

DA Form 1 – Development application details

Approved form (version 1.4 effective 15 December 2023) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	SCOTT & KATHRYN JENNI
Contact name (only applicable for companies)	
Postal address (P.O. Box or street address)	9 GRAYS CREEK TERRACE
Suburb	MOWBRAY
State	QLD
Postcode	4877
Country	AUSTRALIA
Contact number	0409270065
Email address (non-mandatory)	scottwjenni@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	



Queensland
Government

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		9	GRAYS CREEK TERRACE	MOWBRAY
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	3	RP843593	DOUGLAS SHIRE
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

<input checked="" type="checkbox"/> Coordinates of premises by longitude and latitude				
Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)	
145.48375 E	16.5797 S	<input checked="" type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	DOUGLAS SHIRE	
<input type="checkbox"/> Coordinates of premises by easting and northing				
Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer
Name of water body, watercourse or aquifer:
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>
Lot on plan description of strategic port land:
Name of port authority for the lot:
<input type="checkbox"/> In a tidal area
Name of local government for the tidal area (if applicable):
Name of port authority for tidal area (if applicable):
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? (tick only one box)

☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☒ Building work

b) What is the approval type? (tick only one box)

☐ Development permit ☐ Preliminary approval ☒ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☒ Code assessment ☐ Impact assessment (requires public notification)

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

BUILDING A SHED/GARAGE 3m FROM BOUNDARY

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.

☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? (tick only one box)

☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☒ Building work

b) What is the approval type? (tick only one box)

☐ Development permit ☐ Preliminary approval ☒ Preliminary approval that includes a variation approval

c) What is the level of assessment?

☒ Code assessment ☐ Impact assessment (requires public notification)

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

BUILDING A 10x15meter SHED

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.

☒ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete DA Form 2 – Building work details

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

☐ Yes

☐ No

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

☐ Yes – provide additional details below

☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: _____ | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

☐ Yes – specify number of new lots: _____

☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ _____

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

DOUGLAS SHIRE COUNCIL

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016**:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity
- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the local government:

☐ Airport land

☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*

☐ Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual

☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

☐ Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*

☐ Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the Chief Executive of the relevant port authority:

☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the Gold Coast Waterways Authority:

☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the Queensland Fire and Emergency Service:

☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

☐ Yes – referral response(s) received and listed below are attached to this development application

☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below

☒ No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:	Proposed ERA threshold:
Proposed ERA name:	

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

☐ Yes – *Form 69: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application

☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the *Planning Regulation 2017*?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.dps.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrm.qld.gov.au for further information.

DA templates are available from <https://planning.dnrm.qld.gov.au>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dnrm.qld.gov.au>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrm.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
☒ No

Note: See guidance materials at www.dnrm.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (only required if application involves prescribed tidal work)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:

Place ID:

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the *Transport Infrastructure Act 1994*

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of *DA Form 2 – Building work details* have been completed and attached to this development application

☒ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see *DA Forms Guide: Planning Report Template*.

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see *DA Forms Guide: Relevant plans*.

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

DA Form 2 – Building work details

Approved form (version 1.1 effective 22 JUNE 2018) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **Involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development**, use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	SCOTT & KATHRYN JENNI
Contact name (only applicable for companies)	SCOTT JENNI
Postal address (PO Box or street address)	9 GRAYS CREEK TERRACE
Suburb	MOWERAY
State	QLD
Postcode	4877
Country	AUSTRALIA
Contact number	0409270065
Email address (non-mandatory)	scottwjenni@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), OR	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jelly, pontoon. All lots must be listed).	



Queensland
Government

Unit No.	Street No.	Street Name and Type	Suburb
	9	GRAYS CREEK TERRACE	MOWBRAY
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4877	3	RP843593	DOUGLAS SHIRE

2.2) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the DA Forms Guide.

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

☐ Yes – proceed to 8)

☒ No

5) Identify the assessment manager(s) who will be assessing this development application

DOUGLAS SHIRE COUNCIL

6) Has the local government agreed to apply a superseded planning scheme for this development application?

☐ Yes – a copy of the decision notice is attached to this development application

☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

☒ No

7) Information request under Part 3 of the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the DA Forms Guide.

8) Are there any associated development applications or current approvals?

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.das.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	

Postal address (P.O. Box or street address)	
Suburb	
State	
Postcode	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	JOHN LEWIS
Contact name (applicable for companies)	HH050
QBCC licence or owner – builder number	1111050
Postal address (P.O. Box or street address)	22 GRAYS CREEK TERRACE
Suburb	MOWBRAY
State	QLD
Postcode	4877
Contact number	0466456022
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

16) Provide details about the proposed building work

a) What type of approval is being sought?

☒ Development permit

☐ Preliminary approval

b) What is the level of assessment?

☒ Code assessment

☐ Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

☒ New building or structure

☐ Change of building classification (involving building work)

☐ Demolition

☐ Repairs, alterations or additions

☐ Swimming pool and/or pool fence

☐ Relocation or removal

d) Provide a description of the work below or in an attached schedule.

BUILD A SHED

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		

Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)			
g) New building use/classification? (if applicable)			
10a			
h) Relevant plans			
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .			
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application			

17) What is the monetary value of the proposed building work? \$ 60,000

18) Has Queensland Home Warranty Scheme Insurance been paid?

☐ Yes – provide details below

☒ No

Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or

- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternate chosen assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)	
New building use/classification?	
Site area (m ²)	Floor area (m ²)

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
2. THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR STRUCTURAL ENGINEERING PURPOSES ONLY. IN ALL OTHER MATTERS THE CONTRACTOR APPROVES THE ARCHITECT'S DRAWINGS AND TAKE PRECEDENCE. ALL DISCREPANCIES THAT COULD RESULT IN CHANGES TO THE STRUCTURAL DETAILS SHALL BE REFERRED TO THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
IF IN DOUBT - ASK.
3. CONSTRUCTION FROM THESE DRAWINGS AND ASSOCIATED CONSULTANTS' DRAWINGS SHALL NOT COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT AUSTRALIAN STANDARDS AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES AND THE NCC EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
5. ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR ON SITE. ENGINEERS' DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
6. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR TO KEEP WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
7. THE CONTRACTOR SHALL GIVE 48 HOURS NOTICE FOR ALL ENGINEERING INSPECTIONS.
8. UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.

1. THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND LOCAL GOVERNMENT ORDINANCES FOR THE FOLLOWING DESIGN CRITERIA :

DESIGN LOADS		
AREA	LIVE LOAD	SUPERIMPOSED DEAD LOAD
GENERAL	1.5 kPa	NIL
ROOF	0.25 kPa	NIL

2. WIND
WIND LOADS ARE IN ACCORDANCE WITH AS1170.2 AS FOLLOWS:
DESIGN WIND VELOCITY ($V_{w,d}$) 61 m/s
REGION C
WIND CLASSIFICATION C2
TERRAIN CATEGORY 2.5
BCA STRUCTURE IMPORTANCE LEVEL 2
3. CONCRETE ELEMENTS HAVE BEEN DESIGNED FOR THE FOLLOWING DURABILITY EXPOSURE TO AS 3600 (B1 EXPOSURE U.N.O.)
EXTERNAL B1
FOOTINGS B1
4. FOOTINGS
ASSUMED 100 kPa ALLOWABLE BEARING PRESSURE AND 25 kPa SKIN FRICTION.
CONTRACTOR SHALL CONFIRM ON SITE.

1. CONSTRUCTION WORK UNDERTAKEN BY THE BUILDER/CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE WORK PLACE HEALTH AND SAFETY ACT.
2. CONSTRUCTION ACTIVITY CAN BE HAZARDOUS. POTENTIAL SAFETY HAZARDS CONSIDERED BY THE DESIGNERS TO HAVE A HIGHER RISK THAN NORMAL CONSTRUCTION ACTIVITY ARE IDENTIFIED WITH APPROPRIATE NOTATION ON THE DRAWINGS. IT SHOULD BE NOTED THAT DESIGNERS HAVE A LOWER LEVEL OF UNDERSTANDING OF THE RISKS INVOLVED IN CONSTRUCTION COMPARED TO THAT OF A COMPETENT CONTRACTOR. IT IS THEREFORE ESSENTIAL THAT AN ADEQUATE SAFETY PLAN IS PREPARED BY THE CONTRACTOR FOR THE WORKS. SAFETY PLANS ARE TO BE PREPARED IN COMPLIANCE WITH THE STATUTORY REQUIREMENTS. THE DESIGNERS MAY NOT BE AWARE OF ALL SAFETY RISKS AND HAZARDS INVOLVED IN THIS PROJECT AND THE ABSENCE OF COMMENT DOES NOT IMPLY THAT THERE ARE ONLY LOW LEVEL RISKS OR HAZARDS INVOLVED IN THIS PROJECT. APPROPRIATE WORK METHOD STATEMENTS ARE TO BE PREPARED FOR ANY HIGH RISK ACTIVITY BY THE CONTRACTOR. THE DESIGNERS ARE AVAILABLE TO BE CONSULTED WHEN REQUIRED CONCERNING THEIR AREA OF CONTROL, WITH REGARD TO SAFETY.
3. PRIOR TO FABRICATION OF STEELWORK THE CONTRACTOR SHALL AGREE WITH THE ENGINEER ON AREAS OF RISK WHICH HAVE BEEN ADDRESSED BY THE DESIGN WHERE POSSIBLE AND AGREE ON SUITABLE CONSTRUCTION PROCEDURES WHERE AREAS OF RISK STILL EXIST.
4. PRIOR TO ANY FABRICATION THE CONTRACTOR SHALL HAVE COMPLETED A RISK ASSESSMENT OF ALL CONSTRUCTION PROCEDURES AND ENSURED THAT WHERE POSSIBLE, ALL RISKS HAVE BEEN ELIMINATED AND WHERE NOT POSSIBLE THEIR SAFETY PLAN HAS ADDRESSED THOSE ISSUES AND IT HAS BEEN FORMULATED AND DOCUMENTED FOR STRICT ADHERENCE DURING THE CONSTRUCTION WORKS.
5. PRIOR TO THE USE OF ANY DESIGN OR DESIGN PROCEDURE THE CONTRACTOR SHALL HAVE COMPLETED A RISK ASSESSMENT OF ALL WORK PRACTICES AND ENSURED THAT WHERE POSSIBLE ALL RISKS HAVE BEEN ELIMINATED AND WHERE NOT POSSIBLE THEIR SAFETY PLAN HAS ADDRESSED THOSE ISSUES AND IT HAS BEEN FORMULATED AND DOCUMENTED FOR STRICT ADHERENCE AFTER COMMISSIONING.

1. THE BUILDER SHALL ALLOW TO ENGAGE AN APPROVED GEOTECHNICAL ENGINEER IN ACCORDANCE WITH THE EARTHWORKS AND THE BORED PIER SECTIONS OF THE SPECIFICATIONS TO CARRY OUT ALL INSPECTIONS AND TESTING TO CERTIFY THAT THE FOUNDING MATERIAL FOR HIGH LEVEL FOOTINGS IS OF THE CAPACITY TO BEAR THE LOADS OF THE PIER WITH THAT NOMINATION IN THE DOCUMENTATION. THE CERTIFICATION IS TO BE SIGNED BY A REGISTERED PROFESSIONAL ENGINEER OF QUEENSLAND.
2. THE SLAB HAS BEEN DESIGNED AS A 'S' SITE CLASSIFICATION IN ACCORDANCE WITH AS2870. THE ENGINEER SHALL BE CONTACTED IF THE SITE CONDITIONS VARY.
3. AN ALLOWABLE BEARING PRESSURE FOR HIGH LEVEL FOOTINGS OF 100 kPa HAS BEEN ASSUMED IN THE DESIGN OF THE FOOTINGS. FOR BORED PIERS AN ULTIMATE END BEARING PRESSURE OF 100 kPa AND SKIN FRICTION OF 25 kPa HAS BEEN ASSUMED IN THE DESIGN OF THE FOOTINGS.
4. WHERE REQUIRED FOUNDING MATERIAL IS DEEPER THAN THE UNDERSIDE OF THE HIGH LEVEL FOOTINGS AS DETAILED ALLOW TO BACKFILL ADDITIONAL EXCAVATION WITH M20 CONCRETE.
5. WHERE EXCAVATION WORK IS TO BE CARRIED OUT ADJACENT TO EXISTING FOOTINGS THE EXACT LEVEL OF THE UNDERSIDE OF THE FOOTINGS SHALL BE DETERMINED BY TEST PITS PRIOR TO EXCAVATION. UNDERMINING SHALL BE CARRIED OUT AS DETAILED OR REQUIRED BY THE STRUCTURAL ENGINEER.
6. ALL FOOTING EXCAVATIONS SHALL BE FORMED AS NECESSARY WHEN EXCAVATED FACE IS NOT STABLE, DEWATERED AND CLEANED OF LOOSE AND SOFT MATERIAL PRIOR TO PLACING CONCRETE.
7. ALL WALLS AND COLUMNS SHALL BE CONCENTRIC WITH SUPPORTING FOOTINGS UNLESS NOTED OTHERWISE ON THE DRAWINGS.

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH CURRENT EDITIONS OF AS 1379, AS 3600 AND AS3610 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. REFER ALSO TO INSITU CONCRETE, FORMWORK AND REINFORCEMENT SECTION OF THE SPECIFICATIONS.
2. CONFORM WITH THE GRADE FOR PARTICULAR ELEMENTS SHALL AS NOTED ON THE DRAWINGS. SIZE OF ELEMENTS IS EXCLUSIVE OF APPLIED FINISHES. BEAMS DEPTHS INCLUDE SLAB THICKNESS.
3. AND ARE THE FIRST DIMENSION SPECIFIED, FOLLOWED BY WIDTH, UNLESS NOTED OTHERWISE ALL FORMED EDGES AND CORNERS OF CONCRETE MEMBERS SHALL HAVE 20mm CHAMFERS.
4. CONSTRUCTION JOINTS SHALL BE MADE ONLY AT APPROVED LOCATIONS, AND, IN BEAMS AND SLABS SHALL BE CONSTRUCTED WITH A SHEAR KEY TO ENGINEER'S DETAIL U.N.O. SURFACES OF CONCRETE AT ALL JOINTS SHALL BE THOROUGHLY MECHANICALLY SCABBLED, FULLY EXPOSING THE AGGREGATE MIX, UNLESS OTHERWISE NOTED.
5. ALL REINFORCEMENT SHALL BE TO AS/NZS 4671 AND REINFORCEMENT GRADE IS DESIGNATED AS FOLLOWS:
R: PLAIN ROUND BAR, GRADE 250
N: DEFORMED BAR, GRADE 500
SL/R: WIRE REINFORCING FABRIC GRADE 500
6. REINFORCEMENT SHALL BE BENT COIL IN ACCORDANCE WITH AS3600 EXCEPT WHERE APPROVED BY THE STRUCTURAL ENGINEER. NO REBENDING SHALL BE PERMITTED.
7. DO NOT CUT REINFORCEMENT ON SITE TO CLEAR PENETRATIONS. DISPLACE REINFORCEMENT SLIGHTLY AS NECESSARY TO CLEAR BLOCKOUTS.
8. CONCRETE COVER FOR ALL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS.
9. APPLY EVAPORATION RETARDER AND CURE ALL CONCRETE IN ACCORDANCE WITH THE CONCRETE SPECIFICATIONS.
10. FORMWORK SHALL REMAIN UNDISTURBED FOR THE MINIMUM STRIPPING TIMES SPECIFIED IN AS3610, UNLESS OTHERWISE APPROVED.

ELEMENT	STRENGTH GRADE	SUMP (mm)	MAX. AGGREGATE SIZE (mm)
BORED PIERS	N25	80 ± 15	20
FOOTINGS	N25	80 ± 15	20
SLAB ON GROUND	N25	80 ± 15	20
BLINDING	N7	80 ± 15	

ELEMENT	TOP (mm)	BOTTOM (mm)	SIDE (mm)
BORED PIERS	70	100	70
FOOTINGS	50	50	50
INT SLAB ON GROUND	30	50	50

1. ALL REINFORCING BARS SHALL BE GRADE D500N TO A567/1 UNLESS NOTED OTHERWISE, IT SHALL BE CUT AND BENT IN ACCORDANCE WITH AS3600. ACCEPTABLE MANUFACTURERS AND PROCESSORS OF STEEL REINFORCEMENT MUST HOLD A VALID CERTIFICATE OF APPROVAL, ISSUED BY THE AUSTRALIAN CERTIFICATION AUTHORITY FOR REINFORCING STEELS (ACRS), OR TO SUCH AN EQUIVALENT CERTIFICATION SYSTEM AS MAY BE APPROVED IN WRITING BY THE SPECIFIER. EVIDENCE OF COMPLIANCE WITH THIS CLAUSE MUST BE OBTAINED WHEN CONTRACT BIDS ARE RECEIVED. ALL MESH SHALL BE GRADE 500L TO A567/1 AND SHALL BE SUPPLIED IN FLAT SHEETS.

2. THE FIGURES FOLLOWING THE FABRIC SYMBOLS RL, SL, L, TM IS THE REFERENCE NUMBER FOR FABRIC TO A567/1.

3. REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.

4. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN POSITIONS SHOWN OR OTHERWISE APPROVED IN WRITING BY THE ENGINEER. LAPS SHALL BE IN ACCORDANCE WITH AS 3600 AND NOT LESS THAN THE DEVELOPMENT LENGTH FOR EACH BAR, AS SHOWN IN THE TABLE BELOW.

BAR DIA.	LENGTH (mm)	BAR DIA.	LENGTH (mm)
R6	300	N20	800
R10	400	N24	1000
N12	500	N28	1800
N16	600	N32	2200

4. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER. WHERE APPROVED, WELDING MUST COMPLY WITH AS1554.3 STANDARD STEEL WELDING, PART 3 : WELDING OF REINFORCING STEEL. NO WELDING IS ALLOWED WITHIN 120mm OF BENDS.
5. FABRIC SHALL BE LAPPED TWO TRANSVERSE WIRES PLUS 25mm. BUNDLED BARS SHALL BE TIED TOGETHER AT 30 BAR DIAMETER CENTRES WITH 3 WRAPS OF THE WIRE.
6. WHERE TRADES TIE BARS ARE NOT SHOWN PROVIDE N12-300 SPLICED WHERE NECESSARY AND LAP WITH MAIN BARS 400 mm UNLESS NOTED
7. JOGGLES TO BARS SHALL COMPRISE A LENGTH OF 12 BAR DIAMETERS BETWEEN BEGINNING AND END OF A OFFSET OF 1 BAR DIAMETER.
8. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1 METRE CENTRES UNDER ALL WAYS, AND 800 EACH WAY FOR FABRIC. WHEN POURED ON GROUND AS FORMWORK PROVIDE PLATES BOTH BAR CHAIRS. PLASTIC TIPPED STEEL CHAIRS SHALL NOT BE USED ON EXPOSED FACES IN EXPOSURE CLASSIFICATION B1, B2 AND C ONLY PLASTIC OR CONCRETE CHAIRS.
9. SITE BENDING OF REINFORCEMENT SHALL BE AVOIDED IF POSSIBLE. WHERE SITE BENDING IS UNAVOIDABLE IT SHALL BE CARRIED OUT WITHOUT THE APPLICATION OF HEAT, AND IN ACCORDANCE WITH THE PRACTICE NOTE NP01 OF THE STEEL REINFORCEMENT INSTITUTE OF AUSTRALIA. REINFORCEMENT SHALL NOT BE REBENT WITHOUT APPROVAL OF THE SUPERINTENDENT.
10. THE STRUCTURAL ENGINEER SHALL BE GIVEN 48 HOURS NOTICE FOR REINFORCEMENT INSPECTION AND CONCRETE SHALL NOT BE DELIVERED UNTIL FINAL APPROVAL HAS BEEN OBTAINED FROM THE STRUCTURAL ENGINEER.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH CURRENT EDITIONS OF AS4100, ASINZS 1554-1 AND 2 AND AS4500 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. REFER ALSO TO THE STRUCTURAL STEELWORK SECTION OF THE SPECIFICATIONS.

2. ALL STEEL SHALL COMPLY WITH THE FOLLOWING U.N.O. :-

- WELDED SECTION - GRADE 300 TO ASINZS 3678.2
- ROLLED SECTION - GRADE 300 TO ASINZS 3678.2
- SHS AND RHS - GRADE 350 (GRADE 450 TO AS 1163)
- CHS - GRADE 250 (GRADE 350 TO AS 1163)
- FLAT PLATE - GRADE 300 TO ASINZS 3678.2
- STANDARD PLATE - GRADE 250 TO ASINZS 367

3. THE CONTRACTOR SHALL, UNLESS SPECIFIED ELSEWHERE:

- (a) PROVIDE AND EMPLOY ANY ADDITIONAL TEMPORARY BRACING ETC. NECESSARY TO ADEQUATELY HOLD STEELWORK IN POSITION DURING CONSTRUCTION. CARRY OUT ERECTION OF STEELWORK IN ACCORDANCE WITH AS3328 GUIDELINES FOR THE ERECTION OF BUILDING STEELWORK.
- (b) PROVIDE ALL PACKS, CLEATS, BOLTS (INCL. H.D. BOLTS) ETC. REQUIRED FOR TEMPORARY AND PERMANENT ERECTION OF STEELWORK AND FOR ATTACHMENT OF TIMBER AND MISCELLANEOUS CONNECTIONS.
- (c) CONTRACTOR TO PROVIDE ALL TRIMMER GIRTS AND PURLINS AS REQUIRED TO SUPPORT WALL AND ROOF SHEETING EDGES.

4. ALL STRUCTURAL STEELWORK TO BE HOT DIP GALVANIZED, UNLESS NOTED OTHERWISE.

5. PROPRIETARY ITEMS (E.G. PURLINS, ROOF/WALL SHEETING, BOLTS ETC.) SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION. FOR LAPPED PURLINS/GIRTS USE M12 4.6/S PURLIN BOLTS AND FOR UNLAPPED PURLINS/GIRTS USE M12 4.6/S SHOULDERED PURLIN BOLTS. SHOULDERED PURLIN BOLT HEAD TO BE AGAINST COLD FORMED SECTION. ALL PURLING/GIRT BOLTS SHALL HAVE INTEGRAL WASHERS.

6. MINIMUM WELDING REQUIREMENTS IF NOT OTHERWISE SPECIFIED SHALL BE AS FOLLOWS:-

- ALL WELDS CATEGORY 1, P 6mm CONTINUOUS FILLET WELDS, WHERE REQUIRED, COMPLETE PENETRATION BUTT WELDS (P.B.W.) USING 548XX ELECTRODES WITH CATEGORY S/P. INSPECTION WITH ALL WELDS 100% VISUALLY CLEANED. ALL TO ASINZS 1554.1 UNLESS NOTED OTHERWISE. ALL WELDING SHALL BE PERFORMED BY A QUALIFIED WELDER IN ACCORDANCE WITH ASINZS 1554.1.

7. EXTENT OF WELD INSPECTION/TESTING TO BE:

- VISUAL SCANNING : 100% OF WELDS
- VISUAL EXAMINATION: 100% OF BUTT WELDS IN TENSION MEMBERS AND 50% OF OTHER WELDS.
- RADIOGRAPHIC OR ULTRASONIC: 10% OF BUTT WELDS IN TENSION MEMBERS AND 5% OF OTHER WELDS. GRIND WELDS SMOOTH AND FLUSH WITH PARENT METAL WHERE NOMINATED ON DRAWINGS.
- GRIND ONLY IN LONGITUDINAL DIRECTION OF MEMBER. WELDS TO BE INSPECTED BY INDEPENDENT NATA ACCREDITED QUALIFIED WELDING INSPECTOR TO AS2214. PROVIDE WELDING INSPECTORS REPORT TO SUPERINTENDENT

8. SITE WELDS WHERE NOTED IN THE DOCUMENTATION SHALL BE THOROUGHLY WIRE BRUSHED CLEANED AND PAINTED IN ACCORDANCE WITH THE SPECIFICATION.

9. ALL BOLTS, NUTS AND WASHERS, INCLUDING HOLD DOWN BOLTS, CAST-IN FERRULES, CAST-IN PLATES AND MASONRY ANCHORS ARE TO BE HOT DIP GALVANIZED U.N.O. ALL GALVANIZED COMPONENTS TO BE CAST INTO CONCRETE MUST BE PASSIVATED. UNLESS NOTED OTHERWISE STEEL TO STEEL CONNECTIONS ARE M20 8.8/S AND HOLD DOWN BOLTS ARE M20 4.6/S.

10. BOLT TYPES SHALL BE AS FOLLOWS:-

- * 4.6/S - COMMERCIAL BOLTS TO AS1111 AND AS1112, SNUG TIGHTENED
- * 8.8/S - HIGH STRENGTH STRUCTURAL BOLTS TO ASINZS 1252, SNUG TIGHTENED ONLY.

USE BOLTS WITH THREADS IN COMPLIANCE WITH AS1275.

USE BOLT LENGTHS SO THAT PROJECTION BEYOND NUT IS AT LEAST TWO (2) THREADS, AND NOT MORE THAN 10 mm

11. ALL STRUCTURAL STEEL FABRICATION DETAILS ARE TO BE BASED ON AISC STANDARDIZED STRUCTURAL CONNECTIONS U.N.O

12. ALL PLATES ARE TO BE 10mm THICK UNO. ALL PLATES TO BE FROM STANDARD SQUARE EDGE FLATS U.N.O.

13. THE FABRICATION AND ERECTION OF THE STRUCTURAL STEELWORK SHALL BE SUPERVISED BY A QUALIFIED PERSON EXPERIENCED IN SUCH SUPERVISION. IN ORDER TO ENSURE THAT ALL REQUIREMENTS OF THE DESIGNS ARE MET. ALL BEAMS AND RAFTERS SHALL BE FABRICATED AND ERECTED WITH NATURAL CAMBER UP. BEAMS AND TRUSSES OVER 6m SHALL BE PRECAMBERED 1 IN 500 UNLESS NOTED OTHERWISE. ALL MEMBERS SHALL BE SUPPLIED IN SINGLE LENGTHS. SPLICES SHALL ONLY BE PERMITTED IN LOCATIONS SHOWN ON THE STRUCTURAL DRAWINGS.

14. THE CONTACT SURFACES FOR HIGH STRENGTH FULLY TENSIONED BOLTED CONNECTIONS SHALL BE CLEAN "AS ROLLED" AND PAINTED. FULLY TENSION BOLTS BY THE "PART TURN METHOD OF TIGHTENING", OR BY USE OF INDICATING WASHERS.

15. GROUT TO BASE PLATES: A SPACE FOR 40mm OF 2:1 SAND:CEMENT MORTAR OF DAMP EARTH CONSISTENCY RAMMED FOR COMPACTION. ALTERNATIVELY USE NON-SHRINK GROUT APPLIED TO MANUFACTURER'S SPECIFICATIONS.

16. COATING REPAIRS: REINSTATE COATING TO DAMAGED AREAS TO PROTECTIVE COATINGS SPECIFICATION. FIELD WELD REPAIRS: DO NOT WELD THROUGH EXISTING GALVANISING OR COATINGS. REMOVE WELD SPATTER, RESIDUAL FLUX ETC BY CHIPPING, GRINDING OR ABRASIVE BLAST CLEANING. GRIND FLUSH ROUGH WELD BEADS. PREPARE SURFACE FOR PAINTING AS PER COATING SPECIFICATION. REMOVE RUST, LOOSE AND BURNT PAINT AND SUFFICIENT SOUND COATING SO PAINT EDGE IS FEATHERED AND SMOOTH. STRIPE COAT ALL WELDS, EDGES AND ROUGH SURFACES USING A BRUSH. REINSTATE COATING AS PER PROTECTIVE COATINGS SPECIFICATION.

17. REPAIR DAMAGE TO GALVANIZED COATING TO ASINZS 4680 SECTION 8. REPAIR AFTER GALVANIZING. USE ORGANIC TWO-PACK ZINC RICH EPOXY COATING COMPLYING WITH ASINZS 3750/9 APPLIED IN TWO COATS EACH 50 MICRON, MINIMUM TOTAL DRY FILM THICKNESS 100 MICRONS. DO NOT USE SPRAY CANS OF "COLD GALV" OR ZINC ALLOY SOLDER "STICKS". SURFACE PREPARATION OF EXPOSED BARE STEEL TO BE ABRASIVE BLAST CLEANED TO AS 1627.4, CLASS 2½ (PREFERRED) OR POWER TOOL CLEANED TO AS 1627.2 CLASS ST 3. LIGHTLY SWEEP BLAST GALVANIZED SURFACES.

18. PROTECTIVE COATINGS ARE TO BE SHOP APPLIED AND CURED IN WORKSHOP IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS APPROVED OTHERWISE IN WRITING BY SUPERINTENDENT. PROTECTIVE COATINGS ARE TO BE SMOOTH, UNIFORM AND WITHOUT RUNS, BEADS, PINHOLES, SURFACE CRAZING OR OTHER DEFECTS.

19. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR IN THE SPECIFICATION, SURFACE TREATMENT OF EXPOSED STEELWORK FOR ATMOSPHERIC CORROSION PROTECTION TO BE PURS. APPLY PROTECTIVE COATINGS AS PER SYSTEM/SYSTEMS PURS OF ASINZS2312 TABLE 6.3 IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. REPORT QA RECORDS IN A FORMAT SIMILAR TO AS3894 PARTS 10 TO 14. NON-SPECIFIED COLOURS WILL BE SELECTED BY THE SUPERINTENDENT.

20. DISSIMILAR METALS TO BE SEPERATED WITH INERT MATERIAL.

GENERAL: ALL WORKMANSHIP, MATERIALS AND CONSTRUCTION SHALL CONFORM WITH CURRENT EDITIONS OF AS1684, AS1720 & AS4600, THE AUSTRALIAN DOMESTIC CONSTRUCTION MANUAL AND THE PROJECT SPECIFICATIONS.

2. DESIGN:

PRE-FABRICATED ROOF TRUSSES, THEIR BRACING & THE CONNECTIONS BETWEEN TRUSSES & TO SUPPORTING MEMBERS ARE TO BE DESIGNED & FABRICATED BY AN APPROVED FIRM OF TRUSS FABRICATORS. THE DESIGN OF THE TRUSS SYSTEM SHALL INCORPORATE ALLOWANCE FOR THE FOLLOWING:

- a. ALL TRUSSES SHOWN ON THE DRAWINGS TOGETHER WITH ANY OTHER TRUSSES AND OTHER FRAMING NEEDED TO COMPLETE THE ROOF PROFILE
- b. FASCIA BEAMS AS REQUIRED TO MINIMISE DIFFERENTIAL DEFLECTIONS BETWEEN TOES OF TRUSSES & TO PROVIDE SUPPORT AT CORNERS.
- c. TRUSS TO TRUSS, TRUSS TO FASCIA BEAM & TRUSS TO SUPPORT CONNECTIONS, ALL PERMANENT & TEMPORARY BRACING & BINDERS, STABILIZING STRUTS TO CANTILEVER TRUSSES.
- d. ALL TRUSSES SHALL BE SUPPORTED AT NODE POINTS ONLY, INCLUDING JACK TRUSSES
- e. PRECAMBR AS REQUIRED TO ENSURE THAT THE MAXIMUM LONG-TERM SAG IN ANY HORIZONTAL PLANE THROUGH THE ROOF DOES NOT EXCEED 10mm OR SPAN/400 WHICHEVER IS THE LESSER VALUE
- f. TRUSS TIE DOWN TO SUPPORTING MEMBERS INCLUDING GUSSETS AND BOLTS TO STEEL COLUMNS & CONNECTION TO STRUCTURAL FASCIA TO BE DESIGNED AND DETAILED BY TRUSS FABRICATORS ENGINEER.
- g. TRUSS MANUFACTURER TO PROVIDE ADDITIONAL BRACING FOR ROOF TRUSSES IN ACCORDANCE WITH AS 4440.
- h. THE POSITIONING OF TRUSS WEB MEMBERS IS TO ALLOW FOR THE PASSAGE THROUGH THE CEILING SPACE OF ELECTRICAL, MECHANICAL & HYDRAULIC SERVICES & EQUIPMENT AS SHOWN ON THE SERVICES ENGINEERS DRAWINGS.
- i. ALLOW FOR TRUE WEIGHT OF CEILING LININGS - REFER ARCHITECTS DRAWINGS.
- j. SUPERIMPOSED LOADS FROM PLANT EQUIPMENT OR AS NOMINATED.
- k. MAXIMUM TRUSS SPACINGS U.N.O.
800 FOR SHEET ROOF

3. BOTTOM CHORD BRACING:

BOTTOM CHORD BRACING WHICH IS STRUCTURALLY ADEQUATE TO TRANSFER WIND LOADS FROM THE ROOF TRUSSES TO THE BRACING WALLS IS TO BE INSTALLED. THIS BRACING ACTION IS TO BE ACHIEVED BY EITHER:

- a. A PLASTERBOARD CEILING FIXED TO CEILING BATTENS OR FURRING CHANNELS WHICH ARE SCREW FIXED TO TRUSS BOTTOM CHORDS.
- b. A SYSTEM OF BRACING MEMBERS FIXED TO THE BOTTOM CHORDS OF THE TRUSSES.

4. DESIGN CERTIFICATION & SHOP DRAWINGS:

MANUFACTURE OF ROOF TRUSSES SHALL NOT COMMENCE UNTIL:

- a. 3 SETS OF THE FABRICATORS ENGINEERS SHOP DRAWINGS INCLUDING MARKING & LAYOUT PLANS HAVE BEEN SUBMITTED TO & APPROVED BY THE ARCHITECT AND ENGINEER. 14 DAYS SHOULD BE ALLOWED FOR REVIEW.
- b. A CERTIFICATE STATING THAT THE TRUSSES, THE TOP & BTM. CHORD BRACING OF TRUSSES, THE CONNECTIONS BETWEEN TRUSSES, AND THE CONNECTIONS TO THE SUPPORT STRUCTURE HAVE BEEN DESIGNED TO SAFELY RESIST THE LOADS SET OUT IN 'DESIGN CRITERIA' AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER IS TO BE SUBMITTED WITH THE SHOP DRAWINGS TO THE ARCHITECT.

1. ALL TIMBER DESIGN, MATERIAL AND CONSTRUCTION SHALL BE TO AS 1720:1 AND AS1720.2.
2. SOFTWOOD TO BE MINIMUM STRESS GRADE MPG12, J4 JOINT GROUP UNO. HARDWOOD TO BE MINIMUM GRADE F4 UNLESS NOTED OTHERWISE. SUBMIT SUPPLIERS CERTIFICATE AS TO STRESS GRADE OF TIMBER MEMBERS. ALL TIMBER SHALL BE BRANDED.
3. EXISTING TIMBER SHALL BE EITHER HARDWOOD WITH DURABILITY CLASS I OR II, JOINT CLASS 1D2 OR JD3 TO AS 1720:2 OR IMPREGATED PINE GRADE FT, PRESSURE TREATED MINIMUM H3 TREATMENT UNLESS SPECIFIED OTHERWISE, TO AS 1604 AND RE-DRIED PRIOR TO USE. SUPPLEMENTARY TREATMENT SHALL BE APPLIED TO ALL CUT SURFACES. SUPPLY SUPPORTING DOCUMENTATION FOR PRESERVATIVE TREATMENT.
4. ALL BOLTS IN TIMBER CONSTRUCTION SHALL BE MINIMUM M16 UNLESS NOTED AND SHALL BE GALVANISED. BOLTS SHALL BE RETIGHTENED AT THE END OF THE MAINTENANCE PERIOD. BOLT HOLES SHALL BE DRILLED NO MORE THAN 1 mm OVERSIZE.
5. FLAT WASHERS AND NUTS TO BE USED ON THE HEAD OF A BOLT OR COACH SCREW, A NUT, OR SPRING WASHER WOULD OTHERWISE BEAR ON A TIMBER ELEMENT. FLAT WASHERS ARE NOT REQUIRED WHERE THE HEAD OR NUT BEARS ON A STEEL PLATE. UNLESS NOTED OTHERWISE, FLAT WASHERS BEARING AGAINST TIMBER SHALL HAVE THE FOLLOWING MINIMUM OUTSIDE DIAMETER

WASHERS				
NOMINAL FASTENER SIZE	M8	M16	M20	M24
NOMINAL OUTSIDE DIAMETER	36mm	55mm	65mm	75mm

SPRING WASHERS SHALL BE STANDARD HELICAL SPRING-LOCK WASHERS. SPRING WASHERS ARE TO BE INSTALLED UNDER THE NUT ON ALL BOLTS CONNECTING TIMBER ELEMENTS.

5. TIMBER DIMENSIONS SHALL BE NOT LESS THAN:

TIMBER DIMENSIONS TOLERANCES	
SEASONED SOFTWOOD	+5mm , -0mm
UNSEASONED SOFTWOOD	< F7 +3mm , -3mm
UNSEASONED SOFTWOOD	> F7 +2mm , -4mm
SEASONED HARDWOOD	+2mm , -0mm
UNSEASONED HARDWOOD	+3mm , -3mm
SEE ALSO CLAUSE 1.6.2 IN AS 2082	

6. ALL TIMBER JOINTS AND NOTCHES ARE TO BE 100mm MINIMUM AWAY FROM LOOSE KNOTS, SEVERE SPLITTING GRAIN, GUM VEINS OR OTHER MINOR DEFECTS. ALL TRUSSES AND RAFTERS SHALL BE FIXED TO TOP PLATE WITH METAL PLATE CONNECTORS.
7. FIELD-CUT SURFACES ARE TO BE TREATED TO REFUSAL / SATURATION WITH COPPER NAPHTHENATE PRESERVATIVE. END GRAIN IS TO BE COATED WITH ANCHOR SEAL PARAFFIN SEALANT. TREAT BEAMS AS SOON AS POSSIBLE AFTER CUTTING. ENSURE CUTS ARE CLEAN AND FREE OF SAWDUST OR DEBRIS PRIOR TO TREATING.
8. BRACE WALLS TO HAVE MINIMUM J4 OR JD4 JOINT STRENGTH.

1	22.4.24	PRELIMINARY		ML	ML
Rev.	Date	Description		Des.	Verif.
				Appd.	

CERTIFICATION

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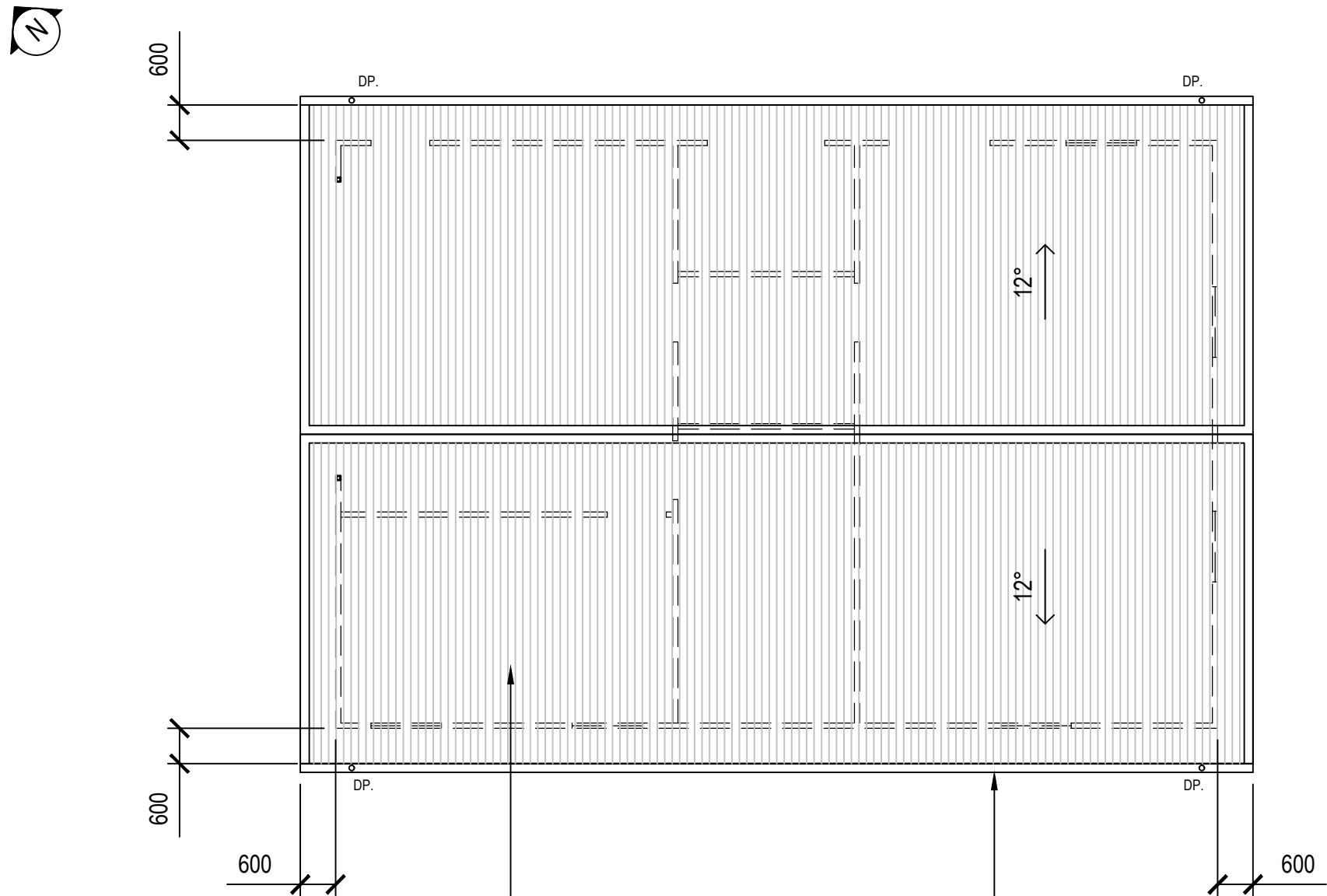
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NB	21.4.24
Checked	Date
ML	21.4.24
Designed	Date
ML	21.4.24
Verified	Date
ML	21.4.24
Approved	
M. LANCINI	XXX

Client	SCOTT JENNI
Project	PROPOSED SHED ADDITION 9 GRAYS CREEK TERRACE, MOWBRAY
Title	GENERAL CONSTRUCTION NOTES

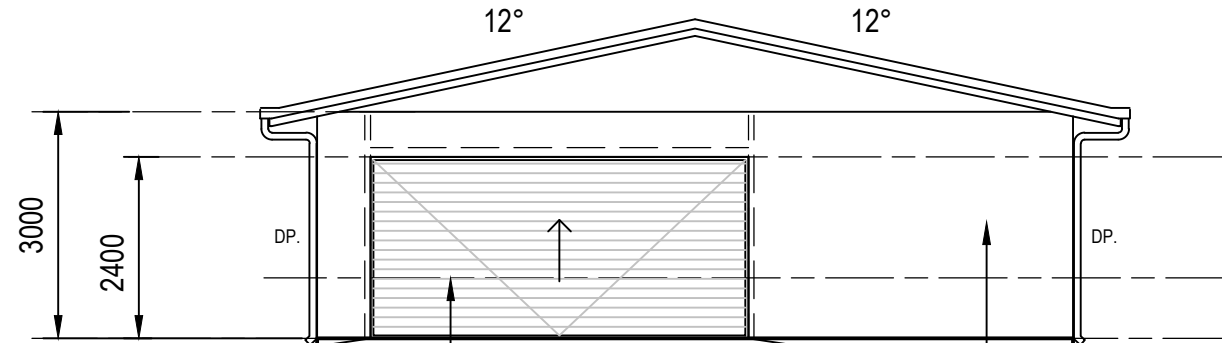
Status			
PRELIMINARY NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Date	Scale	Size	
AHD	AS SHOWN		A1
Drawing Number			Revision
Q24182-ST-01			1



COLORBOND CUSTOM ORB ROOF SHEETING AND CYCLONE ASSEMBLIES TO COMPLY WITH NCC LHL REQUIREMENTS AND MANUFACTURERS SPECIFICATIONS. TYPICAL.

ROOF PLAN
SCALE 1:100

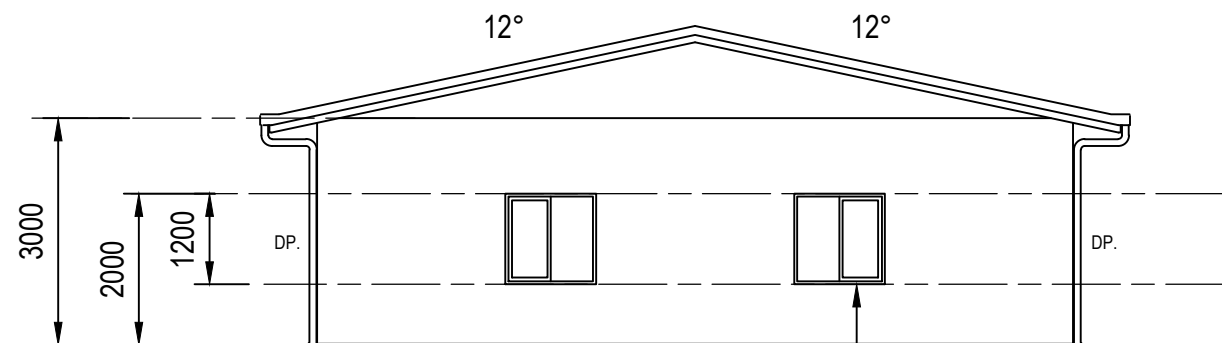
EAVE GUTTER AND DOWNPIPES. DISCHARGE AS DIRECTED ON SITE.



ROLLER DOOR TO OWNERS SELECTION. TYP.

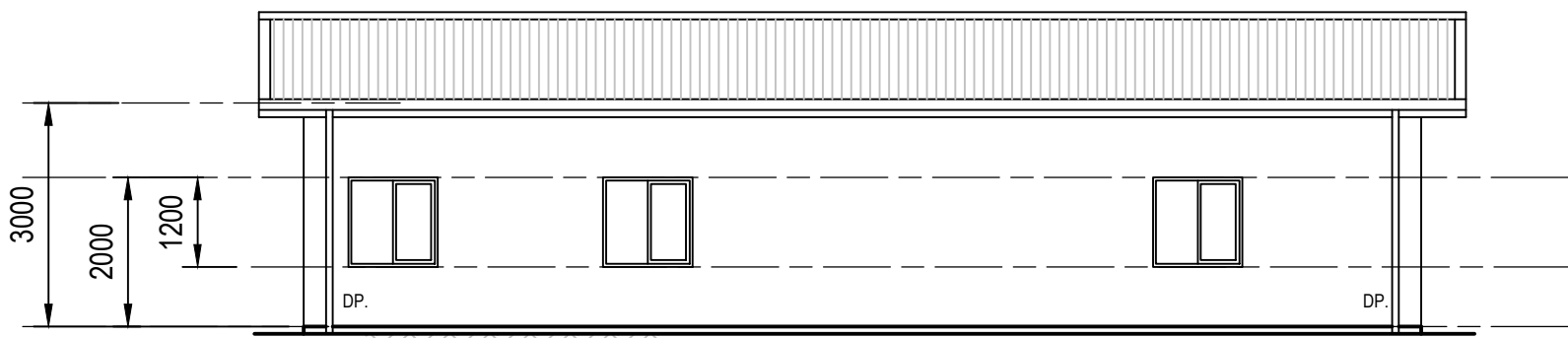
ELEVATION A
SCALE 1:100

WALL CLADDING AND FINISH TO OWNERS REQUIREMENTS. TYP.

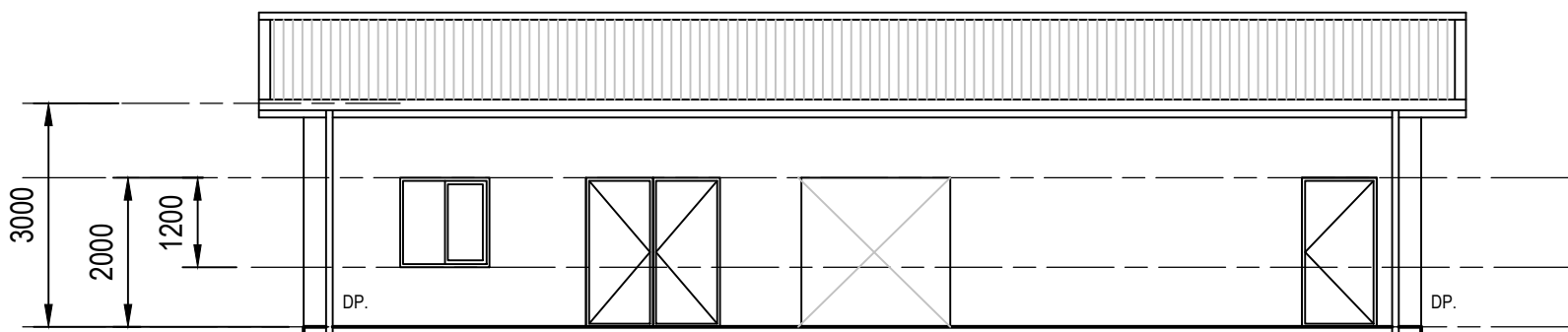


WINDOWS TO OWNERS SELECTION TYP.

ELEVATION B
SCALE 1:100



ELEVATION C
SCALE 1:100



ELEVATION D
SCALE 1:100

TERMITE PROTECTION

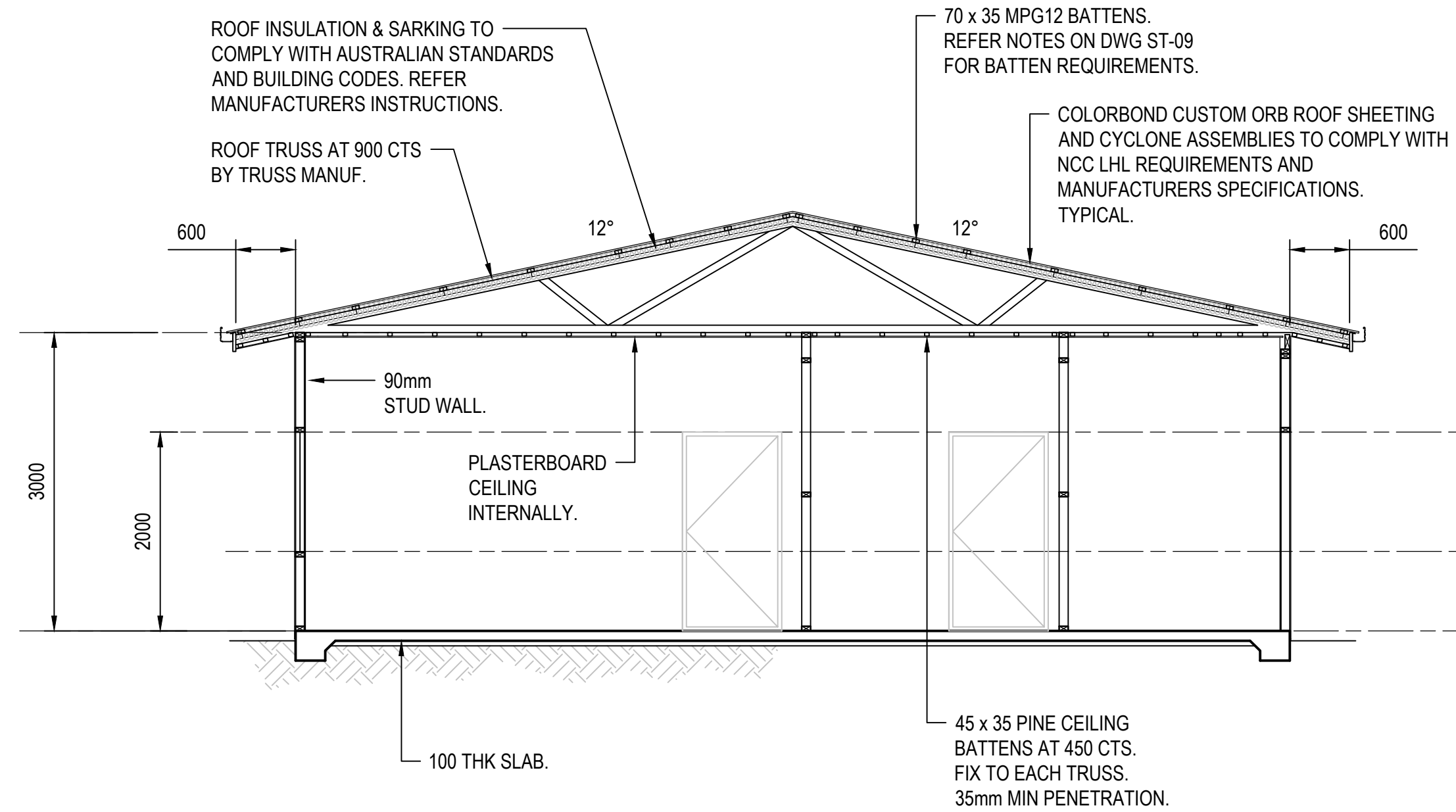
- APPROVED TERMITE MANAGEMENT SYSTEM TO AS3660.1 2014 TO BE INSTALLED BY PEST MANAGEMENT COMPANY. PLANS TO BE ISSUED TO PEST MANAGEMENT COMPANY FOR DESIGN OF TERMITE PROTECTION PRIOR TO CONSTRUCTION.
- TERMITE TREAT BUILDING STRICTURE TO AS3660.1 2014 WITH THE USE OF TERMITE RESISTANT MATERIALS AND PHYSICAL BARRIERS. TERMIMESH OR HOMEGAURD COLLARS TO ALL SLAB PENETRATIONS. ALL PRIMARY BUILDING ELEMENTS ARE TO BE TERMITE RESISTANT OR TREATED TO MINIMUM H2. PERIMETER HAND SPRAY AND CAPPING IS RECOMMENDED AND IS TO BE MAINTAINED BY OWNER EVERY 6 YEARS OR AS REQUIRED BY THE MANUFACTURER. BUILDER IS TO PROVIDE ACCESS FOR CLEAR VISUAL INSPECTIONS TO THE ENTIRE PERIMETER OF THE BUILDING AND EXPOSED EDGE OF CONCRETE SLAB. OWNER IS TO INSPECT FOR TERMITES EVERY 3 MONTHS.

NOTES

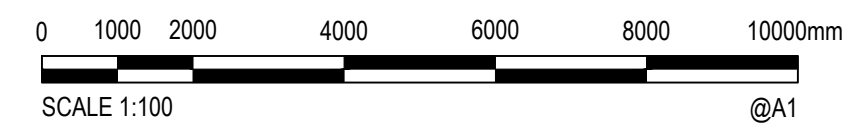
- ALL DIMENSIONS AND SETOUT TO BE CONFIRMED ON SITE PRIOR TO ANY CONSTRUCTION WORK BEING UNDERTAKEN BY BUILDER.
- ALL STORMWATER SHALL DISCHARGE TO EXISTING STORMWATER SYSTEM OR TO STREET KERB.
- ALL GLAZING FRAMING AND FIXINGS TO MANUFACTURERS DESIGN AND CERTIFICATION INCLUDING FIXING DETAILS.
- FOR SLAB ON GROUND CONSTRUCTION ALL FLOOR PENETRATIONS (BLOCKOUT FOR BATHS & SHOWER TRAYS, etc) ARE TO BE EFFECTIVELY SEALED AGAINST WATER PENETRATION.
- ALL WET AREA WATERPROOFING TO COMPLY WITH AS3740.



SITE PLAN
SCALE 1:400 APPROX



TYPICAL SECTION
SCALE 1:50



LEGEND

Col. COLUMN
DP. DOWNPIPE.

FLOOR PLAN
SCALE 1:100

NOTE

ALL DIMENSIONS SHALL BE CONFIRMED ON SITE BY BUILDER PRIOR TO ANY PROCUREMENT OF ANY MATERIALS

Rev.	Date	Description	Des.	Verif.	Appd.
1	22.4.24	PRELIMINARY	ML	ML	

CERTIFICATION

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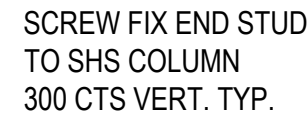
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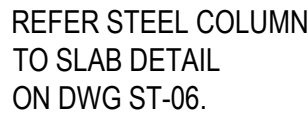
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Checked	ML	Date	21.4.24
Designed	ML	Date	21.4.24
Verified	ML	Date	21.4.24
Approved		Date	

Client	SCOTT JENNI
Project	PROPOSED SHED ADDITION 9 GRAYS CREEK TERRACE, MOWBRAY
Title	FLOOR PLAN AND ELEVATIONS

Status	PRELIMINARY
Datum	AHD
Scale	AS SHOWN
Size	A1
Drawing Number	Q24182-ST-02
Revision	1



SCALE 1:100



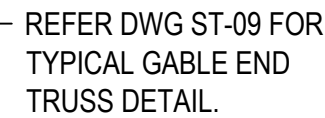
SCALE 1:100

..... FOOTING DESIGN BASED ON ASSUMED STIFF CLAY/DENSE SAND WITH 100 kPa ALLOWABLE BEARING
PRESSURE AND 25 kPa ALLOWABLE SKIN FRICTION ON SITE, AND CLASS 'S' SITE.
..... SOIL CONDITIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
..... 100mm MINIMUM THICK SLAB ON GROUND. (UNO)
..... 1 LAYER SL72 MESH TOP THROUGHOUT. 350mm LAP MINIMUM. 0.2mm THK POLYETHYLENE MEMBRANE
WITH TRAPED JOINTS ON 50mm THK COMPACTED SAND BEDDING UNDER SLAB ON GROUND.
..... N12 TRIMMER CONTINUOUS TOP UNDER SLAB REINFORCEMENT TO ALL SLAB EDGES. LAP 600 MINIMUM.



L1	130 x 45 LVL.
L2	200 x 45 LVL.
L3	125 x 75 x 4 RHS.

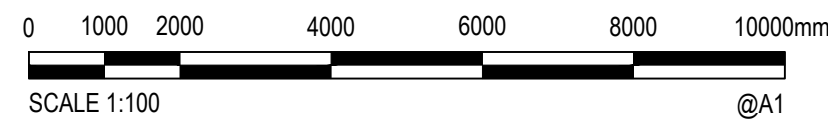
P(x) PLYWOOD BRACING (6.4 kN/m RATING) FIXED IN ACCORDANCE WITH AS1684.2 TABLE 8.18(h).
(x) DENOTES LENGTH OF PLY BRACING. REFER DRAWING ST-07
..... DOUBLE BRACED WALLS TO HAVE M16 TIE DOWN RODS.
..... WALLS SHORTER THAN 900mm TO HAVE M12 TIE DOWN RODS EACH END.
..... CEILING DIAPHRAGM ACTION IS REQUIRED TO DISTRIBUTE LOADS TO BRACING WALLS.

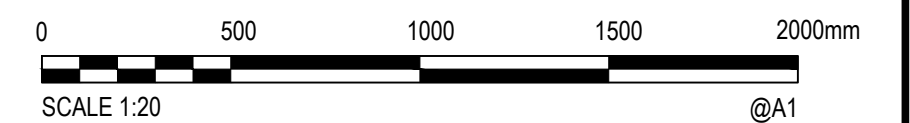
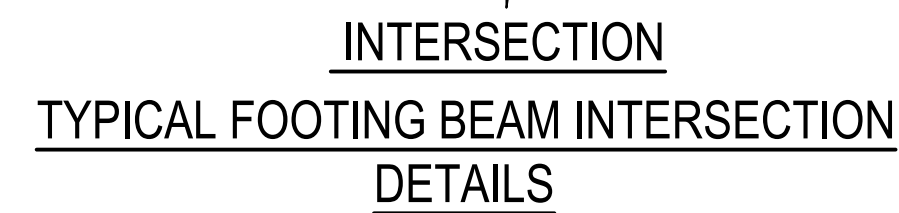
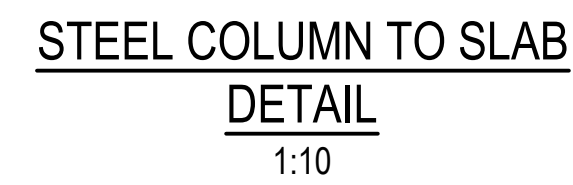
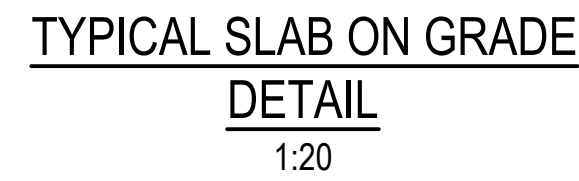
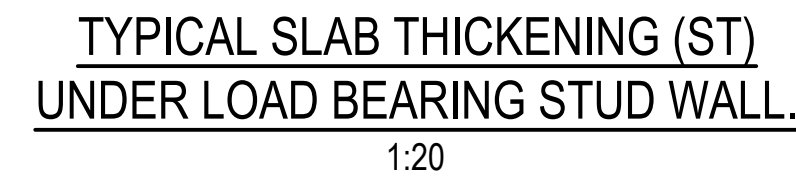


SCALE 1:100

1. TRUSS LAYOUT SHOWN IS INDICATIVE ONLY. TRUSS LAYOUT AND DESIGN BY TRUSS MANUFACTURER.
2. ALL TRUSSES ARE TO BE PRE-FABRICATED TIMBER ROOF TRUSSES DESIGNED AND CERTIFIED BY A CERTIFIED ENGINEER ENGAGED BY THE CONTRACTOR.
3. ALL TRUSS CONNECTIONS ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DRAWING ST-01 & 09 SHOWING THE MINIMUM REQUIREMENTS.

C1	75 x 4 SHS COLUMN.
EB1	300 DEEP x 300 WIDE SLAB EDGE BEAM.
ST1	150 DEEP x 500 WIDE STRIP FOOTING.



[illegible]

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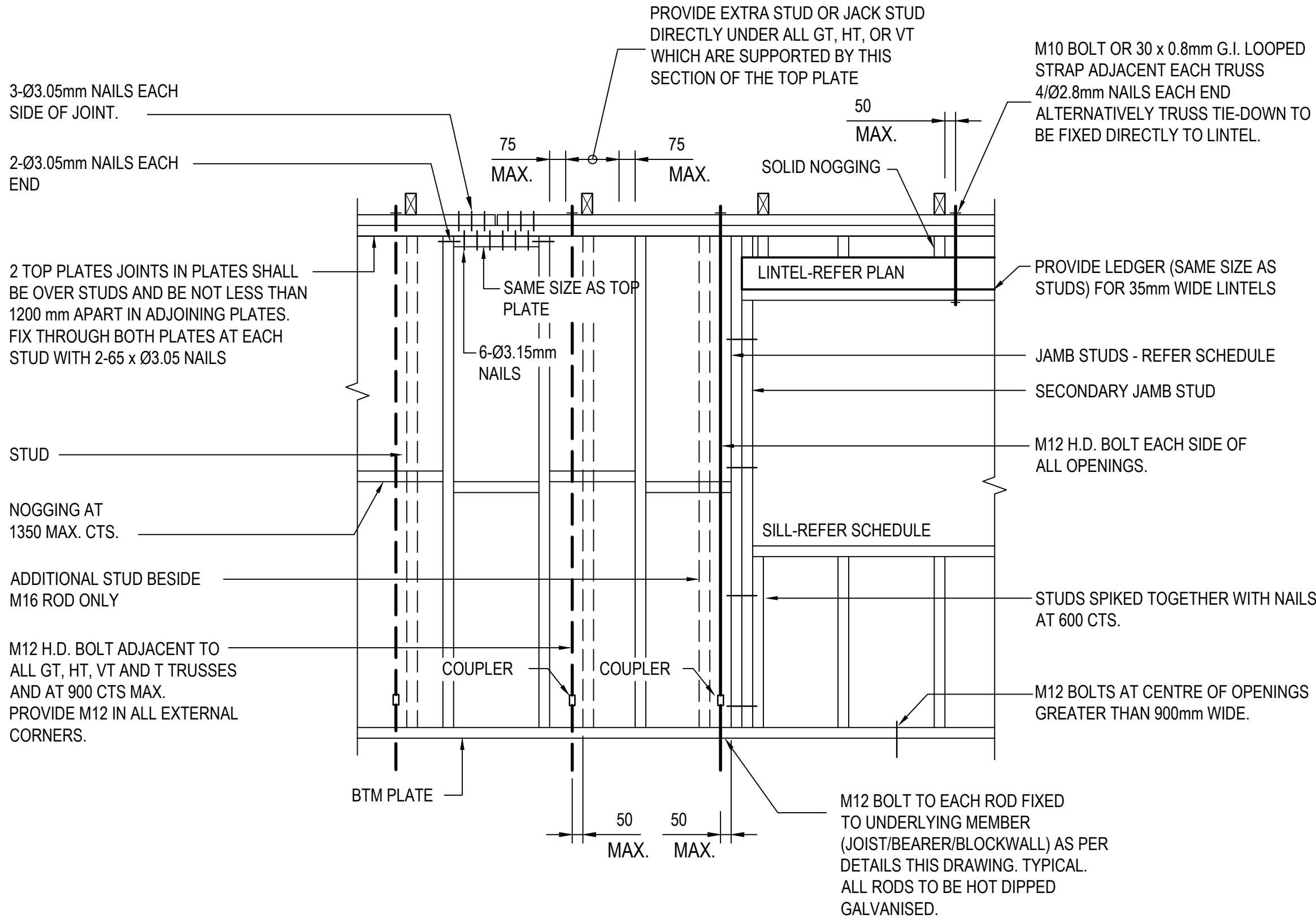
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Approved	
M. LANCINI	XXX

4	Title	GROUND SLAB AND FOOTING DETAILS
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Drawing Number	Revision
Q24182-ST-06	1

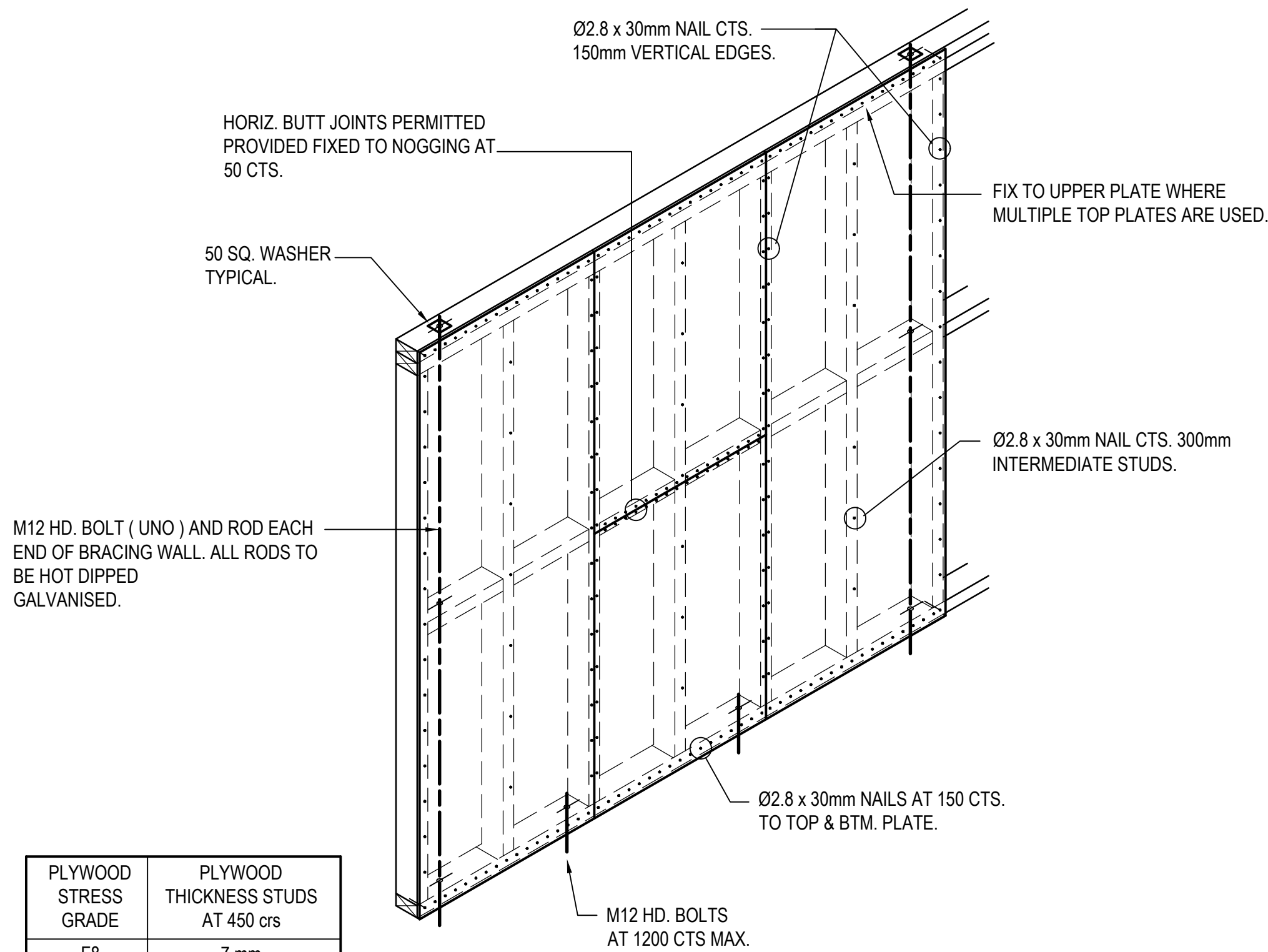
DATE PLOTTED: 21 April 2024 9:41 PM BY: NEIL BROWNING

CAD File: C:\Users\neilb\OneDrive - MAL Engineers\Documents\Projects\Joists\Carns\2024\Q24182 - 9 Grays Creek Terrace - Shed1 CAD & Models\Acad\Q24182-ST GRAYS CREEK.dwg



TYPICAL LOAD-BEARING TIMBER WALL FRAME U.N.O

NTS



PLYWOOD STRESS GRADE	PLYWOOD THICKNESS STUDS AT 450 crs
F8	7 mm
F11	6 mm
F14	4 mm
F27	4 mm

PLYWOOD TO CONFORM WITH THE PAAJAS-ANZ 'TESTED STRUCTURAL' PRODUCT CERTIFICATION SYSTEM AND BE BRANDED ACCORDINGLY COMPLYING WITH AS/NZS 2269. PLYWOOD TO BE TREATED TO H2 LEVEL.

TYPICAL PLYWOOD BRACING WALL

1. RACKING CAPACITY 6.4 kN/m (ULT.) REFER PLAN FOR LENGTH OF BRACING WALL.
2. AT INTER TENANCY WALLS VILBOARD 9mm THICK IS TO BE USED INSTEAD OF PLYWOOD. BRACING IS TO BE TAKEN DOWN TO SLAB OR BLOCKWORK.

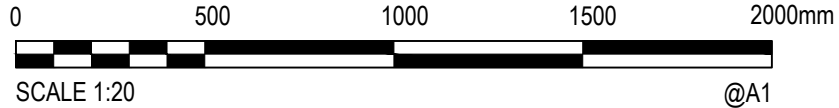
TIMBER WALL FRAMING SCHEDULE - CYCLONIC AREA		
EXTERNAL LOAD BEARING WALLS (LBW) - MGP12 UNO.		
MEMBER	SIZE	FIXING & TIE-DOWN
TOP PLATE	2/45 x 90	SPACING OF TIE-DOWN FIXINGS: M12 4.6/S CYCLONE ROD / HOLD DOWN BOLT TO BE AT 900 MAX. CTS
STUDS		
< 2700	35 x 90 AT 450 CTS	
2700 UPTO 3000	45 x 90 AT 450 CTS	
3000 UPTO 3300	45 x 90 AT 300 CTS	
3300 UPTO 4000	2/45 x 90 AT 300 CTS	
BTM PLATE	35 x 90	
NOGGINS	35 x 90 AT 1350 MAX CTS	
SILLS	SEE SILL SCHEDULE	
INTERNAL NON LOAD BEARING WALLS (NLBW) - MGP10 UNO.		
MEMBER	SIZE	FIXING & TIE-DOWN
TOP PLATE	35 x 70	FIX BTM PLATES TO FLOOR STRUCTURE WITH M12 4.6/S AT ENDS OF WALL, EACH END OF LINTEL AND INTERMEDIATE AT 1200 MAX. CTS
STUDS		
< 2700	35 x 70 AT 450 CTS	
2700 UPTO 3600	2/35 x 70 AT 450 CTS or 1/35 x 90 AT 450 CTS	
3600 UPTO 4200	2/35 x 90 AT 450 CTS	
BTM PLATE	35 x 90	
NOGGINS	35 x 90 AT 1350 MAX CTS	
WALL STUDS, TOP AND BTM PLATES SHALL NOT BE NOTCHED OR TRENCHED. WALL FRAMING TO BE SEASONED AND L.O.S.P. TREATED. RIBBON TOP PLATE SPLICES TO BE STAGGERED.		

JAMB STUD SCHEDULE	
OPENING WIDTH	No. OF STUDS
< 2400	2
< 3300	3
3300 AND ABOVE	4

NOTE: THE No. OF STUDS INCLUDES THE SECONDARY JAMB STUD.

WINDOW SILL SCHEDULE	
OPENING WIDTH	SILL MEMBER
< 1500	SAME AS COMMON STUD
1800	90x35 MGP12
2100	90x35 MGP12
2400	90x35 MGP12
2700	90x45 MGP12
3000	2/ 90x35 MGP12
3300	2/ 90x35 MGP12
3600	3/ 90x35 MGP12

NOTE: USE 70 or 90mm TO MATCH NOMINAL STUD SIZE.



Rev.	Date	Description	Des.	Verif.	Appd.
1	22.4.24	PRELIMINARY	ML	ML	

CERTIFICATION

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Drawn	NB	Date	21.4.24
Checked	ML	Date	21.4.24
Designed	ML	Date	21.4.24
Verified	ML	Date	21.4.24
Approved		Date	

Client SCOTT JENNI

Project PROPOSED SHED ADDITION
9 GRAYS CREEK TERRACE, MOWBRAY

Title TYPICAL WALL FRAMING DETAILS

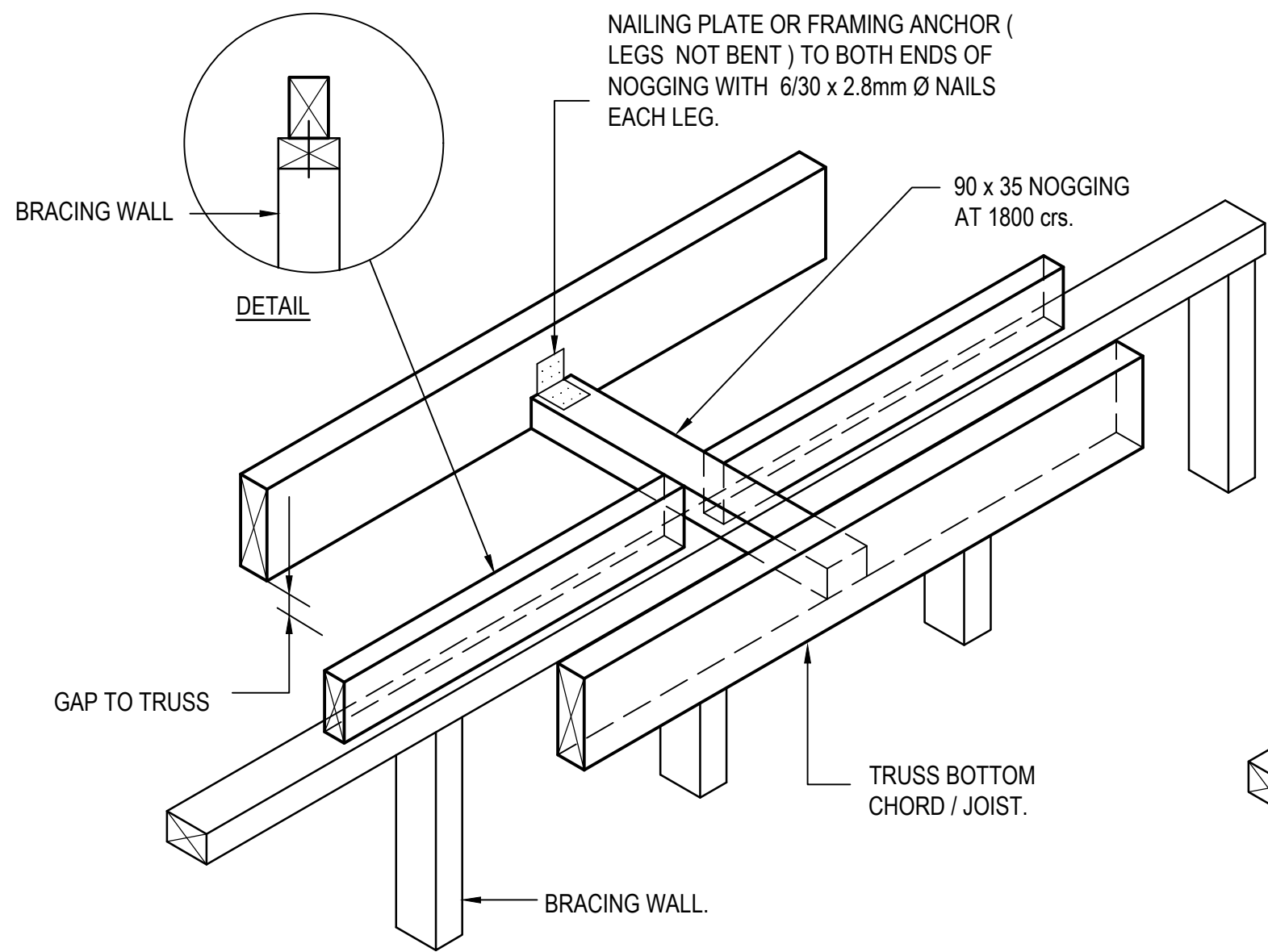
M. LANCINI

XXX

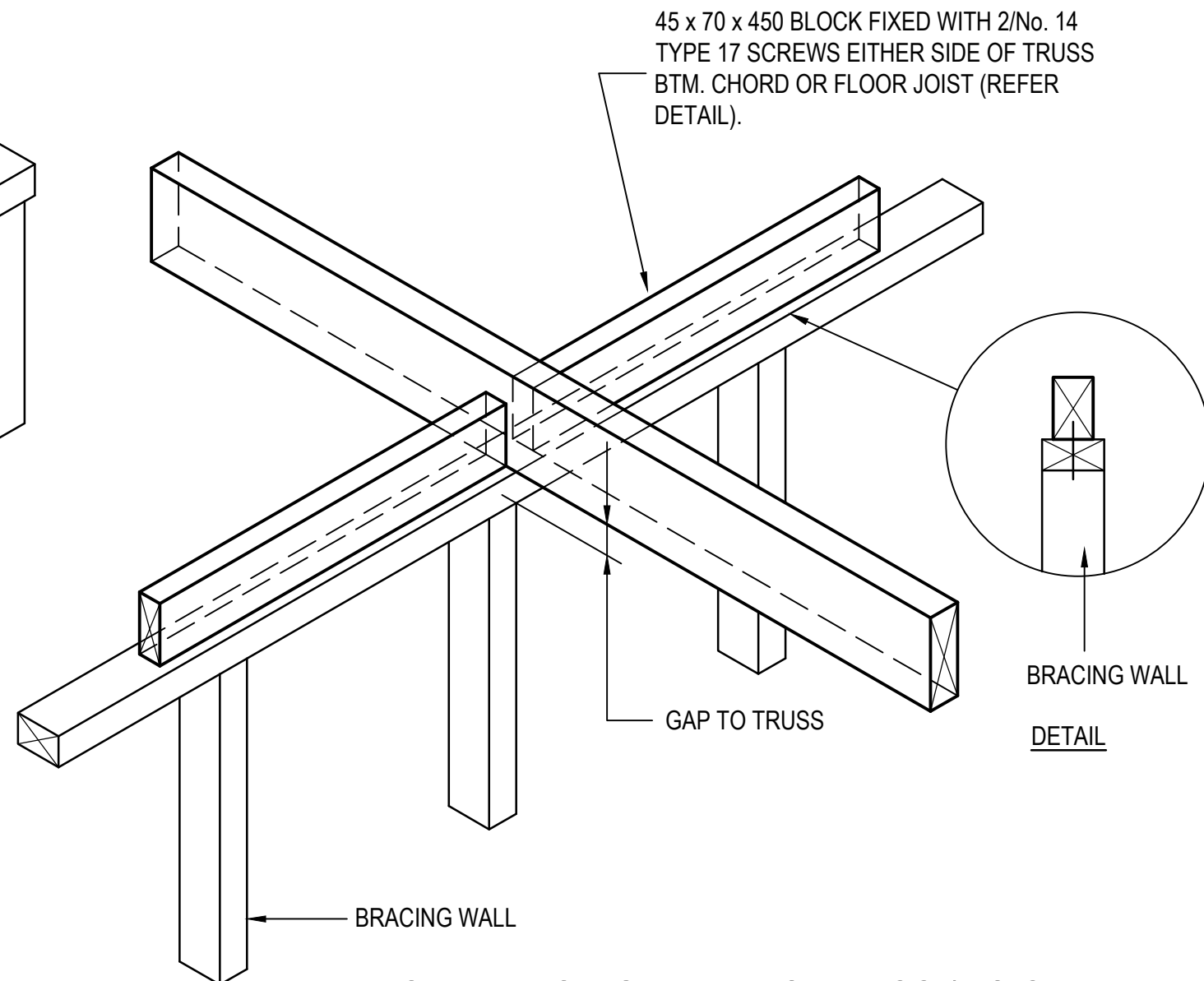
Status PRELIMINARY NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Datum AHD	Scale AS SHOWN	Size A1	Revision
Drawing Number Q24182-ST-07	Revision 1		

DATE PLOTTED: 21 April 2024 9:42 PM BY: NEIL BROWNING

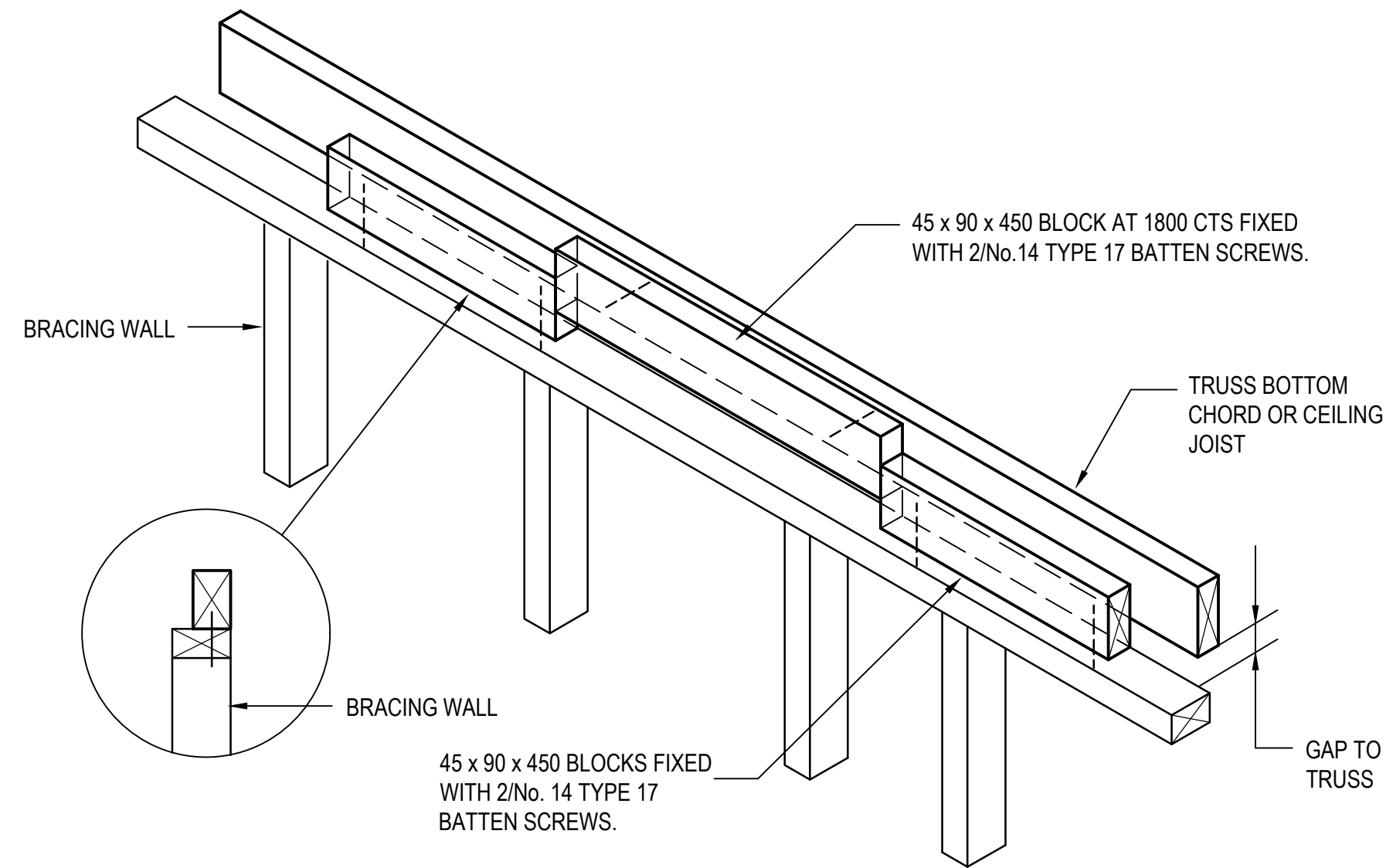
CAD File: C:\Users\neilb\OneDrive - MAL Engineers\Documents\Projects\Jobs\Carns\2024\Q24182 - 9 Grays Creek Terrace - Shed1 CAD & Models\Aead\Q24182-ST-GRAYS CREEK.dwg



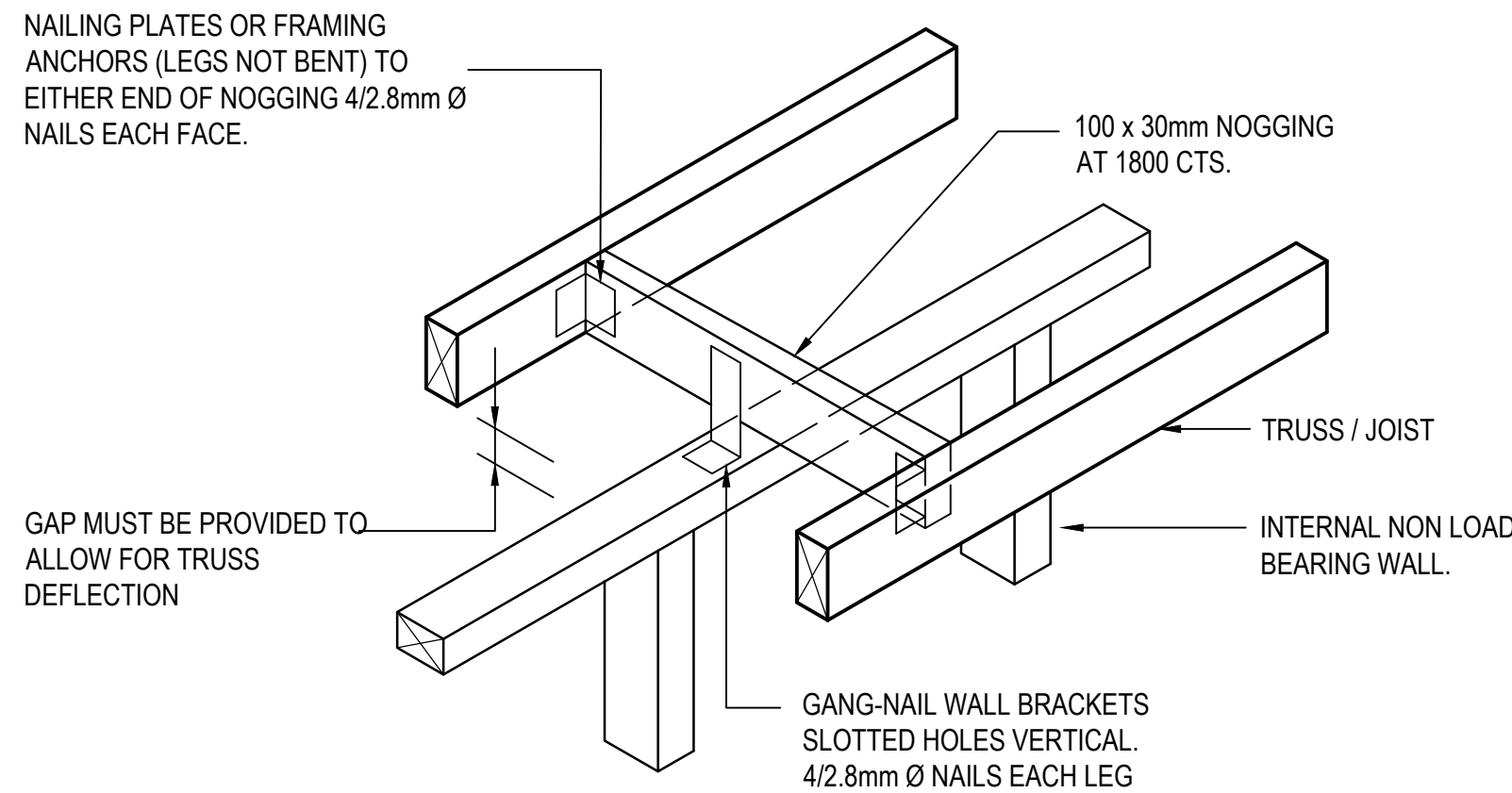
TYPICAL BRACING WALL TO TRUSS / JOIST CONNECTION .
PARALLEL TO TRUSS OR JOIST



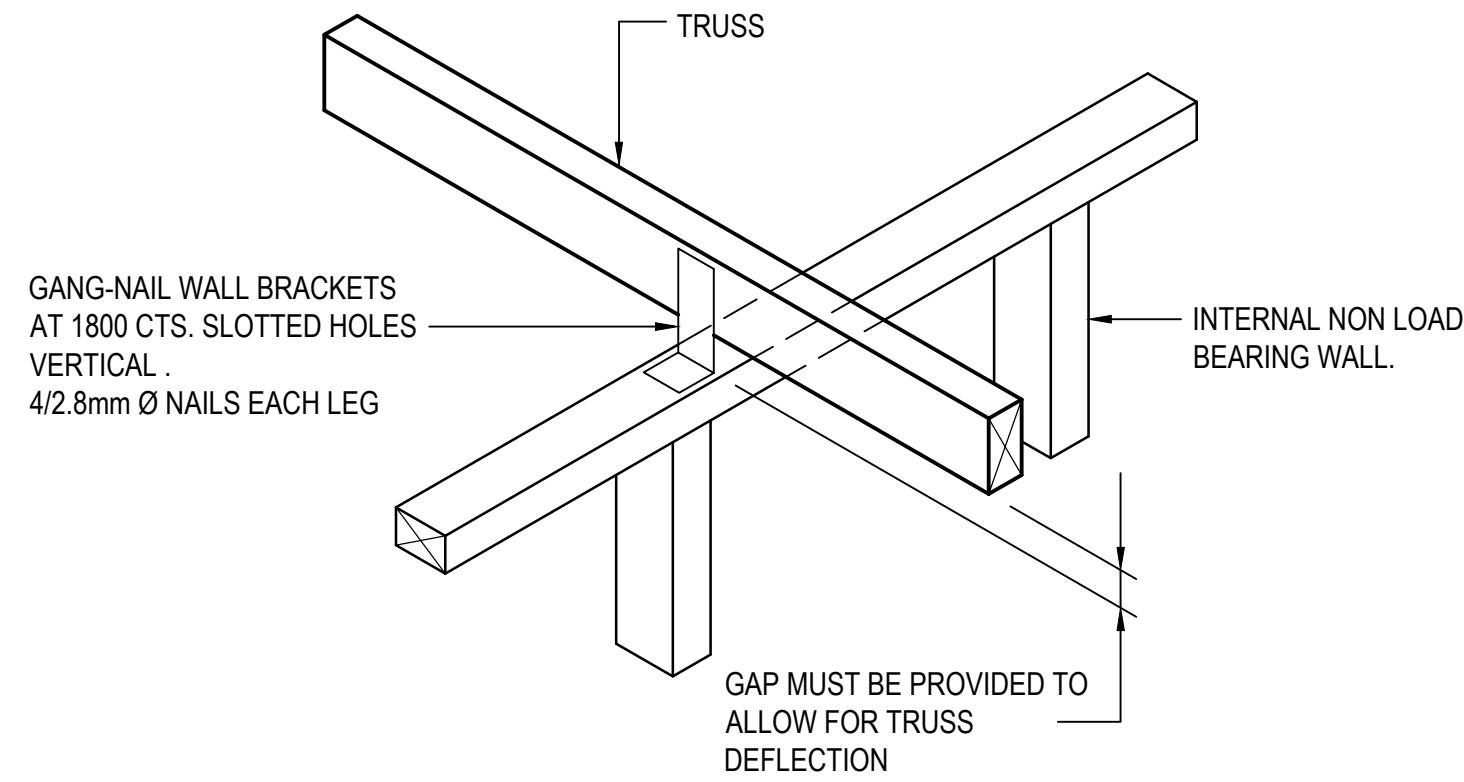
TYPICAL BRACING WALL TO TRUSS / JOIST PERPENDICULAR TO TRUSS / JOIST
FIX EVERY 2nd TRUSS OR JOIST.



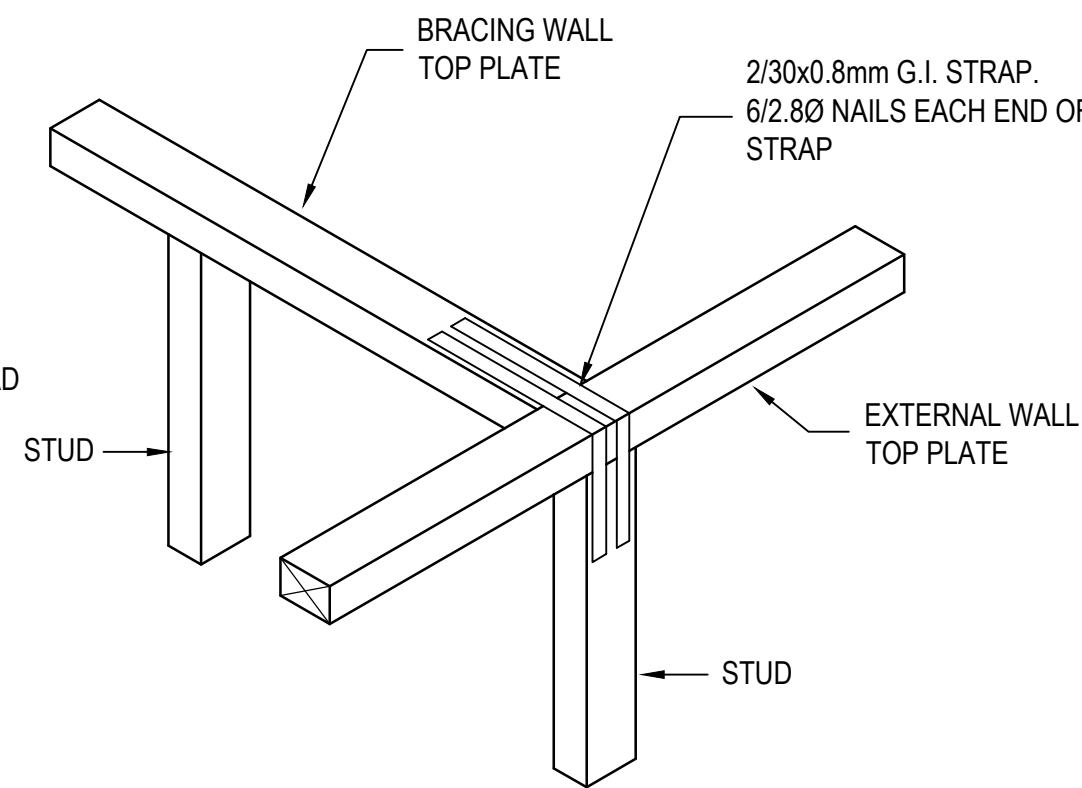
TYPICAL BRACING WALL TO TRUSS / JOIST ADJACENT TO TRUSS OR JOIST.



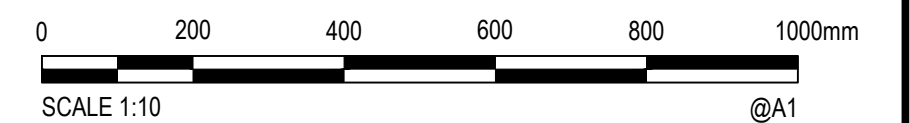
TYPICAL NON LOAD BEARING WALL PARALLEL TO TRUSS OR JOIST



TYPICAL NON LOAD BEARING WALL PERPENDICULAR TO TRUSSES



TYPICAL BRACING WALL TO EXTERNAL WALL CONNECTION



Rev.	Date	Description	Des.	Verif.	Appd.
1	22.4.24	PRELIMINARY	ML	ML	

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Drawn	NB	Date	21.4.24
Checked	ML	Date	21.4.24
Designed	ML	Date	21.4.24
Verified	ML	Date	21.4.24
Approved		Date	
	M. LANCINI		XXX

Client	SCOTT JENNI
Project	PROPOSED SHED ADDITION 9 GRAYS CREEK TERRACE, MOWBRAY
Title	WALL BRACING CONNECTION DETAILS

Status	PRELIMINARY NOT TO BE USED FOR CONSTRUCTION PURPOSES		
Datum	AHD	Scale	AS SHOWN
Drawing Number	Q24182-ST-08	Size	A1
Revision			1



0 200 400 600 800 1000mm
SCALE 1:10 @A1

0 500 1000 1500 2000mm
SCALE 1:20 @A1

[illegible]

Status		PRELIMINARY	
NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Date		Scale	Size
AHD		AS SHOWN	A1
Drawing Number			Revision
Q24182-ST-09			1

Performance Outcomes	Acceptable Outcomes	Applicant Response
For self-assessable and assessable development		
PO1	AO1	
The height of the building is compatible with the rural residential character of the area and must not detrimentally impact on visual landscape amenity.	Dwelling house are not more than 8.5 meters and two storeys in height.	Structure is compliant
PO2	AO2	
Buildings and structures are setback to maintain the rural residential character of the area and achieve separation from buildings on adjoining properties.	Buildings are setback not less than: a. 40 metres from a property adjoining a State-controlled road b. A minimum of 25 metres from the property boundary adjoining Cape Tribulation Road c. 20 metres from front boundaries d. 6 metres from side and rear property boundaries.	N.A. N.A. Structure will be 15 metres from boundary. Due to the split level configuration of the lot there is limited space 20 metres from the front boundary at the elevation of the house. Also, the existing house is approximately 13 meters from the front boundary so the shed will not look out of place. We would like to build 3 metres from the western and southern boundary. Again due to the limited space at the same elevation as our house we are hoping to save as much of our usable lawn space as possible. We have spoken to Cheryl Miller who shares those boundaries with us and have included a letter from her stating the she has no objections to our proposed location.

PO3	AO3.1	
Building scale is compatible with the rural residential character of the area and must not detrimentally impact on visual landscape amenity.	The maximum building footprint of all buildings and structures (including outbuildings) contained on a lot does not exceed 500 m ² . AO3.2 An outbuilding used for purposes ancillary to a dwelling house has a maximum site coverage not greater than 20% of the total building footprint specified in AO3.1 above.	Structure is compliant as current building footprint is approximately 260 m ² so an additional 150 m ² brings us up to 410. We are hoping to exceed this as our proposed footprint is 150m ² . We would like to get a garage, some storage and a workshop into one shed rather than trying to do two nearly adjacent to each other.
PO4	AO4	
Buildings/structures are designed to maintain the rural residential character of the area.	White and shining metallic finishes are avoided on external surfaces of buildings.	Structure is compliant - Colourbond Monument Cladding
For assessable development		
PO5	AO5	
The establishment of uses is consistent with the outcomes sought for the Rural residential zone and protects the zone from the intrusion of inconsistent uses.	Uses identified in Table 6.2.11.3.b are not established in the rural residential zone.	Use of structure is compliant
PO6	AO6	
Existing native vegetation along watercourses and, in or adjacent to areas of environmental value, or areas of remnant vegetation of value is protected.	No acceptable outcomes are prescribed.	Building works are compliant
PO7	AO7	
Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and surrounds.	No acceptable outcomes are prescribed.	Development is compliant
PO8	AO8	
Development does not adversely impact on the Rural residential character and amenity of the area in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	No acceptable outcomes are prescribed.	Development is compliant

Flood and Storm Tide Hazard Overlay:

The site lays within the Floodplain Assessment Overlay as determined by the Flood and Storm Tide Inundation Overlay Map Sheet FST-011. However, as recent major flood events didn't flood the lower portion of our block which lies 5 to 6 meters in elevation below the proposed building site I don't believe this overlay assessment is relevant to the proposed structure.

Performance Outcomes	Acceptable Outcomes	Applicant Response
For self-assessable and assessable development		
P01	AO1.1	
Development is located and designed to: ensure the safety of all persons; minimise damage to the development and contents of buildings; provide suitable amenity; minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events	Development is sited on parts of the land that is not within the Flood and Storm tide hazards overlay maps contained in schedule 2.	Structure is proposed within the flood and storm tide overlay however it lies perhaps 6 to 8 meters above the high water of the December 2023 floods so meets the performance outcomes in P01.

Bushfire hazard overlay:

The site lays within the potential impact buffer sub-category as determined by the Bushfire Hazard Overlay Map Sheet BH-011. There is good access to the site for emergency services and there is a water source on site. The proposed vegetation adjacent to the structure will be heliconias and other tropical plants that have a low threat level for producing a high radiant heat flux. The cladding and roofing of the structure will be steel and the window frames will be aluminum all posing low risk in regard to ember attack. The building will be on a concrete slab. The Bushfire risk mitigation will not impact the natural environment or landscape character.

Performance Outcomes	Acceptable Outcomes	Applicant Response
For self-assessable and assessable development		
PO1	AO1	
A vulnerable use is not established or materially intensified within a bushfire hazard area unless there is an overriding need or other exceptional circumstance.	Vulnerable uses are not established or expanded.	Structure is compliant as no vulnerable use is being established.
PO2	AO2	
Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.	Emergency services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.	N.A. as no emergency services or other community support is being provided from this location.
PO3	AO3	
Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.	The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.	No hazardous materials will be manufactured or stored in bulk on this location.