

2 October 2025

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman Qld 4873

Attention: Development Assessment

Dear Sir/Madam

RE: Application for Building Works Assessable Against the Planning Scheme and Amenity and Aesthetics Referral - 158-164 Somerset Drive Miallo, Lot 10 on RP849655

Rapid Building Approvals acting on behalf of the owners of the abovementioned land, submit this application for Building Works Assessable against the Planning Scheme (Retaining Wall) and Amenity and Aesthetics over land at 158-164 Somerset Drive Miallo.

As per Table 5.6.d – Environmental management zone table of assessment, building works in this zone is code assessable. The proposal needs to address the following codes:

Applicable Code	Compliance	Comment
Environmental Management Zone	<input checked="" type="checkbox"/>	Complies. Refer to the code assessment.
Hillslopes Overlay	<input checked="" type="checkbox"/>	Complies. Refer to the code assessment.
Access, Parking and Servicing	<input checked="" type="checkbox"/>	Complies. Not applicable to the proposed retaining wall.
Excavation and Filling	<input checked="" type="checkbox"/>	Complies. No significant excavation and filling is required.
Infrastructure Works	<input checked="" type="checkbox"/>	Complies. No changes are required to the infrastructure on site.

Supporting this application, the following is provided:

- Relevant assessment against applicable planning scheme codes;
- DA form 1 and 2;
- Plans; and
- Fee.

Should you require any further information or assistance in relation to this manner please don't hesitate to contact Ryan Bird on (07) 4229 0835 or via email at approvals@rapidapprovals.com.au

Regards,
Ryan Bird

Environmental Management Zone Code

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites.	AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height. AO1.2 Buildings have a roof height not less than 2 metres.	Complies. The proposed retaining wall maximum height is 1700mm.
PO2 Buildings and structures are set back to: (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages.	AO2 Buildings and structures are set back not less than: (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.	Complies with all setbacks.
PO3 Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses	AO3 Inconsistent uses as identified in Table 6.2.4.3.b are not established in the Environmental management zone	Complies. Proposal is for a retaining wall ancillary to an existing dwelling.
PO4 The site coverage of all buildings and structures and associated services do not have an adverse effect on the	PO4 No acceptable outcomes are prescribed.	Not applicable.

Performance outcomes	Acceptable outcomes	Applicant response
environmental or scenic values of the site.		
PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.	AO5.1 Buildings, structures and associated access, infrastructure and private open space are sited: (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; (c) to minimise additional vegetation clearing. AO5.2 Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.	Complies. The proposed retaining is to be located within an existing clearing.
PO6 Buildings and structures are responsive to steep slope through innovative construction techniques so as to: (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; (c) minimise the overall height of development.	AO6.1 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised. AO6.2 Access and vehicle manoeuvring and parking areas are constructed and maintained to: (a) minimise erosion; (b) minimise cut and fill; (c) follow the natural contours of the site.	Complies AO6.1. Proposal is for a retaining wall for site stability and does not result in adverse earthworks or large changes to the landform.
PO7 The exterior finishes of buildings and structures are consistent with the surrounding natural environment.	PO7 The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.	Complies. The proposed retaining wall is constructed for concrete sleepers.

Performance outcomes	Acceptable outcomes	Applicant response
PO8 Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	A08 No acceptable outcomes are prescribed.	Complies. The proposal is for a retaining wall ancillary to the existing residential use.
PO9 The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	A09 The maximum residential density is one dwelling house per lot.	Complies.
PO10 Lot reconfiguration results in no additional lots.	A010 No acceptable outcomes are prescribed.	Not applicable.

Hillslopes Overlay Code

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable development		
PO1 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	A01.1 Development is located on parts of the site that are not within the Hillslopes constraint sub-category as shown on the Hillslopes overlay Maps contained in schedule 2.	Not applicable.
For assessable development		
PO2 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	A02.1 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) or	Complies A02.1. Development will not occur on land with a gradient in excess of 1 in 6.

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO2.2 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p> <p>AO2.3 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to minimise the visual impact of the construction; (c) provided with erosion control measures immediately after construction.</p> <p>AO2.4 The clearing or disturbance of vegetation is limited to clearing and disturbance that: (a) is necessary for the construction of driveways; (b) is necessary to contain the proposed development; (c) minimises canopy clearing or disturbance; (d) minimises riparian clearing or disturbance.</p> <p>AO2.5 On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p>	<p>AO2.2 – Not applicable.</p> <p>AO2.3 – Not applicable. No change to the access is required.</p> <p>AO2.4 Complies. No clearing is required.</p> <p>AO2.5 - Not applicable.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO2.6 Development does not alter the sky line.</p> <p>AO2.7 Buildings and structures:</p> <ul style="list-style-type: none"> (a) are finished predominantly in the following exterior colours or surfaces: (b) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (c) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; (d) are not finished in the following exterior colours or surfaces: (e) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (f) reflective surfaces. <p>AO2.8 Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features</p> <p>AO2.9 Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p> <p>AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land:</p> <ul style="list-style-type: none"> (a) with a gradient of 1 in 6 (16.6%) or more; (b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks 	<p>AO2.6 – Complies.</p> <p>AO2.7 – Complies. The proposed retaining wall is to be constructed of concrete sleepers.</p> <p>AO2.8 – Complies.</p> <p>AO2.9 – Not applicable.</p> <p>AO2.10 – Not applicable.</p>

Performance outcomes	Acceptable outcomes	Applicant response
PO3 Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through: (a) loss of privacy; (b) loss of access to sunlight; (c) intrusion of visual or overbearing impacts; (d) complex engineering solutions.	AO3 Excavation or fill: (a) is not more than 1.2 metres in height for each batter or retaining wall; (b) is setback a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping; (d) does not exceed a maximum of 3 batters and 3 berms (i.e. not greater than 3.6 metres in height) on any one lot.	Not applicable. No significant excavation and filling is required as the retaining is to be located in an existing developed area of the allotment.
Lot reconfiguration – Not applicable.		

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Robert & Marilynne Akers
Contact name (only applicable for companies)	Ryan Bird C/- RAPID Building Approvals
Postal address (P.O. Box or street address)	Suite 7 2-4 Stanton Road
Suburb	Smithfield
State	QLD
Postcode	4878
Country	Australia
Contact number	1300 163 814
Email address (non-mandatory)	approvals@rapidapprovals.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	4135/25
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		158-164	Somerset Drive	Miallo
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	10	RP849655	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable)	

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☒ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application



6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☐ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)



10) Subdivision**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?**
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work**Note:** This division is only required to be completed if any part of the development application involves operational work.**14.1) What is the nature of the operational work?**

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: _____ | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)☐ Yes – specify number of new lots: _____☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$\$ 0.00		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☒ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable



**Queensland
Government**

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	Retaining Wall		
QLeave project number			
Amount paid (\$)	\$ 0.00	Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager	09/29/2025		
Name of officer who sighted the form	Ryan Bird		

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Greg & Tanya Santarossa C/- Rapid Building Approvals
Contact name (only applicable for companies)	Ryan Bird
Postal address (PO Box or street address)	158-164 Somerset Drive
Suburb	Miallo
State	QLD
Postcode	4873
Country	
Contact number	
Email address (non-mandatory)	gregsantarossa@gmail.com
Mobile number (non-mandatory)	0418 700 398
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	4135/25

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)			
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .			
2.1) Street address and lot on plan			
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or			
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).			
Unit No.	Street No.	Street Name and Type	Suburb
	158-164	Somerset Drive	Miallo

Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	10	RP849655	Douglas Shire Council

2.2) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

☒ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

☐ Yes – proceed to 8)

☒ No

5) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

☐ Yes – a copy of the decision notice is attached to this development application

☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

☒ No

7) Information request under Part 3 of the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

☐ Yes – a copy of the receipted QLeave form is attached to this development application

<input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$ 0.00		
10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?		
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No		

11) Identify any of the following further legislative requirements that apply to any aspect of this development application			
<input type="checkbox"/> The proposed development is on a place entered in the Queensland Heritage Register or in a local government's Local Heritage Register . See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place			
Name of the heritage place:		Place ID:	

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?
<input checked="" type="checkbox"/> Yes – the <i>Referral checklist for building work</i> is attached to this development application <input type="checkbox"/> No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)		

PART 5 – BUILDING WORK DETAILS

14) Owner's details	
<input type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) (individual or company full name)	
Contact name (applicable for companies)	Robert & Marilynne Akers
Postal address (P.O. Box or street address)	10 Somerset Drive
Suburb	Miallo
State	QLD
Postcode	4873
Country	
Contact number	
Email address (non-mandatory)	rakers@pnghssdp.org

Mobile number <i>(non-mandatory)</i>	0488 011 567		
Fax number <i>(non-mandatory)</i>			
15) Builder's details			
<input type="checkbox"/> Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.			
Name(s) <i>(individual or company full name)</i>			
Contact name <i>(applicable for companies)</i>	Greg & Tanya Santarossa		
QBCC licence or owner – builder number	45582		
Postal address <i>(P.O. Box or street address)</i>	158-164 Somerset Drive		
Suburb	Miallo		
State	QLD		
Postcode	4873		
Contact number			
Email address <i>(non-mandatory)</i>	gregsantarossa@gmail.com		
Mobile number <i>(non-mandatory)</i>	0418 700 398		
Fax number <i>(non-mandatory)</i>			
16) Provide details about the proposed building work			
What type of approval is being sought?			
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			
b) What is the level of assessment?			
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>			
c) Nature of the proposed building work (tick all applicable boxes)			
<input type="checkbox"/> New building or structure <input type="checkbox"/> Change of building classification <i>(involving building work)</i> <input checked="" type="checkbox"/> Extension <input type="checkbox"/> Demolition <input type="checkbox"/> Construction of swimming pool or spa barrier		<input type="checkbox"/> Repairs, alterations or additions <input type="checkbox"/> Construction of Swimming pool or spa <input type="checkbox"/> Re-erection <input type="checkbox"/> Relocation or removal <input type="checkbox"/> Other	
d) Provide a description of the work below or in an attached schedule.			
Retaining Wall			
e) Proposed construction materials			
External walls	<input type="checkbox"/> Double Brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick Veener	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other
f) Existing building use/classification? <i>(if applicable)</i>			
Dwelling			
g) New building use/classification? <i>(if applicable)</i>			

10a
h) Relevant plans Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application
17) What is the monetary value of the proposed building work?
\$70,000.00

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input checked="" type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$543.10	22/09/25	15015621

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 9</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: <i>It is unlawful to intentionally provide false or misleading information.</i>
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

10a

Name	QBCC Certification Licence number	QBCC Insurance receipt number
Ryan Bird	A15019600	15015621

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input checked="" type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Concrete/Stone/Slate <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

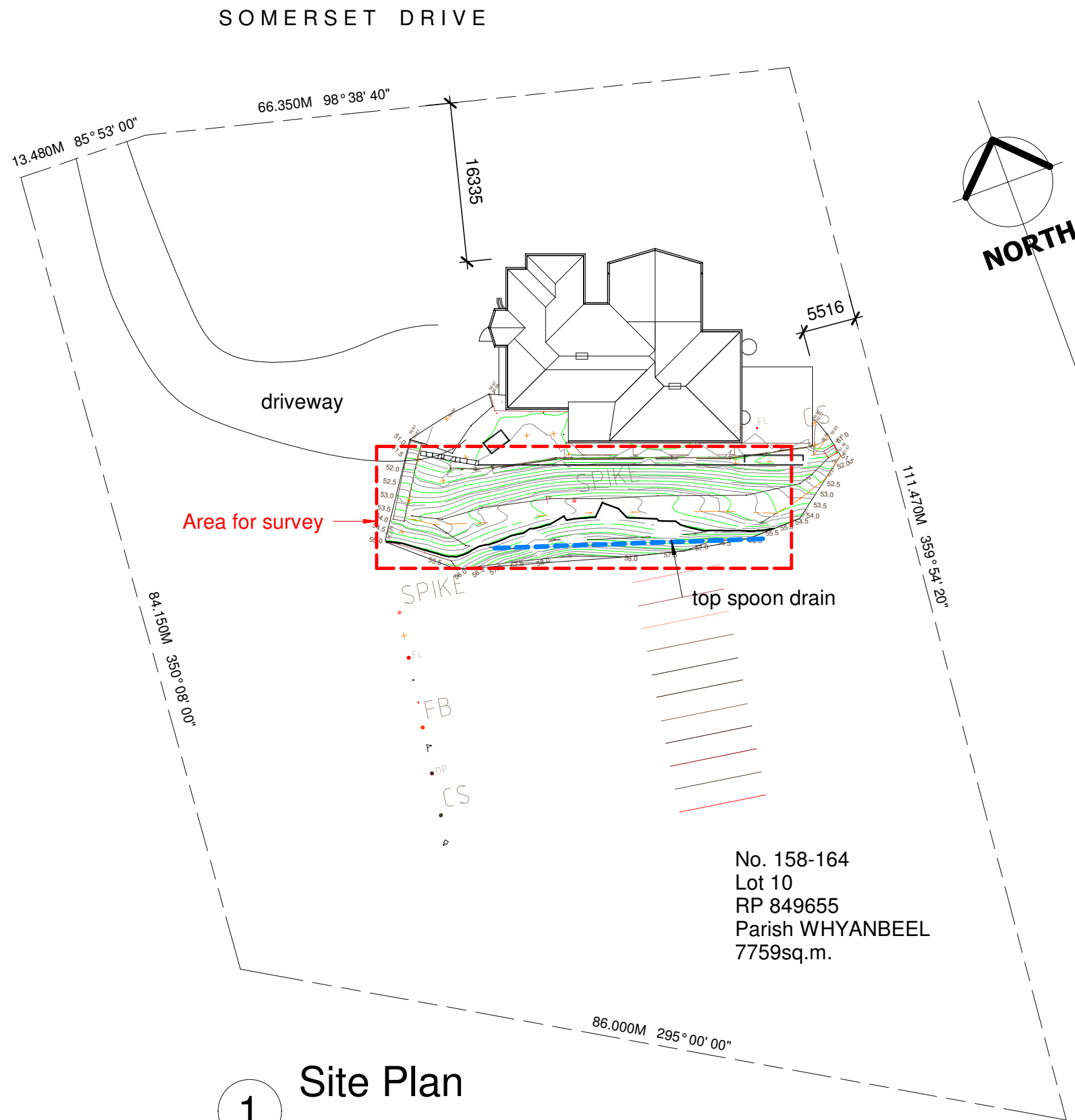
QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	Retaining Wall
QLeave project number	
Amount paid (\$)	0.0000
Date received form sighted by assessment manager	
Name of officer who sighted the form	Ryan Bird

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)		Dwelling	
New building use/classification?		10a	
Site area (m ²)	7759m2	Floor area (m ²)	



RODGERS Consulting Engineers Ph. 40 519 466	These drawings are copyright and must not be copied or retained. Do not scale from drawings. The contractor & sub- contractors are to verify all dimensions before commencing work and bring to the attention of the designer any discrepancies they may find.	R & L Akers No. 158-164 Somerset Dr. Miallo Proposed Renovations	LAWSON DESIGN PH. 40 532 058 M. 0412 592 900 P.O. Box 349 EDGE HILL 4870 Building Designers Assoc. Qld. QBSA no. 24590	Site Classification TBC	Date 8/10/24	JOB No. 2011
				Design Wind Speed C2	Amendments	DWG. No. 01

CONCRETE SLEEPER RETAINING WALL

Lot 10 Somerset Drive Miallo QLD 4873



DRAWING LIST			
SHEET	NAME	ISSUE DATE	REVISION
S101	TITLE SHEET	02/10/2024	B
S102	GENERAL NOTES	02/10/2024	B
S103	SITE PLAN	02/10/2024	B
S104	RETAINING WALL LAYOUT PLAN	02/10/2024	B
S105	TYPICAL RETAINING WALL DETAILS	02/10/2024	B
S106	CONCRETE SLEEPER SCHEDULE & DETAIL	02/10/2024	B
S107	PIER FOUNDATION DETAILS (OPTION 2)	02/10/2024	B
S108	CONCRETE SLEEPER SCHEDULE & DETAILS (OPTION 2)	02/10/2024	B

SITE LOCALITY

1 : 2000

Lot / Plan : 10RP849655
Property Size : 7759m² (Land Area)
Local Government : Douglas Shire
Zone and Precinct : Low Density Residential - Suburban

REV	DESCRIPTION	DATE	DRAWN	APPROVED
B	PIER FOUNDATION DETAILS (OPTION 2)	02/10/2024	TL	PS
A	FOR COORDINATION	01/10/2024	TL	PS



www.Nexus-Engineering.com.au
Enquiries@Nexus-Engineering.com.au
ABN: 15 645 654 548
Bldg. 1, L2, Kings Row, 52 McDougall St, Milton
QLD 4064 Ph.(07) 2113 3626

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Client

TONY LAWSON


tony@lawsondesign.com.au

4053 2058 / 0412 592 900

Project Address

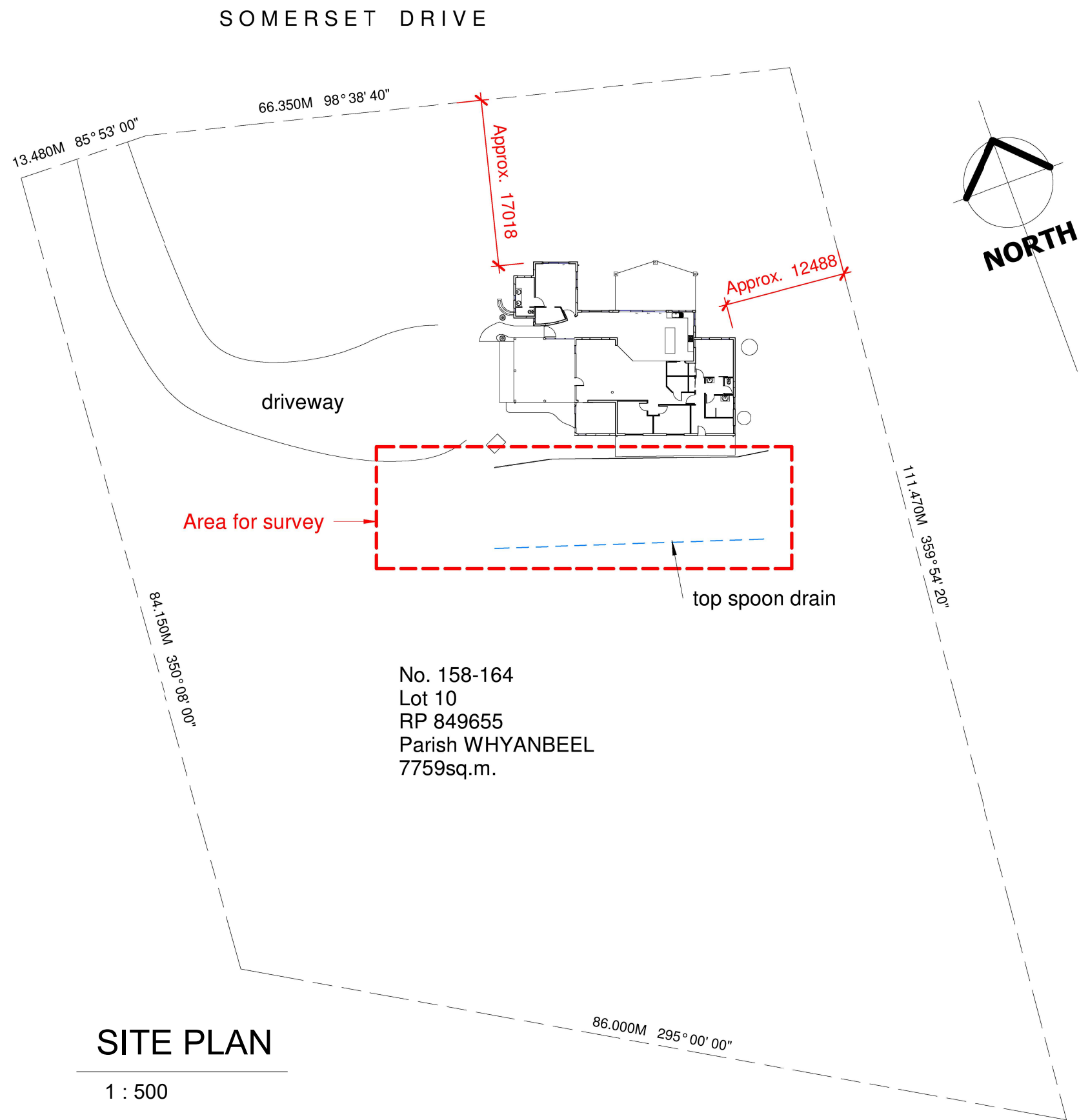
Lot 10 Somerset Drive Miallo QLD 4873

ENGINEERING CERTIFICATION

Eng. Area	Name	Signature	Reg.	Date
Structural	Konstantin Popov		18831	02/10/2024

Project			
CONCRETE SLEEPER RETAINING WALL			
Sheet			
TITLE SHEET			
Job No.		Drawing No.	REV
NE - 2956		S101	B





NOTE:
THE PLAN IS THE COURTESY OF RODGERS CONSULTING ENGINEERS.

B	PIER FOUNDATION DETAILS (OPTION 2)	02/10/2024	TL	PS
A	FOR COORDINATION	01/10/2024	TL	PS
REV	DESCRIPTION	DATE	DRAWN	APPROVED



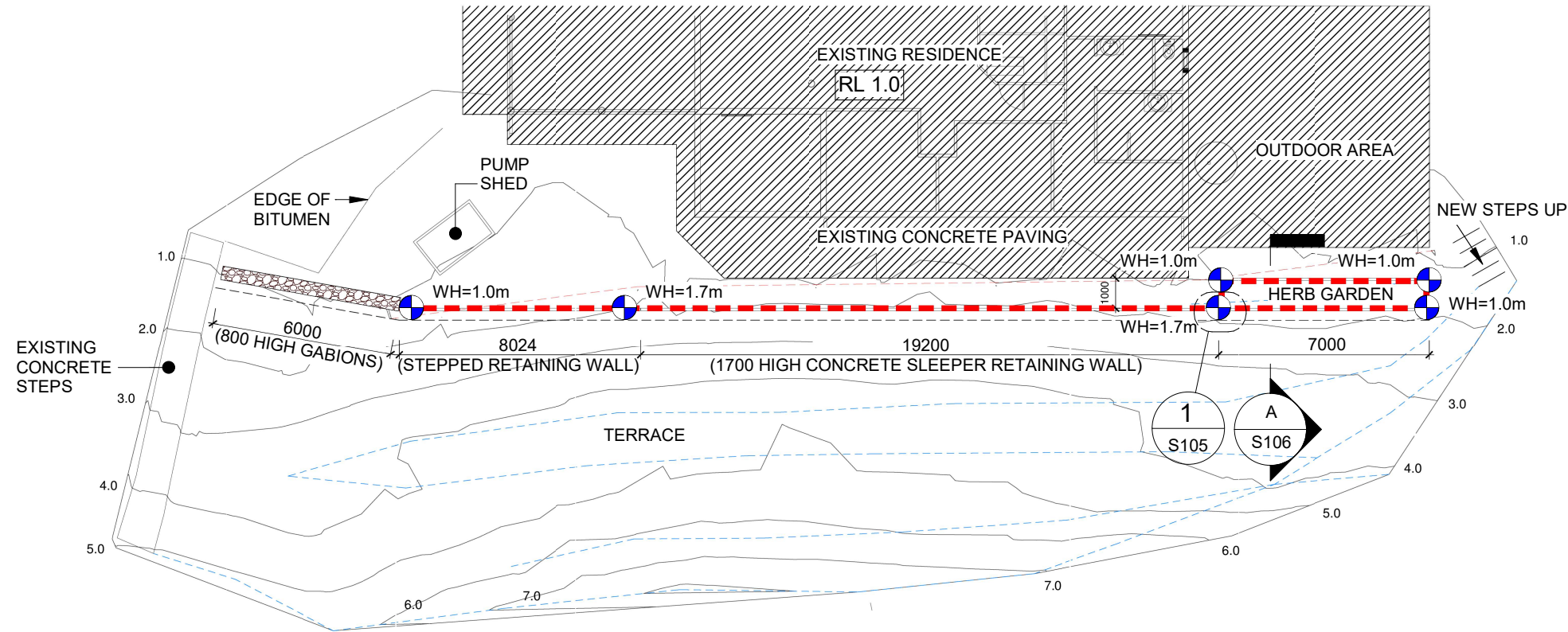
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Client		TONY LAWSON tony@lawsondesign.com.au 4053 2058 / 0412 592 900			
Project Address		Lot 10 Somerset Drive Miallo QLD 4873			
ENGINEERING CERTIFICATION					
Eng. Area	Name		Signature	Reg.	Date
Structural	Konstantin Popov			18831	02/10/2024

Project	CONCRETE SLEEPER RETAINING WALL				
Sheet	SITE PLAN				
	Job No.	Drawing No.	REV		
	NE - 2956	S103	B		

02/10/24 4:05:47 PM



RETAINING WALL LAYOUT PLAN

1 : 200

LEGEND :

- WH=1.7m - PROPOSED WALL HEIGHT
- PROPOSED CONCRETE SLEEPER RETAINING WALL

NOTES:

1. THE PLAN IS THE COURTESY OF *RODGERS CONSULTING ENGINEERS*.
2. BUILDER SHALL VERIFY THE LOCATION OF THE ASSETS PRIOR TO CONSTRUCTION.
3. THE HEIGHT OF THE RETAINING WALL IS SHOWN INDICATIVELY.
BUILDER SHALL DECIDE ON SITE.

B	PIER FOUNDATION DETAILS (OPTION 2)	02/10/2024	TL	PS
A	FOR COORDINATION	01/10/2024	TL	PS
REV	DESCRIPTION	DATE	DRAWN	APPROVED

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Client

TONY LAWSON
tony@lawsondesign.com.au
4053 2058 / 0412 592 900

Project Address

Lot 10 Somerset Drive Miallo QLD 4873

ENGINEERING CERTIFICATION

Eng. Area	Name	Signature	Reg.	Date
Structural	Konstantin Popov		18831	02/10/2024

Project

CONCRETE SLEEPER RETAINING WALL

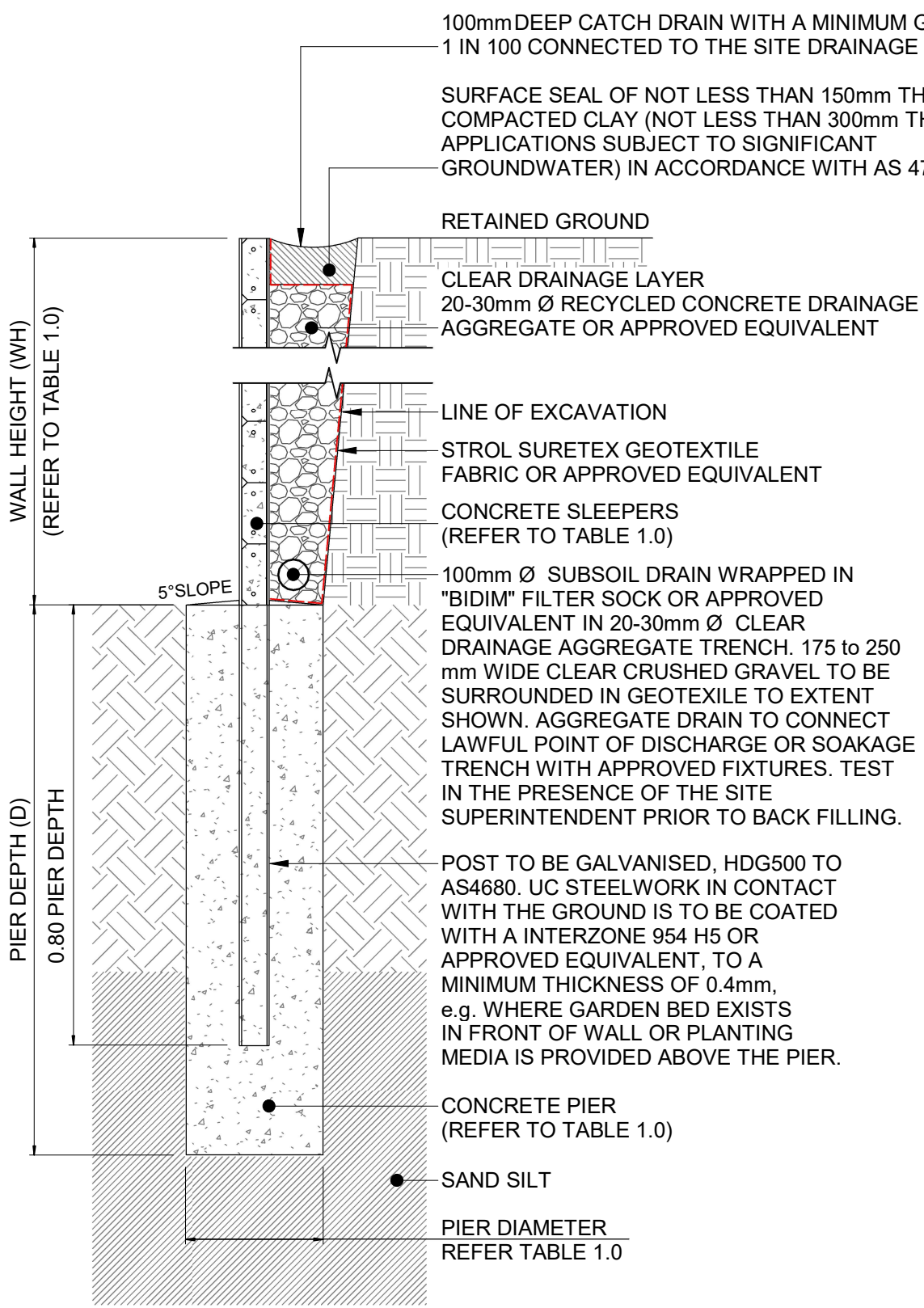
Sheet

RETAINING WALL LAYOUT PLAN

Job No.
NE - 2956

Drawing No.
S104

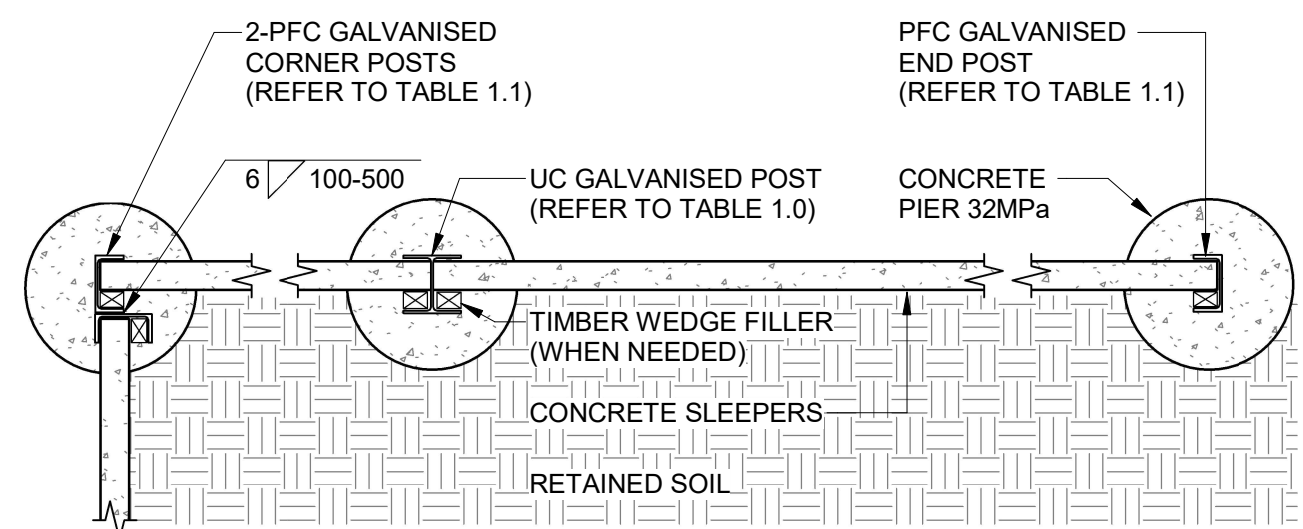
REV
B



NOTE:
FOR THE VALUE OF SLEEPER RETAINING WALL HEIGHT (WH),
PIER EMBEDMENT (D) AND POST SPACING (S),
REFER TO TABLE 1.0

TYPICAL RETAINING WALL SECTION

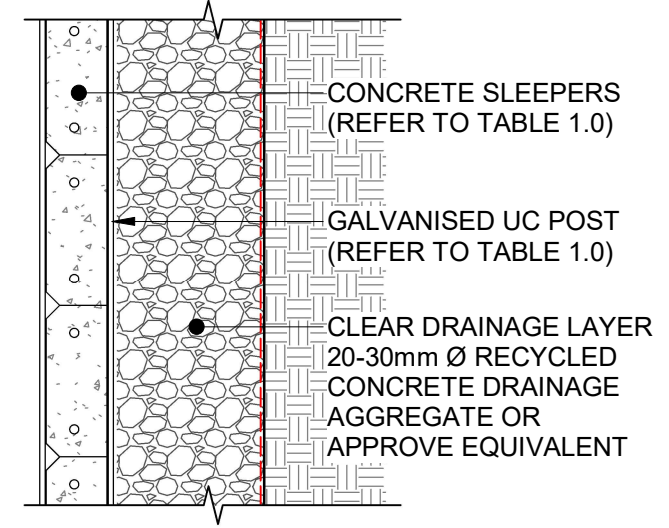
1 : 20



NOTE:
ALL POSTS WITH 5-10° ANGLE AGAINST THE RETAINED GROUND IS ALLOWED.

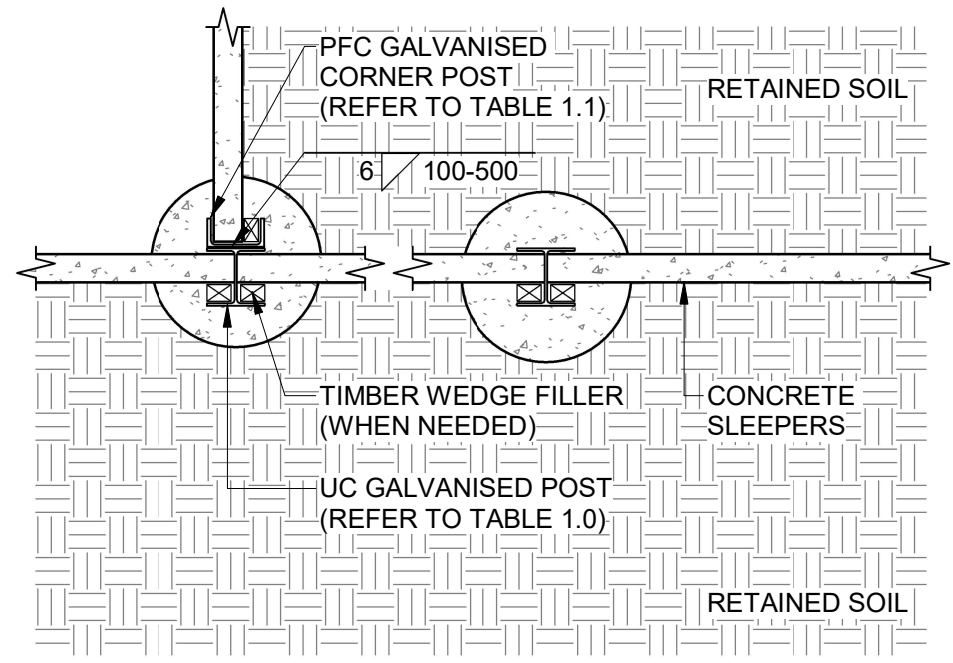
TYPICAL RETAINING WALL PLAN

1 : 20



CONCRETE SLEEPER

1 : 10



1

S104

DETAIL

1 : 20


REV	DESCRIPTION	DATE	DRAWN	APPROVED
B	PIER FOUNDATION DETAILS (OPTION 2)	02/10/2024	TL	PS
A	FOR COORDINATION	01/10/2024	TL	PS

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Client		TONY LAWSON	
		tony@lawsondesign.com.au 4053 2058 / 0412 592 900	
Project Address		Lot 10 Somerset Drive Miallo QLD 4873	
ENGINEERING CERTIFICATION			
Eng. Area	Name	Signature	Reg. Date
Structural	Konstantin Popov		18831 02/10/2024

Project

CONCRETE SLEEPER RETAINING WALL

Sheet

TYPICAL RETAINING WALL DETAILS

Job No.

NE - 2956

Drawing No.

S105

REV

B

02/10/24 4:05:51 PM

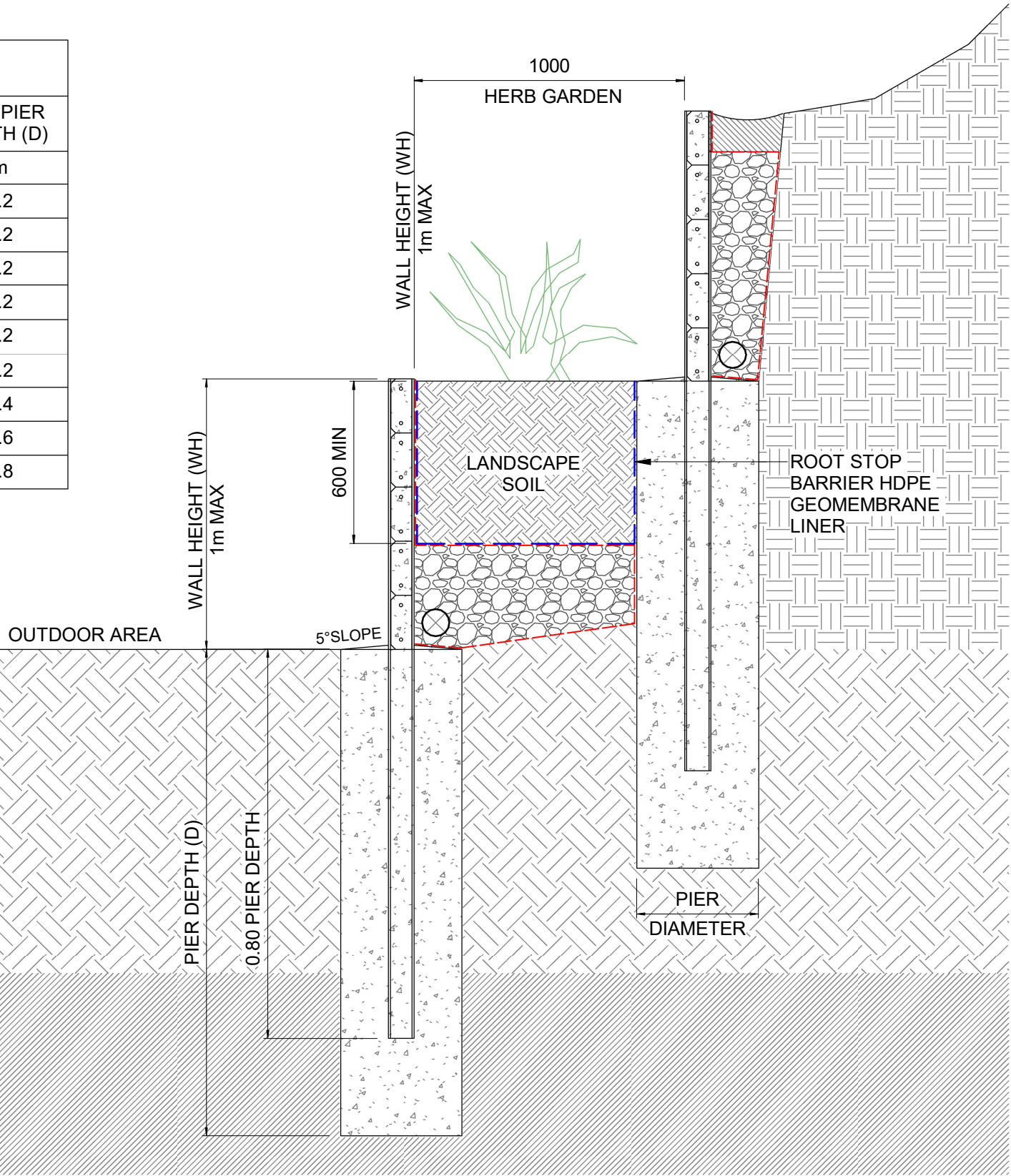
TABLE 1.0 (TYPICAL SECTIONS)

EARTH RETAINING WALLS CONCRETE SLEEPERS							
WALL HEIGHT (WH)	SLEEPER LENGTH	SLEEPER SIZE	SLEEPER REINFORCEMENT	POST TYPE	POST SPACING (S)	PIER DIAMETER	MIN. PIER DEPTH (D)
m	m	mm	-	-	m	mm	m
0.01 - 0.20	2.0	200x75	2N12	100UC14.8	2.015	450	2.2
0.21 - 0.40	2.0	200x75	2N12	100UC14.8	2.015	450	2.2
0.41 - 0.60	1.5	200x75	2N12	100UC14.8	1.515	450	2.2
0.61 - 0.80	1.5	200x80	2N12	100UC14.8	1.515	450	2.2
0.81 - 1.00	1.5	200x80	2N12	100UC14.8	1.515	450	2.2
1.01 - 1.20	1.5	200x80	2N12	100UC14.8	1.515	450	2.2
1.21 - 1.40	1.5	200x80	2N12	100UC14.8	1.515	450	2.4
1.41 - 1.60	1.5	200x80	3N12	150UC23.4	1.515	450	2.6
1.61 - 1.80	1.5	200x80	3N12	150UC23.4	1.515	450	2.8

- TABLE PROVIDED FOR GENERAL INFORMATION ONLY.
- A FENCE IS ALLOWED TO BE BUILT WITH MAXIMUM HEIGHT EQUAL TO 1.8m.
- REFER TO DESIGN ENGINEER FOR FURTHER DETAILS IF REQUIRED.
- SLOPE STABILITY ASSESSMENT IF REQUIRED SHALL BE DONE BY OTHERS.

TABLE 1.1 (TYPICAL SECTIONS)

END POSTS	
WALL HEIGHT (H)	POST TYPE
m	-
0.40 - 1.40	100PFC
1.60 - 1.80	125PFC



NOTE:
REFER DWG # S105 FOR TYPICAL RETAINING WALL SECTION DETAIL.

A

S104

SECTION

1 : 20

B	PIER FOUNDATION DETAILS (OPTION 2)	02/10/2024	TL	PS
A	FOR COORDINATION	01/10/2024	TL	PS
REV	DESCRIPTION	DATE	DRAWN	APPROVED





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Client

Project Address

Eng. Area

TONY LAWSON

Lot 10 Somerset Drive Miallo QLD 4873

Structural

ENGINEERING CERTIFICATION

Signature

Reg.

Date

tony@lawsondesign.com.au

4053 2058 / 0412 592 900

18831


02/10/2024

Project

Sheet

CONCRETE SLEEPER RETAINING WALL

CONCRETE SLEEPER SCHEDULE & DETAIL

DIAL BEFORE YOU DIG

Job No.

Drawing No.

REV

NE - 2956

S106

B

100mmDEEP CATCH DRAIN WITH A MINIMUM GRADE OF 1 IN 100 CONNECTED TO THE SITE DRAINAGE SYSTEM

250

SURFACE SEAL OF NOT LESS THAN 150mm THICK COMPACTED CLAY (NOT LESS THAN 300mm THICK APPLICATIONS SUBJECT TO SIGNIFICANT GROUNDWATER) IN ACCORDANCE WITH AS 4768

RETAINED GROUND LEVEL

CONCRETE SLEEPERS

CLEAR DRAINAGE LAYER
20-30mm Ø RECYCLED CONCRETE DRAINAGE AGGREGATE OR APPROVE EQUIVALENT

LINE OF EXCAVATION

STROL SURETEX GEOTEXTILE FABRIC OR APPROVED EQUIVALENT

100mm Ø SUBSOIL DRAIN WRAPPED IN "BIDIM" FILTER SOCK OR APPROVED EQUIVALENT IN 20-30mm Ø CLEAR DRAINAGE AGGREGATE TRENCH. 175 to 250 mm WIDE CLEAR CRUSHED GRAVEL TO BE SURROUNDED IN GEOTEXTILE TO EXTENT SHOWN. AGGREGATE DRAIN TO CONNECT LAWFUL POINT OF DISCHARGE OR SOAKAGE TRENCH WITH APPROVED FIXTURES. TEST IN THE PRESENCE OF THE SITE SUPERINTENDENT PRIOR TO BACK FILLING.

GALVANISED POST

GALVANIZED REINFORCEMENT BAR (DB)

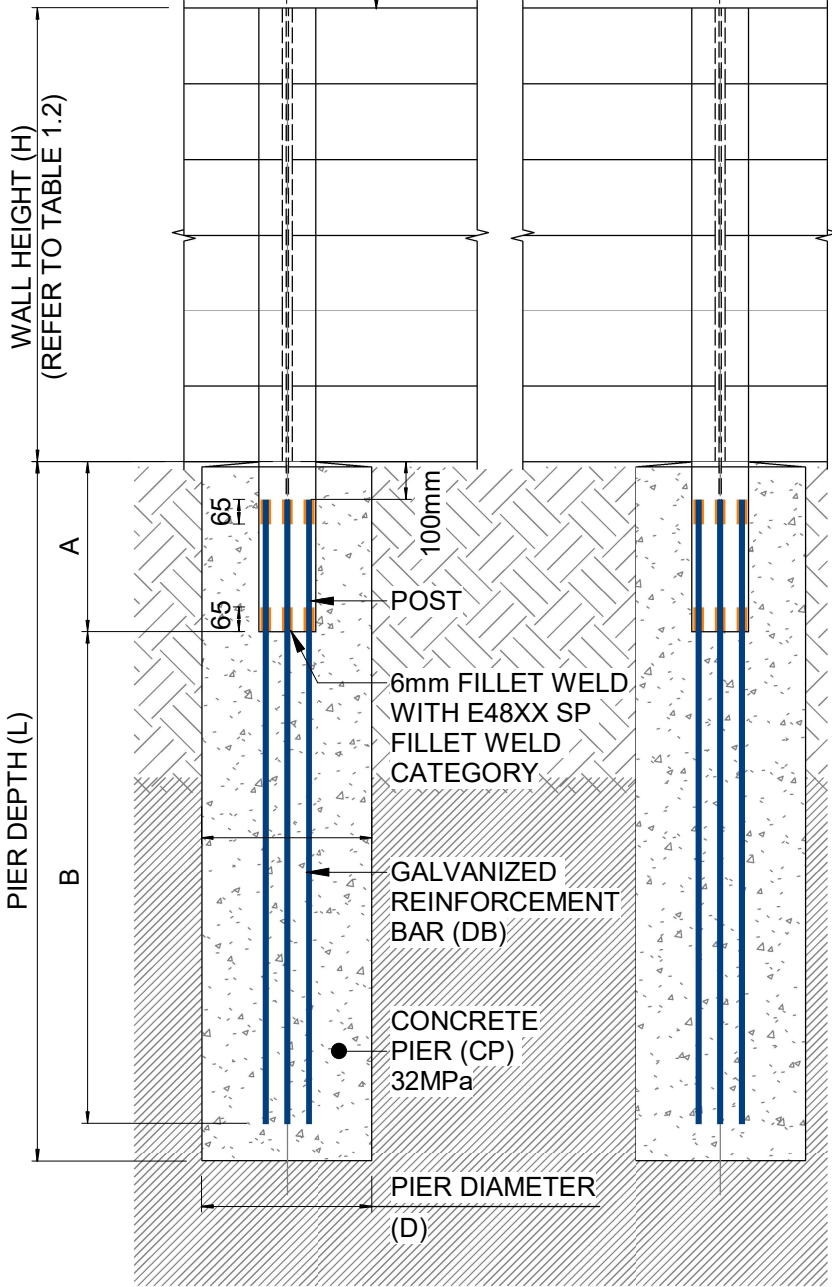
CONCRETE PIER (CP)
32MPa, CONCRETE PLACEMENT AND CURING SHALL BE IN ACCORDANCE WITH AS3600

PIER
DIAMETER
(D)

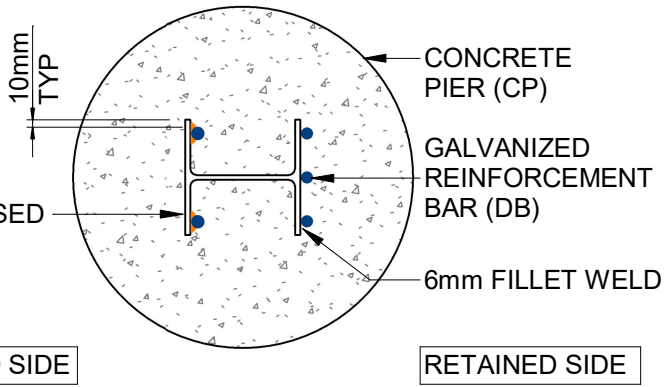
SECTION

POST SPACING

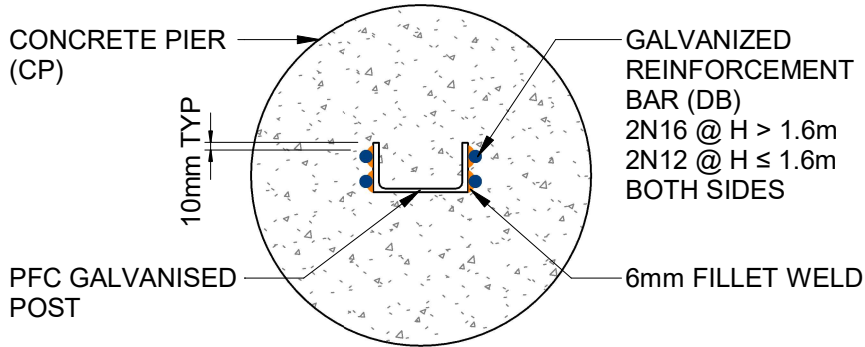
CONCRETE SLEEPER



ELEVATION



UC POST



PFC POST

TYPICAL PLAN

1 : 10

NOTE:
GALVANISING SHALL CONFORM TO HDG500 AS PER AS4680. UNIVERSAL COLUMN (UC) STEELWORK IN CONTACT WITH THE GROUND SHALL BE COATED WITH INTERZONE 954 H5 OR AN APPROVED EQUIVALENT, TO A MINIMUM THICKNESS OF 0.4MM, PARTICULARLY IN AREAS WHERE GARDEN BEDS ARE PRESENT IN FRONT OF WALLS OR WHERE PLANTING MEDIA IS PROVIDED ABOVE THE PIER.

REV	DESCRIPTION	DATE	DRAWN	APPROVED
B	PIER FOUNDATION DETAILS (OPTION 2)	02/10/2024	TL	PS
A	FOR COORDINATION	01/10/2024	TL	PS



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Client

TONY LAWSON


tony@lawsondesign.com.au

4053 2058 / 0412 592 900

Project Address

Lot 10 Somerset Drive Miallo QLD 4873

ENGINEERING CERTIFICATION

Eng. Area	Name	Signature	Reg.	Date
Structural	Konstantin Popov		18831	02/10/2024

Project		CONCRETE SLEEPER RETAINING WALL	
Sheet		PIER FOUNDATION DETAILS (OPTION 2)	
Job No.		NE - 2956	Drawing No.
			S107
Rev		B	



02/10/24 4:05:56 PM

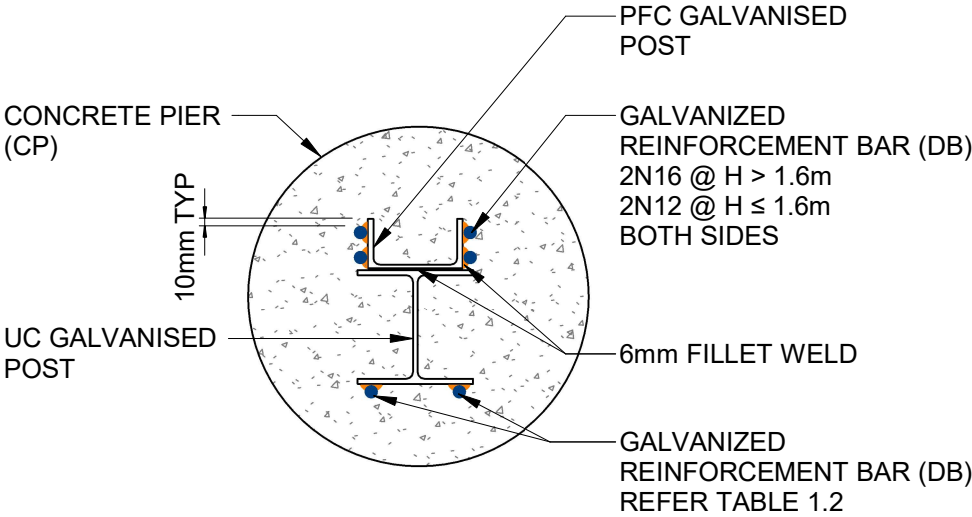
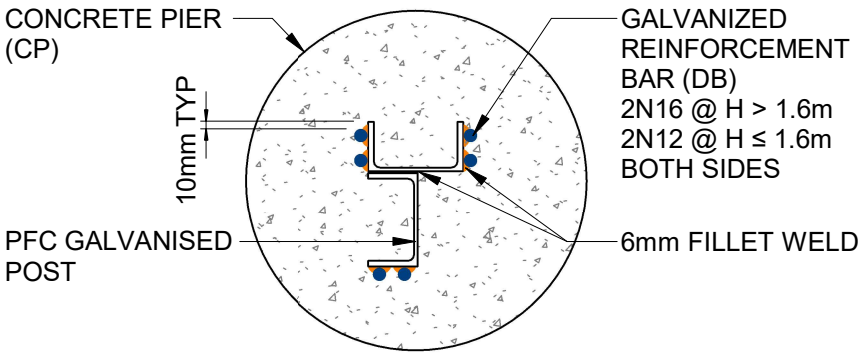
TABLE 1.2 (TYPICAL SECTIONS)

EARTH RETAINING WALLS CONCRETE SLEEPERS											
WALL HEIGHT (WH)	SLEEPER LENGTH	SLEEPER SIZE	SLEEPER REINFORCEMENT	POST TYPE	POST SPACING (S)	PIER DIAMETER (D)	MIN. PIER DEPTH (L)	PIER REINFORCEMENT			
								'A'	'B'	'DB'	
m	m	mm	-	-	m	mm	m	mm	mm	EXPOSED	RETAINED
0.01 - 0.20	2.0	200x75	2N12	100UC14.8	2.015	450	2.2	300	1300	2N12	2N12
0.21 - 0.40	2.0	200x75	2N12	100UC14.8	2.015	450	2.2	300	1300	2N12	2N12
0.41 - 0.60	1.5	200x75	2N12	100UC14.8	1.515	450	2.2	350	1300	2N12	2N12
0.61 - 0.80	1.5	200x80	2N12	100UC14.8	1.515	450	2.2	350	1300	2N16	2N16
0.81 - 1.00	1.5	200x80	2N12	100UC14.8	1.515	450	2.2	350	1300	2N16	2N16
1.01 - 1.20	1.5	200x80	2N12	100UC14.8	1.515	450	2.2	350	1300	2N16	2N16
1.21 - 1.40	1.5	200x80	2N12	100UC14.8	1.515	450	2.4	350	1500	2N16	2N16
1.41 - 1.60	1.5	200x80	3N12	150UC23.4	1.515	450	2.6	350	1600	2N16	2N16
1.61 - 1.80	1.5	200x80	3N12	150UC23.4	1.515	450	2.8	350	1800	2N16	3N16

- TABLE PROVIDED FOR GENERAL INFORMATION ONLY.
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- REFER TO DESIGN ENGINEER FOR FURTHER DETAILS IF REQUIRED.
- SLOPE STABILITY ASSESSMENT IF REQUIRED SHALL BE DONE BY OTHERS.

TABLE 1.1 (TYPICAL SECTIONS)

END POSTS	
WALL HEIGHT (H)	POST TYPE
m	-
0.40 - 1.40	100PFC
1.60 - 1.80	125PFC



2 - PFC POSTS

PFC / UC POSTS

TYPICAL PLAN

1 : 10

B	PIER FOUNDATION DETAILS (OPTION 2)	02/10/2024	TL	PS
A	FOR COORDINATION	01/10/2024	TL	PS
REV	DESCRIPTION	DATE	DRAWN	APPROVED

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Client
TONY LAWSON
tony@lawsondesign.com.au
4053 2058 / 0412 592 900

Project Address
Lot 10 Somerset Drive Miallo QLD 4873

ENGINEERING CERTIFICATION				
Eng. Area	Name	Signature	Reg.	Date
Structural	Konstantin Popov		18831	02/10/2024

Project
CONCRETE SLEEPER RETAINING WALL

Sheet
CONCRETE SLEEPER SCHEDULE & DETAILS (OPTION 2)

Job No.
NE - 2956

Drawing No.
S108


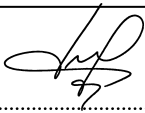
REV
B

02/10/24 4:05:58 PM

This form is the approved form that must be used in accordance with section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

<p>1. Property description</p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>Where applicable, the description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include number, street, suburb/locality and postcode)</i></p> <p>Lot 10 Somerset Drive</p> <hr/> <p>Miallo State QLD Postcode 4873</p> <hr/> <p>Lot and plan details <i>(attach list if necessary)</i></p> <p>10RP849655</p> <hr/> <p>Local government area the land is situated in</p> <p>Douglas Shire</p> <hr/>
<p>2. Description of aspect/s certified</p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Concrete sleeper retaining wall at the southern side of the property.</p>
<p>3. Basis of certification</p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<ul style="list-style-type: none"> • AS 1170.0:2002 – PART 0: GENERAL PRINCIPLES • AS 1170.1:2002 – PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS • AS 2159:2009 – PILING DESIGN AND INSTALLATION • AS 3600:2018 – CONCRETE STRUCTURES • AS 1170.2:2021 – WIND LOAD ACTIONS • AS 4100:2020 – STEEL STRUCTURES • AS 4678:2002 – EARTH RETAINING STRUCTURES

4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	S101 TITLE SHEET Issued 02/10/2024 Rev. B S102 GENERAL NOTES Issued 02/10/2024 Rev. B S103 SITE PLAN Issued 02/10/2024 Rev. B S104 RETAINING WALL LAYOUT PLAN Issued 02/10/2024 Rev. B S105 TYPICAL RETAINING WALL DETAILS Issued 02/10/2024 Rev. B S106 CONCRETE SLEEPER SCHEDULE AND DETAIL Issued 02/10/2024 Rev. B S107 PIER FOUNDATION DETAILS (OPTION 2) Issued 02/10/2024 Rev. B S108 CONCRETE SLEEPER SCHEDULE & DETAILS(OPTION 2) Issued 02/10/2024 Rev. B
5. Building certifier reference number and building development application number	Building certifier reference number Building development application number (if available)
6. Appointed competent person details Under Part 6 of the Building Regulation 2021 a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.	<div style="display: flex;"> <div style="flex: 1;">  <p style="font-size: small; color: blue; text-align: center;">Scan for contact</p> </div> <div style="flex: 2;"> <p>Name (in full) Konstantin Popov</p> <hr/> <p>Company name (if applicable) Nexus Engineering Pty Ltd</p> <hr/> <p>Business phone number 07 2113 3626</p> <hr/> <p>Email address kp@Nexus-Engineering.com.au</p> <hr/> <p>Postal address Building 1 Level 2 Kings Row 52 McDougall St</p> <hr/> <p>Milton State QLD Postcode 4064</p> <hr/> <p>Licence class or registration type (if applicable) RPEQ</p> <hr/> <p>Licence or registration number (if applicable) 18831</p> <hr/> </div> </div>
7. Signature of appointed competent person This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.	<div style="display: flex; justify-content: space-between;"> <div> Signature  </div> <div> Date 02/10/2024 </div> </div>

LOCAL GOVERNMENT USE ONLY

Date received		Reference number/s	
----------------------	--	---------------------------	--

Appendix – explanatory information

IMPORTANT NOTE: it is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

Who can complete this certificate? (section 10 of the *Building Act 1975* (Building Act) and sections 73 and 77 of Building Regulation 2021 (BR 2021))

A building certifier can accept from a competent person (design-specification) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

When completing the certificate, a competent person is required under section 77 of the BR 2021 to include the basis for giving the certificate and state the extent to which the competent person has relied on tests, specifications, rules, standards, codes of practice or other publications.

What is the purpose of this form? (section 10 of the Building Act and sections 73 and 77 of the BR 2021)

The information in this form informs the building certifier's decision making when they are assessing a building development application, issuing the building development approval for the building work the subject of the certificate (form) and when amending the building development approval due to the receipt of updated aspect information such as glazing or truss specifications or revised excavation drawings.

Can a manufacturer or supplier give this Form 15?

A building certifier can accept this form from a manufacturer or supplier who the certifier has decided is a competent person (design-specification).

A manufacturer or supplier of building materials can give this form if they have undertaken the design component for the product. For example a window manufacturer who designs, constructs and supplies the windows to industry could give this form.

Competent person (section 10 of the Building Act 1975 and Part 6 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can accept design-specification help.

When deciding whether a person can be a competent person, the building certifier must assess the person having regard to their experience, qualifications and skills and ensure the person holds a licence or registration if required.

The building certifier is required to keep detailed records about what was considered when appointing a competent person.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

What is required if a manufacturer or supplier did not do the design work for the product?

A manufacturer or supplier who is not part of the design process may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a product technical statement under Part A5 of the Building Code of Australia (BCA), for an aspect or material stating that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

What if there is not enough space for all the supporting material/documents?

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. Note that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

Appointed competent person (design or specification) – (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

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