

# DA Form 2 – Building work details

Approved form (version 1.1 effective 22 JUNE 2018) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development**, use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Alan Jenkins and Natalie Gordon
Contact name (only applicable for companies)	Patrick Clifton, GMA Certification
Postal address (PO Box or street address)	PO Box 2760
Suburb	Nerang
State	QLD
Postcode	4211
Country	Australia
Contact number	0438 755 374
Email address (non-mandatory)	Patrick.c@gmacert.com.au
Mobile number (non-mandatory)	0438 755 374
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	20192579

## PART 2 – LOCATION DETAILS

### 2) Location of the premises (complete 2.1 and/or 2.2 if applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Form Guide: Relevant plans](#).

#### 2.1) Street address and lot on plan

- Street address AND lot on plan (all lots must be listed), or
- Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).



Queensland  
Government

Unit No.	Street No.	Street Name and Type	Suburb
	30	Silky Oak Road	Cow Bay
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	184	RP738148	Douglas Shire Council

### 2.2) Additional premises

Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

### 3) Are there any existing easements over the premises?

**Note:** Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – FURTHER DETAILS

### 4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

### 5) Identify the assessment manager(s) who will be assessing this development application

*Douglas Shire Council*

### 6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

### 7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

### 8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

**9) Has the portable long service leave levy been paid?**

- Yes – the yellow local government/private certifier’s copy of the receipted QLeave form is attached to this development application
- No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

**10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?**

- Yes – show cause or enforcement notice is attached
- No

**11) Identify any of the following further legislative requirements that apply to any aspect of this development application**

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government’s **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

## PART 4 – REFERRAL DETAILS

**12) Does this development application include any building work aspects that have any referral requirements?**

- Yes – the *Referral checklist for building work* is attached to this development application
- No – proceed to Part 5

**13) Has any referral agency provided a referral response for this development application?**

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application *(if applicable)*

## PART 5 – BUILDING WORK DETAILS

**14) Owner’s details**

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) <i>(individual or company full name)</i>	Roseanne Watts
Contact name <i>(applicable for companies)</i>	
Postal address <i>(P.O. Box or street address)</i>	c/- Alan Jenkins and Natalie Gordon, 65 Morrish Road

Suburb	Mossman
State	QLD
Postcode	4871
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

### 15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	
Suburb	
State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

### 16) Provide details about the proposed building work

a) What type of approval is being sought?

- Development permit  
 Preliminary approval

b) What is the level of assessment?

- Code assessment  
 Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- New building or structure  
 Change of building classification *(involving building work)*  
 Demolition  
 Repairs, alterations or additions  
 Swimming pool and/or pool fence  
 Relocation or removal

d) Provide a description of the work below or in an attached schedule.

Ground floor rear extension to an existing Dwelling House

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input checked="" type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other

Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)			
Class 1a			
g) New building use/classification? (if applicable)			
Class 1a			
h) Relevant plans <b>Note:</b> Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a> .			
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application			

17) What is the monetary value of the proposed building work?	<b>\$TBC</b>
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18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <b>Note:</b> Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a> .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <b>Note:</b> It is unlawful to intentionally provide false or misleading information.
<b>Privacy</b> –pPersonal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the DA Rules except where: <ul style="list-style-type: none"> <li>such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> </ul>

- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference numbers:

### For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number

### Notification of engagement of alternate chosen assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

### Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m <sup>2</sup> )		Floor area (m <sup>2</sup> )	



GMA Certification  
Group

*Leader's in  
Building Certification Services*



## **PLANNING STATEMENT**

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For: Alan Jenkins and Natalie Gordon  
Development: Dwelling House Extension  
At: 30 Silky Oak Road, Cow Bay (Lot 184 RP738148)  
Prepared by: GMA Certification Group  
File Ref: 20192579  
Revision: A

# Table of Contents

1.0	Introduction.....	3
2.0	Development Summary .....	4
3.0	Site and Locality .....	6
4.0	Proposal .....	7
5.0	Statutory Planning Considerations.....	8
5.1	Planning Act 2016 .....	8
5.1.1	Categorisation of Development .....	8
5.1.2	Assessment Manager .....	8
5.1.3	Level of Assessment .....	8
5.1.4	Statutory Considerations for Assessable Development.....	8
5.1.5	State Planning Policy .....	8
5.1.6	Regional Plan.....	9
5.1.7	Referral Agencies .....	9
5.1.8	State Development Assessment Provisions .....	9
6.0	Local Planning Considerations .....	10
6.1	Douglas Shire Council Planning Scheme .....	10
6.1.1	Statement of Compliance – Benchmark Assessment .....	10
7.0	Summary and Conclusion.....	12
	Appendix 1.....	13
	Appendix 2.....	14
	Appendix 3.....	15



## 1.0 Introduction

This report has been prepared in behalf of Alan Jenkins and Natalie Gordon in support of a Development Application to Douglas Shire Council for a Development Permit for Building Works Assessable against the Planning Scheme for the purpose of a Dwelling House extension on land located at 30 Silky Oak Road, Cow Bay and described as Lot 184 on RP738148.

The application site is a single allotment containing an area of 10,000m<sup>2</sup> and has frontage to Silky Oak Road of approximately 60 metres. The site is currently improved by a two storey dwelling house and an access from Silky Oak Road. The site is heavily vegetated with the exception of the cleared area, centrally on site, that contains the existing dwelling house and immediate curtilage. The area containing the site is characterised by larger rural lifestyle allotments with single dwelling houses.

It is proposed to construct a single storey rear extension to the existing dwelling house. The extension would be single storey in height and would have a floor area of approximately 17m<sup>2</sup> and would contain an additional bedroom and patio. Externally, the proposed extension would have a finish that is consistent with the external finish of the existing dwelling house.

The application is identified as being Code Assessable and consideration is required to only be given to the assessment benchmarks contained within the Planning Scheme.

The proposed development is considered to be consistent with the Assessment Benchmarks contained within the Planning Scheme and is considered to be a suitable development on the site.

The application is submitted for approval, subject to reasonable and relevant conditions.

## 2.0 Development Summary

<b>Address:</b>	30 Silky Oak Road, Cow Bay
<b>Real Property Description:</b>	Lot 184 RP738148
<b>Easements &amp; Encumbrances:</b>	Nil
<b>Site Area/Frontage:</b>	Area: 10,000m <sup>2</sup> Frontage: Silky Oak Road – 60 metres
<b>Registered Owner:</b>	Roseanne Watts
<b>Proposal:</b>	Building Works - Dwelling House Extension
<b>Approval Sought:</b>	Development Permit
<b>Level of Assessment:</b>	Code Assessment
<b>State Interests – State Planning Policy</b>	<ul style="list-style-type: none"><li>• Economic Growth –<ul style="list-style-type: none"><li>○ Agricultural Land Classification - class A and B.</li></ul></li><li>• Environment and Heritage –<ul style="list-style-type: none"><li>○ MSES -Regulated Vegetation (Category B);</li><li>○ MSES Regulated Vegetation (Essential Habitat).</li></ul></li><li>• Safety and Resilience to Hazards –<ul style="list-style-type: none"><li>○ Bushfire Prone Area (High Potential Bushfire Intensity)</li></ul></li></ul>
<b>State Interests – SARA Mapping:</b>	<ul style="list-style-type: none"><li>• Native Vegetation Clearing –<ul style="list-style-type: none"><li>○ Category B on the Vegetation Management Map;</li><li>○ Category A or B area containing or concern regional ecosystems; and,</li><li>○ Essential Habitat.</li></ul></li></ul>
<b>Referral Agencies:</b>	Nil

**State Development Assessment Provisions:**

N/A

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**Regional Plan Designation:**

Regional Landscape and Rural Production Area

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**Zone:**

Conservation Zone

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**Local Plan Designation:**

Cape Tribulation/ Daintree Coast Local Plan – Precinct 2 – Low Impact Residential Zone.

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**Overlays:**

- Acid Sulfate Soils Overlay – 5-2m AHD.
  - Bushfire Hazards Overlay – High Bushfire Intensity.
  - Landscape Values Overlay – High Landscape Values.
  - Natural Areas Overlay – MSES Regulated Vegetation (of concern Regional Ecosystem).
-

### 3.0 Site and Locality

The application site is a single allotment located at 30 Silky Oak Road, Cow Bay and described as Lot 184 on RP738148. The application site contains an area of one hectare and has frontage to Silky Oak Road of approximately 60 metres.

The site is currently improved by a two storey single detached dwelling which is located in a cleared area located centrally on the site. Access to the dwelling house is via an existing driveway located centrally on the site frontage to Silky Oak Road.

Excluding the dwelling house and its curtilage and the access drive, which have been cleared, the site contains mature established vegetation.

The locality containing the site is characterised by large allotments containing single detached dwellings and mature vegetation and vacant allotments that have been created for residential purposes.



Photo 1 – Site Location (Source Queensland Globe)

## 4.0 Proposal

It is proposed to construct a single storey rear extension to the existing dwelling house. The extension would have an area of approximately 17m<sup>2</sup> and would contain an additional bedroom and patio. It would be provided with an external finish that complemented and matches the external finish of the existing dwelling house, which has previously been accepted by Council.

The existing dwelling house is provided with suitable services, including on-site waste water, electricity and water supply. The proposed extension would rely upon these existing services.

Proposal Plans are attached at [Appendix 2](#).

The key development features of the proposed development are summarised in the table below:

Development Feature	Proposal
Site Area:	10,000m <sup>2</sup>
Frontage:	60 Metres to Silky Oak Road
Height:	Extension - 2.85metres
Floor Area:	17m <sup>2</sup>
Site Cover:	Approx. 1%%
Setbacks:	> 6 meters to all boundaries
Access:	Via existing driveway from Silky Oak Road
Car Parking Spaces:	As existing.

## 5.0 Statutory Planning Considerations

This section provides a summary of the legislative framework affecting the application pursuant to the Planning Act 2016.

### 5.1 Planning Act 2016

#### 5.1.1 Categorisation of Development

The proposed development is not identified as prohibited development having regard to the relevant instruments that can prohibit development under the *Planning Act 2016*, including

- Schedule 10 of the Planning Regulations 2017
- Relevant Categorising Instruments.

The development is made assessable under the Douglas Shire Council Planning Scheme, which is a categorising instrument for the purpose of s43 of the *Planning Act 2016*.

#### 5.1.2 Assessment Manager

Pursuant to Schedule 8 of the *Planning Regulations 2017*, the Assessment Manager for the application is the Douglas Shire Council.

#### 5.1.3 Level of Assessment

The table below identifies the level of assessment and the categorising section of the Cairns Regional Council Planning Scheme.

Development	Categorising Section	Level of Assessment
Building Works	Table 5.6.c	Code Assessable

#### 5.1.4 Statutory Considerations for Assessable Development

As the application is subject to Code Assessment, in deciding the application pursuant to s60 of the *Planning Act 2016*, the Council, as Assessment Manager, can only have regard to the matters established in the relevant planning benchmarks.

This assessment is further discussed in Section 6.0 of this report and a detailed assessment of the proposed development against the assessment benchmarks is provided at [Appendix 3](#).

#### 5.1.5 State Planning Policy

The application site has the following State Planning Policy designations/classifications:

- Economic Growth –
  - Agricultural Land Classification - Class A and B.
- Environment and Heritage –
  - MSES -Regulated Vegetation (Category B);

- MSES Regulated Vegetation (Essential Habitat).
- Safety and Resilience to Hazards –
  - Bushfire Prone Area (High Potential Bushfire Intensity)

It is understood that the Minister has identified that the State Planning Policy has been appropriately integrated into in the Douglas Shire Council Planning Scheme and consequently no further assessment is required in this instance.

#### **5.1.6 Regional Plan**

The application site is identified in the Regional Landscape and Rural Production Area designation of the FNQ Regional Plan. Consistent with the State Planning Policies, it is understood that the Planning Scheme has been determined to appropriately advance the Regional Plan and, on that basis, no further assessment is required in this instance.

#### **5.1.7 Referral Agencies**

There are no referral agencies identified in respect of this application.

#### **5.1.8 State Development Assessment Provisions**

As there are no referral agencies for the application, no State Development Assessment Provisions Apply to the assessment.

## 6.0 Local Planning Considerations

### 6.1 Douglas Shire Council Planning Scheme

Within the Douglas Shire Council Planning Scheme, the site is identified within the Environmental Management Zone, the Cape Tribulation/Daintree Coast Local Plan, precinct 2 low impact residential, and is affected by the Acid Sulfate Soils, Bushfire Hazard, Landscape Values and Natural Areas Overlays.

The Table below identifies the applicable Assessment Benchmarks contained within the Planning Scheme.

Assessment Benchmark	Applicability	Compliance
Conservation Zone Code	Applies	Complies with all Acceptable Outcomes.
Cape Tribulation/Daintree Coast Local Plan Code	Applies	Complies with all Acceptable Outcomes
Acid Sulfate Soils Overlay	Applies	Complies with all Acceptable Outcomes
Bushfire Hazard Overlay	Applies	Complies with all Acceptable Outcomes
Landscape Values Overlay	Applies	Complies with all Acceptable Outcomes
Natural Areas Overlay Code	Applies	Complies with all Acceptable Outcomes
Access and Parking Code	Applies	Complies with all Acceptable Outcomes
Filling and Excavation Code	Not Applicable	No excavation or filling is proposed.
Infrastructure Code	Applies	Complies with Infrastructure standards for development north of the Daintree River

#### 6.1.1 Statement of Compliance – Benchmark Assessment

##### 6.1.2.1 Infrastructure

There is no infrastructure services for development on sites north of the Daintree River. Consequently, the proposed development would be served by onsite power generation, on-site waste water disposal and on-site water supply in the form of rainwater tanks.



The capacity of the on-site infrastructure supply is considered sufficient to accommodate the demand generated by the proposed dwelling house and the proposed extension and is consistent with the infrastructure standards for the development on sites north of the Daintree River.

## 7.0 Summary and Conclusion

This report has been prepared in behalf of Alan Jenkins and Natalie Gordon in support of a Development Application to Douglas Shire Council for a Development Permit for Building Works Assessable against the Planning Scheme for the purpose of a Dwelling House extension on land located at 30 Silky Oak Road, Cow Bay and described as Lot 184 on RP738148.

The application site is a single allotment containing an area of 10,000m<sup>2</sup> and has frontage to Silky Oak Road of approximately 60 metres. The site is currently improved by a two storey dwelling house and an access from Silky Oak Road. The site is heavily vegetated with the exception of the cleared area, centrally on site, that contains the existing dwelling house and immediate curtilage. The area containing the site is characterised by larger rural lifestyle allotments with single dwelling houses.

It is proposed to construct a single storey rear extension to the existing dwelling house. The extension would be single storey in height and would have a floor area of approximately 17m<sup>2</sup> and would contain an additional bedroom and patio. Externally, the proposed extension would have a finish that is consistent with the external finish of the existing dwelling house.

The application is identified as being Code Assessable and consideration is required to only be given to the assessment benchmarks contained within the Planning Scheme.

An assessment has demonstrated that the proposed development satisfies the relevant Acceptable Outcomes of the Assessment Benchmarks contained within the Planning Scheme and is considered to be a suitable development on the site.

The application is submitted for approval, subject to reasonable and relevant conditions.

## CERTIFICATE OF TITLE

# CURRENT TITLE SEARCH

## NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 31775862

Search Date: 30/07/2019 15:39

Title Reference: 21179195

Date Created: 13/08/1982

Previous Title: 20614010

### REGISTERED OWNER

Dealing No: 707627153 07/04/2004

ROSANNE WATTS

### ESTATE AND LAND

Estate in Fee Simple

LOT 184 REGISTERED PLAN 738148  
Local Government: DOUGLAS

### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 20183081 (POR 21V)
2. MORTGAGE No 716965954 18/12/2015 at 12:34  
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005  
357 522

ADMINISTRATIVE ADVICES - NIL

UNREGISTERED DEALINGS - NIL

### CERTIFICATE OF TITLE ISSUED - No

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2019]  
Requested By: D-ENQ GLOBALX TERRAIN

## PROPOSAL PLANS

### Requirements for Sustainable Buildings

As from 1st March 2009

For new Class 1 buildings & Class 2 buildings, including renovated bathrooms (except tapware) in an existing Class 1 & Class 2 building.

Minimum 5-star (out of 10) energy equivalent rating for new class 1 buildings, using the methodologies prescribed in the Building Code of Australia (BCA) 2008.

An optional credit of 0.5 or 1-star will be available for class 1 buildings in climate zones 1 and 2 (as outlined in the BCA) that have an outdoor living area that meets certain specifications.

### Acceptable Solutions:

#### Volume of Water :

Licensed plumbers must install 4-star WELS rated toilets and 3-star WELS rated tapware for kitchen sinks, basins and laundry troughs in new class 1 and class 2 buildings. For any major renovation work that involves both a building development approval and a plumbing application, the retrofit of existing toilets with 4-star rated toilets is required. The retrofitting of existing taps is not part of this new requirement.

Toilets must have dual flush capability that does not exceed 6 litres on full flush & 3 litres on half flush.

#### Water Supply:

In a service area for retail water service under the Water Act 2000, the water supplied to a new Class 1 building does not exceed pressure levels set out in AS/NZ 3550.1:2003 and if the main water pressure exceeds or could exceed 500 Kpa, a water pressure limiting device is installed to ensure that the maximum operating pressure at the outlet within the boundaries of the property does not exceed 500 Kpa.

#### Airconditioning :

Minimum 2.9 Energy Efficiency Ratio (EER) (equivalent to a current 4-star energy rating) for air-conditioners permanently attached to fixed wiring in class 1 and class 2 buildings (where new and replacement systems are installed) from 1 July 2009.

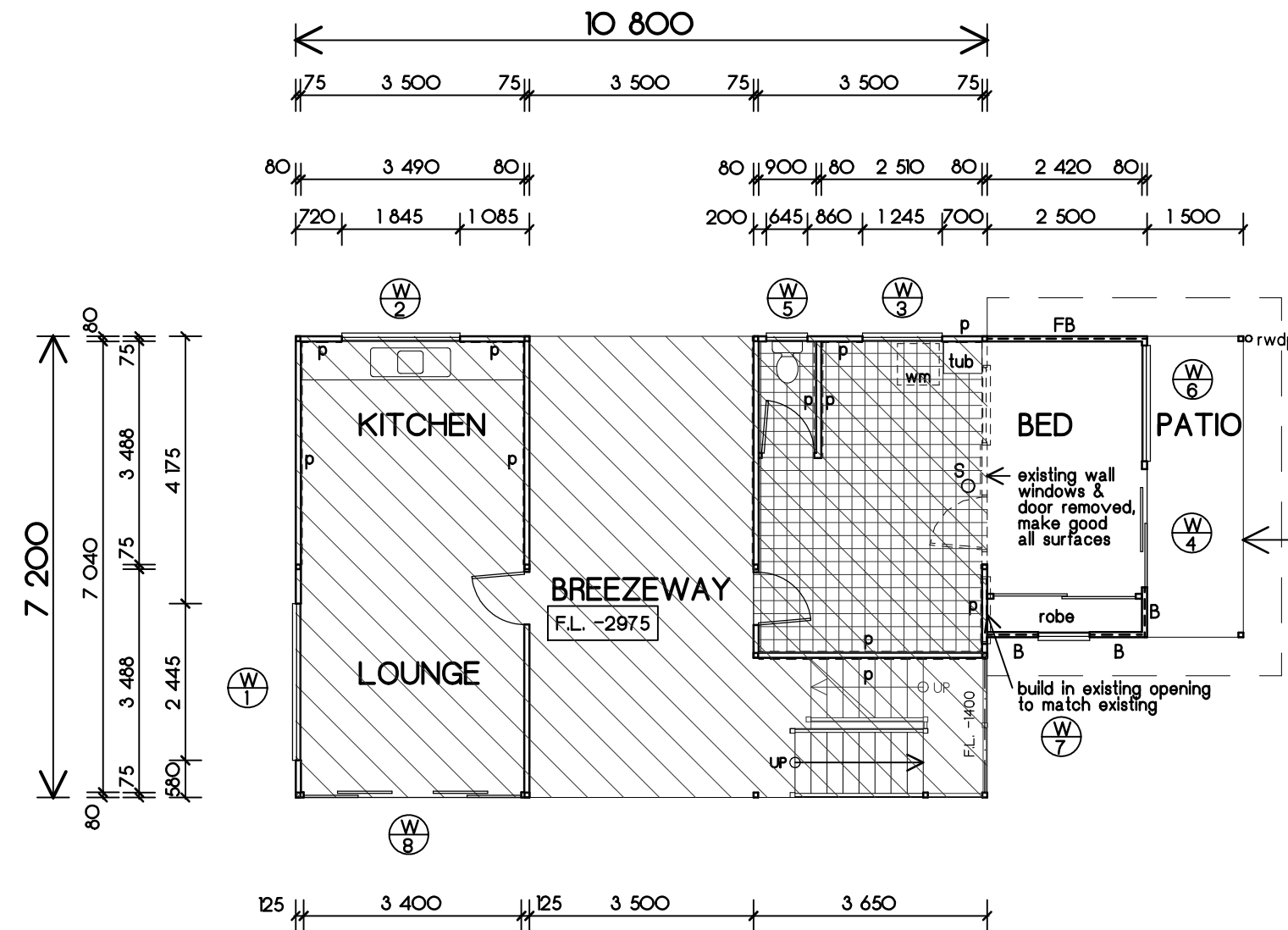
- S 240 V SMOKE DETECTOR FIXED TO CEILING IN ACCORDANCE WITH BCA PART 3.7.2.3 SMOKE ALARM TO COMPLY WITH AS 3786

PROVIDE TEMPERATURE CONTROL DEVICE TO HOT WATER UNIT IN ACCORDANCE WITH A.S. 3500.4.2 1997

ENSURE ALL WET AREA FLOORS ARE SEALED & FALL TO FLOOR WASTES IN ACCORDANCE WITH B.C.A. 3.8.1.

DOOR TO W.C. TO BE ON 'LIFT-OFF' HINGES.

SEE HOMEFAB DRAWING FOR STRUCTURAL DETAILS & DIMENSIONS FOR PROPOSED EXTENSION



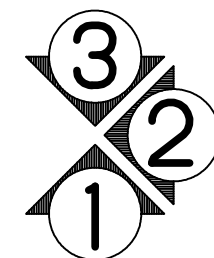
FLOOR AREA :	
EXISTING	- 149.52 m <sup>2</sup>
BED	- 11.75 m <sup>2</sup>
PATIO	- 7.05 m <sup>2</sup>
<b>TOTAL</b>	<b>- 168.32 m<sup>2</sup></b>

# GROUND FLOOR PLAN

1 : 100

WINDOW SCHEDULE	
W1	1500x2400 SLIDING GLASS WINDOW OXOX
W2	900x1800 SLIDING GLASS WINDOW
W3	600x1200 SLIDING GLASS WINDOW
W4	2100x1800 SLIDING GLASS DOOR XO
W5	600x600 SLIDING GLASS WINDOW
W6	965x1762 SLIDING GLASS WINDOW
W7	960x760 SLIDING GLASS WINDOW
W8	2200x3400 SLIDING GLASS DOOR OXOX

**NOTE:** Clear glass to all windows UNO.



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

*C.M.G. CONSULTING ENGINEERS* 8-5-19

**C.M.G. CONSULTING ENGINEERS**  
ACN 011 095 375 PTY. LTD.  
208 BUCHAN ST. PH. 07 4031 2775  
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**Homefab**  
Strong-smart-fast. Built to last.

6 Slade Street - PO Box 665 Mareeba, Queensland 4880 Australia.  
ABN: 21 603 460 395. Phone: 07 4092 2369  
Fax: 07 4092 2355.  
Website: www.homefab.com.au  
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**pd designs**  
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lic. under QBCC Act 1991 - No. 1191543  
abn: 73 437 147 573  
acn: 143 382 899

MEMBER  
building designers association of queensland inc

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1 : 100,  
ON A3 SHEET

**PROPOSED EXTENSION FOR:**  
**R. WATTS**  
**LOT 184, SILKY OAK ROAD,**  
**COWBAY.**

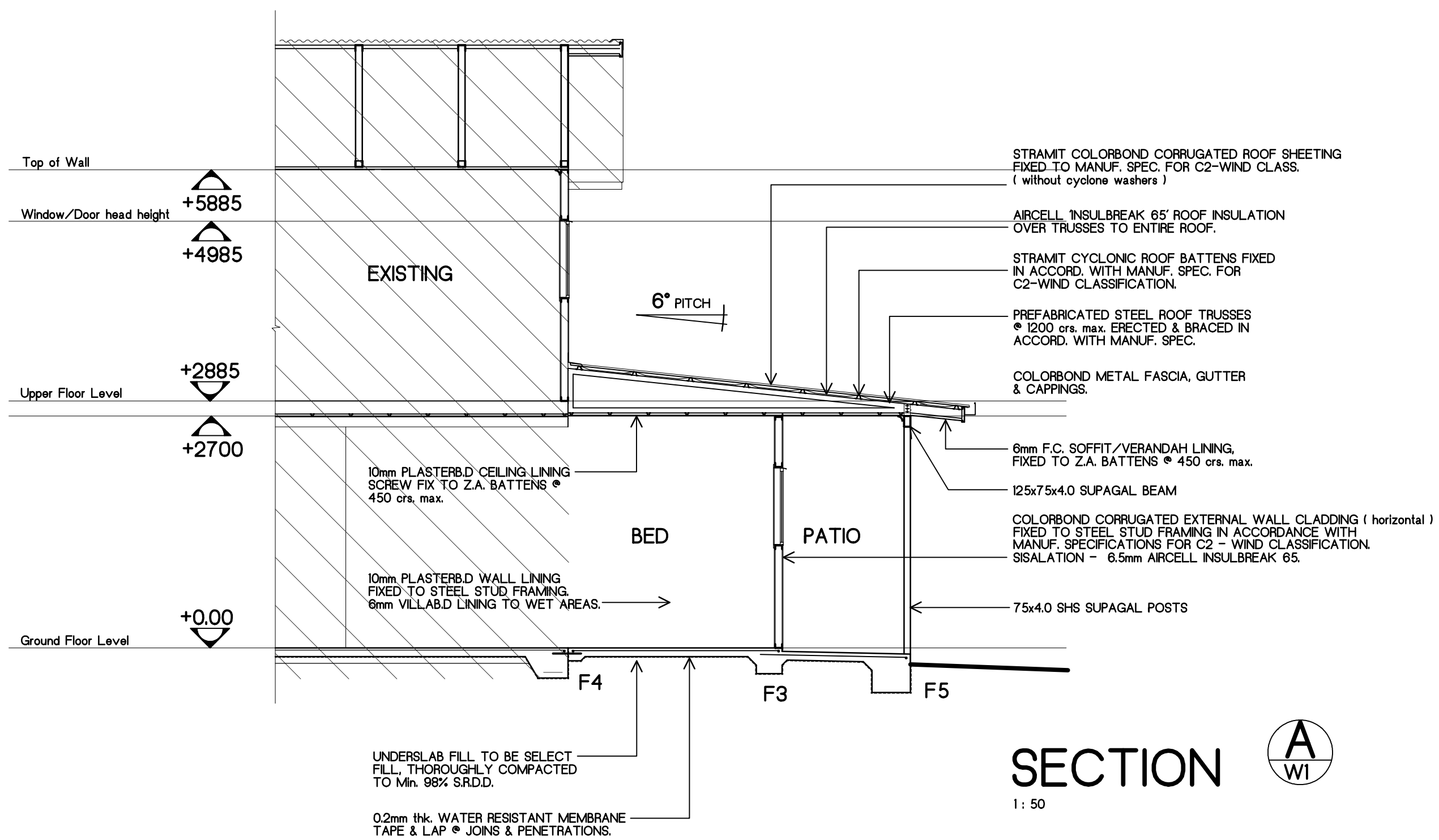
MAY 2019

**2431**

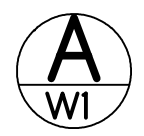
WIND CLASSIFICATION

**W1**  
OF 4

**C2**



**SECTION**



1: 50

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

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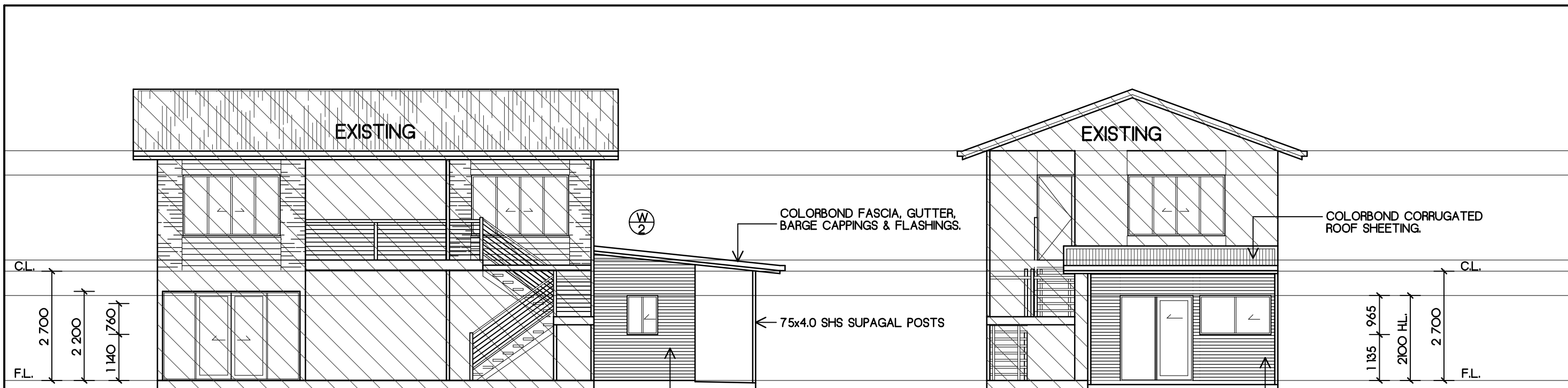
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1: 50, ON A3 SHEET

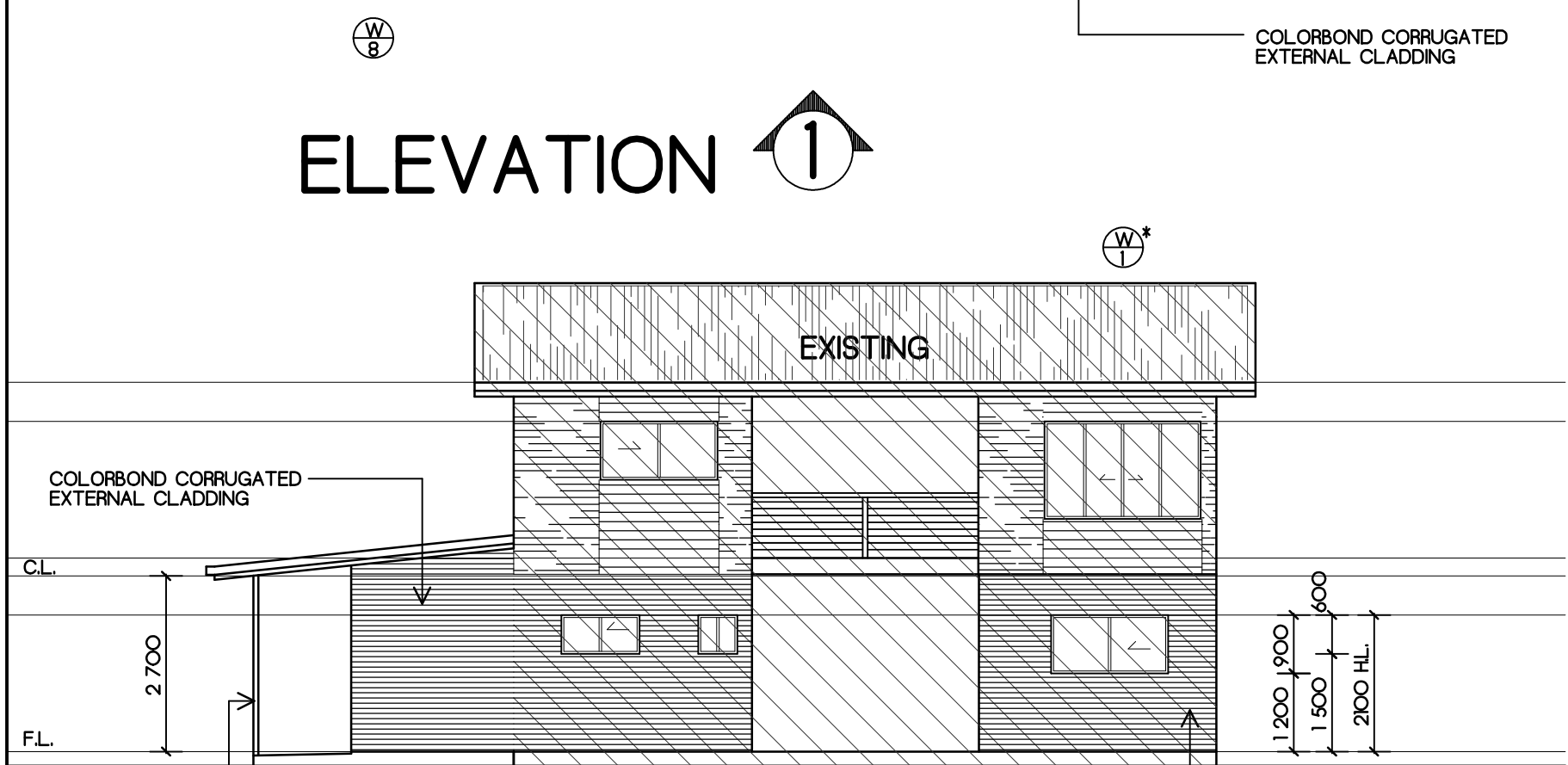
**PROPOSED EXTENSION FOR :**  
**R. WATTS**  
**LOT 184, SILKY OAK ROAD,**  
**COWBAY.**

MAY 2019	<b>W2</b> OF 4
<b>2431</b>	
WIND CLASSIFICATION	<b>C2</b>



**ELEVATION 1**

**ELEVATION 2**



**ELEVATION 3**

WINDOW SCHEDULE	
W1	1500x2400 SLIDING GLASS WINDOW OXOX
W2*	900x1800 SLIDING GLASS WINDOW
W3	600x1200 SLIDING GLASS WINDOW
W4	2100x1800 SLIDING GLASS DOOR OX
W5	600x600 SLIDING GLASS WINDOW
W6	965x1762 SLIDING GLASS WINDOW
W7	960x760 SLIDING GLASS WINDOW
W8	2200x3400 SLIDING GLASS WINDOW OXOX

**NOTE:** Clear glass to all windows UNO.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

*A. Mpanirakis* 8-5-19

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**PROPOSED EXTENSION FOR:**  
**R. WATTS**  
**LOT 184, SILKY OAK ROAD,**  
**COWBAY.**

MAY 2019

**2431**

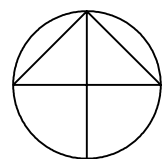
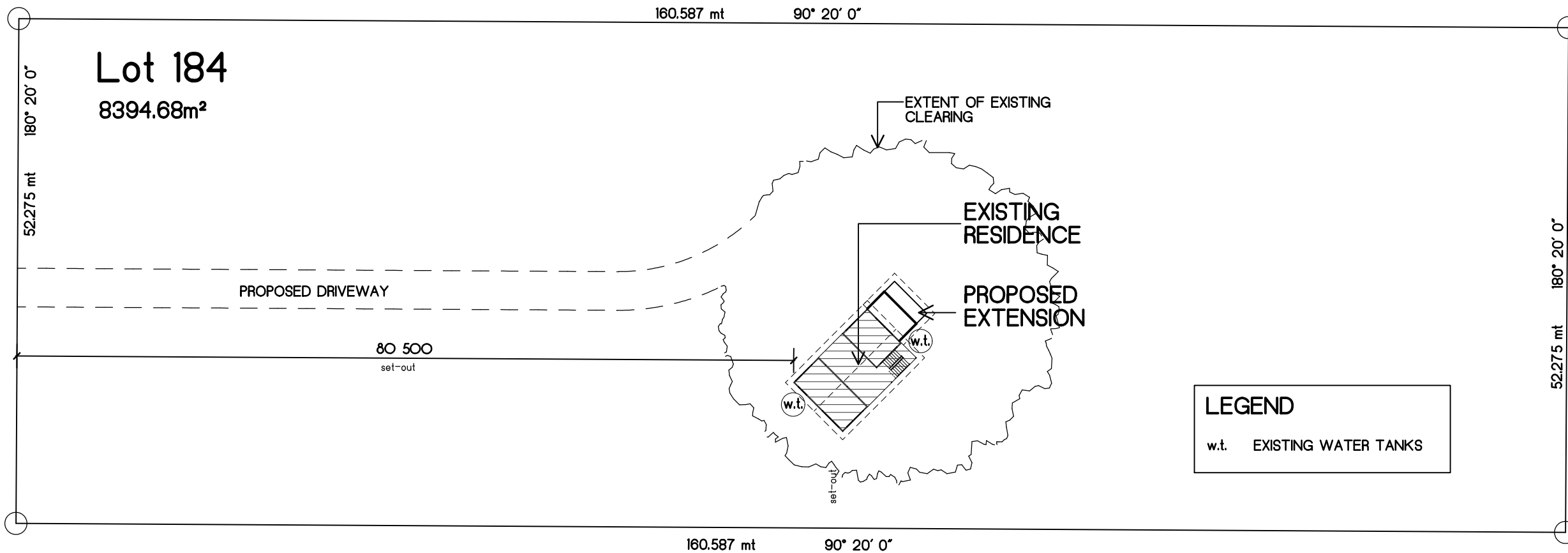
WIND CLASSIFICATION

**W3**  
 OF 4

**C2**



SILKY OAK ROAD



# SITE PLAN

1 : 500

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION **C2**

*N. M. M. M.* 8-5-19

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1: 500,  
ON A3 SHEET

**PROPOSED EXTENSION FOR :**  
**R. WATTS**  
**LOT 184, SILKY OAK ROAD,**  
**COWBAY.**

MAY 2019

**2431**

WIND CLASSIFICATION

**W4**

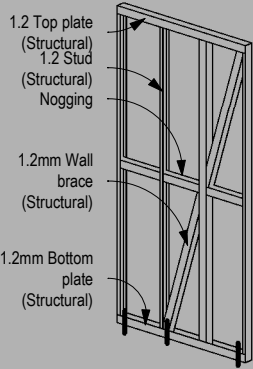
OF 4

**C2**

**HOMEFAB'S STANDARD 80mm FRAMES:**

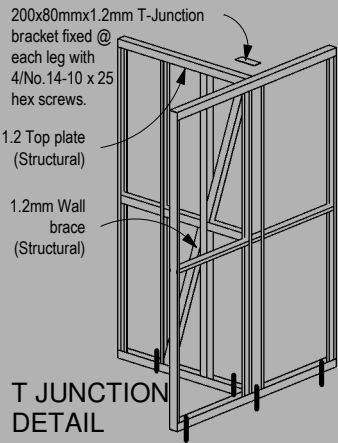
1. EXTERNAL WALLS (LOAD BEARING):  
**Top and bottom plate:** Truecore 1.2mm G500 Structural plate.  
**Studs:** 1.0mm G500 Truecore S.B.F studs at 450mm centres.  
**Nogging:** 1 x Row of .75mm G550 Truecore nogging.  
**Top and bottom plate to stud connection:** 4 x Henrob HG0642MH05 Rivets each connection (2 Rivets each side)

**TIEDOWN:**  
**M12 x 180 with 50 cog steel bolt through 70x40x6mm washer cast into slab. Bolts to be no more than 150mm of all openings and wall corners and spaced at a max. of 900/c**



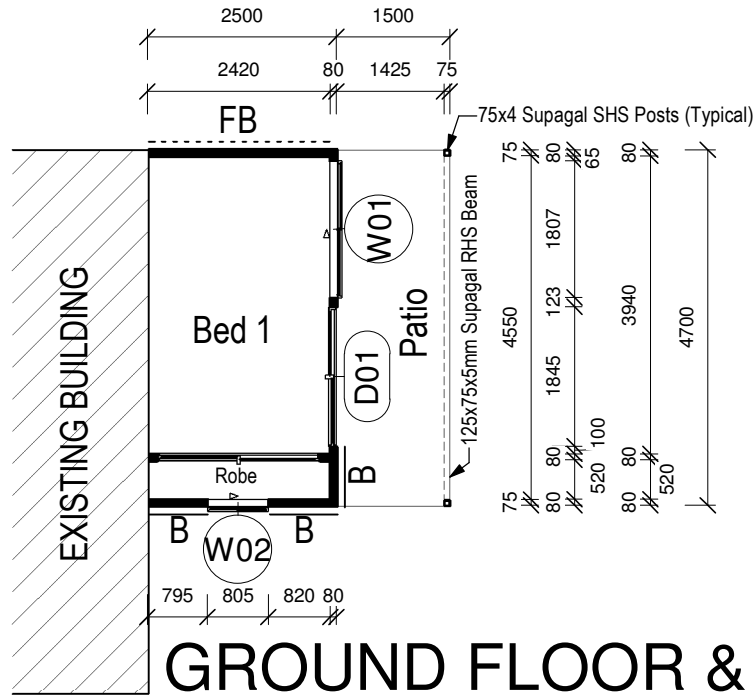
**BRACE WALL (B)**

**BRACE WALLS:**  
**Top and bottom plate:** 1.2mm G500 Truecore Structural plate.  
**Studs:** 1.0mm G550 Truecore Structural stud.  
**Nogging:** 0.75mm G550 Truecore S.B.F with 1 x rivet per connection.  
**Bracing member:** 1.2mm G500 Truecore Structural stud. Provide 6 x Henrob HG0642MH05 Rivets per connection (3 x Rivets each side) for bracing members to studs.

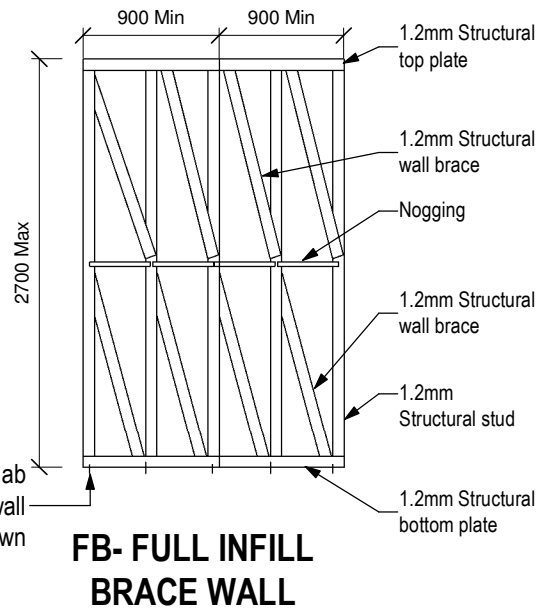


**Fixing External Wall Connections**  
 Screw fix **external wall to external walls** together with: 1x 14x10-25 Hex Screws @ 300c/c

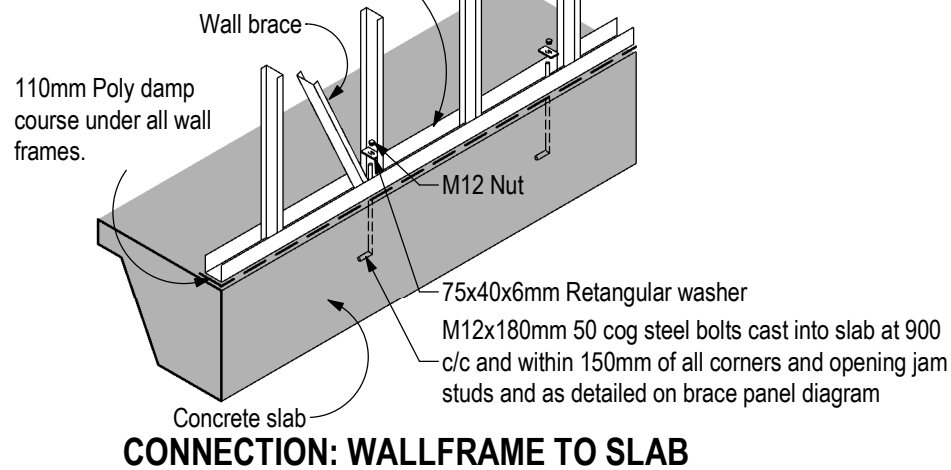
Door Schedule				Window Schedule			
Mark	Height	Width	Head Height	Mark	Height	Width	Head Height
D01	2100	1800	2100	W01	965	1762	2100
				W02	960	760	2060



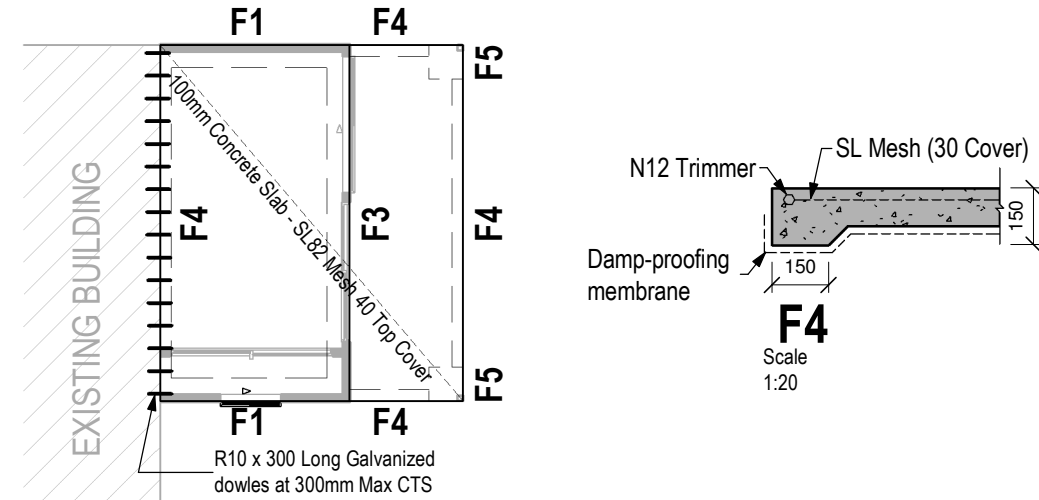
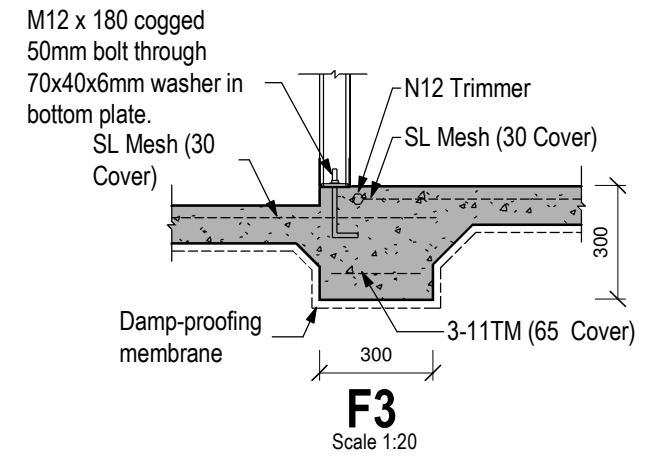
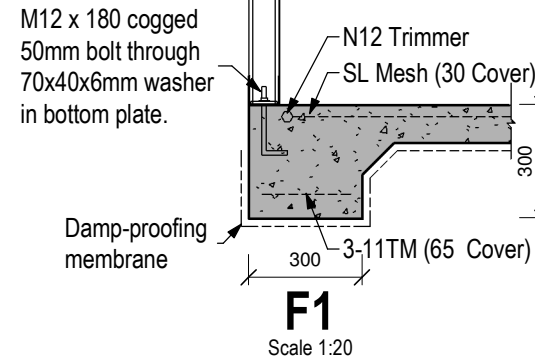
**GROUND FLOOR & BRACING**  
 1 : 100



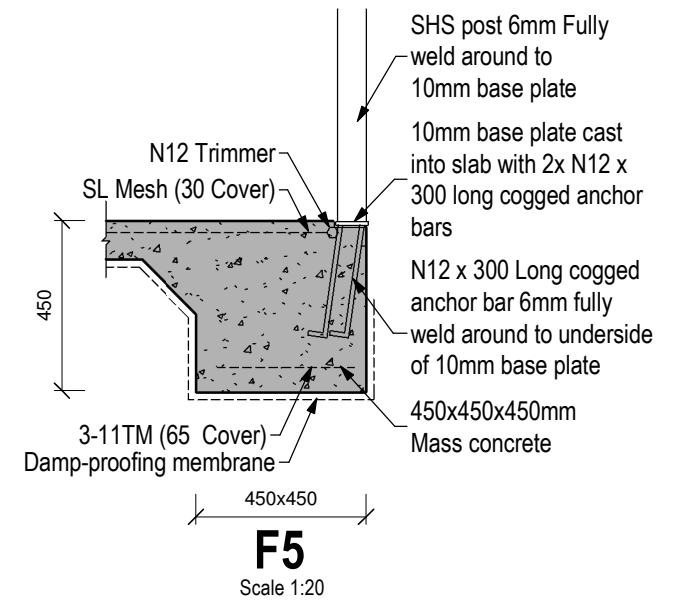
1.2mm High flange plate connected to low flange studs at 450 c/c with 2 only Henrob Rivets per flange



**CONNECTION: WALLFRAME TO SLAB**



**SLAB & FOOTINGS**  
 1 : 100



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: **C2**

*C. M. G.* 8-5-19

**C.M.G. ENGINEERS** 208 BUCHAN ST. CAIRNS QLD. 4870  
 PH: 07 4031 2775  
 FAX: 07 4051 9013  
 A.C.N. 011 065 375

Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

Substitution of any structural members & or variations to any part of the design **will void** any responsibilities of **Homefab Steel Truss & Frame**, for the structural integrity & design performance of the building.

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**PROPOSED RESIDENCE FOR: ROSE WATTS ON LOT 184, SILKY OAK ROAD, COWBAY**

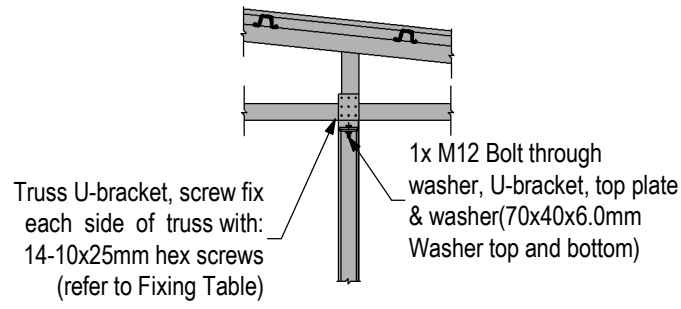
**HomeFab Job: WATTS**

APRIL 2019

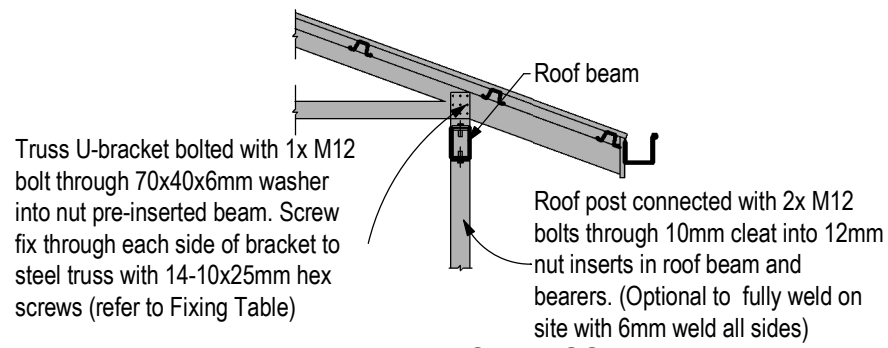
1:100 ON A3 SHEET

**A.1**

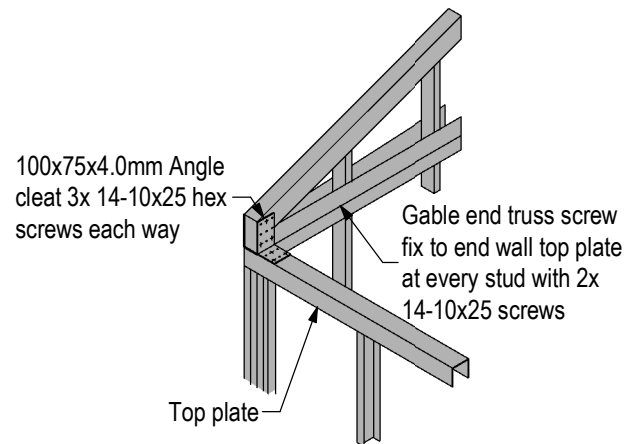
WIND CLASSIFICATION: **C2**



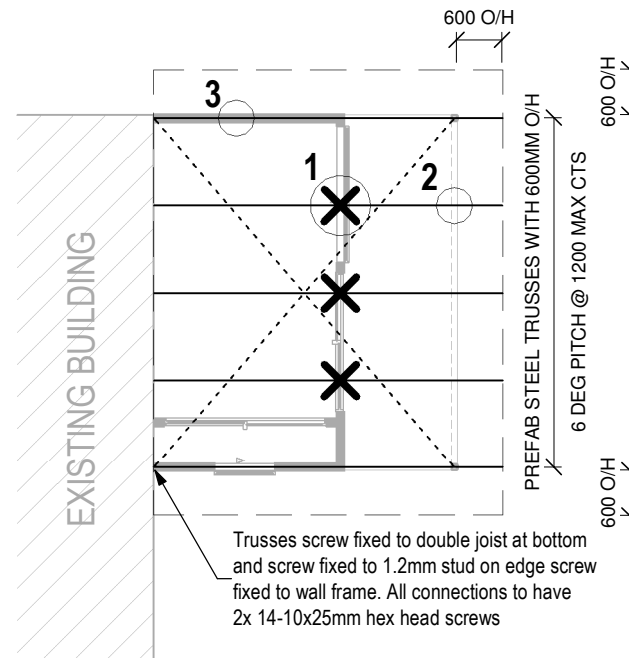
**1. WALL TO TRUSS CONNECTION**



**2. BEAM TO TRUSS CONNECTION**



**3. GABLE END TRUSS CONNECTION**



**ROOF TRUSS PLAN**

1 : 100

**LEGEND**

- ADDITIONAL TIEDOWN
- 30MM X 1MM DIAGONAL BRACING TO ROOF

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: **C2**

*L. Maniatis* 8-5-19

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**PROPOSED RESIDENCE FOR: ROSE WATTS ON LOT 184, SILKY OAK ROAD, COWBAY**

**HomeFab Job: WATTS**

APRIL 2019

1:100 ON A3 SHEET

**A.2**

WIND CLASSIFICATION: **C2**

**GENERAL NOTES:**

1. ALL DIMENSIONS ARE TO BE CHECKED ON SITE AND VERIFIED BY BUILDER BEFORE WORK COMMENCES.
2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.

**DESIGN LOADS:dl**

1. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING LOADING CODES:  
AS 1170.1 – DEAD AND LIVE LOADS & LOAD COMBINATIONS.  
LIVE LOAD – GENERAL 1.5KPA  
LIVE LOAD – BALCONIES 3.0KPA  
WIND CLASSIFICATION – C2

	GENERAL AREAS	a	a/2
SERVICEABILITY & WIND PRESSURE	0.96 KPa	1.27 KPa	1.59 KPa
ULTIMATE WIND PRESSURE	2.23 KPa	3.06 KPa	3.68 KPa

**FOUNDATIONS:**

1. EXCAVATION FOR ALL FOOTINGS SHALL BE TAKEN TO THE DEPTHS SHOWN, OR TO A FOUNDATION STRATA CAPABLE OF SAFELY SUSTAINING A BEARING PRESSURE OF 100 KPA WHICHEVER IS THE DEEPER. ALL EXCAVATIONS SHALL BE FREE FROM LOOSE MATERIAL, MUD AND WATER. UNDERSIDE OF ALL FOOTINGS SHALL BE A MIN OF 500MM BELOW NATURAL GROUND LEVEL UNLESS SHOWN OTHERWISE.
2. EXCAVATIONS FOR BORED PIERS SHALL BE DONE BY MECHANICAL AUGER OR OTHER APPROVED MEANS, SIDES OF THE HOLES SHALL BE VERTICAL, AND SIDES AND BOTTOM SHALL BE FREE FROM LOOSE MATERIAL. CONCRETE SHALL BE PLACED IN EACH HOLE WITHIN 12 HOURS.

**SITE PREPARATION:**

1. SITE PREPARATION SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION FOLLOWED BY EXCAVATION OF TOP SOILS AND MATERIAL TO SUIT FINAL DESIGN LEVELS.
2. PROVISION SHALL BE MADE FOR THE DEMOLITION OF ANY EXISTING BUILDINGS INCLUDING BREAKING UP AND REMOVAL OF ANY OLD FOOTINGS, SERVICE PIPES, SEPTIC TANKS ECT AND EXISTING TREES (INCLUDING STUMPS AND ROOTS) WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION. ANY SOIL DISTURBED BY DEMOLITION SHALL BE RECOMPACTED.
3. IN THE PROPOSED GROUND FLOOR SLAB SUPPORT AND PAVEMENT AREAS, THE EXPOSED SUBGRADE SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF NOT LESS THAN 98% OF THE MAXIMUM SATURATED VIBRATED DENSITY (AS 1289 TESTS 5.3.1 & 5.5.1) SUBGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION AND RECTIFICATION OF ANY LOCALIZED COMPRESSIBLE ZONES WHICH MAY EXIST.
4. ANY FILLING PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE UNIFORMLY COMPACTED IN LAYERS NOT MORE THAN 200MM FINAL THICKNESS UNDER LEVEL 3 SUPERVISION (AS 3798-1990 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS) TO THE MAX DRY DENSITY RATIO OF 98% SRDD (EXPRESSED AS A % OF THE MAXIMUM VIBRATED DENSITY ESTABLISHED BY TEST METHODS AS 1289 5.3.1, 5.4.1 AND 5.5.1 FOR COHENSIONLESS (SAND) MATERIALS OR ALTERNATIVELY, STANDARD COMPACTION IF APPROPRIATE.)
5. ANY IMPORTED FILL SHALL COMPRISE LOW PLASTICITY GRANULAR MATERIAL WITH A PLASTICITY INDEX NOT MORE THAN 15%. SAND CUT FROM BASEMENT AREA SHOULD NOT BE SUITABLE FOR REUSE AS FILLING.
6. FILLING SHOULD BE RETAINED OR BATTERED TO A SLOP OF NOT STEEPER THAN 2h:1v. ALL EXPOSED FILLING SHALL BE PROTECTED FROM EROSION.
7. CARE SHALL BE TAKEN TO ENSURE THAT ANY VIBRATORY ROLLING OR CONSTRUCTION ACTIVITIES DO NOT CAUSE DISTRESS (BY WAY OF INDUCED SETTLEMENT) TO ANY ADJACENT MOVEMENT – SENSITIVE FEATURES ECT.

**STRUCTURAL STEEL**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS4100 AND AS 1554 EXCEPT WHERE VARIED BY THE CURRENT DOCUMENTS.
2. UNLESS NOTED OTHERWISE ALL STEEL SHALL BE IN ACCORDANCE WITH:  
AS 1204 GRADE 250 FOR ROLLED SECTIONS  
AS 1163 GRADE 350 FOR R.H.S. SECTIONS  
AS 1163 GRADE 200 FOR C.H.S. SECTIONS  
AS 1163 GRADE 350 FOR C.H.S. SECTIONS  
AS 1204 GRADE 350 FOR ALL HIGH STRENGTH STEEL
3. UNLESS NOTED OTHERWISE ALL WELDS SHALL BE CATEGORY SP IN ACCORDANCE WITH CLAUSE 1:3:2 AS 1554-PART 1.
4. UNLESS OTHERWISE NOTED ALL WELDS SHALL BE 6MM CONTINUOUS FILLET WELDS
5. UNLESS NOTED OTHERWISE ALL BOLTS SHALL BE OF GRADE 4.6/s
6. ALL DIMENSIONS SHALL BE CHECKED BY THE CONTRACTOR ON SITE PRIOR TO FABRICATION
7. THE STEEL FABRICATOR SHALL PROVIDE ALL BOLTS NECESSARY FOR THE ERECTION OF THE STEEL WORK AND BOLT HOLES AND CLEATS NECESSARY FOR THE ERECTION OF THE TIMBER WORK WHETHER OR NOT DETAILED IN THE DRAWINGS.
8. ALL LAPS, FIXINGS AND ACCESSORIES TO PURLINS AND GIRTS TO BE STRICTLY IN ACCORDANCE WITH THE MANUFACTURES REQUIREMENTS.

**CONCRETE:**

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF AS 3600 AND AS 1379 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

GRADE	SLUMP	MAX. SIZE AGGREGATE	CEMENT TYPE	ADMIXTURE
GROUND				
SLAB FOUNDATIONS	N20	100 20	GP -	
CORE FILL	S20	250 10	GP -	

2. CONCRETE QUALITY ELEMENT CONCRETE
3. ALL CONCRETE TO BE ADEQUATELY VIBRATED.
4. NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. PIPES OR ELECTRICAL CONDUITS SHALL NOT BE PLACED WITH IN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER. THE CONCRETE COVER TO EMBEDDED PIPES OR CONDUIT SHALL BE A MIN. OF 20mm THICK.
5. CONSTRUCTION JOINTS SHALL BE MADE ONLY WHERE SHOWN OF THE DRAWINGS OR WHERE APPROVED BY THE ENGINEER.
6. BEAM DEPTHS ARE DESIGNATED FIRST AND INCLUDE SLAB THICKNESS, IF ANY.
7. UNDERPINNING WHERE NOT SHOWN ON THE DRAWING MUST BE APPROVED BY THE ENGINEER. FOR UNDER PINNING ONLY, f'c = 15 MPa.
8. ALL CONCRETE SURFACES SHALL BE CURED BY AN APPROVED BY AN APPROVED METHOD FOR SEVEN DAYS IMMEDIATELY THE CONCRETE IS SET.
9. ALL FORMWORK AND PROPPING TO SUSPENDED SLABS AND BEAMS SHALL REMAIN IN POSITION FOR 14 DAYS AFTER PLACING CONCRETE UNLESS SPECIFIED OTHERWISE SUCH FLOOR SHALL REMAIN UNLOADED FOR 28 DAYS.
10. FLOOR SLABS ON GROUND: ALL TOP SOIL AND UPPER STRATA CONTAINING ORGANIC MATTER IS TO BE REMOVED AND REPLACED BY AN APPROVED FILLING MATERIAL COMPACTED AS FOLLOWS:- COHESIONLESS SOILDS – MINIMUM DENSITY INDEX = 85% COHENSIVE SOILS – (MAX P.I. = 15%) = 98% STANDARD COMPACTION
11. BUILDER TO PROVIDE MORTAR UNDER STEEL COLUMNS, BASE PLATES AS SPECIFIED.

12. ALL REINFORCEMENT TO COMPLY WITH THE CURRENT EDITIONS OF AS 1302, AS 1303, AS 1304 AND SHALL BE DESIGNATED THUS:  
N DEFORMED BARS GRADE 500  
Y HOT ROLLED DEFORMED BARS GRADE 400Y  
R PLAIN ROLLED BARS GRADE 250R  
F WELDED WIRE FABRIC GRADE 450F  
W STEEL WIRE, PLAIN AND DEFORMED GRADE 450W  
ALL FABRIC SHALL BE SUPPLIED IN FLAT SHEETS.
13. WELDING OF THE REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE DRAWINGS.

**GENERAL:**

1. 240V **smoke detector** fixed to ceiling in accordance with BCA Part 3.7.2.4. **Smoke alarm** to comply with AS3786, AS 3000 and BCA 3.7.2.3
2. **Wet area floors** are sealed and fall to floor wastes in accordance with BCA 3.8.1
3. **Glazing:** Obscure glass to bathroom, Ens, and wc windows. All other to be clear glass. Glazing to be in accordance with: AS 1288, AS 2208, and AS 2047
4. **Plumbing and drainage** to comply with the relevant standards, sewerage bylaws and Local Authority requirements.
5. **Down pipes** are to be installed in accordance with the NCC Section 3.5, Part 3.5.2 Gutters and Downpipes.
6. **TERMITES:** Termite protection to be provided by:  
(1) Concrete slab on ground to AS2870. Ensure minimum 75mm exposed slab edge for inspection.  
(2) All slab penetrations to be protected by proprietary system. Provide warranty from installer.  
(3) All timber, both structural and trims to be treated AS1604 H2 internal and H3 external. Provide certificate of treatment.  
(4) Termite control to be in accordance with BCA 3.1.3
7. **Temperature control device** to hot water unit in accordance with AS. 3500.4.2 (1997) to be provided.  
Fittings: 3 Star WELS rated shower roses, 4 Star WELS rated dual flush cisterns & 3 Star WELS rated tapware to Laundry tubs, Kitchen sinks and basins.
8. **Airconditioning:** Air conditioners to have an energy efficient rating of at least 2.9. Ensure door and window openings are correctly sealed in accordance with Part3.12.3 of the B.C.A
9. **Fans:** Ceiling fans - 1 per 20sq.m - Ceiling fans to be installed to all Living areas (allow 2) and Bedrooms (allow 1) Outdoor living spaces: (Bigger than 12sqm, min. 2.5m wide, min. 2 sides open) -to be provided with ceiling fan - 1 per 20sq.m
10. **Lighting:** 80% of the floor area of a dwelling or addition to be fitted with energy efficient lighting as required by QDC MP 4.1 including balcony or Patio.
11. **Gable end treatment:** Additional insulation required to gable ends based on total R value of wall required. (R1.9 min.)

SCREW FIXING OF TRUSS BRACKETS - C2 WIND CLASS - All 14-10x25mm Hex Screws		
Standard trusses up to 6.0 spans	5 Screws each side. Total 10 screws per bracket.	
Standard trusses Between 6.0 - 11.0 spans	7 Screws each side. Total 14 screws per bracket.	
Standard trusses Greater than 11.0 span	9 Screws each side. Total 18 screws per bracket.	
IMPORTANT: Should a rivet not allow a screw fixing in the middle hole of the truss bracket fixing pattern. Provide a screw fixing both sides of this location.		
Jack Trusses & Half Trusses up to 6.0 spans	5 Screws each side. Total 10 screws per bracket.	
Jack Trusses & Half Trusses between 6.0 - 11.0 spans	7 Screws each side. Total 14 screws per bracket.	
Jack Trusses & Half Trusses greater than 11.0 span	9 Screws each side. Total 18 screws per bracket.	
All girder trusses	9 Screws each side. Total 18 screws per bracket.	
All hip trusses	9 Screws each side. Total 18 screws per bracket.	
All brackets for a Truss and a Verandah Rafter combination or Girder Truss (Total fill in)	9 Screws each side. Total 18 screws per bracket.	

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building designers'  
association of  
queensland inc.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: **C2**

*L. M. Spanarakis* 8-5-19 / /

**C.M.G. CONSULTING ENGINEERS** PTY. LTD.  
208 BUCHAN ST. CAIRNS QLD. 4870  
PH: 07 4031 2775  
FAX: 07 4051 9013  
A.C.N. 011 065 375

Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

Substitution of any structural members & or variations to any part of the design **will void** any responsibilities of **Homefab Steel Truss & Frame**, for the structural integrity & design performance of the building.

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**PROPOSED RESIDENCE FOR: ROSE WATTS ON LOT 184, SILKY OAK ROAD, COWBAY**

**HomeFab Job: WATTS**

APRIL 2019

NOT TO SCALE

**A.3**

WIND CLASSIFICATION: **C2**

## PLANNING BENCHMARK ASSESSMENT



20192579 – 30 Silky Oak Road, Cow Bay

## **6.2.3 Conservation Zone Code**

### **6.2.3.1 Application**

- (1) This code applies to assessing development in the Conservation zone.
- (2) When using this code, reference should be made to Part 5.

### **6.2.3.2 Purpose**

- (1) The purpose of the Conservation zone code is to provide for the protection, restoration and management of areas identified as supporting significant biological diversity and ecological integrity.
- (2) The local government purpose of the code is to:
  - (a) implement the policy direction set in the Strategic Framework, in particular:
    - (i) Theme 2 : Environmental and landscape values, Element 3.5.2 – Aboriginal cultural heritage values, Element 3.5.3 – Biodiversity, Element 3.5.3 – Coastal zones.
    - (ii) Theme 3 – Natural resource management, Element 3.6.2 – Land and catchment management.
    - (iii) Theme 4 – Strong communities and identity, Element 3.7.8 – Strengthening indigenous communities.



20192579 – 30 Silky Oak Road, Cow Bay

(b) conserve and maintain the integrity of biodiversity values, wildlife, habitats and other significant ecological assets and processes over time, across public and private lands.

(3) The purpose of the code will be achieved through the following overall outcomes:

(a) Biological diversity, ecological integrity and scenic amenity are protected;

(b) Any recreational or other uses of areas that are in the control of the Crown, or the Council, such as reserves, national parks and the Wet Tropics World Heritage Area or areas adjacent to these areas, are consistent with the management plans of the controlling authority so that conservation and scenic values of these areas are not adversely affected;

(c) Any use of land in private ownership does not affect the environmental, habitat, conservation or scenic values of that land or surrounding area;

(d) Any low intensity facilities based on the appreciation of the natural environment or nature based recreation only establish where there is a demonstrated need and provided they have a minimal impact on the environmental and scenic amenity values of the site or surrounding area.

(e) The provisions of the Return to Country Local Plan facilitate economic and social opportunities on traditional Indigenous lands;

(f) Further lot reconfigurations other than amalgamations, boundary realignments to resolve encroachments, or for the practical needs of essential community infrastructure, or to facilitate Return to Country outcomes do not occur.



20192579 – 30 Silky Oak Road, Cow Bay

**Table 6.2.31.3.a - Conservation zone – assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b></p> <p>The establishment of uses is consistent with the outcomes sought for the Conservation zone and protects the zone from the intrusion of inconsistent uses</p>	<p><b>AO1</b></p> <p>Uses identified in Table 6.2.3.3.b are not established in the Conservation zone.</p>	<p><b>Complies with AO1</b></p> <p>The proposed extension to an existing dwelling house would not result in the introduction of an identified use.</p>
<p><b>PO2</b></p> <p>The height of buildings is compatible with the character of the area and does not adversely affect the amenity of the area.</p>	<p><b>AO2</b></p> <p>Buildings and structures are not more than 8.5 metres in height and two storeys. Note - Height is inclusive of roof height.</p>	<p><b>Complies with AO2</b></p> <p>The proposed extension would not exceed 8.5 metres in height.</p>
<p><b>PO3</b></p>	<p><b>AO3</b></p>	<p><b>Complies with AO3</b></p>





Performance outcomes	Acceptable outcomes	Compliance
<p>Development is setback from site boundaries so they are screened from view from the boundaries of adjoining properties and adjoining roads to maintain the scenic values of the area.</p>	<p>Buildings and structures are setback not less than:</p> <ul style="list-style-type: none"> <li>(a) 40 metres from the frontage of a State controlled road, existing or proposed arterial road, existing or proposed sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2;</li> <li>(b) 25 metres from Cape Tribulation Road frontage;</li> <li>(c) 20 metres from any other road frontage</li> <li>(d) 10 metres from side and rear boundaries.</li> </ul>	<p>The proposed extension would not result in the dwelling house being closer to the boundaries than the identified setbacks.</p>
<p><b>PO4</b></p> <p>The site coverage of all buildings and structures does not have an adverse effect on the conservation or scenic amenity values of the site</p>	<p><b>AO4</b></p> <p>Development is sited in an existing cleared area or an area approved for clearing, but which is not yet cleared until a development permit to carry out Building Works is issued. Any clearing is limited to</p>	<p><b>Complies with AO4</b></p> <p>The proposed extension would be located within an existing cleared area.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
and surrounding area and buildings are subservient to the natural environment.	<p>a maximum area of 700m<sup>2</sup> and is sited clear of the high bank of any watercourse.</p> <p>Note – The 700m<sup>2</sup> area of clearing does not include an access driveway.</p>	
<p><b>PO5</b></p> <p>Development is consistent with the overall outcomes sought for the Conservation zone.</p>	<p><b>AO5</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Complies with PO5</b></p> <p>The proposed extension would be within an existing cleared area and would not affect any environmental or ecological values.</p>
<p><b>PO6</b></p> <p>Development complements and is subservient to the surrounding environment and is in keeping with the ecological, landscape and scenic values of the area.</p>	<p><b>AO6</b></p> <p>The exterior finishes and colours of all development are non-reflective and consist of colours that blend easily with surrounding native vegetation and view-shed.</p>	<p><b>Complies with AO6</b></p> <p>The external finishes would match the existing dwelling, which have previously been accepted by Council.</p>
<p><b>PO7</b></p>	<p><b>AO7.1</b></p> <p>For any development, the balance area of the site not built upon, including all setback areas must be</p>	<p><b>Complies with AO7.1</b></p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Development is screened from view from adjoining roads and properties with a dense screen of endemic/native landscape which:</p> <p>(a) is informal in character and complementary to the existing natural environment;</p> <p>(b) provides screening;</p> <p>(c) enhances the visual appearance of the development.</p> <p>Note – Planning scheme policy – Landscaping provides further guidance on meeting the performance outcome</p>	<p>landscaped/revegetated with dense three tier, endemic planting which is maintained to ensure successful screening is achieved.</p> <p><b>AO7.2</b></p> <p>Endemic palm species, where used, are planted as informal accent features and not as avenues and not in a regular pattern.</p>	<p>The proposed extension would not affect any existing vegetated setback areas.</p> <p><b>Not Applicable</b></p> <p>No landscaping is proposed.</p>
<p><b>P08</b></p> <p>Development is complementary to the surrounding environment.</p>	<p><b>AO8.1</b></p> <p>Development harmonises with the surrounding environment, for example, through suspended, light-weight construction on sloping sites, which requires minimal excavation or fill.</p>	<p><b>Complies with AO8.1</b></p> <p>The construction of the extension would be consistent with the existing dwelling house, which has previously been accepted by Council.</p>



Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO8.2</b></p> <p>A driveway or parking areas are constructed and maintained to:</p> <p>(a) minimise erosion, particularly in the wet season;</p> <p>(b) minimise cut and fill;</p> <p>(c) follow the natural contours of the site; Douglas Shire Planning Scheme 2018 Version 1.0 Part 6: Zones Part 6: Page 10 Performance outcomes Acceptable outcomes</p> <p>(d) minimise vegetation clearing.</p>	<p><b>Not Applicable</b></p> <p>Access would be via the existing driveway.</p>
	<p><b>AO8.3</b></p> <p>Buildings and structures are erected on land not exceeding a maximum gradient of 1 in 6 (16.6%) or</p> <p>On land steeper than 1 in 6 (16.6%) gradient:</p>	<p><b>Complies with AO8.3</b></p> <p>The extension would be constructed on flat ground.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>(a) A split level building form is utilised;</p> <p>(b) A single plane concrete slab is not utilised;</p> <p>(c) Any voids between building and ground level, or between outdoor decks and ground level are screened from view using lattice/battens and/or landscaping. and</p> <p>(d) is accompanied by a Geotechnical Report prepared by a qualified engineer at development application stage which includes certification that the site can be stabilised, followed by a certificate upon completion of works.</p>	
	<p><b>AO8.4</b></p> <p>Buildings and structures are sited below any ridgelines and are sited to avoid protrusion above the surrounding tree-level canopy.</p>	<p><b>Complies with AO8.4</b></p> <p>The extension would not be located above any ridgeline and would not extend beyond the canopy.</p>
<p><b>PO9</b></p>	<p><b>AO9</b></p>	<p><b>Complies with PO9</b></p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Development is located to:</p> <ul style="list-style-type: none"> <li>(a) protect the ecological values of the site and surrounding land;</li> <li>(b) maintain the scenic values of the area;</li> <li>(c) maintain appropriate setbacks to waterways, watercourses, wetlands, tidal areas and overland flow paths;</li> <li>(d) avoid areas that are vulnerable to natural hazards;</li> <li>(e) minimise to the greatest extent possible on site excavation and filling;</li> <li>(f) provide buffers to cultural, historical or ecological features;</li> <li>(g) minimise visibility from external sites or public viewing points;</li> </ul>	<p>No acceptable outcomes are prescribed.</p>	<p>The proposed extension would be located within an existing clearing and would not affect environmental or ecological values and would not require excavation or fill.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
(h) minimises to the greatest extent possible the loss of native vegetation and fauna habitat.		
<p><b>PO10</b></p> <p>Development does not result in adverse impacts on:</p> <p>(a) ecological function or features;</p> <p>(b) on-site or surrounding waterways and wetlands.</p>	<p><b>AO10</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Complies with PO10</b></p> <p>The proposed extension would be located within an existing cleared area and not adjacent any waterways or wetlands.</p>
<p><b>PO11</b></p> <p>Rehabilitation of natural processes on disturbed sites is undertaken to improve the environmental integrity of the area.</p>	<p><b>AO11</b></p> <p>No acceptable outcomes are prescribed</p>	<p><b>Not Applicable</b></p> <p>No rehabilitation is required.</p>
<p><b>PO12</b></p> <p>Fencing is designed to not impede the free movement of native fauna through the site.</p>	<p><b>AO12</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Not Applicable</b></p> <p>No fencing is proposed.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO13</b></p> <p>New lots contain a minimum lot size of 200 hectares, unless:</p> <p>(a) the lot reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments);</p> <p>(b) the reconfiguration is limited to one additional lot to accommodate an existing or approved:</p> <p>(i) Telecommunications facility;</p> <p>(ii) Utility installation;</p> <p>(c) the lot reconfiguration facilitates and outcome consistent with the Return to Country local plan.</p> <p>Note – Boundary realignments must result in an improved environmental outcome or resolve encroachments.</p>	<p><b>AO13</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Not Applicable</b></p> <p>No new lots are proposed.</p>





**Table 6.2.3.3.b — Inconsistent uses within the Conservation zone.**

<b>Inconsistent uses</b>		
<ul style="list-style-type: none"> <li>• Adult Store</li> <li>• Agricultural supplies store</li> <li>• Air Services</li> <li>• Animal husbandry</li> <li>• Aquaculture</li> <li>• Bar</li> <li>• Brothel</li> <li>• Bulk landscape supplies</li> <li>• Car Wash</li> <li>• Child care centre</li> <li>• Community care centre</li> <li>• Community residence</li> <li>• Community use</li> <li>• Crematorium</li> <li>• Cropping</li> </ul>	<ul style="list-style-type: none"> <li>• Garden centre</li> <li>• Hardware and trade supplies</li> <li>• High impact industry</li> <li>• Hospital</li> <li>• Hotel</li> <li>• Indoor sport and entertainment</li> <li>• Intensive animal industry</li> <li>• Intensive horticulture</li> <li>• Landing</li> <li>• Low impact industry</li> <li>• Major sport, recreation and entertainment facility</li> <li>• Marine industry</li> <li>• Market</li> <li>• Motor sport facility</li> </ul>	<ul style="list-style-type: none"> <li>• Resort complex</li> <li>• Retirement facility</li> <li>• Roadside stall</li> <li>• Rooming accommodation</li> <li>• Rural activities (unless in accordance with the exceptions nominated in the Table of Assessment for the Conservation Zone in Part 5)</li> <li>• Rural workers accommodation</li> <li>• Sales office</li> <li>• Service Station</li> <li>• Shop</li> <li>• Shopping centre</li> <li>• Showroom</li> <li>• Special industry</li> </ul>



20192579 – 30 Silky Oak Road, Cow Bay

<ul style="list-style-type: none"><li>• Detention facility</li><li>• Dual occupancy</li><li>• Dwelling unit</li><li>• Educational establishment</li><li>• Extractive industry</li><li>• Food and drink outlet</li><li>• Function facility</li></ul>	<ul style="list-style-type: none"><li>• Multiple dwelling</li><li>• Nightclub entertainment facility</li><li>• Office</li><li>• Outdoor sales</li><li>• Parking station</li><li>• Place of worship</li><li>• Port services</li><li>• Relocatable home park</li><li>• Research and technology industry</li><li>• Residential care facility</li></ul>	<ul style="list-style-type: none"><li>• Substation</li><li>• Theatre</li><li>• Tourist attraction</li><li>• Tourist park</li><li>• Transport depot</li><li>• Utility installation</li><li>• Veterinary services</li><li>• Warehouse</li><li>• Wholesale nursery</li><li>• Winery</li></ul>
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Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.



20192579 – 30 Silky Oak Road, Cow Bay

## **7.2.1 Cape Tribulation and Daintree Coast local plan code**

### **7.2.1.1 Application**

- (1) This code applies to assessing development within the Cape Tribulation and Daintree Coast local plan area as identified on the Cape Tribulation and Daintree Coast local plan maps contained in Schedule 2.
- (2) When using this code, reference should be made to Part 5

### **7.2.1.2 Context and setting**

Editor's note - This section is extrinsic material under section 15 of the Statutory Instruments Act 1992 and is intended to assist in the interpretation of the Cape Tribulation and Daintree Coast local plan code.

The Cape Tribulation and Daintree Coast local plan area is located in the northern half of the Douglas Shire on land located predominantly to the north and east of the Daintree River. The local plan area contains land of extremely high biodiversity value and is where two World Heritage areas meet – the Wet Tropics World Heritage Area and the Great Barrier Reef World Heritage Area. The precinct is a biodiversity hotspot of international significance and predominantly consists of the Daintree National Park and other reserves. The local plan area provides significant habitat for the critically endangered Southern Cassowary, amongst many other species of fauna and flora and cultural and landscape heritage sites.

The natural environment, containing areas of the highest biodiversity value and flora and fauna unique to the area, are part of the immense drawcard to large numbers of domestic and international visitors. While such an economic resource is invaluable to the Shire, the area needs to be carefully managed to ensure these values are not diminished. However, a significant portion of the local plan area is privately owned freehold land and outside the boundaries of



20192579 – 30 Silky Oak Road, Cow Bay

the Wet Tropics World Heritage Area, but is still equally important to the continued conservation of the biodiversity, environmental and scenic values of the area.

Prior to European settlement, the area formed part of the traditional land of the Eastern Kuku Yalanji people. In the late 1800s, limited European settlement commenced associated with timber getting and agriculture. From the 1920s onwards seasonal workers and miners also set up semi-permanent camps in the area. However such activity was restricted due to the relative isolation of the area. The settlement pattern in the area dramatically changed in the late 1970s to 1980s when approximately 950 residential lots were created. The 'rural residential style' allotments north of the Daintree River posed a risk of significant detrimental impacts on the ecology and landscape character of the area, particularly if fully developed. Such development would also result in a greater resident population leading to pressure for an increased level of service and extension of infrastructure, which in turn would lead to more development pressure. Such an outcome is contrary to the objectives of preserving the area's natural environment, landscape character and relative isolation to maintain the area's intrinsic attractiveness to tourists and residents.

Past successive planning regimes have progressively proceeded to rein in development rights within the area. Precincts were created and development was limited. In particular, decisive action was undertaken in 2004 to control and limit permanent residential development north of the Daintree River. This was necessary to ensure a critical population was not reached, and adverse effects from development were not felt on the water quality, biodiversity, scenic amenity and flora and fauna of the region.

Where development rights were extinguished, compensation was paid and / or land was bought as part of a buy-back scheme and retained for conservation purposes. The protection of the regional ecosystem and rare and threatened species is paramount in the limitation of development opportunities within the region



20192579 – 30 Silky Oak Road, Cow Bay

### 7.2.1.3 Purpose

- (1) The purpose of the Daintree River - Bloomfield River local plan is to retain the attraction of the area as a very low-key, largely undeveloped nature-based recreation environment, based on the exploration and appreciation of the natural environment and to ensure that any development that does occur is appropriate and does not place additional pressures in the values of the area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) areas within the local plan are appropriately managed to protect biological diversity, water catchment quality, ecological functioning, beach protection and coastal management, scenic amenity, and historical and cultural values;
  - (b) the natural character of the locality is protected, and where degraded, restored or enhanced;
  - (c) new development does not occur, with the exception of development located within, and consistent with the respective precinct intents for:
    - (i) Precinct 1 – Conservation precinct
    - (ii) Precinct 2 – Low impact residential precinct;
    - (iii) Precinct 3 – Low impact commercial precinct;
    - (iv) Precinct 4 – Low impact community purpose precinct;
    - (v) Precinct 5 – Low impact rural production and tourism enterprise precinct;
    - (vi) Precinct 6 – Low impact tourism accommodation precinct;
  - (d) where development occurs it is:
    - (i) very low scale and remains within the limits imposed by the vehicular capacity of the Daintree River ferry crossing, the Alexandra Range road crossing and the local road network;
    - (ii) sensitive and sympathetic to its remote location in an area of unique biodiversity, ecological, conservation and scenic amenity value;
    - (iii) self-contained through the use of appropriate on-site or nearby rain water collection and storage, sewerage treatment and electricity generation;
  - (e) adequate services and facilities for settlement areas and an appropriate level of economic opportunity for local residents are provided



20192579 – 30 Silky Oak Road, Cow Bay

#### **7.2.1.4 Precinct 1 – Conservation Precinct**

- (1) The purpose of Precinct 1 as detailed on the Local Plan maps contained in Schedule 2 is to provide for the protection, restoration and management of areas identified as supporting significant biological diversity and ecological integrity.
- (2) The overall outcomes sought for Precinct 1 are to:
  - (a) ensure the conservation, protection and restoration of biological diversity and ecological integrity values of land, and to maintain scenic amenity values;
  - (b) ensure that further incompatible development, including houses, does not occur;
  - (c) ensure that where development does occur, it does not adversely affect environmental and scenic amenity values and is in keeping with the natural characteristics of the land.

#### **7.2.1.5 Precinct 2 – Low Impact Residential Precinct**

- (1) The purpose of Precinct 2 as detailed on the Local Plan maps contained in Schedule 2 is to allow for the construction of a single detached dwelling and necessarily associated infrastructure and outbuildings.
- (2) The overall outcomes sought for Precinct 2 are to:
  - (a) ensure development is for a single detached dwelling of limited scale and size and necessary outbuildings and infrastructure only;
  - (b) locate development within existing cleared areas, or where no cleared area exists, development is located such that impacts on conservation, biological, ecological and scenic amenity values are mitigated through the minimisation of excavation, fill and vegetation removal, to the maximum extent possible;
  - (c) ensure development is visually non-obtrusive.

#### **7.2.1.6 Precinct 3 – Low Impact Commercial Precinct**



20192579 – 30 Silky Oak Road, Cow Bay

- (1) The purpose of Precinct 3 as detailed on the Local Plan maps contained in Schedule 2 is to recognise the existing commercial uses and permit their continued use.
- (2) The overall outcomes sought for Precinct 3 are to:
  - (a) ensure that low impact commercial uses are appropriately located;
  - (b) locate development within existing cleared areas, or where no cleared area exists, development is located such that impacts on conservation, biological, ecological and scenic amenity values are mitigated through the minimisation of excavation, fill and vegetation removal, to the maximum extent possible;
  - (c) carry out development in accordance with an Environmental Management Plan;
  - (d) ensure development is visually non-obtrusive

#### **7.2.1.7 Precinct 4 – Low Impact Community Purposes Precinct**

- (1) The purpose of Precinct 4 as detailed on the Local Plan maps contained in Schedule 2 is to recognise the existing public purpose uses and permit their continued use.
- (2) The overall outcomes sought for Precinct 4 are to:
  - (a) ensure the establishment and expansion of community and public purpose uses such as child care centre, community use, educational establishment, health care services, outdoor sport and recreation, utility installation on appropriate sites within the precinct;
  - (b) locate development within existing cleared areas or where no cleared area exists, development is located such that impacts on conservation, biological, ecological and scenic amenity values are mitigated through the minimisation of excavation, fill and vegetation removal, to the maximum extent possible
  - (c) services are provided which are appropriate and adequately cater for the demand;
  - (d) carry out development in accordance with an Environmental Management Plan;
  - (e) ensure development is visually non-obtrusive.



20192579 – 30 Silky Oak Road, Cow Bay

#### **7.2.1.8 Precinct 5 – Low Impact Rural Production Precinct**

- (1) The purpose of Precinct 5 as detailed on the Local Plan maps contained in Schedule 2 is to recognise existing rural areas and permit their continued use, while encouraging low-impact tourism enterprise including bed and breakfast, short term accommodation (being farm stay accommodation) and nature based tourism (being forest stay accommodation) as an alternative land use, where significant restoration and/or rehabilitation measures are undertaken as an incentive.
- (2) The overall outcomes sought for Precinct 5 are to:
  - (a) provide for continued rural production activities where lawfully established and to permit low-key ancillary tourism enterprise such as farm attractions, roadside stalls in appropriate locations;
  - (b) provide for other tourism enterprise in the form of bed and breakfast, farm stay accommodation or forest stay accommodation as an alternative land use to primary production, where significant rehabilitation of habitat is achieved.
  - (c) facilitate other existing tourism enterprises based on the appreciation of the natural environment.
  - (d) ensure development, including waste treatment is limited to existing cleared areas;
  - (e) development, including primary production, is carried out in accordance with an Environmental Management Plan.

#### **7.2.1.9 Precinct 6 – Low Impact Tourism Accommodation Precinct**

- (1) The purpose of Precinct 6 as detailed on the Local Plan maps contained in Schedule 2 is to recognise existing small-scale tourist accommodation and ancillary low-key activities, based on and compatible with an appreciation of the natural environment and permit their continued use.
- (2) The overall outcomes sought for Precinct 6 are to:
  - (a) provide for continued small-scale tourist accommodation and ancillary low-key activities, based on and compatible with an appreciation of the natural environment in appropriate locations;
  - (b) ensure development, including treatment of waste, is confined to existing cleared areas;
  - (c) carry out development in accordance with an Environmental Management Plan;





20192579 – 30 Silky Oak Road, Cow Bay

(d) ensure development is visually non-obtrusive.

### 7.2.1.10 Criteria for assessment

**Table 7.2.1.10.a – Cape Tribulation and Daintree Coast local plan – assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>All development in the Cape Tribulation and Daintree Coast Local Plan Area</b>		
<p><b>PO1</b></p> <p>Development does not result in a demand which exceeds the capacity of:</p> <p>(a) the Daintree River ferry crossing;            (b) Alexandra Range Road;            (c) the local road network.</p>	<p><b>AO1</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Complies with AO1</b></p> <p>The house extension would not result in increased traffic.</p>
<p><b>PO2</b></p>	<p><b>AO2.1</b></p> <p>Water storage is provided in tank/s with a minimum capacity to service the proposed use,</p>	<p><b>Complies with AO2.1</b></p> <p>The proposal is an extension to an existing Dwelling House with existing services.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Development provides a suitable standard of self-sufficient service for:</p> <ul style="list-style-type: none"> <li>(a) potable water;</li> <li>(b) water for fire fighting purposes;</li> <li>(c) electricity supply</li> </ul>	<p>including fire fighting capacity, and access to the tank/s for fire trucks. Tank/s are to be:</p> <ul style="list-style-type: none"> <li>(a) fitted with a 50mm ball valve and camlock fitting;</li> <li>(b) installed and connected prior to occupation;</li> <li>(c) sited so as to be visually unobtrusive.</li> </ul>	
	<p><b>AO2.2</b></p> <p>Water storage tanks are to be fitted with screening at their inlets to prevent the intrusion of leaves and insects.</p>	<p><b>Complies with AO2.2</b></p> <p>The proposal is an extension to an existing Dwelling House with existing services.</p>
	<p><b>AO2.3</b></p> <p>An environmentally acceptable and energy efficient power supply is constructed, installed and connected prior to occupation and sited so as to be screened from the road.</p>	<p><b>Complies with AO2.3</b></p> <p>The proposal is an extension to an existing Dwelling House with existing services.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO3</b></p> <p>On-site waste water does not adversely impact on the environmental quality of the water and soil resources or amenity of residents, through the implementation of best environmental practice.</p>	<p><b>AO3</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Complies with AO3</b></p> <p>The proposal is an extension to an existing Dwelling House with existing services.</p>
<p><b>PO4</b></p> <p>The sustainability of the natural water resources of the area is protected for ecological and domestic consumption purposes.</p>	<p><b>AO4.1</b></p> <p>If groundwater is to be used, development is limited to one bore per site and the bore is: not located within 100 metres of a septic disposal trench (on the site or adjoining sites); not located within 100 metres of another bore.</p>	<p><b>Complies with AO4.1</b></p> <p>The proposal is an extension to an existing Dwelling House with existing services.</p>
	<p><b>AO4.2</b></p> <p>Surface water is to be used for domestic purposes only.</p>	<p><b>Complies with AO4.2</b></p> <p>The proposal is an extension to an existing Dwelling House with existing services.</p>
<p><b>PO5</b></p>	<p><b>AO5</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Complies with AO5</b></p> <p>The proposal is an extension to an existing Dwelling House within an existing cleared area.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Development does not adversely impact on areas of sensitive natural vegetation, foreshore areas, watercourses and/or areas of tidal inundation.</p>		
<p><b>PO6</b></p> <p>Development is subservient to the surrounding natural environment in scale and intensity and is designed to be functional in a humid tropical rainforest environment.</p>	<p><b>AO6.1</b></p> <p>The exterior finishes and colours of buildings are non-reflective and complement the colours of the surrounding vegetation and view shed</p>	<p><b>Complies with AO6.1</b></p> <p>The exterior finishes of the proposed extension would match the existing dwelling house, which have previously been accepted.</p>
	<p><b>AO6.2</b></p> <p>The noise of generators is controlled by design, or the generator is enclosed within a sound insulated building with a residential approved muffler. The noise level generated is less than 65 dBA when measured from a distance of 7 metres</p>	<p><b>Complies with AO6.2</b></p> <p>The proposal is an extension to an existing Dwelling House with existing services.</p>
	<p><b>AO6.3</b></p> <p>Any fuel storage associated with an on-site generator, with storage of 20 litres or more of fuel,</p>	<p><b>Complies with AO6.3</b></p> <p>The proposal is an extension to an existing Dwelling House with existing services.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	is enclosed with a building and provided with a bund.	
<p><b>PO7</b></p> <p>Landscaping of the development ensures that the endemic character of the local area is dominant.</p>	<p><b>A07.1</b></p> <p>Landscaping complies with the requirements of Planning Scheme Policy 7 – Landscaping;</p>	<p><b>Not applicable</b></p> <p>No landscaping is proposed.</p>
	<p><b>A07.2</b></p> <p>All of the existing landscaping to be retained and all of the proposed landscaping is 100% endemic or native species and the details are provided on a landscape plan.</p>	<p><b>Not applicable</b></p> <p>No landscaping is proposed.</p>
<p><b>PO8</b></p> <p>Site access driveways and roads within the local plan area are retained as safe, slow speed, scenic drives</p>	<p><b>A08.1</b></p> <p>Site access driveways and existing or proposed roads comply with the relevant requirements of Planning Scheme Policy 5 – FNQROC Development Manual and are maintained as low speed gravel roads to maintain the scenic drive</p>	<p><b>Not applicable</b></p> <p>Access would be provided by the existing driveway.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>experience and to discourage the use of roads by through-traffic; r</p>	
	<p><b>AO8.2</b></p> <p>Where existing roads/tracks are 4-wheel drive only, upgrading to facilitate conventional vehicles and an increase in through traffic does not occur.</p>	<p><b>Not applicable</b></p> <p>Access would be provided by the existing driveway</p>
<p><b>PO9</b></p> <p>The on-site impacts on natural flow regimes and erosion and sedimentation are minimised.</p>	<p><b>AO9.1</b></p> <p>Filling and excavation is kept to a minimum and involves not more than 5% of the cleared area of the lot.</p>	<p><b>Not applicable</b></p> <p>No excavation or filling is proposed.</p>
	<p><b>AO9.2</b></p> <p>All exposed surfaces must incorporate erosion and sediment controls during construction and must be maintained until revegetation, or other permanent stabilisation, has occurred.</p>	<p><b>Not applicable</b></p> <p>No excavation or filling is proposed</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO9.3</b></p> <p>This is no disturbance to tree roots and trenching does not involve any damage to tree roots.</p>	<p><b>Not applicable</b></p> <p>No excavation or filling is proposed</p>
	<p><b>AO9.4</b></p> <p>(a) On-site drainage and stormwater management maintains natural flow regimes;</p> <p>(b) minimises impervious surfaces;</p> <p>(c) avoids concentration of flows, but where there is any form of concentration of flow, energy dissipation measures are installed at the outlet to avoid erosion (e.g. rock rip rap, gravel beds, diffusers etc.)</p>	<p><b>Complies with AO9.4</b></p> <p>The proposed extension would connect to the existing drainage system.</p>
<b>General requirements – Dwelling house</b>		
<b>PO10</b>	<b>AO10.1</b>	<b>Complies with PO10</b>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Development minimises the loss of vegetation and habitat connectivity on site and is sited to protect the environmental values of the site.</p>	<p>The elements of development and access to the site are included in a Designated Development Area (DDA).</p>	<p>The proposed extension would be within an existing cleared area and no vegetation is required to be removed.</p>
	<p><b>AO10.2</b></p> <p>Development is sited in an existing cleared area or in an area approved for vegetation clearing.</p>	<p><b>Complies with PO10.2</b></p> <p>The proposed extension would be within an existing cleared area and no vegetation is required to be removed.</p>
	<p><b>AO10.3</b></p> <p>Any new clearing is limited to a maximum area of 700m<sup>2</sup> and is sited to be clear of the high bank of any watercourse.</p> <p>Note – The 700m<sup>2</sup> of clearing does not include an access driveway.</p>	<p><b>Not applicable</b></p> <p>No clearing is proposed.</p>





20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO11</b></p> <p>All existing native vegetation on a house site, other than that required and approved to be cleared for the construction of a house and access thereto, is protected to ensure the environmental integrity of the local plan area.</p>	<p><b>AO11</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Complies with PO11</b></p> <p>The extension would be located within an existing cleared area.</p>
<p><b>PO12</b></p> <p>Wildlife movement, fauna habitat and habitat corridors are protected and domestic impacts are minimised.</p>	<p><b>AO12.1</b></p> <p>Fences are limited in extent to the confines of the cleared area around the house and any associated gates are self-closing.</p>	<p><b>Not applicable</b></p> <p>No fencing is proposed.</p>
	<p><b>AO12.2</b></p> <p>External lighting is to be kept to the minimum necessary for orientation, safety and security. Flood lights must not point up, and areas of retained vegetation should, in general, not be illuminated. Where appropriate, outdoor lights are controlled by movement detectors and/or timers.</p>	<p><b>Not applicable</b></p> <p>No external lighting is proposed.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO13</b></p> <p>House sites have efficient and safe vehicle access and manoeuvring areas on site, and to the site, to an acceptable standard for the local plan area.</p>	<p><b>AO13.1</b></p> <p>Vehicle access is limited to one access per lot and sited in an approved location, clear of any watercourses.</p>	<p><b>Complies with AO13.1</b></p> <p>Access would be via the existing access only.</p>
	<p><b>AO13.2</b></p> <p>Vehicular access is a maximum width of 4 metres, avoids large tree specimens and/or significant vegetation and habitat corridors and is constructed and maintained to a minimum gravel standard of 75mm of road base on a compacted soil surface.</p>	<p><b>Complies with AO13.2</b></p> <p>Access would be via the existing access only</p>
	<p><b>AO13.3</b></p> <p>Vehicular access is constructed prior to house construction.</p>	<p><b>Complies with AO13.3</b></p> <p>Access would be via the existing access only</p>
<p><b>Additional requirements for Nature based Tourism, being forest stay accommodation</b></p>		
<p><b>PO14</b></p>	<p><b>AO14</b></p>	<p><b>Not applicable</b></p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Forest stay accommodation provides a local economic opportunity for permanent residents of those parts of the Shire which are isolated and constrained by a lack of urban services and facilities.</p>	<p>Forest stay accommodation:</p> <ul style="list-style-type: none"> <li>(a) is confined to:               <ul style="list-style-type: none"> <li>(i) Precinct 2 – Low impact residential precinct;</li> <li>(ii) Precinct 5 – Low impact rural and tourism enterprise precinct;</li> <li>(iii) Precinct 6 – Low impact tourism accommodation precinct.</li> </ul> </li> <li>(b) does not occur above the 60 metre contour;</li> <li>(c) is located on lots of 10 hectares or greater.</li> </ul>	<p>The development is an extension to an existing dwelling house only.</p>
<p><b>PO15</b></p> <p>Forest stay accommodation remains ancillary to the primary residential use and the natural values</p>	<p><b>AO15.1</b></p> <p>The maximum number of guests is 10 (10 bed spaces) with up to a maximum of 4 staff (4 bed spaces);</p>	<p><b>Not applicable</b></p> <p>The development is an extension to an existing dwelling house only.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>of the land and the use is compatible with the character and amenity of the locality</p>	<p>Note – Staff includes permanent residents of the dwelling house involved in catering for the use.</p>	
	<p><b>AO15.2</b></p> <p>None of the accommodation, whether for guests or staff, is self-contained as the use operates only in association with an existing dwelling on the site.</p>	<p><b>Not applicable</b></p> <p>The development is an extension to an existing dwelling house only.</p>
	<p><b>AO15.3</b></p> <p>Forest stay accommodation is located on a site which has an existing cleared area.</p>	<p><b>Not applicable</b></p> <p>The development is an extension to an existing dwelling house only.</p>
	<p><b>AO15.4</b></p> <p>The natural values of the balance area of the site are protected and enhanced with organised tours being conducted for visiting guests.</p>	<p><b>Not applicable</b></p> <p>The development is an extension to an existing dwelling house only.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO15.5</b></p> <p>If forest stay accommodation is provided in buildings which are separate from the dwelling:</p> <ul style="list-style-type: none"> <li>(a) the maximum number of separate building/s is determined based on each building containing a minimum of 2 bed spaces each, provided that each building has a maximum area of 50m<sup>2</sup> (inclusive of verandahs/patios etc.); or</li> <li>(b) a maximum of one communal bunkhouse is provided with a maximum area of 150m<sup>2</sup> to accommodate 10 guests (10 bed spaces) (inclusive of verandahs/patios etc.); or</li> <li>(c) a maximum of two communal bunkhouses are provided with a maximum area of 150m<sup>2</sup> each to accommodate a maximum of 20 guests (20 bed spaces) (inclusive of verandahs/patios etc).</li> </ul>	<p><b>Not applicable</b></p> <p>The development is an extension to an existing dwelling house only.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO15.6</b></p> <p>No kitchen or cooking facilities, with the exception of those located within the existing dwelling on the site are provided in association with the forest stay accommodation.</p>	<p><b>Not applicable</b></p> <p>The development is an extension to an existing dwelling house only.</p>
<p><b>PO16</b></p> <p>Development ensures guests are accommodated for short-stay and the dwelling is not the usual residence of the guest.</p>	<p><b>AO16</b></p> <p>Development involves guests staying a maximum of 14 consecutive nights.</p>	<p><b>Not applicable</b></p> <p>The development is an extension to an existing dwelling house only.</p>
<p><b>PO17</b></p> <p>Development ensures that effluent disposal and treatment minimise odour and impacts on the natural environment.</p>	<p><b>AO17</b></p> <p>Development provides an on-site effluent treatment system that is adequately sized to effectively treat effluent from the dwelling house and any additional persons occupying the premises as guests.</p>	<p><b>Not applicable</b></p> <p>The development is an extension to an existing dwelling house only.</p>
<p><b>Additional requirements for Precinct 1 – Conservation Precinct</b></p>		



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO18</b></p> <p>The biodiversity value of the area and the habitat of endemic species is protected on land included in the Rainforest Conservation precinct.</p>	<p><b>AO18</b></p> <p>No new development occurs whether on undeveloped or developed land except for:</p> <p>Undeveloped land that meets one or more of the following criteria:</p> <p>Land which has been previously been lawfully cleared and currently remains cleared;</p> <ul style="list-style-type: none"> <li>(a) Land, which is the subject of a current Clearing Permit, but has yet to be cleared;</li> <li>(b) Land, which is subject of a current Operational Works Permit, can be developed for a house subject to compliance with all relevant codes.</li> </ul> <p>In addition, minor extensions can be undertaken to an existing development, provided:</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>(a) The extensions are limited to 30% of the existing gross floor area of the house at the commencement date of the planning scheme.</p> <p>or</p> <p>(b) The extent of extensions are determined on a site specific/use specific basis for other land uses,</p> <p>and</p> <p>(c) No further clearing is required to accommodate the extensions for either a house or any other land use development.</p>	
<b>Additional requirements for precinct 2 – Low impact Residential Precinct</b>		
<b>PO19</b>	<b>AO19.1</b>	<b>Complies with AO19.1</b>





20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Development is for;</p> <p>(a) a detached dwelling of limited size and scale and necessary outbuildings and infrastructure;</p> <p>(b) home occupations, including bed and breakfast accommodation, where it can be demonstrated that the bed and breakfast accommodation can establish on the site and not detrimentally impact on the scenic values of the site and surrounding areas;</p> <p>(c) Nature based tourism, being Forest stay accommodation where in compliance with other requirements contained within this code.</p>	<p>Development is limited to one dwelling house per lot.</p>	<p>No additional dwelling would be constructed as part of this application.</p>
	<p><b>AO19.2</b></p> <p>Establishment of bed and breakfast accommodation only occurs on land on which a dwelling house has been approved and constructed.</p>	<p><b>Not Applicable</b></p> <p>The application is for an extension to an existing dwelling house only.</p>
	<p><b>AO19.3</b></p> <p>Bed and breakfast accommodation is limited to cleared areas on the land; or</p> <p><b>AO19.4</b></p> <p>Bed and breakfast accommodation is established within an existing house, where there is no additional vegetation clearing required to accommodate the use;</p>	<p><b>Not Applicable</b></p> <p>The application is for an extension to an existing dwelling house only.</p>
	<p><b>AO19.5</b></p>	<p><b>Not Applicable</b></p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	Bed and breakfast accommodation occurs on a site with a minimum area of 1 hectare, and thereafter occurs at a rate of 1 bedroom (2 beds) per hectare, up to a maximum of 4 bedrooms (8) beds per site.	The application is for an extension to an existing dwelling house only.
	<b>AO19.6</b>  Development is setback a minimum of 100 metres to an Esplanade or a foreshore frontage.	<b>Not applicable</b>  The site is not located adjacent the foreshore.
<b>Additional requirements for Precinct 3 – Low Impact Commercial Precinct</b>		
<b>PO20</b>  Commercial development is located in a convenient location and meets the requirements of the local community and visitors to the area.	<b>AO20</b>  Commercial development is located within Precinct 3 and has frontage to Cape Tribulation Road.	<b>Not Applicable</b>  The site is within precinct 2.
<b>PO21</b>  Development is small scale and provides a necessary service to the surrounding community	<b>AO21</b>  No acceptable outcomes are prescribed.	<b>Not Applicable</b>  The site is within precinct 2.



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO22</b></p> <p>Development is carried out in accordance with a site-specific, and development specific Environmental Management Plan.</p> <p>Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.</p>	<p><b>AO22</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>
<p><b>Additional requirements for Precinct 4 – Low Impact community Purposes Precinct</b></p>		
<p><b>PO23</b></p> <p>Development results in a small scale expansion of an existing use which provides a necessary service to the surrounding community;</p> <p>or</p> <p>Development results in a new community use or public purpose use for which there is an identified need within the surrounding community.</p>	<p><b>AO23</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO24</b></p> <p>Development is carried out in accordance with a site specific and development specific Environmental Management Plan.</p> <p>Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.</p>	<p><b>AO24</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>
<p><b>Additional Requirements for Precinct 5 – Low Impact Rural Production and Tourism Enterprise Precinct</b></p>		
<p><b>PO25</b></p> <p>Development complements, protects and enhances the environmental and scenic values of the site.</p>	<p><b>AO25.1</b></p> <p>One dwelling house establishes per lot.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>
	<p><b>AO25.2</b></p> <p>Any other development is limited to existing cleared areas on the site.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>
	<p><b>AO25.3</b></p> <p>No development is to occur above the 60 metre contour line.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO25.4</b></p> <p>Any new primary production activity or a change to a primary production activity has minimal impact on the existing natural values of the site and surrounding area.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>
<p><b>PO26</b></p> <p>Large cleared or partially cleared sites are revegetated and rehabilitated in association with suitably small scale environmentally sustainable development.</p>	<p><b>AO26</b></p> <p>Large cleared or partially cleared sites are revegetated and rehabilitated in association with suitably small scale environmentally sustainable development.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>
<p><b>PO27</b></p> <p>Development is carried out in accordance with a site specific and development specific Environmental Management Plan.</p> <p>Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.</p>	<p><b>AO27</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Not Applicable</b></p> <p>The site is within precinct 2.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<b>Additional requirements for Precinct 6 – Low Impact Tourist Accommodation Precinct</b>		
<b>PO28</b>  Development complements, protects and enhances the environmental and scenic values of the site.	<b>AO28.1</b>  One dwelling house establishes per lot.	<b>Not Applicable</b>  The site is within precinct 2.
	<b>AO28.2</b>  Any other development is limited to existing cleared areas on the site.	<b>Not Applicable</b>  The site is within precinct 2.
	<b>AO28.3</b>  No development is to occur above the 60 metre contour line.	<b>Not Applicable</b>  The site is within precinct 2.
<b>PO29</b>  Development results in a small scale expansion of existing tourist accommodation and any associated activities, based on the appreciation of the natural environment.	<b>AO29</b>  No acceptable outcomes are prescribed.	<b>Not Applicable</b>  The site is within precinct 2.
<b>PO30</b>	<b>AO30</b>	<b>Not Applicable</b>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Development is carried out in accordance with a site specific and development specific Environmental Management Plan.</p> <p>Note – Planning scheme policy – Environmental management plans SC6.4 provides further guidance on meeting the performance outcome</p>	<p>No acceptable outcomes are prescribed.</p>	<p>The site is within precinct 2.</p>



20192579 – 30 Silky Oak Road, Cow Bay

## **8.2.1 Acid sulfate soils overlay code**

### **8.2.1.1 Application**

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Acid sulfate soils overlay, if:
  - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Acid sulphate soils overlay is identified on the Acid sulfate soils overlay map in Schedule 2 and includes the following sub-categories:
  - (a) Land at or below the 5m AHD sub-category;
  - (b) Land above the 5m AHD and below the 20m AHD sub-category.
- (3) When using this code, reference should be made to Part 5.

### **8.2.1.2 Purpose**

- (1) The purpose of the acid sulfate soils overlay code is to:
  - (a) implement the policy direction in the Strategic Framework, in particular:
    - (i) Theme 2: Environment and landscape values, Element 3.5.4 Coastal zones.
    - (ii) Theme 3: Natural resource management, Element 3.6.2 land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.
- (2) enable an assessment of whether development is suitable on land within the Acid sulfate soils overlay sub-categories.





20192579 – 30 Silky Oak Road, Cow Bay

(2) The purpose of the code will be achieved through the following overall outcomes:

- (a) Development ensures that the release of any acid and associated metal contaminant is avoided by not disturbing acid sulfate soils when excavating, removing soil or extracting ground water or filling land;
- (b) Development ensures that disturbed acid sulphate soils, or drainage waters, are treated and, if required, on-going management practices are adopted that minimise the potential for environmental harm from acid sulfate soil and protect corrodible assets from acid sulfate soil.

### 8.2.1.3 Criteria for assessment

**Table Error! No text of specified style in document..a – Acid sulphate soils overlay code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For assessable development</b>		
<p><b>PO1</b></p> <p>The extent and location of potential or actual acid sulfate soils is accurately identified.</p>	<p><b>AO1.1</b></p> <p>No excavation or filling occurs on the site.</p> <p>or</p> <p><b>AO1.2</b></p> <p>An acid sulfate soils investigation is undertaken.</p>	<p><b>Complies with AO1.1</b></p> <p>No excavation or filling would occur as part of the proposed development.</p>



20192579 – 30 Silky Oak Road, Cow Bay

	<p>Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.</p>	
<p><b>PO2</b></p> <p>Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants.</p>	<p><b>AO2.1</b></p> <p>The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by:</p> <ul style="list-style-type: none"> <li>(a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils;</li> <li>(b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils;</li> <li>(c) not undertaking filling that results in:</li> <li>(d) actual acid sulfate soils being moved below the water table;</li> <li>(e) previously saturated acid sulfate soils being aerated.</li> </ul> <p>or</p>	<p><b>Complies with AO2.1</b></p> <p>No excavation or filling would occur as part of the proposed development.</p>



20192579 – 30 Silky Oak Road, Cow Bay

**AO2.2**

The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by:

- (a) neutralising existing acidity and preventing the generation of acid and metal contaminants;
- (b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment;
- (c) preventing the in situ oxidisation of potential acid sulfate soils and actual acid sulfate soils through ground water level management;
- (d) appropriately treating acid sulfate soils before disposal occurs on or off site;
- (e) documenting strategies and reporting requirements in an acid sulfate soils environmental management plan.

Note - Planning scheme policy SC 6.12 – Acid sulfate



20192579 – 30 Silky Oak Road, Cow Bay

	soils provides guidance on preparing an acid sulfate soils management plan.	
<p><b>PO3</b></p> <p>No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.</p>	<p><b>AO3</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Complies with AO3</b></p> <p>No excavation or filling would occur as part of the proposed development.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

## **8.2.2 Bushfire hazard overlay code**

Note - Land shown on the bushfire hazard overlay map is designated as the bushfire prone area for the purposes of section 12 of the Building Regulations 2006. The bushfire hazard area (bushfire prone area) includes land covered by the high and medium hazard areas as well as the buffer area category on the overlay map.

### **8.2.2.1 Application**

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational works or building work in the Bushfire hazard overlay, if:
  - (a) self-assessable or assessable where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Bushfire hazard overlay is identified on the Bushfire hazard overlay map in Schedule 2 and includes the following sub-categories:
  - (a) Medium bushfire risk sub-category;
  - (b) High bushfire risk sub-category;
  - (c) Very high bushfire risk sub-category;
  - (d) Potential impact buffer sub-category.
- (3) When using this code, reference should be made to Part 5.

### **8.2.2.2 Purpose**

- (1) The purpose of the Bushfire overlay code is to:
  - (a) implement the policy direction in the Strategic Framework, in particular:
    - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;



20192579 – 30 Silky Oak Road, Cow Bay.

- (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
  - (b) enable an assessment of whether development is suitable on land within the Bushfire risk overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) development avoids the establishment or intensification of vulnerable activities within or near areas that are subject to bushfire hazard;
  - (b) development is designed and located to minimise risks to people and property from bushfires;
  - (c) bushfire risk mitigation treatments are accommodated in a manner that avoids or minimises impacts on the natural environment and ecological processes;
  - (d) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a bushfire event;
  - (e) development contributes to effective and efficient disaster management response and recovery capabilities.

Note - A site based assessment may ground-truth the extent of hazardous vegetation and extent and nature of the bushfire hazard area (bushfire prone area). Such assessments should be undertaken using the methodology set out in Planning scheme policy SC6.9 - Natural Hazards.



20192579 – 30 Silky Oak Road, Cow Bay.

### 8.2.2.3 Criteria for assessment

**Table Error! No text of specified style in document..a – Bushfire hazard overlay code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Compatible development</b>		
<p><b>PO1</b></p> <p>A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances.</p> <p>Note - See the end of this code for examples of vulnerable uses.</p>	<p><b>AO1</b></p> <p>Vulnerable uses are not established or expanded.</p> <p>Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan.</p> <p>Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected</p>	<p><b>Complies with AO1</b></p> <p>The proposed development is not a vulnerable use.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<p>to prepare such a plan.</p> <p>Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>	
<p><b>PO2</b></p> <p>Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.</p>	<p><b>AO2</b></p> <p>Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.</p>	<p><b>Complies with AO2</b></p> <p>The proposal is for an extension to an existing dwelling house only.</p>
<p><b>PO3</b></p> <p>Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.</p>	<p><b>AO3</b></p> <p>The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.</p>	<p><b>Not applicable</b></p> <p>The proposal is for an extension to an existing dwelling house only, it does not involve the storage of hazardous materials.</p>
<p><b>Development design and separation from bushfire hazard – reconfiguration of lots</b></p>		
<p><b>PO4.1</b></p> <p>Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural</p>	<p><b>AO4.1</b></p> <p>No new lots are created within a bushfire hazard</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve reconfiguring a lot.</p>





20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
<p>residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m<sup>2</sup> at the edge of the proposed lot(s).</p> <p>Note - “Urban purposes” and “urban area” are defined in the <i>Sustainable Planning Regulations 2009</i>. Reconfiguration will be taken to be for rural residential purposes where proposed lots are between 2000m<sup>2</sup> and 2ha in area. “Smaller scale” rural residential purposes will be taken to be where the average proposed lot size is 6000m<sup>2</sup> or less.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p>sub-category.</p> <p>or</p>	
<p><b>PO4.2</b></p> <p>Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m<sup>2</sup> at any point.</p>	<p><b>AO4.2</b></p> <p>Lots are separated from hazardous vegetation by a distance that:</p> <p>(a) achieves radiant heat flux level of 29kW/m<sup>2</sup></p>	<p><b>Not applicable</b></p> <p>The proposal does not involve reconfiguring a lot.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<p>at all boundaries; and</p> <p>(b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	
<p><b>PO5</b></p> <p>Where reconfiguration is undertaken in an urban</p>	<p><b>AO5.1</b></p> <p>Lot boundaries are separated from hazardous</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve reconfiguring a lot.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
<p>area or is for urban purposes, a constructed perimeter road with reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access is available for both fire fighting and maintenance/defensive works.</p>	<p>vegetation by a public road which:</p> <ul style="list-style-type: none"> <li>(a) has a two lane sealed carriageway;</li> <li>(b) contains a reticulated water supply;</li> <li>(c) is connected to other public roads at both ends and at intervals of no more than 500m;</li> <li>(d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(e) has a minimum of 4.8m vertical clearance above the road;</li> <li>(f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and</li> <li>(g) incorporates roll-over kerbing.</li> </ul>	
	<p><b>AO5.2</b></p> <p>Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve reconfiguring a lot.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<p>specified by the relevant water entity.</p> <p>Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>	
<p><b>PO6</b></p> <p>Where reconfiguration is undertaken for smaller scale rural residential purposes, either a constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p>	<p><b>AO6</b></p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> </ul>	<p><b>Not applicable</b></p> <p>The proposal does not involve reconfiguring a lot.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<ul style="list-style-type: none"> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network at intervals of no more than 500m;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</li> </ul>	
<p><b>PO7</b></p> <p>Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and</p>	<p><b>AO7</b></p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve reconfiguring a lot.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
<p>either the lot boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system</li> </ul>	



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<p>authorised by Queensland Fire and Emergency Services; and</p> <p>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</p>	
<p><b>PO8</b></p> <p>The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.</p>	<p><b>AO8</b></p> <p>The lot layout:</p> <p>(a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation;</p> <p>(b) avoids the creation of potential bottle-neck points in the movement network;</p> <p>(c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; and</p> <p>(d) ensures roads likely to be used in the event of a fire are designed to minimise traffic</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve reconfiguring a lot.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<p>congestion.</p> <p>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots.</p> <p>In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan.</p> <p>Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate</p>	
<p><b>PO9</b></p> <p>Critical infrastructure does not increase the potential bushfire hazard.</p>	<p><b>AO9</b></p> <p>Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve reconfiguring a lot.</p>
<p><b>Development design and separation from bushfire hazard – material change of use</b></p>		





20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO10</b></p> <p>Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of:</p> <p>(e) 10kW/m<sup>2</sup> where involving a vulnerable use; or            (f) 29kW/m<sup>2</sup> otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p><b>AO10</b></p> <p>Buildings or building envelopes are separated from hazardous vegetation by a distance that:</p> <p>(a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m<sup>2</sup> for a vulnerable use or 29kW/m<sup>2</sup> otherwise; and            (b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions</p>	<p><b>Not applicable</b></p> <p>The application is for building works only and does not involve a material change of use.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<p>within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	
<p><b>PO11</b></p> <p>A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> <p>Note - Fire trails are unlikely to be required where a development site involves less than 2.5ha</p>	<p><b>AO11</b></p> <p>Development sites are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> </ul>	<p><b>Not applicable</b></p> <p>The application is for building works only and does not involve a material change of use.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<ul style="list-style-type: none"> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</li> </ul>	
<b>All development</b>		
<p><b>PO12</b></p> <p>All premises are provided with vehicular access that enables safe evacuation for occupants and</p>	<p><b>AO12</b></p> <p>Private driveways:</p>	<p><b>Complies with PO12</b></p> <p>Access to the site if the proposed extension would be via the existing access driveway from Cow Bay,</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
<p>easy access by fire fighting appliances.</p>	<ul style="list-style-type: none"> <li>(a) do not exceed a length of 60m from the street to the building;</li> <li>(b) do not exceed a gradient of 12.5%;</li> <li>(c) have a minimum width of 3.5m;</li> <li>(d) have a minimum of 4.8m vertical clearance;</li> <li>(e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and</li> <li>(f) serve no more than 3 dwellings or buildings.</li> </ul>	<p>which has previously been determined to be acceptable by Council.</p>
<p><b>PO13</b></p> <p>Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.</p>	<p><b>AO13</b></p> <p>A water tank is provided within 10m of each building (other than a class 10 building) which:</p> <ul style="list-style-type: none"> <li>(a) is either below ground level or of non-flammable construction;</li> <li>(b) has a take off connection at a level that allows the following dedicated, static water supply to</li> </ul>	<p><b>Complies with PO13</b></p> <p>Water supply for fire fighting purposes has previously been provided in association with the existing dwelling house.</p>



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
	<p>be left available for access by fire fighters:</p> <ul style="list-style-type: none"> <li>(i) 10,000l for residential buildings</li> </ul> <p>Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams</p> <ul style="list-style-type: none"> <li>(ii) 45,000l for industrial buildings; and</li> <li>(iii) 20,000l for other buildings;</li> </ul> <ul style="list-style-type: none"> <li>(c) includes shielding of tanks and pumps in accordance with the relevant standards;</li> <li>(d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank;</li> <li>(e) is provided with fire brigade tank fittings – 50mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and</li> <li>(f) is clearly identified by directional signage provided at the street frontage.</li> </ul>	



20192579 – 30 Silky Oak Road, Cow Bay.

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO14</b></p> <p>Landscaping does not increase the potential bushfire risk.</p>	<p><b>AO14</b></p> <p>Landscaping uses species that are less likely to exacerbate a bushfire event and does not increase fuel loads within separation areas.</p>	<p><b>Not applicable</b></p> <p>No landscaping is proposed as part of the extension to the existing dwelling house.</p>
<p><b>PO15</b></p> <p>The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but not limited to, biodiversity or scenic amenity).</p>	<p><b>AO15</b></p> <p>Bushfire risk mitigation treatments do not have a significant impact on the natural environment or landscape character of the locality where this has value.</p>	<p><b>Complies with AO15</b></p> <p>The bushfire mitigation risks associated with the proposed extension would be consistent with the measures undertaken in association with the existing dwelling house, which has previously been accepted by council.</p>



20192579 – 30 Silky Oak Road, Cow Bay

## **8.2.6 Landscape values overlay code**

### **8.2.6.1 Application**

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Landscape values overlay, if:
  - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
  
- (2) Land in the Landscape values overlay is identified on the Landscape values overlay map in Schedule 2 and includes in following sub-categories:
  - (c) High landscape value sub-category;
  - (d) Medium landscape value sub-category;
  - (e) Scenic route buffer / view corridor area sub-category;
  - (f) Coastal scenery area sub-category.
  
- (3) When using this code, reference should be made to Part 5.

### **8.2.6.2 Purpose**

- (1) The purpose of the Landscape values overlay code is to:
  - (a) implement the policy direction of the Strategic Framework, in particular:
    - (i) Theme 2: Environment and landscape values Element 3.5.5 Scenic amenity;



20192579 – 30 Silky Oak Road, Cow Bay

- (ii) Theme 3: Natural resource management Element 3.6.4 – Resource extraction.
  - (b) enable an assessment of whether development is suitable on land within the Landscape values overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
- (a) areas of High landscape value are protected, retained and enhanced;
  - (b) areas of Medium landscape value are managed to integrate and limit the visual impact of development;
  - (c) the landscape values of the Coastal scenery area are managed to integrate and limit the visual impact of development;
  - (d) development maintains and enhances the significant landscape elements and features which contribute to the distinctive character and identity of Douglas Shire;
  - (e) ridges and vegetated hillslopes are not developed in a way that adversely impacts on landscape values;
  - (f) watercourses, forested mountains and coastal landscape character types remain predominantly natural in appearance in order to maintain the region's diverse character and distinctive tropical image, in particular:
    - (i) areas in the coastal landscape character type which are predominantly natural and undeveloped in appearance retain this natural landscape character;
    - (ii) watercourses which are predominantly natural and undeveloped in appearance retain this natural landscape character;
    - (iii) the rural character of cane fields and lowlands landscape character types which are predominantly rural or natural in appearance are maintained;
    - (iv) landscape values are maintained when viewed from lookouts, scenic routes, gateways and public places.
  - (g) views towards High landscape value areas and the Coral Sea are not diminished;
  - (h) development is consistent with the prevailing landscape character of its setting, and is neither visually dominant nor visually intrusive;
  - (i) advertising devices do not detract from the landscape values, character types or amenity of an area.

### 8.2.6.3 Criteria for assessment





20192579 – 30 Silky Oak Road, Cow Bay

**Table Error! No text of specified style in document..a – Landscape Values overlay code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For assessable development</b>		
<b>Development in a High landscape value area</b>		
<p><b>PO1</b></p> <p>Development within High landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</p> <p>(b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation</p>	<p><b>AO1.1</b></p> <p>Buildings and structures are not more than 8.5 metres and two storeys in height</p> <p>Note - Height is inclusive of roof height.</p>	<p><b>Complies with Ao1.1</b></p> <p>The proposed extension would not exceed 8.5 metres in height.</p>
	<p><b>AO1.2</b></p> <p>Buildings and structures are setback not less than 50 metres from ridgelines or peaks.</p>	<p><b>Complies with AO1.2</b></p> <p>The proposed development would be setback more than 5 metres from any ridgeline or peak.</p>
	<p><b>AO1.3</b></p> <p>Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p>	<p><b>Complies with AO1.3</b></p> <p>The proposed extension would be located to the rear of the existing dwelling and would not be visible from views external to the site.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>within 3 years of construction;</p> <p>(c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</p> <p>(d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</p> <p>(e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</p>	<p><b>AO1.4</b></p> <p>Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p> <p>(a) development follows the natural; contours of the site;</p> <p>(b) buildings are split level or suspended floor construction, or a combination of the two;</p> <p>(c) lightweight materials are used to areas with suspended floors.</p> <p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p>	<p><b>Not applicable</b></p> <p>The extension would not be located on land steeper than 1 in 6.</p>
<p>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment</p>	<p><b>AO1.5</b></p> <p>The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p>	<p><b>Complies with AO1.5</b></p> <p>The external finish of the proposed extension would be consistent with the existing dwelling house, which has previously been accepted by</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(g) extractive industry operations are avoided.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p>	<p>Council.</p>
	<p><b>AO1.6</b></p> <p>No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.5%).</p>	<p><b>Complies with AO1.6</b></p> <p>No clearing of vegetation is required to facilitate the development.</p>
	<p><b>AO1.7</b></p> <p>Where for accommodation activities or reconfiguration of a lot in a High landscape value area, development demonstrates that the height, design, scale, positioning on-site, proposed construction materials and external finishes are compatible with the landscape values.</p> <p>Note - A visual impact assessment undertaken in accordance with Planning scheme policy SC6.6 – Landscape values may be required.</p>	<p><b>Complies with AO1.7</b></p> <p>The proposal is for an extension to an existing dwelling house. The extension would be less in height than the height of the existing dwelling and the external materials would be consistent with the finishes of the existing dwelling, which have previously been accepted by Council.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO1.8</b></p> <p>Advertising devices do not occur.</p>	<p><b>Not applicable</b></p> <p>No advertising devices are proposed.</p>
<b>Development within the Medium landscape value area</b>		
<p><b>PO2</b></p> <p>Development within Medium landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(g) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</p> <p>(h) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by</p>	<p><b>AO2.1</b></p> <p>Buildings and structures are not more than 8.5 metres and two storeys in height.</p> <p>Note - Height is inclusive of the roof height.</p>	<p><b>Not applicable</b></p> <p>The site is located within the area of high landscape value.</p>
	<p><b>AO2.2</b></p> <p>Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p>	<p><b>Not applicable</b></p> <p>The site is located within the area of high landscape value.</p>
	<p><b>AO2.3</b></p> <p>Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p>	<p><b>Not applicable</b></p> <p>The site is located within the area of high landscape value.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>native vegetation within 5 years of construction;</p> <p>(i) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</p> <p>(j) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</p>	<p>(a) development follows the natural; contours of the site;</p> <p>(b) buildings are split level or suspended floor construction, or a combination of the two;</p> <p>(c) lightweight materials are used to areas with suspended floors.</p> <p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p>	
<p>(k) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</p>	<p><b>AO2.4</b></p> <p>The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p>	<p><b>Not applicable</b></p> <p>The site is located within the area of high landscape value.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>(l) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(m) extractive industry operations are avoided, or where they cannot be avoided, are screened from view.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p><b>AO2.5</b></p> <p>No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.6%).</p>	<p><b>Not applicable</b></p> <p>The site is located within the area of high landscape value.</p>
	<p><b>AO2.6</b></p> <p>Advertising devices do not occur.</p>	<p><b>Not applicable</b></p> <p>The site is located within the area of high landscape value.</p>
<p><b>Development within a Scenic route buffer / view corridor area</b></p>		
<p><b>PO3</b></p> <p>Development within a Scenic route buffer / view</p>	<p><b>AO3.1</b></p> <p>Where within a Scenic route buffer / view corridor</p>	<p><b>Not applicable</b></p> <p>The site is not located within a Scenic route buffer</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>corridor area as identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(n) retains visual access to views of the surrounding landscape, the sea and other water bodies;</p>	<p>area, the height of buildings and structures is not more than identified within the acceptable outcomes of the applicable zone code.</p>	<p>/ view corridor.</p>
<p>(o) retains existing vegetation and incorporates landscaping to visually screen and soften built form elements whilst not impeding distant views or view corridors;</p>	<p><b>AO3.2</b></p> <p>No clearing of native vegetation is undertaken within a Scenic route buffer area.</p>	<p><b>Not applicable</b></p> <p>The site is not located within a Scenic route buffer / view corridor.</p>
<p>(p) incorporates building materials and external finishes that are compatible with the visual amenity and the landscape character;</p> <p>(q) minimises visual impacts on the setting and views in terms of:</p> <p>(i) the scale, height and setback of buildings;</p>	<p><b>AO3.3</b></p> <p>Where within a Scenic route buffer / view corridor area development is set back and screened from view from a scenic route by existing native vegetation with a width of at least 10 metres and landscaped in accordance with the requirements of the landscaping code.</p>	<p><b>Not applicable</b></p> <p>The site is not located within a Scenic route buffer / view corridor.</p>
<p>(ii) the extent of earthworks and impacts on the landform including the location and configuration of access roads and</p>	<p><b>AO3.4</b></p> <p>Development does not result in the replacement of, or creation of new, additional, or enlarged</p>	<p><b>Not applicable</b></p> <p>The site is not located within a Scenic route buffer / view corridor.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>driveways;</p> <p>(iii) the scale, extent and visual prominence of advertising devices.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>advertising devices.</p>	
<p><b>Development within the Coastal scenery area</b></p>		
<p><b>PO4</b></p> <p>The landscape values of the Coastal scenery zone as identified on the Landscape values overlay maps contained in Schedule 2 are managed to integrated and limit the visual impact of development.</p> <p>Note - A visual impact assessment is undertaken in</p>	<p><b>AO4.1</b></p> <p>The dominance of the natural character of the coast is maintained or enhanced when viewed from the foreshore.</p> <p><b>AO4.2</b></p> <p>Where located adjacent to the foreshore buildings</p>	<p><b>Not applicable</b></p> <p>The site is not located within a Coastal scenery area.</p> <p><b>Not applicable</b></p> <p>The site is not located within a Coastal scenery</p>





20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>and structures are setback:</p> <p>(a) Where no adjoining development, a minimum of 50 metres from the coastal high water mark and the setback area is landscaped with a native vegetation buffer that has a minimum width of 25 metres; or</p> <p>(b) Where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures, but not less than 10 metres from the coastal high water mark. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p>	<p>area.</p>
	<p><b>AO4.3</b></p> <p>Where separated from the foreshore by land contained within public ownership (e.g. unallocated State land, esplanade or other public open space), buildings and structures area</p>	<p><b>Not applicable</b></p> <p>The site is not located within a Coastal scenery area.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>setback:</p> <p>(a) where no adjoining development, a minimum of 6 metres from the coastward property boundary. The setback area is landscaped in accordance with the requirements of the Landscaping code; or</p> <p>(b) where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p>	
<p><b>PO5</b></p> <p>Development is to maximise opportunities to maintain and/or enhance natural landscape values through the maintenance and restoration of vegetated buffers between development and coastal waters, where practical.</p>	<p><b>AO5</b></p> <p>No clearing of native vegetation is undertaken within a Coastal scenery area zone, except for exempt vegetation damage undertaken in accordance with the Vegetation management code.</p>	<p><b>Not applicable</b></p> <p>The site is not located within a Coastal scenery area.</p>



20192579 – 30 Silky Oak Road, Cow Bay

<b>Performance outcomes</b>	<b>Acceptable outcomes</b>	<b>Compliance</b>
Note – A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in satisfaction of a performance outcome.		



20192579 – 30 Silky Oak Road, Cow Bay

## **8.2.7 Natural areas overlay code**

### **8.2.7.1 Application**

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Natural areas overlay, if:
  - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
  
- (2) Land in the Natural areas overlay is identified on the Natural areas overlay map in Schedule 2 and includes the following sub-categories:
  - (a) MSES – Protected area;
  - (b) MSES – Marine park;
  - (c) MSES – Wildlife habitat;
  - (d) MSES – Regulated vegetation;
  - (e) MSES – Regulated vegetation (intersecting a Watercourse);
  - (f) MSES – High ecological significance wetlands;
  - (g) MSES – High ecological value waters (wetlands);
  - (h) MSES – High ecological value waters (watercourse);
  - (i) MSES – Legally secured off set area.

Note – MSES = Matters of State Environmental Significance.



20192579 – 30 Silky Oak Road, Cow Bay

(3) When using this code, reference should be made to Part 5.

### **8.2.7.2 Purpose**

(1) The purpose of the Natural areas overlay code is to:

(a) implement the policy direction in the Strategic Framework, in particular:

(i) Theme 2: Environment and landscape values, Element 3.5.3 Biodiversity, Element 3.5.4 Coastal zones;

(ii) Theme 3: Natural resource management Element 3.6.2 Land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.

(b) enable an assessment of whether development is suitable on land within the Biodiversity area overlay sub-categories.

(2) The purpose of the code will be achieved through the following overall outcomes:

(a) development is avoided within:

(i) areas containing matters of state environmental significance (MSES);

(ii) other natural areas;

(iii) wetlands and wetland buffers;

(iv) waterways and waterway corridors.

(b) where development cannot be avoided, development:

(i) protects and enhances areas containing matters of state environmental significance;

(ii) provides appropriate buffers;

(iii) protects the known populations and supporting habitat of rare and threatened flora and fauna species, as listed in the relevant State and Commonwealth legislation;



20192579 – 30 Silky Oak Road, Cow Bay

- (iv) ensures that adverse direct or indirect impacts on areas of environmental significance are minimised through design, siting, operation, management and mitigation measures;
  - (v) does not cause adverse impacts on the integrity and quality of water in upstream or downstream catchments, including the Great Barrier Reef World Heritage Area;
  - (vi) protects and maintains ecological and hydrological functions of wetlands, waterways and waterway corridors;
  - (vii) enhances connectivity across barriers for aquatic species and habitats;
  - (viii) rehabilitates degraded areas to provide improved habitat condition, connectivity, function and extent;
  - (ix) protects areas of environmental significance from weeds, pests and invasive species.
- (c) strategic rehabilitation is directed to areas on or off site, where it is possible to achieve expanded habitats and increased connectivity.

### 8.2.7.3 Criteria for assessment

**Table Error! No text of specified style in document..a – Natural areas overlay code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Protection of matters of environmental significance</b>		
<b>PO1</b>	<b>AO1.1</b>	<b>Complies with AO1.1</b>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Development protects matters of environmental significance.</p>	<p>Development avoids significant impact on the relevant environmental values.</p> <p>or</p> <p><b>AO1.2</b></p> <p>A report is prepared by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, that the development site does not contain any matters of state and local environmental significance.</p> <p>or</p> <p><b>AO1.3</b></p> <p>Development is located, designed and operated to mitigate significant impacts on environmental values. For example, a report certified by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, how the proposed development mitigates impacts, including on water</p>	<p>The identified environmental value on the site is the regulated vegetation. The proposed extension would not involve the removal of any vegetation.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	quality, hydrology and biological processes.	
<b>Management of impacts on matters of environmental significance</b>		
<p><b>PO2</b></p> <p>Development is located, designed and constructed to avoid significant impacts on matters of environmental significance.</p>	<p><b>AO2</b></p> <p>The design and layout of development minimises adverse impacts on ecologically important areas by:</p> <ul style="list-style-type: none"> <li>(a) focusing development in cleared areas to protect existing habitat;</li> <li>(b) utilising design to consolidate density and preserve existing habitat and native vegetation;</li> <li>(c) aligning new property boundaries to maintain ecologically important areas;</li> <li>(d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas;</li> </ul>	<p><b>Complies with AO2</b></p> <p>The proposed extension to the existing dwelling house would be accessed via the existing access and the extension would be within an existing cleared area and no additional clearing would be required to facilitate the development or the associated services.</p>





20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	(e) ensuring that significant fauna habitats are protected in their environmental context; and (f) incorporating measures that allow for the safe movement of fauna through the site.	
<p><b>PO3</b></p> <p>An adequate buffer to areas of state environmental significance is provided and maintained.</p>	<p><b>AO3.1</b></p> <p>A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of:</p> <p>(a) 100 metres where the area is located outside Urban areas; or</p> <p>(b) 50 metres where the area is located within Urban areas.</p> <p><b>or</b></p> <p><b>AO3.2</b></p> <p>A buffer for an area of state environmental significance is applied and maintained, the width of</p>	<p><b>Not Applicable</b></p> <p>There are not wetland protection areas within the vicinity of the site.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.</p>	
<p><b>PO4</b> Wetland and wetland buffer areas are maintained, protected and restored.</p> <p>Note – Wetland buffer areas are identified in AO3.1.</p>	<p><b>AO4.1</b> Native vegetation within wetlands and wetland buffer areas is retained.</p>	<p><b>Not Applicable</b> There are not wetland protection areas within the vicinity of the site.</p>
	<p><b>AO4.2</b> Degraded sections of wetlands and wetland buffer areas are revegetated with endemic native plants in patterns and densities, which emulate the relevant regional ecosystem.</p>	<p><b>Not Applicable</b> There are not wetland protection areas within the vicinity of the site.</p>
<p><b>PO5</b> Development avoids the introduction of non-native pest species (plant or animal) that pose a</p>	<p><b>AO5.1</b> Development avoids the introduction of non-native pest species.</p>	<p><b>Complies with AO5.1</b> There is no intention to introduce non-native pest species to the site.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
risk to ecological integrity.	<p><b>AO5.2</b></p> <p>The threat of existing pest species is controlled by adopting pest management practices for long-term ecological integrity.</p>	<p><b>Not Applicable</b></p> <p>There are no known pest species that reside on the site.</p>
<b>Ecological connectivity</b>		
<p><b>PO6</b></p> <p>Development protects and enhances ecological connectivity and/or habitat extent.</p>	<p><b>AO6.1</b></p> <p>Development retains native vegetation in areas large enough to maintain ecological values, functions and processes.</p> <p>and</p> <p><b>AO6.2</b></p> <p>Development within an ecological corridor rehabilitates native vegetation.</p> <p>and</p>	<p><b>Complies with AO6.1</b></p> <p>No vegetation is required to be removed to facilitate the development.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO6.3</b></p> <p>Development within a conservation corridor mitigates adverse impacts on native fauna, feeding, nesting, breeding and roosting sites and native fauna movements.</p>	
<p><b>PO7</b></p> <p>Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).</p>	<p><b>AO7.1</b></p> <p>Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation.</p> <p>and</p> <p><b>AO7.2</b></p> <p>Development does not encroach within 10 metres of existing riparian vegetation and watercourses.</p>	<p><b>Complies with AO7.1</b></p> <p>The proposed extension to the existing dwelling house is low rise and would be located in an existing cleared area setback from any vegetation and any watercourse..</p>
<p><b>Waterways in an urban area</b></p>		



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO8</b></p> <p>Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> <li>(a) water quality;</li> <li>(b) hydrological functions;</li> <li>(c) ecological processes;</li> <li>(d) biodiversity values;</li> <li>(e) riparian and in-stream habitat values and connectivity;</li> <li>(f) in-stream migration.</li> </ul>	<p><b>AO8.1</b></p> <p>Where a waterway is contained within an easement or a reserve required for that purpose, development does not occur within the easement or reserve;</p> <p>or</p> <p><b>AO8.2</b></p> <p>Development does not occur on the part of the site affected by the waterway corridor.</p> <p>Note – Waterway corridors are identified within 8.</p>	<p><b>Not Applicable</b></p> <p>The site is not considered to be within an urban area.</p>
<b>Waterways in a non-urban area</b>		
<p><b>PO9</b></p> <p>Development is set back from waterways to</p>	<p><b>AO9</b></p> <p>Development does not occur on that part of the site</p>	<p><b>Not applicable</b></p> <p>The site does not contain a waterway corridor.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
protect and maintain: <ul style="list-style-type: none"> <li>(a) water quality;</li> <li>(b) hydrological functions;</li> <li>(c) ecological processes;</li> <li>(d) biodiversity values;</li> <li>(e) riparian and in-stream habitat values and connectivity;</li> <li>(f) in-stream migration.</li> </ul>	affected by a waterway corridor.  Note – Waterway corridors are identified within table 8.2.7.3.b.	

### 8.2.7.3.b — Widths of waterway corridors for waterways

Waterways classification	Waterway corridor width
Waterways in Urban areas	10 metres measured perpendicular from the top of the high bank.
Waterways in Other areas	For a dwelling house, 10 metres measured perpendicular from the top of the high bank. For all other development, 20 metres measured perpendicular from the top



20192579 – 30 Silky Oak Road, Cow Bay

	of the high bank.
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201905420192579 – 30 Silky Oak Road, Caw Bay

## **9.4.1 Access, parking and servicing code**

### **9.4.1.1 Application**

- (1) This code applies to assessing:
  - (a) operational work which requires a compliance assessment as a condition of a development permit; or
  - (b) a material change of use or reconfiguring a lot if:
    - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

### **9.4.1.2 Purpose**

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
  - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
  - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
  - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
  - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
  - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do





201905420192579 – 30 Silky Oak Road, Caw Bay

not unduly disrupt any current or future on-street parking arrangements.

### 9.4.1.3 Criteria for assessment

**Table 9.4.1.3.a – Access, parking and servicing code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b></p> <p>Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:</p> <p>(a) the desired character of the area;</p> <p>(b) the nature of the particular use and its specific characteristics and scale;</p> <p>(c) the number of employees and the likely number of visitors to the site;</p>	<p><b>AO1.1</b></p> <p>The minimum number of on-site vehicle parking spaces is not less than the number prescribed in 9.4.1.3.b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p>	<p><b>Complies with AO1.1</b></p> <p>The proposed development is an extension to an existing Dwelling House that has previously been approved.</p>
	<p><b>AO1.2</b></p> <p>Car parking spaces are freely available for the parking of vehicles at all times and are not used</p>	<p><b>Complies with AO1.2</b></p> <p>The existing car parking spaces would be freely available for the parking of vehicles.</p>



201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>(d) the level of local accessibility;</p> <p>(e) the nature and frequency of any public transport serving the area;</p> <p>(f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building</p> <p>(g) whether or not the use involves a heritage building or place of local significance;</p> <p>(h) whether or not the proposed use involves the retention of significant vegetation.</p>	<p>for external storage purposes, the display of products or rented/sub-leased.</p>	
	<p><b>AO1.3</b></p> <p>Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p>	<p><b>Not Applicable</b></p>
	<p><b>AO1.4</b></p> <p>For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>	<p><b>Not Applicable</b></p>
<p><b>PO2</b></p> <p>Vehicle parking areas are designed and constructed in accordance with relevant standards.</p>	<p><b>AO2</b></p> <p>Vehicle parking areas are designed and constructed in accordance with Australian Standard:</p>	<p><b>Complies with AO2</b></p> <p>The existing parking spaces have been deemed to satisfy the relevant Australian Standards.</p>



201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
	(a) AS2890.1; (b) AS2890.3; (c) AS2890.6.	
<b>PO3</b> Access points are designed and constructed: (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area;	<b>AO3.1</b> Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with: (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.  <b>AO3.2</b> Access, including driveways or access crossovers: (a) are not placed over an existing:	<b>Complies with AO3.1</b> Access to the site would be via the existing single access.  <b>Complies with AO3.2</b> Access to the site would be via the existing single access.



201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>(e) so that they do not adversely impact upon existing intersections or future road or intersection improvements;</p> <p>(f) so that they do not adversely impact current and future on-street parking arrangements;</p> <p>(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;</p> <p>(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</p>	<p>(i) telecommunications pit;</p> <p>(ii) stormwater kerb inlet;</p> <p>(iii) sewer utility hole;</p> <p>(iv) water valve or hydrant.</p> <p>(b) are designed to accommodate any adjacent footpath;</p> <p>(c) adhere to minimum sight distance requirements in accordance with AS2980.1.</p>	
	<p><b>AO3.3</b></p> <p>Driveways are:</p> <p>(a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual;</p>	<p><b>Complies with AO3.3</b></p> <p>Access to the site would be via the existing single access.</p>



201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>(b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;</p> <p>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;</p> <p>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</p>	
	<p><b>AO3.4</b></p>	<p><b>Complies with AO3.4</b></p>



201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
	Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.	Access to the site would be via the existing single access.
<p><b>PO4</b></p> <p>Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p><b>AO4</b></p> <p>The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	<p><b>Not Applicable</b></p>
<p><b>PO5</b></p> <p>Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p><b>AO5</b></p> <p>Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	<p><b>Not Applicable</b></p>
<p><b>PO6</b></p> <p>Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.</p>	<p><b>AO6</b></p> <p>The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.3.1.b</p>	<p><b>Not Applicable</b></p>



201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO7</b></p> <p>Development provides secure and convenient bicycle parking which:</p> <p>(a) for visitors is obvious and located close to the building's main entrance;</p> <p>(b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building;</p> <p>(c) is easily and safely accessible from outside the site.</p>	<p><b>A07.1</b></p> <p>Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);</p>	<p><b>Not Applicable</b></p>
	<p><b>A07.2</b></p> <p>Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.</p>	<p><b>Not Applicable</b></p>
	<p><b>A07.3</b></p> <p>Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	<p><b>Not Applicable</b></p>
<p><b>PO8</b></p> <p>Development provides walking and cycle routes through the site which:</p>	<p><b>A08</b></p> <p>Development provides walking and cycle routes which are constructed on the carriageway or through the site to:</p>	<p><b>Not Applicable</b></p>



201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>(a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes;</p> <p>(b) encourage walking and cycling;</p> <p>(c) ensure pedestrian and cyclist safety.</p>	<p>(a) create a walking or cycle route along the full frontage of the site;</p> <p>(b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.</p>	
<p><b>PO9</b></p> <p>Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <p>(a) in accordance with relevant standards;</p> <p>(b) so that they do not interfere with the amenity of the surrounding area;</p>	<p><b>AO9.1</b></p> <p>Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.</p>	<p><b>Complies with AO9.1</b></p> <p>The existing access driveways etc. has been deemed to satisfy the relevant Australian Standards.</p>
	<p><b>AO9.2</b></p> <p>Service and loading areas are contained fully within the site.</p>	<p><b>Not Applicable</b></p>





201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>(c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.</p>	<p><b>AO9.3</b></p> <p>The movement of service vehicles and service operations are designed so they:</p> <p>(a) do not impede access to parking spaces;</p> <p>(b) do not impede vehicle or pedestrian traffic movement.</p>	<p><b>Not Applicable</b></p>
<p><b>PO10</b></p> <p>Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p><b>AO10.1</b></p> <p>Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses:</p> <p>(a) car wash;</p> <p>(b) child care centre;</p> <p>(c) educational establishment where for a school;</p>	<p><b>Not Applicable</b></p>



201905420192579 – 30 Silky Oak Road, Caw Bay

Performance outcomes	Acceptable outcomes	Compliance
	(d) food and drink outlet, where including a drive-through facility; (e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station.	
	<b>AO10.2</b> Queuing and set-down areas are designed and constructed in accordance with AS2890.1.	<b>Not Applicable</b>

**Table 9.4.1.3.a – Access, parking and servicing requirements**

Note – Where the number of spaces is not a whole number, the number of spaces to be provided is the next highest whole number.

Note – Where the proposed development involves one or more land use, the minimum number of spaces for the proposed development will be calculated using the minimum number of spaces specified for each land use component.



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Agricultural supplies store	1 space per 50m <sup>2</sup> of GFA and outdoor display area.	1 space per 200m <sup>2</sup> of GFA.	n/a	LRV
Air services	1 car space per 20m <sup>2</sup> of covered reception area, plus 1 car space per 2 staff, plus a covered bus set down area adjacent to the entry of the reception area and 2 bus parking spaces.	n/a	n/a	LRV
Bulk landscape supplies	1 space per 50m <sup>2</sup> GFA and outdoor display area.	1 space per 200m <sup>2</sup> of GFA.	n/a	MRV
Caretaker's accommodation	A minimum of 1 space	n/a	n/a	n/a
Child care centre	1 space per 10 children to be used for setting down and picking up of children, with a minimum of 3 car	n/a	n/a	VAN



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	<p>spaces to be provided for set down and collection; plus 1 space per employee.</p> <p>Any drive-through facility can provide tandem short term parking for 3 car spaces for setting down/picking up of children, on the basis that a passing lane is provided and line-marked to be kept clear of standing vehicles at all times.</p>			
Club	<p>Unlicensed clubrooms: 1 space per 45m<sup>2</sup> of GFA.</p> <p>Licensed clubrooms: 1 space per 15m<sup>2</sup> of GFA.</p>	1 space per 4 employees.	n/a	<p>Licensed and equal or greater than 1500m<sup>2</sup>: RCV</p> <p>Other: VAN</p>
Community care centre	1 space per 20m <sup>2</sup> of GFA.	A minimum of 1 space.	n/a	RCV
Community residence	A minimum of 2 spaces.	A minimum of 1 space.	n/a	VAN



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Community use	1 space per 15m <sup>2</sup> GFA.	1 space per 100m <sup>2</sup> of GFA.	n/a	RCV
Dual occupancy	A minimum of 2 spaces per dwelling unit which may be in tandem with a minimum of 1 covered space per dwelling unit.	n/a	n/a	n/a
Dwelling house	A minimum of 2 spaces which may be in tandem plus 1 space for a secondary dwelling	n/a	n/a	n/a
Dwelling unit	1.5 spaces per one or two bedroom unit; or 2 spaces per three bedroom unit.	n/a	n/a	n/a
Educational establishment	Primary school or secondary schools:	Primary school or secondary schools:	Required for all educational establishments with a	RCV



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	<p>1 car space per 2 staff members, plus provision of space to be used for setting down and picking up of students.</p> <p>Tertiary and further education:</p> <p>1 car space per 2 staff members, plus 1 car space per 10 students, plus provision of space to be used for setting down and picking up of students.</p>	<p>1 space per 5 students over year 4.</p> <p>Tertiary and further education:</p> <p>2 spaces per 50 full time students.</p>	<p>GFA greater than 2000m<sup>2</sup>.</p>	
<p>Food and drink outlet</p>	<p>1 space per 25m<sup>2</sup> GFA and outdoor dining area.</p> <p>or</p> <p>If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan or if with Precinct 5: Town centre precinct in the Mossman local plan:</p> <p>1 space per 50m<sup>2</sup> of GFA, and outdoor dining area.</p>	<p>1 space per 100m<sup>2</sup> of GFA, and outdoor dining area.</p>	<p>n/a</p>	<p>See Table 9.4.1.3.d</p>



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Function facility	1 space per 15m <sup>2</sup> GFA.	1 space per 100m <sup>2</sup> of GFA.	n/a	RCV
Funeral parlour	1 space per 15m <sup>2</sup> GFA.	n/a	n/a	RCV
Garden centre	1 space per 50m <sup>2</sup> GFA and outdoor display area	1 space per 200m <sup>2</sup> of GFA.	n/a	AV
Hardware and trade supplies	1 space per 50m <sup>2</sup> GFA and outdoor display area	1 space per 200m <sup>2</sup> of GFA.	n/a	AV
Health care services	1 space per 20m <sup>2</sup> of GFA.	1 space per 100m <sup>2</sup> of GFA.	Required for all health care services with a GFA greater than 2000m <sup>2</sup> .	VAN
High impact industry	1 space per 90m <sup>2</sup> of GFA.	n/a	n/a	AV



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Home based business	The parking required for the dwelling house, plus 1 space per bedroom where the Home based business involves the provision of accommodation; or 1 space per 25m <sup>2</sup> GFA for any other Home Based Business.	n/a	n/a	n/a
Hospital	The greater of 1 space per 2 bedrooms or 1 space per 4 beds; plus 1 car space for ambulance parking, designated accordingly.	1 space per 100m <sup>2</sup> of GFA.	Required for all hospitals with a GFA greater than 2000m <sup>2</sup> .	RCV
Hotel	1 space per 10m <sup>2</sup> GFA and licensed outdoor area; plus For 1 space per 50m <sup>2</sup> GFA of floor area of liquor barn or bulk liquor sales area; plus, if a drive in bottle	1 space per 100m <sup>2</sup> of GFA.	n/a	LRV





201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	shop is provided, queuing lane/s on site for 12 vehicles.  Note - Use standard for any Short Term Accommodation for hotel accommodation use.			
Indoor sport and recreation	Squash court or another court game: 4 spaces per court.  Basketball, netball, soccer, cricket: 25 spaces per court / pitch.  Ten pin bowling: 3 spaces per bowling lane.  Gymnasium: 1 space per 15m <sup>2</sup> of GFA.	1 space per 4 employees.	n/a	RCV
Low impact industry	1 space per 90m <sup>2</sup> of GFA.	n/a	n/a	AV
Marine industry	1 space per 90m <sup>2</sup> of GFA.	n/a	n/a	AV



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Medium impact industry	1 space per 90m <sup>2</sup> of GFA.	n/a	n/a	AV
Multiple dwelling	<p>If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie Local plan: 1 car space per dwelling unit.</p> <p>If outside Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie Local plan: 1.5 car spaces per dwelling unit</p> <p>In all cases 60% of the car parking area is to be covered.</p>	1 bicycle space per 3 units and 1 visitor bicycle space per 12 units.	n/a	RCV (over 10 units)
Office	<p>1 space per 25m<sup>2</sup> of GFA</p> <p>or</p> <p>If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan or if with Precinct 5:</p>	1 space per 200m <sup>2</sup> GFA	Required for all office development with a GFA greater than 2000m <sup>2</sup> .	See Table 9.4.1.3.d



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	Town centre precinct in the Mossman local plan: 1 space per 50m <sup>2</sup> of GFA			
Outdoor sales	1 space per 50m <sup>2</sup> GFA and outdoor display area	1 space per 200m <sup>2</sup> of GFA.	n/a	AV
Outdoor sport and recreation	<p>Coursing, horse racing, pacing, trotting: 1 space per 5 seated spectators, plus 1 space per 5m<sup>2</sup> of other spectator areas.</p> <p>Football: 50 spaces per field.</p> <p>Lawn bowls: 30 spaces per green.</p> <p>Swimming pool: 15 spaces; plus 1 space per 100m<sup>2</sup> of useable site area.</p> <p>Tennis court or other court game: 4 spaces per court.</p> <p>Golf course: 4 spaces per tee on the course.</p>	<p>Football: 5 space per field.</p> <p>Lawn bowls: 5 spaces per green.</p> <p>Swimming pool: 1 space per swimming lane.</p> <p>Tennis court or other court game: 4 space per court.</p>	n/a	RCV



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	Note - Use standard for Club for clubhouse component.	Golf course: 1 space per 15m <sup>2</sup> of GFA for clubhouse component.		
Place of worship	1 space per 15m <sup>2</sup> of GFA.	1 space per 100m <sup>2</sup> of GFA.	n/a	LRV
Relocatable home park	1 space per relocatable home site; plus 0.1 space per relocatable home site for visitor parking; plus 1 space for an on-site manager	n/a	n/a	LRV
Research and technology industry	1 space per 90m <sup>2</sup> of GFA.	n/a	n/a	MRV
Residential care facility	1 visitor car space per 5 bedroom units; plus 1 car space per 2 staff members	n/a	n/a	LRV



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Resort complex	<p>Use standard for relevant standard for each component.</p> <p>For example: Use Short Term Accommodation standard for accommodation component and Food and Drink Outlet for restaurant component.</p>	<p>Use standard for relevant standard for each component.</p> <p>For example: Use Short Term Accommodation standard for accommodation component and Food and Drink Outlet for restaurant component.</p>	n/a	RCV
Retirement facility	1 space per dwelling unit; plus 1 visitor space per 5 dwelling units; plus 1 visitor car space per 10 hostel units, nursing home or similar beds, plus 1 car space	n/a	n/a	LRV



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	per 2 staff members; plus 1 car parking space for ambulance parking.			
Sales office	A minimum of 1 space.	n/a	n/a	n/a
Service industry	1 space per 90m <sup>2</sup> of GFA.	n/a	n/a	SRV
Service station	1 space per 25m <sup>2</sup> of GFA	n/a	n/a	AV
Shop	1 space per 25m <sup>2</sup> of GFA. or If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan or if with Precinct 5: Town centre precinct in the Mossman local plan: 1 space per 50m <sup>2</sup> of GFA.	1 space per 100m <sup>2</sup> of GFA.	Required for all shops with a GFA greater than 2000m <sup>2</sup> .	See Table 9.4.3.1.d



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Shopping centre	<p>1 space per 25m<sup>2</sup> of GFA.</p> <p>or</p> <p>If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan or if with Precinct 5: Town centre precinct in the Mossman local plan: 1 space per 50m<sup>2</sup> of GFA.</p>	1 space per 200m <sup>2</sup> GFA.	Required for all shopping centres with a GFA greater than 2000m <sup>2</sup> .	See Table 9.4.3.1.d
Short term accommodation	<p>If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan: 0.5 car spaces per dwelling unit.</p> <p>If outside Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan:</p> <p>For up to 5 units: 1 car space per dwelling unit, plus 1 space for visitors and 1 service/staff spaces.</p>	1 space per 10 rooms	n/a	SRV



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	<p>For 5 – 10 units: 1 car space per dwelling unit, plus 2 spaces for visitors and 1 service/staff spaces.</p> <p>For over 10 units: 0.75 car spaces per dwelling unit, plus 3 spaces for visitors and 2 service/staff parking for the first 10 units and 0.5 additional service/staff space per 10 units, there-above.</p> <p>In all cases 60% of the car parking area is to be covered.</p> <p>Note: Where Short term accommodation is to be interchangeable with a Multiple dwelling land use, multiple dwelling parking rates apply.</p>			
Showroom	1 space per 50m <sup>2</sup> GFA.	1 space per 200m <sup>2</sup> GFA.	n/a	AV
Special industry	1 space per 90m <sup>2</sup> of GFA.	n/a	n/a	AV





201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Tourist park	1 car space per caravan site, tent site or cabin; plus 1 visitor car space per 10 caravan sites, tent sites or cabins; plus 1 car space for an on-site manager.	n/a	n/a	LRV
Theatre	Indoor: 1 space per 15m <sup>2</sup> of GFA. Outdoor cinema: 1 space per 5m <sup>2</sup> of designated viewing area, plus 1 car space per 2 employees.	1 space per 200m <sup>2</sup> GFA.	n/a	VAN
Veterinary services	1 space per 50m <sup>2</sup> of GFA.	n/a	n/a	VAN
Warehouse	1 space per 90m <sup>2</sup> of GFA.	n/a	n/a	Where self-storage: RCV Other: AV
Any use not otherwise specified in this table.	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time.	Sufficient spaces to accommodate number		To be determined



201905420192579 – 30 Silky Oak Road, Caw Bay

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
		of vehicles likely to be parked at any one time.		

**Table 9.4.1.3.b – Design vehicles**

<b>VAN</b>	A 99.8th percentile vehicle equivalent to a large car.
<b>SRV</b>	Small rigid vehicle as in AS2890.2-2002 parking facilities – Off-street commercial vehicle facilities but incorporating a body width of 2.33m
<b>MRV</b>	Medium rigid vehicle equivalent to an 8-tonne truck.
<b>LRV</b>	Large rigid vehicle described by AS2890.2-2002 parking facilities – Off-street commercial vehicle facilities as heavy rigid vehicle.
<b>RCV</b>	Industrial refuse collection vehicle



201905420192579 – 30 Silky Oak Road, Caw Bay

<b>AV</b>	19 metre articulated vehicle from AUSTRROADS
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**Table 9.4.3.1.c – Standard number of service bays required for Food and drink outlet, Shop or Shopping centre**

Gross floor area (m <sup>2</sup> )	Service bays required			
	VAN	SRV	MRV	LRV
0-199	-	1	-	-
200 – 599	1	-	1	-
600 – 999	1	1	1	-
1000 – 1499	2	1	1	-
1500 – 1999	2	2	1	-
2000 – 2799	2	2	2	-
2800 – 3599	2	2	2	1



201905420192579 – 30 Silky Oak Road, Caw Bay

3600 and over	To be determined via a parking study.
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**Table 9.4.3.1.d – Standard number of service bays required for Office**

Gross floor area (m <sup>2</sup> )	Service bays required			
	VAN	SRV	MRV	LRV
0-999	-	1	-	-
1000 – 2499	1	-	1	-
2500 – 3999	2	1	1	-
4000 – 5999	3	1	1	-
6000 – 7999	4	1	1	-
8000 – 9999	4	2	1	-
10000 and over	To be determined via a parking study.			



20192579 – 30 Silky Oak Road, Cow Bay

#### **9.4.4 Filling and excavation code**

##### **9.4.4.1 Application**

- (1) This code applies to assessing:
  - (a) operational work for filling or excavation which is self-assessable or code assessable development if this code is an applicable code identified in the assessment criteria column of a table of assessment; or
  - (b) a material change of use or reconfiguring a lot if:
    - (i) assessable development where this code is identified as a prescribed secondary code in the assessment criteria column of a table of assessment; or
    - (ii) impact assessable development, to the extent relevant.

Note—This code does not apply to building work that is regulated under the Building Code of Australia.

- (2) When using this code, reference should be made to Part 5.

##### **9.4.4.2 Purpose**

- (1) The purpose of the Filling and excavation code is to assess the suitability of development for filling or excavation.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) filling or excavation does not impact on the character or amenity of the site and surrounding areas;
  - (b) filling and excavation does not adversely impact on the environment;
  - (c) filling and excavation does not impact on water quality or drainage of upstream, downstream or adjoining properties;
  - (d) filling and excavation is designed to be fit for purpose and does not create land stability issues;



20192579 – 30 Silky Oak Road, Cow Bay

(e) filling and excavation works do not involve complex engineering solutions.

### 9.4.4.3 Criteria for assessment

**Table Error! No text of specified style in document..a – Filling and excavation code – for self-assessable and assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Filling and excavation - General</b>		
<p><b>PO1</b></p> <p>All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.</p>	<p><b>AO1.1</b></p> <p>The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height.</p> <p>and</p> <p>Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>
	<p><b>AO1.2</b></p>	<p><b>Not Applicable</b></p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation.	No excavation or fill would be undertaken as part of the development.
	<p><b>AO1.3</b></p> <p>Cuts are screened from view by the siting of the building/structure, wherever possible.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>
	<p><b>AO1.4</b></p> <p>Topsoil from the site is retained from cuttings and reused on benches/terraces.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>
	<p><b>AO1.5</b></p> <p>No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO1.6</b></p> <p>Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>
<b>Visual Impact and Site Stability</b>		
<p><b>PO2</b></p> <p>Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.</p>	<p><b>AO2.1</b></p> <p>The extent of filling and excavation does not exceed 40% of the site area, or 500m<sup>2</sup> whichever is the lesser, except that AO2.1 does not apply to reconfiguration of 5 lots or more.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>
	<p><b>AO2.2</b></p> <p>Filling and excavation does not occur within 2 metres of the site boundary.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>





20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<b>Flooding and drainage</b>		
<p><b>PO3</b></p> <p>Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves.</p>	<p><b>AO3.1</b></p> <p>Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>
	<p><b>AO3.2</b></p> <p>Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>
	<p><b>AO3.3</b></p> <p>Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths.</p>	<p><b>Not Applicable</b></p> <p>No excavation or fill would be undertaken as part of the development.</p>
	<p><b>AO3.4</b></p>	<p><b>Not Applicable</b></p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	No excavation or fill would be undertaken as part of the development.
<b>Water quality</b>		
<b>PO4</b> Filling and excavation does not result in a reduction of the water quality of receiving waters.	<b>A04</b> Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	<b>Not Applicable</b> No excavation or fill would be undertaken as part of the development.
<b>Infrastructure</b>		
<b>PO5</b> Excavation and filling does not impact on Public Utilities.	<b>A05</b> Excavation and filling is clear of the zone of influence of public utilities.	<b>Not Applicable</b> No excavation or fill would be undertaken as part of the development.



20192579 – 30 Silky Oak Road, Cow Bay

#### **9.4.5 Infrastructure works code**

##### **9.4.5.1 Application**

- (1) This code applies to assessing:
  - (a) operational work which requires an assessment as a condition of a development permit or is assessable development if this code is identified in the assessment criteria column of a table of assessment;
  - (b) a material change of use or reconfiguring a lot if:
    - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.

Note – The Filling and excavation code applies to operational work for filling and excavation.

- (2) When using this code, reference should be made to Part 5.

##### **9.4.5.2 Purpose**

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by, and connected to, infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
  - (b) development maintains high environmental standards;
  - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;



20192579 – 30 Silky Oak Road, Cow Bay

- (d) the integrity of existing infrastructure is maintained;
- (e) development does not detract from environmental values or the desired character and amenity of an area.

### 9.4.5.3 Criteria for assessment

**Table Error! No text of specified style in document..a – Filling and excavation code –assessable development**

Performance outcomes		Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>			
<b>Works on a local government road</b>			
<b>PO1</b> Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.	<b>AO1.1</b> Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	<b>Not applicable</b> No works are proposed on a public road.	
	<b>AO1.2</b> Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 –	<b>Not applicable</b> No works are proposed on a public road.	



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	FNQROC Regional Development Manual.	
	<p><b>AO1.3</b></p> <p>New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths:</p> <p>(a) are installed via trenchless methods; or</p> <p>(b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section.</p>	<p><b>Not applicable</b></p> <p>No works are proposed on a public road.</p>
	<p><b>AO1.4</b></p> <p>Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring:</p> <p>(a) similar surface finishes are used;</p> <p>(b) there is no change in level at joins of new</p>	<p><b>Not applicable</b></p> <p>No works are proposed on a public road.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>and existing sections;</p> <p>(c) new sections are matched to existing in terms of dimension and reinforcement.</p> <p>Note – <b>Error! Reference source not found.</b> provides guidance on meeting the outcomes.</p>	
	<p><b>AO1.5</b></p> <p>Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>	<p><b>Not applicable</b></p> <p>No works are proposed on a public road.</p>
<b>Accessibility structures</b>		
<p><b>PO2</b></p> <p>Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient</p>	<p><b>AO2.1</b></p> <p>Accessibility structures are not located within the road reserve.</p>	<p><b>Not applicable</b></p> <p>No accessibility structures are proposed.</p>
	<p><b>AO2.2</b></p>	<p><b>Not applicable</b></p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p>Accessibility structures are designed in accordance with AS1428.3.</p>	<p>No accessibility structures are proposed.</p>
	<p><b>AO2.3</b></p> <p>When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	<p><b>Not applicable</b></p> <p>No accessibility structures are proposed.</p>
<p><b>Water supply</b></p>		
<p><b>PO3</b></p> <p>An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p><b>AO3.1</b></p> <p>The premises is connected to Council’s reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p>	<p><b>Complies with AO3.1</b></p> <p>The proposed development is an extension to an existing approved dwelling house that has an existing water supply.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO3.2</b></p> <p>Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	
<p><b>Treatment and disposal of effluent</b></p>		
<p><b>PO4</b></p> <p>Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as</p>	<p><b>AO4.1</b></p> <p>The site is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in</p>	<p><b>Complies with AO4.1</b></p> <p>The proposed development is an extension to an existing approved dwelling house that has an existing on-site effluent disposal system.</p>





20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>a result of increasing the cumulative effect of systems in the locality.</p>	<p>Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p><b>AO4.2</b></p> <p>Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i>.</p>	
<p><b>Stormwater quality</b></p>		
<p><b>PO5</b></p> <p>Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and</p>	<p><b>AO5.1</b></p> <p>A connection is provided from the premises to Council’s drainage system;</p> <p>or</p>	<p><b>Complies with AO5.1</b></p> <p>The proposed development is an extension to an existing approved dwelling house that has an existing stormwater drainage system.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>developed catchments by:</p> <ul style="list-style-type: none"> <li>(a) achieving stormwater quality objectives;</li> <li>(b) protecting water environmental values;</li> <li>(c) maintaining waterway hydrology.</li> </ul>	<p><b>AO5.2</b></p> <p>An underground drainage system is constructed to convey stormwater from the premises to Council's drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	
	<p><b>AO5.3</b></p> <p>A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in <b>Error! Reference source not found.</b> and <b>Error! Reference source not found.</b>, reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> <li>(a) erosive, dispersive and/or saline soil types;</li> <li>(b) landscape features (including landform);</li> <li>(c) acid sulfate soil and management of nutrients of concern;</li> </ul>	<p><b>Complies with AO5.3</b></p> <p>The proposed development is an extension to an existing approved dwelling house that has an existing stormwater drainage system.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	(d) rainfall erosivity.	
	<p><b>AO5.4</b></p> <p>Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan.</p>	<p><b>Complies with AO5.1</b></p> <p>The proposed development is an extension to an existing approved dwelling house that has an existing stormwater drainage system.</p>
	<p><b>AO5.5</b></p> <p>Development incorporates stormwater flow control measures to achieve the design objectives set out in <b>Error! Reference source not found.</b> and <b>Error! Reference source not found.</b>, including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act</i></p>	<p><b>Complies with AO5.5</b></p> <p>The proposed development is an extension to an existing approved dwelling house that has an existing stormwater drainage system.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>1994.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	
<b>Non-tidal artificial waterways</b>		
<p><b>PO6</b></p> <p>Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <p>(a) protect water environmental values;</p> <p>(b) be compatible with the land use constraints for the site for protecting water environmental values;</p> <p>(c) be compatible with existing tidal and non-tidal waterways;</p>	<p><b>AO6.1</b></p> <p>Development involving non-tidal artificial waterways ensures:</p> <p>(a) environmental values in downstream waterways are protected;</p> <p>(b) any ground water recharge areas are not affected;</p> <p>(c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway;</p>	<p><b>Not applicable</b></p> <p>The proposed development does not involve non-tidal artificial waterways.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
(d) perform a function in addition to stormwater management;  (e) achieve water quality objectives.	(d) existing areas of ponded water are included.	
	<b>AO6.2</b> Non-tidal artificial waterways are located: (a) outside natural wetlands and any associated buffer areas; (b) to minimise disturbing soils or sediments; (c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.	<b>Not applicable</b>  The proposed development does not involve non-tidal artificial waterways.
	<b>AO6.3</b> Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures: (a) there is sufficient flushing or a tidal range of >0.3 m; or (b) any tidal flow alteration does not adversely	<b>Not applicable</b>  The proposed development does not involve non-tidal artificial waterways.



Performance outcomes	Acceptable outcomes	Compliance
	<p>impact on the tidal waterway; or</p> <p>(c) there is no introduction of salt water into freshwater environments.</p>	
	<p><b>AO6.4</b></p> <p>Non-tidal artificial waterways are designed and managed for any of the following end-use purposes:</p> <p>(a) amenity (including aesthetics), landscaping or recreation; or</p> <p>(b) flood management, in accordance with a drainage catchment management plan; or</p> <p>(c) stormwater harvesting plan as part of an integrated water cycle management plan; or</p> <p>(d) aquatic habitat.</p>	<p><b>Not applicable</b></p> <p>The proposed development does not involve non-tidal artificial waterways.</p>
	<p><b>AO6.5</b></p> <p>The end-use purpose of the non-tidal artificial</p>	<p><b>Not applicable</b></p> <p>The proposed development does not involve non-</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>waterway is designed and operated in a way that protects water environmental values.</p>	<p>tidal artificial waterways.</p>
	<p><b>AO6.6</b></p> <p>Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.</p>	<p><b>Not applicable</b></p> <p>The proposed development does not involve non-tidal artificial waterways.</p>
	<p><b>AO6.7</b></p> <p>Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.</p>	<p><b>Not applicable</b></p> <p>The proposed development does not involve non-tidal artificial waterways.</p>
<p><b>Wastewater discharge</b></p>		
<p><b>PO7</b></p> <p>Discharge of wastewater to waterways, or off site: (a) meets best practice environmental</p>	<p><b>AO7.1</b></p> <p>A wastewater management plan is prepared and addresses:</p>	<p><b>Not applicable</b></p> <p>The proposed development would not involve the discharge of wastewater to waterways or off-site.</p>



Performance outcomes	Acceptable outcomes	Compliance
<p>management;</p> <p>(b) is treated to:</p> <p>(i) meet water quality objectives for its receiving waters;</p> <p>(ii) avoid adverse impact on ecosystem health or waterway health;</p>	<p>(a) wastewater type;</p> <p>(b) climatic conditions;</p> <p>(c) water quality objectives;</p> <p>(d) best practice environmental management.</p>	
<p>(iii) maintain ecological processes, riparian vegetation and waterway integrity;</p> <p>(iv) offset impacts on high ecological value waters.</p>	<p><b>A07.2</b></p> <p>The waste water management plan is managed in accordance with a waste management hierarchy that:</p> <p>(a) avoids wastewater discharge to waterways; or</p> <p>(b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and ground water.</p>	<p><b>Not applicable</b></p> <p>The proposed development would not involve the discharge of wastewater to waterways or off-site</p>
	<p><b>A07.3</b></p> <p>Wastewater discharge is managed to avoid or</p>	<p><b>Not applicable</b></p> <p>The proposed development would not involve the</p>





20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.</p>	<p>discharge of wastewater to waterways or off-site</p>
	<p><b>AO7.4</b></p> <p>Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <p>(a) avoids lowering ground water levels where potential or actual acid sulfate soils are present;</p> <p>(b) manages wastewater so that:</p> <p>(i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals;</p> <p>(ii) holding times of neutralised wastewater ensures the flocculation and removal of</p>	<p><b>Not applicable</b></p> <p>The proposed development would not involve the discharge of wastewater to waterways or off-site</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>any dissolved iron prior to release;</p> <p>(iii) visible iron floc is not present in any discharge;</p> <p>(iv) precipitated iron floc is contained and disposed of;</p> <p>(v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method.</p>	
<b>Electricity supply</b>		
<p><b>PO8</b></p> <p>Development is provided with a source of power that will meet its energy needs.</p>	<p><b>AO8.1</b></p> <p>A connection is provided from the premises to the electricity distribution network;</p> <p>or</p> <p><b>AO8.2</b></p> <p>The premises is connected to the electricity</p>	<p><b>Complies with PO8</b></p> <p>The proposal is for an extension to an existing dwelling house that is provided with a source of power that meets its energy needs.</p>



Performance outcomes	Acceptable outcomes	Compliance
	<p>distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Areas north of the Daintree River have a different standard.</p>	
<p><b>PO9</b></p> <p>Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p><b>AO9.1</b></p> <p>Pad-mount electricity infrastructure is:</p> <ul style="list-style-type: none"> <li>(a) not located in land for open space or sport and recreation purposes;</li> <li>(b) screened from view by landscaping or fencing;</li> <li>(c) accessible for maintenance.</li> </ul>	<p><b>Not applicable</b></p> <p>No pad-mount electricity infrastructure is proposed.</p>
	<p><b>AO9.2</b></p> <p>Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage.</p>	<p><b>Not applicable</b></p> <p>No pad-mount electricity infrastructure is proposed.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.	
<b>Telecommunications</b>		
<b>PO10</b> Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.	<b>AO10</b> The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.	<b>Complies with AO10</b> The proposed development is for an extension to an existing dwelling house.
<b>PO11</b> Provision is made for future telecommunications services (e.g. fibre optic cable).	<b>AO11</b> Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	<b>Complies with AO11</b> The proposed development is for an extension to an existing dwelling house
<b>Road construction</b>		
<b>PO12</b>	<b>AO12.1</b>	<b>Complies with AO12.1</b>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>The road to the frontage of the premises is constructed to provide for the safe and efficient movement of:</p> <ul style="list-style-type: none"> <li>(a) pedestrians and cyclists to and from the site;</li> <li>(b) pedestrians and cyclists adjacent to the site;</li> <li>(c) vehicles on the road adjacent to the site;</li> <li>(d) vehicles to and from the site;</li> <li>(e) emergency vehicles.</li> </ul>	<p>The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.</p>	<p>The proposal is for an extension to an existing dwelling house that has frontage to a constructed and council maintained road.</p>
	<p><b>AO12.2</b></p> <p>There is existing road, kerb and channel for the full road frontage of the site.</p>	<p><b>Not applicable</b></p> <p>The standard of road construction does not require kerb and channel.</p>
	<p><b>AO12.3</b></p> <p>Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.</p>	<p><b>Complies with AO12.3</b></p> <p>The proposal is for an extension to an existing dwelling house that has frontage to a constructed and council maintained road.</p>
<p><b>Alterations and repairs to public utility services</b></p>		
<p><b>PO13</b></p>	<p><b>AO13</b></p>	<p><b>Not applicable</b></p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>Infrastructure is integrated with, and efficiently extends, existing networks.</p>	<p>Development is designed to allow for efficient connection to existing infrastructure networks.</p>	<p>No alterations or repairs to utility services would be required as part of the development.</p>
<p><b>PO14</b></p> <p>Development and works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p><b>AO14.1</b></p> <p>Public utility mains, services and installations are not required to be altered or repaired as a result of the development;</p> <p>or</p> <p><b>AO14.2</b></p> <p>Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p><b>Not applicable</b></p> <p>No alterations or repairs to utility services would be required as part of the development.</p>
<p><b>Construction management</b></p>		



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO15</b></p> <p>Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.</p>	<p><b>AO15</b></p> <p>Works include, at a minimum:</p> <ul style="list-style-type: none"> <li>(a) installation of protective fencing around retained vegetation during construction;</li> <li>(b) erection of advisory signage;</li> <li>(c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation;</li> <li>(d) removal from the site of all declared noxious weeds.</li> </ul>	<p><b>Not applicable</b></p> <p>No vegetation would be required to be removed or protected as part of the proposed development.</p>
<p><b>PO16</b></p> <p>Existing infrastructure is not damaged by construction activities.</p>	<p><b>AO16</b></p> <p>Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p><b>Not applicable</b></p> <p>No infrastructure would be damaged by construction activities.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.</p>	
<b>For assessable development</b>		
<b>High speed telecommunication infrastructure</b>		
<p><b>PO17</b> Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.</p>	<p><b>AO17</b> No acceptable outcomes are prescribed.</p>	<p><b>Not applicable</b> There is no proposal to roll out high speed telecommunications infrastructure in the locality containing the site.</p>
<b>Trade waste</b>		
<p><b>PO18</b> Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that:</p>	<p><b>AO18</b> No acceptable outcomes are prescribed.</p>	<p><b>Not applicable</b> No trade waste would be produced by the proposed development.</p>





20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
<p>(a) off-site releases of contaminants do not occur;</p> <p>(b) the health and safety of people and the environment are protected;</p> <p>(c) the performance of the wastewater system is not put at risk.</p>		
<p><b>Fire services in developments accessed by common private title</b></p>		
<p><b>PO19</b></p> <p>Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p><b>AO19.1</b></p> <p>Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve common private title.</p>
	<p><b>AO19.2</b></p> <p>Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve common private title.</p>



20192579 – 30 Silky Oak Road, Cow Bay

Performance outcomes	Acceptable outcomes	Compliance
	<p>warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.</p>	
<p><b>PO20</b></p> <p>Hydrants are suitable identified so that fire services can locate them at all hours.</p> <p>Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: ‘Identification of street hydrants for fire fighting purposes’ available under ‘Publications’.</p>	<p><b>AO20</b></p> <p>No acceptable outcomes are prescribed.</p>	<p><b>Not applicable</b></p> <p>The proposal does not involve common private title.</p>



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