

# Building Works Made Assessable Against the Douglas Shire Planning Scheme 2018 (Code Assessable Development Application)

Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605

Dear Assessment Manager,

Please refer to *Attachment 1 DA Form 1& 2* by Mr Mark Zippel for a Building Works Made Assessable against the Douglas Shire Council Planning Scheme 2018 (Code Assessable Development Application) to re-establish a dwelling at 57 Banabilla Rd, DEGARRA.

It is understood that the dwelling use rights commenced on this property under the 1981 Planning Scheme.

## BACKGROUND

In December 2023, Mr Zippel's home was significantly damaged by ex-Tropical Cyclone Jasper with full or partial demolition recommended by structural engineers.

In October 2024, JBP completed the Degarra Flood Study which confirmed Mr Zippel has land outside the Q100 flood mapping, suitable for a house pad with flat terrain and existing vehicular access and parking.

## DEVELOPMENT ASSESSMENT

### State Interest Referrals

There are no State Interest referrals required in accordance with the Planning Act 2016. Refer to *Attachment 2 State Assessment and Referral Agency (SARA) Matters of Interest Report*.

### Douglas Shire Council 2018 Planning Scheme

This Building Works Made Assessable Against the Douglas Shire Planning Scheme 2018 is a Code Assessable Development Application in the Environmental Management Zone. Refer *Attachment 3 Property Report* and *Attachment 4 Douglas Shire Council Planning Scheme 2018 Compliance Tables & Table of Assessment*.

There were no major issues identified with compliance with the Douglas Shire Planning Scheme. Where Acceptable Outcomes could not be met, compliance with Performance Objectives related to matters such as the utilisation of existing cleared for housing and existing vehicular access areas, use of existing infrastructure such as existing water tanks on-site and the need to source small, affordable housing options to save rebuild and recovery costs.

A summary of key planning compliance matters is provided overleaf and the following attachments are provided.

## ATTACHMENTS

1. DA Form 1 & 2
2. State Assessment and Referral Agency (SARA) Matters of Interest Report
3. Douglas Shire Council Property Report
4. Douglas Shire Council Planning Scheme 2018 Compliance Tables & Table of Assessment
  - a. Environmental management zone code
  - b. Acid sulfate soils overlay code
  - c. Bushfire hazard overlay code
  - d. ~~Coastal environmental overlay code~~
  - e. Flood and storm tide hazard overlay code
  - f. Landscape values overlay code
  - g. Natural areas overlay code
  - h. Transport network overlay code
  - i. ~~Access, parking and servicing code~~
  - j. ~~Filling and excavation code~~
  - k. Infrastructure works code

# Building Works Made Assessable Against the Douglas Shire Planning Scheme 2018 (Code Assessable Development Application)

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## I. Dwelling house code

5. Site Plan
6. Council approved Wastewater Design & Permit
7. Proposed dwelling 1 bedroom layout and elevation
8. Fire Management Plan

SUMMARY OF KEY PLANNING MATTERS	Image
<p><b>Site description</b></p> <p><b>Existing cleared area</b> The proposed dwelling will be located in an existing cleared area over 360sqm approximately 40m from Banabilla Rd frontage and 15m from the nearest side boundary. The existing cleared area currently contains a carport damaged from ex TC Jasper and a temporary caravan.</p> <p><b>Car parking and manoeuvring</b> The existing cleared area is accessed by a well-formed driveway connection to Banabilla Rd with sufficient car parking and manoeuvring area.</p> <p><b>Slope</b> The existing cleared area is flat with a very low gradient (approximately 0.08% from Banabilla Rd to the cleared site).</p> <p><b>Proposed dwelling location</b> The proposed dwelling will be sited in place of the temporary caravan on-site, shown in photo and on current aerial as a white caravan with awning.</p> <p>Refer to <i>Attachment 5 Site Plan</i>.</p>	 
<p><b>Existing vehicle access &amp; driveway from Banabilla Rd</b></p> <p>The proposed dwelling benefits from existing vehicular access from Banabilla Rd.</p> <p>The existing driveway is flat and direct to the proposed dwelling and of sufficient horizontal and vertical clearance.</p>	

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## Vegetation & Natural Areas Overlay

The existing cleared area is currently mapped in State Mapping (Category B regulated vegetation) as an existing cleared area. No further clearing is proposed as part of this application.

The balance of the site will remain intact, supporting the preservation intent of the Environmental Management zone.



## Hazards

### Flood and Storm Tide

Proposed dwelling located outside the Q100 flood mapping as determined by a suitably qualified professional in the Degarra Flood Study providing more direct vehicular and pedestrian access to Banabilla Rd for evacuation.

### Bushfire

Medium bushfire hazard. A Bushfire Attack Level (BAL) assessment of 12.5 will inform final Building Works approval. See *Attachment 8 Fire Management Plan*.

### Coastal Management District / Erosion Prone Area

Not applicable.

### Acid Sulfate Soils

Not applicable.

### Hillslopes Overlay, Potential Landslide Hazard Overlay

Not applicable.



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## Waterways and Wastewater

There is a minor waterway traversing the far corner of the site, with no impact on the proposed dwelling location.

The proposed wastewater design solution will be an in-ground septic tank to collect greywater and wastewater with sufficient distance from the minor waterway.

*Attachment 6 Council approved Wastewater Design & Permit*



## Dwelling design & Landscape values

The final dwelling design will utilise a non-reflective colour palette featuring natural colours and timber materials to be consistent with the intent of the Environmental Management Zone and High Landscape Values overlay.

Refer to *Attachment 7 Proposed dwelling 1 bedroom layout and elevation*

# Attachment 1

DA Form 1 & 2

Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605

# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

### 1) Applicant details

Applicant name(s) (individual or company full name)	Mark Zippel
Contact name (only applicable for companies)	
Postal address (P.O. Box or street address)	57 Banabilla Rd
Suburb	DEGARRA
State	QLD
Postcode	4895
Country	AUSTRALIA
Contact number	0429 608 132
Email address (non-mandatory)	m_zippel@bigpond.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

#### 1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

### 2) Owner's consent

#### 2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application  
 No – proceed to 3)



## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1 or 3.2), and 3.3 as applicable

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		57	Banabilla Rd	DEGARRA
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4895	4	RP728605	DOUGLAS SHIRE COUNCIL
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
-15.947225625305645	145.34048852805606	<input checked="" type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	DOUGLAS SHIRE COUNCIL

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

#### 3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
 Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Building Works Made Assessable Against the Planning Scheme for a Dwelling

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

**6.4) Is the application for State facilitated development?**

- Yes - Has a notice of declaration been given by the Minister?
- No

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

Material change of use  Yes – complete division 1 if assessable against a local planning instrument

Reconfiguring a lot  Yes – complete division 2

Operational work  Yes – complete division 3

Building work  Yes – complete *DA Form 2 – Building work details*

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m <sup>2</sup> ) <i>(if applicable)</i>

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

Yes

No

**8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?**

Yes – provide details below or include details in a schedule to this development application

No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?**

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**9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)***

Subdivision *(complete 10)*

Dividing land into parts by agreement *(complete 11)*

Boundary realignment *(complete 12)*

Creating or changing an easement giving access to a lot from a constructed road *(complete 13)*



14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

DOUGLAS SHIRE COUNCIL

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

**Matters requiring referral to the local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

**Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:**

- Infrastructure-related referrals – Electricity infrastructure

**Matters requiring referral to:**

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

**Matters requiring referral to the Brisbane City Council:**

- Ports – Brisbane core port land

**Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:**

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

**Matters requiring referral to the relevant port operator, if applicant is not port operator:**

- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)

**Matters requiring referral to the Chief Executive of the relevant port authority:**

- Ports – Land within limits of another port (*below high-water mark*)

**Matters requiring referral to the Gold Coast Waterways Authority:**

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

**Matters requiring referral to the Queensland Fire and Emergency Service:**

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

**18) Has any referral agency provided a referral response for this development application?**

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

## 23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

**Note:** Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.



### Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

**Note:** See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - A certificate of title

No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

### **Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

**Note:** See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.

## **PART 8 – CHECKLIST AND APPLICANT DECLARATION**

### **24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



**25) Applicant declaration**

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY**

Date received:  Reference number(s):

**Notification of engagement of alternative assessment manager**

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

**QLeave notification and payment**

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

# DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (*DA Form 2*) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (*DA Form 2*).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Mark Zippel
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	57 Banabilla Rd
Suburb	DEGARRA
State	QLD
Postcode	4895
Country	AUSTRALIA
Contact number	0429 608 132
Email address (non-mandatory)	m_zippel@bigpond.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

## PART 2 – LOCATION DETAILS

### 2) Location of the premises (complete 2.1 and 2.2 if applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 2.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

Unit No.	Street No.	Street Name and Type	Suburb
	57	BANABILLA RD	DEGARRA
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4895	4	RP728605	DOUGLAS SHIRE COUNCIL

### 2.2) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

### 3) Are there any existing easements over the premises?

**Note:** Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – FURTHER DETAILS

### 4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

### 5) Identify the assessment manager(s) who will be assessing this development application

DOUGLAS SHIRE COUNCIL

### 6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

### 7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

### 8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- Yes – a copy of the receipted QLeave form is attached to this development application
- No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
- No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

## PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the *Referral checklist for building work* is attached to this development application
- No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

## PART 5 – BUILDING WORK DETAILS

14) Owner's details

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	Mark Zippel
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	57 Banabilla Rd
Suburb	DEGARRA
State	QLD

Postcode	4895
Country	AUSTRALIA
Contact number	0429 608 132
Email address <i>(non-mandatory)</i>	m_zippel@bigpond.com
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

### 15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Mark Zippel
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	OB154783
Postal address <i>(P.O. Box or street address)</i>	57 Banabilla Rd
Suburb	DEGARRA
State	QLD
Postcode	4895
Contact number	0429 608 132
Email address <i>(non-mandatory)</i>	m_zippel@bigpond.com
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

### 16) Provide details about the proposed building work

What type of approval is being sought?

- Development permit  
 Preliminary approval

b) What is the level of assessment?

- Code assessment  
 Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> New building or structure                               | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence   |
| <input type="checkbox"/> Demolition   | <input type="checkbox"/> Relocation or removal             |

d) Provide a description of the work below or in an attached schedule.

Building work made assessable against the planning scheme for a 1 bedroom dwelling on footings

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input checked="" type="checkbox"/> Other
Frame	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

--

g) New building use/classification? <i>(if applicable)</i>
h) Relevant plans <b>Note:</b> <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application

<b>17) What is the monetary value of the proposed building work?</b>
\$90,000

<b>18) Has Queensland Home Warranty Scheme Insurance been paid?</b>		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

<b>19) Development application checklist</b>	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <b>Note:</b> <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued ( <i>see 9</i> )	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

<b>20) Applicant declaration</b>
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i>
<b>Note:</b> <i>It is unlawful to intentionally provide false or misleading information.</i>
<b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the DA Rules except where: <ul style="list-style-type: none"> <li>• such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>• required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>• otherwise required by law.</li> </ul> This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .

## PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government			
Confirm proposed construction materials:			
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?		Dwelling	
Site area (m <sup>2</sup> )		Floor area (m <sup>2</sup> )	

# Attachment 2

**State Assessment and Referral Agency (SARA) Matters of Interest Report**

**Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605**

## **Matters of Interest for all selected Lot Plans**

*Coastal management district*

*Coastal area - erosion prone area*

*Coastal area - medium storm tide inundation area*

*Coastal area - high storm tide inundation area*

*Regulated vegetation management map (Category A and B extract)*

## **Matters of Interest by Lot Plan**

### **Lot Plan: 4RP728605 (Area: 12140 m<sup>2</sup>)**

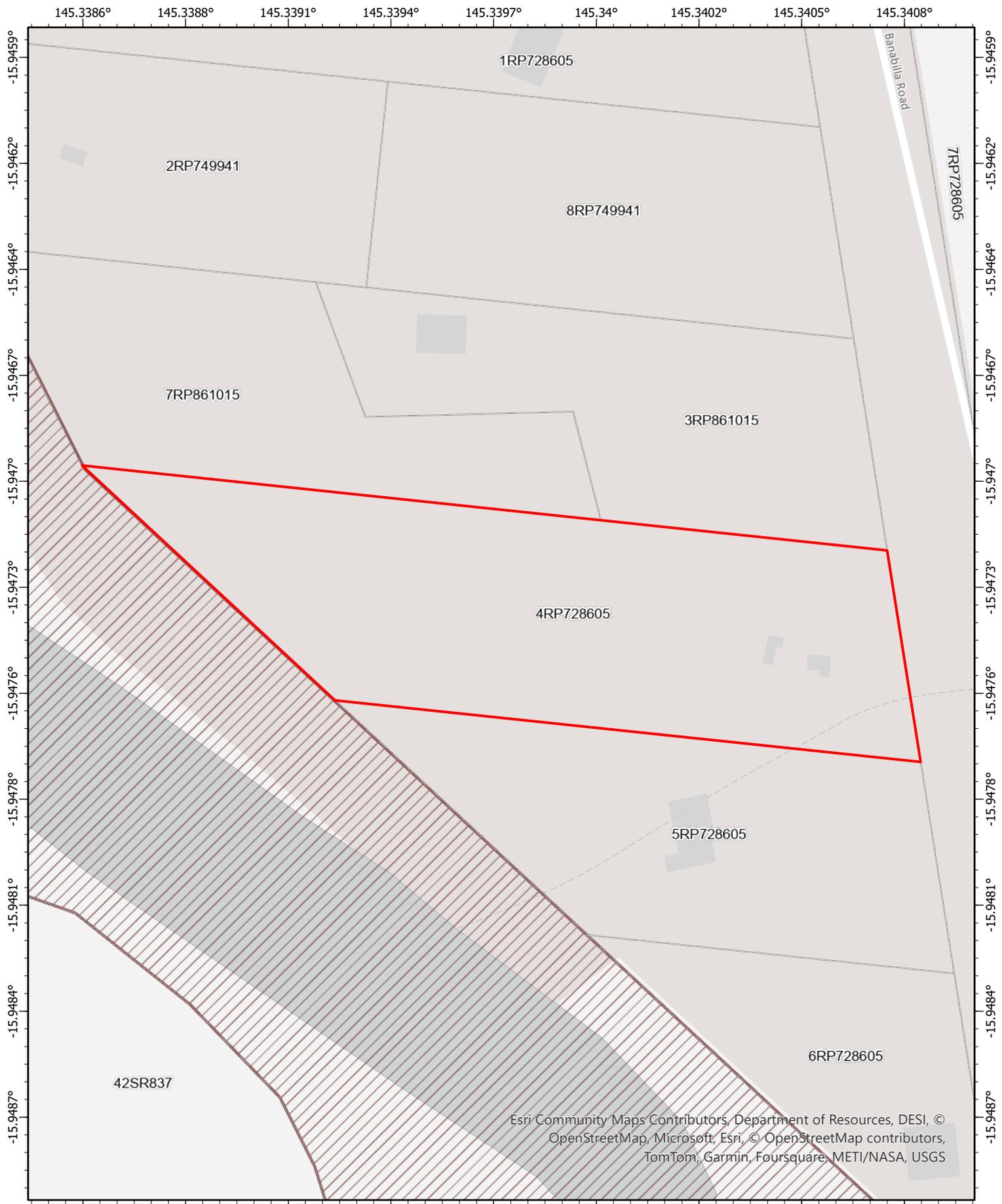
*Coastal management district*

*Coastal area - erosion prone area*

*Coastal area - medium storm tide inundation area*

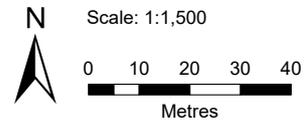
*Coastal area - high storm tide inundation area*

*Regulated vegetation management map (Category A and B extract)*



 Coastal management district

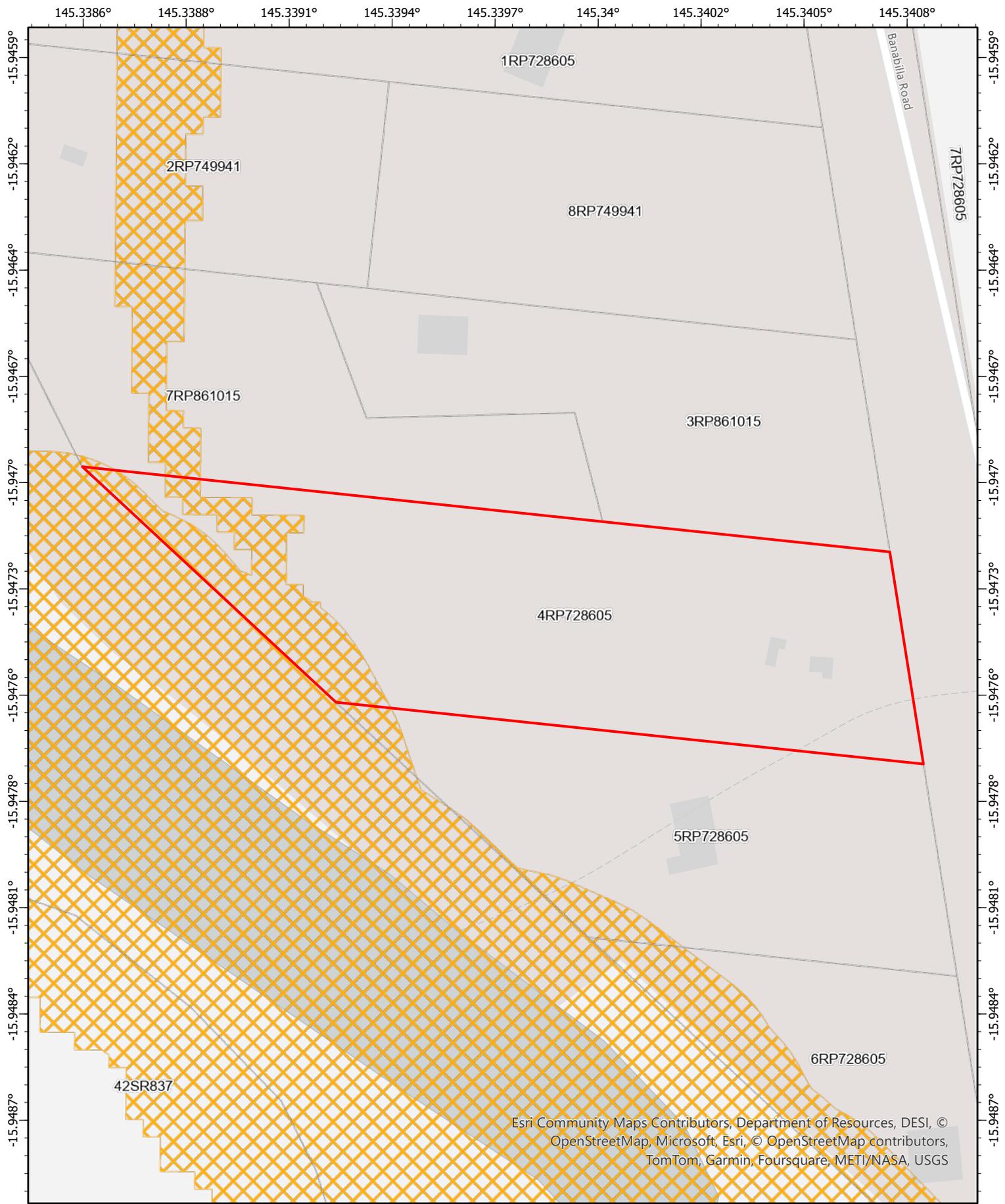
Date: 12/12/2024



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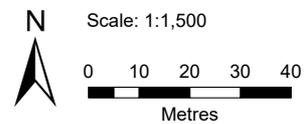
Queensland Government





 Coastal area - erosion prone area

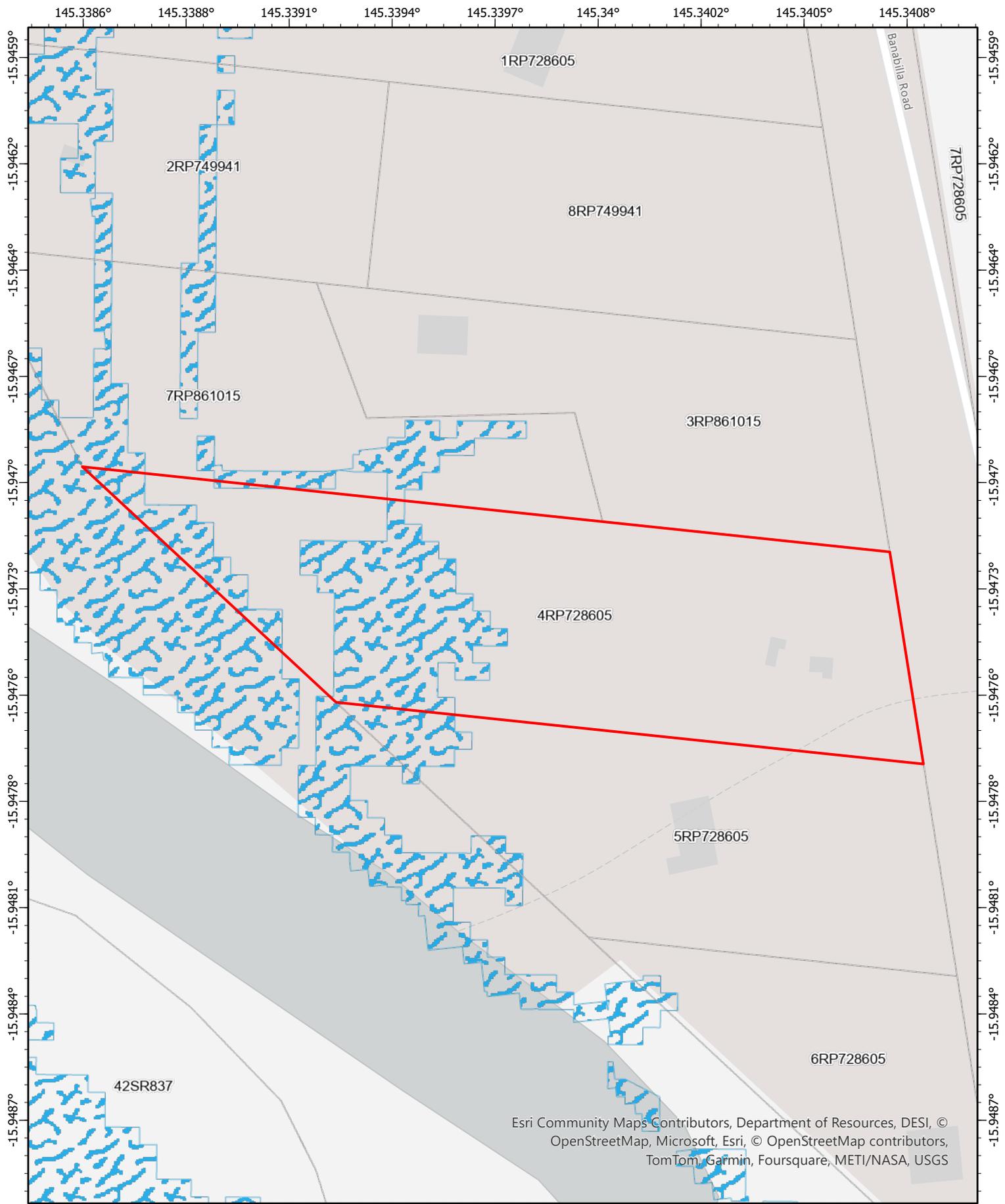
Date: 12/12/2024



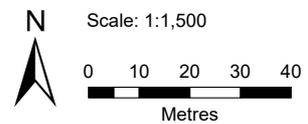
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 Coastal area - medium storm tide inundation area



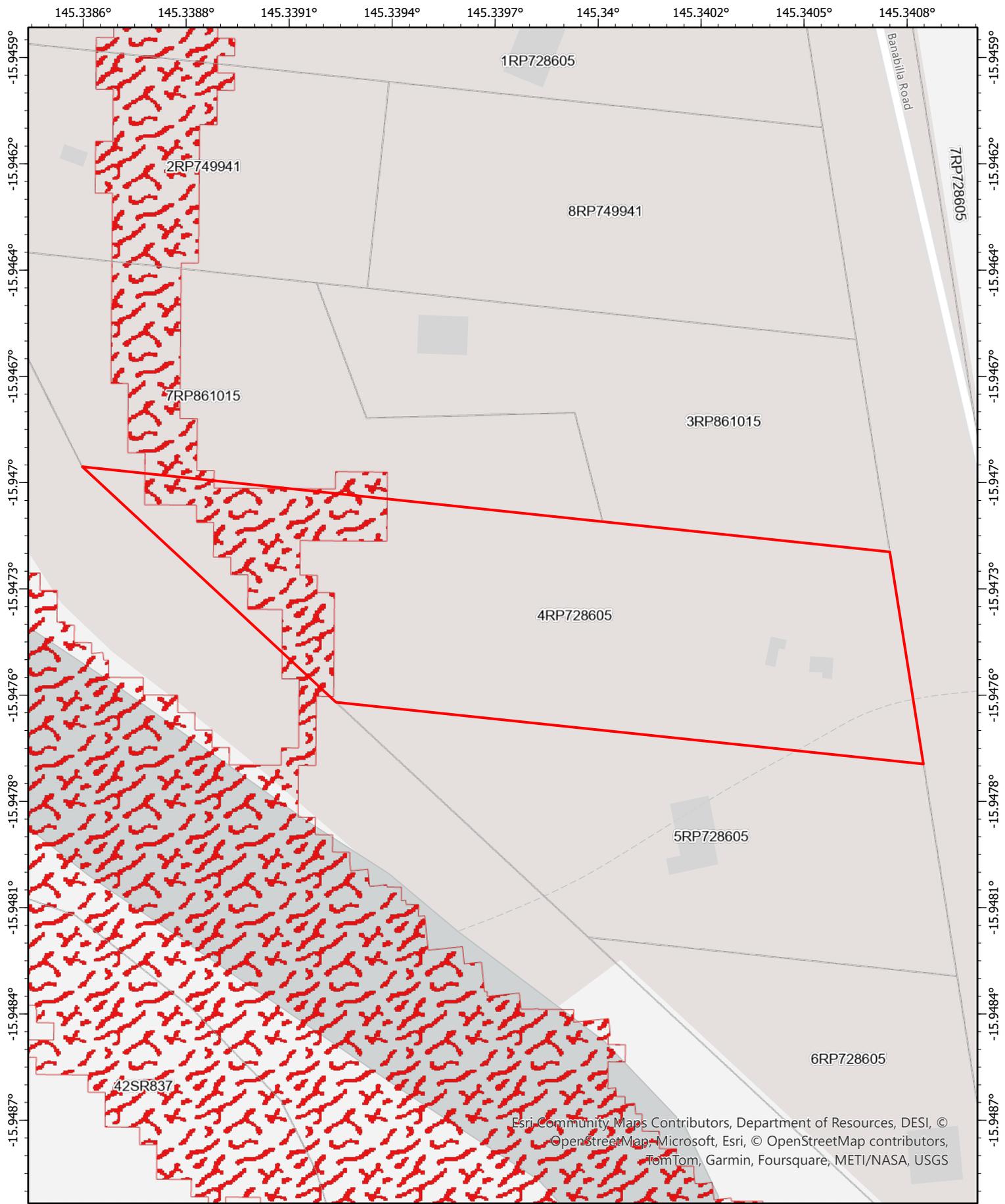
Date: 12/12/2024

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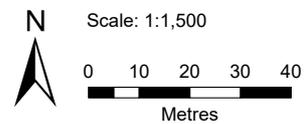


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 Coastal area - high storm tide inundation area

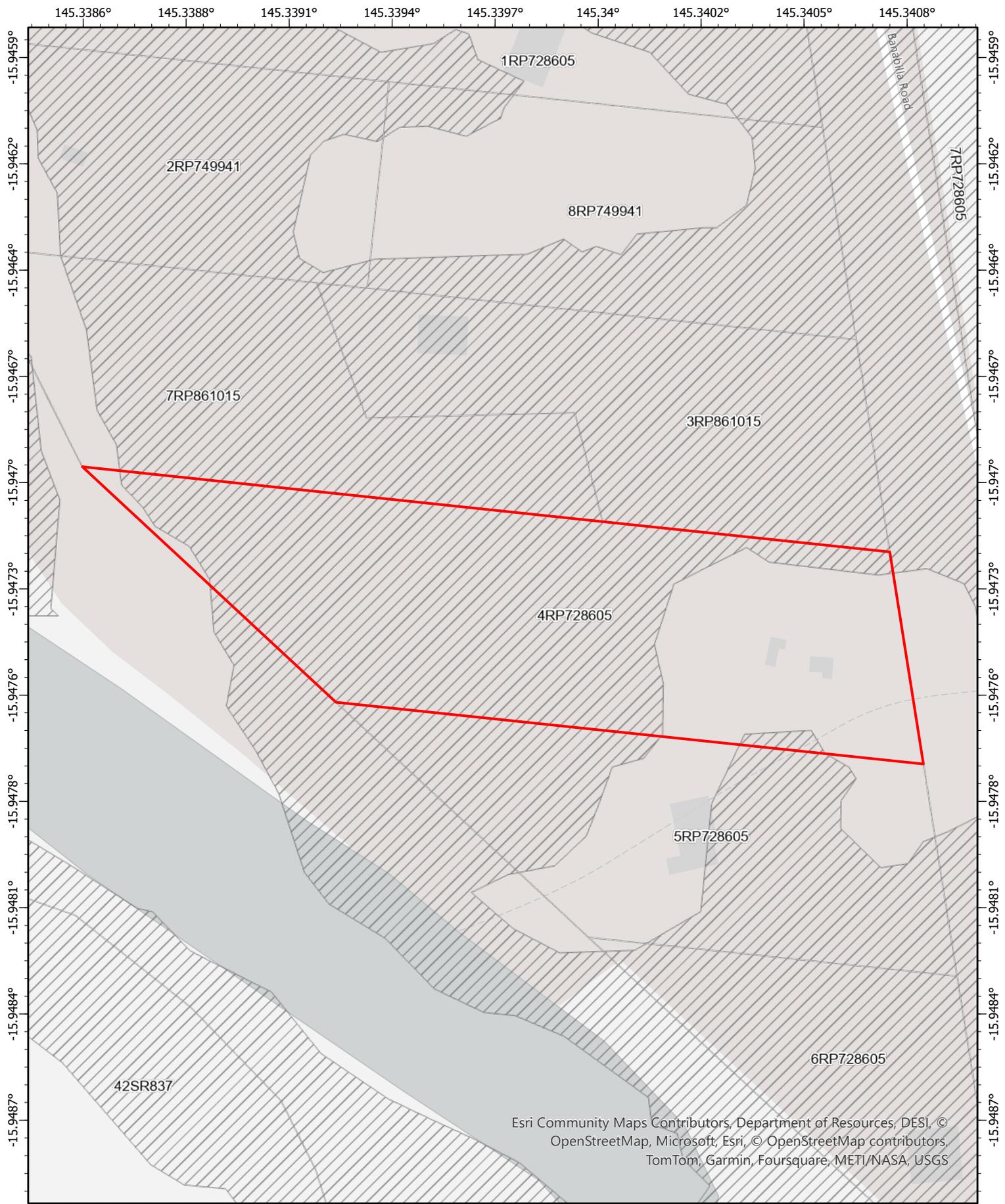
Date: 12/12/2024



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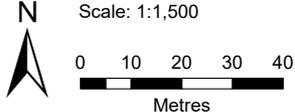




Date: 12/12/2024

Regulated vegetation management map (Category A and B extract)

Category B on the regulated vegetation management map



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# Attachment 3

**Douglas Shire Council Property Report**

**Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605**

# Search for a Property

[Jump to Property Information](#)

Address 57 Banabilla Road DEGARRA

[Summary](#)

[Zoning](#)

[Acid Sulfate Soils](#)

[Bushfire Hazard](#)

[Coastal Processes](#)

[Flood Storm](#)

[Landscape Values](#)

[Natural Areas](#)

[Transport Road Hierarchy](#)

## 2018 Douglas Shire Council Planning Scheme Property Report

The following report has been automatically generated to provide a general indication of development related information applying to the premise.

For more information and to determine if the mapping layers are applicable, refer to the [2018 Douglas Shire Council Planning Scheme](#). This report is not intended to replace the need for carrying out a detailed assessment of Council and State controls or the need to seek your own professional advice on any town planning instrument, local law or other controls that may impact on the existing or intended use of the premise mentioned in this report. For further information please contact Council by phone: [07 4099 9444](tel:0740999444) or [1800 026 318](tel:1800026318) or email [enquiries@douglas.qld.gov.au](mailto:enquiries@douglas.qld.gov.au).

Visit Council's website to apply for an [official property search or certificate](#), or contact the [Department of Natural Resources, Mines and Energy](#) to undertake a title search to ascertain how easements may affect a premise.

### Property Information

Property Address

[57 Banabilla Road DEGARRA](#)

Lot Plan

[4RP728605](#) (Freehold - 12140m<sup>2</sup>)



Selected Property

Easements

Property

## Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

[Jump to Property Information](#)

### Zoning

#### Applicable Zone

Environmental Management

#### More Information

- [View Section 6.2.4 Environmental Management Zone Code](#)
- [View Section 6.2.4 Environmental Management Zone Compliance table](#)
- [View Section 6.2.4 Environmental Management Zone Assessment table](#)

### Acid Sulfate Soils

#### Applicable Precinct or Area

Acid Sulfate Soils (5-20m AHD)

Acid Sulfate Soils (< 5m AHD)

#### More Information

- [View Section 8.2.1 Acid Sulfate Soils Overlay Code](#)
- [View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table](#)

### Bushfire Hazard

#### Applicable Precinct or Area

Medium Potential Bushfire Intensity

#### More Information

- [View Section 8.2.2 Bushfire Hazard Overlay Code](#)
- [View Section 8.2.2 Bushfire Hazard Overlay Compliance table](#)

### Coastal Processes

#### Applicable Precinct or Area

Erosion Prone Area

#### More Information

- [View Section 8.2.3 Coastal Environment Overlay Code](#)
- [View Section 8.2.3 Coastal Environment Overlay Compliance table](#)

### Flood Storm

#### Applicable Precinct or Area

Medium Storm Tide Hazard

High Storm Tide Hazard

Floodplain Assessment Overlay (Daintree River)

#### More Information

- [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Code](#)
- [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Compliance table](#)

### Landscape Values

#### Landscape Values

High landscape values

#### More Information

- [View Section 8.2.6 Landscape Values Overlay Code](#)
- [View Section 8.2.6 Landscape Values Overlay Compliance table](#)

### Natural Areas

#### Applicable Precinct or Area

MSES - Regulated Vegetation

#### More Information

- [View Section 8.2.7 Natural Areas Overlay Code](#)
- [View Section 8.2.7 Natural Areas Overlay Compliance table](#)

### Transport Road Hierarchy

#### Applicable Precinct or Area

Unformed Road

#### More Information

- [View Section 8.2.10 Transport Network Overlay Code](#)
- [View Section 8.2.10 Transport Network Overlay Compliance table](#)

Summary

Zoning

Acid Sulfate Soils

Bushfire Hazard

Coastal Processes

Flood Storm

Landscape Values

Natural Areas

Transport Road Hierarchy

### Zoning

#### Applicable Zone

Environmental Management

#### More Information

- [View Section 6.2.4 Environmental Management Zone Code](#)
- [View Section 6.2.4 Environmental Management Zone Compliance table](#)
- [View Section 6.2.4 Environmental Management Zone Assessment table](#)

[Jump to Property Information](#)

[Summary](#)

[Zoning](#)

[Acid Sulfate Soils](#)

[Bushfire Hazard](#)

[Coastal Processes](#)

[Flood Storm](#)

[Landscape Values](#)

[Natural Areas](#)

[Transport Road Hierarchy](#)



Selected Property

Property

#### Zoning

- |   |   |
|---|---|
| <input type="checkbox"/> Centre                         | <input type="checkbox"/> Community Facilities       |
| <input type="checkbox"/> Conservation                   | <input type="checkbox"/> Environmental Management   |
| <input type="checkbox"/> Industry                       | <input type="checkbox"/> Low Density Residential    |
| <input type="checkbox"/> Low-medium Density Residential | <input type="checkbox"/> Medium Density Residential |
| <input type="checkbox"/> Recreation and Open Space      | <input type="checkbox"/> Rural                      |
| <input type="checkbox"/> Rural Residential              | <input type="checkbox"/> Special Purpose            |
| <input type="checkbox"/> Tourism                        | <input type="checkbox"/> Tourist Accommodation      |

### Acid Sulfate Soils

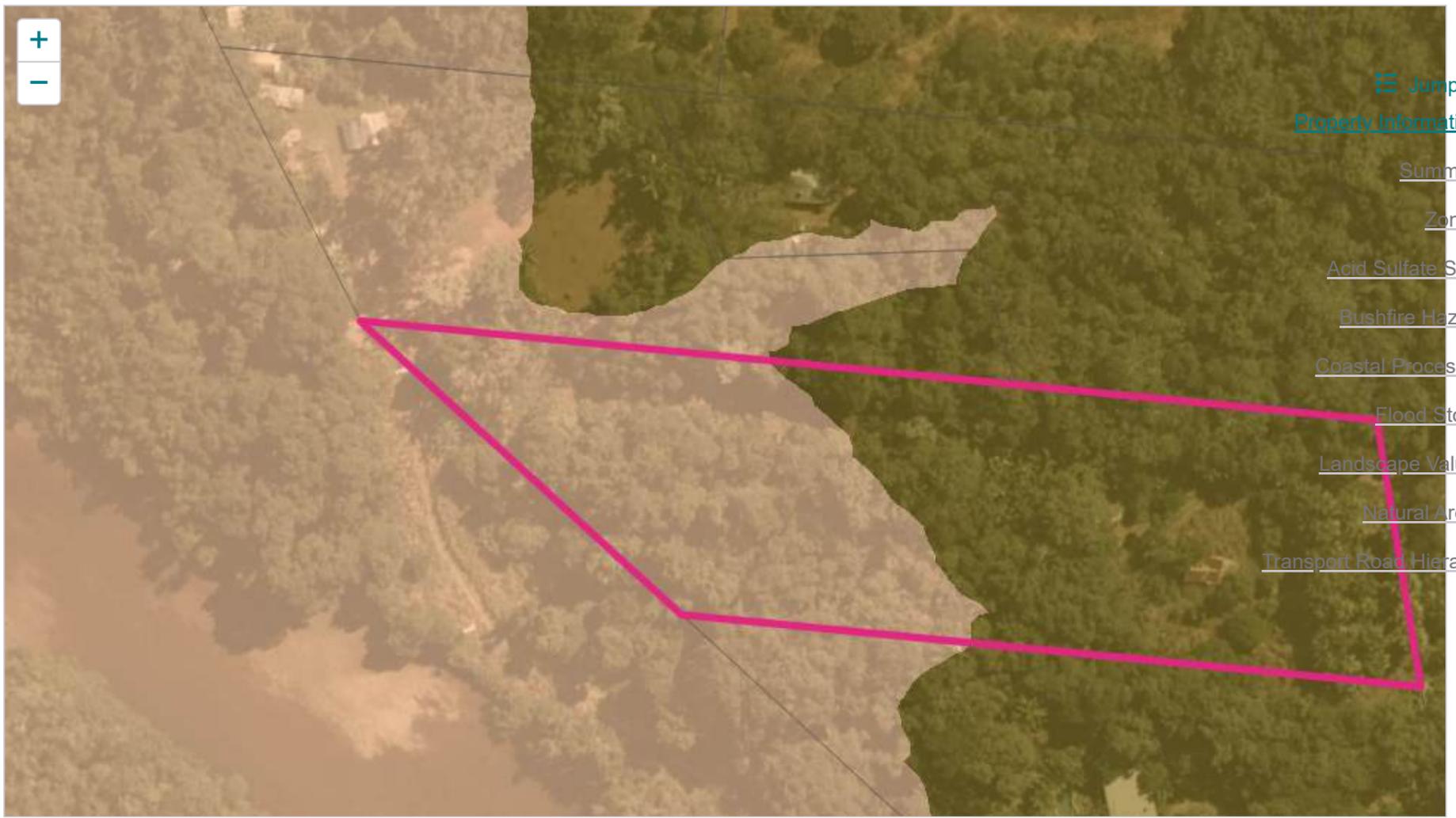
#### Applicable Precinct or Area

Acid Sulfate Soils (5-20m AHD)

Acid Sulfate Soils (< 5m AHD)

#### More Information

- [View Section 8.2.1 Acid Sulfate Soils Overlay Code](#)
- [View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table](#)



<input checked="" type="checkbox"/> Selected Property	<input type="checkbox"/> Property	<b>Acid Sulfate Soils</b>	
		<input checked="" type="checkbox"/> Acid Sulfate Soils (< 5m AHD)	<input checked="" type="checkbox"/> Acid Sulfate Soils (5-20m AHD) <input type="checkbox"/> all others

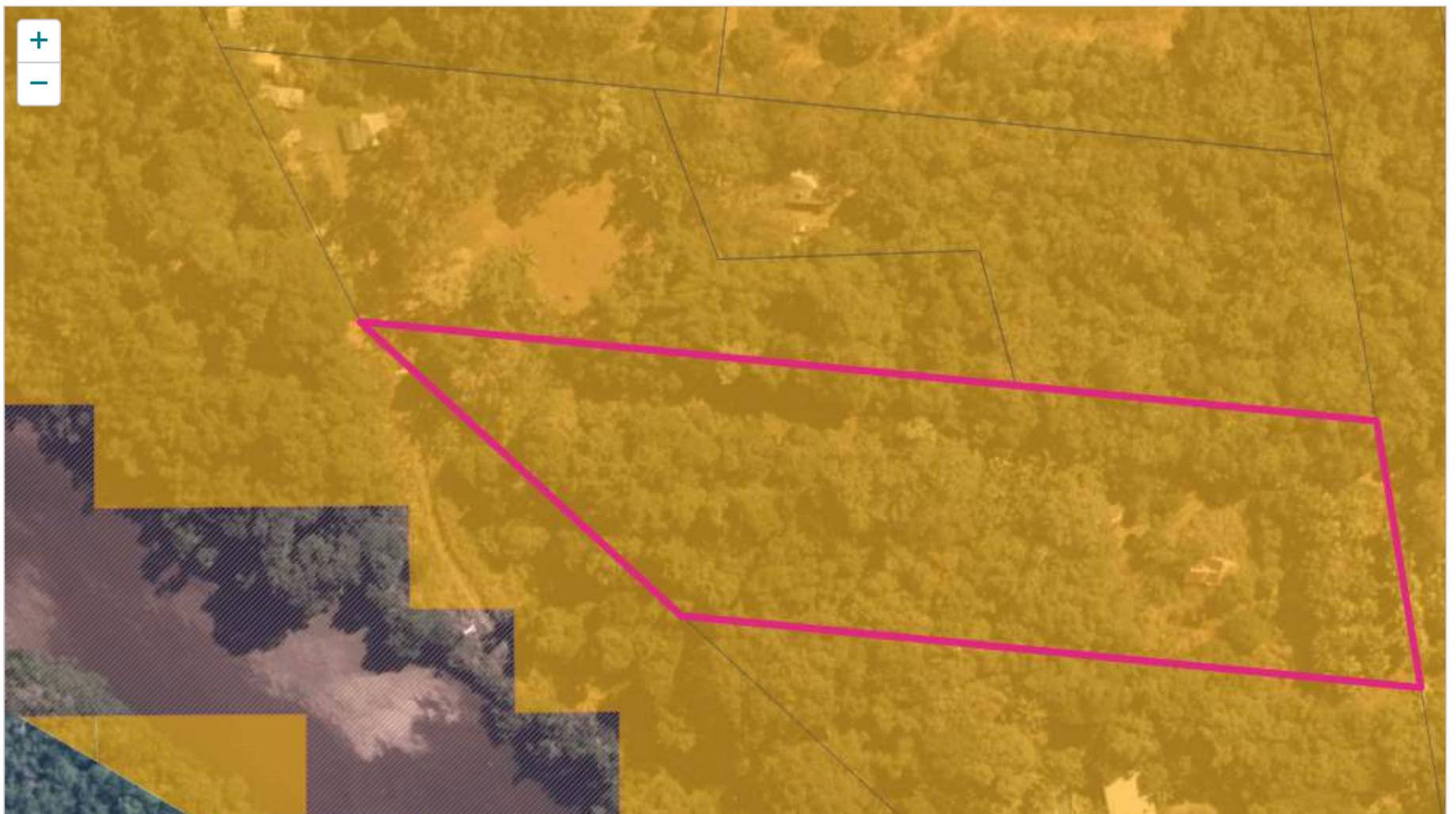
### Bushfire Hazard

#### Applicable Precinct or Area

Medium Potential Bushfire Intensity

#### More Information

- [View Section 8.2.2 Bushfire Hazard Overlay Code](#)
- [View Section 8.2.2 Bushfire Hazard Overlay Compliance table](#)



<input checked="" type="checkbox"/> Selected Property	<input type="checkbox"/> Property
---	-----------------------------------

**Bushfire\_Hazard**

 High Potential Bushfire Intensity

 Potential Impact Buffer

 all others

 Medium Potential Bushfire Intensity

 Very High Potential Bushfire Intensity

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[Bushfire Hazard](#)

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[Flood Storm](#)

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[Natural Areas](#)

[Transport Road Hierarchy](#)

Coastal Processes

**Applicable Precinct or Area**

Erosion Prone Area

**More Information**

- [View Section 8.2.3 Coastal Environment Overlay Code](#)
- [View Section 8.2.3 Coastal Environment Overlay Compliance table](#)



 Selected Property

 Property

 Coastal Management District

 Erosion Prone Area

Flood Storm

**Applicable Precinct or Area**

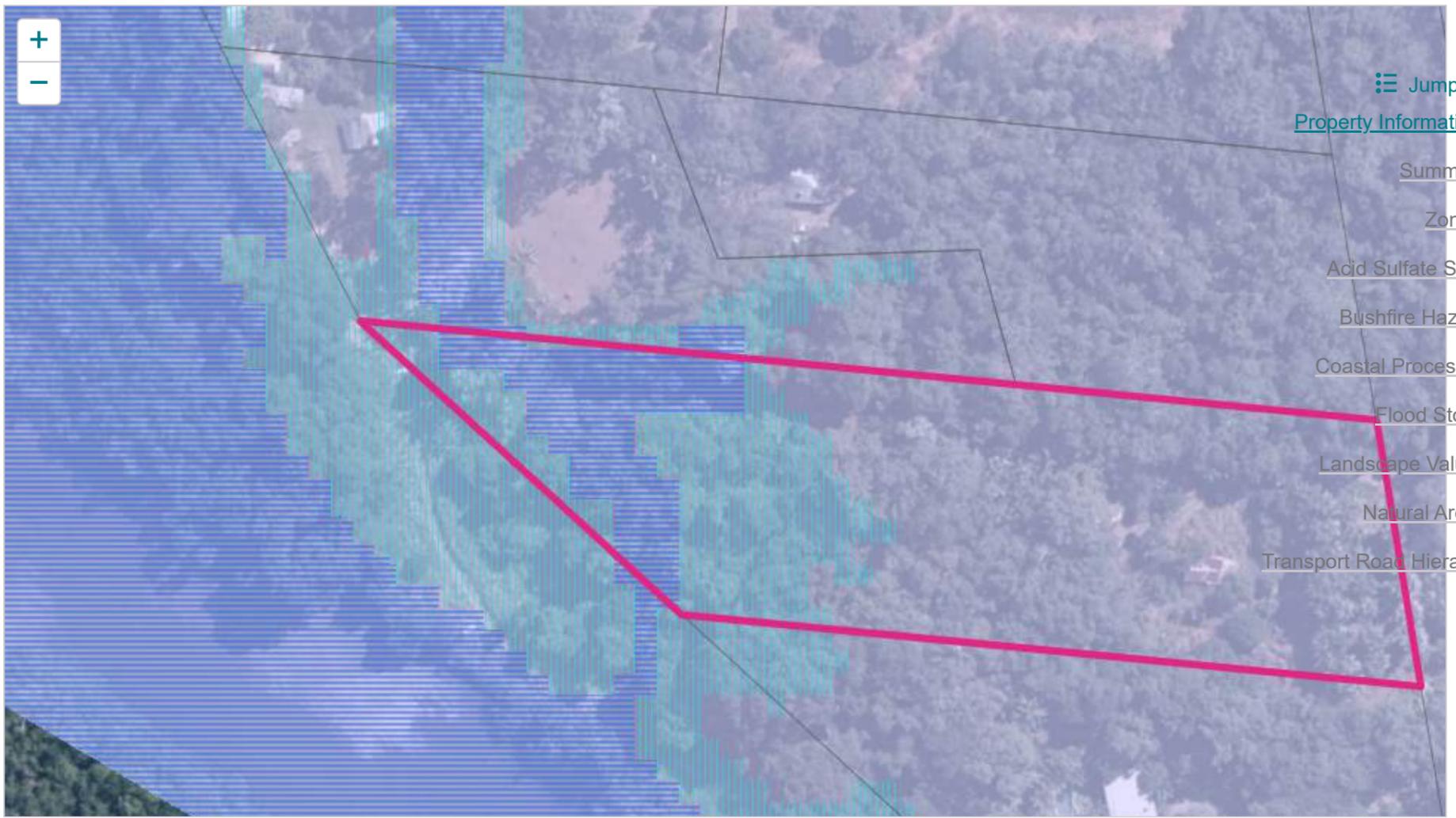
Medium Storm Tide Hazard

High Storm Tide Hazard

Floodplain Assessment Overlay (Daintree River)

**More Information**

- [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Code](#)
- [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Compliance table](#)



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[Transport Road Hierarchy](#)

Selected Property

Property

Medium Storm Tide Hazard

High Storm Tide Hazard

100 Year ARI - Mossman Port Douglas and Daintree Flood Studies

Floodplain Assessment Overlay

### Landscape Values

#### Landscape Values

High landscape values

#### More Information

- [View Section 8.2.6 Landscape Values Overlay Code](#)
- [View Section 8.2.6 Landscape Values Overlay Compliance table](#)



Selected Property

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**Scenic Buffer Area**

Gateway

Scenic route

View corridor

Lookout

Scenic route buffer

all others

**Landscape Values**

Coastal scenery

Medium Landscape Value

High landscape values

all others

Natural Areas

**Applicable Precinct or Area**

MSES - Regulated Vegetation

**More Information**

- [View Section 8.2.7 Natural Areas Overlay Code](#)
- [View Section 8.2.7 Natural Areas Overlay Compliance table](#)



Selected Property

Property

MSES - Regulated Vegetation (Intersecting a Watercourse)

MSES - High Ecological Value Waters (Watercourse)

MSES - Wildlife Habitat

MSES - Regulated Vegetation

MSES - Protected Area

MSES - Marine Park

MSES - Legally Secured Offset Area

MSES - High Ecological Value Waters (Wetland)

MSES - High Ecological Significance Wetlands

Transport Road Hierarchy

**Applicable Precinct or Area**

Unformed Road

**More Information**

- [View Section 8.2.10 Transport Network Overlay Code](#)
- [View Section 8.2.10 Transport Network Overlay Compliance table](#)

[Jump to Property Information](#)



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- [Flood Storm](#)
- [Landscape Values](#)
- [Natural Areas](#)
- [Transport Road Hierarchy](#)

Selected Property

Property

**Road Hierarchy**

- |                   |                  |
|-------------------|------------------|
| Access Road       | Arterial Road    |
| Collector Road    | Industrial Road  |
| Major Rural Road  | Minor Rural Road |
| Sub Arterial Road | Unformed Road    |
| all others        |                  |

Major Transport Corridor Buffer Area

**Disclaimer**

This report is not a substitute for a Planning and Development Certificate and should not be relied upon where the reliance may result in loss, damage or injury. While every effort is taken to ensure the information in this report is accurate and up to date, Douglas Shire Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the report being inaccurate or incomplete in any way or for any reason.

# Attachment 4

**Douglas Shire Council Planning Scheme Compliance Tables & Table of Assessment**

**Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605**



Table 5.6.d – Environmental management zone

Column 1 Development	Column 2 Level of Assessment	Column 3 Assessment Criteria																						Column 4 Notes									
		Whole of the Douglas Shire Planning Scheme	Environmental management zone code	Cape Tribulation and Daintree Coast Local plan code ^	Coastal communities local plan code ^	Mossman local plan code ^	Port Douglas / Craiglie local plan code ^	Return to Country local plan code ^	Acid sulphate soils overlay code *	Bushfire hazard overlay code *	Coastal environment overlay code *	Flood and storm tide hazard overlay code *	Hillislopes overlay code *	Landscape values overlay code *	Natural areas overlay code *	Places of significance overlay code *	Potential landslide hazard overlay code *	Transport network overlay code *	Dwelling house code	Home based business code	Access, parking and servicing code x	Advertising devices code x	Environmental performance code x	Filling and excavation code x	Infrastructure works code x	Landscaping code x	Reconfiguring a lot code x	Ship sourced pollutants reception facilities in marinas code x	Vegetation management code x				
<b>Material change of use</b>																																	
Dwelling house	C		a		a	a	a		a	a	a	a	a		a	a	a		a		a			a	a	a				a			
Environment facility	S		a		a	a	a		a	a	a	a	a		a	a	a						a	a	a	a				a			
IF involving more than 50m <sup>2</sup> of enclosed GFA	I	a																															
Home based business	C		a		a	a	a													a	a												
IF complying with all acceptable outcomes	S		a																	a	a												
Park	E																																
All other land uses not identified as inconsistent uses <sup>o</sup>	I	a																															
All other land uses identified as inconsistent uses <sup>o</sup>	IU	a																															
Undefined uses	I	a																															
<b>Reconfiguring a lot</b>																																	
Reconfiguring a lot	C		a		a	a	a		a	a	a	a	a		a	a	a							a	a	a	a				a		
<b>Operational work</b>																																	
Operational work **	C		a		a	a	a		a		a	a	a		a		a						a		a	a							
IF for Advertising devices not being a Third Party advertising device	I	a																															
IF for Advertising devices being a Third Party advertising device	IU	a																															
IF for Filling and excavation of 50m <sup>3</sup> or less	S		a						a		a	a	a		a		a																
IF for Filling and excavation of greater than 50m <sup>3</sup>	C		a		a	a	a		a		a	a	a		a		a																
IF for Vegetation damage	C		a		a	a	a																										
IF for works on a Local government road	C		a																														
<b>Building work</b>																																	
Building work	C		a						a	a	a	a	a		a		a							a		a							
IF for removal or demolition within the Places of significance overlay	I	a																															

^ Applicable local plan codes are identified by reference to the local plan maps contained in schedule 2.

\* Applicable overlay codes are identified by reference to the overlay maps in schedule 2.

x 'Other development codes' are only applicable to the extent they are relevant to the specific type of application proposed (i.e. if no vegetation damage is proposed, then the Vegetation management code does not apply)

o Inconsistent uses are identified in the relevant zone code and within the Local plan code for Port Douglas / Craiglie local plan code.

\*\* Operational works on a State-controlled road require approval under the *Transport Infrastructure Act 1994* from the Department of Transport and Main Roads.

E	Exempt
S	Self assessable
C	Code assessable
I	Impact assessable
IU	Impact assessable (Inconsistent use)
a	Applicable code

a Codes reviewed as Applicable

APPLICABLE CODES - BUILDING WORK (DWELLING)

## 6.2.4 Environmental management zone code

### 6.2.4.1 Application

- (1) This code applies to assessing development in the Environmental management zone.
- (2) When using this code, reference should be made to Part 5.

### 6.2.4.2 Purpose

- (1) The purpose of the Environmental management zone code is to recognise environmentally sensitive areas and provide for houses on lots and other low impact activities where suitable.

These areas are protected from intrusion of any urban, suburban, centre or industrial land use.

- (2) The local government purpose of the code is to:
  - (a) implement the policy direction set in the Strategic Framework, in particular:
    - (i) Theme 2 : Environment and landscape values, Element 3.5.3 – Biodiversity, Element 3.5.5 – Scenic amenity.
  - (b) protect and buffer areas of environmental significance from inappropriate development.
- (3) The purpose of the code will be achieved through the following overall outcomes:
  - (a) Development is generally restricted to a dwelling house;
  - (b) Adverse impacts on natural systems, both on-site and on adjoining land are minimised through the location, design and management of development;
  - (c) Development reflects and responds to the natural features and environmental values of the area;
  - (d) Visual impacts are minimised through the location and design of development;
  - (e) Development does not adversely affect water quality;
  - (f) Development responds to land constraints, including but not limited to topography, vegetation, bushfire, landslide and flooding.

**Criteria for assessment**

Table 6.2.4.3.a – Environmental management zone – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites.</p>	<p><b>AO1.1</b> Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height.</p> <p><b>AO1.2</b> Buildings have a roof height not less than 2 metres.</p>	<p><b>Complies with AO1.1</b> Proposed dwelling not more than 8.5m and two storeys in height, inclusive of roof height.</p> <p><b>Complies with PO1</b> Proposed dwelling has appropriate roof height for a low-rise, small house, consistent with a kit home designs made affordable for disaster recovery purposes. The small dwelling is not unduly visible from external sites and is separated from Banabilla Rd and surrounding properties with an existing vegetation buffer.</p>
<p><b>PO2</b> Buildings and structures are set back to: (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages.</p>	<p><b>AO2</b> Buildings and structures are set back not less than: (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.</p>	<p><b>Complies with AO2</b> Proposed dwelling is approx. 40m from front local road frontage (Banabilla Rd) and 15m from the nearest side boundary of the site.</p>
<b>For assessable development</b>		
<p><b>PO3</b> Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses.</p>	<p><b>AO3</b> Inconsistent uses as identified in Table 6.2.4.3.b are not established in the Environmental management zone.</p>	<p><b>Complies with AO3</b> Proposed dwelling use it not an inconsistent use for the Environment Management Zone.</p>
<p><b>PO4</b> The site coverage of all buildings and structures and associated services do not have an adverse effect on the environmental or scenic values of the site.</p>	<p><b>AO4</b> No acceptable outcomes are prescribed.</p>	<p><b>Complies with AO4</b> Proposed dwelling does not adversely affect the environmental or scenic values of the site, it is located amongst and adjacent to existing structures within an existing cleared area with the rest of site maintained as natural vegetation to preserve the environmental and scenic values of the site.</p>
<p><b>PO5</b></p>	<p><b>AO5.1</b></p>	<p><b>Complies with AO5.1</b></p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>Buildings, structures and associated access, infrastructure and private open space are sited:</p> <ul style="list-style-type: none"> <li>(a) within areas of the site which are already cleared; or</li> <li>(b) within areas of the site which are environmentally degraded;</li> <li>(c) to minimise additional vegetation clearing.</li> </ul>	<p>Proposed dwelling and new/existing infrastructure, such as septic and water tank, sited within an existing cleared to minimise additional vegetation clearing.</p>
	<p><b>AO5.2</b> Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.</p>	<p><b>Complies with AO5.2</b> Proposed dwelling and new infrastructure located on flat house pad and gradient from Banabilla Rd frontage to house pad is only 0.08%.</p>
<p><b>PO6</b> Buildings and structures are responsive to steep slope through innovative construction techniques so as to:</p> <ul style="list-style-type: none"> <li>(a) maintain the geotechnical stability of slopes;</li> <li>(b) minimise cut and/or fill;</li> <li>(c) minimise the overall height of development.</li> </ul>	<p><b>AO6.1</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised.</p> <p><b>AO6.2</b> Access and vehicle manoeuvring and parking areas are constructed and maintained to:</p> <ul style="list-style-type: none"> <li>(a) minimise erosion;</li> <li>(b) minimise cut and fill;</li> <li>(c) follow the natural contours of the site.</li> </ul>	<p><b>Not applicable</b> Proposed dwelling and new infrastructure located on flat house pad and gradient from Banabilla Rd frontage to house pad is only 0.08%.</p> <p><b>Complies with AO6.2</b> Proposed dwelling uses existing flat, formed access, vehicle manoeuvring and parking area. No new cut and fill is proposed.</p>
<p><b>PO7</b> The exterior finishes of buildings and structures are consistent with the surrounding natural environment.</p>	<p><b>AO7</b> The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.</p>	<p><b>Complies with AO7</b> Proposed timber dwelling will utilise appropriate non-reflective timber finishes and moderate colours, consistent with the surrounding natural environment. Proposed dwelling is also screened from an existing vegetation buffer to Banabilla Rd and surrounding properties.</p>
<p><b>PO8</b> Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p><b>AO8</b> No acceptable outcomes are prescribed.</p>	<p><b>Complies with AO8</b> Proposed dwelling is sited in an existing cleared area, surrounded by existing vegetation buffer to Banabilla Rd and surrounding properties, to minimise impacts on the amenity of the zone and adjoining land uses.</p>
<p><b>PO9</b></p>	<p><b>AO9</b></p>	<p><b>Complies with PO9</b></p>

Performance outcomes	Acceptable outcomes	Applicant response
The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	The maximum residential density is one dwelling house per lot.	The existing dwelling on the property was damaged by ex TC Jasper and is recommended for full or partial demolition and currently uninhabitable. The proposed dwelling is located within an existing cleared area surrounded by existing vegetation to protect the environmental and scenic values of the site and surrounding area.
<b>PO10</b> Lot reconfiguration results in no additional lots. Note - Boundary realignments to resolve encroachments and lot amalgamation are considered appropriate.	<b>AO10</b> No acceptable outcomes are prescribed.	<b>Not applicable</b> Proposed dwelling does not involve lot reconfiguration.

Table 6.2.4.3.b – Inconsistent uses within the Environmental management zone

Inconsistent uses		
<ul style="list-style-type: none"> <li>• Adult store</li> <li>• Agricultural supplies store</li> <li>• Air services</li> <li>• Aquaculture</li> <li>• Bar</li> <li>• Brothel</li> <li>• Bulk landscape supplies</li> <li>• Car wash</li> <li>• Caretaker's accommodation</li> <li>• Cemetery</li> <li>• Child care centre</li> <li>• Club</li> <li>• Community care centre</li> <li>• Community residence</li> <li>• Community use</li> <li>• Crematorium</li> <li>• Cropping</li> <li>• Detention facility</li> <li>• Dual occupancy</li> <li>• Dwelling unit</li> <li>• Educational establishment</li> <li>• Food and drink outlet</li> </ul>	<ul style="list-style-type: none"> <li>• Hardware and trade supplies</li> <li>• Health care services</li> <li>• High impact industry</li> <li>• Hospital</li> <li>• Hotel</li> <li>• Indoor sport and entertainment</li> <li>• Intensive animal industry</li> <li>• Intensive horticulture</li> <li>• Landing</li> <li>• Low impact industry</li> <li>• Major electricity infrastructure</li> <li>• Major sport, recreation and entertainment facility</li> <li>• Marine industry</li> <li>• Market</li> <li>• Motor sport facility</li> <li>• Multiple dwelling</li> <li>• Nightclub entertainment facility</li> <li>• Office</li> <li>• Outdoor sales</li> <li>• Outstation</li> <li>• Parking station</li> <li>• Place of worship</li> </ul>	<ul style="list-style-type: none"> <li>• Renewable energy facility</li> <li>• Relocatable home park</li> <li>• Research and technology industry</li> <li>• Residential care facility</li> <li>• Resort complex</li> <li>• Retirement facility</li> <li>• Rooming accommodation</li> <li>• Rural industry</li> <li>• Rural workers accommodation</li> <li>• Sales office</li> <li>• Service Station</li> <li>• Shop</li> <li>• Shopping centre</li> <li>• Short-term accommodation</li> <li>• Showroom</li> <li>• Special industry</li> <li>• Substation</li> <li>• Theatre</li> <li>• Transport depot</li> <li>• Utility installation</li> <li>• Veterinary services</li> <li>• Warehouse</li> </ul>

<ul style="list-style-type: none"> <li>• Function facility</li> <li>• Garden centre</li> </ul>	<ul style="list-style-type: none"> <li>• Port services</li> </ul>	<ul style="list-style-type: none"> <li>• Wholesale nursery</li> <li>• Winery</li> </ul>
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Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process

## 8.2.1 Acid sulfate soils overlay code

### 8.2.1.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Acid sulfate soils overlay, if:
  - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Acid sulphate soils overlay is identified on the Acid sulfate soils overlay map in Schedule 2 and includes the following sub-categories:
  - (a) Land at or below the 5m AHD sub-category;
  - (b) Land above the 5m AHD and below the 20m AHD sub-category.
- (3) When using this code, reference should be made to Part 5.

### 8.2.1.2 Purpose

- (1) The purpose of the acid sulfate soils overlay code is to:
  - (a) implement the policy direction in the Strategic Framework, in particular:
    - (i) Theme 2: Environment and landscape values, Element 3.5.4 Coastal zones.
    - (ii) Theme 3: Natural resource management, Element 3.6.2 land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.
- (2) enable an assessment of whether development is suitable on land within the Acid sulfate soils overlay sub-categories.
- (3) The purpose of the code will be achieved through the following overall outcomes:
  - (a) Development ensures that the release of any acid and associated metal contaminant is avoided by not disturbing acid sulfate soils when excavating, removing soil or extracting ground water or filling land;
  - (b) Development ensures that disturbed acid sulfate soils, or drainage waters, are treated and, if required, on-going management practices are adopted that minimise the potential for environmental harm from acid sulfate soil and protect corrodible assets from acid sulfate soil.

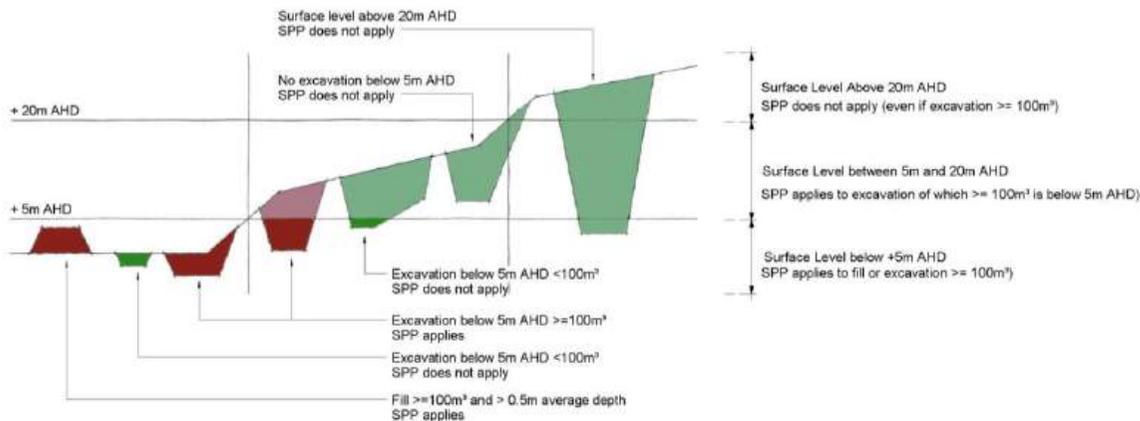
**Criteria for assessment**

Table 8.2.1.3.a – Acid sulfate soils overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For assessable development</b>		
<p><b>PO1</b> The extent and location of potential or actual acid sulfate soils is accurately identified.</p>	<p><b>AO1.1</b> No excavation or filling occurs on the site.</p> <p>or</p> <p><b>AO1.2</b> An acid sulfate soils investigation is undertaken.</p> <p>Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.</p>	<p><b>Complies with AO1.1</b> No major excavation or filling is proposed on the site, only digging for the installation of footings and an on-site septic tank system. The proposed dwelling is located within the 5-20m AHD zone.</p>
<p><b>PO2</b> Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants.</p>	<p><b>AO2.1</b> The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by:</p> <ul style="list-style-type: none"> <li>(a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils;</li> <li>(b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils;</li> <li>(c) not undertaking filling that results in:                             <ul style="list-style-type: none"> <li>(i) actual acid sulfate soils being moved below the water table;</li> <li>(ii) previously saturated acid sulfate soils being aerated.</li> </ul> </li> </ul> <p>or</p> <p><b>AO2.2</b> The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by:</p> <ul style="list-style-type: none"> <li>(a) neutralising existing acidity and preventing the generation of acid and metal contaminants;</li> </ul>	<p><b>Complies with AO2.1</b> No major excavation or filling is proposed on the site, only digging for the installation of footings and an on-site septic tank system. The proposed dwelling is located within the 5-20m AHD zone.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment;</p> <p>(c) preventing the in situ oxidisation of potential acid sulfate soils and actual acid sulfate soils through ground water level management;</p> <p>(d) appropriately treating acid sulfate soils before disposal occurs on or off site;</p> <p>(e) documenting strategies and reporting requirements in an acid sulfate soils environmental management plan.</p> <p>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p>	
<p><b>PO3</b> No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.</p>	<p><b>AO3</b> No acceptable outcomes are prescribed.</p>	<p><b>Complies with AO3</b> No major excavation or filling is proposed on the site, only digging for the installation of footings and an on-site septic tank system. The proposed dwelling is located within the 5-20m AHD zone.</p>

Figure 8.2.1.3.a – Acid sulfate soils (SPP triggers)



## 8.2.2 Bushfire hazard overlay code

Note - Land shown on the bushfire hazard overlay map is designated as the bushfire prone area for the purposes of section 12 of the Building Regulations 2006. The bushfire hazard area (bushfire prone area) includes land covered by the high and medium hazard areas as well as the buffer area category on the overlay map.

### 8.2.2.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational works or building work in the Bushfire hazard overlay, if:
  - (a) self-assessable or assessable where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Bushfire hazard overlay is identified on the Bushfire hazard overlay map in Schedule 2 and includes the following sub-categories:
  - (a) Medium bushfire risk sub-category;
  - (b) High bushfire risk sub-category;
  - (c) Very high bushfire risk sub-category;
  - (d) Potential impact buffer sub-category.
- (3) When using this code, reference should be made to Part 5.

### 8.2.2.2 Purpose

- (1) The purpose of the Bushfire overlay code is to:
  - (a) implement the policy direction in the Strategic Framework, in particular:
    - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
    - (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
  - (b) enable an assessment of whether development is suitable on land within the Bushfire risk overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) development avoids the establishment or intensification of vulnerable activities within or near areas that are subject to bushfire hazard;
  - (b) development is designed and located to minimise risks to people and property from bushfires;
  - (c) bushfire risk mitigation treatments are accommodated in a manner that avoids or minimises impacts on the natural environment and ecological processes;
  - (d) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a bushfire event;
  - (e) development contributes to effective and efficient disaster management response and recovery capabilities.

Note - A site based assessment may ground-truth the extent of hazardous vegetation and extent and nature of the bushfire hazard area (bushfire prone area). Such assessments should be undertaken using the methodology set out in Planning scheme policy SC6.9 - Natural Hazards.

**Criteria for assessment**

Table 8.2.2.3.a – Bushfire hazard overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>Compatible development</b>		
<p><b>PO1</b> A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances.</p> <p>Note - See the end of this code for examples of vulnerable uses.</p>	<p><b>AO1</b> Vulnerable uses are not established or expanded.</p> <p>Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan.</p> <p>Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected to prepare such a plan.</p> <p>Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>	<p><b>Complies with AO1</b> Proposed dwelling is not a vulnerable use.</p>
<p><b>PO2</b> Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.</p>	<p><b>AO2</b> Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.</p>	<p><b>Not applicable</b> Proposed dwelling is not an Emergency Service or use.</p>
<p><b>PO3</b> Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.</p>	<p><b>AO3</b> The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.</p>	<p><b>Not applicable</b> Proposed dwelling is not development involving hazardous materials manufacture and storage.</p>
<b>Development design and separation from bushfire hazard – reconfiguration of lots</b>		
<p><b>PO4.1</b> Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m<sup>2</sup> at the edge of the proposed lot(s).</p> <p>Note - “Urban purposes” and “urban area” are defined in the <i>Sustainable Planning Regulations 2009</i>. Reconfiguration will be taken to be for rural residential purposes where proposed lots are between</p>	<p><b>AO4.1</b> No new lots are created within a bushfire hazard sub-category.</p> <p>or</p> <p><b>AO4.2</b> Lots are separated from hazardous vegetation by a distance that:</p>	<p><b>Not applicable</b> Proposed dwelling does not involve reconfiguration of lots.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>2000m<sup>2</sup> and 2ha in area. "Smaller scale" rural residential purposes will be taken to be where the average proposed lot size is 6000m<sup>2</sup> or less.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p> <p><b>PO4.2</b> Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m<sup>2</sup> at any point.</p>	<p>(a) achieves radiant heat flux level of 29kW/m<sup>2</sup> at all boundaries; and (b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation. For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages. Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	
<p><b>PO5</b> Where reconfiguration is undertaken in an urban area or is for urban purposes, a constructed perimeter road with reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access is available for both fire fighting and maintenance/defensive works.</p>	<p><b>AO5.1</b> Lot boundaries are separated from hazardous vegetation by a public road which:</p> <p>(a) has a two lane sealed carriageway; (b) contains a reticulated water supply; (c) is connected to other public roads at both ends and at intervals of no more than 500m; (d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (e) has a minimum of 4.8m vertical clearance above the road; (f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and (g) incorporates roll-over kerbing.</p> <p><b>AO5.2</b> Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise specified by the relevant water entity.</p> <p>Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>	<p><b>Not applicable</b> Proposed dwelling does not involve reconfiguration of lots.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO6</b> Where reconfiguration is undertaken for smaller scale rural residential purposes, either a constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p>	<p><b>AO6</b> Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network at intervals of no more than 500m;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</li> </ul>	<p><b>Not applicable</b> Proposed dwelling does not involve reconfiguration of lots.</p>
<p><b>PO7</b> Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and either the lot boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<p><b>AO7</b> Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> </ul>	<p><b>Not applicable</b> Proposed dwelling does not involve reconfiguration of lots.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<ul style="list-style-type: none"> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</li> </ul>	
<p><b>PO8</b> The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.</p>	<p><b>AO8</b> The lot layout:</p> <ul style="list-style-type: none"> <li>(a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation;</li> <li>(b) avoids the creation of potential bottle-neck points in the movement network;</li> <li>(c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; and</li> <li>(d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion.</li> </ul> <p>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots. In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan. Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate</p>	<p><b>Not applicable</b> Proposed dwelling does not involve reconfiguration of lots.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO9</b> Critical infrastructure does not increase the potential bushfire hazard.</p>	<p><b>AO9</b> Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.</p>	<p><b>Not applicable</b> Proposed dwelling does not involve reconfiguration of lots.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>Development design and separation from bushfire hazard – material change of use</b></p>		
<p><b>PO10</b> Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of: (a) 10kW/m<sup>2</sup> where involving a vulnerable use; or (b) 29kW/m<sup>2</sup> otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p><b>AO10</b> Buildings or building envelopes are separated from hazardous vegetation by a distance that: (a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m<sup>2</sup> for a vulnerable use or 29kW/m<sup>2</sup> otherwise; and (b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p><b>Not applicable</b> The proposed dwelling does not involve a material change of use. A BAL assessment of 12.5 by a suitably qualified professional will inform final building works approval and compliance with AS3959-2018 Australian Standard for the Construction of Buildings in Bushfire Prone Areas.</p>
<p><b>PO11</b> A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> <p>Note - Fire trails are unlikely to be required where a development site involves less than 2.5ha</p>	<p><b>AO11</b> Development sites are separated from hazardous vegetation by a public road or fire trail which has: (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency</p>	<p><b>Not applicable</b> The proposed dwelling does not involve a material change of use.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Services' Fire Hydrant and Vehicle Access Guidelines;</p> <p>(f) a maximum gradient of 12.5%;</p> <p>(g) a cross fall of no greater than 10 degrees;</p> <p>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</p> <p>(i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m;</p> <p>(j) designated fire trail signage;</p> <p>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</p> <p>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</p>	
<b>All development</b>		
<p><b>PO12</b> All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances.</p>	<p><b>AO12</b> Private driveways:</p> <p>(a) do not exceed a length of 60m from the street to the building;</p> <p>(b) do not exceed a gradient of 12.5%;</p> <p>(c) have a minimum width of 3.5m;</p> <p>(d) have a minimum of 4.8m vertical clearance;</p> <p>(e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and</p> <p>(f) serve no more than 3 dwellings or buildings.</p>	<p><b>Complies with AO12</b> The proposed dwelling uses an existing private driveway 3.5m wide for less than 60m from the proposed house pad to Banabilla Rd frontage at a low gradient of 0.08%. The large, existing cleared area has sufficient turning circle area and does not service more than 3 dwellings or buildings.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO13</b> Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.</p>	<p><b>AO13</b> A water tank is provided within 10m of each building (other than a class 10 building) which:</p> <ul style="list-style-type: none"> <li>(a) is either below ground level or of non-flammable construction;</li> <li>(b) has a take off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters: <ul style="list-style-type: none"> <li>(i) 10,000l for residential buildings</li> </ul> </li> <li>(ii) 45,000l for industrial buildings; and</li> <li>(iii) 20,000l for other buildings;</li> <li>(c) includes shielding of tanks and pumps in accordance with the relevant standards;</li> <li>(d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank;</li> <li>(e) is provided with fire brigade tank fittings – 50mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and</li> <li>(f) is clearly identified by directional signage provided at the street frontage.</li> </ul> <p>Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams.</p>	<p><b>Seeking compliance with AO13</b> An existing on-site water tank that was washed off-site and later returned to the house pad area will be provided within 10m of the proposed dwelling. The existing water tank has been cleaned for safe reuse to save on recovery costs associated with rebuilding after ex TC Jasper. An additional water tank may be purchased in future to achieve the minimum 10,000L requirement for residential buildings. The site also contains an existing water bore.</p>
<p><b>PO14</b> Landscaping does not increase the potential bushfire risk.</p>	<p><b>AO14</b> Landscaping uses species that are less likely to exacerbate a bushfire event, and does not increase fuel loads within separation areas.</p>	<p><b>Not applicable</b> Landscaping is not included in this proposal.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO15</b> The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but not limited to, biodiversity or scenic amenity).</p>	<p><b>AO15</b> Bushfire risk mitigation treatments do not have a significant impact on the natural environment or landscape character of the locality where this has value.</p>	<p><b>Complies with AO15</b> The proposed dwelling will replace an existing dwelling on the property that was damaged by ex TC Jasper. The new dwelling is located much closer toward the Banabilla Rd frontage reducing bushfire risk by enabling easier and faster evacuation to Banabilla Rd. The new dwelling is proposed to be located within an existing large, cleared area suitable for on-site evacuation and fire control manoeuvring access by emergency services. Any recommended bushfire mitigation plan prepared by a suitably qualified professional confirms no adverse bushfire mitigation treatment impacts on the natural environment or landscape character.</p>

Note – ‘Vulnerable activities’ are those involving:

- (1) the accommodation or congregation of vulnerable sectors of the community such as child care centres, community care centre, educational establishments, detention facilities, hospitals, rooming accommodation, retirement facilities or residential care facilities; or
- (2) the provision of essential services including community uses, emergency services, utility installation, telecommunications facility, substations and major electricity infrastructure.

## 8.2.3 Coastal environment overlay code

### 8.2.3.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Coastal environment overlay, if:
  - (a) self assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Coastal hazard overlay is identified on the Coastal environment overlay map in Schedule 2 and includes the following sub-categories:
  - (a) Coastal management district sub-category;
  - (b) Erosion prone area sub-category.
- (3) When using this code, reference should be made to Part 5.

### 8.2.3.2 Purpose

- (1) The purpose of the Coastal environment overlay code is to:
  - (a) implement the policy direction in the Strategic Framework, in particular:
    - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
    - (ii) Theme 2 Environment and landscape values: Element 3.5.4 Coastal zones;
    - (iii) Theme 3 Natural resource management: Element 3.6.2 Land and catchment management.
  - (b) enable an assessment of whether development is suitable on land within the Coastal processes sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) facilitate the protection of both coastal processes and coastal resources;
  - (b) facilitating coastal dependent development on the foreshore over other development;
  - (c) public access to the foreshore protects public safety;
  - (d) maintain the erosion prone area as a development free buffer zone (other than for coastal dependent, temporary or relocatable development);
  - (e) require redevelopment of existing permanent buildings or structures in an erosion prone area to avoid coastal erosion risks, manage coastal erosion risks through a strategy of planned retreat or mitigate coastal erosion risks;
  - (f) require development to maintain or enhance natural processes and the protective function of landforms and vegetation that can mitigate risks associated with coastal erosion;
  - (g) locate and design community infrastructure to maintain the required level of functionality during and immediately after a coastal hazard event.

**Criteria for assessment**

Table 8.2.3.3.a – Coastal environment overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> No works other than coastal protection works extend seaward of the coastal building line.</p>	<p><b>AO1.1</b> Development (including all buildings and other permanent structures such as swimming pools and retaining walls) does not extend seaward of a coastal building line.</p> <p>Note – Coastal building lines are declared under the Coastal Protection and Management Act 1995 and are administered by the State Department of Environment and Heritage Protection.</p> <p><b>AO1.2</b> Coastal protection works are only undertaken as a last resort where coastal erosion presents an immediate threat to public safety or existing buildings or structures and the property cannot be relocated or abandoned.</p> <p><b>AO1.3</b> Coastal protection works are as far landward as practicable on the lot containing the property to the maximum extent reasonable.</p> <p><b>AO1.4</b> Coastal protection work mitigates any increase in the coastal hazard.</p>	<p><b>Not applicable</b> Proposed dwelling is not located within overlay mapping areas, ie. coastal management district or erosion prone area.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>PO2</b> Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development is setback to maintain the amenity and use of the coastal resource.	<b>AO2</b> Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development (including all buildings and structures such as swimming pools) and retaining walls are set back not less than 6 metres from the seaward boundary of the lot.	<b>Not applicable</b> Proposed dwelling is not located within overlay mapping areas, ie. coastal management district or erosion prone area.
<b>For assessable development</b>		
<b>Erosion prone areas</b>		
<b>PO3</b> Development identifies erosion prone areas (coastal hazards).	<b>AO3</b> No acceptable outcomes are prescribed.	<b>Not applicable</b> Proposed dwelling is not located within overlay mapping areas, ie. coastal management district or erosion prone area.
<b>PO4</b> Erosion prone areas are free from development to allow for natural coastal processes.	<b>AO4.1</b> Development is not located within the Erosion prone area, unless it can be demonstrated that the development is for: <ul style="list-style-type: none"> <li>(a) community infrastructure where no suitable alternative location or site exists for this infrastructure; or</li> <li>(b) development that reflects the preferred development outcomes in accordance with the zoning of the site (i.e. in the Low density residential zone, a dwelling house is a preferred development outcome in accordance with the zoning of the site)</li> </ul>	<b>Not applicable</b> Proposed dwelling is not located within overlay mapping areas, ie. coastal management district or erosion prone area.
	<b>AO4.2</b> Development involving existing permanent buildings and structures within an erosion prone area does not increase in intensity of its use by: <ul style="list-style-type: none"> <li>(a) adding additional buildings or structures; or</li> <li>(b) incorporating a land use that will result in an increase in the number of people or employees occupying the site.</li> </ul>	<b>Not applicable</b> Proposed dwelling is not located within overlay mapping areas, ie. coastal management district or erosion prone area.
<b>Coastal management districts</b>		
<b>PO5</b>	<b>PO5.1</b>	<b>Not applicable</b>

Performance outcomes	Acceptable outcomes	Applicant response
<p>Natural processes and protective functions of landforms and vegetation are maintained.</p>	<p>Development within the coastal management district:</p> <ul style="list-style-type: none"> <li>(a) maintains vegetation on coastal land forms where its removal or damage may:               <ul style="list-style-type: none"> <li>(i) destabilise the area and increase the potential for coastal erosion, or</li> <li>(ii) interrupt the natural sediment trapping processes or dune or land building processes;</li> </ul> </li> <li>(b) maintains sediment volumes of dunes and near-shore coastal landforms, or where a reduction in sediment volumes cannot be avoided, increased risks to development from coastal erosion are mitigated by location, design and construction and operating standards;</li> <li>(c) minimises the need for erosion control structures or riverine hardening through location, design and construction standards;</li> <li>(d) maintains physical coastal processes outside the development footprint for the development, including longshore transport of sediment along the coast;</li> <li>(e) reduces the risk of shoreline erosion for areas adjacent to the development footprint to the maximum extent feasible in the case of erosion control structures.</li> </ul>	<p>Proposed dwelling is not located within overlay mapping areas, ie. coastal management district or erosion prone area.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>PO5.2</b> Where development proposes the construction of an erosion control structure:</p> <ul style="list-style-type: none"> <li>(a) it is demonstrated that it is the only feasible option for protecting permanent structures from coastal erosion; and</li> <li>(b) those permanent structures cannot be abandoned or relocated in the event of coastal erosion occurring</li> </ul> <p><b>PO5.3</b> Development involving reclamation:</p> <ul style="list-style-type: none"> <li>(a) does not alter, or otherwise minimises impacts on, the physical characteristics of a waterway or the seabed near the reclamation, including flow regimes, hydrodynamic forces, tidal water and riverbank stability;</li> <li>(b) is located outside active sediment transport area, or otherwise maintains sediment transport processes as close as possible to their natural state;</li> <li>(c) ensures activities associated with the operation of the development maintain the structure and condition of vegetation communities and avoid wind and water run-off erosion.</li> </ul>	<p><b>Not applicable</b> Proposed dwelling is not located within overlay mapping areas, ie. coastal management district or erosion prone area.</p>
<p><b>PO6</b> Development avoids or minimises adverse impacts on coastal resources and their values to the maximum extent reasonable.</p>	<p><b>AO6.1</b> Coastal protection work that is in the form of beach nourishment uses methods of placement suitable for the location that do not interfere with the long-term use of the locality, or natural values within or neighbouring the proposed placement site.</p> <p>And</p> <p><b>AO6.2</b> Marine development is located and designed to expand on or redevelop existing marine infrastructure unless it is demonstrated that it is not practicable to co-locate the development with existing marine infrastructure;</p>	<p><b>Not applicable</b> Proposed dwelling is not located within overlay mapping areas, ie. coastal management district or erosion prone area, and does not involve coastal protection work or marine development.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>and</p> <p><b>AO6.3</b> Measures are incorporated as part of siting and design of the development to maintain or enhance water quality to achieve the environmental values and water quality objectives outlined in the Environmental Protection (Water) Policy 2009.</p> <p>and</p> <p><b>AO6.4</b> Development avoids the disturbance of acid sulfate soils, or where it is demonstrated that this is not possible, the disturbance of acid sulfate soils is carefully managed to minimise and mitigate the adverse effects of disturbance on coastal resources.</p> <p>and</p> <p><b>AO6.4</b> Design and siting of development protects and retains identified ecological values and underlying ecosystem processes within the development site to the greatest extent practicable.</p>	
<p><b>P07</b> Development is to maintain access to and along the foreshore for general public access.</p>	<p><b>AO7.1</b> Development provides for regular access points for pedestrians including approved walking tracks, boardwalks and viewing platforms.</p> <p>and</p> <p><b>AO7.2</b> Development provides for regular access points for vehicles including approved roads and tracks.</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area, and does not involve public access.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>or</p> <p><b>AO7.3</b> Development demonstrates an alternative solution to achieve an equivalent standard of performance.</p>	
<p><b>PO8</b> Public access to the coast is appropriately located, designed and operated.</p>	<p><b>AO8.1</b> Development maintains or enhances public access to the coast.</p> <p>or</p> <p><b>AO8.2</b> Development is located adjacent to state coastal land or tidal water and minimises and offsets any loss of access to and along the foreshore within 500 metres.</p> <p>or</p> <p><b>AO8.3</b> Development adjacent to state coastal land or tidal water demonstrates an alternative solution to achieve an equivalent standard and quality of access</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area, and does not involve public access.</p>
<p><b>PO9</b> Development adjacent to state coastal land or tidal water is located, designed and operated to:</p> <ul style="list-style-type: none"> <li>(a) maintain existing access to and along the foreshore;</li> <li>(b) minimise any loss of access to and along the foreshore, or</li> <li>(c) offset any loss of access to and along the foreshore by providing for enhanced alternative access in the general location.</li> </ul>	<p><b>AO9.1</b> Development adjacent to state coastal land or tidal water:</p> <ul style="list-style-type: none"> <li>(a) demonstrates that restrictions to public access are necessary for: <ul style="list-style-type: none"> <li>(i) the safe and secure operation of development;</li> <li>(ii) the maintenance of coastal landforms and coastal habitat; or</li> </ul> </li> <li>(b) maintains public access (including public access infrastructure that has been approved by the local government or relevant authority) through the site to the foreshore for: <ul style="list-style-type: none"> <li>(i) pedestrians via access points including approved walking tracks, boardwalks and viewing platforms;</li> </ul> </li> </ul>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area, state coastal land or tidal water.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(ii) vehicles via access points including approved roads or tracks.</p> <p><b>AO9.2</b> Development adjacent to state coastal land or tidal water:</p> <p>(a) is located and designed to:</p> <p>(i) allow safe unimpeded access to, over, under or around built infrastructure located on, over or along the foreshore, for example through the provision of esplanades or easement corridors to preserve future access;</p> <p>(ii) ensure emergency vehicles can access the area near the development.</p> <p>or</p> <p>(b) minimises and offsets any loss of access to and along the foreshore within 500m of existing access points and development is located and designed to:</p> <p>(i) allow safe unimpeded access to, over, under or around built infrastructure located on, over or along the foreshore, and</p> <p>(ii) ensure emergency vehicles can access the area near the development.</p>	
<p><b>AO10</b> Development that involves reconfiguring a lot for urban purposes adjacent to the coast is designed to ensure public access to the coast in consideration of public access demand from a whole-of-community basis and the maintenance of coastal landforms and coastal habitat.</p>	<p><b>AO10.1</b> Development complies if consideration of public access demand from a whole-of-community basis and the maintenance of coastal landforms and coastal habitat is undertaken.</p> <p>or</p> <p><b>AO10.2</b> Development demonstrates an alternative solution to achieve an equivalent standard and quality of access.</p>	<p><b>Not applicable</b> Proposed dwelling does not involve reconfiguring a lot for urban purposes.</p>
<p><b>PO11</b> Development maintains public access to State coastal land by avoiding private marine development attaching to, or extending across, non-tidal State coastal land.</p>	<p><b>AO11</b> Private marine access structures and other structures such as decks or boardwalks for private use do not attach to or</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or</p>

Performance outcomes	Acceptable outcomes	Applicant response
	extend across State coastal land that is situated above high water mark	erosion prone area, and does not involve public access.
<p><b>PO12</b> Development in connection with an artificial waterway enhances public access to coastal waters.</p>	<p><b>AO12</b> The artificial waterway avoids intersecting with or connection to inundated land or leased land where the passage, use or movement of vessels in water on the land could be restricted or prohibited by the registered proprietor of the inundated land or leased land.</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area, and does not involve artificial waterways and public access.</p>
<b>Coastal landscapes, views and vistas</b>		
<p><b>PO13</b> Development maintains and / or enhances natural coastal landscapes, views and vistas.</p>	<p><b>AO13</b> No acceptable outcomes are prescribed.</p>	<p><b>Complies with PO13</b> Proposed dwelling does not impact natural coastal landscapes, views and vistas.</p>
<p><b>PO14</b> Coastal settlements are consolidated through the concentration of development within the existing urban areas through infill and conserving the natural state of the coastal area outside existing urban areas.</p>	<p><b>AO14</b> No acceptable outcomes are prescribed.</p>	<p><b>Not applicable</b> Proposed dwelling not located within an existing urban area.</p>
<b>Private marine development</b>		
<p><b>PO15</b> Private marine development is to avoid attaching to, or extending across, non-tidal State coastal land.</p>	<p><b>AO15</b> Private marine development and other structures such as decks or boardwalks for private use do not attach to, or extend across, State coastal land that is situated above high water mark.</p> <p>Note – For occupation permits or allocations of State land, refer to the <i>Land Act 1994</i>.</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area, and does not involve private marine development.</p>
<p><b>PO16</b> The location and design of private marine development does not adversely affect the safety of members of the public access to the foreshore.</p>	<p><b>AO16</b> Private marine development does not involve the erection or placement of any physical barrier preventing existing access, along a public access way to the foreshores.</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area, and does not involve private marine development.</p>
<p><b>PO17</b></p>	<p><b>AO17</b> Private marine development has regard to:</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or</p>

Performance outcomes	Acceptable outcomes	Applicant response
Private marine development is of a height and scale and size compatible with the character and amenity of the location.	<p>(a) the height, scale and size of the natural features of the immediate surroundings and locality;</p> <p>(b) the height, scale and size of existing buildings or other structures in the immediate surroundings and the locality;</p> <p>(c) if the relevant planning scheme states that desired height, scale or size of buildings or other structures in the immediate surroundings or locality – the stated desired height, scale or size.</p> <p>Note – The prescribed tidal works code in the <i>Coastal Protection and Management Regulation 2003</i> outlines design and construction requirements that must be complied with.</p>	erosion prone area, and does not involve private marine development.
<p><b>PO18</b> Private marine development avoids adverse impacts on coastal landforms and coastal processes.</p>	<p><b>AO18</b> Private marine development does not require the construction of coastal protection works, shoreline or riverbank hardening or dredging for marine access.</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area, and does not involve private marine development.</p>
<b>For dry land marinas and artificial waterways</b>		
<p><b>PO19</b> Dry land marinas and artificial waterways:</p> <p>(a) avoid impacts on coastal resources;</p> <p>(b) do not contribute to the degradation of water quality;</p> <p>(c) do not increase the risk of flooding;</p> <p>(d) do not result in the degradation or loss of MSES;</p> <p>(e) do not result in an adverse change to the tidal prism of the natural waterway to which development is connected.</p> <p>(f) does not involve reclamation of tidal land other than for the purpose of:</p> <p>(i) coastal dependent development, public marine development; or</p> <p>(i) community infrastructure, where there is no feasible alternative; or</p>	<p><b>AO19</b> No acceptable solutions are prescribed.</p>	<p><b>Not applicable</b> Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area, and does not involve dry land marinas or artificial waterways.</p>
<p>(iii) strategic ports, boat harbours or strategic airports and aviation facilities in</p>		<p><b>Not applicable</b></p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>(iv) accordance with a statutory land use plan; or coastal protection works or works necessary to protect coastal resources and processes.</p>		<p>Proposed dwelling is not located near overlay mapping areas, ie. coastal management district or erosion prone area.</p>

## 8.2.4 Flood and storm tide hazard overlay code

### 8.2.4.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Flood and storm tide hazard overlay, if:
  - (a) self assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Flood and storm tide hazard overlay is identified on the Flood and storm tide hazard overlay map in Schedule 2 and includes the:
  - (a) Storm tide – high hazard sub-category;
  - (b) Storm tide – medium hazard sub-category;
  - (c) Flood plain assessment sub-category;
  - (d) 100 ARI Mossman, Port Douglas and Daintree Township Flood Studies sub-category.
- (3) When using this code, reference should be made to Part 5.

Note - The Flood and storm tide hazards overlay maps contained in Schedule 2 identify areas (Flood and storm tide inundation areas) where flood and storm tide inundation modelling has been undertaken by the Council. Other areas not identified by the Flood and inundation hazards overlay maps contained in Schedule 2 may also be subject to the defined flood event or defined storm tide event.

### 8.2.4.2 Purpose

- (1) The purpose of the Flood and storm tide hazard overlay code is to:
  - (a) implement the policy direction in the Strategic Framework, in particular:
    - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
    - (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
  - (b) enable an assessment of whether development is suitable on land within the Flood and storm tide hazard sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) development siting, layout and access responds to the risk of the natural hazard and minimises risk to personal safety;
  - (b) development achieves an acceptable or tolerable risk level, based on a fit for purpose risk assessment;
  - (c) the development is resilient to natural hazard events by ensuring siting and design accounts for the potential risks of natural hazards to property;
  - (d) the development supports, and does not unduly burden disaster management response or recovery capacity and capabilities;
  - (e) the development directly, indirectly and cumulatively avoids an unacceptable increase in severity of the natural hazards and does not significantly increase the potential for damage on site or to other properties;
  - (f) the development avoids the release of hazardous materials as a result of a natural hazard event;
  - (g) natural processes and the protective function of landforms and/or vegetation are maintained in natural hazard areas;

(h) community infrastructure is located and designed to maintain the required level of functionality during and immediately after a hazard event.

**Criteria for assessment**

Table 8.2.4.3.a – Flood and storm tide hazards overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> Development is located and designed to: ensure the safety of all persons; minimise damage to the development and contents of buildings; provide suitable amenity; minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events.</p> <p>Note – For assessable development within the flood plain assessment sub-category, a flood study by a suitably qualified professional is required to identify compliance with the intent of the acceptable outcome.</p>	<p><b>AO1.1</b> Development is sited on parts of the land that is not within the Flood and Storm tide hazards overlay maps contained in Schedule 2;</p> <p>or</p> <p>For dwelling houses,</p> <p><b>AO1.2</b> Development within the Flood and Storm Tide hazards overlay maps (excluding the Flood plain assessment sub-category) is designed to provide immunity to the Defined Inundation Event as outlined within Table 8.2.4.3.b plus a freeboard of 300mm.</p>	<p><b>Complies with AO1.1</b> Proposed development is sited outside the Q100 flood mapping area as determined by a suitably qualified professional in the Degarra Flood Study.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO1.3</b> New buildings are: (a) not located within the overlay area; (b) located on the highest part of the site to minimise entrance of flood waters; (c) provided with clear and direct pedestrian and vehicle evacuation routes off the site.</p> <p><b>AO1.4</b> In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p>	<p><b>Complies with AO1.3</b> Proposed dwelling is sited outside the Q100 flood mapping area as determined by a suitably qualified professional in the Degarra Flood Study, on the highest part of the site using existing clear and direct pedestrian and vehicle evacuation routes off site.</p> <p><b>Complies with PO1</b> Proposed dwelling is located more than 160m from natural riparian corridors (the Bloomfield</p>

Performance outcomes	Acceptable outcomes	Applicant response
		River) and 40-50m from the nearest waterway onsite. The proposed dwelling will provide a Council approved wastewater design incorporating compliant separation distances from nearby waterways.
<b>For assessable development</b>		
<p><b>PO2</b> The development is compatible with the level of risk associated with the natural hazard.</p>	<p><b>AO2</b> The following uses are not located in land inundated by the Defined Flood Event (DFE) / Storm tide: (a) Retirement facility; (b) Community care facility; (c) Child care centre.</p>	<p><b>Not applicable</b> Proposed dwelling is not a retirement facility, community care facility or child care centre.</p>
<p><b>PO3</b> Development siting and layout responds to flooding potential and maintains personal safety</p>	<p>For Material change of use</p> <p><b>AO3.1</b> New buildings are: (a) not located within the overlay area; (b) located on the highest part of the site to minimise entrance of flood waters; (c) provided with clear and direct pedestrian and vehicle evacuation routes off the site.</p> <p>or</p> <p><b>AO3.2</b> The development incorporates an area on site that is at least 300mm above the highest known flood inundation level with sufficient space to accommodate the likely population of the development safely for a relatively short time until flash flooding subsides or people can be evacuated.</p> <p>or</p> <p><b>AO3.3</b></p>	<p><b>Not applicable</b> Proposed dwelling does not involve a Material Change of Use.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Where involving an extension to an existing dwelling house that is situated below DFE /Storm tide, the maximum size of the extension does not exceed 70m<sup>2</sup> gross floor area.</p> <p>Note – If part of the site is outside the Hazard Overlay area, this is the preferred location of all buildings. For Reconfiguring a lot</p> <p><b>AO3.4</b> Additional lots: (a) are not located in the hazard overlay area; or (b) are demonstrated to be above the flood level identified for the site.</p> <p>Note - If part of the site is outside the Hazard Overlay area, this is the preferred location for all lots (excluding park or other open space and recreation lots).</p> <p>Note – Buildings subsequently developed on the lots will need to comply with the relevant building assessment provisions under the <i>Building Act 1975</i>.</p> <p><b>AO3.5</b> Road and/or pathway layout ensures residents are not physically isolated from adjacent flood free urban areas and provides a safe and clear evacuation route path: (a) by locating entry points into the reconfiguration above the flood level and avoiding culs-de-sac or other non-permeable layouts; and (b) by direct and simple routes to main carriageways.</p> <p><b>AO3.6</b> Signage is provided on site (regardless of whether the land is in public or private ownership) indicating the position and path of all safe evacuation routes off the site and if the site contains, or is within 100m of a floodable waterway, hazard warning signage and depth indicators are also provided at key hazard points, such as at floodway crossings or entrances to low-lying reserves.</p> <p>or</p>	<p><b>Not applicable</b> Proposed dwelling does not involve reconfiguring of a lot.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO3.7</b> There is no intensification of residential uses within the flood affected areas on land situated below the DFE/Storm tide.</p>	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>For Material change of use (Residential uses) <b>AO3.8</b> The design and layout of buildings used for residential purposes minimise risk from flooding by providing: (a) parking and other low intensive, non-habitable uses at ground level;</p> <p>Note - The high-set 'Queenslander' style house is a resilient low-density housing solution in floodplain areas. Higher density residential development should ensure only non-habitable rooms (e.g. garages, laundries) are located on the ground floor.</p>	<p><b>Not applicable</b> Proposed dwelling does not involve a Material Change of Use.</p>
<p><b>PO4</b> Development is resilient to flood events by ensuring design and built form account for the potential risks of flooding.</p>	<p>For Material change of use (Non-residential uses) <b>AO4.2</b> Non residential buildings and structures allow for the flow through of flood waters on the ground floor. Note - Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site). Note - The relevant building assessment provisions under the <i>Building Act 1975</i> apply to all building work within the Hazard Area and need to take into account the flood potential within the area. <b>AO4.3</b> Materials are stored on-site: (a) are those that are readily able to be moved in a flood event; (b) where capable of creating a safety hazard by being shifted by flood waters, are contained in order to minimise movement in times of flood.</p> <p>Notes -</p>	<p><b>Not applicable</b> Proposed dwelling does not involve a Material Change of Use.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<ul style="list-style-type: none"> <li>(a) Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site).</li> <li>(b) Queensland Government Fact Sheet 'Repairing your House after a Flood' provides information about water resilient products and building techniques.</li> </ul>	
<p><b>PO5</b> Development directly, indirectly and cumulatively avoids any increase in water flow velocity or flood level and does not increase the potential flood damage either on site or on other properties.</p> <p>Note – Berms and mounds are considered to be an undesirable built form outcome and are not supported.</p>	<p>For Operational works</p> <p><b>AO5.1</b> Works in urban areas associated with the proposed development do not involve:</p> <ul style="list-style-type: none"> <li>(a) any physical alteration to a watercourse or floodway including vegetation clearing; or</li> <li>(b) a net increase in filling (including berms and mounds).</li> </ul> <p><b>AO5.2</b> Works (including buildings and earthworks) in non urban areas either:</p> <ul style="list-style-type: none"> <li>(a) do not involve a net increase in filling greater than 50m<sup>3</sup>; or</li> <li>(b) do not result in any reductions of on-site flood storage capacity and contain within the subject site any changes to depth/duration/velocity of flood waters;</li> </ul> <p>or</p> <ul style="list-style-type: none"> <li>(c) do not change flood characteristics outside the subject site in ways that result in: <ul style="list-style-type: none"> <li>(i) loss of flood storage;</li> <li>(ii) loss of/changes to flow paths;</li> <li>(iii) acceleration or retardation of flows or any reduction in flood warning times elsewhere on the flood plain.</li> </ul> </li> </ul>	<p><b>Not applicable</b> Proposal dwelling does not involve operational works.</p> <p><b>Not applicable</b> Proposal development does not involve any cut and fill.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>For Material change of use</p> <p><b>AO5.3</b> Where development is located in an area affected by DFE/Storm tide, a hydraulic and hydrology report, prepared by a suitably qualified professional, demonstrates that the development maintains the flood storage capacity on the subject site; and</p> <p>(a) does not increase the volume, velocity, concentration of flow path alignment of stormwater flow across sites upstream, downstream or in the general vicinity of the subject site; and</p> <p>(b) does not increase ponding on sites upstream, downstream or in the general vicinity of the subject site.</p> <p>For Material change of use and Reconfiguring a lot</p> <p><b>AO5.4</b> In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p> <p>Note – Fences and irrigation infrastructure (e.g. irrigation tape) in rural areas should be managed to minimise adverse the impacts that they may have on downstream properties in the event of a flood.</p>	<p><b>Not applicable</b> Proposed dwelling does not involve a Material Change of Use.</p> <p><b>Not applicable</b> Proposed dwelling does not involve a Material Change of Use.</p>
<p><b>PO6</b> Development avoids the release of hazardous materials into floodwaters.</p>	<p>For Material change of use</p> <p><b>AO6.1</b> Materials manufactured or stored on site are not hazardous or noxious, or comprise materials that may cause a detrimental effect on the environment if discharged in a flood event;</p> <p>or</p> <p><b>AO6.2</b> If a DFE level is adopted, structures used for the manufacture or storage of hazardous materials are:</p> <p>(a) located above the DFE level;</p>	<p><b>Not applicable</b> Proposed dwelling does not involve a Material Change of Use.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>or (b) designed to prevent the intrusion of floodwaters.</p> <p><b>AO6.3</b> Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by the DFE.</p> <p><b>AO6.4</b> If a flood level is not adopted, hazardous materials and their manufacturing equipment are located on the highest part of the site to enhance flood immunity and designed to prevent the intrusion of floodwaters.</p> <p>Note – Refer to <i>Work Health and Safety Act 2011</i> and associated Regulation and Guidelines, the <i>Environmental Protection Act 1994</i> and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous materials.</p>	
<p><b>PO7</b> The development supports, and does not unduly burden, disaster management response or recovery capacity and capabilities.</p>	<p><b>AO7</b> Development does not: (a) increase the number of people calculated to be at risk of flooding; (b) increase the number of people likely to need evacuation; (c) shorten flood warning times; and (d) impact on the ability of traffic to use evacuation routes, or unreasonably increase traffic volumes on evacuation routes.</p>	<p><b>Complies with AO7</b> The proposed dwelling maintains the current number of residents on this lot and does not impact the ability of traffic to use evacuation routes or unreasonably increase traffic volumes on evacuation routes.</p>
<p><b>PO8</b> Development involving community infrastructure: (a) remains functional to serve community need during and immediately after a flood event; is designed, sited and operated to avoid adverse impacts on the community or environment due to impacts of flooding on infrastructure, facilities or access and egress routes; retains essential site access during a flood event;</p>	<p><b>AO8.1</b> The following uses are not located on land inundated during a DFE/Storm tide: (b) community residence; and (b) emergency services; and (c) residential care facility; and (d) utility installations involving water and sewerage treatment plants; and (e) storage of valuable records or items of historic or cultural significance (e.g. archives, museums, galleries, libraries).</p>	<p><b>Not applicable</b> Proposed dwelling is not one of the identified uses and does not involve community infrastructure.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>is able to remain functional even when other infrastructure or services may be compromised in a flood event.</p>	<p>or</p> <p><b>AO8.2</b> The following uses are not located on land inundated during a 1% AEP flood event:</p> <ul style="list-style-type: none"> <li>(a) community and cultural facilities, including facilities where an education and care service under the Education and care Services National law (Queensland) is operated or child care service under the <i>Child Care Act 2002</i> is conducted,</li> <li>(b) community centres;</li> <li>(c) meeting halls;</li> <li>(d) galleries;</li> <li>(e) libraries.</li> </ul> <p>The following uses are not located on land inundated during a 0.5% AEP flood event.</p> <ul style="list-style-type: none"> <li>(a) emergency shelters;</li> <li>(b) police facilities;</li> <li>(c) sub stations;</li> <li>(d) water treatment plant</li> </ul> <p>The following uses are not located on land inundated during a 0.2% AEP flood event:</p> <ul style="list-style-type: none"> <li>(a) correctional facilities;</li> <li>(b) emergency services;</li> <li>(c) power stations;</li> <li>(d) major switch yards.</li> </ul> <p>and/or</p> <p><b>AO8.3</b> The following uses have direct access to low hazard evacuation routes as defined in Table 8.2.4.3.c :</p> <ul style="list-style-type: none"> <li>(a) community residence; and</li> <li>(b) emergency services; and</li> <li>(c) hospitals; and</li> <li>(d) residential care facility; and</li> </ul>	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(e) sub stations; and (f) utility installations involving water and sewerage treatment plants.</p> <p><b>AO8.4</b> Any components of infrastructure that are likely to fail to function or may result in contamination when inundated by flood, such as electrical switch gear and motors, telecommunications connections, or water supply pipeline air valves are: (a) located above DFE/Storm tide or the highest known flood level for the site; (b) designed and constructed to exclude floodwater intrusion / infiltration.</p> <p><b>AO8.5</b> Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by a flood.</p>	

Table 8.2.4.3.b - Minimum immunity (floor levels) for development

Minimum immunity to be achieved (floor levels)	Uses and elements of activities acceptable in the event
20% AEP level	<ul style="list-style-type: none"> <li>• Parks and open space.</li> </ul>
5% AEP level	<ul style="list-style-type: none"> <li>• Car parking facilities (including car parking associated with use of land).</li> </ul>
1% AEP level	<ul style="list-style-type: none"> <li>• All development (where not otherwise requiring an alternative level of minimum immunity).</li> </ul>
0.5% AEP level	<ul style="list-style-type: none"> <li>• Emergency services (if for a police station);</li> <li>• Industry activities (if including components which store, treat or use hazardous materials);</li> <li>• Substation;</li> <li>• Utility installation.</li> </ul>
0.2% AEP level	<ul style="list-style-type: none"> <li>• Emergency services;</li> <li>• Hospital;</li> </ul>

	<ul style="list-style-type: none"> <li>• Major electricity infrastructure;</li> <li>• Special industry.</li> </ul>
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Table 8.2.4.3.c - Degree of flood

Criteria	Low	Medium	High	Extreme
Wading ability	If necessary children and the elderly could wade. (Generally, safe wading velocity depth product is less than 0.25)	Fit adults can wade. (Generally, safe wading velocity depth product is less than 0.4)	Fit adults would have difficulty wading. (Generally, safe wading velocity depth product is less than 0.6)	Wading is not an option.
Evacuation distances	< 200 metres	200-400 metres	400-600 metres	600 metres
Maximum flood depths	< 0.3 metre	< 0.6 metre	< 1.2 metres	1.2 metres
Maximum flood velocity	< 0.4 metres per second	< 0.8 metres per second	< 1.5 metres per second	1.5 metres per second
Typical means of egress	Sedan	Sedan early, but 4WD or trucks later	4WD or trucks only in early stages, boats or helicopters	Large trucks, boats or helicopters
Timing Note: This category cannot be implemented until evacuation times have been established in the Counter Disaster Plan (Flooding)	Ample flood forecasting. Warning and evacuation routes remain passable for twice as long as evacuation time.	Evacuation routes remain trafficable for 1.5 times as long as the evacuation.	Evacuation routes remain trafficable for only up to minimum evacuation time.	There is insufficient evacuation time.

Note: The evacuation times for various facilities or areas would (but not necessarily) be included in the Counter Disaster Plan. Generally safe wading conditions assume even walking surfaces and no obstructions, steps, soft underfoot etc.

## 8.2.7 Natural areas overlay code

### 8.2.7.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Natural areas overlay, if:
  - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Natural areas overlay is identified on the Natural areas overlay map in Schedule 2 and includes the following sub-categories:
  - (a) MSES – Protected area;
  - (b) MSES – Marine park;
  - (c) MSES – Wildlife habitat;
  - (d) MSES – Regulated vegetation;
  - (e) MSES – Regulated vegetation (intersecting a Watercourse);
  - (f) MSES – High ecological significance wetlands;
  - (g) MSES – High ecological value waters (wetlands);
  - (h) MSES – High ecological value waters (watercourse);
  - (i) MSES – Legally secured off set area.

Note – MSES = Matters of State Environmental Significance.

- (3) When using this code, reference should be made to Part 5.

### 8.2.7.2 Purpose

- (1) The purpose of the Natural areas overlay code is to:
  - (a) implement the policy direction in the Strategic Framework, in particular:
    - (i) Theme 2: Environment and landscape values, Element 3.5.3 Biodiversity, Element 3.5.4 Coastal zones;
    - (ii) Theme 3: Natural resource management Element 3.6.2 Land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.
  - (b) enable an assessment of whether development is suitable on land within the Biodiversity area overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) development is avoided within:
    - (i) areas containing matters of state environmental significance (MSES);
    - (ii) other natural areas;

- (iii) wetlands and wetland buffers;
- (iv) waterways and waterway corridors.
- (b) where development cannot be avoided, development:
  - (i) protects and enhances areas containing matters of state environmental significance;
  - (ii) provides appropriate buffers;
  - (iii) protects the known populations and supporting habitat of rare and threatened flora and fauna species, as listed in the relevant State and Commonwealth legislation;
  - (iv) ensures that adverse direct or indirect impacts on areas of environmental significance are minimised through design, siting, operation, management and mitigation measures;
  - (v) does not cause adverse impacts on the integrity and quality of water in upstream or downstream catchments, including the Great Barrier Reef World Heritage Area;
  - (vi) protects and maintains ecological and hydrological functions of wetlands, waterways and waterway corridors;
  - (vii) enhances connectivity across barriers for aquatic species and habitats;
  - (viii) rehabilitates degraded areas to provide improved habitat condition, connectivity, function and extent;
  - (ix) protects areas of environmental significance from weeds, pests and invasive species.
- (c) strategic rehabilitation is directed to areas on or off site, where it is possible to achieve expanded habitats and increased connectivity.

**Criteria for assessment**

Table 8.2.7.3.a - Natural areas overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>Protection of matters of environmental significance</b>		
<p><b>PO1</b> Development protects matters of environmental significance.</p>	<p><b>AO1.1</b> Development avoids significant impact on the relevant environmental values.</p> <p>or</p> <p><b>AO1.2</b> A report is prepared by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, that the development site does not contain any matters of state and local environmental significance.</p> <p>or</p> <p><b>AO1.3</b> Development is located, designed and operated to mitigate significant impacts on environmental values. For example, a report certified by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, how the proposed development mitigates impacts, including on water quality, hydrology and biological processes.</p>	<p><b>Complies with AO1.1</b> Proposed development is within an existing cleared area that avoids any impact on existing vegetation and environmental values of the site. The entire remainder of the site’s environmental values will remain intact avoiding significant impact on the relevant environmental values.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>Management of impacts on matters of environmental significance</b>		
<p><b>PO2</b> Development is located, designed and constructed to avoid significant impacts on matters of environmental significance.</p>	<p><b>AO2</b> The design and layout of development minimises adverse impacts on ecologically important areas by:</p> <ul style="list-style-type: none"> <li>(a) focusing development in cleared areas to protect existing habitat;</li> <li>(b) utilising design to consolidate density and preserve existing habitat and native vegetation;</li> <li>(c) aligning new property boundaries to maintain ecologically important areas;</li> <li>(d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas;</li> <li>(e) ensuring that significant fauna habitats are protected in their environmental context; and</li> <li>(f) incorporating measures that allow for the safe movement of fauna through the site.</li> </ul>	<p><b>Complies with AO2</b> Proposed development is located in an existing cleared area with existing driveway and parking access to minimise impacts of natural landforms, hydrology, drainage patterns, flora and fauna. The existing cleared area is surrounded by natural vegetation buffers in all directions and on-site sewerage maintains required distances from on-site waterways.</p>
<p><b>PO3</b> An adequate buffer to areas of state environmental significance is provided and maintained.</p>	<p><b>AO3.1</b> A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of:</p> <ul style="list-style-type: none"> <li>(a) 100 metres where the area is located outside Urban areas; or</li> <li>(b) 50 metres where the area is located within a Urban areas.</li> </ul> <p>or</p> <p><b>AO3.2</b> A buffer for an area of state environmental significance is applied and maintained, the width of which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.</p>	<p><b>Not applicable</b> The site does not include wetland protection areas. The existing cleared area is surrounded by natural vegetation buffers in all directions and on-site sewerage maintains required distances from on-site waterways.</p>
<p><b>PO4</b> Wetland and wetland buffer areas are maintained, protected and restored.</p>	<p><b>AO4.1</b> Native vegetation within wetlands and wetland buffer areas is retained.</p>	<p><b>Not applicable</b> The site does not include wetland protection areas.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>Note – Wetland buffer areas are identified in AO3.1.</p>	<p><b>AO4.2</b> Degraded sections of wetlands and wetland buffer areas are revegetated with endemic native plants in patterns and densities which emulate the relevant regional ecosystem.</p>	
<p><b>PO5</b> Development avoids the introduction of non-native pest species (plant or animal), that pose a risk to ecological integrity.</p>	<p><b>AO5.1</b> Development avoids the introduction of non-native pest species.</p> <p><b>AO5.2</b> The threat of existing pest species is controlled by adopting pest management practices for long-term ecological integrity.</p>	<p><b>Not applicable</b> Proposal does not include landscaping.</p>
<b>Ecological connectivity</b>		
<p><b>PO6</b> Development protects and enhances ecological connectivity and/or habitat extent.</p>	<p><b>AO6.1</b> Development retains native vegetation in areas large enough to maintain ecological values, functions and processes. and <b>AO6.2</b> Development within an ecological corridor rehabilitates native vegetation. and <b>AO6.3</b> Development within a conservation corridor mitigates adverse impacts on native fauna, feeding, nesting, breeding and roosting sites and native fauna movements.</p>	<p><b>Complies with PO6</b> Proposed development is not located within an ecological corridor. Proposed development is located in existing cleared area including carport, driveway and parking areas to avoid any impact on the remainder of the site for ecological preservation. The existing cleared area is surrounded by natural vegetation buffers in all directions and on-site sewerage maintains required distances from on-site waterways.</p>
<p><b>PO7</b> Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).</p>	<p><b>AO7.1</b> Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation.  and <b>AO7.2</b></p>	<p><b>Complies with AO7.1</b> Proposed dwelling is not located within state environmentally significant areas and is located in existing cleared area including driveway, parking and manoeuvring area and avoids shading of native vegetation.</p> <p><b>Complies with AO7.2</b></p>

Performance outcomes	Acceptable outcomes	Applicant response
	Development does not encroach within 10 metres of existing riparian vegetation and watercourses.	Proposed dwelling is more than 160m from the riparian corridor (Bloomfield River) and 40-50m from the nearest waterway, to avoid any impact on the remainder of the site for ecological preservation.
<b>Waterways in an urban area</b>		
<b>PO8</b> Development is set back from waterways to protect and maintain: <ul style="list-style-type: none"> <li>(a) water quality;</li> <li>(b) hydrological functions;</li> <li>(c) ecological processes;</li> <li>(d) biodiversity values;</li> <li>(e) riparian and in-stream habitat values and connectivity;</li> <li>(f) in-stream migration</li> </ul>	<b>AO8.1</b> Where a waterway is contained within an easement or a reserve required for that purpose, development does not occur within the easement or reserve; or <b>AO8.2</b> Development does not occur on the part of the site affected by the waterway corridor. Note – Waterway corridors are identified within Table 8.2.7.3.b.	<b>Not applicable</b> Proposed dwelling is not located in an urban area.
<b>Waterways in a non-urban area</b>		
<b>PO9</b> Development is set back from waterways to protect and maintain: <ul style="list-style-type: none"> <li>(a) water quality;</li> <li>(b) hydrological functions;</li> <li>(c) ecological processes;</li> <li>(d) biodiversity values;</li> <li>(e) riparian and in-stream habitat values and connectivity;</li> <li>(f) in-stream migration.</li> </ul>	<b>AO9</b> Development does not occur on that part of the site affected by a waterway corridor. Note – Waterway corridors are identified within Table 8.2.7.3.b.	<b>Complies with AO9</b> Proposed dwelling is located in existing cleared area including carport, driveway and parking areas more than 160m from the Bloomfield River corridor and 40-50m from the nearest minor waterway, to avoid any impact on the remainder of the site for ecological preservation and existing vegetation between the septic system and waterway will remain intact.

Table 8.2.7.3.b — Widths of waterway corridors for waterways

Waterways classification	Waterway corridor width
Waterways in Urban areas	10 metres measured perpendicular from the top of the high bank.
Waterways in Other areas	For a dwelling house, 10 metres measured perpendicular from the top of the high bank. For all other development, 20 metres measured perpendicular from the top of the high bank.

## 8.2.6 Landscape values overlay code

### 8.2.6.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Landscape values overlay, if:
  - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Landscape values overlay is identified on the Landscape values overlay map in Schedule 2 and includes in following sub-categories:
  - (a) High landscape value sub-category;
  - (b) Medium landscape value sub-category;
  - (c) Scenic route buffer / view corridor area sub-category;
  - (d) Coastal scenery area sub-category.
- (3) When using this code, reference should be made to Part 5.

### 8.2.6.2 Purpose

- (1) The purpose of the Landscape values overlay code is to:
  - (a) implement the policy direction of the Strategic Framework, in particular:
    - (i) Theme 2: Environment and landscape values Element 3.5.5 Scenic amenity;
    - (ii) Theme 3: Natural resource management Element 3.6.4 – Resource extraction.
  - (b) enable an assessment of whether development is suitable on land within the Landscape values overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) areas of High landscape value are protected, retained and enhanced;
  - (b) areas of Medium landscape value are managed to integrate and limit the visual impact of development;
  - (c) the landscape values of the Coastal scenery area are managed to integrate and limit the visual impact of development;
  - (d) development maintains and enhances the significant landscape elements and features which contribute to the distinctive character and identity of Douglas Shire;
  - (e) ridges and vegetated hillslopes are not developed in a way that adversely impacts on landscape values;
  - (f) watercourses, forested mountains and coastal landscape character types remain predominantly natural in appearance in order to maintain the region's diverse character and distinctive tropical image, in particular:
    - (i) areas in the coastal landscape character type which are predominantly natural and undeveloped in appearance retain this natural landscape character;

- (ii) watercourses which are predominantly natural and undeveloped in appearance retain this natural landscape character;
- (iii) the rural character of cane fields and lowlands landscape character types which are predominantly rural or natural in appearance are maintained;
- (iv) landscape values are maintained when viewed from lookouts, scenic routes, gateways and public places.
- (g) views towards High landscape value areas and the Coral Sea are not diminished;
- (h) development is consistent with the prevailing landscape character of its setting, and is neither visually dominant nor visually intrusive;
- (i) advertising devices do not detract from the landscape values, character types or amenity of an area.

### Criteria for assessment

Table 8.2.6.3.z – Landscape values overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For assessable development</b>		
<b>Development in a High landscape value area</b>		
<p><b>PO1</b> Development within High landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</p> <p>(b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 3 years of construction;</p>	<p><b>AO1.1</b> Buildings and structures are not more than 8.5 metres and two storeys in height.</p> <p>Note - Height is inclusive of roof height.</p> <p><b>AO1.2</b> Buildings and structures are setback not less than 50 metres from ridgelines or peaks.</p> <p><b>AO1.3</b> Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p>	<p><b>Complies with AO1.1</b> Proposed dwelling is not more than 8.5m and two storeys in height, inclusive of roof height.</p> <p><b>Not applicable</b> Proposed dwelling is not located on or near a ridgeline or peak.</p> <p><b>Complies with AO1.3</b> Proposed dwelling is approx.40m from Banabilla Rd frontage and effectively screened by existing natural landform and vegetation.</p>
<p>(c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</p> <p>(d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</p> <p>(e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as</p>	<p><b>AO1.4</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided: (c) development follows the natural; contours of the site; buildings are split level or suspended floor construction, or a combination of the two; lightweight materials are used to areas with suspended floors.</p>	<p><b>Not applicable</b> Proposed dwelling is located on flat land with low gradient (approximately 0.08% gradient) from Banabilla Rd.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</p> <p>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(g) extractive industry operations are avoided.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p> <p><b>AO1.5</b> The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p> <p><b>AO1.6</b> No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.5%).</p> <p><b>AO1.7</b> Where for accommodation activities or reconfiguration of a lot in a High landscape value area, development demonstrates that the height, design, scale, positioning on-site, proposed construction materials and external finishes are compatible with the landscape values.</p> <p>Note - A visual impact assessment undertaken in accordance with Planning scheme policy SC6.6 – Landscape values may be required.</p> <p><b>AO1.8</b> Advertising devices do not occur.</p>	<p><b>Complies with AO1.5</b> Proposed timber dwelling will feature a subdued non-reflective palette consistent natural colours and materials in line with the goals of the Environmental Management Zone and Landscape Values Overlay Code.</p> <p><b>Not applicable</b> Proposed dwelling is located on flat land with low 0.08% gradient from Banabilla Rd and does not involve any further clearing of native vegetation.</p> <p><b>Not applicable</b> Proposed development does not involve accommodation activities or reconfiguring of a lot.</p> <p><b>Not applicable</b> Proposed development does not involve advertising devices.</p>
<b>Development within the Medium landscape value area</b>		
<p><b>PO2</b> Development within Medium landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</p>	<p><b>AO2.1</b> Buildings and structures are not more than 8.5 metres and two storeys in height.</p> <p>Note - Height is inclusive of the roof height.</p> <p><b>AO2.2</b> Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p>	<p><b>Not applicable</b> Proposed development is located within High landscape value area, not the Medium landscape value area.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>(b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 5 years of construction;</p> <p>(c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</p> <p>(d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</p> <p>(e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</p> <p>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(g) extractive industry operations are avoided, or where they cannot be avoided, are screened from view.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p><b>AO2.3</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p> <p>(a) development follows the natural; contours of the site;</p> <p>(b) buildings are split level or suspended floor construction, or a combination of the two;</p> <p>(c) lightweight materials are used to areas with suspended floors.</p> <p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p> <p><b>AO2.4</b> The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p> <p><b>AO2.5</b> No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.6%).</p> <p><b>AO2.6</b> Advertising devices do not occur.</p>	
<b>Development within a Scenic route buffer / view corridor area</b>		
<p><b>PO3</b> Development within a Scenic route buffer / view corridor area as identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(a) retains visual access to views of the surrounding landscape, the sea and other water bodies;</p> <p>(b) retains existing vegetation and incorporates landscaping to visually screen and soften built</p>	<p><b>AO3.1</b> Where within a Scenic route buffer / view corridor area, the height of buildings and structures is not more than identified within the acceptable outcomes of the applicable zone code.</p> <p><b>AO3.2</b></p>	<p><b>Not applicable</b> Proposed development is located within High landscape value area, not within a Scenic route buffer / view corridor area.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>form elements whilst not impeding distant views or view corridors;</p> <p>(c) incorporates building materials and external finishes that are compatible with the visual amenity and the landscape character;</p> <p>(d) minimises visual impacts on the setting and views in terms of:</p> <p>(e) the scale, height and setback of buildings;</p> <p>(f) the extent of earthworks and impacts on the landform including the location and configuration of access roads and driveways;</p> <p>(g) the scale, extent and visual prominence of advertising devices.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>No clearing of native vegetation is undertaken within a Scenic route buffer area.</p> <p><b>AO3.3</b> Where within a Scenic route buffer / view corridor area development is set back and screened from view from a scenic route by existing native vegetation with a width of at least 10 metres and landscaped in accordance with the requirements of the landscaping code.</p> <p><b>AO3.4</b> Development does not result in the replacement of, or creation of new, additional, or enlarged advertising devices.</p>	
<b>Development within the Coastal scenery area</b>		
<p><b>PO4</b> The landscape values of the Coastal scenery zone as identified on the Landscape values overlay maps contained in Schedule 2 are managed to integrated and limit the visual impact of development.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p><b>AO4.1</b> The dominance of the natural character of the coast is maintained or enhanced when viewed from the foreshore.</p> <p><b>AO4.2</b> Where located adjacent to the foreshore buildings and structures are setback:</p> <p>(a) Where no adjoining development, a minimum of 50 metres from the coastal high water mark and the setback area is landscaped with a native vegetation buffer that has a minimum width of 25 metres; or</p> <p>(b) Where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures, but not less than 10 metres from the coastal high water mark. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p> <p><b>AO4.3</b> Where separated from the foreshore by land contained within public ownership (e.g. unallocated State land,</p>	<p><b>Not applicable</b> Proposed development is located within High landscape value area, not within the Coastal scenery area.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>esplanade or other public open space), buildings and structures area setback:</p> <p>(a) where no adjoining development, a minimum of 6 metres from the coastward property boundary. The setback area is landscaped in accordance with the requirements of the Landscaping code; or</p> <p>(b) where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p>	
<p><b>PO5</b> Development is to maximise opportunities to maintain and/or enhance natural landscape values through the maintenance and restoration of vegetated buffers between development and coastal waters, where practical.</p> <p>Note – A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in satisfaction of a performance outcome.</p>	<p><b>A05</b> No clearing of native vegetation is undertaken within a Coastal scenery area zone, except for exempt vegetation damage undertaken in accordance with the Vegetation management code</p>	<p><b>Not applicable</b> Proposed development is located within High landscape value area, not within the Coastal scenery area.</p>

## 8.2.10 Transport network overlay code

### 8.2.10.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Transport network overlay; if:
  - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land within the Transport network overlay is identified on the Transport network (Road Hierarchy) overlay map and the Transport network (Pedestrian and Cycle) overlay map in Schedule 2 and includes the following sub-categories:
  - (a) Transport network (Road Hierarchy) overlay sub-categories:
    - (i) State controlled road sub-category;
    - (ii) Sub-arterial road sub-category;
    - (iii) Collector road sub-category;
    - (iv) Access road sub-category;
    - (v) Industrial road sub-category;
    - (vi) Major rural road sub-category;
    - (vii) Minor rural road sub-category;
    - (viii) Unformed road sub-category;
    - (ix) Major transport corridor buffer area sub-category.
  - (b) Transport network (Pedestrian and Cycle) overlay sub-categories:
    - (i) Principal route;
    - (ii) Future principal route;
    - (iii) District route;
    - (iv) Neighbourhood route;
    - (v) Strategic investigation route.

### 8.2.10.2 Purpose

- (1) The purpose of the Transport network overlay code is to:
  - (a) implement the policy direction of the Strategic Framework, in particular:
    - (i) Theme 1: Settlement pattern Element 3.4.2 Urban settlement, Element 3.4.3 Activity centres;
    - (ii) Theme 6: Infrastructure and transport Element 3.9.4 Transport;
  - (b) enable an assessment of whether development is suitable on land within the Transport network overlay.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) development provides for transport infrastructure (including active transport infrastructure);
  - (b) development contributes to a safe and efficient transport network;
  - (c) development supports the existing and future role and function of the transport network;
  - (d) development does not compromise the safety and efficiency of major transport infrastructure and facilities.

### Criteria for assessment

Table 8.2.10.3 a – Transport network overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For assessable development</b>		
<p><b>PO1</b> Development supports the road hierarchy for the region.</p> <p>Note -A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p><b>AO1.1</b> Development is compatible with the intended role and function of the transport network as identified on the Transport network overlay maps contained in Schedule 2.</p> <p><b>AO1.2</b> Development does not compromise the safety and efficiency of the transport network.</p>	<p><b>Complies with AO1.1</b> Proposed dwelling is compatible with intended role and function of Banabilla Rd (unformed road in the road hierarchy).</p> <p><b>Complies with AO1.2</b> Proposed dwelling maintains existing access and population to Banabilla Rd (unformed road in the road hierarchy).</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO1.3</b> Development is designed to provide access via the lowest order road, where legal and practicable access can be provided to that road.</p>	<p><b>Complies with AO1.2</b> Proposed dwelling maintains existing access and population to Banabilla Rd (unformed road in the road hierarchy).</p>
<p><b>PO2</b> Transport infrastructure is provided in an integrated and timely manner.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p><b>AO2</b> Development provides infrastructure (including improvements to existing infrastructure) in accordance with: (a) the Transport network overlay maps contained in Schedule 2; (b) any relevant Local Plan.</p> <p>Note – The Translink Public Transport Infrastructure Manual provides guidance on the design of public transport facilities.</p>	<p><b>Complies with AO1.2</b> Proposed dwelling maintains existing access and population to Banabilla Rd. Banabilla Rd is an unformed road in the road hierarchy and does not currently provide relevant transport infrastructure, such as public transport.</p>
<p><b>PO3</b> Development involving sensitive land uses within a major transport corridor buffer area is located, designed and maintained to avoid or mitigate adverse impacts on amenity for the sensitive land use.</p>	<p><b>AO3</b> No acceptable outcomes are prescribed.</p> <p>Note – Part 4.4 of the Queensland Development Code provides requirements for residential building design in a designated transport noise corridor.</p>	<p><b>Not applicable</b> Proposed development does not involve sensitive land uses within a major transport corridor buffer area.</p>
<p><b>PO4</b> Development does not compromise the intended role and function or safety and efficiency of major transport corridors.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p><b>AO4.1</b> Development is compatible with the role and function (including the future role and function) of major transport corridors.</p> <p><b>AO4.2</b> Direct access is not provided to a major transport corridor where legal and practical access from another road is available.</p>	<p><b>Not applicable</b> Proposed development is not located adjacent to a major transport corridor.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO4.3</b> Intersection and access points associated with major transport corridors are located in accordance with: (a) the Transport network overlay maps contained in Schedule 2; and (b) any relevant Local Plan.</p> <p><b>AO4.4</b> The layout of development and the design of the associated access is compatible with existing and future boundaries of the major transport corridor or major transport facility.</p>	
<p><b>PO5</b> Development retains and enhances existing vegetation between a development and a major transport corridor, so as to provide screening to potential noise, dust, odour and visual impacts emanating from the corridor.</p>	<p><b>AO5</b> No acceptable outcomes are prescribed.</p>	<p><b>Not applicable</b> Proposed development is not located adjacent to a major transport corridor.</p>
<b>Pedestrian and cycle network</b>		
<p><b>PO6</b> Lot reconfiguration assists in the implementation of the pedestrian and cycle movement network to achieve safe, attractive and efficient pedestrian and cycle networks</p>	<p><b>AO6.1</b> Where a lot is subject to, or adjacent to an element of the pedestrian and cycle Movement network (identified on the Transport network overlay maps contained in Schedule 2) the specific location of this element of the pedestrian and cycle network is incorporated in the design of the lot layout.</p> <p><b>AO6.2</b> The element of the pedestrian and cycle network is constructed in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC6.5 – FNQROC Regional Development Manual.</p>	<p><b>Not applicable</b> Proposed development is not located adjacent to an identified pedestrian and cycle movement network and does not involve reconfiguring of a lot.</p>

## 9.4.1 Access, parking and servicing code

### 9.4.1.1 Application

- (1) This code applies to:
  - (a) operational work which requires a compliance assessment as a condition of a development permit; or
  - (b) a material change of use or reconfiguring a lot if:
    - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.
  
- (2) When using this code, reference should be made to Part 5.

### 9.4.1.2 Purpose

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
  - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
  - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
  - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
  - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
  - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.

### 9.4.1.3 Criteria for assessment

Table 9.4.1.3.a – Access, parking and servicing code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:</p> <ul style="list-style-type: none"> <li>(a) the desired character of the area;</li> <li>(b) the nature of the particular use and its specific characteristics and scale;</li> <li>(c) the number of employees and the likely number of visitors to the site;</li> <li>(d) the level of local accessibility;</li> <li>(e) the nature and frequency of any public transport serving the area;</li> <li>(f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building</li> <li>(g) whether or not the use involves a heritage building or place of local significance;</li> <li>(h) whether or not the proposed use involves the retention of significant vegetation.</li> </ul>	<p><b>AO1.1</b> The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p> <p><b>AO1.2</b> Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.</p> <p><b>AO1.3</b> Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p> <p><b>AO1.4</b> For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>	<p><b>Not applicable</b> Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO3</b> Access points are designed and constructed:</p> <ul style="list-style-type: none"> <li>(a) to operate safely and efficiently;</li> <li>(b) to accommodate the anticipated type and volume of vehicles</li> <li>(c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate;</li> <li>(d) so that they do not impede traffic or pedestrian movement on the adjacent road area;</li> <li>(e) so that they do not adversely impact upon existing intersections or future road or intersection improvements;</li> <li>(f) so that they do not adversely impact current and future on-street parking arrangements;</li> <li>(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;</li> <li>(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</li> </ul>	<p><b>AO3.1</b> Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with:</p> <ul style="list-style-type: none"> <li>(a) Australian Standard AS2890.1;</li> <li>(b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.</li> </ul> <p><b>AO3.2</b> Access, including driveways or access crossovers:</p> <ul style="list-style-type: none"> <li>(a) are not placed over an existing: <ul style="list-style-type: none"> <li>(i) telecommunications pit;</li> <li>(ii) stormwater kerb inlet;</li> <li>(iii) sewer utility hole;</li> <li>(iv) water valve or hydrant.</li> </ul> </li> <li>(b) are designed to accommodate any adjacent footpath;</li> <li>(c) adhere to minimum sight distance requirements in accordance with AS2980.1.</li> </ul> <p><b>AO3.3</b> Driveways are:</p> <ul style="list-style-type: none"> <li>(a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual;</li> <li>(b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;</li> <li>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;</li> <li>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</li> <li>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</li> </ul>	<p><b>Not applicable</b> Proposed dwelling will continue to benefit from existing access via Banabilla Rd. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>A03.4</b> Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	
<p><b>P04</b> Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p><b>A04</b> The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	<p><b>Not applicable</b> Private dwelling use only. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<p><b>P05</b> Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p><b>A05</b> Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	<p><b>Not applicable</b> Private dwelling use only. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<p><b>P06</b> Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.</p>	<p><b>A06</b> The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.1.3.b.</p>	<p><b>Not applicable</b> Private dwelling use only. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>P07</b> Development provides secure and convenient bicycle parking which:</p> <ul style="list-style-type: none"> <li>(a) for visitors is obvious and located close to the building's main entrance;</li> <li>(b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building;</li> <li>(c) is easily and safely accessible from outside the site.</li> </ul>	<p><b>A07.1</b> Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);</p> <p><b>A07.2</b> Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.</p> <p><b>A07.3</b> Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	<p><b>Not applicable</b> Private dwelling use only. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<p><b>P08</b></p>	<p><b>A08</b></p>	<p><b>Not applicable</b></p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>Development provides walking and cycle routes through the site which:</p> <ul style="list-style-type: none"> <li>(a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes;</li> <li>(b) encourage walking and cycling;</li> <li>(c) ensure pedestrian and cyclist safety.</li> </ul>	<p>Development provides walking and cycle routes which are constructed on the carriageway or through the site to:</p> <ul style="list-style-type: none"> <li>(a) create a walking or cycle route along the full frontage of the site;</li> <li>(b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.</li> </ul>	<p>Private dwelling use only. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<p><b>PO9</b> Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <ul style="list-style-type: none"> <li>(a) in accordance with relevant standards;</li> <li>(b) so that they do not interfere with the amenity of the surrounding area;</li> <li>(c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.</li> </ul>	<p><b>AO9.1</b> Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.</p> <p><b>AO9.2</b> Service and loading areas are contained fully within the site.</p>	<p><b>Not applicable</b> Private dwelling use only. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
	<p><b>AO9.3</b> The movement of service vehicles and service operations are designed so they:</p> <ul style="list-style-type: none"> <li>(a) do not impede access to parking spaces;</li> <li>(b) do not impede vehicle or pedestrian traffic movement.</li> </ul>	<p><b>Not applicable</b> Private dwelling use only. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<p><b>PO10</b> Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p><b>AO10.1</b> Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses:</p> <ul style="list-style-type: none"> <li>(a) car wash;</li> <li>(b) child care centre;</li> <li>(c) educational establishment where for a school;</li> <li>(d) food and drink outlet, where including a drive-through facility;</li> <li>(e) hardware and trade supplies, where including a drive-through facility;</li> </ul>	<p><b>Not applicable</b> Private dwelling use only. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(f) hotel, where including a drive-through facility;                      (g) service station.</p> <p><b>AO10.2</b>                      Queuing and set-down areas are designed and constructed in accordance with AS2890.1.</p>	

## 9.4.4 Filling and excavation code

### 9.4.4.1 Application

- (1) This code applies to assessing:
  - (a) operational work for filling or excavation which is self-assessable or code assessable development if this code is an applicable code identified in the assessment criteria column of a table of assessment; or
  - (b) a material change of use or reconfiguring a lot if:
    - (i) assessable development where this code is identified as a prescribed secondary code in the assessment criteria column of a table of assessment; or
    - (ii) impact assessable development, to the extent relevant.

Note—This code does not apply to building work that is regulated under the Building Code of Australia. (2) When using this code, reference should be made to Part 5.

### 9.4.4.2 Purpose

- (1) The purpose of the Filling and excavation code is to assess the suitability of development for filling or excavation.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) filling or excavation does not impact on the character or amenity of the site and surrounding areas;
  - (b) filling and excavation does not adversely impact on the environment;
  - (c) filling and excavation does not impact on water quality or drainage of upstream, downstream or adjoining properties;
  - (d) filling and excavation is designed to be fit for purpose and does not create land stability issues;
  - (e) filling and excavation works do not involve complex engineering solutions.

9.4.4.3 Criteria for assessment

Table 9.4.4.3.a –Filling and excavation code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>Filling and excavation - General</b>		
<p><b>PO1</b> All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.</p>	<p><b>AO1.1</b> The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height.</p> <p>and</p> <p>Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.</p> <p><b>AO1.2</b> Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation.</p> <p><b>AO1.3</b> Cuts are screened from view by the siting of the building/structure, wherever possible.</p> <p><b>AO1.4</b> Topsoil from the site is retained from cuttings and reused on benches/terraces.</p> <p><b>AO1.5</b> No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.</p> <p><b>AO1.6</b> Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.</p>	<p><b>Not applicable</b> Proposed development does not involve any filling and excavation work of this nature, only the construction of dwelling house footings and an on-site septic tank system with minimal environmental impact. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>Visual Impact and Site Stability</b>		
<p><b>PO2</b> Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.</p>	<p><b>AO2.1</b> The extent of filling and excavation does not exceed 40% of the site area, or 500m<sup>2</sup> whichever is the lesser, except that AO2.1 does not apply to reconfiguration of 5 lots or more.</p> <p><b>AO2.2</b> Filling and excavation does not occur within 2 metres of the site boundary.</p>	<p><b>Not applicable</b> Proposed development does not involve any filling and excavation work of this nature, only the construction of dwelling house footings and an on-site septic tank system with minimal environmental impact. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<b>Flooding and drainage</b>		
<p><b>PO3</b> Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves.</p>	<p><b>AO3.1</b> Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves.</p> <p><b>AO3.2</b> Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves.</p> <p><b>AO3.3</b> Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths.</p>	<p><b>Not applicable</b> Proposed development does not involve any filling and excavation work of this nature, only the construction of dwelling house footings and an on-site septic tank system with minimal environmental impact. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO3.4</b> Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.</p>	<p><b>Not applicable</b> Proposed development does not involve any filling and excavation work of this nature, only the construction of dwelling house footings and an on-site septic tank system with minimal environmental impact. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<b>Water quality</b>		
<p><b>PO4</b> Filling and excavation does not result in a reduction of the water quality of receiving waters.</p>	<p><b>AO4</b> Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.</p>	<p><b>Not applicable</b> Proposed development does not involve any filling and excavation work of this nature, only the construction of dwelling house footings and an on-site septic tank system with minimal environmental impact. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<b>Infrastructure</b>		
<p><b>PO5</b> Excavation and filling does not impact on Public Utilities.</p>	<p><b>AO5</b> Excavation and filling is clear of the zone of influence of public utilities.</p>	<p><b>Not applicable</b> Proposed development does not involve any filling and excavation work of this nature, only the construction of dwelling house footings and an on-site septic tank system with minimal environmental impact. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

## 9.4.5 Infrastructure works code

### 9.4.5.1 Application

- (1) This code applies to assessing:
  - (a) operational work which requires an assessment as a condition of a development permit or is assessable development if this code is identified in the assessment criteria column of a table of assessment;
  - (b) a material change of use or reconfiguring a lot if:
    - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.

Note – The Filling and excavation code applies to operational work for filling and excavation. (2) When using this code, reference should be made to Part 5.

### 9.4.5.2 Purpose

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by, and connected to, infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
  - (b) development maintains high environmental standards;
  - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;
  - (d) the integrity of existing infrastructure is maintained;
  - (e) development does not detract from environmental values or the desired character and amenity of an area.

9.4.5.3 Criteria for assessment

Table 9.4.5.3.a – Infrastructure works code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>Works on a local government road</b>		
<p><b>PO1</b> Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.</p>	<p><b>AO1.1</b> Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p><b>AO1.2</b> Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 – FNQROC Regional Development Manual.</p> <p><b>AO1.3</b> New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths: (a) are installed via trenchless methods; or (b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section.</p> <p><b>AO1.4</b> Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring: (a) similar surface finishes are used; (b) there is no change in level at joins of new and existing sections; (c) new sections are matched to existing in terms of dimension and reinforcement.</p> <p>Note – Figure 9.4.5.3.a provides guidance on meeting the outcomes.</p> <p><b>AO1.5</b></p>	<p><b>Not applicable</b> Proposal does not involve works on a local government road. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.	
<b>Accessibility structures</b>		
<p><b>PO2</b> Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p><b>AO2.1</b> Accessibility structures are not located within the road reserve.</p> <p><b>AO2.2</b> Accessibility structures are designed in accordance with AS1428.3.</p> <p><b>AO2.3</b> When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	<p><b>Not applicable</b> Proposal does not involve accessibility structures on footpaths. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>
<b>Water supply</b>		
<p><b>PO3</b> An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p><b>AO3.1</b> The premises is connected to Council’s reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p>	<p><b>Complies with PO3</b> A reticulated water supply system does not exist for the area. The proposed dwelling will provide adequate, safe and reliable supply of potable, fire fighting and general use water, utilising the existing water tank and bore. Applicant may purchase an additional water tank in future to achieve 10,000L. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO3.2</b> Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	
<b>Treatment and disposal of effluent</b>		
<p><b>PO4</b> Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.</p>	<p><b>AO4.1</b> The site is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;  or  <b>AO4.2</b> Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i>.</p>	<p><b>Complies with AO4.2</b> Proposed dwelling will feature a compliant septic system design approved by Douglas Shire Council's Plumbing Inspector, see <i>Attachment Council approved Wastewater Design &amp; Permit</i>. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>Stormwater quality</b>		
<p><b>PO5</b> Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by:</p> <ul style="list-style-type: none"> <li>(a) achieving stormwater quality objectives;</li> <li>(b) protecting water environmental values;</li> <li>(c) maintaining waterway hydrology.</li> </ul>	<p><b>AO5.1</b> A connection is provided from the premises to Council’s drainage system;</p> <p>or</p> <p><b>AO5.2</b> An underground drainage system is constructed to convey stormwater from the premises to Council’s drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p><b>AO5.3</b> A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.5.3.b and Table 9.4.5.3.c, reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> <li>(a) erosive, dispersive and/or saline soil types;</li> <li>(b) landscape features (including landform);</li> <li>(c) acid sulfate soil and management of nutrients of concern;</li> <li>(d) rainfall erosivity.</li> </ul> <p><b>AO5.4</b> Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan.</p>	<p><b>Complies with PO5</b> Proposed dwelling will feature a compliant stormwater drainage design.</p> <p>The Owner Builder will ensure any contractors utilise an erosion and sediment control plan in line with Owner Builder requirements. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO5.5</b> Development incorporates stormwater flow control measures to achieve the design objectives set out in Table 9.4.5.3.b and Table 9.4.5.3.c, including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act 1994</i>.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	
<b>Non-tidal artificial waterways</b>		
<p><b>PO6</b> Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <ul style="list-style-type: none"> <li>(a) protect water environmental values;</li> <li>(b) be compatible with the land use constraints for the site for protecting water environmental values;</li> <li>(c) be compatible with existing tidal and non-tidal waterways;</li> <li>(d) perform a function in addition to stormwater management;</li> <li>(e) achieve water quality objectives.</li> </ul>	<p><b>AO6.1</b> Development involving non-tidal artificial waterways ensures:</p> <ul style="list-style-type: none"> <li>(a) environmental values in downstream waterways are protected;</li> <li>(b) any ground water recharge areas are not affected;</li> <li>(c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway;</li> <li>(d) existing areas of ponded water are included.</li> </ul> <p><b>AO6.2</b> Non-tidal artificial waterways are located:</p> <ul style="list-style-type: none"> <li>(a) outside natural wetlands and any associated buffer areas;</li> <li>(b) to minimise disturbing soils or sediments;</li> <li>(c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.</li> </ul> <p><b>AO6.3</b> Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures:</p> <ul style="list-style-type: none"> <li>(a) there is sufficient flushing or a tidal range of &gt;0.3 m;</li> </ul> <p>or</p>	<p><b>Not applicable</b> Proposed development does not involve non-tidal artificial waterways. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) any tidal flow alteration does not adversely impact on the tidal waterway; or</p> <p>(c) there is no introduction of salt water into freshwater environments.</p> <p><b>AO6.4</b> Non-tidal artificial waterways are designed and managed for any of the following end-use purposes:</p> <p>(a) amenity (including aesthetics), landscaping or recreation; or</p> <p>(b) flood management, in accordance with a drainage catchment management plan; or</p> <p>(c) stormwater harvesting plan as part of an integrated water cycle management plan; or</p> <p>(d) aquatic habitat.</p> <p><b>AO6.5</b> The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.</p> <p><b>AO6.6</b> Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.</p> <p><b>AO6.7</b> Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.</p>	
<b>Wastewater discharge</b>		
<p><b>PO7</b> Discharge of wastewater to waterways, or off site:</p> <p>(a) meets best practice environmental management;</p> <p>(b) is treated to:</p> <p>(i) meet water quality objectives for its receiving waters;</p>	<p><b>AO7.1</b> A wastewater management plan is prepared and addresses:</p> <p>(a) wastewater type;</p> <p>(b) climatic conditions;</p> <p>(c) water quality objectives;</p> <p>(d) best practice environmental management.</p>	<p><b>Complies with AO7.1</b> Proposed dwelling will feature a compliant wastewater management plan approved by Douglas Shire Council's Plumbing Inspector, see <i>Attachment Council approved Wastewater Design &amp; Permit</i>.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<ul style="list-style-type: none"> <li>(ii) avoid adverse impact on ecosystem health or waterway health;</li> <li>(iii) maintain ecological processes, riparian vegetation and waterway integrity;</li> <li>(iv) offset impacts on high ecological value waters.</li> </ul>	<p><b>AO7.2</b> The waste water management plan is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> <li>(a) avoids wastewater discharge to waterways; or</li> <li>(b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and ground water.</li> </ul>	<p><b>Complies with AO7.2</b> Proposed dwelling will feature a compliant wastewater management plan approved by Douglas Shire Council's Plumbing Inspector, see <i>Attachment Council approved Wastewater Design &amp; Permit</i>.</p>
	<p><b>AO7.3</b> Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.</p> <p><b>AO7.4</b> Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <ul style="list-style-type: none"> <li>(a) avoids lowering ground water levels where potential or actual acid sulfate soils are present;</li> </ul>	<p><b>Complies with AO7.3</b> Proposed dwelling features an approved wastewater design, see <i>Attachment Council approved Wastewater Design &amp; Permit</i>.</p> <p><b>Complies with AO7.4</b> Proposed dwelling features an approved wastewater design, see <i>Attachment Council approved Wastewater Design &amp; Permit</i>.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<ul style="list-style-type: none"> <li>(b) manages wastewater so that:               <ul style="list-style-type: none"> <li>(i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals;</li> <li>(ii) holding times of neutralised wastewater ensures the flocculation and removal of any dissolved iron prior to release;</li> <li>(iii) visible iron floc is not present in any discharge;</li> <li>(iv) precipitated iron floc is contained and disposed of;</li> </ul> </li> </ul>	

Performance outcomes	Acceptable outcomes	Applicant response
	(v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method.	
<b>Electricity supply</b>		
<p><b>PO8</b> Development is provided with a source of power that will meet its energy needs.</p>	<p><b>AO8.1</b> A connection is provided from the premises to the electricity distribution network;</p> <p>or</p> <p><b>AO8.2</b> The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Areas north of the Daintree River have a different standard.</p>	<p><b>Complies with AO8.1</b> Proposed dwelling will include a connection to an existing mains power connection on the property.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO9</b> Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p><b>AO9.1</b> Pad-mount electricity infrastructure is: (a) not located in land for open space or sport and recreation purposes; (b) screened from view by landscaping or fencing; (c) accessible for maintenance.</p> <p><b>AO9.2</b> Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage.</p> <p>Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.</p>	<p><b>Not applicable</b> Proposal does not include pad-mounted electricity.</p>
<b>Telecommunication</b>		
<p><b>PO10</b> Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.</p>	<p><b>AO10</b> The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.</p>	<p><b>Not applicable</b> Telstra has confirmed in writing that any telecommunication infrastructure in Banabilla Rd is discontinued.</p>
<p><b>PO11</b> Provision is made for future telecommunications services (e.g. fibre optic cable).</p>	<p><b>AO11</b> Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p><b>Not applicable</b> Telstra has confirmed in writing that any telecommunication infrastructure in Banabilla Rd is discontinued.</p>
<b>Road construction</b>		
<p><b>PO12</b> The road to the frontage of the premises is constructed to provide for the safe and efficient movement of: (a) pedestrians and cyclists to and from the site; (b) pedestrians and cyclists adjacent to the site; (c) vehicles on the road adjacent to the site; (d) vehicles to and from the site; (e) emergency vehicles.</p>	<p><b>AO12.1</b> The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.</p>	<p><b>Not applicable</b> Proposed dwelling house does not involve road construction. Banabilla Rd is an unformed road in the road hierarchy. Proposed dwelling is a Building Works application and therefore not applicable in the application of this code.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO12.2</b> There is existing road, kerb and channel for the full road frontage of the site.</p> <p><b>AO12.3</b> Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.</p>	<p><b>Not applicable</b> Proposed dwelling house does not involve road construction. Banabilla Rd is an unformed road in the road hierarchy.</p> <p><b>Complies with AO12.3</b> Proposed dwelling house does not involve road construction. Banabilla Rd is an unformed road in the road hierarchy. Existing driveway provides minimum clearances required for emergency vehicles.</p>
<b>Alterations and repairs to public utility services</b>		
<p><b>PO13</b> Infrastructure is integrated with, and efficiently extends, existing networks.</p>	<p><b>AO13</b> Development is designed to allow for efficient connection to existing infrastructure networks.</p>	<p><b>Not applicable</b> Proposed dwelling house does not involve alterations and repairs to public utility services.</p>
<p><b>PO14</b> Development and works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p><b>AO14.1</b> Public utility mains, services and installations are not required to be altered or repaired as a result of the development;</p> <p>or</p> <p><b>AO14.2</b> Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p><b>Not applicable</b> Proposed dwelling house does not involve alterations and repairs to public utility services.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>Construction management</b>		
<p><b>PO15</b> Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.</p>	<p><b>AO15</b> Works include, at a minimum: (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory signage; (c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation; (d) removal from the site of all declared noxious weeds.</p>	<p><b>Complies with AO15</b> The Owner Builder will ensure a construction management plan that complies with AO15.</p>
<p><b>PO16</b> Existing infrastructure is not damaged by construction activities.</p>	<p><b>AO16</b> Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.</p>	<p><b>Not applicable</b> There are no repairs to infrastructure included in this proposed dwelling proposal.</p>
<b>For assessable development</b>		
<b>High speed telecommunication infrastructure</b>		
<p><b>PO17</b> Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.</p>	<p><b>AO17</b> No acceptable outcomes are prescribed.</p>	<p><b>Not applicable</b> Proposed dwelling house does not involve construction of high speed telecommunications infrastructure. Telstra has confirmed in writing that any telecommunication infrastructure in Banabilla Rd is discontinued.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>Trade waste</b>		
<p><b>PO18</b> Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that:</p> <ul style="list-style-type: none"> <li>(a) off-site releases of contaminants do not occur;</li> <li>(b) the health and safety of people and the environment are protected;</li> <li>(c) the performance of the wastewater system is not put at risk.</li> </ul>	<p><b>AO18</b> No acceptable outcomes are prescribed.</p>	<p><b>Not applicable</b> Proposed dwelling house does not involve trade waste.</p>
<b>Fire services in developments accessed by common private title</b>		
<p><b>PO19</b> Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p><b>AO19.1</b> Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.</p> <p><b>AO19.2</b> Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.</p>	<p><b>Not applicable</b> Proposed dwelling house does not involve fire services in developments accessed by a common private title.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO20</b> Hydrants are suitable identified so that fire services can locate them at all hours.</p> <p>Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.</p>	<p><b>AO20</b> No acceptable outcomes are prescribed.</p>	<p><b>Not applicable</b> Proposed dwelling house does not involve fire services in developments accessed by a common private title.</p>

Table 9.4.5.3.b – Stormwater management design objectives (Construction phase).

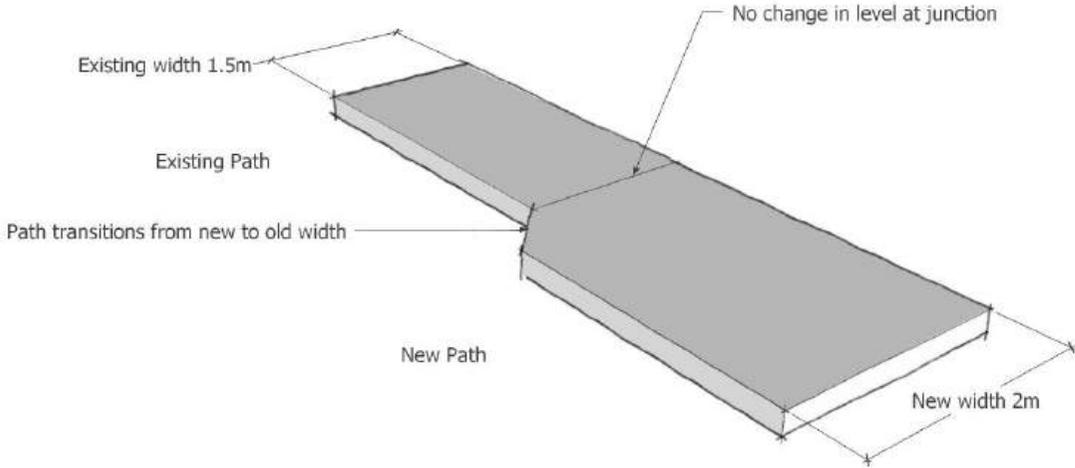
Issue	Design objectives
<p><b>Drainage control</b> (Temporary drainage works)</p>	<p>(a) Design life and design storm for temporary drainage works:                      (i) Disturbed open area for &lt;12 months – 1 in 2 year ARI event;                      (ii) Disturbed open area for 12-24 months – 1 in 5 year ARI event;                      (iii) Disturbed open area for &gt;24 months – 1 in 10 year ARI event.                      (b) Design capacity excludes minimum 150mm freeboard.                      (c) Temporary culvert crossing – minimum of 1 in 1-year ARI hydraulic capacity.</p>
<p><b>Erosion control</b> (Erosion control measures)</p>	<p>(a) Minimise exposure of disturbed soils at any time.                      (b) Divert water run-off from undisturbed areas around disturbed areas.                      (c) Determine erosion risk rating using local rainfall erosivity, rainfall depth, soil loss rate or other acceptable methods.                      (d) Implement erosion control methods corresponding to identified erosion risk rating.</p>
<p><b>Sediment control measures</b> (sediment control measures, design storm for sediment control basins, Sediment basin dewatering)</p>	<p>(a) Determine appropriate sediment control measures using:                      (i) potential soil loss rate; or                      (ii) monthly erosivity; or                      (iii) average monthly rainfall.                      (b) Collect and drain stormwater from disturbed soils to sediment basin for design storm event:                      (c) design storm for sediment basin sizing is 80th% five-day event or similar.                      (d) Site discharge during sediment basin dewatering:                      (i) TSS &lt; 50mg/L TSS;                      (ii) Turbidity not &gt; 10% receiving water's turbidity;                      (iii) pH 6.5-8.5.</p>
<p><b>Water quality</b> (Litter and other waste, hydrocarbons and other contaminants)</p>	<p>(a) Avoid wind-blown litter; remove grass pollutants.                      (b) Ensure there is no visible oil or grease sheen on released waters.                      Dispose of waste containing contaminants at authorised facilities.</p>
<p><b>Waterway stability and flood flow management</b></p>	<p>(d) For peak flow for the 100% AEP event and 1% AEP event, use constructed sediment basins to attenuate the discharge rate of stormwater from the site.</p>

Issue	Design objectives
(Changes to the natural hydraulics and hydrology)	

**Table 9.4.5.3.c – Stormwater management design objectives (post-construction phase)**

Design objectives				Application
Minimum reductions in mean annual load from unmitigated development (%)				
Total suspended solids (TSS)	Total phosphorus (TP)	Total nitrogen (TN)	Gross pollutants >5mm	
80	60	40	90	<p>Development for urban purposes</p> <p>Excludes development that is less than 25% pervious.</p> <p>In lieu of modelling, the default bio-retention treatment area to comply with load reduction targets of 1.5% of contributing catchment area.</p>
<p>Water stability management</p> <p>(e) Limit peak 100% AEP event discharge within the receiving waterway to the pre-development peak 100% AEP event discharge.</p>				<p>Catchments contributing to un-lined receiving waterway. Degraded waterways may seek alternative discharge management objectives to achieve waterway stability.</p> <p>For peak flow for the 100% AEP event, use co-located storages to attenuate site discharge rate of stormwater.</p>

Figure 9.4.5.3.a – New footpath sections



### 9.3.8 Dwelling house code

#### 9.3.8.1 Application

- (1) This code applies to assessing development for Dwelling house if:
  - (a) self-assessable development or assessable development where this code identified in the assessment criteria column of a table of assessment; or
  - (b) impact assessable development.
- (2) When using this code, reference should be made to Part 5.

Note—Where the land is identified in an overlay map, additional provisions relating to that overlay also apply. For example, minimum floor levels for a dwelling house on a site subject to certain types of flooding are identified in the Flood and storm tide inundation overlay code.

Note – For a proposal to be self-assessable, it must meet all of the self-assessable outcomes of this code and any other applicable code. Where it does not meet all the self-assessable outcomes, the proposal becomes assessable development and a development application is required. Where a development application is triggered, only the specific acceptable outcomes that the proposal fails to meet need to be assessed against the corresponding performance outcomes. Other self-assessable outcomes that are met are not assessed as part of the development application.

#### 9.3.8.2 Purpose

- (1) The purpose of the dwelling house code is to assess the suitability of development to which this code applies
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) The dwelling house, including all habitable buildings on site, is occupied by a single household;
  - (b) A dwelling house, including a secondary dwelling or domestic out-buildings; ensures that the secondary dwelling is sub-ordinate to the primary dwelling house;
  - (c) Development of a dwelling house provides sufficient and safe vehicle access and parking for residents;
  - (d) The built form, siting, design and use of each dwelling is consistent with the desired neighbourhood character and streetscape elements of the area.

### 9.3.8.3 Criteria for assessment

Table 9.3.8.3.a – Dwelling house code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> Secondary dwellings:</p> <ul style="list-style-type: none"> <li>(a) are subordinate, small-scaled dwellings;</li> <li>(b) contribute to a safe and pleasant living environment;</li> <li>(c) are established on appropriate sized lots;</li> <li>(d) do not cause adverse impacts on adjoining properties.</li> </ul>	<p><b>AO1</b> The secondary dwelling:</p> <ul style="list-style-type: none"> <li>(a) has a total gross floor area of not more than 80m<sup>2</sup>, excluding a single carport or garage;</li> <li>(b) is occupied by 1 or more members of the same household as the dwelling house.</li> </ul>	<p><b>Complies with AO1</b> Proposed new secondary dwelling gfa is 42sqm occupied by 1 or more members of the same household and is subordinate to the existing dwelling. The existing dwelling on the property is severely damaged with full or partial demolition recommended as a result of ex TC Jasper.</p>
<p><b>PO2</b> Resident's vehicles are accommodated on- site.</p>	<p><b>AO2</b> Development provides a minimum number of on-site car parking spaces comprising:</p> <ul style="list-style-type: none"> <li>(a) 2 car parking spaces which may be in tandem for the dwelling house;</li> <li>(b) 1 car parking space for any secondary dwelling on the same site.</li> </ul>	<p><b>Complies with AO2</b> Proposed dwelling features no increases to on-site car parking for residents.</p>
<p><b>PO3</b> Development is of a bulk and scale that:</p> <ul style="list-style-type: none"> <li>(a) is consistent with and complements the built form and front boundary setbacks prevailing in the street and local area;</li> <li>(b) does not create an overbearing development for adjoining dwelling houses and their private open space;</li> <li>(c) does not impact on the amenity and privacy of residents in adjoining dwelling houses;</li> <li>(d) ensures that garages do not dominate the appearance of the street.</li> </ul>	<p><b>AO3</b> Development meets the acceptable outcome for building height in the applicable Zone code associated with the site.</p>	<p><b>Complies with AO3</b> Proposed dwelling complies with acceptable outcomes for building height in the Environment Management Zone code and does not create any amenity, privacy or overbearing or dominating visual and built form impacts in the area because it is of a small bulk and scale that is surrounded by an existing vegetation buffer on all sides within an existing cleared area. The proposed timber dwelling will feature natural timber and moderate colour consistent with the goals of the Environment Management Zone and Landscape Values Overlay.</p>

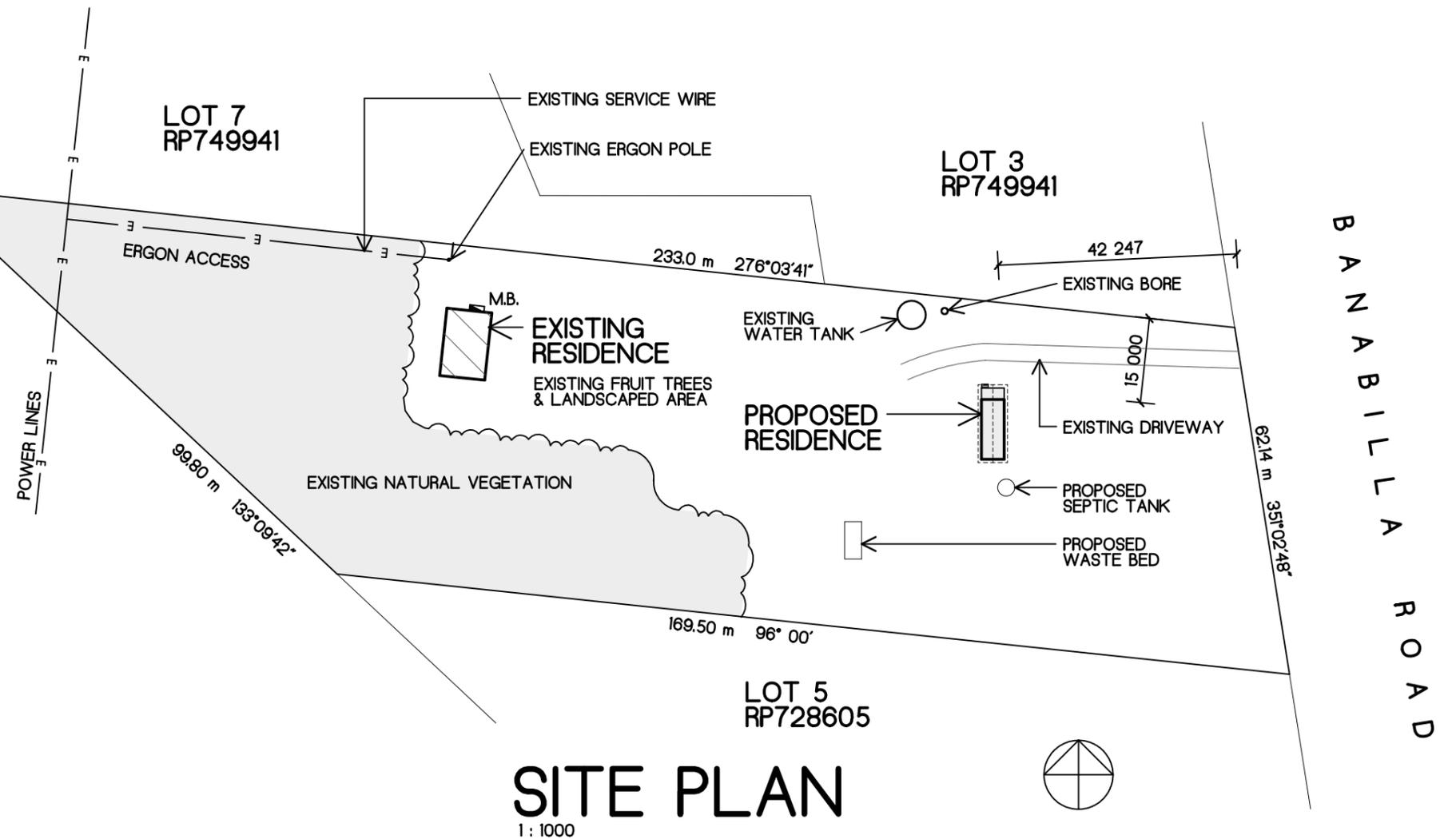
# Attachment 5

**Site Plan**

**Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605**

## BUILDING PLATFORM PREPARATION

1. AN AREA APPROXIMATELY 2000 PAST THE BUILDING LINES IS TO BE STRIPPED OF ALL TOPSOIL AND ALL ORGANIC MATTER ETC. IS TO BE GRUBBED OUT LEAVING FIRM STABLE MATERIAL ONLY. ALL TOP SOIL CAN BE STOCKPILED ON SITE FOR LATER USE IN LANDSCAPING.
2. ANY TREE STUMPS UNDER THE PLATFORM ARE TO BE REMOVED AND THE RESULTANT HOLES ARE TO BE BACKFILLED WITH APPROVED NON-PLASTIC FILL MATERIAL IN COMPACTED LAYERS NOT EXCEEDING 150 mm TO 98 % S.R.D.D.
3. THE BUILDING PLATFORM SHALL THEN BE COMPACTED WITH A MINIMUM 10 TONNE VIBRATION ROLLER. THE USE OF VIBRATORY ROLLERS FOR EARTH WORKS COMPACTION MAY CAUSE SIGNIFICANT GROUND VIBRATION & CAREFUL SITE CONTROL, OR THE USE OF HEAVY STATIC COMPACTION PLANT WILL BE REQUIRED TO AVOID DAMAGE TO ADJOINING BUILDINGS.
4. ANY FILL IS TO BE SPREAD IN LAYERS NOT EXCEEDING 150 mm & COMPACTED WITH THE ROLLER TO 98% S.R.D.D AT OPTIMUM MOISTURE CONTENT.
5. RE-SPREAD TOP SOIL TO OWNERS REQUIREMENTS
6. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT AUTHORITIES & GENERALLY IN ACCORDANCE WITH A.S. 2870
7. THE CERTIFICATION OF THE FOOTINGS IS BASED ON A CLASS 'M' SITE CLASSIFICATION, MINIMUM SAFE BEARING CAPACITY 100 KPa, AFTER RECTIFICATION WORK AS PER NOTE 5.



## SITE PLAN

1 : 1000

## PROPERTY DESCRIPTION

LOT 4 ON R.P. 728605

57 BANABILLA ROAD, DEGARRA

C2 - WIND CLASSIFICATION

SOIL CLASSIFICATION - 'M'

LOCAL AUTHORITY - DOUGLAS SHIRE COUNCIL

### NOTE :

PROVIDE CONCRETE SPLASH PADS UNDER DOWNPIPES, UNLESS BEING DIVERTED INTO APPROVED STORMWATER TANK/S.

REFER TO WASTE WATER CONSULTANTS SITE CLASSIFICATION & WASTEWATER MANAGEMENT SYSTEM REPORT FOR DESIGN & LOCATION OF 'ON SITE' WASTE WATER TREATMENT SYSTEM.

## BUSHFIRE BAL 12.5 DESIGN REQUIREMENTS

GAPS BETWEEN DOORS AND DOOR JAMBS, AND THRESHOLDS MUST BE 3MM OR LESS, OR DRAUGHT EXCLUDERS ARE TO BE PROVIDED.

EXPOSED COMPONENTS OF EXTERNAL WALLS THAT ARE LESS THAN 400MM FROM THE GROUND OR ABOVE DECKS MUST BE CLAD IN NON-COMBUSTIBLE MATERIAL, BUSHFIRE RESISTANT TIMBER OR A FIBRE CEMENT A MINIMUM OF 6MM THICK.

ALL JOINTS IN THE EXTERNAL CLADDING MUST BE COVERED SEALED OR OVERLAPPED TO PREVENT GAPS >3MM.

WINDOWS WITH OPENABLE PORTIONS ARE TO BE SCREENED WITH CORROSION RESISTANT METAL FLYSCREENS WITH A MAXIMUM APERTURE OF 2MM. WINDOW FRAMES MUST BE METAL AND GLAZING MUST BE A MINIMUM OF 5MM THICK TOUGHENED GLASS.

SIDE HUNG EXTERNAL DOORS MUST BE EITHER SOLID CORE, MINIMUM OF 35MM THICK, HOLLOW CORE WITH A NON-COMBUSTIBLE KICK PLATE UP TO 400MM ABOVE THE THRESHOLD OR HOLLOW CORE AND FITTED WITH A METAL SCREEN AS WITH THE WINDOWS.

WHERE ANY PART OF THE DOOR FRAME IS WITHIN 400MM OF THE GROUND OR DECKS, THE FRAME MUST BE CONSTRUCTED OF TIMBER WITH A DENSITY > 650KG/M OR BE OF METAL CONSTRUCTION.

SLIDING DOORS MUST HAVE METAL FRAMES AND ANY GLAZING INCORPORATED IN THE FRAME MUST BE A MINIMUM OF 5MM THICK TOUGHENED GLASS.

ROOF VENTILATION OPENINGS MUST BE FITTED WITH EMBER GUARDS

SHEET ROOFS ARE TO BE AND FULLY SARKED (COVERING THE ENTIRE ROOF AREA, OVER RIDGES AND HIPS). GAPS AT ROOF EDGES >3MM ARE TO BE SEALED WITH MINERAL WOOL OR OTHER NON-COMBUSTIBLE MATERIAL.

EAVES ARE TO BE SEALED, AND VENTILATED EAVES MUST BE PROTECTED WITH EMBER GUARDS.

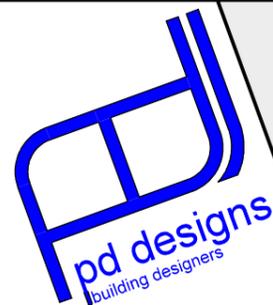
DECKING, STAIR TREADS AND LANDINGS MUST BE MADE FROM TIMBER WITH A DENSITY > 650KG/M.

ABOVE GROUND EXPOSED WATER AND GAS SUPPLY PIPES MUST BE METAL.

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

**C.M.G. CONSULTING ENGINEERS**  
ACN. 01 065 975 PTY. LTD.

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lic. under QBCC Act 1991 - No. 1191543  
abn: 73 437 147 573  
acn: 143 382 899

Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

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1:1000  
ON A3 SHEET

**PROPOSED RESIDENCE FOR :**  
**M. ZIPPEL**  
**LOT 4, 57 BANABILLA ROAD,**  
**DEGARRA**

MAY 2025

**2887**

WIND  
CLASSIFICATION

**W6**

OF 8

**C2**

# Attachment 6

**Council approved Wastewater Design & Permit**

**Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605**

**GENERAL NOTES:** This form is to be used for the purposes of sections 48(a) and 54(a) of the Plumbing and Drainage Regulation 2019 (PDR).

**1. Description of land**

The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

Street address *(include number, street, suburb/locality and postcode)*

**57 Banabilla Road DEGARRA 4895**

Lot and plan:

**LOT: 4 RP: 728605**

Shop/tenancy number

*(if applicable)*

Storey/level

*(if applicable)*

Local government area

**Douglas Shire Council**

**2. Owner details**

Owner's name

**M Zippel**

Phone number:

Postal address:

**57 Banabilla Road DEGARRA QLD 4895**

Email address

**m\_zippel@bigpond.com**

**3. Applicant details**

The applicant need not be the owner of the land.

Company name in full:

**To Be Advised**

Contact person:

Phone number

Mobile:

Email address of applicant:

*Note: If lodging this application, the applicant is responsible for ensuring the information provided is correct and that they are authorised to manage the application on the owner's behalf.*

**4. Certification**

This form certifies that the relevant local government or public-sector entity has made the following decision in relation to the application for a permit as described above.

Tick the relevant boxes:

Application refused

Permit approved

Permit approved - with conditions

Permit approved - to amend an existing permit

Permit approved – to extend the term of an existing permit

Permit number

**5653/2025**

Date of issue

**17 April 2025**

Date of expiry

**17 April 2027**

Issued by

**Paul Wrobel  
Plumbing Inspector  
Douglas Shire Council**

**5. Attachments**

Local government or public sector entity may attach additional documentation to this form.

Conditions of permit

Approved plans and specifications

Details of any alternative/performance solution

Information notice

*Provide further comments (if applicable):*

# Information Notice

## Permit with Conditions

*Plumbing and Drainage Regulation 2019 s.50*

**Re:** 57 Banabilla Road DEGARRA 4895

**Permit No:**

### Decision

On 17 April 2025, Douglas Shire Council considered the above application and decided to issue a permit subject to the following conditions:

1. Wastewater treatment system must be installed as per design submitted by Earthtest.

### Reason for the Decision

The reasons for imposing the conditions are that:

1. QPWC and site and soil conditions.

### Appeals against Local Government's Decisions

If you are dissatisfied with the decision of the Local Government to impose the above conditions on the permit, you are entitled to appeal to Development Tribunals (the Tribunals) in accordance with section 229 of the *Planning Act 2016*.

An appeal against this notice must be lodged within 20 business days after the day the notice is given. If your appeal is not lodged within this timeframe, no further action can be taken by the Tribunals in relation to Local Government's decision.

You can lodge an Appeal Notice by submitting a Form 10 – Application for appeal/declaration and providing the prescribed fee to the Registrar of the Tribunals as follows:

#### Post to:

Department of Housing and Public Works  
The Registrar, Development Tribunals  
Building Legislation and Policy  
PO Box 15009 City East QLD 4002 Australia

Or email to: [registrar@qld.gov.au](mailto:registrar@qld.gov.au)

For further information about the Tribunal, including the Appeal Notice (Form 10) and the schedule of fees, visit the Department's website at [www.hpw.qld.gov.au](http://www.hpw.qld.gov.au) or contact the Registrar on 1800 804 833.

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Enquiries about this notice or to make an inspection appointment, please contact Douglas Shire Council's Plumbing Inspector, Paul Wrobel on [plumbing@douglas.qld.gov.au](mailto:plumbing@douglas.qld.gov.au) or 0417 704 540.

**DATED:** 17 April 2025

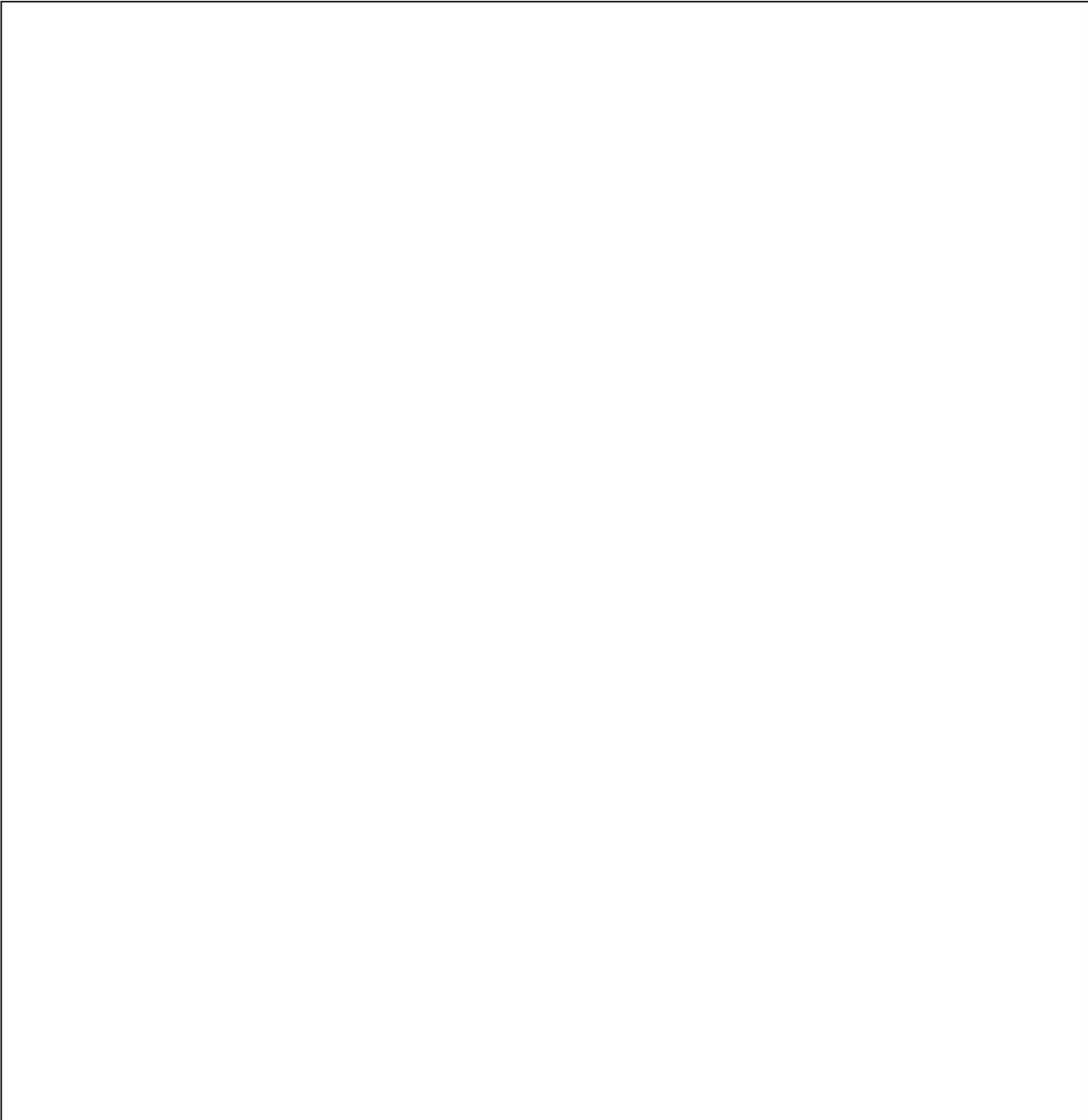


**Neil Beck**  
A/Manager Environment and Planning



## PROPERTY DETAILS

<b>Property Title:</b>	LOT: 4 RP: 728605	<b>Parcel No.:</b>	4549
<b>Property No:</b>	4042	<b>Assessment No.:</b>	868380
<b>Property Address:</b>	57 Banabilla Road DEGARRA 4895		
<b>Application No.:</b>	2025 / 5653	<b>Responsible Person:</b>	
<b>Plumbing Inspector:</b>	Paul Wrobel	<b>Connection Date:</b>	





**Site Classification**

**And**

**Wastewater Management System**

**For**

**Mark Zippel**

**At**

**57 Banabilla Road**

**Degarra**

## **INTRODUCTION:**

Earth Test has been engaged by Mark Zippel to assess, design and report on Site Classification and a Domestic Wastewater Management System at 57 Banabilla Road, Degarra.

Real Property Description:-

Lot 4, on RP 728605

Local Authority: Douglas Shire Council.

It is understood the intention is to construct a new dwelling at the site.  
A site and soil evaluation was carried out in February 2025.

## **SITE FACTORS:**

The site was identified during a meeting with the owner on-site.

The lot has an area of 12140 square metres and is covered with grass and regrowth forest.

The location of the proposed dwelling was identified.

The water supply for the dwelling will be from a bore onsite

Three Dynamic Cone Penetrometer tests were performed at locations DCP1, DCP2 and DCP3, three boreholes BH1, BH2 and BH3, and one constant head soil permeability test P1 as shown on the site plan.

Atterberg Limits tests were performed on a disturbed sample from Borehole2.



**Site testing at 57 Banabilla Road, Degarra**



## SITE INVESTIGATION REPORT

### BOREHOLE LOG

<b>CLIENT:</b> Mark Zippel.		<b>DATE SAMPLED:</b> 19/02/2025
<b>PROJECT:</b> 57 Banabilla Road, Degarra.		<b>Sampled by:</b> G. Negri
<b>REPORT DATE:</b> 17/03/2025		
<b>BOREHOLE No:</b> BH1		
<b>DEPTH (m)</b>	<b>DESCRIPTION</b>	<b>COMMENTS</b>
0.0-0.3	Silty GRAVEL, Brown, FILL	Watertable not encountered.
0.3-0.5	Sandy Clayey SILT, Brown	
0.5-1.5	Sandy Silty CLAY, Red-Brown	
<b>BOREHOLE No:</b> BH2		
<b>DEPTH (m)</b>	<b>DESCRIPTION</b>	<b>COMMENTS</b>
0.0-0.2	Sandy Silty CLAY, Black Brown, Topsoil	Disturbed sample 0.6-0.8m.
0.2-1.5	Sandy Silty CLAY, Red-Brown	Watertable not encountered.
<b>BOREHOLE No:</b> BH3		
<b>DEPTH (m)</b>	<b>DESCRIPTION</b>	<b>COMMENTS</b>
0.0-0.1	Silty GRAVEL, Grey-Brown, FILL	Watertable not encountered.
0.1-0.3	Sandy Silty CLAY, Black Brown	
0.3-1.5	Sandy Silty CLAY, Red-Brown	



## ATTERBERG LIMITS TEST REPORT

**CLIENT:** Mark Zippel

**SAMPLE No:** SI 143-25

**PROJECT:** 57 Banabilla Road, Degarra.

**DATE SAMPLED:** 19/02/2025

**SAMPLE DETAILS:** BH2 0.6-0.8m

**Sampled by:** G. Negri

**REPORT DATE:** 17/03/2025

**Tested By:** K. Hodgson

TEST METHOD	RESULT
<b>Liquid Limit:</b> AS 1289.3.1.2	38%
<b>Plastic Limit:</b> AS 1289.3.2.1	20%
<b>Plasticity Index:</b> AS 1289.3.3.1	18%
<b>Linear Shrinkage:</b> AS 1289.3.4.1	9.5%
<b>Length Of Mould:</b>	125mm
<b>Cracking, Crumbling, Curling, Number Of Breaks:</b>	Nil
<b>Sample History:</b>	Oven Dried
<b>Preparation Method:</b>	Dry Sieved
<b>Insitu Moisture Content:</b>	28.8%
<b>% Passing 0.075mm:</b>	



## **DYNAMIC CONE PENETROMETER REPORT** **AS 1289.6.3.2**

**CLIENT:** Mark Zippel.

**SAMPLE No:** SI 143-25

**PROJECT:** 57 Banabilla Road, Degarra.

**DATE SAMPLED:** 19/02/2025

**SAMPLE DETAILS:** Sites “DCP1, DCP2 & DCP3.” as per site plan.

**Tested By:** G. Negri

**REPORT DATE:** 17/03/2025

<b>DEPTH (Metres)</b>	<b>Site: DCP1</b>	<b>Site: DCP2</b>	<b>Site: DCP3</b>
	<b>No Blows</b>	<b>No Blows</b>	<b>No Blows</b>
<b>0.0 – 0.1</b>	2	2	2
<b>0.1 – 0.2</b>	2	3	2
<b>0.2 – 0.3</b>	2	2	3
<b>0.3 – 0.4</b>	1	3	3
<b>0.4 – 0.5</b>	2	3	3
<b>0.5 – 0.6</b>	3	4	4
<b>0.6 – 0.7</b>	3	4	5
<b>0.7 – 0.8</b>	3	4	4
<b>0.8 – 0.9</b>	3	3	4
<b>0.9 – 1.0</b>	3	3	3
<b>1.0 – 1.1</b>	4	4	4
<b>1.1 – 1.2</b>	4	4	4
<b>1.2 – 1.3</b>	4	5	4
<b>1.3 – 1.4</b>	4	4	3
<b>1.4 – 1.5</b>			
<b>1.5 – 1.6</b>			
<b>1.6 – 1.7</b>			
<b>1.7 – 1.8</b>			
<b>1.8 – 1.9</b>			
<b>1.9 – 2.0</b>			



## **SITE CLASSIFICATION**

### **57 Banabilla Road, Degarra.**

The Dynamic Cone Penetrometer test results indicate adequate allowable bearing pressure to 1.5m.

The Atterberg Limits test results indicate a moderately reactive soil.

The characteristic surface movement ( $y_s$ ) is estimated to be in the  $20 < y_s \leq 40$ mm range. According to TABLE 2.3 of AS 2870-2011 the site must be classified **CLASS-"M"**.

To comply with the "Building Services Board Subsidence Policy" advice should be sought from a Registered Professional Engineer for footing design.

All site works must be carried out in accordance with AS 3798-2007 "Guidelines on earthworks for commercial and residential developments"

If the depth of any cut exceeds 0.5m or uncontrolled fill exceeds 0.4m the classification shall be reconsidered.

Because this investigation is limited in scope and extent, it is possible that areas may exist which differ from those shown on the test hole records and used in the site classification. Should any variation from the reported conditions be encountered during excavation work, this office must be notified immediately so that reappraisal of the classification can be made.

Gavin Negri  
Earth Test



## **SITE AND SOIL EVALUATION**

### **57 Banabilla Road, Degarra.**

The site and soil evaluation carried out on 19/02/2025 provided the following results.

#### **Site Assessment**

<b><u>Site Factor</u></b>	<b><u>Result</u></b>
Slope	3 Degrees
Shape	Linear Planar
Aspect	South-West
Exposure	Good
Erosion/land slip	Not noted.
Boulders/rock outcrop	Not noted.
Vegetation	Grass and regrowth forest
Watercourse/Bores	>30m from LAA.
Water table	Not encountered during investigation.
Fill	Not encountered in LAA
Flooding	Not likely.
Channelled run-off	Not found
Soil surface conditions	Soft, Moist.
Other site specific factors	Not noted

#### **Soil Assessment**

<b><u>Soil Property</u></b>	<b><u>Result</u></b>
Colour	Brown
Texture	Loam
Structure	Moderate
Coarse Fragments	<2%
Measured Permeability Ksat (m/d)	Indicative permeability 0.5-1.5
Dispersion	Slakes
Soil Category	4
Resultant Design Load Rating, DLR (mm/d)	15



## **WASTEWATER MANAGEMENT SYSTEM**

An “All-Waste” septic tank discharging into an “Advanced Enviro-Septic” bed is considered suitable for this site.

This system has been designed to conform to the requirements of the following codes, acts, regulations and standards. All work to be carried out in accordance with the following codes.

- AS/NZ 1547:2012 On-site domestic-wastewater management.
- Queensland PLUMBING AND DRAINAGE ACT 2018.
- Queensland STANDARD PLUMBING AND DRAINAGE REGULATION 2019.
- Queensland PLUMBING AND WASTEWATER CODE.

### **SYSTEM SIZING FACTORS.**

A population equivalent of two (2) persons has been chosen for the proposed one bedroom dwelling.

The site is connected to a bore water supply system.

Standard water-reduction fixtures must be used to ensure the integrity of the system.

They shall include:-

- Dual flush 6/3 Litre water closets.
- Shower-flow restrictors.
- Aerator faucets (taps).
- Water-conserving automatic washing machines.

Note: - Garbage grinders are not permitted.

As per AS/NZ 1547:2012 Appendix H, Table H1 the “Typical wastewater design flow” for a “Reticulated water supply” gives a flow allowance of 150 L/Person/day.

The daily flow for the dwelling (2 persons @ 150 L/person/day) will be 300 L/day.

From AS/NZ 1547:2012 Table J1 the minimum capacity of the All-Waste septic tank required is 3000 L.

The tank must NOT be fitted with an outlet filter.



## LAND-APPLICATION SYSTEM

### DISPOSAL AREA SIZING

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

$$L = Q / (DLR \times W)$$

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

$$L = 300/20 \times 2.27 \\ = 6.6m.$$

**Use one 6.6m long by 2.27m wide advanced enviro septic bed.**

See site plan and detail cross-section.

**1kg gypsum per m<sup>2</sup> be applied to the scarified base before laying the sand**

### SYSTEM SAND

All Advanced Enviro-Septic systems require the use of “system sand” surrounding the pipe. This sand, typically washed coarse sand, must adhere to the following specification.

AS Sieve Size (mm)	Percent Passing %
9.50	100
4.75	95-100
2.36	80-100
1.18	50-85
0.600	25-60
0.300	5-30
0.150	0-10
0.075	0-2

If there is any doubt if the sand media proposed for use will meet the requirements please contact Earth Test for further advice.



## **SYSTEM INSTALLATION**

The entire bottom of the bed should be scarified a minimum of 200mm deep parallel to the AES pipes.

Avoid compaction by keeping people and machinery off the finished trench or bed floor. The system shall be installed by a licensed plumber in accordance with the manufacturer's recommendations and the relevant Australian Standards.

## **Operation and Maintenance**

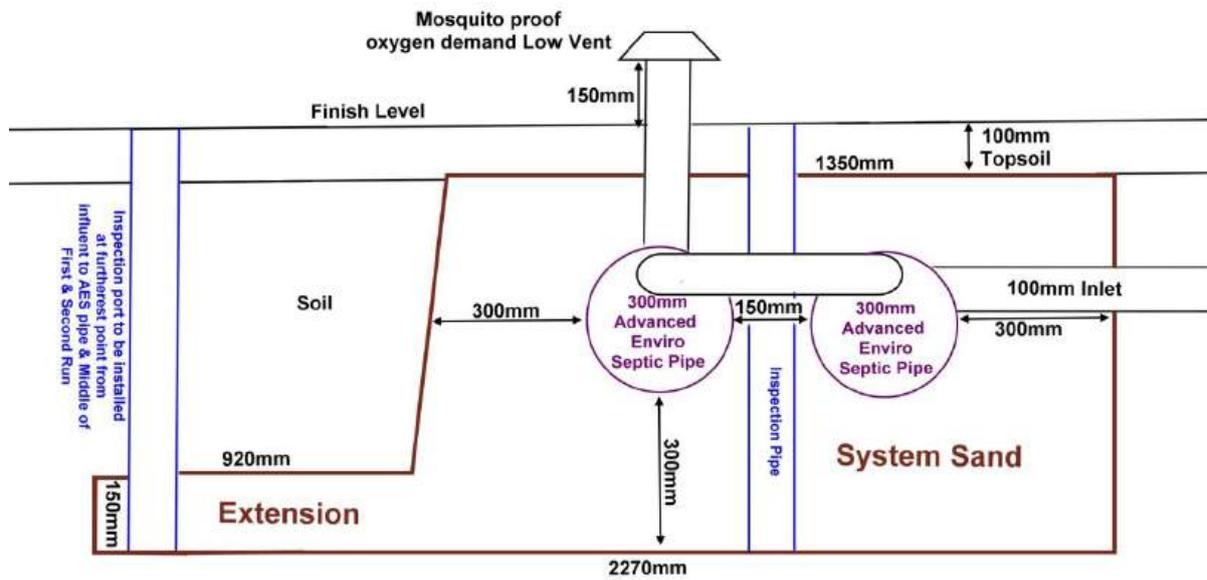
Homeowners should be fully informed of the proper operation and maintenance requirements of the on-site wastewater system.

Gavin Negri  
Earth Test



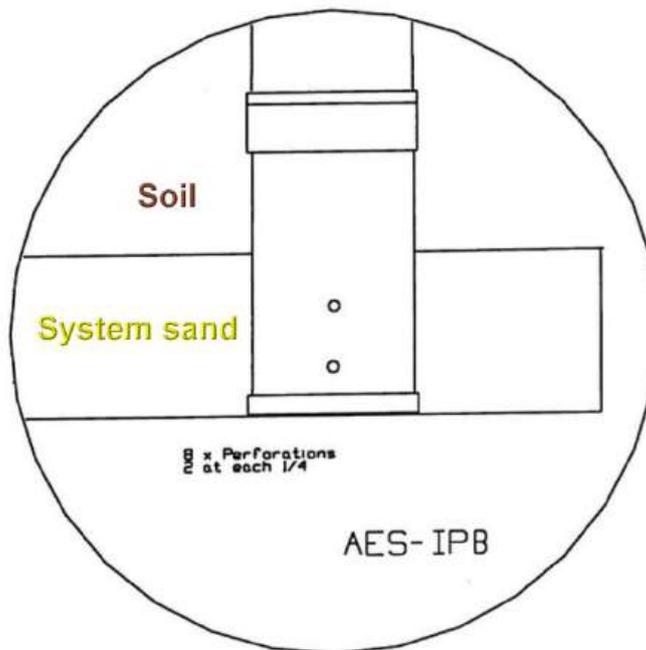
**SITE PLAN**  
**57 Banabilla Road, Degarra.**  
**NOT TO SCALE**



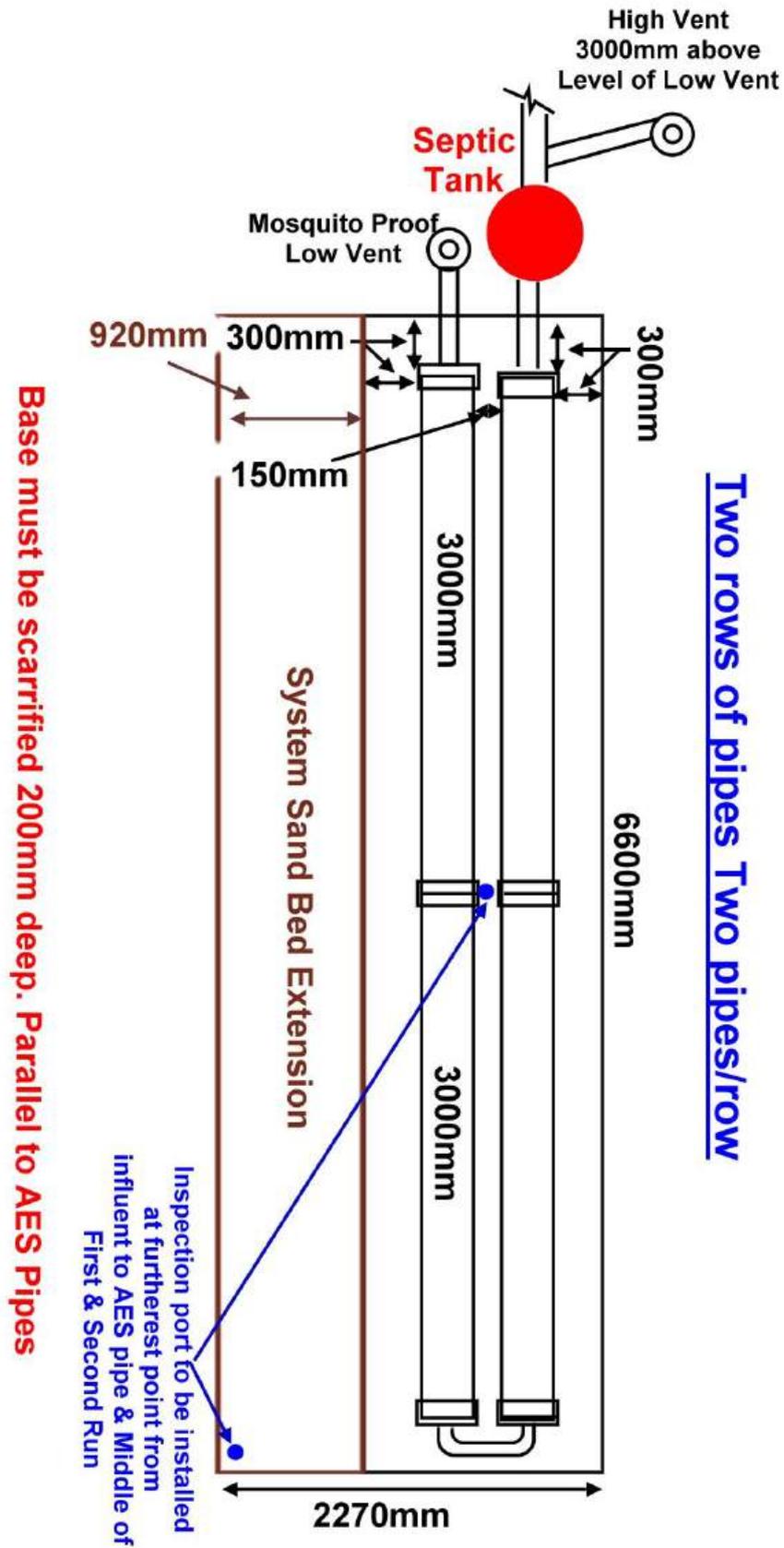


**Base must be scarrified 200mm deep. Parallel to AES Pipes**

**2270mm Wide Two Pipe  
Advanced Enviro-Septic Cross-Section**



**AES Inspection point detail**





**Table T2 – Setback distances for subsurface land application area for a greywater treatment plant or an on-site sewage treatment plant**

Feature	Horizontal separation distance <sup>①</sup>		
	Up slope	Down slope	Level
Property boundaries, pedestrian paths, walkways, recreation areas, retaining wall, and footings for buildings and other structures.	2	4	2
Inground swimming pools	6	6	6
Inground potable water <i>tank</i> not exposed to primary effluent	6	6	6
Inground potable water <i>tank</i> exposed to primary effluent	15	15	15

① Distances are given in metres and are measured from the edge of trench/bed excavation or subsurface irrigation distribution pipework to the nearest point of the feature

**Table T5 - Setback distances for on-site sewerage facilities and greywater use facilities - Protection of surface water and groundwater.**

Feature	Separation distance ①		
For onsite – see Table 2.1 in AS 1546.3		Secondary	
For greywater – see Table 2.1 in AS 1546.4		Level 3	
Top of bank of permanent water course		30	
Top of bank of intermittent water course			
Top of bank of a lake, bay or estuary			
Top water level of a surface water source used for agriculture, aquaculture or stock purposes			
Open stormwater drainage channel or drain			
Bore or a dam			
Unsaturated soil depth to a permanent water table (vertically)		0.6	

① Distances are given in metres and are measured from the edge of the irrigated wetted area to any point of the feature.

② Note: Primary effluent typically has a (BOD<sup>5</sup>) (Biochemical Oxygen Demand) of between 120 -240 mg/L and Total Suspended Solids of between 65 -180 mg/L.



<b>ADVANCED ENVIRO-SEPTIC™</b> <i>"Always The First Option"</i>		Advanced Enviro-septic Design Calculator V9.0 ©	
AES The World Leader in Passive Solutions ©			
Site Address: 57 Banabilla Road, Degara		State: QLD	Post Code:
Client Name: Mark Zippel		Date of Site Visit:	
Designers Name: Earth Test	Designer Ph Number: 07 4095 4734	Designer Lic (e.g QBCC):	15092731
Lic Number: TBA	Plumber Ph Number: TBA	Plumber / Drainer Lic Number:	TBA
Council Area: Douglas Shire Council	Designers AES Cert Number: 1164	Date:	
<i>This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.</i>			
System Designers site and soil calculation data entry		IMPORTANT NOTES	
Enter AES L/m loading rate, "30" for ADV Secondary or "38" Secondary	38	?> <i>This design is for a SECONDARY system.</i>	
Is this a new installation Y or N	Y	=> Minimum single vent size is 80mm or 2 x 50mm house vents	
Number of Bedrooms	1	=> This is not used in ANY Calculation. If not known use N/A or 0.	
Number of persons	2	=> A septic tank outlet filter is NOT RECOMMENDED	
Daily Design Flow Allowance Litre/Person/Day	150		
Number of rows required to suit site constraints	2	=> The maximum length of a single AES pipe run is 30m or 10 PIPES	
Infiltration Soil Category from site soil evaluation. CATEGORY	4	=> Category may require design considerations. Ref AS1547	
Design Loading Rate based on site & soil evaluation DLR (mm/day)	20	=> Soil conditioning may be necessary. Ref AS1547 & Comments.	
Bore log depth below system Basal area	1.5m	=> Min depth 1.5m. Check water table/restrictive layer	
Is this design a GRAVITY system with no outlet filter? Y or N	Y	=> GRAVITY. A House Vent & LOW VENT required on this system.	
<b>PLEASE CHECK YOU HAVE FALL FROM TANK TO AES SYSTEM PIPES</b>			
COMMENTS - <i>"The outcome must be important to everyone."</i>			
- Ripping of receiving surface required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate & rip parallel to the site slope/AES pipe.			
- Specialist soils advice & special design techniques will be required for clay dominated soil having dispersive or shrink/swell behaviour. Ref: AS1547			
- Designers need to be familiar with special requirements of Local Authorities, i.e. Minimum falls from Septic tank outlets to Land application areas etc			
- Plumbers are reminded to practice good construction techniques as per AS 1547 & as provided on AES installation instructions supplied with components.			
AES System Calculator Outputs		AES Dimensions	
Total System load - litres / day (Q)	300 l/d	AES System	System Extension
Min Length of AES pipe rows to treat loading	3.95 m	Length:(L)	6.60m
Number of FULL AES Pipe lengths per row	2	Width:(W)	1.35m
Total Capacity of AES System pipe in Litres	848 ltr	Sand Depth	0.75m
		Area m <sup>2</sup>	8.9 m <sup>2</sup>
			6.1 m <sup>2</sup>
USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)			
IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"		Enter Custom Width in metres	
AES INFILTRATION FOOT PRINT AREA - L = Q / (DLR x W)	Length	Width	Minimum AES foot print required
<i>for this Basic Serial design is</i>	6.60m	± 1.37m	= 15.0 m <sup>2</sup> total
AES pipes are best centered in the trench parallel to the site slope			
Code	AES System Bill of Materials	Chankar Environmental Use Only	
AES-PIPE	AES 3 metre Lengths required	4	litr
AESC	AES Couplings required	2	ea
AESO	AES Offset adaptors	4	ea
AESODV	AES Oxygen demand vent	1	ea
AES-IPB	AES 100mm Inspection point base	2	ea
TD Kit 4	4 Hole Distribution Box Kit		ea
TD Kit 7	7 Hole Distribution Box Kit		ea
VS43-4	Sweet Air Filter VS43-4		ea
AES DESO	Double Offset Adaptors		ea
TOTAL SYSTEM SAND REQUIRED (Estimate Only)		9	m <sup>3</sup>
Please email your AES Calculator (EXCEL FORMAT), Site Layout & AES Design to <a href="mailto:designreview@enviro-septic.com.au">designreview@enviro-septic.com.au</a>		Digitally signed by Kane Dickson DN: cn=Kane Dickson, o=Chankar Environmental, ou=Design Review, email=designreview@enviro-septic.com.au, c=AU Date: 2025.03.17 13:40:59 +10'00'	
<small>           &gt; The AES Calculator is a design tool to allow checking of the AES components, configuration and is a guide only. Site and soil conditions referencing AS1547 are calculated and designed by a Qualified Wastewater Designer.            &gt; Chankar Environmental accepts no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator.            &gt; AES pipes can be cut to length on site. They are supplied in 3 metre lengths only.            &gt; AES ONLY supply AES components as detailed in the Bill of Materials.            &gt; SEPTIC Tank &amp; other components including SAND will need to be sourced from other suppliers. Refer to our WEBSITE <a href="http://www.enviro-septic.com.au">www.enviro-septic.com.au</a> OR 07 5474 4035.            AES-Design-V9.0-Calculator © Copy Right - Chankar Environmental Pty Ltd 20/12/2022         </small>			

## AES The World Leader in Passive Solutions ©

Site Address	57 Banabilla Road, Degarra	State	QLD	Post Code	
Client Name	Mark Zippel	Date of Site Visit			
Designers Name	Earth Test	Designers Ph Number	07 4095 4734	Designer Lic (e.gQBCC)	15092731
Lic Plumber	TBA	Plumber Ph Number	TBA	Plumb / Drainer Lic Number	TBA
Council Area	Douglas Shire Council	Designers AES Cert Number	1164	Date	

This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.

System Designers site and soil calculation data entry

IMPORTANT NOTES

Enter AES L/m loading rate, "30" for ADV Secondary or "38" Secondary	38	>> <i>This design is for a SECONDARY system.</i>
Is this a new installation Y or N	Y	>> Minimum single vent size is 80mm or 2 x 50mm house vents
Number of Bedrooms	1	>> This is not used in ANY Calculation. If not known use N/A or 0.
Number of persons	2	>> A septic tank outlet filter is NOT RECOMMENDED
Daily Design Flow Allowance Litre/Person/Day	150	
Number of rows required to suit site constraints	2	>> The maximum length of a single AES pipe run is 30m or 10 PIPES
Infiltration Soil Category from site/soil evaluation. CATEGORY	4	>> Catagory may require design considerations. Ref AS1547
Design Loading Rate based on site & soil evaluation DLR (mm/day)	20	>> Soil conditioning may be necessary. Ref AS1547 & Comments.
Bore log depth below system Basal area	1.5m	>> Min depth 1.5m. Check water table/restrictive layer
Is this design a GRAVITY system with no outlet filter? Y or N	Y	>> GRAVITY. A House Vent & LOW VENT required on this system

**PLEASE CHECK YOU HAVE FALL FROM TANK TO AES SYSTEM PIPES**

**COMMENTS :- " The outcome must be important to everyone. "**

- Ripping of receiving surface required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate & rip parallel to the site slope/AES pipe.
- Specialist soils advice & special design techniques will be required for clay dominated soil having dispersive or shrink/swell behaviour. Refer AS1547
- Designers need to be familiar with special requirements of Local Authorities. ie - Minimum falls from Septic tank outlets to Land application areas etc
- Plumbers are reminded to practice good construction techniques as per AS 1547 & as provided on AES installation instructions supplied with components.

AES System Calculator Outcomes			AES dimensions		
Total System load - litres / day (Q).	300	l/d		AES System	System Extension
Min Length of AES pipe rows to treat loading	3.95	lm	Length:(L)	6.60m	6.60m
Number of FULL AES Pipe lengths per row	2	lths	Width:(W)	1.35m	0.92m
Total Capacity of AES System pipe in Litres	848	ltr.	Sand Depth	0.75m	0.15m
			Area m2	8.9 m^2	6.1 m^2

USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)

IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"

Enter Custom Width in metre

<b>AES INFILTRATION FOOT PRINT AREA - <math>L = Q / (DLR \times W)</math></b>  <i>for this Basic Serial design is</i>	Length	Width	Minimum AES foot print required	
	6.60m	x 2.27m	= 15.0	m2 total

AES pipes are best centered in the trench parallel to the site slope

Code	AES System Bill of Materials.				Chankar Environmental Use Only
AES-PIPE	AES 3 metre Lengths required	4	lths		
AESC	AES Couplings required	2	ea		
AESO	AES Offset adaptors	4	ea		
AESODV	AES Oxygen demand vent	1	ea		
AES-IPB	AES 100mm Inspection point base	2	ea		
TD Kit 4	4 Hole Distribution Box Kit		ea		
TD Kit 7	7 Hole Distribution Box Kit		ea		
VS43-4	Sweet Air Filter VS43-4		ea		
AES DESO	Double Offset Adaptors		ea		
<b>TOTAL SYSTEM SAND REQUIRED (Estimate Only)</b>		<b>9</b>	<b>m3</b>		

Please email your AES Calculator (EXCEL FORMAT), Site Layout & AES Design to

[designreview@enviro-septic.com.au](mailto:designreview@enviro-septic.com.au)

[designreview@enviro-septic.com.au](mailto:designreview@enviro-septic.com.au)

> The AES Calculator is a design aid to allow checking of the AES components, configuration and is a guide only. Site and soil conditions referencing AS1547 are calculated and designed by a Qualified Wastewater Designer.

> Chankar Environmental accepts no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator.

> AES pipes can be cut to length on site. They are supplied in 3 meter lengths only.

> AES ONLY supply AES components as detailed in the Bill of Materials.

> SEPTIC Tank & other components including SAND will need to be sourced from other suppliers. Refer to our WEBSITE [www.enviro-septic.com.au](http://www.enviro-septic.com.au) OR 07 5474 4055

# Attachment 7

**Proposed dwelling 1 bedroom layout and elevation**

**Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605**



## CONCRETE NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600
- MINIMUM COVER TO REINFORCEMENT TO BE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE DRAWING :
 

UNDERSIDE & SIDE OF FOOTINGS	65 mm
TOP OF FOOTINGS	30 mm
COLUMNS	50 mm
FLOOR SLAB	30 mm
- CONTROL JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN.
- REINFORCEMENT IS SHOWN DIAGRAMATICALLY AND NOT NECESSARILY SHOWN IN THE TRUE PROJECTION.
- SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE SUPERINTENDENT.
- ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION SO AS NOT TO BE DISPLACED DURING CONCRETING, ON APPROVED BAR CHAIRS AT 1000 mm MAXIMUM CENTRES BOTH WAYS. WHERE REQUIRED PROVIDE SUPPORT BARS N16 AT 1000 mm MAXIMUM CENTRES.
- CONCRETE COMPONENTS AND QUALITY SHALL BE AS FOLLOWS :

ELEMENT	SLUMP MAX.	AGGREGATE SIZE	F'c	AGGREGATE
FOUNDATIONS GROUND SLABS	80 +- 15	20 mm	N20	NORMAL

## STRUCTURAL STEELWORK NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO FABRICATION OF ANY MISCELLANEOUS STEELWORK.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 1250 AND A.S. 1554.
- UNLESS OTHERWISE SHOWN STEEL QUALITY SHALL CONFORM WITH ALL RELEVANT AUSTRALIAN STANDARDS.
- UNLESS OTHERWISE SHOWN ALL INTERFACES BETWEEN CONNECTING STEELWORK SHALL BE EITHER BOLTED OR CONTINUOUSLY WELDED. ALL WELDS SHALL BE 6mm FILLET WELDS ON BOTH SIDES U.N.O.
- ALL BUTT WELDS SHALL BE FULL PENETRATION BUTT WELDS UNLESS SHOWN OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND HOLES REQUIRED FOR FIXING NON-STRUCTURAL ELEMENTS TO STEELWORK WHETHER SHOWN OR NOT ON THE DRAWINGS.
- SITE WELDING SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH SAFETY REGULATIONS.
- ALL STEEL MEMBERS TO BE PAINTED WITH ZINC SILICATE PRIMER WHERE CONCEALED, & PAINTED TO MATCH SURROUNDING WALLS WHERE EXPOSED.

## REQUIREMENTS FOR SUSTAINABLE BUILDINGS

### ACCEPTABLE SOLUTIONS:

#### VOLUME OF WATER :

LICENSED PLUMBERS MUST INSTALL WELS RATED TOILETS AND WELS RATED TAPWARE FOR KITCHEN, SINKS, BASINS AND LAUNDRY TROUGHS IN NEW CLASS 1 AND CLASS 2 BUILDINGS IN ACCORD WITH RATING APPLICABLE WITH THE N.C.C. FOR ANY MAJOR RENOVATION WORK THAT INVOLVES BOTH A BUILDING DEVELOPMENT APPROVAL AND A PLUMBING APPLICATION, THE RETROFIT OF EXISTING TOILETS WITH 4-STAR RATED TOILETS IS REQUIRED. THE RETROFITTING OF EXISTING TAPS IS NOT PART OF THIS NEW REQUIREMENT.

TOILETS MUST HAVE DUAL FLUSH CAPABILITY THAT DOES NOT EXCEED 6 LITRES ON FULL FLUSH & 3 LITRES ON HALF FLUSH.

#### WATER SUPPLY:

IN A SERVICE AREA FOR RETAIL WATER SERVICE UNDER THE WATER ACT 2000, THE WATER SUPPLIED TO A NEW CLASS 1 BUILDING DOES NOT EXCEED PRESSURE LEVELS SET OUT IN AS/NZ 3550.1:2003 AND IF THE MAIN WATER PRESSURE EXCEEDS OR COULD EXCEED 500 KPA, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAXIMUM OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500 KPA.

#### AIRCONDITIONING :

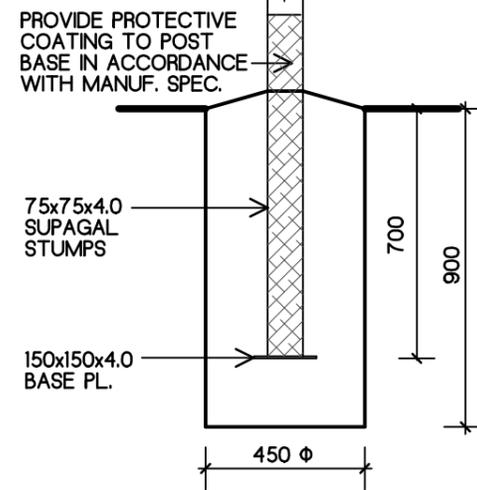
MINIMUM 2.9 ENERGY EFFICIENCY RATIO (EER) (EQUIVALENT TO A CURRENT 4-STAR ENERGY RATING) FOR AIR-CONDITIONERS PERMANENTLY ATTACHED TO FIXED WIRING IN CLASS 1 AND CLASS 2 BUILDINGS (WHERE NEW AND REPLACEMENT SYSTEMS ARE INSTALLED) FROM 1 JULY 2009.

#### ACCEPTABLE HOT WATER SYSTEMS

IN A NEW CLASS 1 BUILDING ;  
HOT WATER SYSTEMS MUST HAVE A LOW GREENHOUSE GAS EMISSION IMPACT.

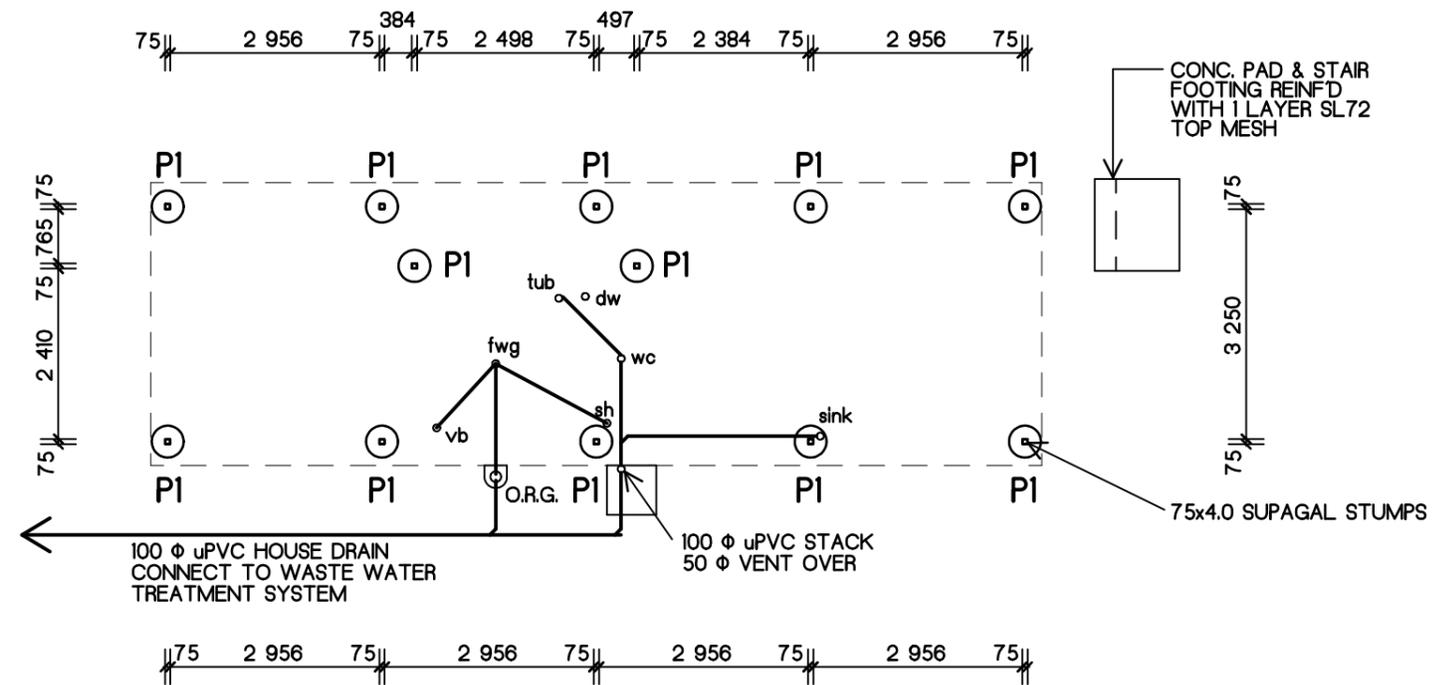
ELECTRIC HOT WATER SYSTEM - OFF PEAK

SHOWER ROSES TO BE AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400. 2004 OR LABELLING SCHEME (WELS)  
A 4 STAR RATING UNDER THE WATER EFFICIENCY LABELLING SCHEME (WELS)

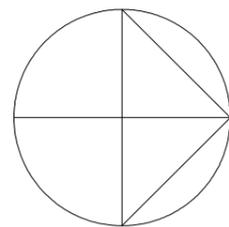


### FOOTING P1

1 : 20



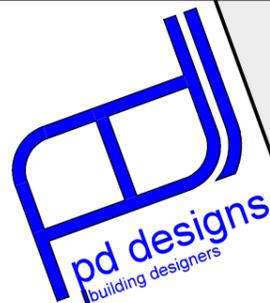
### FOOTING & DRAINAGE PLAN



WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION C2

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**LOT 4, 57 BANABILLA ROAD,**  
**DEGARRA**

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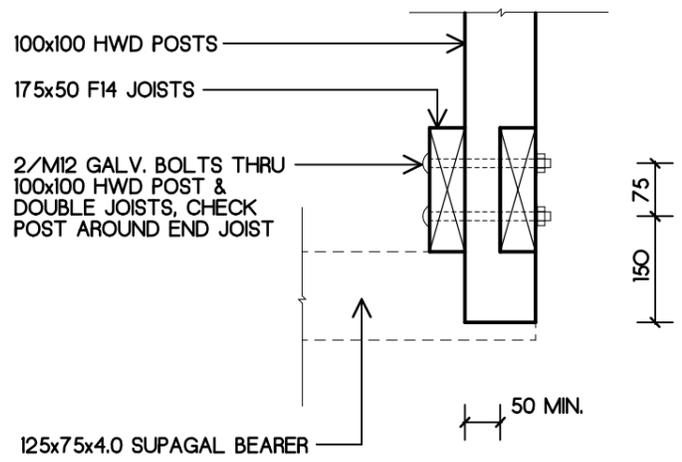
2887

WIND CLASSIFICATION

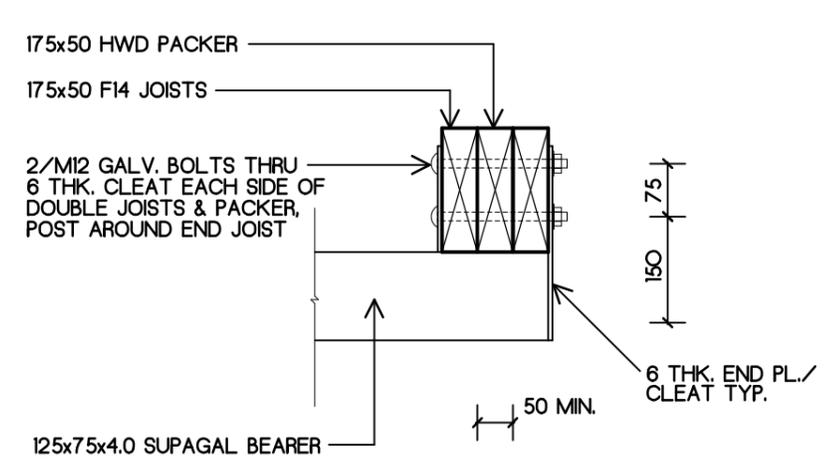
W2

OF 8

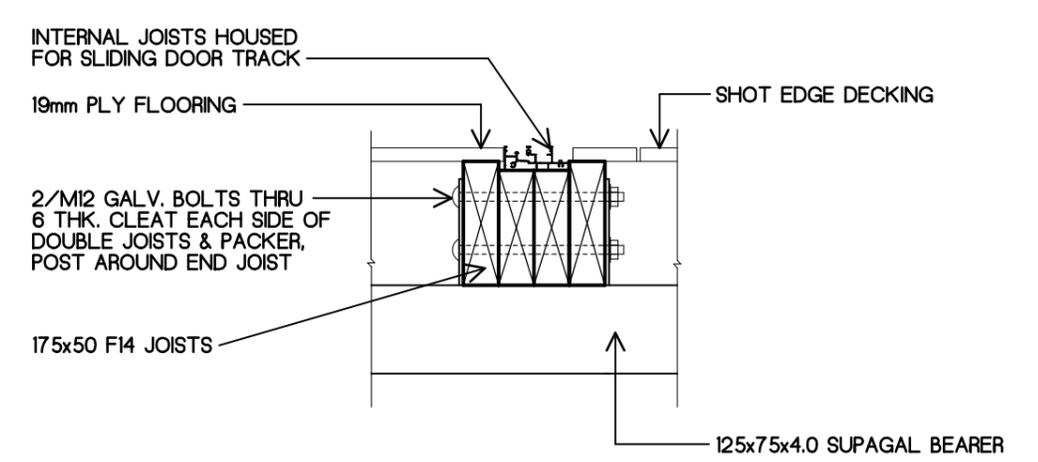
C2



**DETAIL 1**  
1 : 10



**DETAIL 2**  
1 : 10



**DETAIL 3**  
1 : 10

**ROOF TRUSS NOTES**

ROOF TRUSSES TO BE DESIGNED AND CERTIFIED BY THE TRUSS MANUFACTURER.

- THE DESIGN SHALL INCLUDE :-  
 (a) TRUSS LAYOUT.  
 (b) ALL NECESSARY WIND AND BOTTOM CHORD BRACING.  
 (c) ALL INTERNAL TRUSS CONNECTIONS.

**EXTERNAL TIMBER WALL AND INTERNAL LOAD BEARING WALL FRAME NOTES**

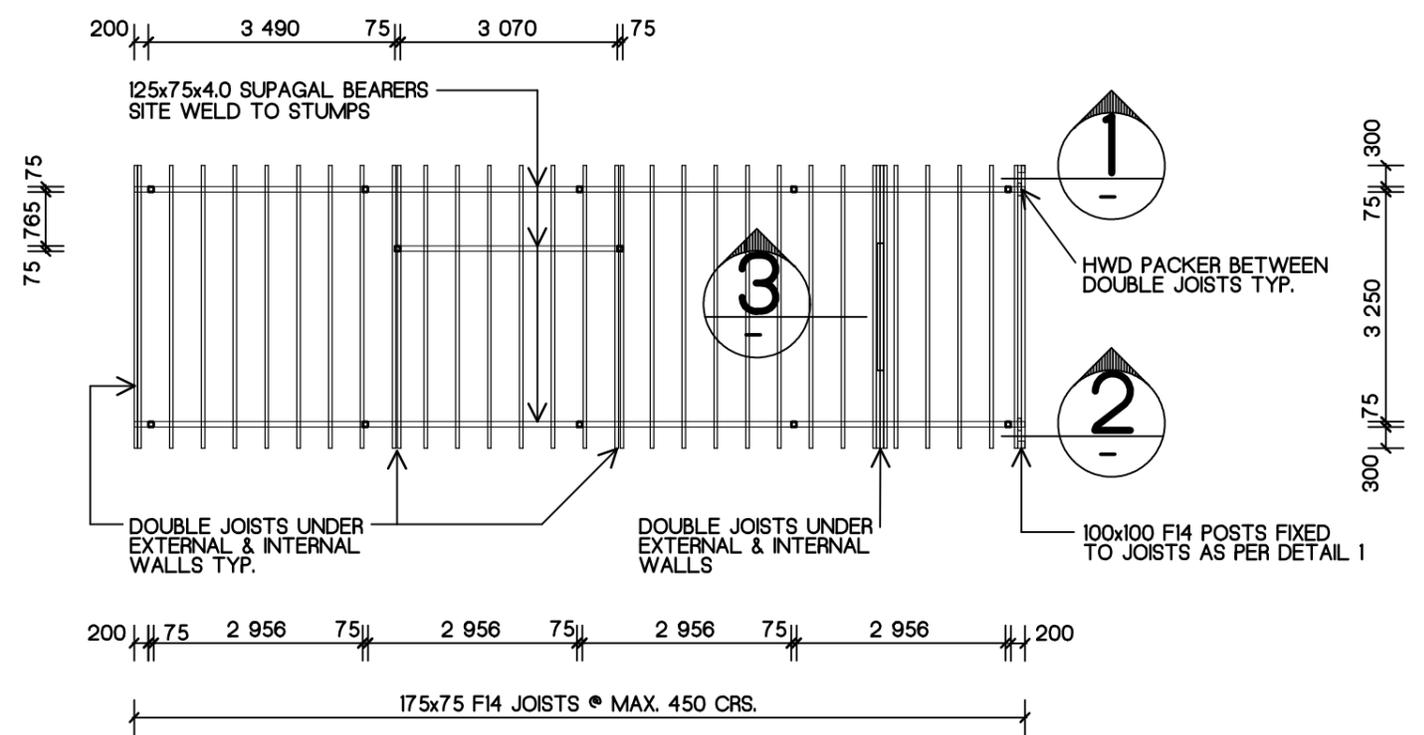
- STUDS - 90x35 MGP12 AT 450 CTS. FOR HT < 3000  
90x35 MGP12 AT 300 CTS. FOR 3000 > HT < 3300  
2 ROWS OF NOGGING
- TOP PL. - 2/90x35 MGP12
- BTM PL. - 90x35 MGP12
- PROVIDE M12 GALV. CYCLONE RODS AT ENDS, CORNERS, EACH SIDE OF OPENINGS AND 900 CTS MAX BETWEEN.
- STUDS EACH SIDE OF OPENINGS -

OPENING WIDTH	No. STUDS EACH SIDE OF OPENING
900	1
1200 - 2100	2
2400 - 3000	3

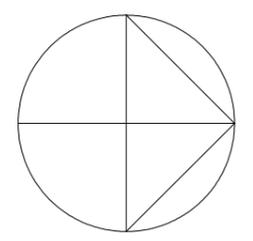
- LINTELS UNLESS NOTED OTHERWISE LINTEL SIZES TO BE -

SPAN	SIZE (LVL)	SIZE (F14)
900	- 95x63	- 100x75
1200	- 2/95x45	- 125x75
1500	- 2/130x45	- 125x75
1800	- 2/150x45	- 150x75
2100	- 170x45	- 175x75

- BRACING  
 P PLYWOOD SHEETING FIXED TO MANUF. SPEC. TO PROVIDE 6.0 KN/m RACKING RESISTANCE  
 U.N.O. PROVIDE M12 CYCLONE RODS AT EACH END OF BRACING WALL AND AT 1200 CRS. MAX. BETWEEN.  
 PROVIDE ANTI-RACKING CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH ASI684.3 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - CYCLONIC



**FLOOR FRAMING PLAN**  
1 : 100



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<b>2887</b>	
OF 8	
WIND CLASSIFICATION	<b>C2</b>

NOTE 1  
INSTALL 12 SNAP VENTS TO  
SOFFIT SPREAD EVENLY  
AROUND BUILDING

R2.5 RATED INSULATION BATTS TO CEILING TYP.

PREFABRICATED TIMBER ROOF TRUSSES  
@ 900 crs. max. ERECTED & BRACED  
TO MANUF. SPEC. FOR C2 - WIND CLASS.  
TREATED AGAINST TERMITES.

STRAMIT CYCLONIC ROOF BATTENS  
FIXED IN ACCORD. WITH MANUF. SPEC.  
FOR C2-WIND CLASS. 600 END SPACINGS,  
INTERMEDIATE SPACINGS AT 900 max. crs.

+2700

+2000

9mm PLYGROOVE INTERNAL WALL &  
CEILING LINING FIXED TO MANUF.  
SPEC.

NOTCH JOISTS TO WET AREAS 40mm  
INSTALL SECURA WET AREA FLOORING  
TOP FLOOR TO PROVIDE FALL TO  
FLOOR WASTE

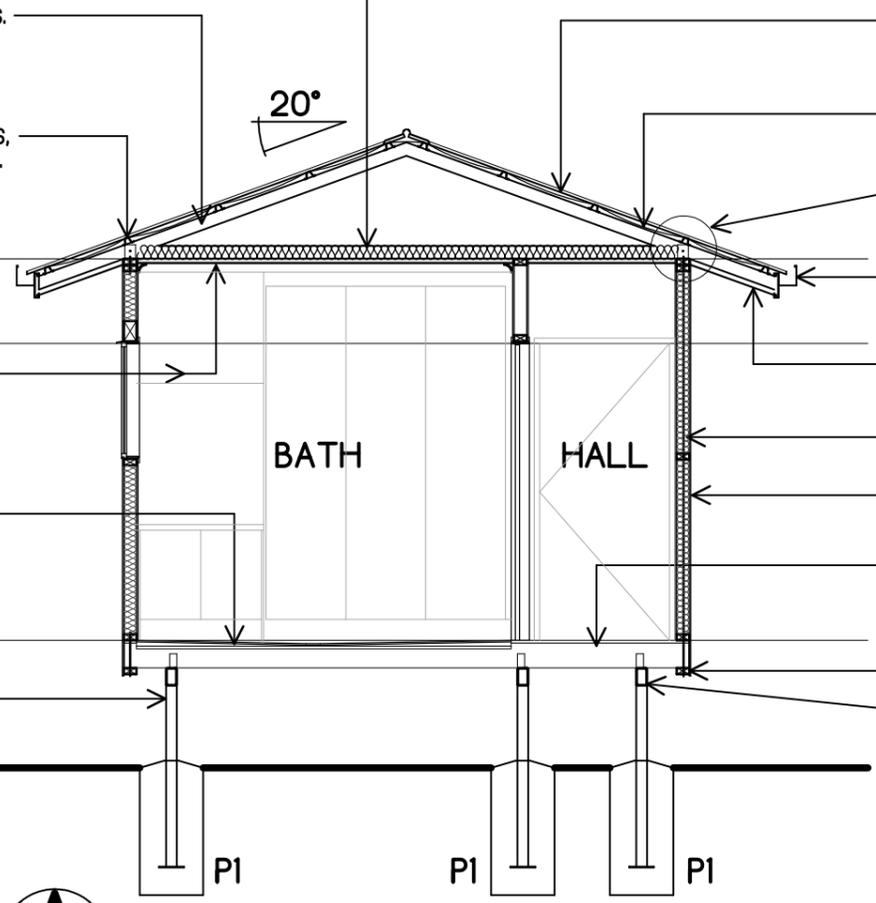
+0.00

75x4.0 SUPAGAL STUMPS

-900

A  
WI

SECTION  
1: 50



NEW STRAMIT COLORBOND CORRUGATED  
ROOF SHEETING FIXED TO MANUF. SPEC.  
FOR C2-WIND CLASS.

ROOF INSULATION OVER ENTIRE ROOF  
PERMASTOP TROPIC BLANKET  
INSTALLED TO MANUF. SPEC.

6 THK. ANGLE CLEAT, 1-M12 BOLT TO  
TRUSSES, 1-M12 BOLT THRU DOUBLE  
TOP PL. TYP.

STRAMIT COLORBOND  
FASCIA, GUTTER & CAPPINGS  
GUTTERS TO COMPLY WITH  
PARTS 3.5.2 OF THE N.C.C.

6mm F.C. VERANDAH CEILING/  
SOFFIT LINING. FIXED TO TREATED  
PINE BATTENS @ 450 MAX. CRS.

R2.0 RATED INSULATION BATTS TO WALLS

SHADOWCLAD EXTERNAL CLADDING  
FIXED TO MANUF. SPEC. OVER SARKING

175x50 F14 JOISTS AT MAX. 450 CRS.  
2/FRAMING ANCHORS EACH SUPPORT  
POINT, 4-No. 10x25 TEK SCREWS INTO  
BEARER TYP. OR 50x5 THK. CLEAT  
C.F.W. TO BEARER, 1-M12 TO JOISTS

90x45 UNDERBATTEN

125x75x4.0 SUPAGAL BEARERS

**TERMITE TREATMENT**

SELECTED TREATMENT METHOD TO BE WITH USE OF  
NON-SUSCEPTIBLE BUILDING MATERIALS E.G. STEEL &  
C.C.A. OR L.O.SP. TREATED TIMBER.

REGULAR INSPECTIONS ARE REQUIRED AT 3 - 6 MONTH  
INTERVALS TO ENSURE THE BARRIERS HAVE NOT BEEN  
BRIDGED BY TERMITES.

NO GARDENS ARE TO BE BUILT UP TO THE HOUSE SO  
A CLEAR VIEW OF THE PERIMETER OF THE BUILDING  
IS READILY VISABLE FOR PERIODIC INSPECTIONS & NO  
BRIDGING PATHS ARE PROVIDED FOR THE TERMITES TO  
BYPASS THE PHYSICAL BARRIERS WITHOUT DETECTION.

6 THK. CLEAT, 1-M12  
BOLT THRU TRUSS  
NAIL PLATE TYP.

100x4.0 SUPAGAL BEAM

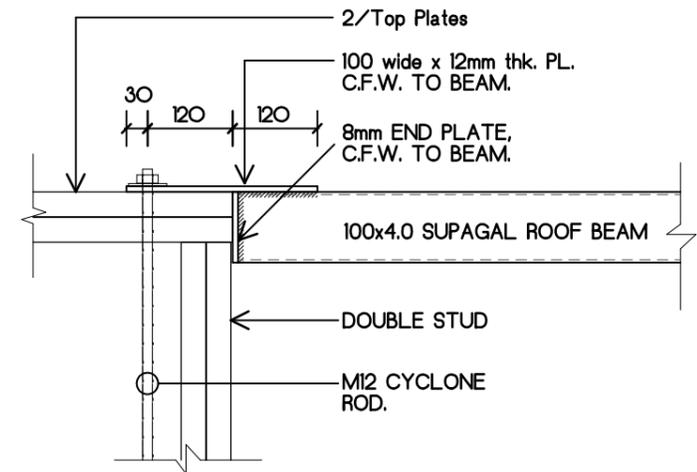
F.C. SHEETING FIXED TO  
TIMBER CEILING BATTENS  
@ 450 crs.

6 THK. CLEAT C.F.W.  
TO U/S RHS BEAM  
SLOT INTO CENTRE  
OF POST, 2-M12  
GALV. BOLTS TYP.

100x100 HWD POSTS

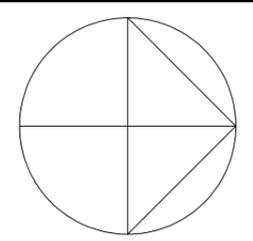
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DETAIL  
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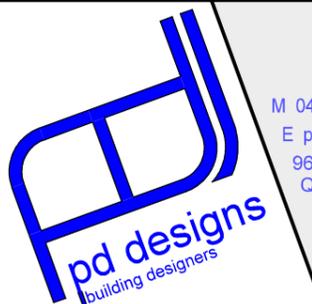
5  
WI

DETAIL  
1: 10



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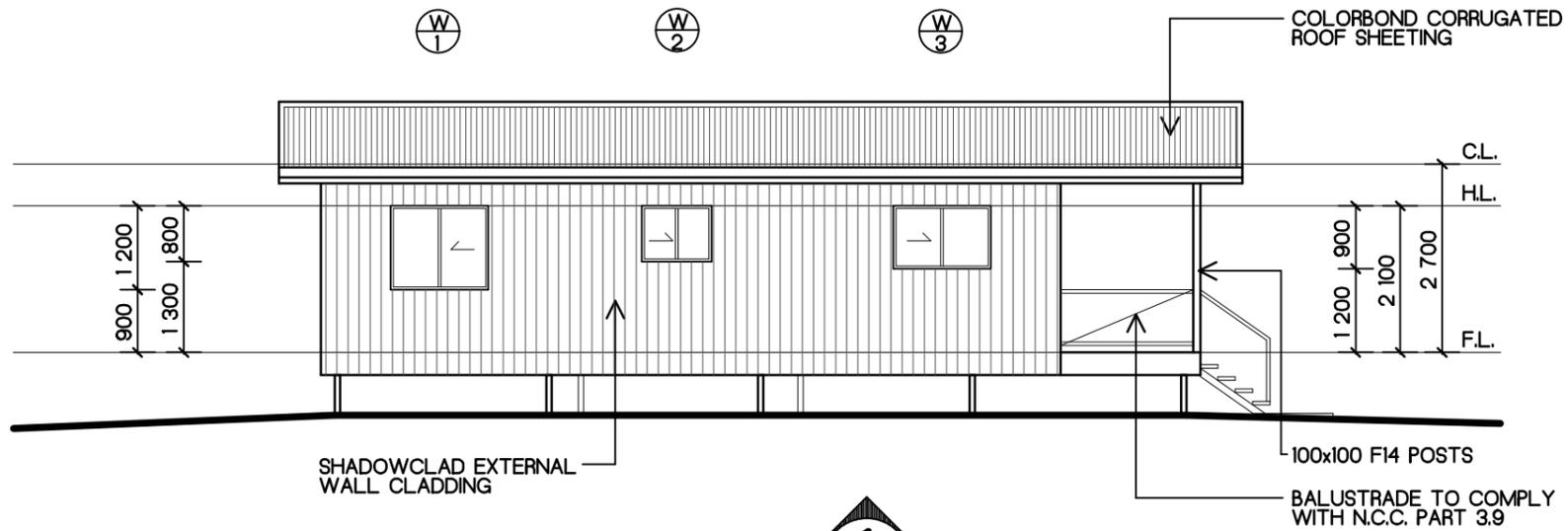
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**DEGARRA**

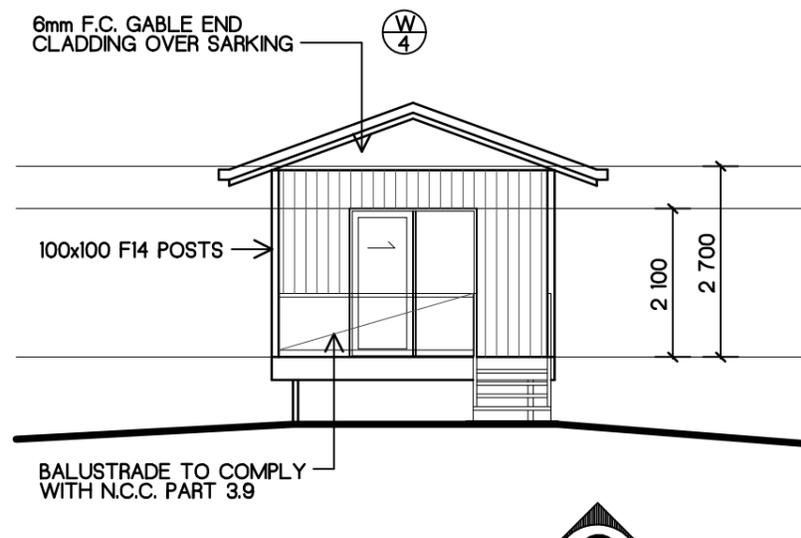
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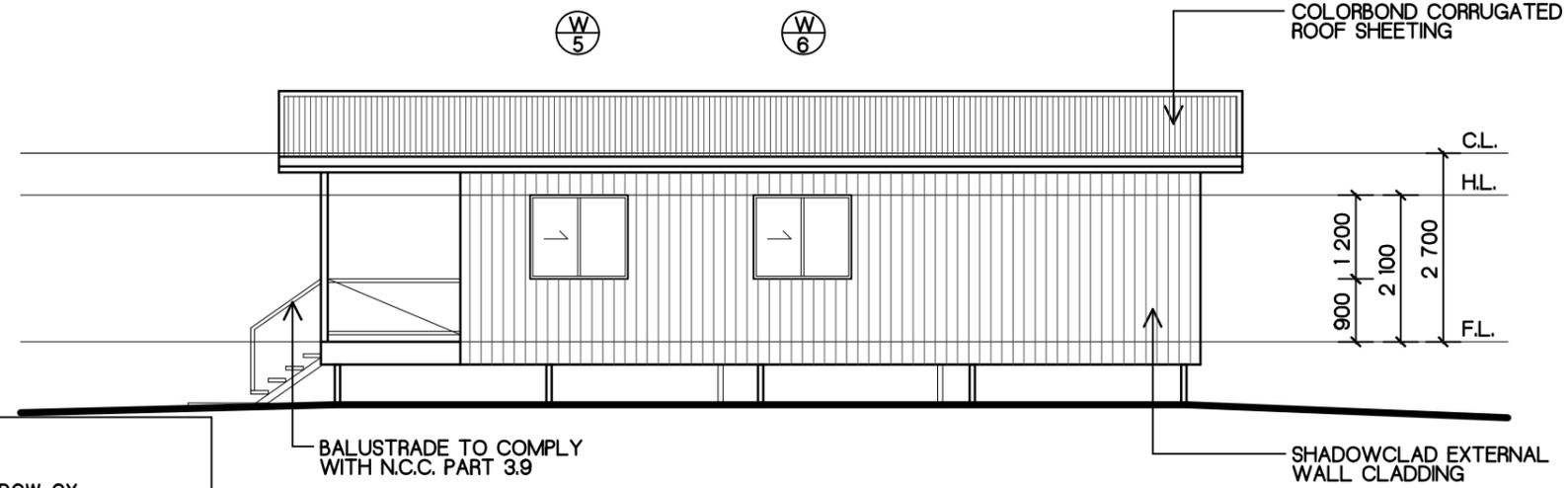
MAY 2025	<b>W4</b> OF 8
<b>2887</b>	
WIND CLASSIFICATION	<b>C2</b>



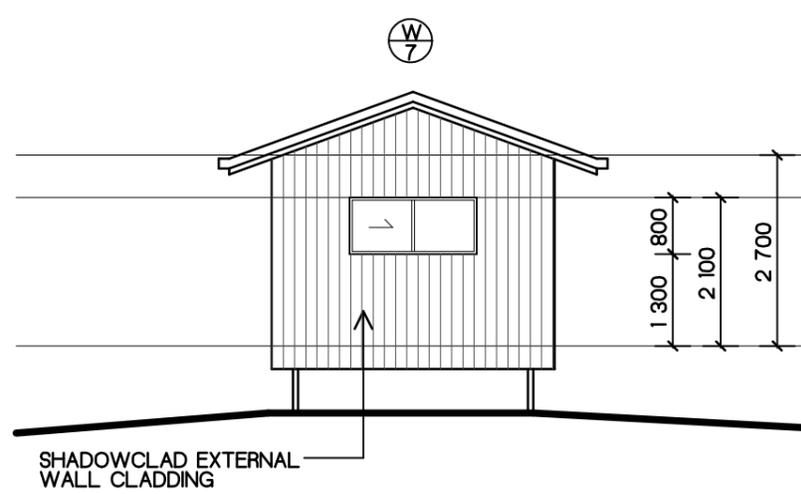
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

WINDOW SCHEDULE

W1	1200x1200 SLIDING GLASS WINDOW OX
W2	800x800 SLIDING GLASS WINDOW XO
W3	1200x900 SLIDING GLASS WINDOW XO
W4	2100x1800 SLIDING GLASS DOOR, LOW RISE ACCESSIBLE BOTTOM SILL, XO
W5	1200x1200 SLIDING GLASS WINDOW XO
W6	1200x1200 SLIDING GLASS WINDOW XO
W7	800x1800 SLIDING GLASS WINDOW XO

**Note:**  
 ALL SLIDING DOORS AND WINDOWS TO HAVE FLYSCREENS  
 ALL FRAMES POWDER COATED FINISH  
 ALL GLASS CLEAR

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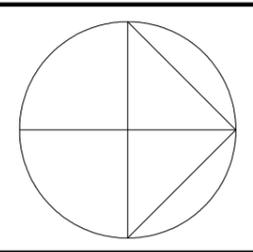
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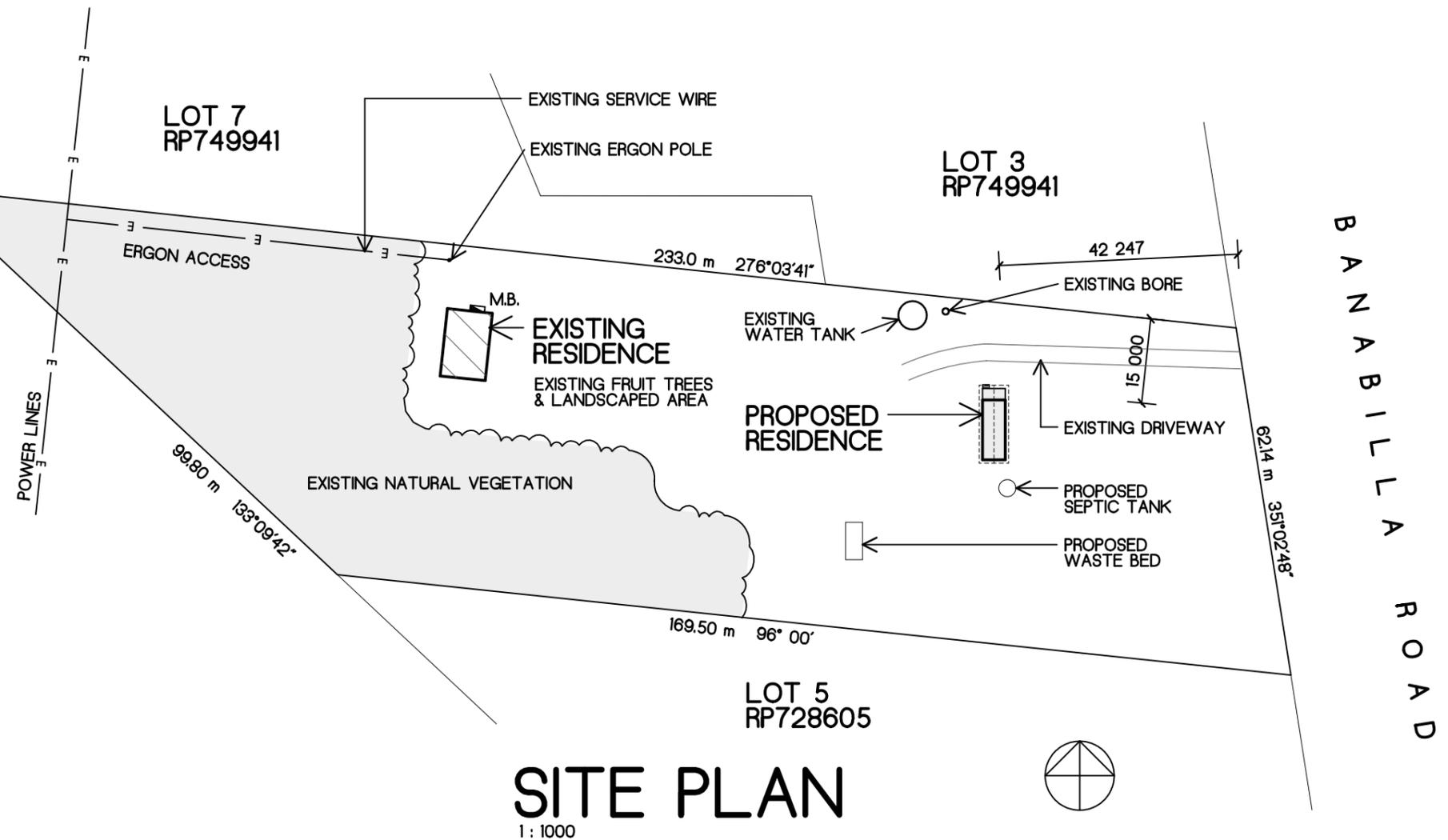
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## BUILDING PLATFORM PREPARATION

1. AN AREA APPROXIMATELY 2000 PAST THE BUILDING LINES IS TO BE STRIPPED OF ALL TOPSOIL AND ALL ORGANIC MATTER ETC. IS TO BE GRUBBED OUT LEAVING FIRM STABLE MATERIAL ONLY. ALL TOP SOIL CAN BE STOCKPILED ON SITE FOR LATER USE IN LANDSCAPING.
2. ANY TREE STUMPS UNDER THE PLATFORM ARE TO BE REMOVED AND THE RESULTANT HOLES ARE TO BE BACKFILLED WITH APPROVED NON-PLASTIC FILL MATERIAL IN COMPACTED LAYERS NOT EXCEEDING 150 mm TO 98 % S.R.D.D.
3. THE BUILDING PLATFORM SHALL THEN BE COMPACTED WITH A MINIMUM 10 TONNE VIBRATION ROLLER. THE USE OF VIBRATORY ROLLERS FOR EARTH WORKS COMPACTION MAY CAUSE SIGNIFICANT GROUND VIBRATION & CAREFUL SITE CONTROL, OR THE USE OF HEAVY STATIC COMPACTION PLANT WILL BE REQUIRED TO AVOID DAMAGE TO ADJOINING BUILDINGS.
4. ANY FILL IS TO BE SPREAD IN LAYERS NOT EXCEEDING 150 mm & COMPACTED WITH THE ROLLER TO 98% S.R.D.D AT OPTIMUM MOISTURE CONTENT.
5. RE-SPREAD TOP SOIL TO OWNERS REQUIREMENTS
6. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT AUTHORITIES & GENERALLY IN ACCORDANCE WITH A.S. 2870
7. THE CERTIFICATION OF THE FOOTINGS IS BASED ON A CLASS 'M' SITE CLASSIFICATION, MINIMUM SAFE BEARING CAPACITY 100 KPa, AFTER RECTIFICATION WORK AS PER NOTE 5.



## SITE PLAN

1 : 1000

## PROPERTY DESCRIPTION

LOT 4 ON R.P. 728605

57 BANABILLA ROAD, DEGARRA

C2 - WIND CLASSIFICATION

SOIL CLASSIFICATION - 'M'

LOCAL AUTHORITY - DOUGLAS SHIRE COUNCIL

### NOTE :

PROVIDE CONCRETE SPLASH PADS UNDER DOWNPIPES, UNLESS BEING DIVERTED INTO APPROVED STORMWATER TANK/S.

REFER TO WASTE WATER CONSULTANTS SITE CLASSIFICATION & WASTEWATER MANAGEMENT SYSTEM REPORT FOR DESIGN & LOCATION OF 'ON SITE' WASTE WATER TREATMENT SYSTEM.

## BUSHFIRE BAL 12.5 DESIGN REQUIREMENTS

GAPS BETWEEN DOORS AND DOOR JAMBS, AND THRESHOLDS MUST BE 3MM OR LESS, OR DRAUGHT EXCLUDERS ARE TO BE PROVIDED.

EXPOSED COMPONENTS OF EXTERNAL WALLS THAT ARE LESS THAN 400MM FROM THE GROUND OR ABOVE DECKS MUST BE CLAD IN NON-COMBUSTIBLE MATERIAL, BUSHFIRE RESISTANT TIMBER OR A FIBRE CEMENT A MINIMUM OF 6MM THICK.

ALL JOINTS IN THE EXTERNAL CLADDING MUST BE COVERED SEALED OR OVERLAPPED TO PREVENT GAPS >3MM.

WINDOWS WITH OPENABLE PORTIONS ARE TO BE SCREENED WITH CORROSION RESISTANT METAL FLYSCREENS WITH A MAXIMUM APERTURE OF 2MM. WINDOW FRAMES MUST BE METAL AND GLAZING MUST BE A MINIMUM OF 5MM THICK TOUGHENED GLASS.

SIDE HUNG EXTERNAL DOORS MUST BE EITHER SOLID CORE, MINIMUM OF 35MM THICK, HOLLOW CORE WITH A NON-COMBUSTIBLE KICK PLATE UP TO 400MM ABOVE THE THRESHOLD OR HOLLOW CORE AND FITTED WITH A METAL SCREEN AS WITH THE WINDOWS.

WHERE ANY PART OF THE DOOR FRAME IS WITHIN 400MM OF THE GROUND OR DECKS, THE FRAME MUST BE CONSTRUCTED OF TIMBER WITH A DENSITY > 650KG/M OR BE OF METAL CONSTRUCTION.

SLIDING DOORS MUST HAVE METAL FRAMES AND ANY GLAZING INCORPORATED IN THE FRAME MUST BE A MINIMUM OF 5MM THICK TOUGHENED GLASS.

ROOF VENTILATION OPENINGS MUST BE FITTED WITH EMBER GUARDS

SHEET ROOFS ARE TO BE AND FULLY SARKED (COVERING THE ENTIRE ROOF AREA, OVER RIDGES AND HIPS). GAPS AT ROOF EDGES >3MM ARE TO BE SEALED WITH MINERAL WOOL OR OTHER NON-COMBUSTIBLE MATERIAL.

EAVES ARE TO BE SEALED, AND VENTILATED EAVES MUST BE PROTECTED WITH EMBER GUARDS.

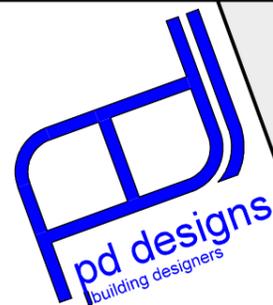
DECKING, STAIR TREADS AND LANDINGS MUST BE MADE FROM TIMBER WITH A DENSITY > 650KG/M.

ABOVE GROUND EXPOSED WATER AND GAS SUPPLY PIPES MUST BE METAL.

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**2887**

WIND CLASSIFICATION

**W6**

OF 8

**C2**

## Part 1. Dwelling Access

### 1.1 Step-free access path

- (1) A continuous path to a dwelling entrance door must be provided from –
- the pedestrian entry at the allotment boundary from the ground level of the adjoining land; or
  - an appurtenant Class 10a garage or carport; or
  - a car parking space within the allotment that is provided for the exclusive use of the occupants of the dwelling.
- (2) Access for the purposes of (1) must be –
- via a pathway that –
- has no steps; and
  - except for a step ramp provided under (5), has a maximum gradient of 1:14 in the direction of travel; and
  - if crossfall is provided, has a crossfall not more than 1:40; and
  - has a minimum width of 1000 mm; and
  - if it incorporates a section suspended above finished ground level, is able to take loading forces in accordance with AS/NZS 1170.1; and
  - connects to a dwelling entrance door that complies with Section 2; or
  - provided directly from an attached Class 10a garage or carport, via a door complying with the requirements of Section 2, other than Clause 2.3.
- (3) For the purposes of (2), the following applies:
- Any gates along the access path must have a minimum clear opening width of 820 mm, measured as if the gate were an entrance door.
  - A deck or boardwalk-style path constructed in accordance with AS 1684 or NASH Standard – Residential and Low-rise Steel Framing would satisfy the requirements of (2)(a)(v).
- (4) Where one or more ramps are used, the following applies:
- The interval between landings must not be more than –
- 9 m for a 1:14 gradient; or
  - 15 m for a 1:20 gradient; or
  - a length determined by linear interpolation for ramps with a gradient between 1:14 and 1:20.
- The minimum width of the ramp must be maintained at 1000 mm between any handrails and/or kerbs (if provided) at each side of the ramp.
- At each end of a ramp there must be a landing that is –
- not less than 1200 mm long; and
  - at least as wide as the ramp to which it connects; and
  - level, or has a gradient not more than 1:40 if a gradient is necessary for drainage.
- A landing area required by Clause 2.3 may also be counted as a landing for the purposes of (c).
- (5) The access path may incorporate one step ramp having a –
- height of not more than 190 mm; and
  - gradient not more than 1:10; and
  - width of at least 1000 mm or equivalent to that of the access path, whichever is the greater; and
  - maximum length of 1900 mm.

### 1.2 Parking space incorporated into step-free access path

- (1) Where one or more car parking spaces are connected to or form part of a required access path, at least one of the car parking spaces must have –
- a minimum unobstructed car parking space of 3200 mm wide x 5400 mm long; and
  - a gradient not more than 1:33 for bitumen, or 1:40 for any other surface material.
- (2) For the purposes of (1), a required access path means an access path provided for the purposes of compliance with Clause 1.1.

## Part 2. Dwelling Entrance

### 2.1 Clear opening width

- (1) At least one entrance door to the dwelling must have a minimum clear opening width of 820 mm.

### 2.2 Threshold

- The threshold of an entrance door that is subject to Clause 2.1 must –
- be level; or
  - have a sill height not more than 5 mm if the lip is rounded or bevelled; or
  - have a ramped threshold that –
- does not extend beyond the depth of the door jamb; and
  - has a gradient not steeper than 1:8; and
  - is at least as wide as the minimum clear opening width of the entrance door; and
  - does not intrude into the minimum dimensions of a landing area that is required by Clause 2.3; or
  - where the requirements of (a), (b) or (c) cannot meet the weatherproofing requirements of the NCC, for external entrance doors containing a raised door or sill –
- have no lip or upstand greater than 15 mm within the sill profile; and
  - have no more than 5 mm height difference between the edge of the top surface of the sill and the adjoining finished surface.

### 2.3 Landing area

- An entrance door that is subject to Clause 2.1 must have a space of at least 1200 mm x 1200 mm on the external (arrival) side of the door that is –
- unobstructed (other than by a gate or a screen door); and
  - level, or has a gradient not more than 1:40 if a gradient is necessary to allow for drainage.

### 2.4 Weatherproofing for external step-free entrance

- Weatherproofing for an external step-free entrance must be provided in accordance with one or a combination of the following:
- Where the external surface is concrete or another impermeable surface, a channel drain that meets the requirements of Volume Two H2D2 is to be provided for the width of the entrance.
  - Where the external trafficable surface is decking or another raised permeable surface, a drainage surface below the trafficable surface is to be provided that meets the requirements of Volume Two H2D2, and drainage gaps in the trafficable surface, such as those between decking boards, are to be no greater than –
- 8 mm; or
  - in a designated bushfire prone area, that permitted by AS 3959.
- A roof covering an area no smaller than 1200 mm by 1200 mm, where the area is provided with a fall away from the building not greater than 1:40.

## Part 3. Internal Doors and Corridors

### 3.1 Clear opening width

- Internal doorways must provide a minimum clear opening width of 820 mm, measured in accordance with Figure 2.1.

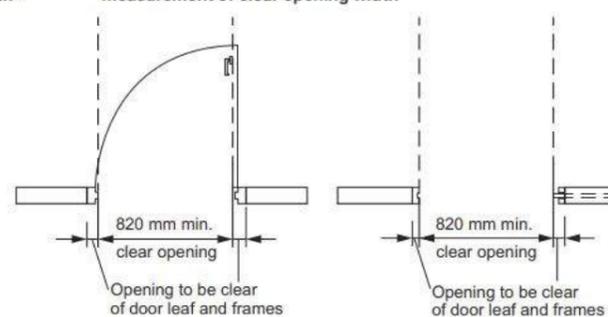
### 3.2 Threshold

- The threshold of an internal doorway that is subject to Clause 3.1 must –
- be level; or
  - have a height not more than 5 mm if the lip is rounded or bevelled; or
  - have a ramped threshold that –
- does not extend beyond the depth of the door jamb; and
  - has a gradient not steeper than 1:8; and
  - is at least as wide as the minimum clear opening width of the doorway it serves.

### 3.3 Corridor width

- Internal corridors, hallways, passageways or the like, if connected to a door that is subject to Clause 3.1, must have a minimum clear width of 1000 mm, measured between the finished surfaces of opposing walls.

Figure 2.1: Measurement of clear opening width



## Part 4. Sanitary Compartment

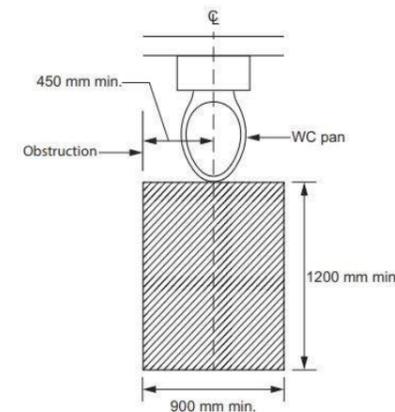
### 4.1 Location

- There must be at least one sanitary compartment located on the ground or entry level of a dwelling.

### 4.2 Circulation space

- A sanitary compartment that is subject to Clause 4.1 must be constructed in accordance with the following:
- For a toilet pan located in a separate sanitary compartment, there must be a clear width of not less than 900 mm between the finished surfaces of opposing walls either side of the toilet pan.
  - For a room containing a toilet pan, any fixed obstruction, such as a basin or a vanity unit, must be located at least 450 mm from the centreline of the toilet pan normal to the front face of the cistern.
  - A clear minimum circulation space of 1200 mm by 900 mm must be provided from the front edge of the toilet pan.
  - Compliance with (c) must be determined in accordance with Figure 4.2.

Figure 4.2: Circulation space for a toilet pan



## Part 5. Shower

### 5.1 Application

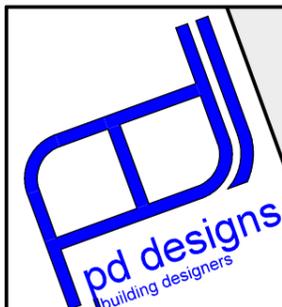
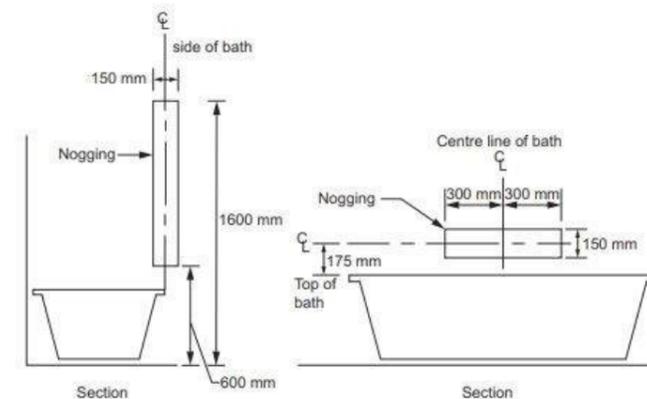
- At least one shower must comply with Clause 5.2.

### 5.2 Hobless and step-free entry

- (1) At least one shower must have a hobless and step-free entry.  
(2) A lip not more than 5 mm in height may be provided for water retention purposes

Figure 6.2a:

Location of noggings for walls surrounding a bath



M 0427 561 883  
E peter@pddesigns.com.au  
96A gordon street, gordonvale,  
QLD. 4865  
lic. under QBCC Act 1991 - No. 1191543  
abn: 73 437 147 573  
acn: 143 382 899

Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

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PROPOSED RESIDENCE FOR :  
M. ZIPPEL  
LOT 4, 57 BANABILLA ROAD,  
DEGARRA

MAY 2025

2887

WIND CLASSIFICATION

W7

OF 8

C2

Figure 6.2b: Location of sheeting for walls surrounding a bath

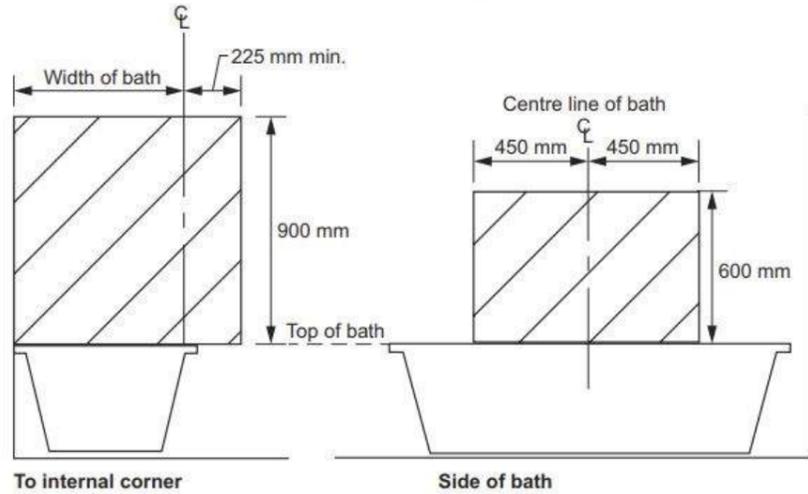


Figure 6.2d: Location of sheeting for shower walls

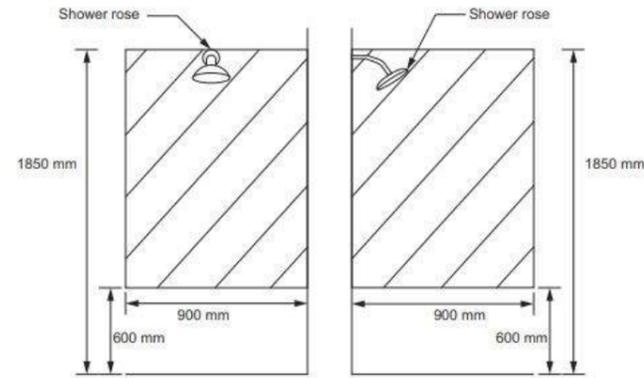


Figure 6.2f: Location of noggings for a wall behind a toilet pan

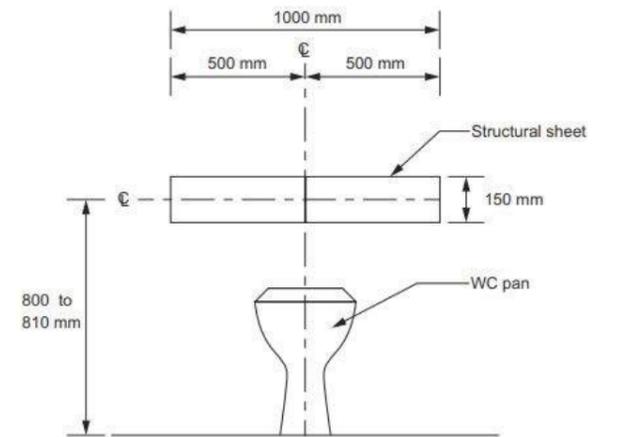


Figure 6.2c: Location of noggings for shower walls

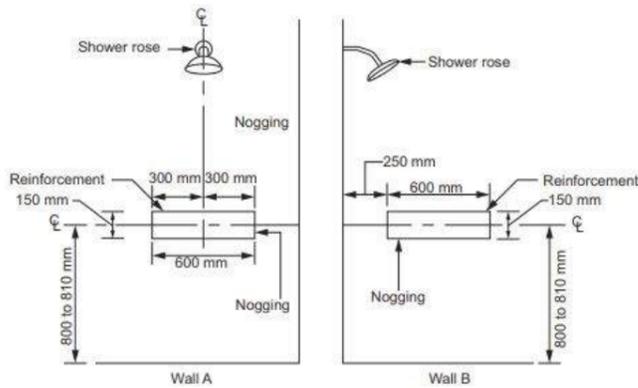


Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan  
Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

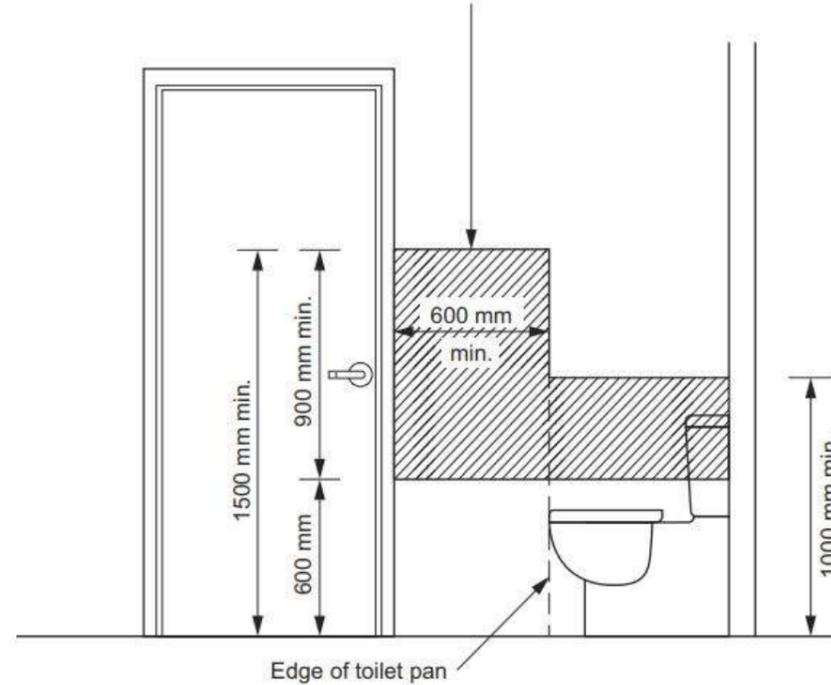
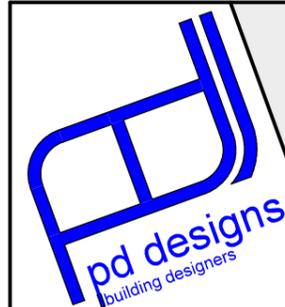
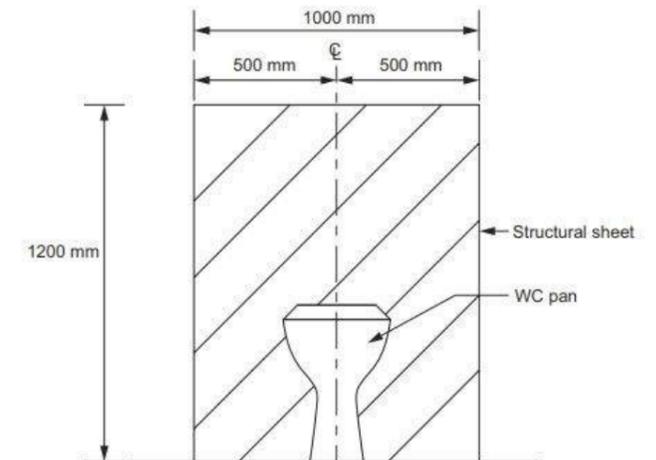


Figure 6.2g: Location of sheeting for a wall behind a toilet pan



M 0427 561 883  
E peter@pddesigns.com.au  
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QLD. 4865  
lic. under QBCC Act 1991 - No. 1191543  
abn: 73 437 147 573  
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Use figured dimensions in preference to scale. Check all dimensions on site before fabrication or building work.

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**PROPOSED RESIDENCE FOR :**  
**M. ZIPPEL**  
**LOT 4, 57 BANABILLA ROAD,**  
**DEGARRA**

MAY 2025

**W8**

**2887**

OF 8

WIND  
CLASSIFICATION

**C2**

# Attachment 8

## Fire Management Plan

Applicant: Mark Zippel, 57 Banabilla Rd DEGARRA, Lot 4 RP728605



**BUSHFIRE MITIGATION REPORT  
FM 7230  
for  
M ZIPPEL  
at  
57 BANABILLA ROAD  
DEGARRA**

**PREPARED BY  
ELDON BOTTCHE ARCHITECT PTY LTD  
145 VARSITY PARADE  
VARSITY LAKES  
PH 07 55920082  
EMAIL [bushfires@eb-a.com.au](mailto:bushfires@eb-a.com.au)  
14/04/2025**



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**DISCLAIMER**

Experienced fire fighters with extensive knowledge of building have prepared this Report. Their practical knowledge of fire fighting has been backed up by academic study.

However, fire is an element of nature. Small natural occurrences can disastrously affect the outcome of the best planning. Human actions similarly can have disastrous results.

Whilst every care has been taken in the formulation of this management report, there can be no guarantee that even the strictest adherence to its recommendations can guarantee safety of life and property.

The authors of this report accept no responsibility for any damage to life or property caused by fire or any other cause to persons using land or structures, which could in any way be construed to be the subject of this report.

**The report has been commissioned as the land falls within an area deemed a fire risk by the local authority.**

**As such, it must be recognized that structures upon this land and those using the structures could be deemed at risk.**

**Logo by LogoInstant**

**Very Important Note:**

This report is valid for the following periods;

- a) A maximum time of 5 years from date of preparation.
- b) The currency of the legislation referred to in Section 1 Report Brief
- c) Changes to any legislation generally that may impact on the report outcomes.
- d) Changes to vegetation, both on and off site, which may impact on the results of this report.
- e) Any other changes that may impact on the report in any manner.

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**THIS REPORT RELIES ON THE AS 3959 FOR THE CALCULATION OF CONSTRUCTION LEVELS.**

**ANY POSSIBLE ERRORS IN THE STANDARD ARE NOT THE RESPONSIBILITY OF THE AUTHOR.**

**THIS REPORT IS ONLY TO BE USED AND DISTRIBUTED AS A COMPLETE REPORT CONTAINING AS A MINIMUM SECTIONS 1,2,3,4 AND 5 (SECTIONS 5.1 & 5.2)**

**THIS REPORT IS NOT TO BE AMENDED IN ANY WAY BY ANY PERSONS OTHER THAN THE ORIGINAL AUTHOR.**

**THIS REPORT IS ONLY TO BE USED FOR PROJECTS IDENTIFIED IN THE REPORT AND REPRESENTED ON THE SITE PLAN ACCOMPANYING THE REPORT.**

## INTRODUCTION

This Fire Management Report has been written for the benefit of future occupants of this proposed site and developed in accordance with the requirements of;

- The Douglas Shire Council Town Plan,
- SPP 07/2017.
- Queensland Planning Act 2016
- “Bushfire Resilient Communities Technical Reference Guide for the State Planning Policy State Interest” Natural Hazards, Risk and Resilience-Bushfire” published by QFES and Queensland Government.
- Natural hazards, risk and resilience-Bushfire State Planning Policy-state interest guidance material published by Queensland Government
- Bushfire Resilient Building Guidance for Queensland Homes published by CSIRO and Queensland Government
- Integrating Building Work in planning schemes-Guidance for local governments- Queensland Government
- The National Construction Code
- Queensland Bushfire Plan published by Queensland Government prepared by QFES.
- Australian Standard AS3959,
- International Fire Safety Engineering Guidelines
- Australian Fire Engineering Guidelines

The report has been prepared as supporting documentation for a Material Change of Use (Building) /Reconfiguration of Lot Application.

- 1.1. Address:**  
57 Banabilla Road Degarra.
- 1.2. Local Authority**  
Douglas Shire Council
- 1.3. R.P.D.**  
Lot 3 on RP861015
- 1.4. Site area**  
12140m<sup>2</sup>
- 1.5. Responsible Fire Authority**  
Rural Fire Service Queensland via the rural fire brigade for rural fires and QFD for Structural fires.
- 1.6. Potential Bushfire Hazard Rating.**  
The draft risk rating maps prepared for the State Government show the ratings on this property as Medium. It must be noted that State Government has revised the mapping and there may be changes to previously mapped areas.
- 1.7. Land tenure.**  
Freehold
- 1.8. Adjoining owners are:**  
Freehold
- 1.9. Current Land Use:**  
Residential
- 1.10. Fire danger Index.**  
FDI 20 taken from mapping prepared by CSIRO which indicates a very narrow band of 0-20 along the coast. This figure has been used as we believe that it more realistically represents the region.  
FFDI 40 (nominated by AS 3959 as advised by Queensland Government Dept. of Housing and Public Works)
- 1.11. Topography**  
Undulating
- 1.12. Predominant Wind Direction**  
The predominate wind direction is from the South East. In times of severe fire weather, the wind direction will be from the North West. The Topography will create microclimates, which will cause swirling, which will modify the apparent wind direction according to primary direction and velocity.

**1.13. Slope**

4<sup>0</sup>

**1.14. Aspect**

South West

**1.15. Fuel Type**

**Predominate vegetation.**

REGIONAL ECOSYSTEM	VHC	VHC DESCRIPTION	SURFACE FUEL LOAD	TOTAL FUEL LOAD
7.3.45b	9.2	Moist to dry eucalypt woodlands on coastal lowlands and ranges	11.4	17.2
7.11.51a	9.2	Moist to dry eucalypt woodlands on coastal lowlands and ranges	11.4	17.2

**1.16. Threat Vegetation Location**

Subject and adjoining sites

**1.17. Fire History**

There is no evidence of a recent fire event.

**1.18. Location of Access Tracks**

The site is served by a partly sealed and unsealed access track from a sealed road system.

**1.19. Location of Fire Breaks**

There are no formal firebreaks. Managed vegetation between the site and the road , combined with the road system forms and effective fire break

**1.20. Location of existing firefighting Infrastructure**

There is no formal firefighting infrastructure.

**1.21. Historical and Cultural Sites**

There is no evidence of Historical and Cultural sites on the property.

**1.22. Koala Habitat**

The site is not located in a Koala Habitat Area

**2. SITE AND HAZARD ASSESSMENT**

**2.1. Discussion with Responsible Fire Authority**

The fires management report has not been discussed with the First Officer of the Rural Fire Brigade, due to a Commissioners Directive in relation to advice provided by Rural Fire Brigade members.

**2.2. Vegetation Types**

The vegetation type predominate to this site are as scheduled in section 1.15.

**2.3. Potential Bushfire Hazard Rating.**

Desktop study, and assessment against the State Planning Policy Mapping Methodology generally confirms the intent of State Mapping in that the area is in a Potential Bushfire Hazard Area, and the relevant aspects required for Town Planning and Building are to be addressed.

**2.4. Building Construction**

All buildings situated within the site are in a Designated Risk Area. There is a requirement that certain Buildings within this area be constructed in accordance with the National Construction Code/Building Code of Australia, which refers to either the Australian Standard for Construction in Bushfire Prone Areas (AS 3959) or NASH Standard-Steel Framed Construction in Bushfire Areas as Deemed to Satisfy Solutions.

The levels determined effect the types and usage of materials in relation to the type of Bushfire Attack, which may occur as assessed under the Standard. The Level of Bushfire Attack is assessed taking the vegetation types, slope, and distance from vegetation into account. The most common elements affected are Windows and flyscreening, with some restrictions on cladding and timber types. A comprehensive breakdown is available in either the National Construction Code, the Australian Standard for Construction in Bushfire Prone Areas or NASH Standard-Steel Framed Construction in Bushfire Areas.

Extracts of these documents are not provided due to copyright reasons. Full details can be obtained from your building designer or certifier.

Building Class requirements AS 3959

- 2.4.1. FDI 40
- 2.4.2. Vegetation Classification Site Specific Fuel Loads
- 2.4.3. Land slope Downslope  
4 degrees

Distance of building from Predominate vegetation class (m) (Vegetation Management Zone)	Primary Bushfire Attack Level
11.4	BAL-12.5

- 2.4.4. Land slope Upslope  
-4 degrees

Distance of building from Predominate vegetation class (m) (Vegetation Management Zone)	Primary Bushfire Attack Level
9.2	BAL-12.5

Note:

The levels shown above have been produced using Method 2 as outlined in the AS 3959. Printouts of these calculations are included as Appendix 5.3.1. Site specific fuel loads provided by the State Government are utilised as a Performance Solution to provide more accurate site-specific loads than those provided in AS 3959.

The Vegetation management zone is described as all areas managed to a Low Threat condition encompassed by the distance between the building and threat vegetation from which construction levels are taken.

**The distances shown above are horizontal distances, not measured along the slope.**

**ALL ELEVATIONS ARE TO BE THE SAME CONSTRUCTION LEVEL DUE TO VEGETATION MASS DISTRIBUTION.**

**Construction Levels are shown as part of a comprehensive Bushfire Management Plan.**

**They are provided for the end user of the land and its eventual occupants.**

**THEY ARE NOT PROVIDED FOR ASSESSMENT BY THE LOCAL AUTHORITY, IN ACCORDANCE WITH THE PLANNING ACT 2016, THE STATE PLANNING POLICY, AND THE BUILDING ACT 1975.**

**The Planning Act 2016 Section 8 What are Planning Instruments (5) and (6) state;**

- (5) A local planning instrument must not include provisions about building work, to the extent the building work is regulated under the building assessment provisions, unless permitted under the Building Act.
- (6) To the extent a local planning instrument does not comply with subsection (5), the local planning instrument has no effect.

**The Building Act 1975, Section 31 states;**

*“(4) A local law, local planning instrument or local government resolution must not include provisions about building work, to the extent the building work is regulated under a code under subsection (3).*

*(5) To the extent a local law, local planning instrument or local government resolution does not comply with subsection (4), the local law; local planning instrument or local government resolution is of no effect.*

*(6) Subsections (3) to (5) are subject to sections 32 and 33.”*

**Building Work in planning schemes-Guidance for local governments**

The above references are further supported by “*Integrating Building Work in planning schemes-Guidance for local governments*”- Queensland Government Section 3.9 Bushfire Prone Areas, with particular reference to Section 3.9.1 Planning scheme cannot include.

*Building works applications for specific classes of buildings in a “designated bushfire prone area” are required to meet the mandatory bushfire provisions in the BCA and AS 3959-2018:Construction of buildings in Bushfire prone areas.*

*For building works the scheme is limited to designating the bushfire prone area, it is not the role of the scheme to include additional benchmarks for building work to mitigate bushfire hazard, such as the design of the building or setbacks/clearance requirement from vegetation.*

*The planning scheme provisions consequently need no and should not deal with the construction or built form of Class 1-3 buildings and class 10 structures in bushfire prone areas, such as the Bushfire attack levels (BAL) defined by AS3959-2018.*

We refer also to Section 3.9.2 which states; *(However the planning scheme should not include information about the construction of hardstand areas, the size of water tanks, or tank fittings, for example, as these are not matters that are assessed at planning development application stage)*

**The National Construction Code- Volume 1 Building Code of Australia, Part G5 Construction in Bushfire Prone Areas, Performance Requirements G5P1 Bushfire Resistance cites performance Requirements for**

- (a) a Class 2 or 3 Building; and
  - (b) a Class 9a health-care building; and
  - (c) a Class 9b-
    - i) early childhood centre; and
    - ii) primary or secondary school; and
  - (d) a Class 9c residential care building; and
  - (e) a Class 10a building or deck immediately adjacent or connected to a building of a type listed in (a) to (d).
- Section G5P2 addresses “Additional bushfire requirements for certain Class 9 buildings” and applies to Class 9a, 9b and 9c buildings.

**G5D1 Deemed-to-Satisfy Provisions**

- (1) Where a Deemed-to Satisfy Solution is proposed, Performance Requirements G5P1<sup>5</sup> and subject to G5D2<sup>6</sup>, G5P2<sup>7</sup>, are satisfied by complying with G5D3<sup>8</sup> and G5D4<sup>9</sup>

**G5D3 Protection -residential buildings**

In a designated bushfire prone area, the following must comply with AS 3959:

- (a) A Class 2 or 3 building
- (b) A class 10a building or deck immediately adjacent or connected to as Class 2 or 3 building.

**G5D4 Protection – certain Class 9 Buildings**

- (1) In a designated bushfire prone area, the following must comply with Specification 43<sup>25</sup>
  - a) A Class 9a health -care building
  - b) A class 9b-
    - i) Early childhood centre ; or
    - ii) Primary or secondary school
  - c) A Class 9c residential care building

- (2) In a designated bushfire prone area, a Class 10a building immediately adjacent or connected to a building of a type listed in (1) must comply with S43C2<sup>26</sup> and S43c13<sup>27</sup>

**The National Construction Code- Volume 2 Building Code of Australia, Performance Requirements H7P5 Buildings in bushfire prone areas:-**

A Class 1 building or a Class 10a building or deck associated with a Class 1 building that is constructed in a designated bushfire prone area must be designed and constructed to-

- a) Reduce the risk of ignition from a *design bushfire* with an annual probability of exceedance not more than 1:50 years; and
- b) Take account of the assessed duration and intensity of the fire actions of the *design bushfire*; and
- c) Be designed to prevent internal ignition of the building and its contents; and
- d) Maintain the structural integrity of the building for the duration of the *design bushfire*.

H7D4 Construction in bushfire prone areas

(1) The requirements of (2) only apply in a *designated bushfire prone area*.

(2) Performance requirement H7P5 is satisfied for a Class 1 building, or a Class 10a building or deck associated with a Class 1 building, if it is constructed in accordance with-

- a) AS 3959; or
- b) NASH Standard-Steel Framed Construction in Bushfire Areas.

Qld Variation to H7D4 Construction in Bushfire prone areas

(3) The requirements of (2) do not apply when, in accordance with AS 3959, the classified vegetation is group F rainforest (excluding wet sclerophyll forest types), mangrove community=ties or grass lands under 300mm high.

**Therefore, it is clear that compliance with any Construction Level of AS 3959 satisfies the Performance Requirements of Building Code of Australia, and all construction levels therefore are to be considered as mitigating risk in an equal manner.**

**2.5. Ecological Requirements**

There are no specific ecological requirements in relation to bushfire management.

**Note;**

***The Category of Bushfire Attack referred to in the Australian Standard is different to the Hazard/Risk area referred to above.***

***Extensive modification of the existing vegetation types including that on adjoining sites could result in a change of Category of Bushfire Attack and therefore variation in the Level of construction required.***

***It is the responsibility of the owner of each individual site to ensure that plantings after their occupation of the site do not reduce the safety of their buildings in a manner, which could require a higher level of Construction than that originally utilised.***

### 3. RISK MANAGEMENT PLAN

#### 3.1. Agencies / Persons Responsible

The responsible Fire Authority is the Rural Fire Service Queensland through the Rural Fire Brigade being responsible for Bush Fires and the Queensland Fire Department being responsible for Structural Fires. It is the responsibility of the Owners of the properties to ensure that the relevant measures required by this Management Report are in place prior to inspection by the Douglas Shire Council and the Building Certifier and to ensure that those measures are in place prior to the occupation of any buildings, which are the subject of this report. It is the responsibility of Douglas Shire Council and Building Certifiers to ensure that relevant measures within their responsibility are in place prior to the issuance of any certification.

#### 3.2. Bushfire Safety Objective

The objective of this report is to minimise potential risk to life and property by protecting the buildings from the effects of bushfire.

#### 3.3. Aims

The aims to achieve this objective are to mitigate the effect of the bushfire attack mechanisms of: -

- 3.3.1. Radiant Heat
- 3.3.2. Direct Flame Contact
- 3.3.3. Wind
- 3.3.4. Ember Attack
- 3.3.5. Smoke

#### 3.4. Functional Requirements

The functional requirements to achieve this objective are: -

- 3.4.1. The provision of safe conditions for fire fighters
- 3.4.2. The provision of safe conditions for residents
- 3.4.3. Ensure adequate and safe access to and from the property.
- 3.4.4. Ensure adequate and safe water supply to the property and the establishment of firefighting water reserves.
- 3.4.5. Provide a system of fire breaks and trails to protect the building component.
- 3.4.6. Remove vegetation that is considered dangerous and a hazard in Fire Conditions
- 3.4.7. To ascertain the required standard of construction of the buildings in accordance with the requirements of the National Construction Code and the Australian Standard for Construction in Bushfire Prone Areas or the provision of a satisfactory alternative solution
- 3.4.8. Facilitate the return to "normalcy "

#### 3.5. Proposed Fire Fighting Infrastructure

- 3.5.1. The proposed buildings are to always have a minimum dedicated firefighting water reserve of 10,000l.
- 3.5.2. This reserve can be in the form of a Tank and must be in place at the time of completion of the new Building.
- 3.5.3. Pools and dams are not suitable for firefighting due to potential water quality, chemistry issues, and reliability of supply.
- 3.5.4. The tank , or hydrant supplied from the tank , must be located a minimum of 9m from the nearest building, have flat standing area immediately adjacent, and be no further than 20m from the building and be located between the building and the road.
- 3.5.5. The tank storage can comprise part of a larger tank providing the normal outlet is positioned to reserve 10,000l in the bottom for firefighting purposes only. Provide a 50mm male cam lock fitting outlet with isolating valve for fire brigade purposes only.
- 3.5.6. The tank is to be of non -combustible materials.
- 3.5.7. The capacity noted is a minimum required by Douglas Shire Council. In the event of a bush or structural fire this capacity will probably prove to be inadequate. It is highly recommended that a substantially greater amount be dedicated for firefighting purposes.

#### 3.6. Construct a Fire Trail/Emergency Access track.

- 3.6.1. A new pedestrian fire trail is to be established around the building envelopes. This trail is to comply fully with the standards as set out in this Report.
- 3.6.2. All Building Envelopes are to have a 6m wide defendable space, generally complying with the requirements (except for width) of the vehicular fire trail requirements to the whole perimeter. This space is not to be obstructed by structures or landscaping.
- 3.6.3. The road access and all boundary crossings through fences to these trails can be either a gate or a fence cutting point consisting of strainer posts 3.6m apart with fencing wire between
- 3.6.4. The location shown is indicative only and can be modified to suit terrain and vegetation.
- 3.6.5. **NO WORKS CAN BE CARRIED OUT ON ADJOINING PROPERTIES UNLESS FORMAL APPROVAL IN PERPETUITY IS PROVIDED AND ATTACHED TO THE LAND TITLE**

**3.7. Minimum Pedestrian Fire Trail Standards**

The Fire/Maintenance trail has: -

- 3.7.1. A minimum width of 4m cleared of midstorey vegetation.
- 3.7.2. A minimum trafficable width of 1.5m
- 3.7.3. A maximum gradient of 25% (or stairs complying with BCA exits stair requirements) with adequate drainage to prevent soil erosion and minimise ongoing trail maintenance.

**3.8. Vegetation management**

- 3.8.1. Any grass and existing mid storey vegetation within the Vegetation Management Zone and between the proposed building and the road shall be always kept to a maximum of 100mm or be of less flammable or rain forest species.
- 3.8.2. Existing non rainforest trees within this area are to be reduced to give a noncontinuous canopy cover between trees with a total cover of less than 30% of the area.
- 3.8.3. Generally, no trees that are of protected size are required to be removed to comply with the above requirements, subject to the comments below in relation to wind during a bushfire event.
- 3.8.4. The above vegetation management scenario will produce a Low Threat scenario like “*maintained public reserves and parklands*” as cited in section 2.2.3.2(f) of AS 3959.
- 3.8.5. The width of the vegetation management zone noted above has been used to calculate the required BAL.
- 3.8.6. All dead and damaged timber to be removed from the building envelope and the surrounding areas indicated to be fuel reduced and removed from site.
- 3.8.7. NO WORKS CAN BE CARRIED OUT ON ADJOINING PROPERTIES UNLESS FORMAL APPROVAL IN PERPETUITY IS PROVIDED AND ATTACHED TO THE LAND TITLE**
- 3.8.8. Requirements noted above may be subject to State and Local Authority approval. Those approvals must be obtained prior to implementation of any of these measures.
- 3.8.9. Refer to Sections 14 and 19 of the Planning Act 2016 in relation to Local Authority Approval.
- 3.8.10. The management referred to above is regarded as “Essential Management “(necessary to remove or reduce the imminent risk that the vegetation poses of serious personal injury or damage to infrastructure” under the Sustainable Planning Regulation Schedule 24. It is recommended that the owner register any clearing work with [www.dnrm.qld.gov.au](http://www.dnrm.qld.gov.au), “Vegetation management notification form for self-assessable codes”.

Under changes to **Planning Regulation 2017 effective December 13, 2019**, permitted operational work includes the following:

**Schedule 6, Part 3, Section 20A - Operational work for necessary firebreaks or fire management lines**

*Operational work that is clearing native vegetation if—*

*(a) the clearing is necessary for—*

- (i) establishing or maintaining a necessary firebreak to protect infrastructure, other than a fence, road or vehicular track, and the maximum width of the firebreak is equal to 1.5 times the height of the tallest vegetation next to the infrastructure, or 20m, whichever is the wider; or*
- (ii) establishing a necessary fire management line, and the maximum width of the clearing for the fire management line is 10m; and*

*(b) the clearing—*

- (i) is on freehold land; or*
- (ii) is on indigenous land; or*
- (iii) is on land leased under the Land Act 1994 for agriculture or grazing purposes; or*
- (iv) is on land leased under the Land Act 1994, other than for agriculture or grazing purposes, and is consistent with the purpose of the lease; or*
- (v) is on trust land under the Land Act 1994, other than indigenous land, is carried out, or allowed to be carried out, by the trustee and is consistent with achieving the purpose of the trust; or*
- (vi) is on unallocated State land and is carried out, or allowed to be carried out, by the chief executive of the department in which the Land Act 1994 is administered; or*
- (vii) is on land that is subject to a licence or permit under the Land Act 1994 and is carried out by the licensee or permittee.*

As an example, with a height of the tallest vegetation being between 30 – 35m, the width of clearing would be calculated as between 45 – 52.5m.

**Under Planning (Spit Master Plan and Other Matters) Amendment Regulation 2019 (Subordinate Legislation 2019 No.243) amends Schedule 6 Part 3 stating that “Development local categorising instrument is prohibited from stating if the above operational work is assessable development”.**

Under Schedule 7 Part 3 this is placed in context, stating that *the above operational work is accepted development.*

It must be noted that the distances noted above in relation to 20m, and vegetation height are not related to distances necessary to achieve a BAL but relate more to damage that may occur from a tree falling. In relation to bushfire this could be from wind which is one of the attack mechanisms of bushfire and could be exacerbated by the drying impacts of a bushfire loosening tree roots through drying out of the soil.

This is regarded as “Clearing necessary to remove or reduce the imminent risk the vegetation poses to people or buildings and other structures”

Note. The major fire threat to this building is from ember attack from fire in vegetation outside the control of the owner located on surrounding land. As such, there is little that the owner can do to manage this.

**The management is a component of the Construction Level. Therefore, the Building Certifier must ensure that the management has occurred in accordance with this report before issuing final certification.**

**Recent research (Project Vesta) indicates that tree canopy without mid storey and surface fuels forms an important filter for control of ember attack, which is responsible for more than 90% all bushfire related Building fires.**

**3.9. Fencing**

Any new boundary fencing located adjoining bushland, or a fire access trail is to be.

3.9.1. 3-4 strand wire rural fencing

or

3.9.2. A maximum of 1000mm high

3.9.3. At least 75 % transparency

3.9.4. Contain at least 1 personal gate from each lot to the threat vegetation.

3.9.5. Contain personal gates between each lot on the fire trail easement.

3.9.6. Fencing materials to be non-combustible materials or wood compliant with Appendix F of AS 3959.

3.9.7. No CCA treated timbers are to be used due to the potential toxicity of the products of combustion.

**3.10. Effluent Disposal Areas**

Where possible, effluent disposal shall be located on the downhill side of the building envelope and be maintained in a band with a minimum 6m width. Grass in this area should be kept to a maximum of 50mm and any landscaping should be of Less Flammable Vegetation

**3.11. Fire Trail and Fire Break Maintenance**

3.11.1. The existing Driveway and any proposed driveways are to be always kept in a condition suitable for 2wd Heavy Vehicles.

3.11.2. The fire trails are to be kept always mowed to a maximum of 50mm and to be kept in a manner to the satisfaction of the Fire Brigade.

**3.12. Building Construction**

All construction is to be in accordance with National Construction Code/Building Code of Australia, which refers to either the Australian Standard for Construction in Bushfire Prone Areas (AS 3959) or NASH Standard-Steel Framed Construction in Bushfire Areas as Deemed to Satisfy Solutions. and the Level of construction assessed under Section 2.4 “Building Construction .”

**The plans lodged for Building Certification are to be assessed on this basis by the Building Certifier. A final stage completion certificate (Form 21) issued by the Building Certifier is to be received prior to occupation of the building. Buildings are not to be occupied until certification is received.**

**Buildings are to be maintained in a manner that protects the integrity of the construction and building elements as outlined in this report.**

**3.13. Street Numbering**

Numbering is to be installed in accordance with the current Street Numbering System at time of completion of building.

**3.14. Less Flammable Landscaping**

Any new landscaping within the vegetation management zone is to be Less Flammable, in accordance with the list enclosed as an Appendix at the rear of this Report, rainforest species, or cultivated gardens, and comply with the requirements of “*Bushfire Resilient Communities Technical Reference Guide for the State Planning Policy State Interest*” *Natural Hazards , Risk and Resilience-Bushfire*” published by QFES and Queensland Government, and “Natural hazards, risk and resilience-Bushfire-Assessment Benchmark 5” which cite a maximum Fuel Load of 8t/ha for revegetation or rehabilitation within bushfire prone areas. “Bushfire Resilient Building Guidance for Queensland Homes” published by Qld State Government provides a schedule of species in Appendix E.

<https://www.gra.qld.gov.au/bushfireguideline>

**3.15. Insurance**

Failure to comply with this management report may have a detrimental effect upon the Insurance of the subject Buildings.

**3.16. Emergency Response Procedures**

In the event of Fire Emergency, assistance is to be obtained by dialling 000.

- 3.16.1. The owner should read thoroughly the brochures contained and those recommended at the rear of this report. They contain valuable information that could assist in the saving of lives and property in a fire event!

**3.17. Community Awareness Strategies**

- 3.17.1. Each subsequent owner is to be provided with a copy of this Fire Management report with an alert placed on either Title or Douglas Shire Council Rate searches that the Report is in existence and is to be made available to ensuing owners.

**3.18. Administering Staff**

It is the responsibility of the owners to ensure compliance with this Report and the Town Plan, and to ensure that each of the new owners is provided with a copy of this report.

**It is the responsibility of the Douglas Shire Council and the Building Certifier to ensure that the relevant measures required by this management report are in place prior to the final completion stage inspection of any buildings on any sites which are the subject of this report as noted in Clause 3.1 of this report.**

**It is the responsibility of the ensuing owners of the properties to maintain the properties in the conditions outlined in this report.**

## 4. FIRE MANAGEMENT ACTION SUMMARY AND SCHEDULE

DEVELOPMENT REQUIREMENTS	BUILDING REQUIREMENTS	MAINTENANCE
<p>Provision of fire access trails</p> <p>All dead and damaged timber to be removed from the areas indicated to be mowed and removed from site.</p>	<p>Buildings to comply with the National Construction Code/Building Code of Australia.</p> <p>No occupation until compliance with the relevant Standard and this Management Report</p> <p>Emergency Fire Fighting supplies Of 10,000 litres</p> <p>Pedestrian access around Building Site</p>	<p>Regular mowing and maintenance of the vegetation management areas as set out in this report.</p> <p>Drive and fire trail access to be kept clear and accessible to satisfaction of the Fire Brigade.</p> <p>Building materials are to be maintained in "as new" condition to preserve the integrity of the relevant materials.</p>

**5. APPENDICES**

- 5.1. Form 15
- 5.2. Site Plans
- 5.3. Profiles
- 5.4. Supporting Information:
  - 5.4.1. Method 2 Calculation printouts
  - 5.4.2. Fuel Load Calculation

**Note. These items below are referenced for information purposes only and are not to be construed as being part of the management report.**

**This information is generic and not provided for approval purposes.**

**It is only provided for end user knowledge and provided as a separate file to the report body**

- 5.4.3. Clearing for Bushfire Management
- 5.4.4. Planning Regulation Fact Sheet December 2019
- 5.4.5. Prepare. Act. Survive
- 5.4.6. Rural property Fire Management Guide 2010
- 5.4.7. Notes for Landholders
- 5.4.8. Bushfire Action Guide
- 5.4.9. Bushfire Safety in Urban Fringe Areas
- 5.4.10. Water + Power -Vital for Fire fighting
- 5.4.11. Less Flammable Vegetation
- 5.4.12. Fire Retardant Native Plants
- 5.4.13. Tree selection for Fire-Prone Areas
- 5.4.14. Bushfire Resilient Building Guidance for Queensland Homes Appendix E
- 5.4.15. First Draft (specifying timber in bush fire zones)
- 5.4.16. External water spray system
- 5.4.17. Fire Retardant Coating Solutions
- 5.4.18. Archicentre Bushfire Design Guide
- 5.4.19. Section 3.8 Sign Types - Fire Trail Signage of the GCCC Natural Areas Management Unit Signage Guidelines  
(Page 16)
- 5.4.20. Trail Number and Key Point signage
- 5.4.21. Bushfire Hydrant detail
- 5.4.22. Tank detail
- 5.4.23. Recycled Water for Firefighting
- 5.4.24. Sample Easement Document
- 5.4.25. Bushfire Windows and Shutters
- 5.4.26. A guide to retrofit your home for better protection from a bushfire.
- 5.4.27. FireFly BAL-FZ System
- 5.4.28. Bushfire Planning and Design Certification Scheme Update
- 5.4.29. Eaves Water System
- 5.4.30. Aussi Ember Guard
- 5.4.31. The Australian "False Alarm: the great rainforest fire that wasn't".
- 5.4.32. Hijacking Australian 2019 Bushfire Tragedies to Fearmonger Climate Change
- 5.4.33. Bushfires have been in Australia for over 60 million years.

We also recommend that the landholder obtains and reads the following;

- 5.4.34. Bushfire Hazard Planning in Queensland
- 5.4.35. Protecting your home against Bushfire  
Both available from the Dept. of Local Government and Planning, and

- 5.4.36. Fire in Bushland Conservation  
Available from Queensland Heritage Trust.

- 5.4.37. Bushfire Resilient Building Guidance for Queensland Homes  
<https://www.qra.qld.gov.au/bushfireguideline>

Signed

*E J Bottcher*

.....  
Eldon Bottcher  
Grad. Dip. DBPA (UWS) Dip. Arch. (QIT), Cert. R.F.M. (USQ), F.R.A.I.A., M.A.I.E.S. AIFireE  
Architect  
BPAD-L3 Practitioner



**APPENDIX 5.1  
FORM 15**

**Form 15****Compliance certificate for  
building design or specification**

This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the Building Regulation 2021 (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

<p><b>1. Property description</b></p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g., in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g., SP/RP) are shown on title documents or rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (<i>include no., street, suburb/locality, and postcode</i>)</p> <p>57 Banabilla Road Degarra</p> <p style="text-align: right;">State <b>QLD</b> Postcode</p> <p>Lot and plan details (<i>attach list if necessary</i>)</p> <p>Lot 3 on RP861015</p> <p>Local government area the land is situated in.</p> <p>Douglas Shire Council</p>
<p><b>2. Description of aspect/s certified</b></p> <p>Clearly describe the extent of work covered by this certificate, e.g., all structural aspects of the steel roof beam.</p>	<p>Work as required for bushfire mitigation purposes as set out in the Bushfire Management Report FM 7230 prepared by Eldon Bottcher Architect Pty Ltd including assessment of Construction Levels assessed under AS 3959 and nominated in Section 2.4 of the report as BAL 12.5</p>
<p><b>3. Basis of certification</b></p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<p>Compliance with the Bushfire Management Report FM 7230 prepared by Eldon Bottcher Architect Pty Ltd</p> <p><b>No certification of components covered by The Building Act 1975, The building Code of Australia or AS 3959.</b></p> <p>Douglas Shire Council Town Plan Bushfire Management Constraint code.</p>
<p><b>4. Reference documentation</b></p> <p>Clearly identify any relevant documentation, e.g., numbered structural engineering plans.</p>	<p>Bushfire Mitigation Report FM 7230</p>

<p><b>5. Building certifier reference number and building development application number</b></p>	<p>Building certifier reference number</p> <p>Building development application number <i>(if available)</i></p> <p>Not Available</p>						
<p><b>6. Appointed Competent person details.</b> Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design - specification) by the relevant building certifier.</p>	<p>Name <i>(in full)</i> Eldon John Bottcher</p> <p>Company name <i>(if applicable)</i> <b>Eldon Bottcher Architect Pty Ltd</b></p> <p>Business phone number 07 55920082</p> <p>Email address. <b>bushfires@eb-a.com.au</b></p> <p>Postal address P.O. Box 3606 Robina Town Centre <span style="float: right;"><b>Postcode 4230</b></span></p> <p>Licence Class or registration type <i>(if applicable)</i></p> <p>..... .....</p> <p>Licence or registration number <i>(if applicable)</i> Reg Architect Qld 1325 FPA Australia BPAD Level 3 practitioner 16935</p>						
<p><b>7. Signature of appointed competent person</b> This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.</p>	<table border="0"> <tr> <td style="width: 70%;"><b>Signature</b></td> <td style="width: 30%;"><b>Date</b></td> </tr> <tr> <td style="text-align: center;"><i>E J Bottcher</i></td> <td style="text-align: center;">14 April 25</td> </tr> <tr> <td colspan="2">.....</td> </tr> </table>	<b>Signature</b>	<b>Date</b>	<i>E J Bottcher</i>	14 April 25	.....	
<b>Signature</b>	<b>Date</b>						
<i>E J Bottcher</i>	14 April 25						
.....							

**LOCAL GOVERNMENT USE ONLY**

<b>Date received</b>		<b>Reference Number/s</b>
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**APPENDIX 5.2  
SITE PLANS**



**APPENDIX 5.3  
PROFILE**

**ELDON BOTTCHER**

**EDUCATION AND QUALIFICATIONS**

**Graduate Diploma in Design in Bushfire Prone Areas**  
University of Western Sydney  
**Diploma in Architecture**  
Queensland Institute of Technology  
**Certificate of Rural Fire Management**  
University of Southern Queensland  
**Registered Architect**  
Queensland  
**A+ Architect**  
Australian Institute of Architects  
**FPA Australia Certified Practitioner (BPAD-Level 3-16935)**  
Bushfire Planning and Design (BPAD-LEVEL 3), Alternate Solutions & DTS

**PROFESSIONAL MEMBERSHIPS**

**Fellow**  
Australian Institute of Architects  
**Member**  
Australian Institute of Emergency Services  
**Member**  
Australian Institute of Engineers Society of Fire Safety  
**Member**  
Queensland Environmental Law Association.  
**Member Board of Experts**  
Bushfire Building Council of Australia  
**Associate Member**  
Institution of Fire Engineers  
**Corporate Member**  
Fire Protection Association of Australia

**PROFESSIONAL EXPERIENCE**

**Director**  
Eldon Bottcher Architect Pty Ltd since 1978  
  
**Bushfire Assessment and Planning Consultant** since 1998 with Involvement in more than 7,000 Bushfire Mitigation Projects ranging from single dwellings to major subdivisions, burn plans and general mitigation advice.

**Group Officer**  
Albert Rural Fire Brigades Group  
Queensland Fire and Rescue Service  
**Group Officer**  
Gold Coast Rural Fire Brigades Group  
Queensland Fire and Rescue Service  
**Group Officer**  
South East Regional Support Group  
Queensland Fire and Rescue Service  
**Planning Officer**  
Gold Coast Rural Fire Brigades Group  
Queensland Fire and Rescue Service  
**Life Member**  
Guanaba Rural Fire Brigade  
**Member**  
Clagiraba Rural Fire Brigade

**Member Practice Committee AIA Qld Chapter**  
AIA Qld Chapter advisor to AIA National to NCC  
AIA delegate to Building Industry and Research Consultation Panel on Bushfire Hazard advising Queensland State Bushfire Committee

**BBCA representation to Australian Standards Committee FP20 (AS 3959 & AS 5414)**

**Research Consultant to Queensland University of Technology Scenic Rim Black Saturday Recovery Project**

**FPA State Committee**  
Member (Bushfire)

**OTHER BUSHFIRE RELATED COURSES AND TRAINING**

I.C.S./AIIMS (40 hr. course) in Incident Command Systems  
Certificate 4 (Workplace Training and Assessment)  
RFSQ Level 1  
RFSQ Level 2 (Officer)  
RFSQ Fire Management 1  
RFSQ Crew Leader  
Certificate II in Public Safety (Firefighting Operations)  
Fire Weather 1  
QELA Expert Witness Workshop 2020

**BUSHFIRE RELATED AWARDS**

**Planning Institute of Australia National Planning Award**  
**State Planning Award**  
Gold Coast Bushfire Management Strategy (Co-Initiator and Member of Preparation Committee)

**Australian Government National Medal**  
Long and Distinguished Service to Fire fighting  
**Queensland Fire and Rescue Service Diligent and Ethical Service Medal + Clasp**  
Service to Fire fighting

**Queensland Government Australia Day Medallion**  
Services to Rural Fire Fighting  
**Queensland Government Year of the Volunteer Medallion**  
Services to Fire fighting

**UDIA**  
Best Consultancy Team Award in 2007.

**SERVICES OFFERED**

**Bushfire management Reports**  
**Bushfire Safety Engineering**  
**Bushfire Planning and Design**  
**Bushfire Hazard Assessment**  
**Performance Solutions**  
**Expert Witnessing**  
(See Planning and Environment Court of Queensland Determination File No. BD 624 of 2005 sections 28 to 35)  
**Continuing Professional Development Lectures**  
**Tertiary Education Lectures and Tutorials**  
**Town Planning Bushfire Codes for Local Authorities**  
**Bushfire Burn Planning**  
**General consultancy relating to all aspects of Bushfire**

©

3/02/25

**APPENDIX 5.4**  
**SUPPORTING INFORMATION**

(NOTE: SOME OF THIS INFORMATION IS GENERIC AND NOT PROVIDED FOR APPROVAL PURPOSES. IT IS ONLY PROVIDED FOR END USER KNOWLEDGE)

 <b>BPAD</b> Bushfire Planning & Design Accredited Practitioner Level 3	<b>ELDON BOTTCHE ARCHITECT PTY LTD</b> 145 VARSITY PARADE VARSITY LAKES QLD. 4327		PH 0755920082 E architects@eb-a.com.au
	 Member Australian Institute of Architects		
<b>THIS ASSESSMENT USES AS 3959 METHOD 2</b>			
<b>PROJECT</b>	<b>PROPOSED RESIDENCE</b>		
<b>SITE ADDRESS</b>	<b>57 BANABILLA ROAD</b> <b>DEGARRA</b>		
	<b>DOWNSLOPE</b> <b>VEGETATION TO WEST</b>		
<b>INPUTS</b>			
FDI			20
VEGETATION TYPE	SEE TABLE	Site Specific Fuel Loads	
TOTAL FUEL LOAD			17.2 tonnes/ha
SLOPE UNDER VEGETATION			4 degrees
SLOPE BETWEEN VEGETATION AND BUILDING			4 degrees
FLAME WIDTH			100 m
ELEVATION OF RECEIVER			1.4 m
<b>DISTANCE BETWEEN VEGETATION AND BUILDING</b>			<b>11.4 m</b>
<b>RESULTS</b>			
RADIANT HEAT			12.45 kw/m <sup>2</sup>
FLAME LENGTH			4.41 m
RATE OF SPREAD			0.36 km/hr
ATMOSPHERIC TRANSMISSIVITY			86%
PEAK ELEVATION OF RECEIVER			1.4 m
FLAME ANGLE			83 degrees
<b>CONSTRUCTION LEVEL REQUIRED</b>			<b>BAL – 12.5 BAL</b>

	<b>ELDON BOTTCHE ARCHITECT PTY LTD</b>		
	145 VARSITY PARADE	PH 0755920082	
	VARSITY LAKES QLD. 4327	E architects@eb-a.com.au	
	<b>THIS ASSESSMENT USES AS 3959 METHOD 2</b>		
<b>PROJECT</b>	<b>PROPOSED RESIDENCE</b>		
<b>SITE ADDRESS</b>	<b>57 BANABILLA ROAD DEGARRA</b>		
	<div style="border: 1px solid green; padding: 2px;"> <b>UPSLOPE</b> </div> <b>VEGETATION TO EAST</b>		
<b>INPUTS</b>			
FDI			20
VEGETATION TYPE	SEE TABLE	Site Specific Fuel Loads	
TOTAL FUEL LOAD			17.2 tonnes/ha
SLOPE UNDER VEGETATION			-4 degrees
SLOPE BETWEEN VEGETATION AND BUILDING			-4 degrees
FLAME WIDTH			100m
ELEVATION OF RECEIVER			2.3m
<b>DISTANCE BETWEEN VEGETATION AND BUILDING</b>			<b>9.2m</b>
<b>RESULTS</b>			
RADIANT HEAT			12.41 kw/m <sup>2</sup>
FLAME LENGTH			3.41m
RATE OF SPREAD			0.21 km/hr
ATMOSPHERIC TRANSMISSIVITY			87%
PEAK ELEVATION OF RECEIVER			2.3m
FLAME ANGLE			75 degrees
<b>CONSTRUCTION LEVEL REQUIRED</b>			<b>BAL – 12.5 BAL</b>





**Regional ecosystem details for 7.11.51**

<b>Regional ecosystem</b>	7.11.51
<b>Vegetation Management Act class</b>	Least concern
<b>Wetlands</b>	Not a Wetland
<b>Biodiversity status</b>	Of concern
<b>Subregion</b>	8, 7, 9, (3.2), (3), (1), (9.3), (4)
<b>Estimated extent<sup>1</sup></b>	Pre-clearing 19000 ha; Remnant 2021 16000 ha
<b>Short description</b>	Corymbia clarksoniana and/or Eucalyptus drepanophylla open forest to woodland on metamorphics
<b>Structure code</b>	Open Forest
<b>Description</b>	<p>Corymbia clarksoniana (Clarkson's bloodwood) and/or Eucalyptus drepanophylla (ironbark) open forest to woodland. Metamorphics. Not a Wetland. (BVG1M: 9c).</p> <p>Vegetation communities in this regional ecosystem include:</p> <p>7.11.51a: Corymbia clarksoniana, Eucalyptus tereticornis, E. drepanophylla woodland, low woodland to open forest with Allocasuarina torulosa, Allocasuarina littoralis, Lophostemon suaveolens, Acacia cincinnata, A. flavescens, Banksia aquilonia, Xanthorrhoea johnsonii. Metamorphics. Not a Wetland. (BVG1M: 9c).</p> <p>7.11.51b: Eucalyptus drepanophylla woodland. Foothills and uplands on metamorphics, of the moist to dry rainfall zones. Not a Wetland. (BVG1M: 13c).</p> <p>7.11.51c: Corymbia clarksoniana woodland. Metamorphics. Not a Wetland. (BVG1M: 9c).</p>
<b>Supplementary description</b>	Stanton and Stanton (2005), M250b, CM250b, Q250b, M150, M226
<b>Protected areas</b>	Kuranda NP, Little Mulgrave NP, Kuranda West FR, Mowbray NP, Ngalba-bulal NP (CYPAL), Wooroonooran NP, Mount Windsor NP, Macalister Range NP, Dinden NP, Dinden West FR, Annan River (Yuku Baja-Muliku) RR, Gadgarra NP, Annan River (Yuku Baja-Muliku) NP, Mou
<b>Special values</b>	7.11.51: Potential habitat for NCA listed species: Grevillea glossadenia, Coleus gratus.

**Regional ecosystem details for 7.3.45**

Regional ecosystem	7.3.45
Vegetation Management Act class	Least concern
Wetlands	Not a Wetland
Biodiversity status	Of concern
Subregion	1, 2, (8), (4), (6), (5), (9), (11.1), (3), (7), (9.4), (9.6), (9.3)
Estimated extent <sup>1</sup>	Pre-clearing 33000 ha; Remnant 2021 11000 ha
Short description	Corymbia clarksoniana +/- C. tessellaris +/- E. drepanophylla open forest to open woodland on alluvial plains
Structure code	Open Forest
Description	<p>Corymbia clarksoniana (Clarkson's bloodwood) +/- C. tessellaris (Moreton Bay ash) +/- E. drepanophylla (ironbark) open forest to open woodland. Alluvial plains. Not a Wetland. (BVG1M: 9e).</p> <p>Vegetation communities in this regional ecosystem include:</p> <p>7.3.45a: Eucalyptus drepanophylla, Corymbia clarksoniana, +/- E. platyphylla, +/- C. tessellaris, +/- C. dallachiana woodland to open forest. Lowland alluvial plains of southern, drier areas. Not a Wetland. (BVG1M: 9e).</p> <p>7.3.45b: Corymbia clarksoniana woodland to open forest. May include small areas of Acacia leptostachya shrubland. Alluvial plains. Not a Wetland. (BVG1M: 9e).</p> <p>7.3.45c: Corymbia clarksoniana and C. tessellaris +/- E. tereticornis +/- E. platyphylla +/- Lophostemon suaveolens +/- Melaleuca dealbata +/- C. dallachiana woodland. Alluvial plains. Not a Wetland. (BVG1M: 9e).</p> <p>7.3.45d: Corymbia tessellaris, C. intermedia, C. clarksoniana grassy woodland, open woodland and sparse woodland occurring only on the Palm Islands. Alluvial fans. Not a Wetland. (BVG1M: 9e).</p> <p>7.3.45e: Woodland with Corymbia clarksoniana in the Cowie Point and Duncans Flat area. Alluvium. Not a Wetland. (BVG1M: 9e).</p> <p>7.3.45f: Corymbia clarksoniana dense open forest, with Melaleuca dealbata, Eucalyptus platyphylla, C. tessellaris, Lophostemon suaveolens, and occasionally E. pellita. Dense secondary tree layer of Alphitonia excelsa, Acacia oraria, A. mangium, A. crassicaarpa, A. flavescens, Pandanus sp., and Planchonia careya. (This vegetation community is practically extinct with all remnants being below mappable size.). Fine silts possibly of marine origin forming a very flat plain. Perhaps a recent natural invasion of the former marine plain. Redbank area. Not a Wetland. (BVG1M: 9e).</p>



## State-wide Bushfire Prone Area Mapping

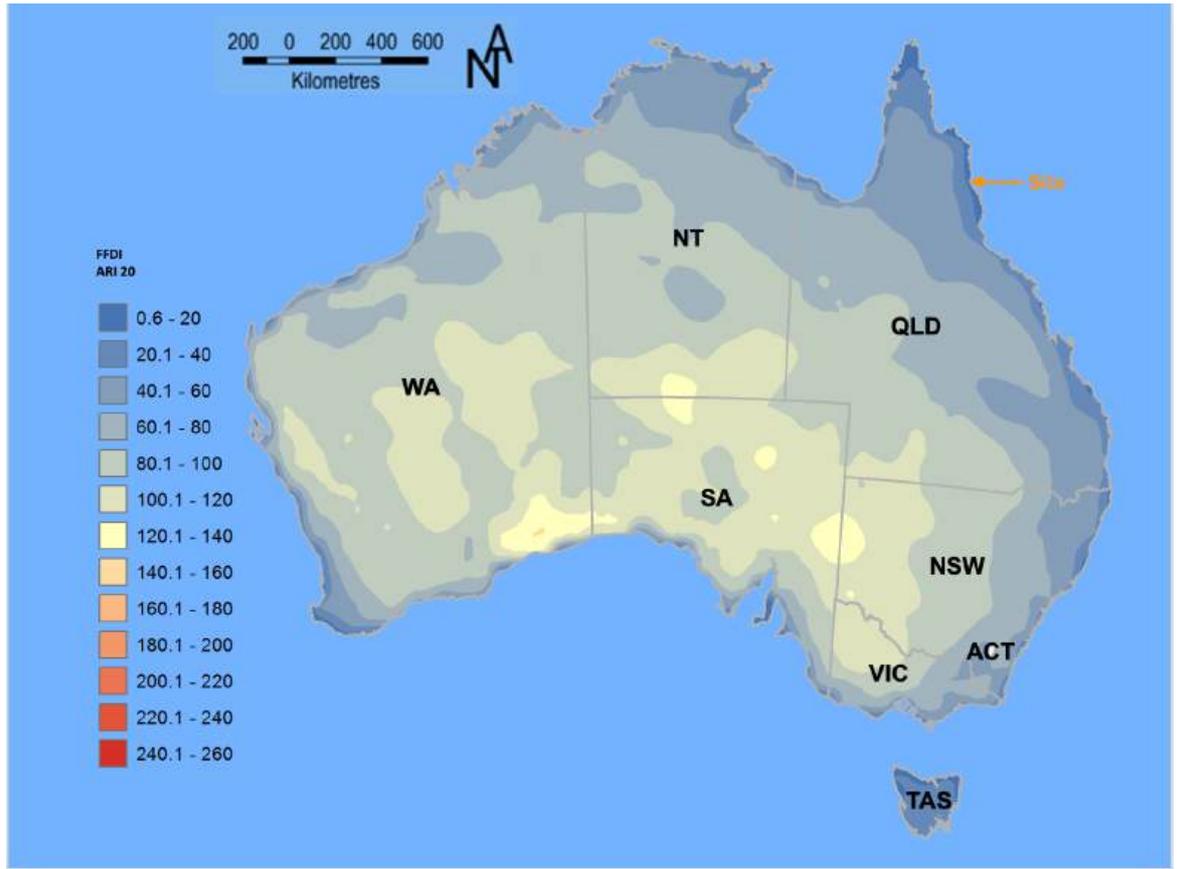
### Vegetation Hazard Class Descriptions and Fuel Characteristics – Jan 2017

Vegetation Hazard Class	Potential Fuel Load (t/ha)						Prone Type <sup>1</sup>		Fuel Continuity <sup>2</sup>	
	Surface	Near Surface	Elevated	Bark	Total (Remnant)	Total (Non-Remnant)	Remnant	Non-Remnant	Remnant	Non-Remnant
1.1 <i>Complex mesophyll to notophyll vine forests</i>	2.6	0.0	0.0	0.0	2.6	12.0	3	1	2	1
2.1 <i>Complex to simple, semi-deciduous mesophyll to notophyll vine forest</i>	3.5	0.0	0.0	0.0	3.5	12.0	3	1	2	1
3.1 <i>Notophyll vine forest</i>	4.5	0.0	0.0	0.0	4.5	12.0	3	1	2	1
3.3 <i>Notophyll vine thicket</i>	4.4	0.0	0.0	0.0	4.4	12.0	3	1	2	1
4.1 <i>Notophyll and notophyll palm or vine forest</i>	4.5	0.0	0.0	0.0	4.5	12.0	3	1	2	1
5.1 <i>Notophyll to microphyll vine forests</i>	3.9	0.0	0.0	0.0	3.9	12.0	3	1	2	1
5.2 <i>Notophyll to microphyll vine forest with sparse overstorey</i>	3.9	0.0	0.0	0.0	3.9	12.0	3	1	2	1
5.5 <i>Sedgeland within Notophyll to microphyll vine forests</i>	3.9	0.0	0.0	0.0	3.9	12.0	3	1	2	1
6.1 <i>Montane Notophyll vine forest and microphyll fern forest</i>	3.9	0.0	0.0	0.0	3.9	12.0	3	1	2	1
6.3 <i>Montane Notophyll vine thicket and microphyll fern thicket</i>	3.9	0.0	0.0	0.0	3.9	12.0	3	1	2	1
7.1 <i>Semi-evergreen to deciduous microphyll vine forest</i>	6.0	0.0	0.0	0.0	6.0	12.0	3	1	2	1
7.2 <i>Sparse semi-evergreen to deciduous microphyll vine forest</i>	6.0	0.0	0.0	0.0	6.0	12.0	3	1	2	1
8.1 <i>Wet eucalypt tall open forest</i>	28.0	3.0	2.0	2.0	35.0	35.0	1	1	1	1
8.2 <i>Wet eucalypt tall woodland</i>	18.0	3.1	1.7	1.0	23.8	23.8	1	1	1	1
9.1 <i>Moist to dry eucalypt open forests on coastal lowlands and ranges</i>	17.5	3.5	2.2	1.0	24.2	24.2	1	1	1	1
<b>9.2 <i>Moist to dry eucalypt woodland on coastal lowlands and ranges</i></b>	<b>11.4</b>	<b>3.5</b>	<b>1.3</b>	<b>1.0</b>	<b>17.2</b>	<b>17.2</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>
9.3 <i>Shrubland within moist to dry eucalypt on coastal lowlands and ranges</i>	7.8	3.0	1.9	0.0	12.7	12.7	1	1	1	1
10.1 <i>Spotted gum dominated open forests</i>	16.3	3.0	1.5	0.0	20.8	20.8	1	1	1	1
10.2 <i>Spotted gum dominated woodlands</i>	14.0	3.0	1.0	0.0	18.0	18.0	1	1	1	1
11.2 <i>Moist to dry eucalypt woodlands on basalt areas</i>	7.5	4.0	0.5	1.0	13.0	13.0	1	1	1	1
12.1 <i>Dry eucalypt open forest on sandstone and shallow soils</i>	15.0	3.5	1.5	1.0	21.0	21.0	1	1	1	1

<sup>1</sup> Prone Type: 1 = Bushfire Prone, 2 = Grass Fire Prone, 3 = Low Hazard

<sup>2</sup> Fuel Continuity: 1 = Continuous, 2 = Discontinuous





**END OF REPORT**