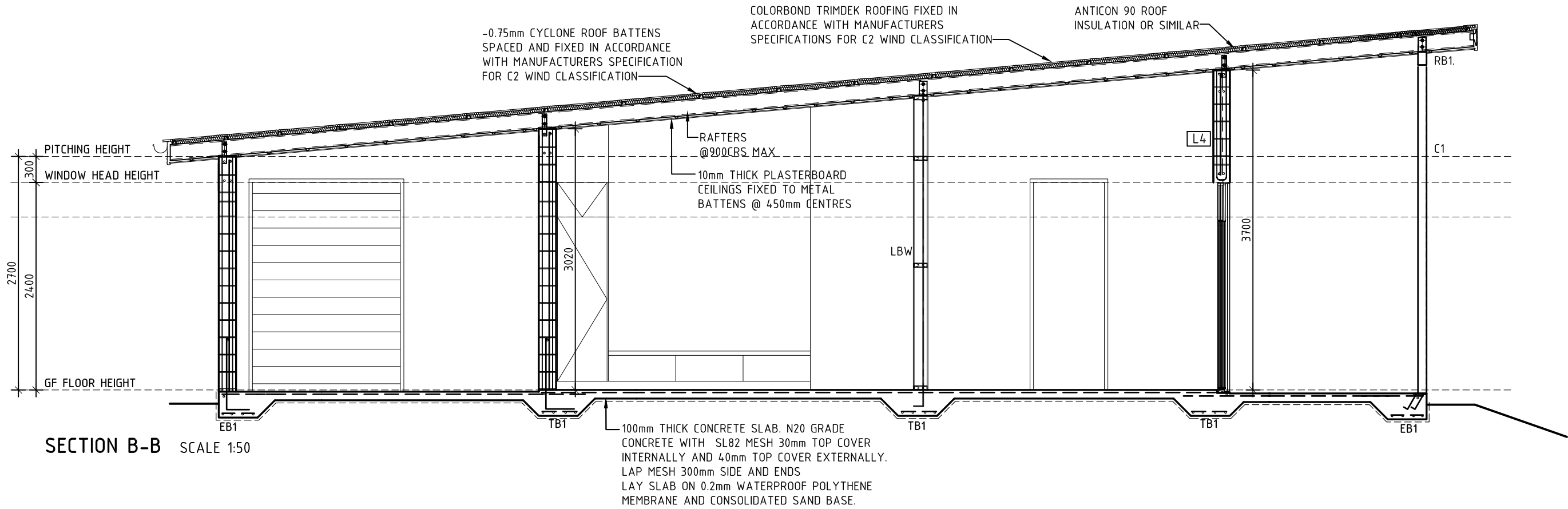
- |     |                                 |
|-----|---------------------------------|
| C1  | 100x4mm SHS COLUMNS             |
| C2  | 75x5mm SHS COLUMN               |
| C3  | 89x4.0 SHS COLUMN               |
| SC1 | 75x4mm SHS STUB COLUMNS         |
| PP1 | 100x6mm EA POLE PLATE           |
| J1  | 150x50 F14 HW JOIST @450CRS MAX |
| RB1 | 150x100x4mm RHS ROOF BEAM       |
| SL1 | 150PFC STEEL LINTELS // //      |
| R1  | C20019 RAFTERS @ 900CRS MAX     |
| R2  | C20015 RAFTERS @ 900CRS MAX     |

|                   |                 |
|-------------------|-----------------|
| Drawing Title:    |                 |
| ROOF FRAMING PLAN |                 |
| Date: AUG 23      | Scale: 1:100@A2 |
| Job No: 24003     | Sheet No: 009   |

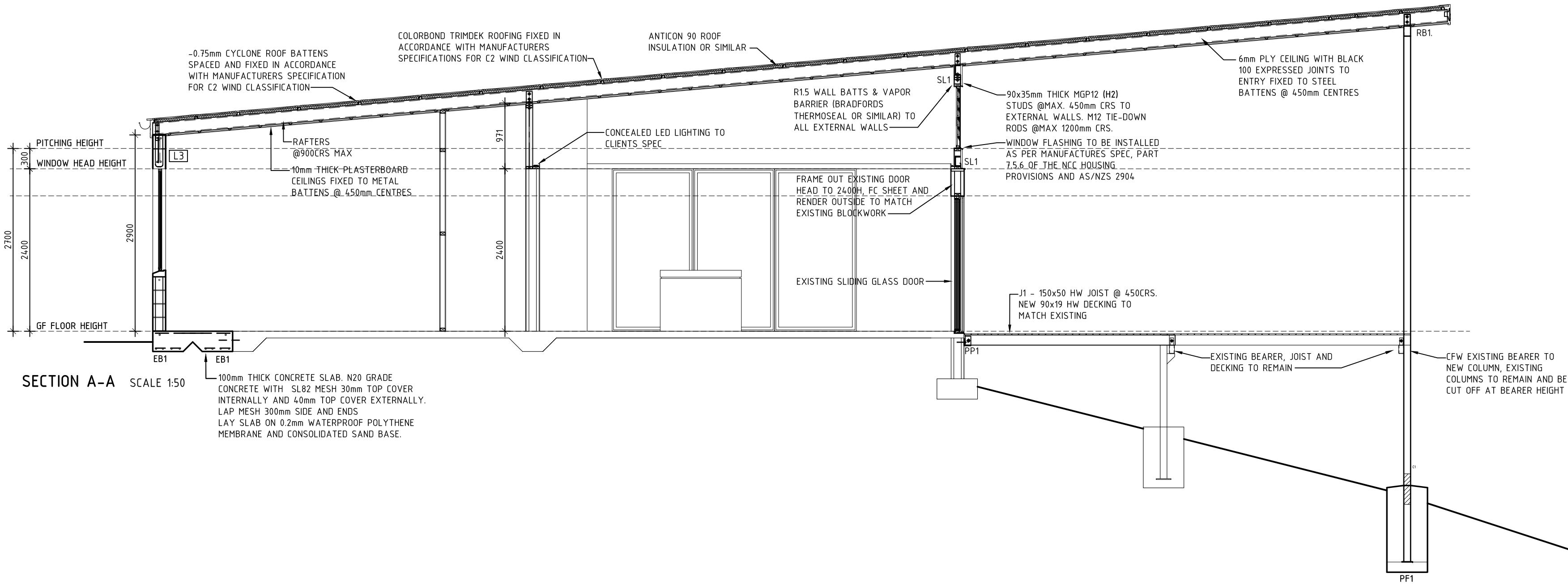
WIND CLASSIFICATION - C2 | ROOF PITCH - 5° | ROOF OVERHANG - 600

**ROOF FRAMING**  
**ROOF BRACING**  
METAL STRAP BRACING TO TRUSS MANUFACTURER'S DESIGN  
**ROOF BATTENS**  
-SIZE, SPACING AND FIXING TO TILE MANUFACTURERS SPECIFICATION FOR C2 WIND RATING  
**BATTEN FIXINGS**  
-IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS  
**ROOF FIXING**  
**GENERAL**  
-LAPS, FLASHINGS AND GENERAL INSTALLATION IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION

**STEELWORK**  
-GENERALLY IN ACCORDANCE WITH AS 4100, AS 1554.1 AND AS 1538  
-UNLESS NOTED OTHERWISE, THE FOLLOWING MATERIALS SHALL BE USED:  
A) HOT ROLLED SECTIONS GRADE C300 PLUS TO AS 3679.1  
B) STEEL HOLLOW SECTIONS GRADE C350 TO AS 1163  
C) COLD FORMED STEEL SECTIONS GRADE 450 TO AS 1397  
D) BOLTS GRADE 4.6/S TO AS 1111 GENERALLY AND GRADE 8.8/S TO AS 1252  
E) GALVANIZED BOLTS TO AS 1214  
F) WELDING TO COMPLY WITH AS 1554.1  
-UNLESS NOTED OTHERWISE USE:  
A) 10mm THICK CLEATS, GUSSETS, FINS AND END PLATES  
B) ALL BOLTS TO BE GALVANIZED TO AS 1214  
C) 6mm CONTINUOUS FILLET WELDS TO AS 1554.1



|     |                                 |
|-----|---------------------------------|
| C1  | 100x4mm SHS COLUMNS             |
| C2  | 75x5mm SHS COLUMN               |
| C3  | 89x4.0 SHS COLUMN               |
| SC1 | 75x4mm SHS STUB COLUMNS         |
| PP1 | 100x6mm EA POLE PLATE           |
| J1  | 150x50 F14 HW JOIST @450CRS MAX |
| RB1 | 150x100x4mm RHS ROOF BEAM       |
| SL1 | 150PFC STEEL LINTELS            |
| R1  | C20019 RAFTERS @ 900CRS MAX     |
| R2  | C20015 RAFTERS @ 900CRS MAX     |



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**AMENDMENTS:**

| DATE | REV | DESCRIPTION |
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WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: C2

DATE: 10/09/2023

**CMG CONSULTING**  
ENGINEERS PTY LTD

208 BUCHANAN ST.  
CAIRNS QLD 4850  
PH: (07) 4031 7775  
FAX: (07) 4031 9003

20 Winkworth Street  
Bungalow QLD 4870  
PH: 0401 793 240  
russett@fnqdesign.com

**FNQ DESIGN & DRAFTING**  
QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title:

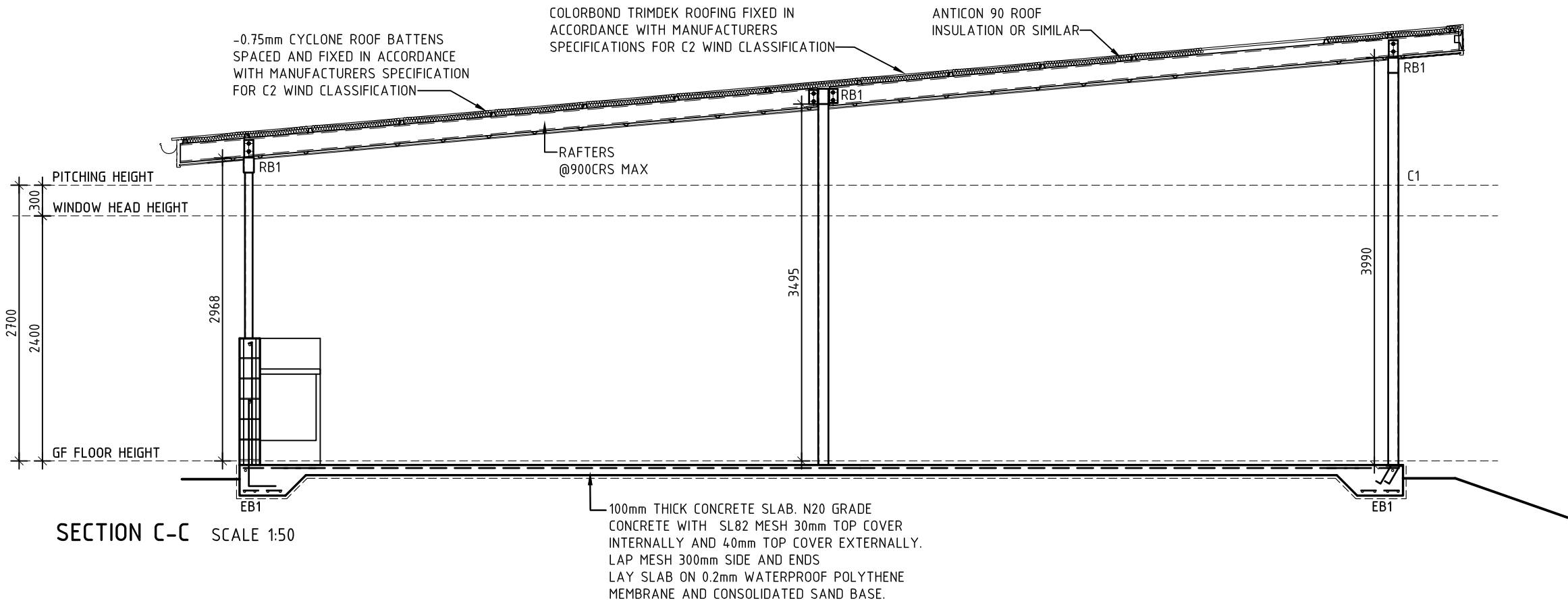
SECTION SHEET 1

Date: AUG 23  
Job No: 24003  
Scale: 1:50@A2  
Sheet No: 010

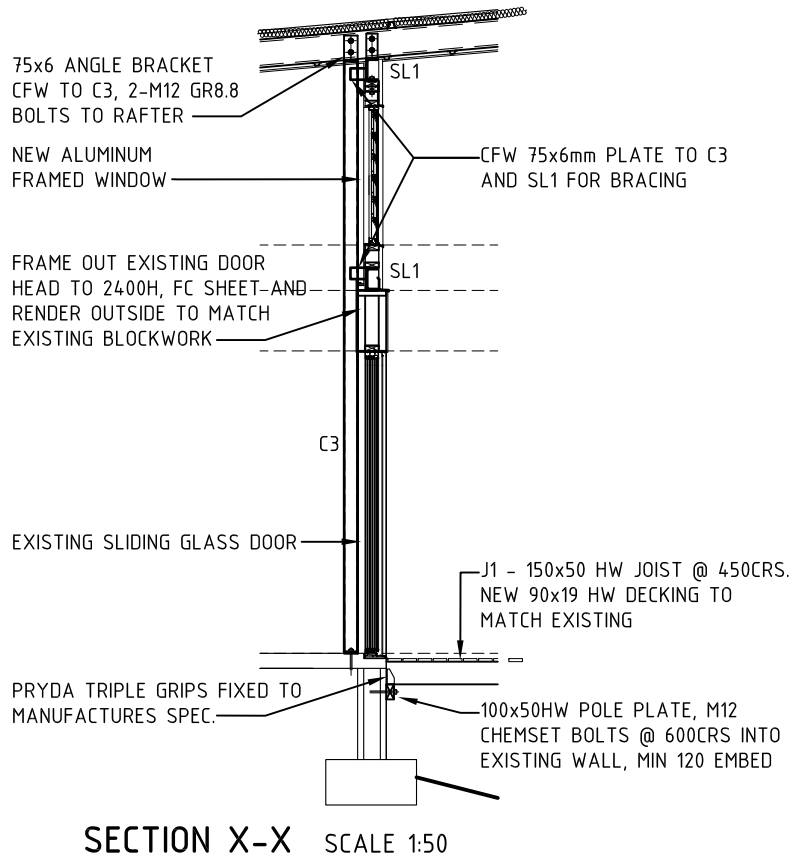
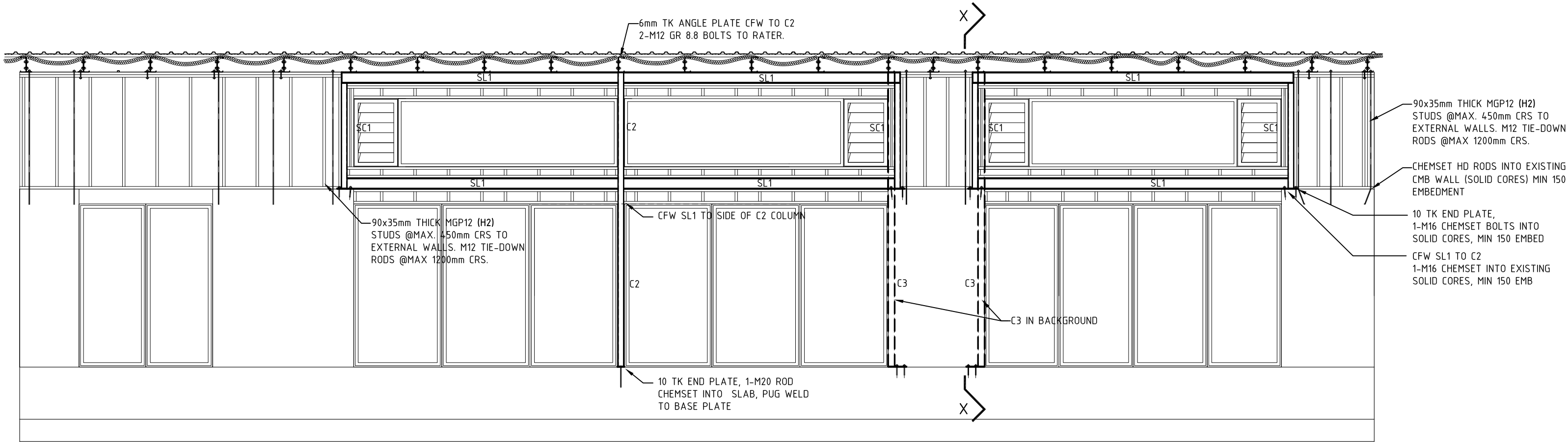
WIND CLASSIFICATION - C2    ROOF PITCH - 5°    ROOF OVERHANG - 600/900

**ROOF FRAMING**  
**ROOF BRACING**  
METAL STRAP BRACING TO TRUSS MANUFACTURER'S DESIGN  
**ROOF BATTENS**  
-SIZE, SPACING AND FIXING TO TILE MANUFACTURERS SPECIFICATION FOR C2 WIND RATING  
**BATTEN FIXINGS**  
-IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS  
**ROOF FIXING**  
**GENERAL**  
-LAPS, FLASHINGS AND GENERAL INSTALLATION IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION

**STEELWORK**  
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B) ALL BOLTS TO BE GALVANIZED TO AS 1214  
C) 6mm CONTINUOUS FILLET WELDS TO AS 1554.1



- C1 100x4mm SHS COLUMNS  
C2 75x5mm SHS COLUMN  
C3 89x4.0 SHS COLUMN  
SC1 75x4mm SHS STUB COLUMNS  
  
PP1 100x6mm EA POLE PLATE  
  
J1 150x50 F14 HW JOIST @450CRS MAX  
  
RB1 150x100x4mm RHS ROOF BEAM  
SL1 150PFC STEEL LINTELS  
  
R1 C20019 RAFTERS @ 900CRS MAX  
R2 C20015 RAFTERS @ 900CRS MAX



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**AMENDMENTS:**

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DATE: 10/09/2023

CMG CONSULTING ENGINEERS PTY LTD

208 BUCHANAN ST. CAIRNS QLD 4870  
PH: (07) 4031 7775  
FAX: (07) 4031 9075

20 Winkworth Street  
Bungalow QLD 4870  
PH: 0401 793 240  
russet@fnqdesign.com

FNQ DESIGN & DRAFTING  
QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

**Drawing Title:**

SECTION SHEET 2

Date: AUG 23  
Job No: 24003  
Scale: 1:50@A2  
Sheet No: 011

POWER LEGEND

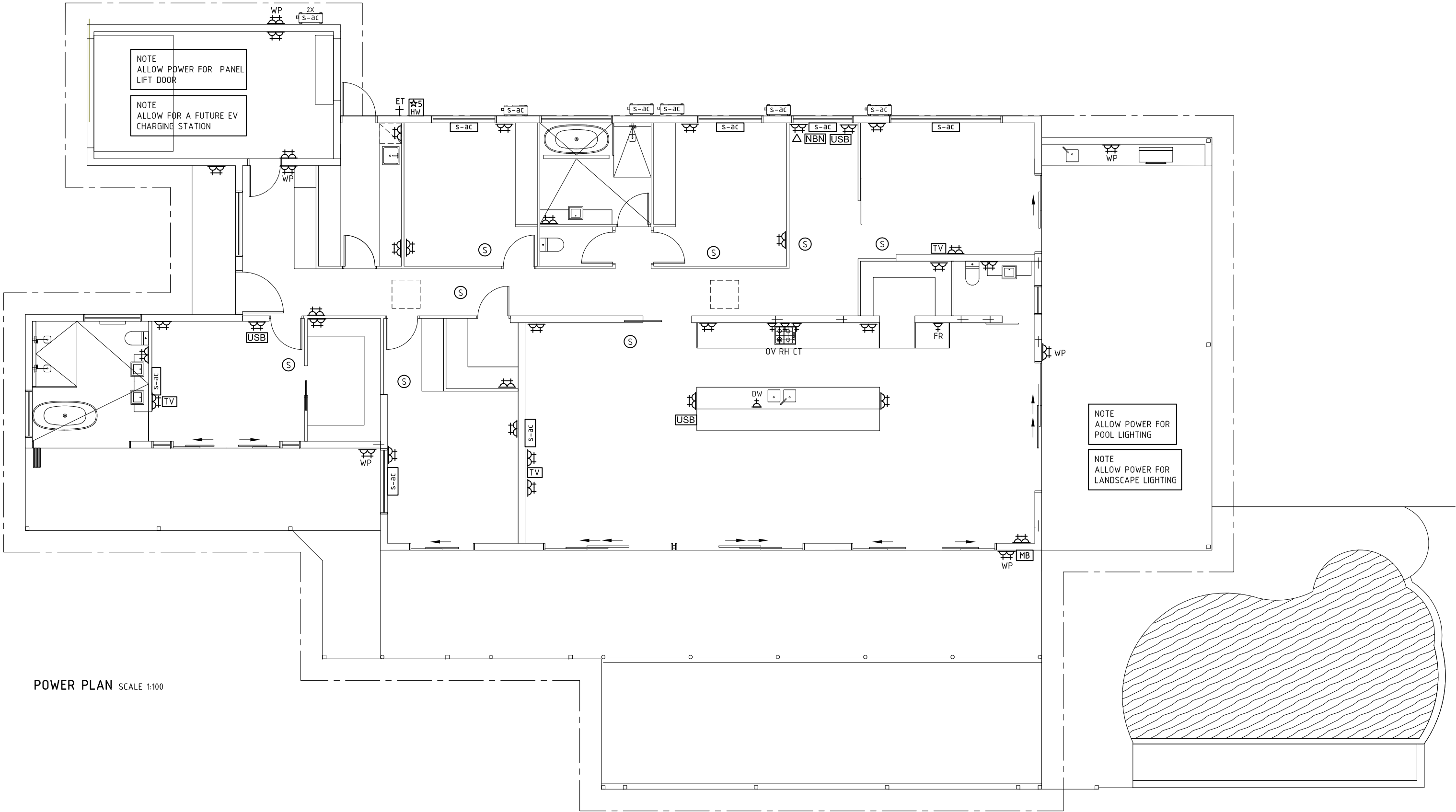
| SYMBOL | DESCRIPTION                             | QUANTITY |
|--------|---|----------|
|        | SINGLE GPO                              |          |
|        | DOUBLE GPO                              |          |
|        | WATER PROOF DOUBLE GPO                  |          |
|        | TELEVISION OUTLET                       |          |
|        | METER BOX                               |          |
|        | TELEPHONE OUTLET                        |          |
|        | USB POWER CHARGER                       |          |
|        | DENOTES SOLAR HOT WATER SYSTEM LOCATION |          |
|        | DENOTES GAS BOTTLES                     |          |

APPLIANCES CODES

ct - COOKTOP  
fr - FRIDGE  
w/o - WALL OVEN  
dw - DISHWASHER  
mw - MICROWAVE

GENERAL NOTE

ELECTRICIAN TO WALK  
ROUND SITE WITH CLIENT  
TO CONFIRM LIGHTING AND  
POWER POSITIONS PRIOR  
TO COMMENCING WORKS



POWER PLAN SCALE 1:100

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AMENDMENTS:

| DATE | REV | DESCRIPTION |
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DATE: 10/09/2023

CMG. CONSULTING ENGINEERS PTY LTD.

208 BUCHANAN ST.  
CAIRNS QLD 4870  
PH: (07) 4001 2700  
FAX: (07) 4001 9913

20 Winkworth Street  
Bongawla QLD 4870  
PH: 0401 793 240  
russell@fnqdesign.com

FNQ DESIGN & DRAFTING  
QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title:

POWER PLAN

Date: AUG 23  
Job No: 24003

Scale: 1:100@A2  
Sheet No: 012



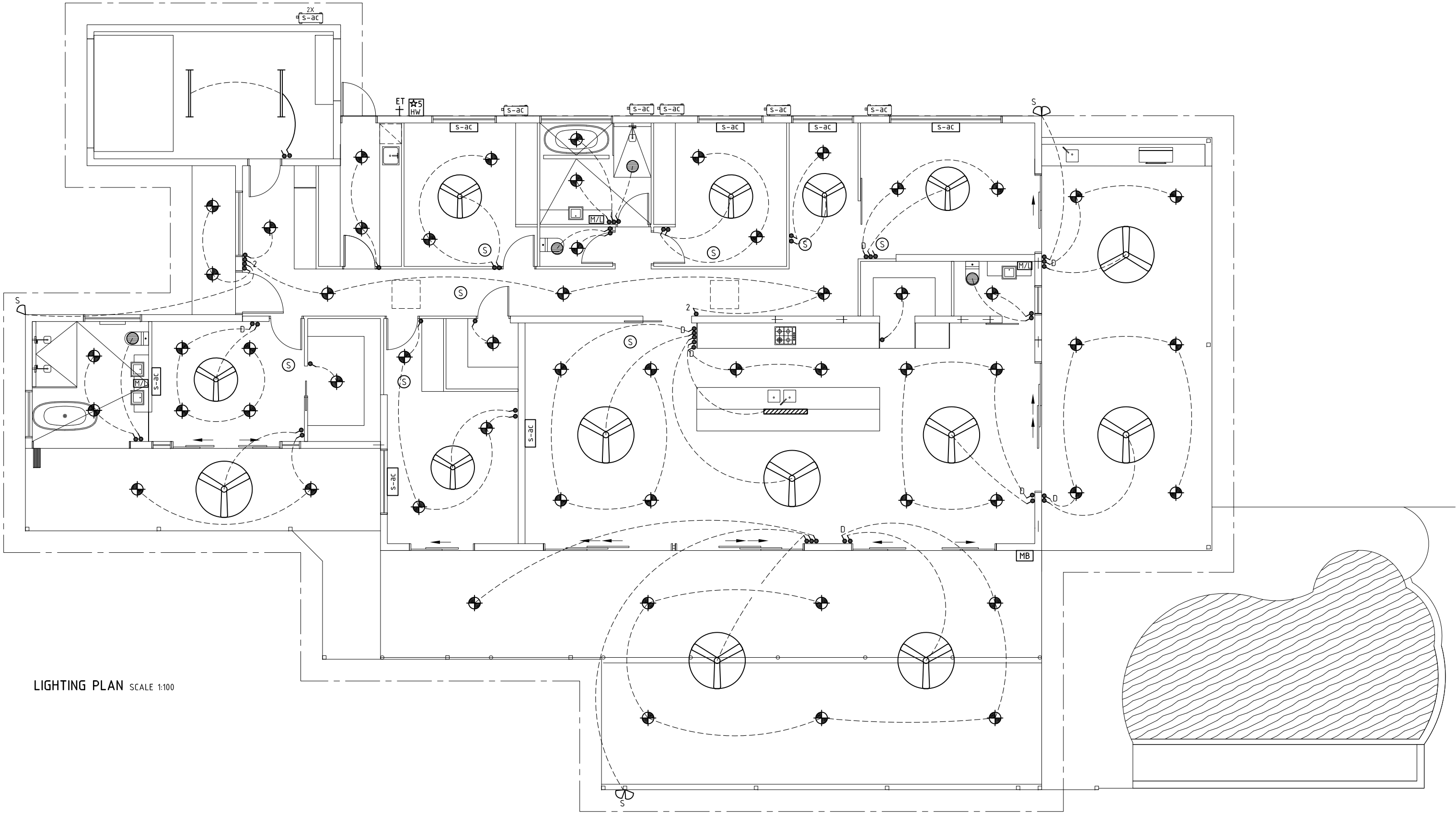
| LIGHTING LEGEND |                                |          |
|-----------------|--------------------------------|----------|
| SYMBOL          | DESCRIPTION                    | QUANTITY |
|                 | EXTERNAL SPOTLIGHT             |          |
|                 | EXTERNAL SPOTLIGHT WITH SENSOR |          |
|                 | RECESSED LED DOWNLIGHT         |          |
|                 | LED STRIP LIGHTING             |          |
|                 | RECESSED LED EAVE DOWNLIGHT    |          |
|                 | EXTERNAL BUNKER LIGHT          |          |
|                 | HEATER / DOWNLIGHT COMBO       |          |
|                 | FEATURE LIGHT                  |          |
|                 | 4ft FLURO 36watt WITH DIFFUSER |          |
|                 | CEILING FAN                    |          |
|                 | SMOKE DETECTOR                 |          |
|                 | EXHAUST FAN                    |          |
|                 | SWITCH                         |          |
|                 | 2-WAY SWITCH                   |          |
|                 | DIMMER SWITCH                  |          |

APPLIANCES CODES

- ct - COOKTOP
- fr - FRIDGE
- w/o - WALL OVEN
- dw - DISHWASHER
- mw - MICROWAVE

GENERAL NOTE

ELECTRICIAN TO WALK  
ROUND SITE WITH CLIENT  
TO CONFIRM LIGHTING AND  
POWER POSITIONS PRIOR  
TO COMMENCING WORKS



LIGHTING PLAN SCALE 1:100

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AMENDMENTS:

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DATE: 10/09/2023

CMG CONSULTING ENGINEERS PTY LTD.

208 BUCHANAN ST.  
CAPE TOWN 7701  
PH: 021 4501 2701  
FAX: 021 4501 9913

20 Winkworth Street  
Bongahwa QLD 4870  
PH: 0401 793 240  
russell@fnqdesign.com

FNQ DESIGN & DRAFTING  
QBCC Licence No. 1117748

Clients Name: EASTBUILD  
Description: PROPOSED RENOVATIONS  
Address: 268 MOWBRAY RIVER ROAD  
MOWBRAY QLD

Drawing Title:

LIGHTING PLANS

Date: AUG 23  
Job No: 24003

Scale: 1:100@A2  
Sheet No: 013

m: 0448 377 172 a: Po Box 1083, Tolga 4882

07<sup>th</sup> November 2023

Douglas Shire Regional Council  
PO Box 359  
CAIRNS Q 4870

Attention: Planning Section

Dear Sir/Madam,

**Re: Proposed dwelling additions at Lot 25 / SP 108625 - 268 Mowbray River Road Mowbray**

Baker Building Certification has been engaged to assess an application for the proposed dwelling additions on the abovementioned allotment. A preliminary assessment of the proposal has indicated that the proposed additions triggers assessment against the hillslopes overlay code as outlined in the Douglas Shire Planning Scheme 2018.

**Applicant:** Eastbuild Designer Homes, c/ Baker Building Certification.

**8.2.5.3 Hillslopes Overlay code**

| Performance outcomes   | Acceptable outcomes  | Applicant response   |
|--|--|--|
| <b>For self-assessable and assessable development</b>  |  |  |
| <b>PO1</b><br><br>The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region. | <b>AO1.1</b><br><br>Development is located on parts of the site that are not within the Hillslopes constraint subcategory as shown on the Hillslopes overlay Maps contained in schedule 2. | <b>Proposed</b><br><br>The dwelling additions will be located within the Hillslopes constraint, the proposed building pad is cleared flat and level from the existing benching of the site many years ago during the original ROL. No vegetation is required to be removed and the proposed colours of the additions are darker shades which will blend in with the scenic backdrop of the area, in effect reducing any impact on the surrounding neighbourhood. The proposed dwelling additions will have adequate separation from all allotment boundaries and will be densely screened from the |

| Performance outcomes   | Acceptable outcomes  | Applicant response  |
|--|--|---|
|  |  | surrounding allotments dwellings by the existing vegetation on site.  |
| <b>PO2</b><br><br>The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region. | <b>A02.1</b><br><br>Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) or<br><br><b>A02.2</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.<br><br><b>A02.3</b> Access ways and driveways are:<br><br>(a) constructed with surface materials that blend with the surrounding environment;<br><br>(b) landscaped with dense planting to minimise the visual impact of the construction;<br><br>(c) provided with erosion control measures immediately after construction.<br><br><b>A02.4</b> The clearing or disturbance of vegetation is limited to clearing and disturbance that:<br><br>(a) is necessary for the construction of driveways;<br><br>(b) is necessary to contain the proposed development;<br><br>(c) minimises canopy clearing or disturbance;<br><br>(d) minimises riparian clearing or disturbance.<br><br><b>A02.5</b> On land with slopes greater than 1 in 6 (16.6%) or greater, | <b>Complies</b><br><br>The proposed building pad of the additions is predominantly cleared flat and level from the existing benching of the site many years ago during the original ROL. No vegetation is required to be removed and the proposed colours of the additions are roof, facia and gutters is monument and the walls will be Dune.<br><br>No accessways are forming part of the approval as the driveway is existing, this approval is for dwelling additions only.<br><br>The additions will be well below the ridgeline and the colours proposed match the existing dwelling colours. No whites or reflective colours are proposed.<br><br>The structure including the additions is considered single storey. The additions have been designed to be sited and respond to the natural constraints of the land and require minimal earthwork given the proposed type of construction is post and beam. |



| Performance outcomes | Acceptable outcomes   | Applicant response |
|----------------------|---|--------------------|
|                      | <p>alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p> <p><b>A02.6</b> Development does not alter the sky line.</p> <p><b>A02.7</b> Buildings and structures:</p> <p>(a) are finished predominantly in the following exterior colours or surfaces:</p> <p>(i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape;</p> <p>(b) are not finished in the following exterior colours or surfaces: (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces.</p> <p><b>A02.8</b> Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features</p> <p><b>A02.9</b> Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p> <p><b>A02.10</b> Recreational or ornamental</p> |                    |

| Performance outcomes  | Acceptable outcomes  | Applicant response  |
|---|--|---|
|   | features (including tennis courts, ponds or swimming pools) do not occur on land:<br><br>(a) with a gradient of 1 in 6 (16.6%) or more;<br><br>(b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.   |   |
| <b>PO3</b> Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through:<br><br>(a) loss of privacy;<br><br>(b) loss of access to sunlight;<br><br>(c) intrusion of visual or overbearing impacts;<br><br>(d) complex engineering solutions. | <b>A03</b> Excavation or fill:<br><br>(a) is not more than 1.2 metres in height for each batter or retaining wall;<br><br>(b) is setback a minimum of 2 metres from property boundaries;<br><br>(c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping;<br><br>(d) does not exceed a maximum of 3 batters and 3 berms (i.e. not greater than 3.6 metres in height) on any one lot. | <b>Complies</b><br><br>The additions have been designed to be sited and respond to the natural constraints of the land and require minimal earthwork given the proposed type of construction is post and beam.<br><br>No retaining or batters are proposed as the existing building pad is cleared from the existing benching of the site many years ago during the original ROL. |

**Recommendation**

The proposed request generally appears to satisfy the performance criteria sought from Douglas Shire Planning Scheme; it could be considered acceptable to approve the request for the proposed dwelling additions at 268 Mowbray River Road Mowbray within the hillslopes overlay.

Should you have any further queries please do not hesitate to contact the Officer involved Aaron Sweeney on 0437127724 or aaron@bakerbuildingcert.com.au

Yours faithfully.

Prepared by Aaron Sweeney A1215391



Baker Building Certification.