

Our Ref: 20-12/001232
Date: 14 March 2023

Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

Via: Email

Dear Madam,

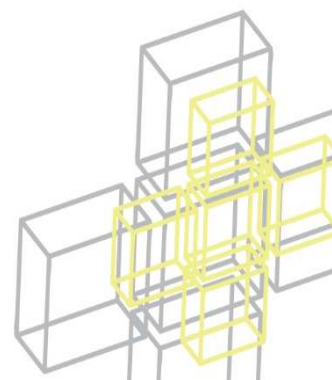
RE: APPLICATION FOR A DEVELOPMENT PERMIT FOR RECONFIGURING A LOT (2 LOTS INTO 4 LOTS AND ACCESS EASEMENT) AND MATERIAL CHANGE OF USE ('DWELLING HOUSES') OVER LAND AT 67 - 73 MURPHY STREET, PORT DOUGLAS, DESCRIBED AS LOT 2 ON RP724386 & LOT 516 ON PTD2094

Planning Plus (QLD) Pty Ltd has been engaged by Port Douglas By Gurner Pty Ltd (the 'applicant') to prepare and lodge the abovementioned development application.

In support of the application, please find attached completed DA Form 1 (**Annexure 1**).

It is requested that an invoice be issued for the relevant application fee which is understood to be \$1,466 base + \$548 x 2 lots = \$2,562 + \$344 x 4 (Dwelling Houses) = \$1,376 (**\$3,938**) in accordance with Council's 2022/23 Schedule of Fees and Charges.

In addition to the above, the following submission has been prepared to assist Council and other relevant authorities with their assessment of the application.

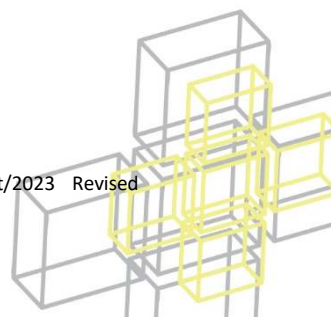


1.0. Background

Originally, it is understood that the site was subject to a quarry operation. Evidence of this past use can be found in the existing topography of the site, which is somewhat “benched”, with a steep cutting present along the Murphy Street frontage.

The site was then subject to an approval for a Material Change of Use for ‘Multiple Dwellings’ in 2013, and more recently in 2022, a further approval for ‘Multiple Dwellings’. A copy of the existing 2022 approval is included as **Annexure 2**.

Following receipt of the 2022 approval, the applicant has determined that it would be beneficial to subdivide the proposed dwellings onto separate lots, thereby necessitating an approval for Reconfiguring a Lot. This current application seeks such approval which consequently changes the land use definition of the proposed dwellings from ‘Multiple Dwellings’ to ‘Dwelling Houses’. Some relatively minor changes to the approved dwelling designs are also proposed.



2.0. Site

2.1. Details and Description

The land the subject of this application is situated at 67 – 73 Murphy Street, Port Douglas, and is described as Lot 2 on RP724386 and Lot 516 on PTD2094. The following information is provided in relation to the site:

- QLD Globe Aerial Overlay (**Annexure 3**);
- SmartMap (**Annexure 4**); and
- Title Certificates (**Annexure 5**).

The site covers a total area of 2,833m² with frontage to Murphy Street to the north and Esplanade road reserve to the east.

The land generally falls from north to south, being at the foothill of Flagstaff Hill which is located to the north. Given past quarrying activities on the site, a large cutting exists along the Murphy Street frontage, with much of the site being significantly lower than the road and a large benched area remains, as evidenced by the Detail and Contour Survey Plan included as **Annexure 6**.

The site remains vacant of any built improvements and is currently vegetated.

2.2. Locality

The surrounding locality is largely comprised of residential land uses, predominately in the form of medium density accommodation used for both short-term holiday and permanent occupation. Further up Flagstaff Hill to the north of the site, large detached dwellings are also prominent.

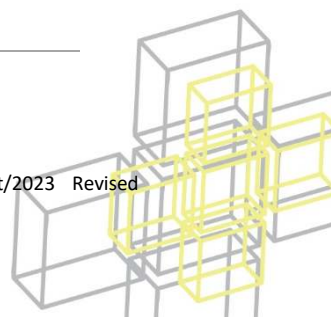
In all cases, the built form in the surrounding locality could be described as “up-market”, with the area being highly desirable and commanding high values. This has resulted in some relative large and architecturally distinctive structures which assist in reinforcing Port Douglas’s image as a luxurious and desirable holiday destination.

The site is located within very short distance of Four Mile Beach, as well as Macrossan Street and the heart of Port Douglas.

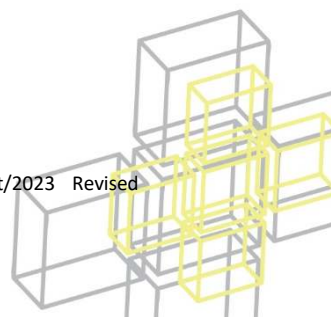
2.3. Planning Context

The planning context of the site includes:

Regional Plan Designation:	Urban Footprint
Planning Scheme Local Plan Area:	Port Douglas/Craiglie <i>Refer to Douglas Shire Council Planning Scheme Property Report included as Annexure 7</i>
Planning Scheme Zone:	Tourist Accommodation



	<i>Refer to Douglas Shire Council Planning Scheme Property Report included as Annexure 7</i>
Planning Scheme Overlays:	Acid Sulfate Soils Overlay; Bushfire Hazard Overlay; Hillslopes Overlay; Landscape Values Overlay; Potential Landslide Hazard Overlay; and Transport Road Hierarchy Overlay. <i>Refer to Douglas Shire Council Planning Scheme Property Report included as Annexure 7</i>
State Development Assessment Mapping:	Coastal Protection <i>Refer to SDAP Mapping included as Annexure 8</i>



3.0. Proposal

This application seeks a Development Permit for Reconfiguring a Lot (2 Lots into 4 Lots and Access Easement) and Material Change of Use for 'Dwelling Houses' over the subject site.

A plan set prepared by Hunt Design is included as **Annexure 9**.

In summary, the proposal includes:

- 4 x Lots and Dwelling Houses (2 x 3br, 1 x 4br & 1 x 7br);
- 9 car parking spaces in garages (minimum of 2 spaces per dwelling);
- Shared access via Esplanade road reserve and internal volumetric access easement; and
- Significant site landscaping and private open space for each dwelling including individual pools.

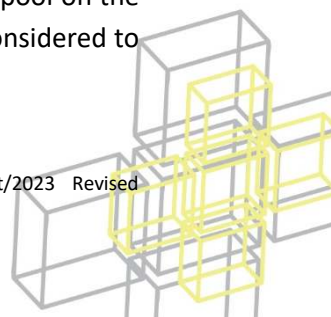
Overall, the proposed built form remains very similar to that of the 2022 Material Change of Use approval and therefore the same grounds to justify any relaxations against the planning scheme provisions remain applicable.

As evidenced by the plans, the proposal is somewhat unique given the characteristics of the site which have been formed from past quarrying activities (see Detail and Contour Survey Plan). The site now exhibits a large benched area partly surrounded by steep cut batters and is essentially "sunken" into the hillslope, providing the ability to absorb the proposed built form and integrate it into the surrounding landform. This has created the opportunity for a proposal with increased building height that is still able to sit appropriately within the broader landscape and maintain the visual characteristics of the area.

The above-described concealment of the built form can be better understood by looking at the Elevations which include both the "existing ground line" and the "interpolated ground line", the existing being of course the current ground line and the interpolated being the original/natural ground line prior to past quarrying activities. The interpolated ground line shows that had the site not been modified from past activities, the technical building height would be significantly less than is the case based on the existing ground line, yet the actual building height, and in turn the broader visual impacts, would be the same.

Maximum building height based off the existing ground level is identified as being approximately 16m. As shown on the Elevations however, the 13.5m prescribed building height line when taken off the interpolated ground line, being the original ground line prior to excavations for past quarry operations, demonstrates that only a small proportion of the building exceeds the prescribed height line.

The result of the building height being absorbed into the site is a limited visual impact when viewed from surrounding viewpoints. Where the proposal is visible, the impacts have been mitigated through the use of appropriate colours and landscaping, as well as the breaking up of the building bulk with Dwelling 1 essentially being split into two (2) separate podiums and Dwelling 2 being a separate structure. The splitting of Dwelling 1 provides opportunities for landscaping around the pool on the second floor which can assist in breaking up the building bulk. Overall, the proposal is considered to

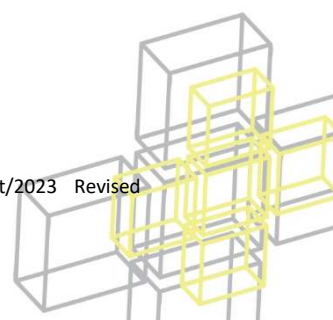


result in an appropriate visual outcome in consideration of the existing built form and pattern of development in the locality, and this outcome is supported by the 2022 approval which the current proposal remains consistent with.

Preliminary engineering design has been undertaken in relation to vegetation clearing, earthworks, access, drainage, water supply, sewer and erosion and sediment control. A plan set prepared by Applin Consulting and Progression Design & Development is included as **Annexure 10**. It is understood that these plans have been prepared in consultation with Council officers and it is therefore proposed that they form the basis for approval conditions relating to the future Operational Works application.

One item within the engineering drawings to point out is the earthworks design behind the proposed development adjoining Murphy Street. Further geotechnical investigations have recommended a shotcrete batter which extends into the Murphy Street road reserve. Again, we understand that Council officers were consulted in relation to this issue and that support exists for this solution as it resolves significant existing stability issues both on the site and within the road reserve.

Finally, it is noted that the proposed development is to be staged. Stage 1 would comprise the creation of proposed Lots 1 and 2 and the establishment of Dwellings 1 and 2 on those lots, while Stage 2 would include the subdivision of the balance of Lot 2 into Lots 3 and 4 and the establishment of Dwellings 3 and 4 on those lots. All lots are accessed via a volumetric access easement which will be created in Stage 1 – the easement is volumetric because it includes portions which have structure above so is limited in height to the undercroft of the projecting structures.



4.0. Legislative Considerations

4.1. Planning Act 2016

This section provides an overview of the legislative context of the application under the provisions of the *Planning Act 2016*.

4.1.1. Assessable Development

The proposed development is identified as 'assessable' under the *Planning Act 2016* due to the effect of the *Planning Regulation 2017*.

4.1.2. Assessment Manager

The Assessment Manager for this development application is Douglas Shire Council as determined by Schedule 8 of the *Planning Regulation 2017*.

4.1.3. Assessment Categories & Benchmarks

The following table outlines the Assessment Categories and Assessment Benchmarks applicable to the various aspects of development proposed:

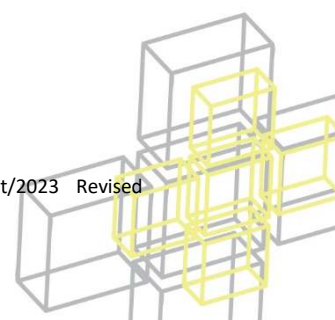
Aspect of Development	Categories of Assessment	Assessment Benchmarks
Material Change of Use for Dwelling Houses	Code Assessment	Relevant Codes of Douglas Shire Planning Scheme 2018
Reconfiguring a Lot	Code Assessment	Relevant Codes of Douglas Shire Planning Scheme 2018

4.1.4. Referral Agencies

A review of Schedule 10 of the *Planning Regulation 2017* indicates that the application will not trigger any State agency referrals.

4.1.5. Public Notification

This application is 'code-assessable' and therefore does not require public notification.



5.0. Statutory Planning Assessment

5.1. Overview

This section provides an assessment of the application against relevant statutory planning provisions and assessment benchmarks.

5.2. State Planning Policy

The State Planning Policy (SPP) is relevant to the assessment of this application where a State interest is not appropriately reflected in the Planning Scheme relevant to the site. It is understood that all State interests are adequately reflected in the Planning Scheme.

5.3. State Development Assessment Provisions

No State Development Assessment Provisions are identified as being relevant to the application.

5.4. Douglas Shire Planning Scheme 2018

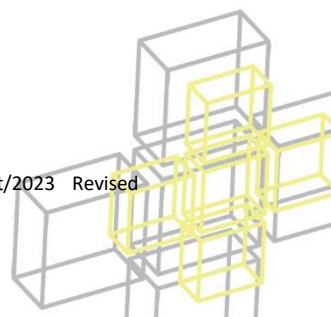
The proposed development is identified as being subject to 'code assessment' under the Douglas Shire Planning Scheme 2018. Assessment of the proposal against the relevant code provisions is provided below.

5.4.1. Code Assessment

By reference to the Tourist Accommodation Zone Assessment Table, the following codes have been identified as being applicable to this proposal:

- Tourist Accommodation Zone Code;
- Port Douglas/Craigie Local Plan Code;
- Dwelling House Code;
- Reconfiguring a Lot Code;
- Acid Sulfate Soils Overlay Code;
- Bushfire Hazards Overlay Code;
- Hillslopes Overlay Code;
- Landscape Values Overlay Code;
- Potential Landslide Hazard Overlay Code;
- Transport Network Overlay Code;
- Access, Parking and Servicing Code;
- Environmental Performance Code;
- Infrastructure Works Code; and
- Landscaping Code.

A detailed assessment against the above codes is included as **Annexure 11** to this report.



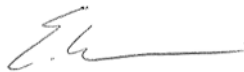
6.0. Conclusion

This Planning Report has been prepared by Planning Plus (QLD) Pty Ltd (Planning Plus) on behalf of Port Douglas By Gurner Pty Ltd (the 'applicant') in support of an application to Douglas Shire Council seeking a Development Permit for Reconfiguring a Lot (2 Lots into 4 Lots and Access Easement) and Material Change of Use for 'Dwelling Houses' and over land at 69 – 73 Murphy Street, Port Douglas, described as Lot 2 on RP724386 and Lot 516 on PTD2094 (the 'site').

It is submitted that the application has demonstrated that the proposed development is consistent with the outcomes sought by the Douglas Shire Planning Scheme 2018 and associated policies, and includes adequate justification to facilitate the intended development proposal, including any relaxations sought against technical code provisions.

We trust the information provided herein is sufficient for Council's purpose, however should you require any further information, please do not hesitate to contact the undersigned.

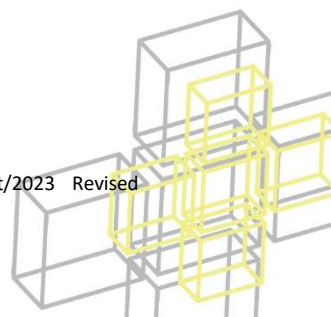
Yours faithfully



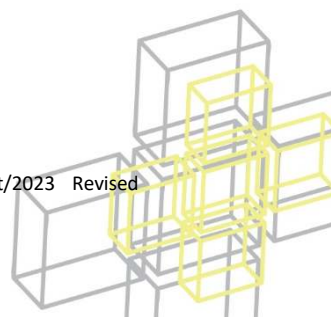
Evan Yelavich
Director / Planner
Planning Plus (QLD) Pty Ltd

Encl.

Annexure 1:	DA Form 1
Annexure 2:	Existing Approval
Annexure 3:	Title Searches
Annexure 4:	QLD Globe Aerial Overlay
Annexure 5:	SmartMap
Annexure 6:	Detail and Contour Survey Plan
Annexure 7:	Planning Scheme Property Report
Annexure 8:	SDAP Mapping
Annexure 9:	Architectural Plans
Annexure 10:	Engineering Plans
Annexure 11:	Douglas Shire Planning Scheme Code Assessment



Annexure 1: DA Form 1



DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Port Douglas By Gurner Pty Ltd C/- Planning Plus
Contact name (only applicable for companies)	Evan Yelavich
Postal address (P.O. Box or street address)	PO Box 399
Suburb	Redlynch
State	QLD
Postcode	4870
Country	
Contact number	(07) 40393409
Email address (non-mandatory)	Evan@planningplusqld.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	20-12

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		69	Murphy Street	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	516	PTD2094	Douglas Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
		71 - 73	Murphy Street	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	2	RP724386	Douglas Shire

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer
Name of water body, watercourse or aquifer:
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>
Lot on plan description of strategic port land:
Name of port authority for the lot:
<input type="checkbox"/> In a tidal area
Name of local government for the tidal area (if applicable):
Name of port authority for tidal area (if applicable):
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

4 x Dwelling Houses

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☒ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Subdivision (2 lots into 4 lots and access easement)

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input checked="" type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Houses	Dwelling Houses	4	
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
2	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input checked="" type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input checked="" type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created	4			
10.2) Will the subdivision be staged?				
<input checked="" type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?	2			
What stage(s) will this development application apply to?	1 & 2			

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement
Proposed	5m	44m approx	Access	Proposed Lots 2 - 4

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Douglas Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?	
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No	

23) Further legislative requirements			
<u>Environmentally relevant activities</u>			
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i>?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <small>Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</small>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
<u>Hazardous chemical facilities</u>			
23.2) Is this development application for a hazardous chemical facility?			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <small>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</small>			

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

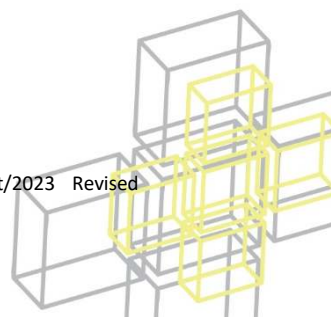
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Annexure 2: Existing Approval



31 August 2022

Enquiries: Neil Beck
Our Ref: MCUC 2021_4490/1 (1106735)
Your Ref: 20-12

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

Gurner TM Nominee Pty Ltd
C/- Planning Plus
PO Box 399
REDLYNCH QLD 4870

Dear Sir/Madam

**Decision Notice for
For Material Change of Use – 4 Multiple Dwellings & Short-term Accommodation at
69 – 73 Murphy Street Port Douglas**

Please find attached the Decision Notice for the above-mentioned development application.

Please quote Council's application number: MCUC 2021_4490/1 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this, please contact Neil Beck on telephone 07 4099 9444.

Yours faithfully



**For
Paul Hoyer
Manager Environment & Planning**

cc. State Assessment and Referral Agency (SARA) E: CairnsSARA@dilgp.qld.gov.au
encl.

- Decision Notice
 - Approved Drawing(s) and/or Document(s)
 - Reasons for Decision - non-compliance with assessment benchmark.
- Advice For Making Representations and Appeals (Decision Notice)
- Adopted Infrastructure Charges Notice
- Advice For Making Representations and Appeals (Infrastructure Charges)



Decision Notice

Approval (with conditions)

Given under s 63 of the Planning Act 2016

Applicant Details

Name: Gurner TM Nominee Pty Ltd
Postal Address: C/- Planning Plus
PO Box 399
REDLYNCH QLD 4870
Email: evan@planningplusqld.com.au or

Property Details

Street Address: 69 Murphy Street PORT DOUGLAS, 71-73 Murphy Street
PORT DOUGLAS
Real Property Description: LOT: 516 TYP: PTD PLN: 2094, LOT: 2 RP: 724386
Local Government Area: Douglas Shire Council

Details of Proposed Development

Development Permit for MCU - Material Change of Use (Material Change of Use (4 x multiple dwellings/short term accom))

Decision

Date of Decision: 30 August 2022
Decision Details: Approved (subject to conditions)

Approved Drawing(s) and/or Document(s)

Copies of the following plans, specifications and/or drawings are enclosed.

Drawing or Document	Reference	Date
Site Context	Gurner TM Drawing No. DA01.001 Job No. 9663 Rev. E	13/07/2022
Site Survey	Gurner TM Drawing No. DA01.005 Job No. 9663 Rev. E	13/07/2022

Drawing or Document	Reference	Date
Site Survey	Gurner TM Drawing No. DA01.006 Job No. 9663 Rev. E	13/07/2022
Interpolated Survey	Gurner TM Drawing No. DA01.007 Job No. 9663 Rev. F	13/07/2022
Proposed Site Plan	Gurner TM Drawing No. DA03.001 Job No. 9663 Rev. G	13/07/2022
Site Access Plan	Gurner TM Drawing No. DA03.002 Job No. 9663 Rev. C	13/07/2022
Ground Floor Plan	Gurner TM Drawing No. DA010.001 Job No. 9663 Rev. K	13/07/2022
LO1 Floor Plan	Gurner TM Drawing No. DA010.002 Job No. 9663 Rev. K	13/07/2022
LO2 Floor Plan	Gurner TM Drawing No. DA010.003 Job No. 9663 Rev. K	13/07/2022
LO3 Floor Plan	Gurner TM Drawing No. DA010.004 Job No. 9663 Rev. K	13/07/2022
Roof Plan	Gurner TM Drawing No. DA010.005 Job No. 9663 Rev. J	13/07/2022
North Elevation	Gurner TM Drawing No. DA20.001 Job No. 9663 Rev. H	13/07/2022
East Elevation	Gurner TM Drawing No. DA20.002 Job No. 9663 Rev. H	13/07/2022
South Elevation	Gurner TM Drawing No. DA20.003 Job No. 9663 Rev. H	13/07/2022
West Elevation	Gurner TM Drawing No. DA20.004 Job No. 9663 Rev. G	13/07/2022
Murphy St Elevation	Gurner TM Drawing No. DA20.100 Job No. 9663 Rev. A	13/07/2022
Typical Sections	Gurner TM Drawing No. DA30.001 Job No. 9663 Rev. K	13/07/2022
Typical Sections	Gurner TM Drawing No. DA20.102 Job No. 9663 Rev. G	13/07/2022

Drawing or Document	Reference	Date
Pool Sections	Gurner TM Drawing No. DA30.003 Job No. 9663 Rev. B	13/07/2022
Development Summary - GFA	Gurner TM Drawing No. DA50.001 Job No. 9663 Rev. F	13/07/2022
Development Summary - Site Cover	Gurner TM Drawing No. DA50.002 Job No. 9663 Rev. F	13/07/2022
Development Summary- Landscape	Gurner TM Drawing No. DA50.003 Job No. 9663 Rev. F	13/07/2022
Materials	Gurner TM Drawing No. DA90.001 Job No. 9663 Rev. D	13/07/2022
Landscape Plans		
Cover Page	511 DA 01	12/07/2022
Planting Schedule	511 DA 02	12/07/2022
Planting Schedule	511 DA 03	12/07/2022
Tree Retention & Removal Plan	511 DA 04	12/07/2022
Landscape Plan – Entry Road & Western Boundary	511 DA 10	12/07/2022
Landscape Plan – Ground Level & Green Roof	511 DA 11	12/07/2022
Landscape Plan – Level 1	511 DA 12	12/07/2022
Landscape Plan – Level 2	511 DA 13	12/07/2022
Landscape Plan – Level 3	511 DA 14	12/07/2022
Typical Details	511 DA 35	12/07/2022
General Specification	511 DA 50	12/07/2022
Stormwater Catchment & Upgrade		
DSC Drainage Catchments – North Catchment 2	Sketch DSC-001	18/08/2022

Note – The plans referenced above will require amending in order to comply with conditions of this Decision Notice.

Assessment Manager Conditions & Advices

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:

- a. The specifications, facts and circumstances as set out in the application submitted to Council; and
- b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Amended Plan

3. The access driveway design is to be revised to comply with the Australian Standard AS2890.1 Parking Facilities – Off-Street Parking and good engineering design. The following design parameters must be addressed:
 - a. The horizontal geometry must be amended to comply with Table 2.2 of AS2890.1;
 - b. The width of the driveway must be sufficient for one-way traffic movement, provided a Traffic Management Plan for managing right of way for the driveway is prepared and approved by Council;
 - c. The driveway width must be supported by turn templates for the appropriate service vehicle. At a minimum the driveway must be demonstrated to cater for both the B99 vehicle and an SRV vehicle as independent ingress and egress movements;
 - d. The inside gradient of any bends must not exceed 20%;
 - e. The roadside safety barriers identified on the Inertia Engineering drawings are to be detailed and approved by Council with consideration to be given to visual impact. Council's approval may require additional visual amelioration treatments to address visual impact;
 - f. The southern most projection of the driveway must not extend further than the limit shown on the revised Inertia engineering Sketch SK007-Rev D dated 07/07/2022.

The revised plans must be certified by an RPEQ as part of Operational Works application for the driveway, earthworks and retaining walls in the road reserve.

The amended plans must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Building Work.

The section of private access driveway and landscaping treatments within the unconstructed road reserve will not become a Council asset and will never be maintained by Council. The ongoing maintenance obligation of the driveway in the road reserve remains with the property owner/s (or future body corporate) at all times. This requirement must be reflected in any future Community Management Statement for the development.

Operational Works

4. An Operational Works Approval is required for the water, sewer, stormwater, earthworks and driveway associated with the development. The application for Operational Works must include, but not be limited to, the following:

- a. Decommissioning of the existing services within the site including demolition and removal of redundant services;
- b. Drainage works nominated as detailed in conditions of approval and any additional works confirmed by the local drainage study;
- c. Earthworks internal and external to the site;
- d. Required external works within the road reserve for the driveway and retaining walls and Murphy Street;
- e. Water and sewerage works required to provide additional capacity (where required) to enable connectivity of the site to Council's system without impacted existing levels of service.

Such works must be completed to the satisfaction of the Chief Executive Officer prior to Commencement of Use.

Road condition survey

5. Prior to any works occurring on the site, the applicant is to prepare a road condition report of the proposed road haulage route(s) from the site to the approved disposal site(s). The report is to identify relevant existing defects or problems with the roadway along the identified route. On completion of the works, the haul route(s) shall be subject to a joint inspection by the applicant and Council Officers to identify any further damage that has occurred. Where additional damage has occurred, all rectification works shall be at the applicant's expense, to the satisfaction of the Chief Executive Officer.

Building Colours & Finishes

6. A submission detailing the colours of all of the external walls and structures is to be re-submitted for endorsement by the Chief Executive Officer prior to the issue of a Development Permit for Building Work. The use of lighter colours and material finishes such as the nominated REN-1, REN-2 & RET-1 are to be avoided for upper storeys of the development.

Water Supply and Sewerage Works External

7. Undertake the following water supply and sewerage works external to the site to connect the site to existing water supply and sewerage infrastructure:
 - a. Augment existing water supply infrastructure to the extent necessary such that the development does not adversely affect the water supply to adjacent properties and such that a water service connection can be provided at the lot frontage;
 - b. Augment existing sewers or construct new sewer to accommodate the development. If connection is proposed to the existing sewer on the north western boundary, detailed plans are to be provided showing levels, capacity and existing sewerage demands through to the pump station downstream of the site. Alternatively, a new sewer connection will need to be designed through to the pump station. The connection point is to be into the existing incoming sewer and not into the pump station. The design is to be in accordance with the FNQROC Development Manual and submitted for Operational Works approval;
 - c. Extend the water main shown on Inertia Engineering Sketch SK004 Rev E dated 7/07/2022 north to Murphy Street terminating in the middle of the existing formation to enable future connection by Council;

The external works outlined above require Operational Works approval from Council.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to Commencement of Use.

Water Supply and Sewerage Works Internal

8. Undertake the following water supply and sewerage works internal to the subject land:

- a. Provide a single internal sewer connection which must be clear of any buildings or structures;
- b. Provide a single internal water connection with appropriate metering and capacity for firefighting bypass arrangements as required.

Note: Council does not guarantee the pressure in its external water network beyond the minimum pressures nominated under FNQROC Development Manual. Where the building classification or use require greater pressures, these must be addressed by on-site measures as required to suit the building approval requirements;

- c. Where required, water supply sub-metering must be designed and installed in accordance with *The Plumbing and Drainage Act 2002 and the Water Act 2000*

All the above works must be designed and constructed in accordance with the FNQROC Development Manual.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to Commencement of Use.

Inspection of Sewers

9. Where altering existing sewer mains or construction of new sewer main, provide CCTV inspections of sewers both prior to commencement of works on site and at works completion where works have been undertaken over or to sewers. Defects must be rectified to the satisfaction of the Chief Executive Officer at no cost to Council prior to Commencement of Use.

Damage to Council Infrastructure

10. In the event that any part of Council's existing sewer, water or road infrastructure is damaged as a result of construction activities occurring on the site including but not limited to; mobilisation of heavy construction equipment; stripping; and grubbing, the applicant/owner must notify Council immediately of the affected infrastructure and have it repaired or replaced at the developer's/owners/builders cost, prior to the Commencement of Use.

General External Works

11. Undertake the following external works:-

- a. Provide a full detail design for the driveway and reprofiling works in the verge including landscaping treatments and pedestrian access;
- b. The detail design in a. above must include sufficient details on the local drainage, verge grading, concrete pathway grades and crossfall. The applicant is to ensure that the development complies with the requirements of AS2890.6, and other all-abilities access provisions applicable for this development classification;

The plan of the works must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works. All works must be carried out in accordance with the approved plan prior to the issue of a Commencement of the Use.

Drainage Study of Site

12. Undertake a local drainage study of the site to determine the catchment contributing to the existing pipe system that the development proposes to connect into.

The study must also address the following concerns with the current design concepts:

- a. The existing pipes are part way through their design life and the new development places permanent filling within the zone of influence of the pipe(s) applying additional loads to the pipe(s) that were not considered in their original design. Additionally, significant construction traffic will impact the existing pipes;
- b. The contributing catchment does not match Council's catchment (and resulting predicted peak flows);
- c. There are conflicts within the applicant's drawings with the southern open stormwater swale drain nominated on the Inertia Engineering Sketches competing with dense screening planning nominated by the landscape designer to ameliorate the visual impacts; and
- d. There are known capacity issues within the existing stormwater system.

Noting the above impacts and current deficiencies and the conflicts with internal stormwater swales and landscaping, Council proposes to collaborate with the developer to achieve a mutually beneficial solution. This includes:

- a. Permitting site stormwater to be collected in surface swales within Council's lot to the south west of the subject site, (Lot 1 on RP 724386), (to preserve the landscaping corridor for screening);
- b. The developer is to construct a new stormwater pipeline along the north western side of the development site, (size and invert levels to be confirmed with this study). Note: drainage required upslope of retaining solutions is permitted to utilise this pipe line;
- c. The developer is to upgrade the existing stormwater along the south western boundaries of the site and through to the esplanade discharge point including provision of appropriate pipe class to address the pipe loads from the development and access driveway;
- d. The above concept is shown on Council Sketch DSC-001 attached;

The updated study (including the proposed system changes) is to be undertaken in conjunction with Council's drainage team to verify:

- a. The contributing catchment boundaries for the existing stormwater pipe system. Council's internal catchment plans do not match the calculations provided by Inertia Engineering;
- b. The conveyance path and flow characteristics for the 100 year ARI flood event in relation to the site both pre- and post-development;
- c. Primary and secondary peak flow volumes for the 5, 10 and 100 year ARI rainfall events;

- d. Proposed pipe infrastructure sizes and capacity compared with the peak flows.
- e. Identify any requirement for amendments to the drainage easements;
- f. Information on the proposed works and any impacts proposed at the drainage outlet from the proposed development.
- g. Lawful point of discharge.

The study must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works.

Drainage Easements (General Drains)

- 13. A Drainage Easement having a minimum width of 3 metres along the entire length of north western boundary must be granted in favour of Council. A copy of the easement documents must be submitted to Council for the approval of Council's solicitors at no cost to Council. The approved easement documents must be lodged and registered with the Department Resources prior to the Commencement of Use.

Plan of Drainage Works

- 14. The subject land must be drained to the satisfaction of the Chief Executive Officer. In particular,
 - a. Drainage infrastructure as identified in the drainage study condition including but not limited to:
 - A new underground stormwater pipe within the development site adjacent the north western boundary on the site;
 - Upgraded underground pipes to 1 in 100 year ARI capacity and suitable pipe class along the south western boundary of the site and within Lot 1 on RP724386; and
 - Overland swale drain along the south western boundary parallel to the swale nominated in Inertia Engineers drawing (and replacing that swale).
 - b. The drainage system from the development must incorporate a stormwater quality improvement devices (SQID) internal to the site. The design of the SQID shall not compromise the hydraulic performance of the overall drainage system and be positioned to provide appropriate access for maintenance equipment.
 - c. The drain age concept shown on Inertia Engineering Sketch SK02 is to be redesigned to eliminate the conflicts with the architectural and landscape plans in relation to the significant screening planting of the buffer area. The following drainage design is to be provided.

Geotechnical Investigation / Design

- 15. An updated geotechnical assessment by a qualified and experienced geotechnical consultant must be submitted with the application for Operational Works, with a final geotechnical report to be endorsed by the Chief Executive Officer prior to the Commencement of Use.
 - a. The updated geotechnical assessment must address the recommendations In the Geo Design letter dated 5 October 2021 and the Geo Design Report dated 29 October 2020 including but not limited to:
 - A revised and updated geotechnical report should be prepared based on the final architectural designs and consider footings, stability and construction recommendations;

- The updated geotechnical report may require the completion of additional fieldwork;
 - A detailed slope stabilisation design should be adopted for the Murphy Street batter that decreases the risk to the proposed development and Murphy Street;
 - Retaining works or slope retention systems may be required on other batters or natural slopes subject to a review of the final design;
 - Drainage works are considered essential to the successful completion of the works to minimise potential sediment and erosion issues together with decreasing the risks of instability.
- b. The updated geotechnical assessment must address the cut batter along the northern boundary, and provide specific details on the staging of work and control measures required on this batter to maintain the safety of the site to enable work activities to be undertaken within the site;
- c. Geotechnical details to be submitted include, but are not limited to, the following:
- Details of the specific means of supporting or retaining to be used. This must include geotechnical specifications identifying the required treatments at specific times, heights on the batter and the location within the site;
 - Drawings (plans, longitudinal and cross sections) clearly showing the extent of the proposed treatments at each location;
 - Methods to be used to minimise the visual impact (where not included within the building); and
 - Elevations showing the visual impact when viewed from vantage points and duration that the treatment is expected to be exposed to public view.

All works identified must be supervised by the geotechnical consultant to ensure that the siteworks are undertaken in a manner that maintains a low to very low risk rating in accordance with AGS Guidelines. The supervising geotechnical assessment must provide a final geotechnical report confirming that the constructed works comply with the approved designs. The final report must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Works.

16. The geotechnical report must include designs and treatments for the site for temporary works and for the staging of construction. The temporary works are to be certified by a suitably qualified RPEQ and must be supervised by the geotechnical consultant to ensure that the siteworks are undertaken in a manner that maintains a low to very low risk rating in accordance with AGS Guidelines.

Where the proposed temporary or permanent geotechnical design solution requires soil nails, the extent of the nails must not extend beyond the property boundary without written consent from the adjacent landowner. The design must fully disclose the extent, depth and potential impact on future development of adjoining land so that the owner provides informed consent to any encroachment. As-constructed details of the geotechnical solution are to be provided to Council and records must be kept by the applicant/land owner and provided to future owners/body corporate. Certification from the RPEQ that the works have been undertaken in accordance with the approved plans and recommendations of the geotechnical investigation and compliance with the conditions is required prior to the Commencement of Use.

Construction Management Plan for Earthworks

17. The site development requires excavation and earthworks and will require material to be imported and exported from the site with access through the Esplanade road and car park area.

The applicant is to prepare a traffic management plan and detail the controls necessary to manage the impacts for movement of materials to and from the site. The plan must nominate the type and number of truck movements required including total truck movements, daily truck movements and management of movements throughout the day.

The final earthworks design is to be lodged with the application for a Development Permit for Operational Works. Such earthworks must be completed in accordance with the approved plans prior to the Commencement of Use.

Stockpiling and Transportation of Fill Material

18. Soil used for filling or spoil from the excavation is not to be stockpiled in locations that can be viewed from adjoining premises or a road frontage for any longer than one (1) month from the commencement of works.

Transportation of fill or spoil to and from the site must not occur within:

- a. peak traffic times; or
 - b. before 7:00 am or after 6:00 pm Monday to Friday; or
 - c. before 7:00 am or after 1:00 pm Saturdays; or
 - d. on Sundays or Public Holidays.
19. Dust emissions or other air pollutants must not extend beyond the boundary of the site and cause a nuisance to surrounding properties.

Storage of Machinery and Plant

20. The storage of any machinery, material and vehicles must not cause a nuisance to surrounding properties, to the satisfaction of the Chief Executive Officer.

Landscape Plan

21. The site and external areas must be landscaped generally in accordance with the Landscape Plans prepared by Myles Baldwin Design dated 12 July 2022 subject to the following requirements. An amended landscape plan/s must be provided which shows:-
- a. The retention of the Calophyllum tree located in the unconstructed road reserve which is earmarked for removal unless otherwise approved at the time of assessing the Landscape Plans;
 - b. The Landscape Plan is to detail protection measures to be installed for vegetation to be retained. Protection measures are to be in accordance with AS 4970-2009;
 - c. Further detail on the proposed refuse facility located in the unconstructed road reserve in terms of building material, finishes and screening. The refuse facility is to be of a high quality and be appropriately screened;
 - d. Landscaping and deep planting of cut and fill areas and other disturbed areas as a consequence of installing services;
 - e. Undertaking deep planting of building setback areas;
 - f. Deep landscaping of the setback area adjacent Dwelling 3 & Dwelling 4 to screen the building piers overtime. Landscaping is also permitted within Lot 1 on RP724386 following the installation of the new stormwater pipe to create an effective buffer

between the development and the existing buildings.

- g. Detail ground preparation and removal of any unsuitable material. The soil must be well prepared (not compacted) and fertilized with organic fertilizers to encourage strong growth;
- h. Species to have regard to Council's Planning Scheme Policy SC6.7 Landscaping;
- i. Inclusion of any other relevant conditions included in this Development Permit. A copy of this Development Approval must be given to the applicant's Landscape Architect/Designer.

The Landscape Plan must be endorsed by the Chief Executive Officer at the time of seeking a Development Permit for Operational Works. All landscaping works must be undertaken in accordance with the endorsed plan prior to the Commencement of Use and maintained at all times to the satisfaction of the Chief Executive Officer.

Sediment and Erosion Control

- 22. All earthworks must be carried out in accordance with section CP1.13 and D5 of the FNQROC Development Manual. A copy of the contractors Erosion and Sediment Control Plan (ESCP) is to be submitted to Council prior to the issue of a Development Permit for Operational Work. Measures nominated in the ESCP must be implemented prior to commencement of any earthworks. The ESC Plan must address the Institution of Engineers' Australia Guidelines for Soil Erosion and Sediment Control and the Environment Protection (Water) Policy and Clauses CP1.06, CP1.13 and D5.10 of Council's FNQROC Development Manual.

Existing Services

- 23. Written confirmation of the location of existing services for the land must be provided. In any instance where existing services are contained within another lot, the following applies, either:
 - a. Relocate the services to comply with this requirement; or
 - b. Arrange registration of necessary easements over services located within another lot prior to Commencement of Use.

Electricity Supply

- 24. Written evidence from Ergon Energy advising if distribution substation/s are required within the development must be provided and accompanied by written confirmation from Ergon Energy. Details regarding electricity supply must be provided prior to the issue of a Development Permit for Operational Works.

Above Ground Transformer Cubicles / Electrical Sub-Stations

- 25. Any required above ground transformer cubicles and/or electrical sub-stations are to be positioned so that they do not detract from the appearance of the streetscape and must be clear of the road frontage and footpath areas. This will require cubicles / sub-stations to be setback from the street alignment behind suitable screening, or incorporated within the built form of the proposed building. Details of the electrical sub-station positioning must be endorsed by the Chief Executive Officer prior to the issue of Development Permit for Building Work.

Electricity and Telecommunications

- 26. Written evidence of negotiations with the telecommunication authority must be submitted to Council stating that a telecommunications service will be provided to the development prior to the issue of a Development Permit for Building Work.

Street Lighting

27. The following arrangements for the installation of upgraded street lighting within the Esplanade Road Reserve must be provided prior to Commencement of the Use:

- a. Prior to the issue of a development permit for Operational Works a Rate 2 lighting scheme is to be prepared by an Ergon Energy approved consultant and submitted to the Chief Executive Officer for approval. The Rate 2 lighting scheme is to be designed in accordance with the relevant Road Lighting Standard AS/NZS 1158 and the FNQROC Development Manual. The applicable lighting category is to be determined for an Access Street per the Road Hierarchy Table D1.1 and the corresponding applicable Lighting Categories Table D8.1 as identified in the FNQROC Development Manual.

The lighting scheme must show a new light pole supplied by underground power and located to identify the driveway entry point onto the Esplanade roadway and parking areas. The new “flag light” is to be located to avoid conflicts with the existing stormwater pipes and inlet pits and other services and the proposed refuse facility.

The existing light pole north east from the driveway connection point and the overhead power supply are to be decommissioned and removed.

The design must provide the applicable illumination level specified in the Road Lighting Standard AS/NZS 1158 at the driveway entry/exit point assessed as an “intersection”.

- b. Prior to the Commencement of the Use provide evidence that the relevant capital contribution required by Ergon Energy has been paid must be submitted, to ensure that the street lighting will be constructed.

Vehicle Parking

28. The amount of vehicle parking to be provided onsite is a minimum of eleven (11) spaces. The car parking layout must comply with the Australian Standard AS2890.1 2004 Parking Facilities – off-street car parking and be constructed in accordance with Austroads and good engineering design. In addition, all parking, driveway and vehicular manoeuvring areas must be imperviously sealed, drained and line marked and these attributes must be maintained for the life of the development.

Amalgamation of Lots Required

29. The applicant/owner is to ensure that the subject lots are held together as one site for the duration of the approved land use. This is to be achieved by the amalgamation of Lot 1 on RP718896 and Part of Lot 1 on SP267838 into one lot. The Plan of Survey must be registered with the Department of Natural Resources and Mines and Energy and a new certificate of title issued at the applicant's/owner's cost prior to Commencement of Use.

Construction Signage

30. Prior to the commencement of any construction works associated with the development, a sign detailing the project team must be placed on the road frontage of the site and must be located in a prominent position. The sign must detail the relevant project coordinator for the works being undertaken on the site, and must list the following parties (where relevant) including telephone contacts:

- a. Developer;

- b. Project Coordinator;
- c. Architect / Building Designer;
- d. Builder;
- e. Civil Engineer;
- f. Civil Contractor;
- g. Landscape Architect

Advices

1. This approval, granted under the provisions of the Planning Act 2016, shall lapse six (6) years from the day the approval takes effect in accordance with sections 85(1)(b) and 71 of the Planning Act 2016.
2. The Douglas Shire Council area is subject to water restrictions during dry season months that may limit and/or restrict the use of Council water for landscaped areas. Council recommends water harvesting and water saving devices to be included to cater for the dry season periods.
3. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements. In particular, the use of the adjacent sidewalk area is subject to a Local Law approval for outdoor dining. The use of the sidewalk area for outdoor dining is subject to a Local Laws approval.
5. A charge levied for the supply of trunk infrastructure is payable to Council towards the provision of trunk infrastructure in accordance with the Infrastructure Charges Notice, a copy of which is attached for reference purposes only. The original Infrastructure Charges Notice will be provided under cover of a separate letter.

The amount in the Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

Please note that this Decision Notice and the Infrastructure Charges Notice are stand-alone documents. The Planning Act 2016 confers rights to make representations and appeal in relation to a Decision Notice and an Infrastructure Charges Notice separately.

The amount in the Infrastructure Charges Notice is subject to index adjustments and may be different at the time of payment. Please contact the Planning Team at Council for review of the charge amount prior to payment.

The time when payment is due is contained in the Infrastructure Charges Notice.

6. For information relating to the *Planning Act 2016* log on to www.dsdip.qld.gov.au. To access the *FNQROC Development Manual*, Local Laws and other applicable Policies, log on to www.douglas.qld.gov.au.

Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- All Building Work
- All Operational Work

All Plumbing and Drainage Work must only be carried in compliance with the Queensland *Plumbing and Drainage Act 2018*.

Concurrence Agency Response

Not Applicable

Currency Period for the Approval

This approval, granted under the provisions of the *Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect in accordance with the provisions of Section 85 of the *Planning Act 2016*.

Rights to make Representations & Rights of Appeal

The rights of applicants to make representations and rights to appeal to a Tribunal or the Planning and Environment Court against decisions about a development application are set out in Chapter 6, Part 1 of the *Planning Act 2016*.

A copy of the relevant appeal provisions are attached.

Approved Drawing(s) and/or Document(s)



All dimension to be verified on site before producing shop drawings or commencing any work. Do not scale. The copyright of this drawing remains with Warren and Mahoney Architects New Zealand Ltd.

Issue Status & No

DEVELOPMENT APPLICATION

ExRL +00.000 EXISTING RL - REFER TO SURVEY
RL +00.000 PROPOSED LEVEL
INDICATIVE SITE FILL

ORIGINAL DRAWING IN COLOUR

Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

GURNER TM

GURNERTM

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Phone + 61 3 8547 6977

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www.warrenandmahoney.com

Project Title

69-73 MURPHY STREET
PORT DOUGLAS

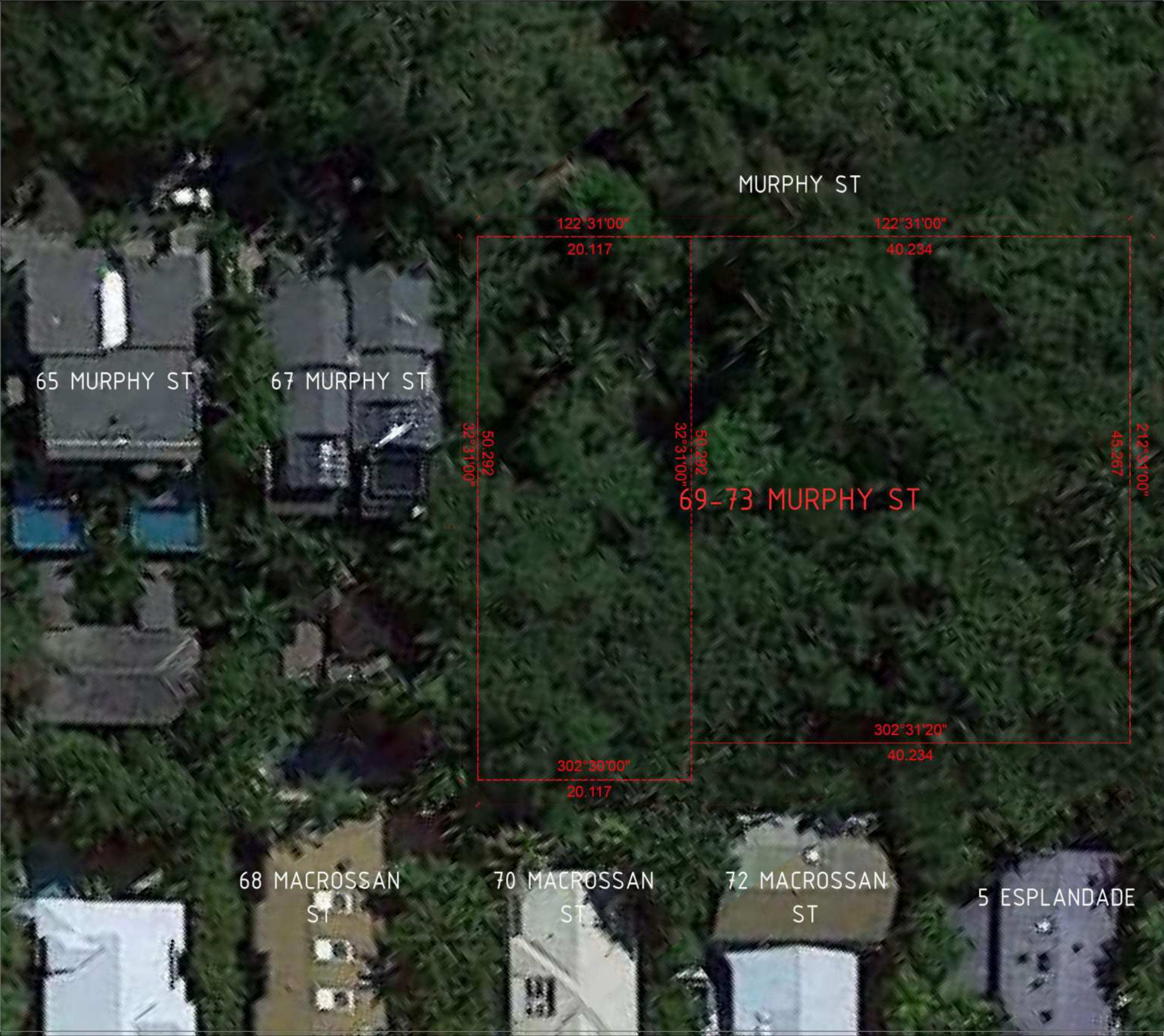
69 - 73 MURPHY STREET | PORT DOUGLAS

DEVELOPMENT APPLICATION

JULY 2022

DA DRAWING LIST

DA01.001	SITE CONTEXT	E	DA30.001	TYPICAL SECTIONS	K
DA01.002	SITE IMAGERY	E	DA30.002	TYPICAL SECTIONS	G
DA01.003	SITE IMAGERY	E	DA30.003	POOL SECTIONS	B
DA01.004	SITE ANALYSIS	E	DA50.001	DEVELOPMENT SUMMARY - GFA	F
DA01.005	SITE SURVEY	E	DA50.002	DEVELOPMENT SUMMARY - SITE COVER	F
DA01.006	SITE SURVEY	E	DA50.003	DEVELOPMENT SUMMARY - LANDSCAPE	F
DA01.007	INTERPOLATED SURVEY	F	DA80.001	SOLAR ANALYSIS - JUNE 21	F
DA03.001	PROPOSED SITE PLAN	G	DA80.002	SOLAR ANALYSIS - DECEMBER 21	F
DA03.002	SITE ACCESS PLAN	C	DA90.001	MATERIALS	D
DA010.01	GROUND FLOOR PLAN	K	28		
DA010.02	L01 FLOOR PLAN	K			
DA010.03	L02 FLOOR PLAN	K			
DA010.04	L03 FLOOR PLAN	K			
DA010.05	ROOF PLAN	J			
DA20.001	NORTH ELEVATION	H			
DA20.002	EAST ELEVATION	H			
DA20.003	SOUTH ELEVATION	H			
DA20.004	WEST ELEVATION	G			
DA20.100	MURPHY STREET ELEVATION	A			





UAV DRONE POSITION 1
Lat 16.29.1090 Long 145.28.0318



UAV DRONE POSITION 2
Lat 16.29.0733 Long 145.27.5673



UAV DRONE POSITION 2
Lat 16.29.1991 Long 145.28.0479

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Revisions

A 09/09/21	FOR CONSULTANT COORDINATION
B 15/09/21	FOR INFORMATION
C 22/09/21	DRAFT DA
D 04/10/21	ISSUE FOR DA
E 13/07/22	ISSUE RFI 02

Notes

Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

SITE IMAGERY

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

Scale	1 : 1@ A1
Date	13/07/22
Job No	9663
Drawn	-
Checked	ND

Drawing No

DA01.002

Revision

E



Site 4 – Elevation 1.5m



Site 4 – Elevation 4.5m



Site 4 – Elevation 7.5m



Site 4 – Elevation 10.5m



Site 4 – Elevation 22m



Site 5 – Elevation 1.5m



Site 5 – Elevation 4.5m



Site 5 – Elevation 7.5m



Site 5 – Elevation 22m



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SITE IMAGERY

Drawing Status

**DEVELOPMENT
APPLICATION**

Drawing Details

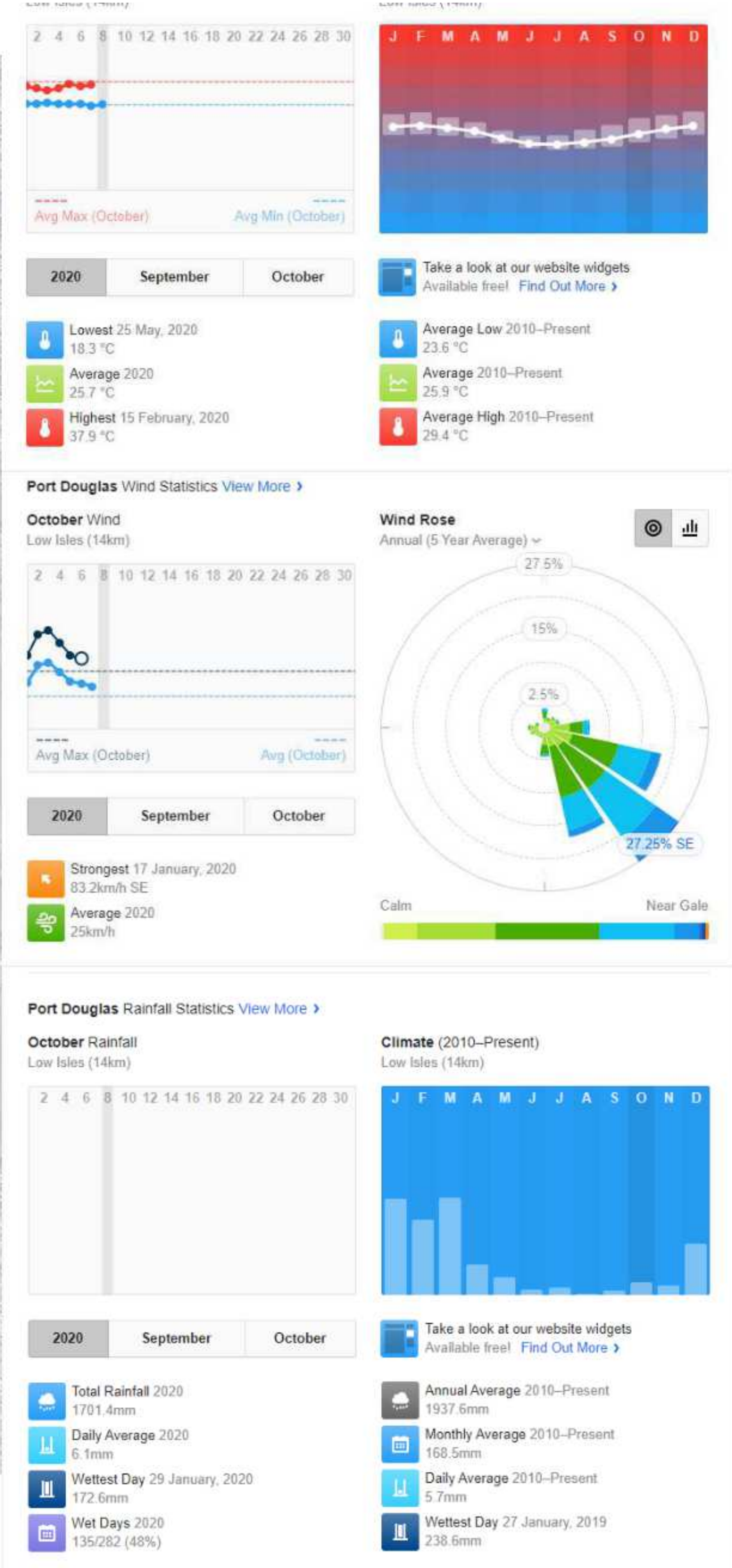
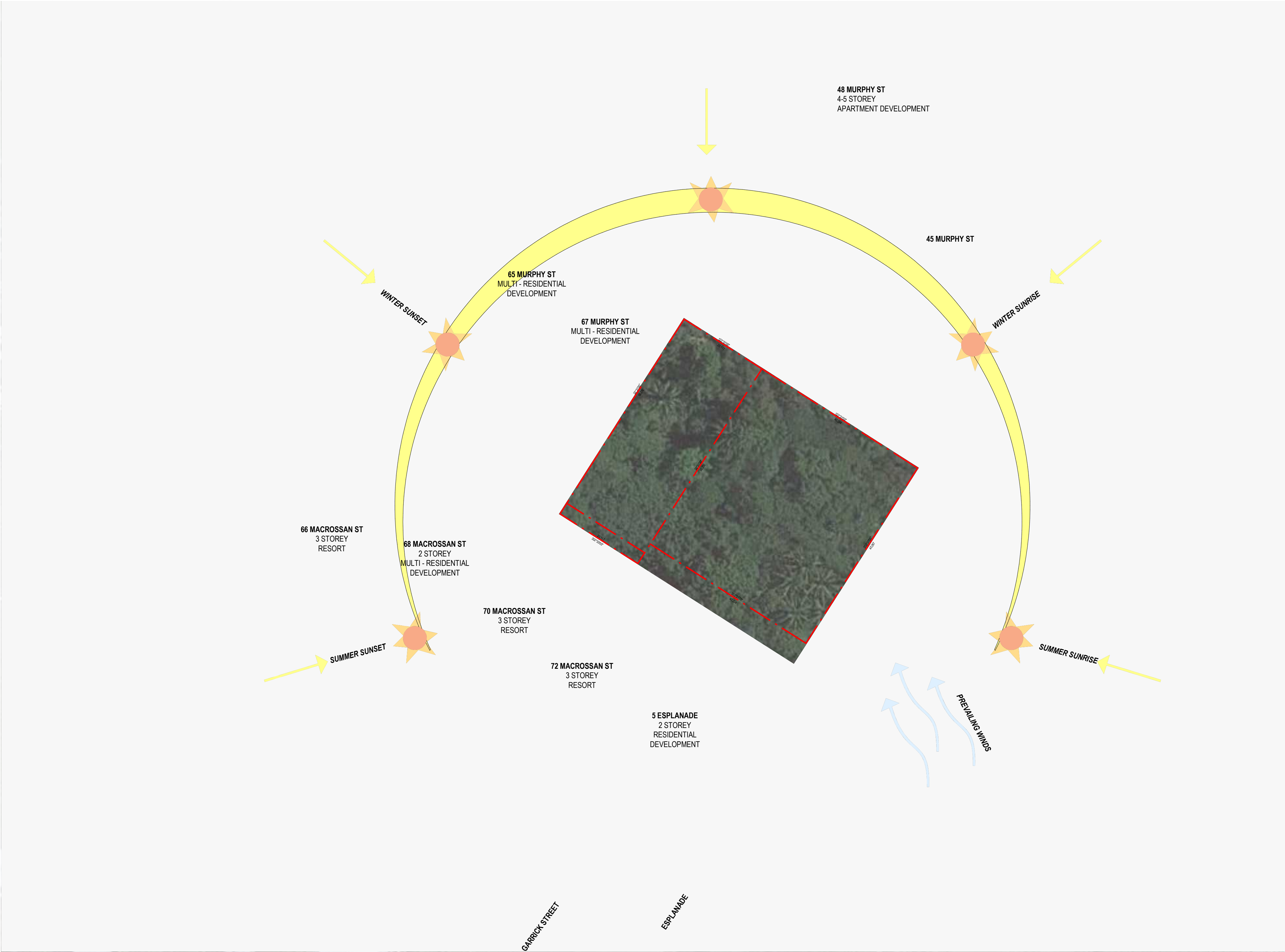
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Date	13/07/22
Job No	9663
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Checked	ND

Drawing No

DA01.003

Revision

E





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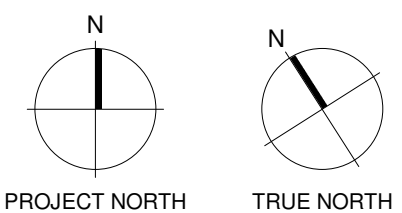
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Notes



Consultants

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Structural Engineer
Mechanical Engineer
Fire Engineer
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PORT DOUGLAS

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Drawing Title

SITE SURVEY

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

Scale	1 : 200@ A1
Date	13/07/22
Job No	9663
Drawn	-
Checked	ND

Drawing No

DA01.005

Revision

E

MACROSSAN

STREET

CP
BUP103563

512
PTD2092

CP
BUP70412

141
SR530

141
SR530

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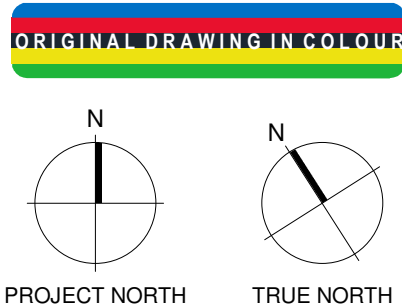
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Consultants

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Structural Engineer
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69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

SITE SURVEY

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

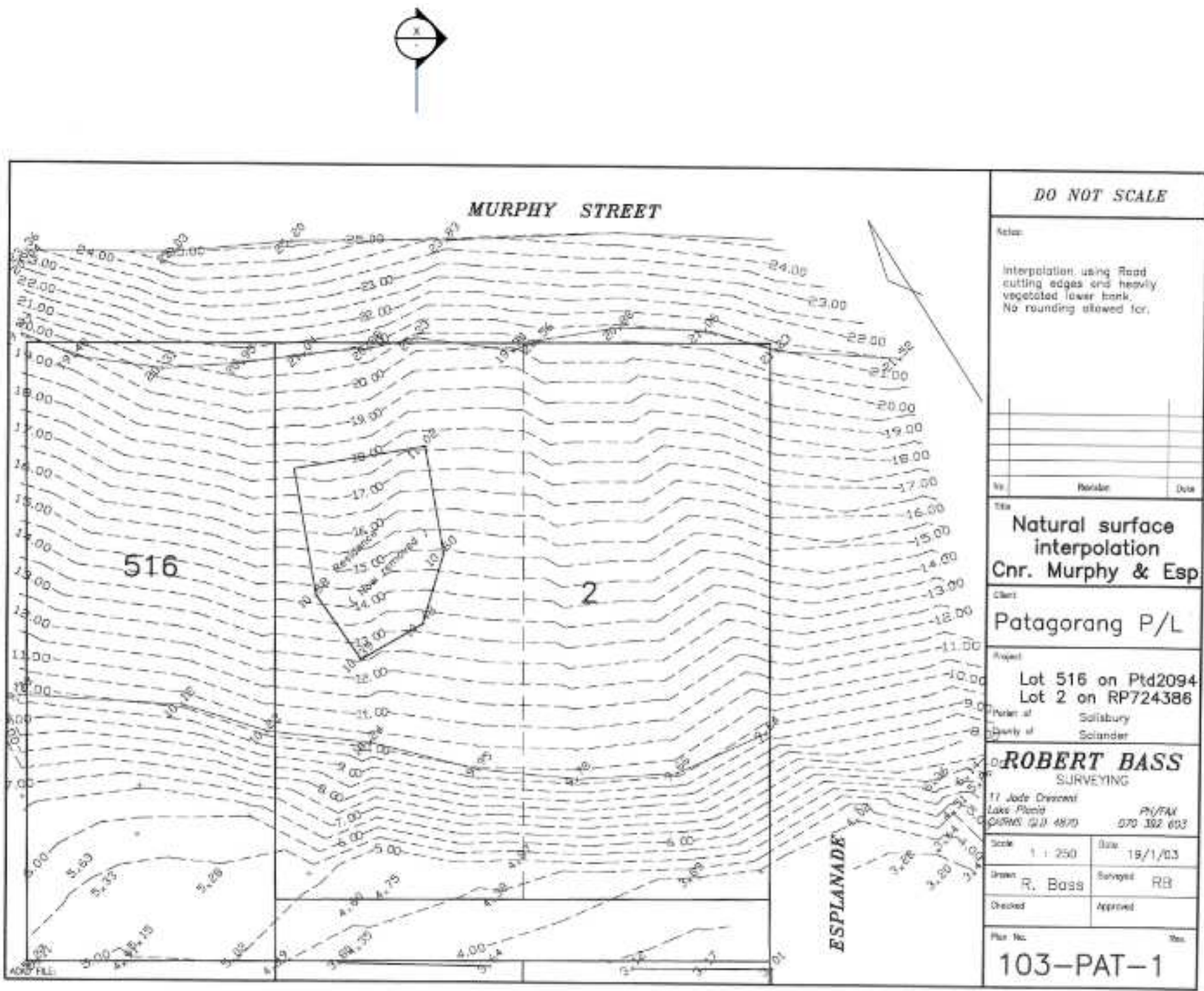
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Job No	9663
Drawn	-
Checked	ND

Drawing No

DA01.006

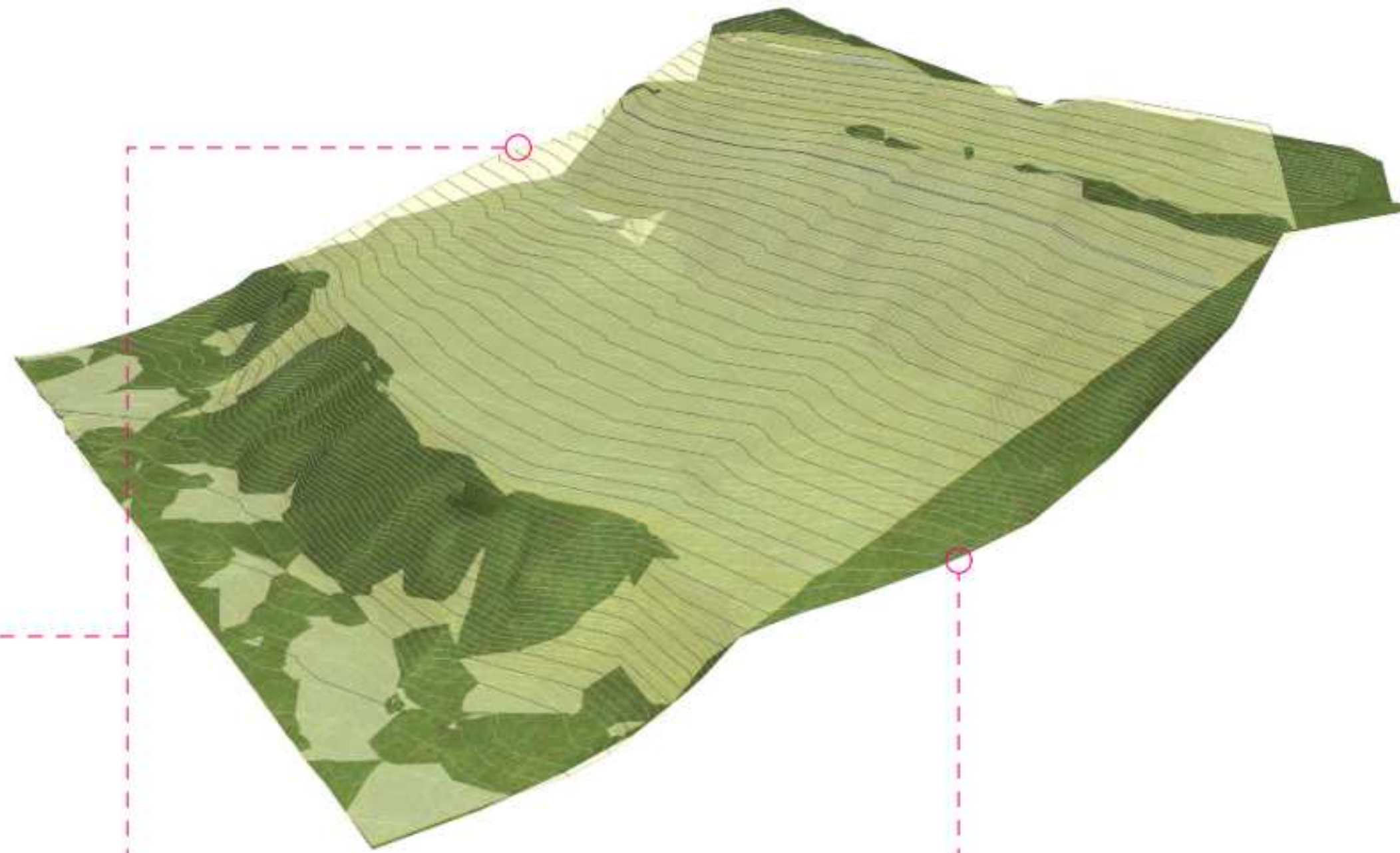
Revision

E

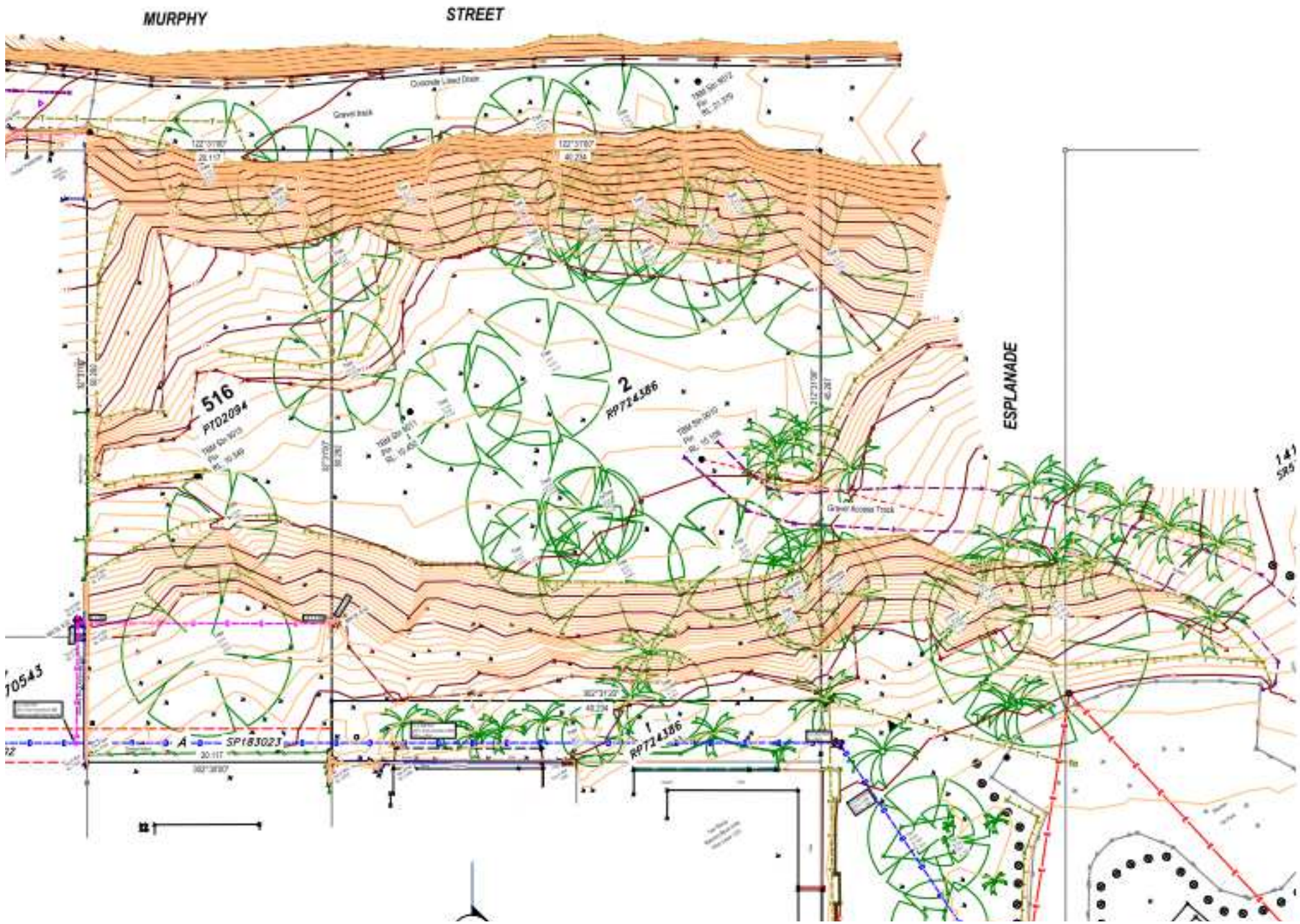


INTERPOLATED SURVEY PREPARED BY ROBERT BASS
DATED 19/01/2020
SURVEY SHOWS ORIGINAL NATURAL GROUND LEVELS
THESE LEVELS FORMED THE BASIS OF THE CURRENT
DEVELOPMENT APPROVAL ON THE SUBJECT SITE.

LANDSURVEY - INTERPOLATED
SCALE: 1:400

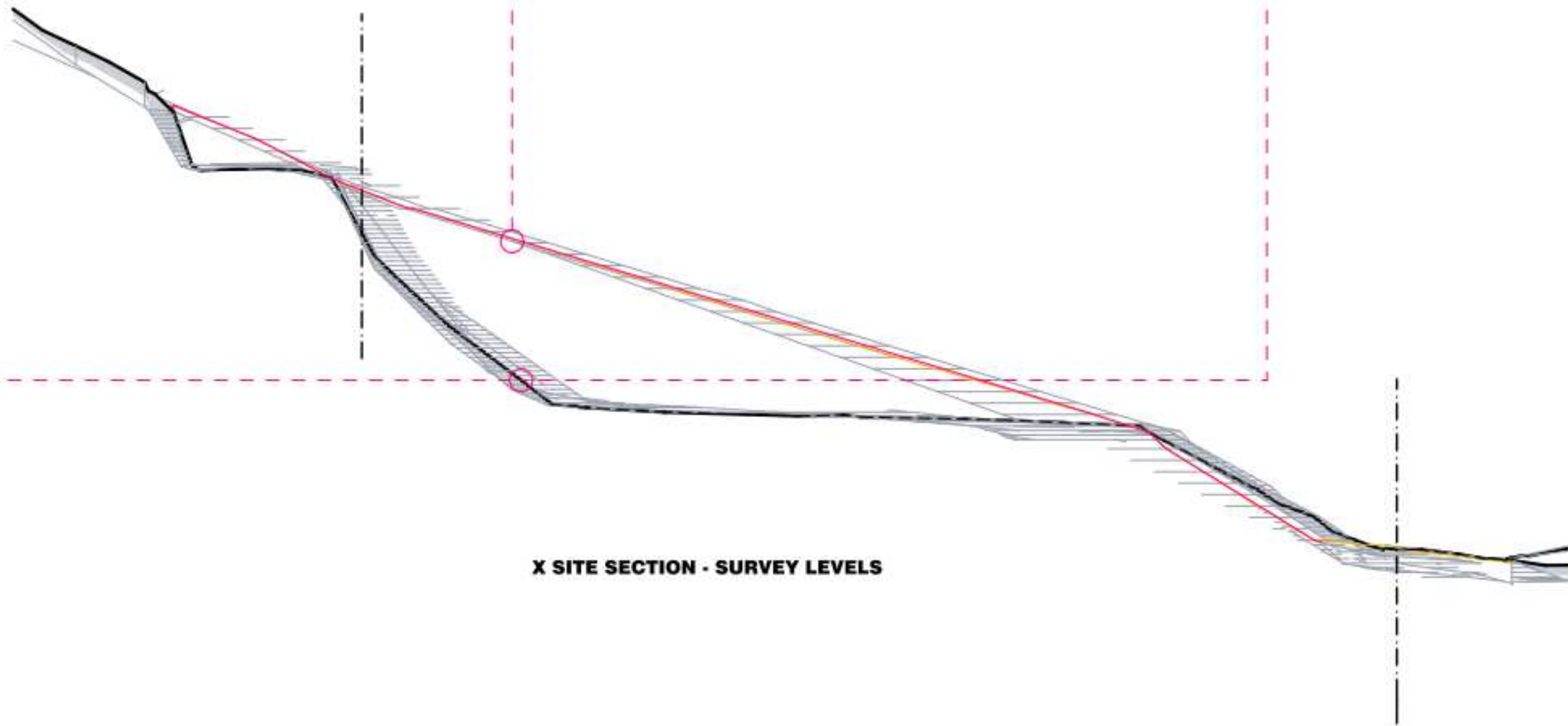


INTERPOLATED SURVEY (YELLOW) & CURRENT SURVEY (GREEN)



CURRENT SURVEY PREPARED BY RBS DATED 30/09/2020
SHOWING EXISTING GROUND LEVELS ON SITE

LANDSURVEY - CURRENT
SCALE: 1:400



X SITE SECTION - SURVEY LEVELS

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Revisions

A 03/09/21 FOR CLIENT COMMENT
B 09/09/21 FOR CONSULTANT COORDINATION
C 15/09/21 FOR INFORMATION
D 22/09/21 DRAFT DA
E 04/10/21 ISSUE FOR DA
F 13/07/22 ISSUE RFI 02

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Structural Engineer
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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

INTERPOLATED SURVEY

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

Scale 1 : 1@ A1
Date 13/07/22
Job No 9663
Drawn -
Checked ND

Drawing No

DA01.007

Revision

F

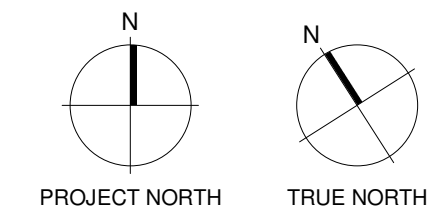
Revisions

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C	15/09/21	FOR INFORMATION
D	22/09/21	DRAFT DA
E	04/10/21	ISSUE FOR DA
F	10/03/22	ISSUE RFI 01
G	13/07/22	ISSUE RFI 02

Notes



TREES TO BE REMOVED



Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

PROPOSED SITE PLAN

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

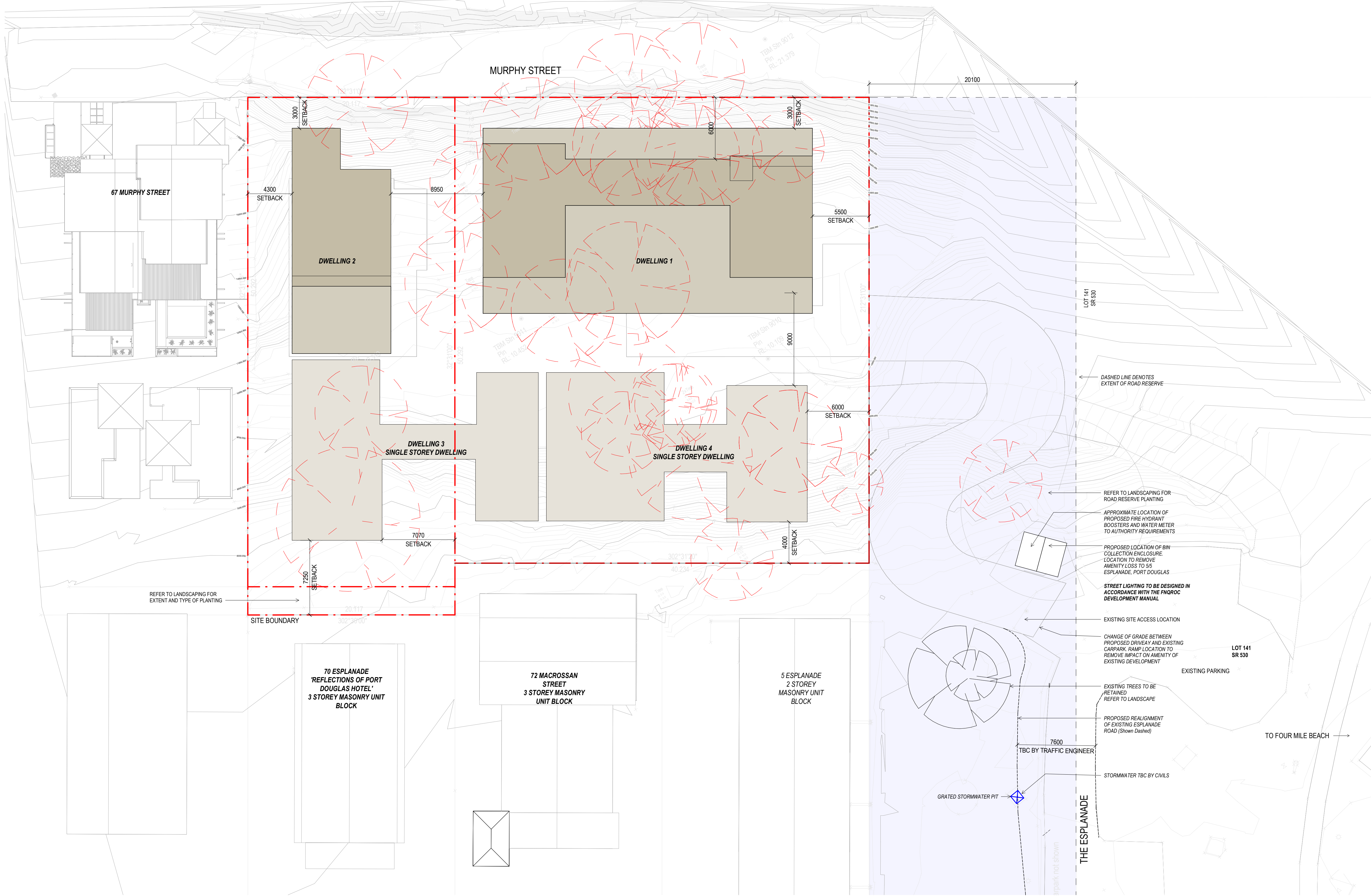
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Job No	9663
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Checked	ND

Drawing No

DA03.001

Revision

G



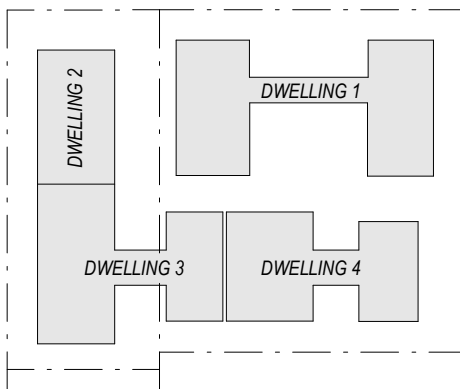
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Revisions

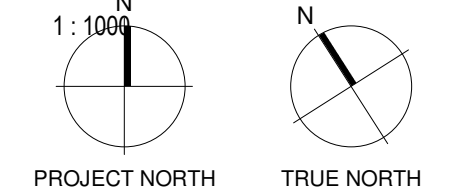
A 18/02/22 FOR INFORMATION
B 10/03/22 ISSUE RFI 01
C 13/07/22 ISSUE RFI 02

Notes

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BAL-1	FRAMELESS GLAZED BALUSTRADE 1200mm
CON-1	IN-SITU CONCRETE
FEN-1	TIMBER FENCING
GLZ-1/PC-3	CLEAR GLAZING / LIGHT GREY OR SIMILAR
PAV-1	TILED PAVING
PAV-2	COBBLED STONE PAVING OR STAMPED CONCRETE OR SIMILAR
REN-1	TEXTURED RENDER FINISH
ST-1	STACKED STONE WALL
TC-1	TIMBER CLADDING OR FC SHEET, OR SIMILAR



DA - SITE LEGEND



Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

**69-73 MURPHY
STREET**
PORT DOUGLAS

Drawing Title

SITE ACCESS PLAN

Drawing Status

**DEVELOPMENT
APPLICATION**

Drawing Details

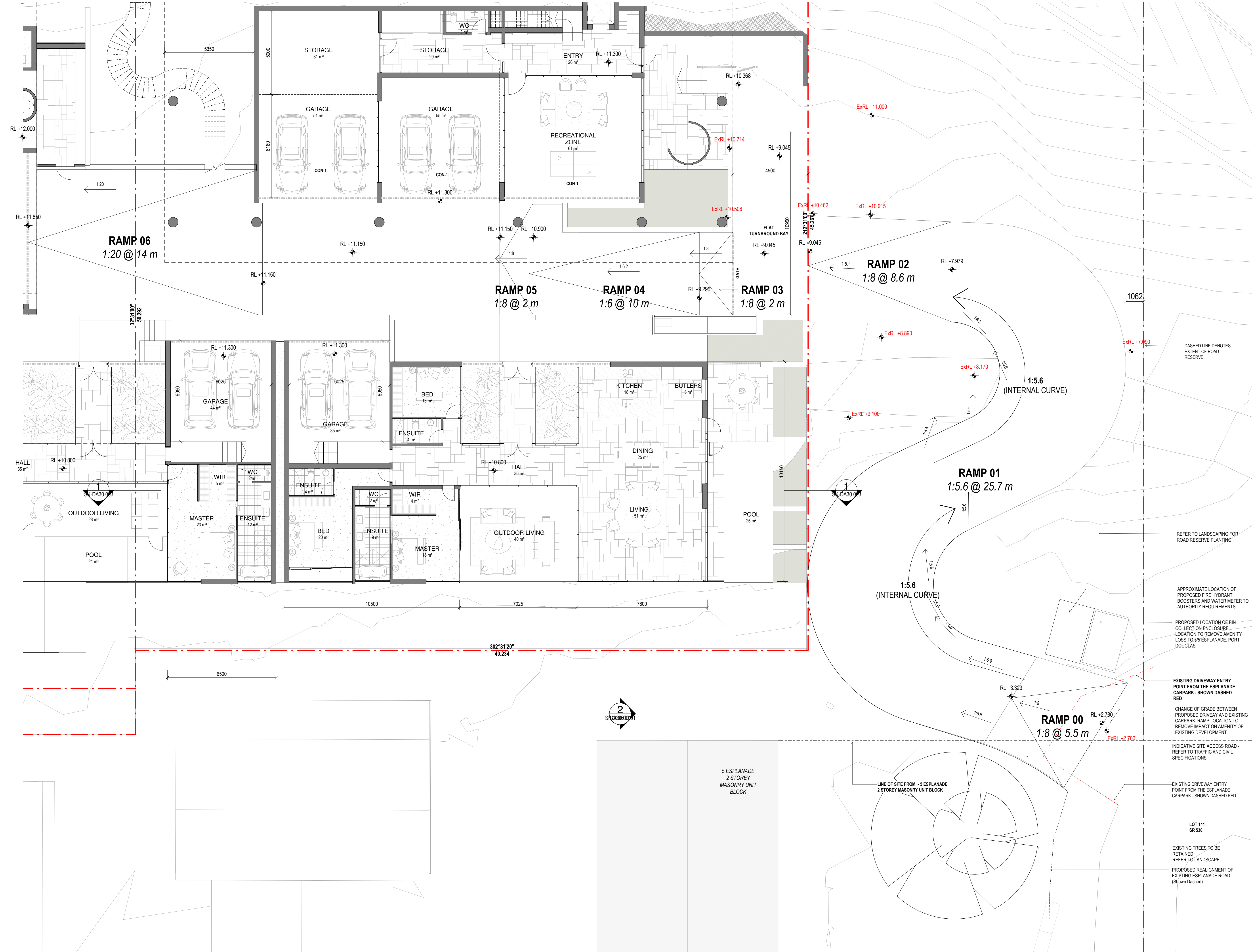
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Date 13/07/22
Job No 9663
Drawn Author
Checked Checker

Drawing No

DA03.002

Revision

C

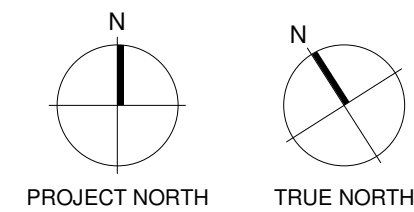
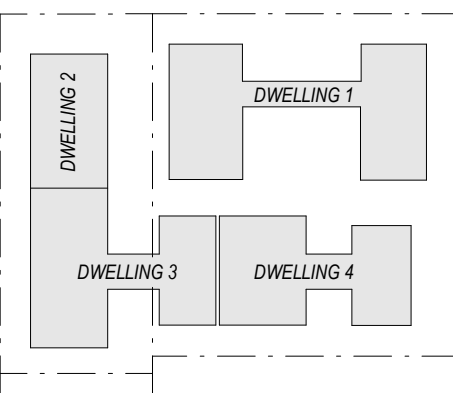


Revisions

C 15/09/21	FOR INFORMATION
D 17/09/21	FOR INFORMATION
E 21/09/21	FOR COORDINATION
F 22/09/21	DRAFT DA
G 04/10/21	ISSUE FOR DA
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Notes

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Fire Engineer

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Client

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Project Title

**69-73 MURPHY
STREET**
PORT DOUGLAS

Drawing Title

**GROUND FLOOR
PLAN**

Drawing Status

**DEVELOPMENT
APPLICATION**

Drawing Details

Scale	As indicated@ A1
Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

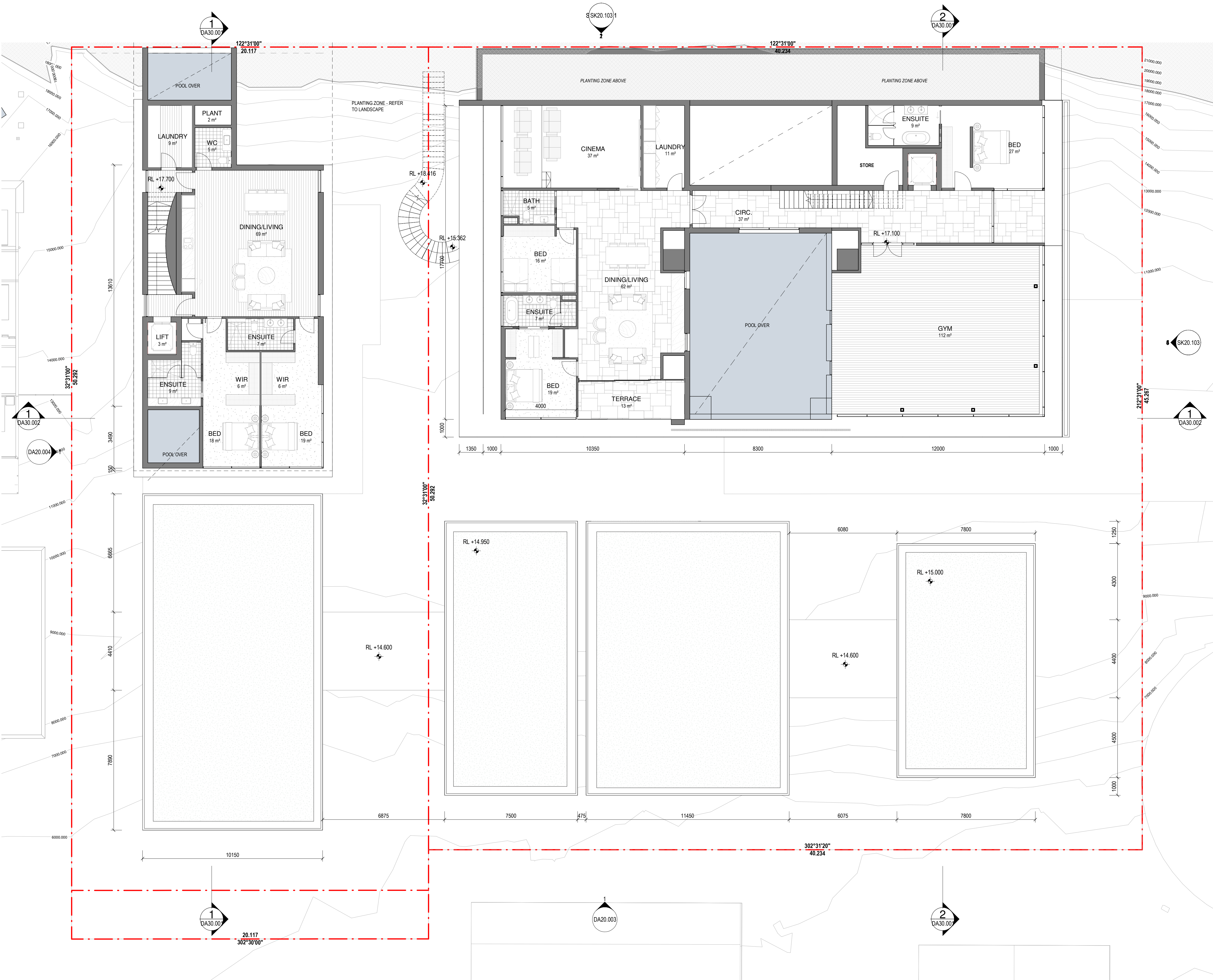
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DA010.01

Revision

(K)





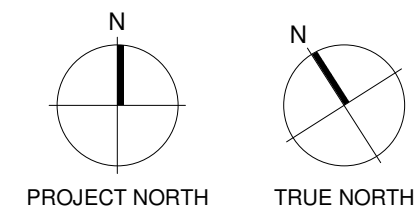
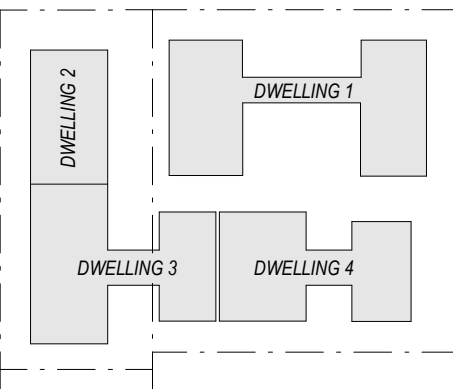
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Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

Drawing Title

L01 FLOOR PLAN

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

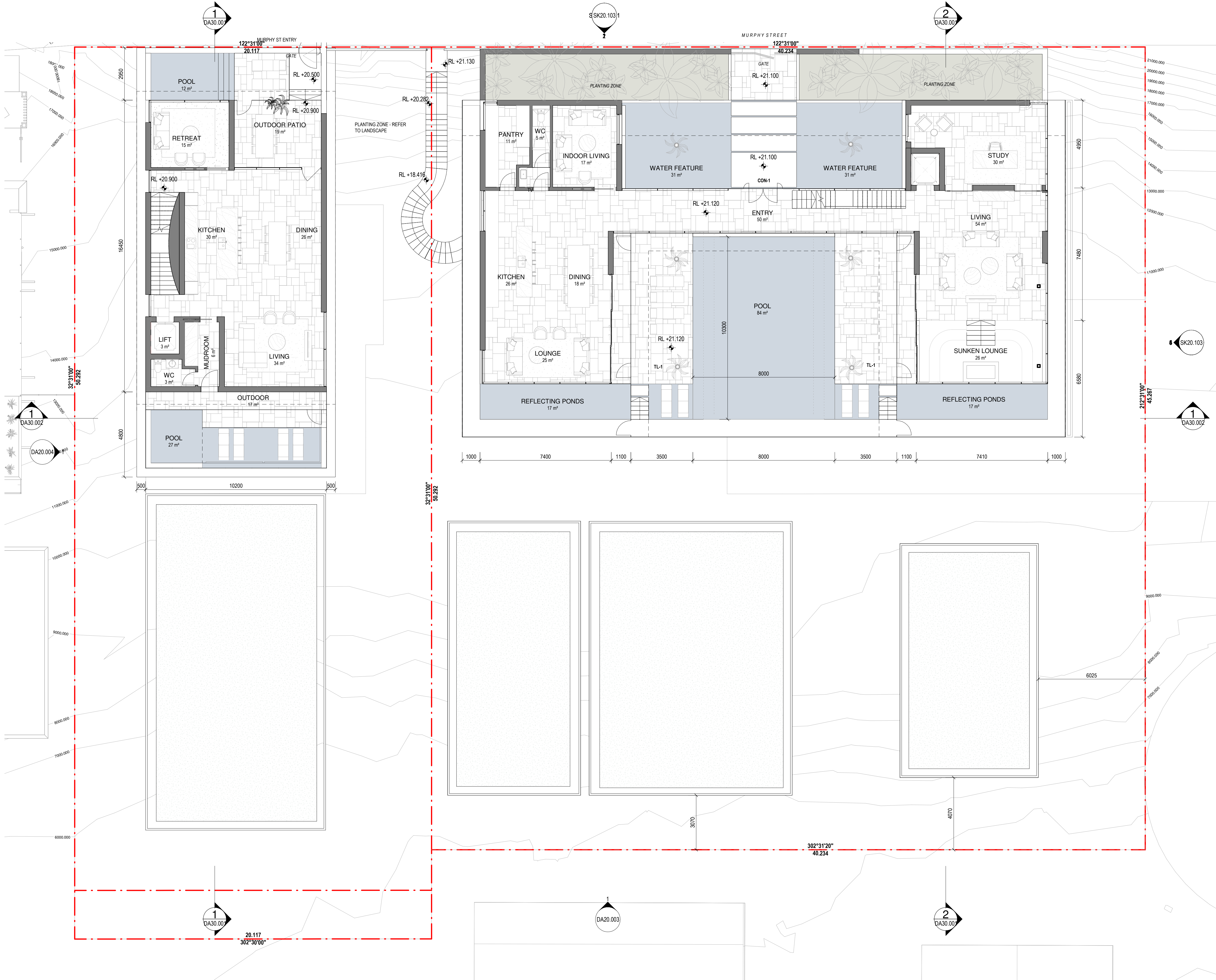
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Checked	ND

Drawing No

DA010.02

Revision

(K)



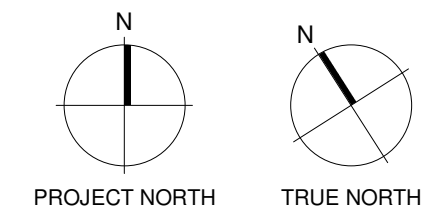
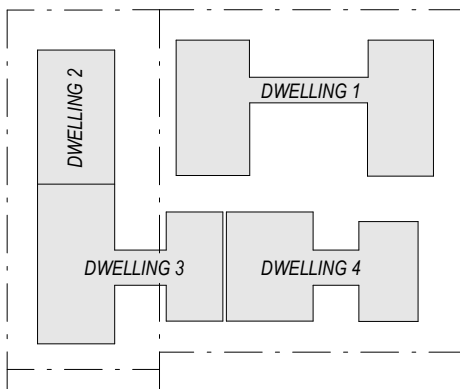
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Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

L02 FLOOR PLAN

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

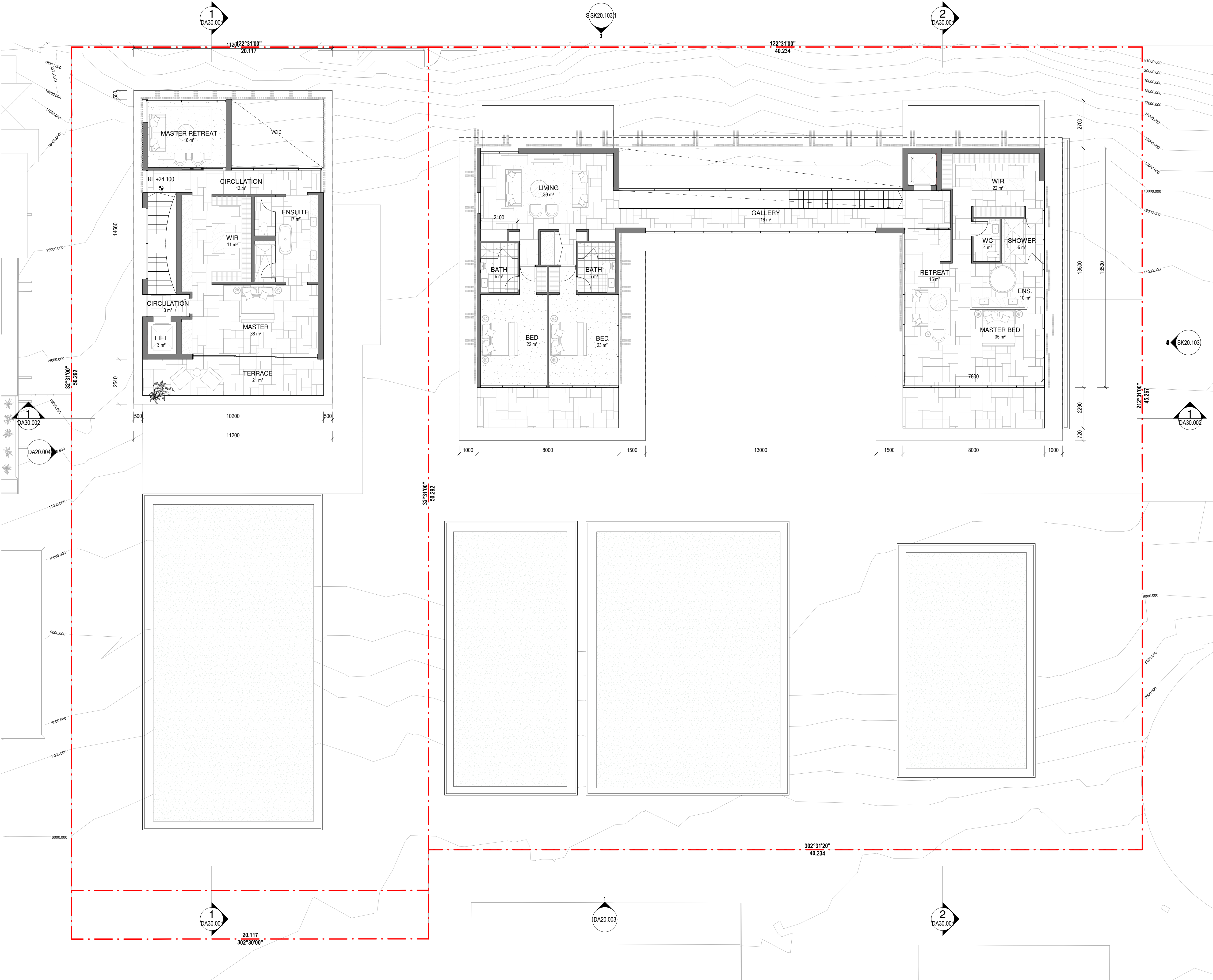
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Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

Drawing No

DA010.03

Revision

(K)



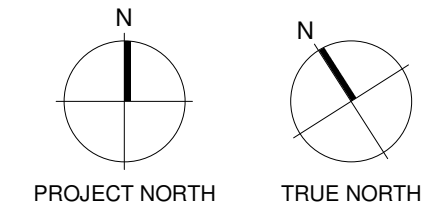
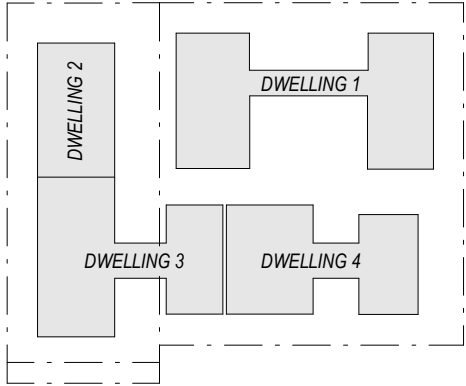
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Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

**69-73 MURPHY
STREET**
PORT DOUGLAS

Drawing Title

L03 FLOOR PLAN

Drawing Status

**DEVELOPMENT
APPLICATION**

Drawing Details

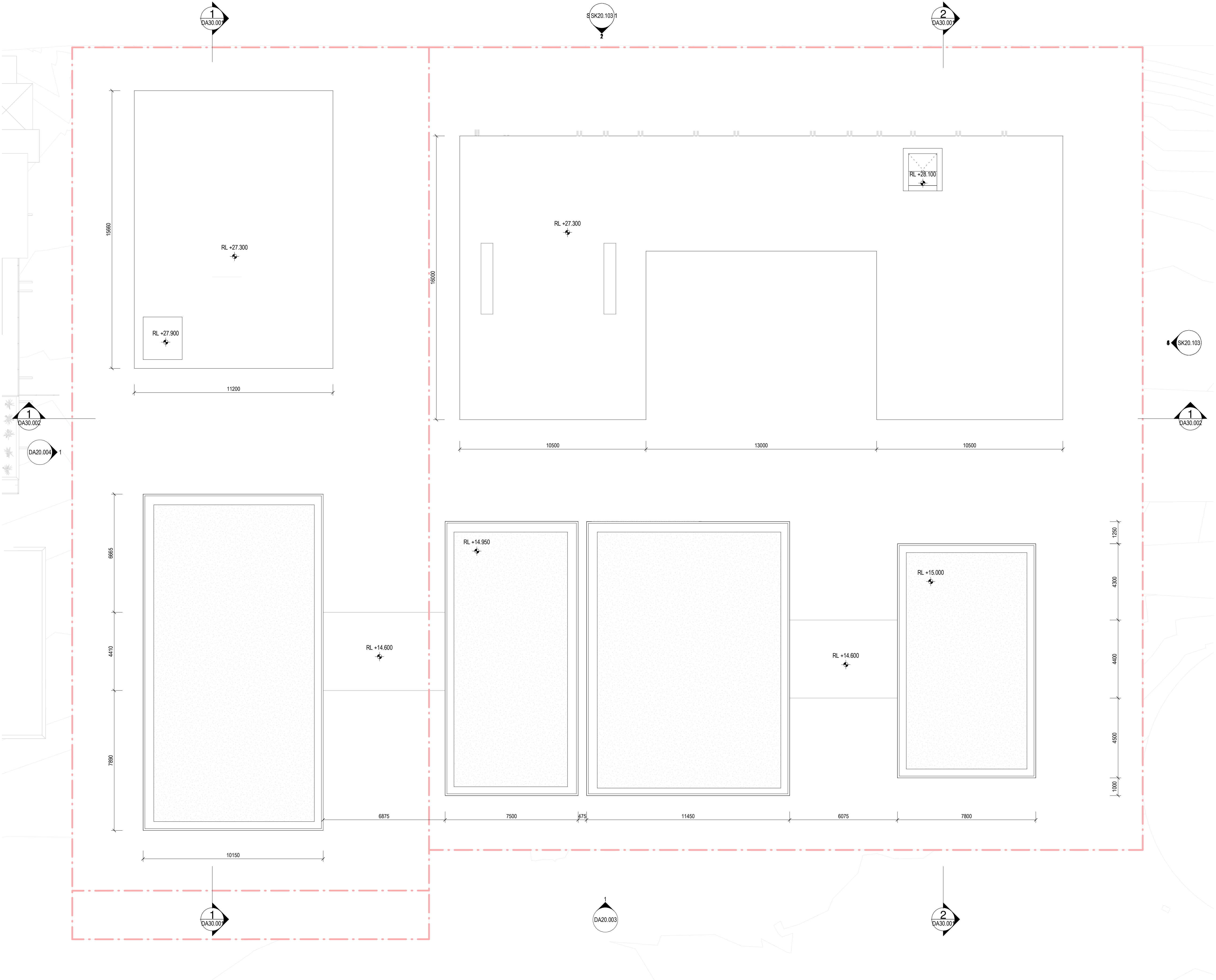
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Job No	9663
Drawn	SG
Checked	ND

Drawing No

DA010.04

Revision

(K)



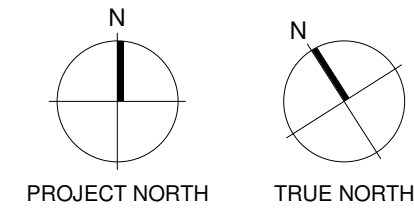
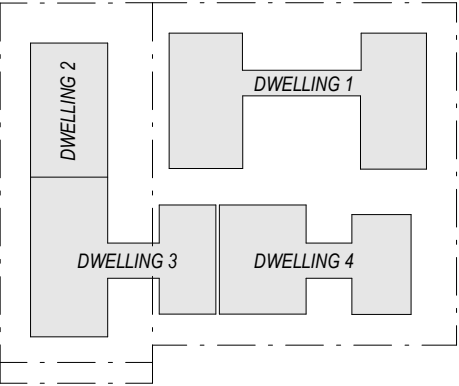
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Revisions

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Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

**69-73 MURPHY
STREET**
PORT DOUGLAS

Drawing Title

ROOF PLAN

Drawing Status

**DEVELOPMENT
APPLICATION**

Drawing Details

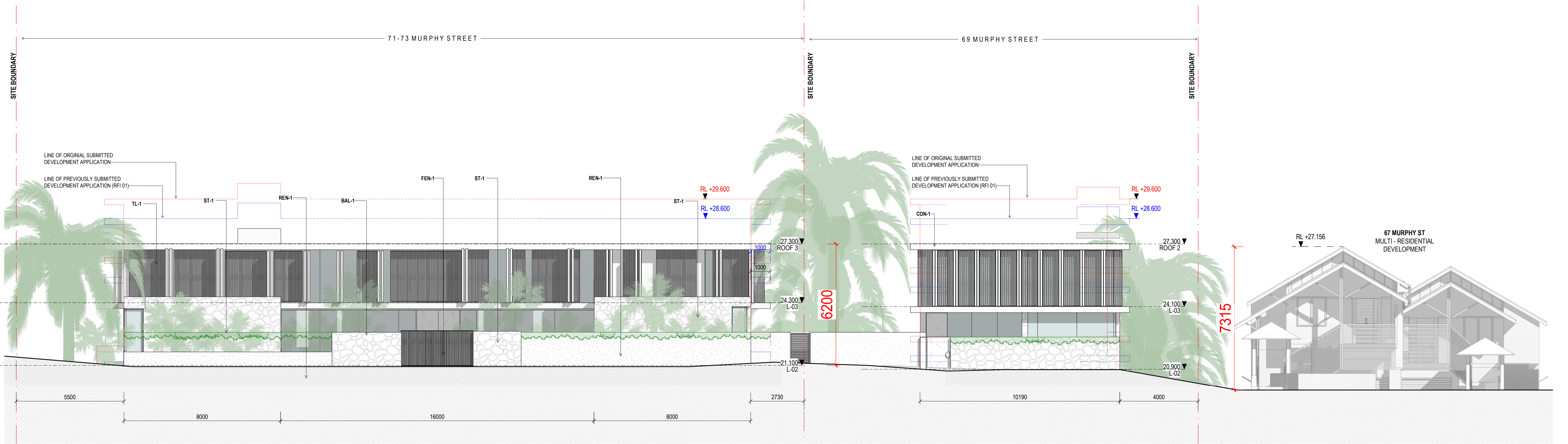
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Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

Drawing No

DA010.05

Revision

J



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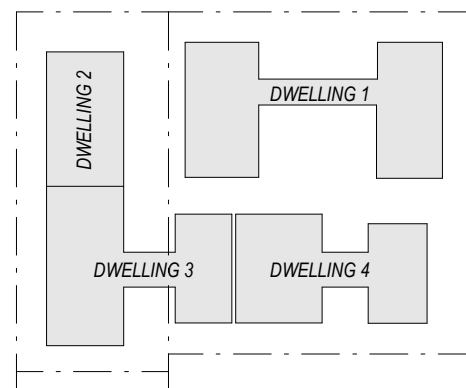
Revisions

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B 15/09/21	FOR INFORMATION
C 17/09/21	FOR INFORMATION
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Notes

ExRL +00.000	EXISTING RL - REFER TO SURVEY
RL +00.000	PROPOSED LEVEL
	INDICATIVE SITE FILL



Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

NORTH ELEVATION

Drawing Status

**DEVELOPMENT
APPLICATION**

Drawing Details

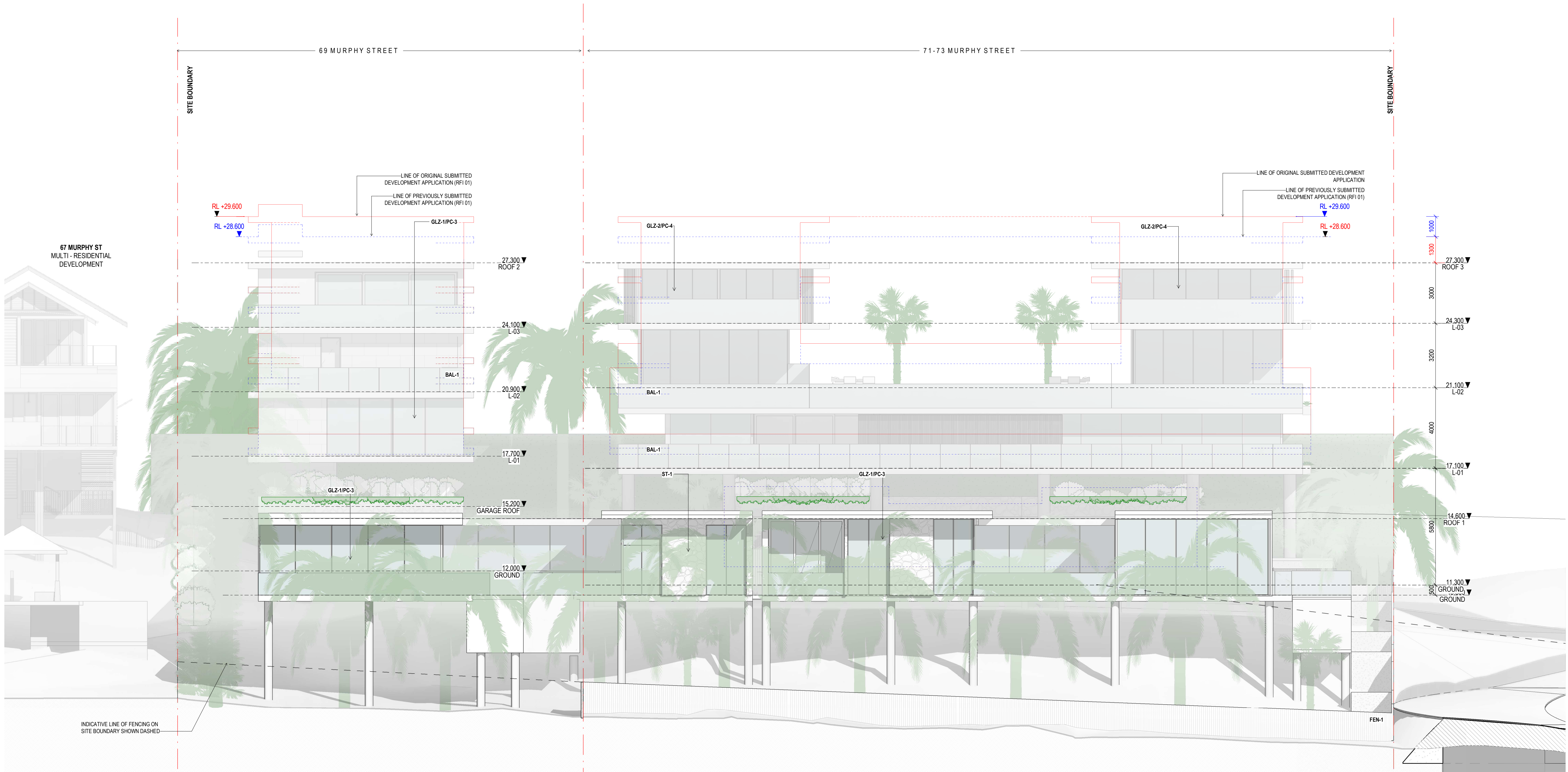
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Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

Drawing No

DA20.001

Revision

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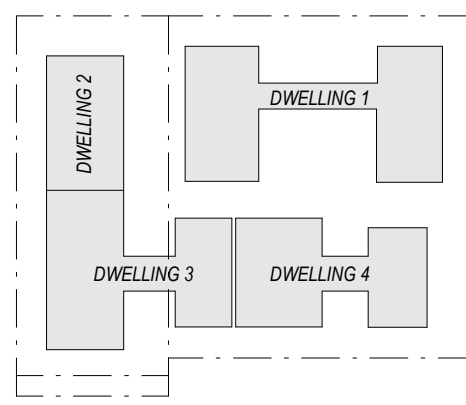
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Revisions

A 03/09/21	FOR CLIENT COMMENT
B 15/09/21	FOR INFORMATION
C 17/09/21	FOR INFORMATION
D 22/09/21	DRAFT DA
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Notes



Consultants

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Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

SOUTH ELEVATION

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

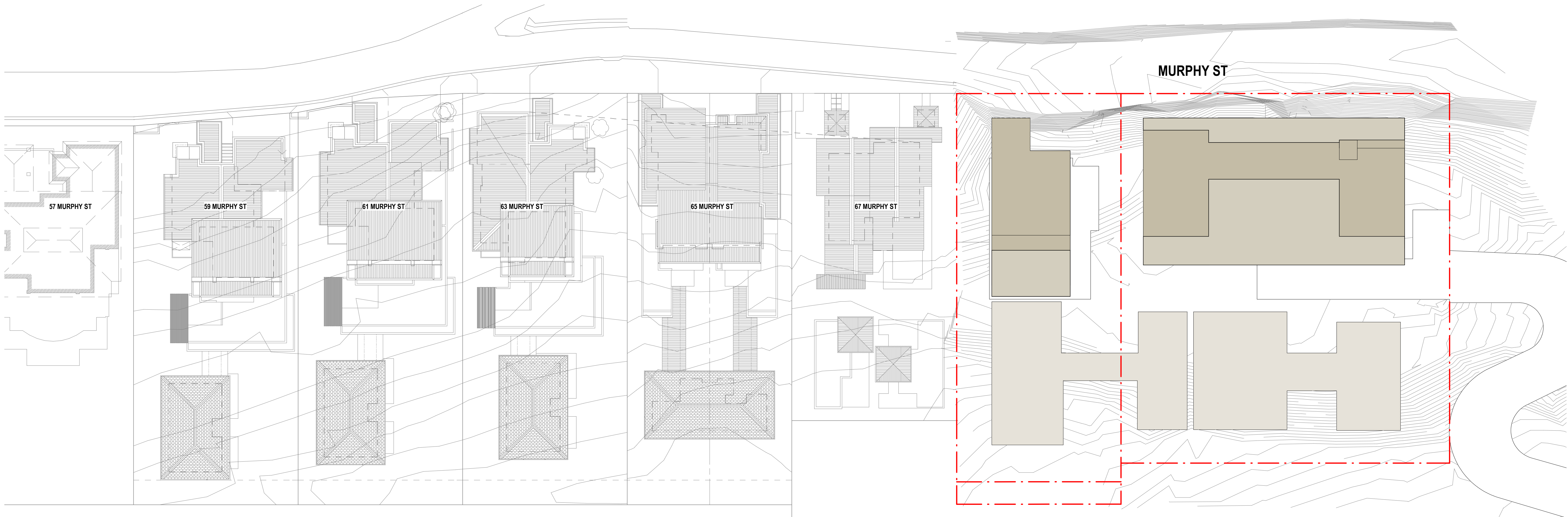
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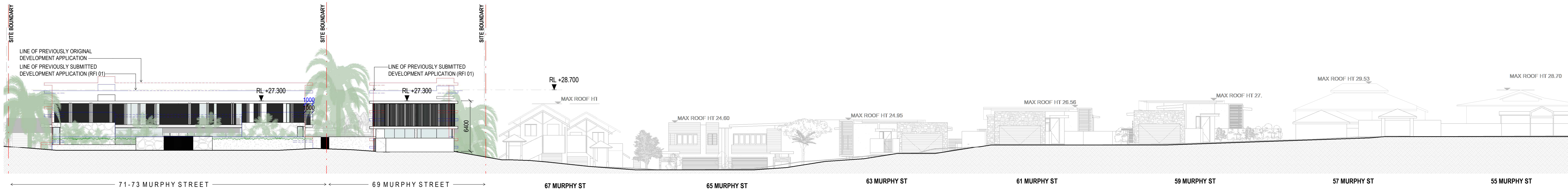
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Revision

(H)



2 SITE CONTEXT - MURPHY ST PLAN
1 : 250



1 SITE CONTEXT - MURPHY STREET ELEVATION
1 : 250

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Revisions

A 13/07/22 ISSUE RFI 02

Notes

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Mechanical Engineer
Fire Engineer
Electrical Engineer

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69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

MURPHY STREET
ELEVATION

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

Scale 1 : 250@ A1
Date 13/07/22
Job No 9663
Drawn Author
Checked Checker

Drawing No

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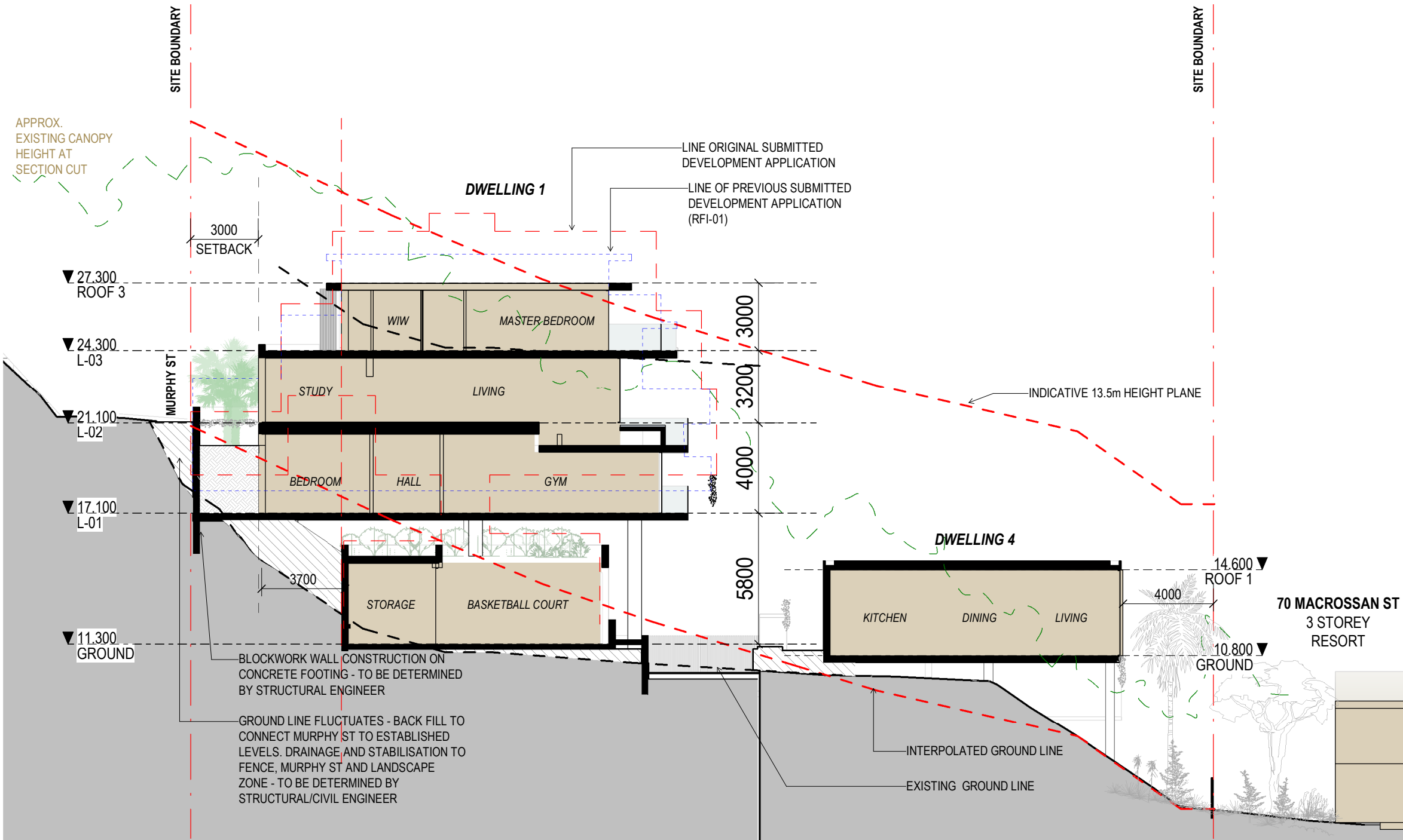
Revision

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SECTION 1

1 : 200



SECTION 2

1 : 200

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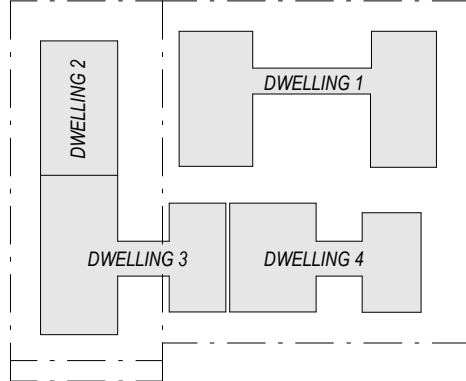
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Notes

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Consultants

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Fire Engineer
Electrical Engineer

Client

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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TYPICAL SECTIONS

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

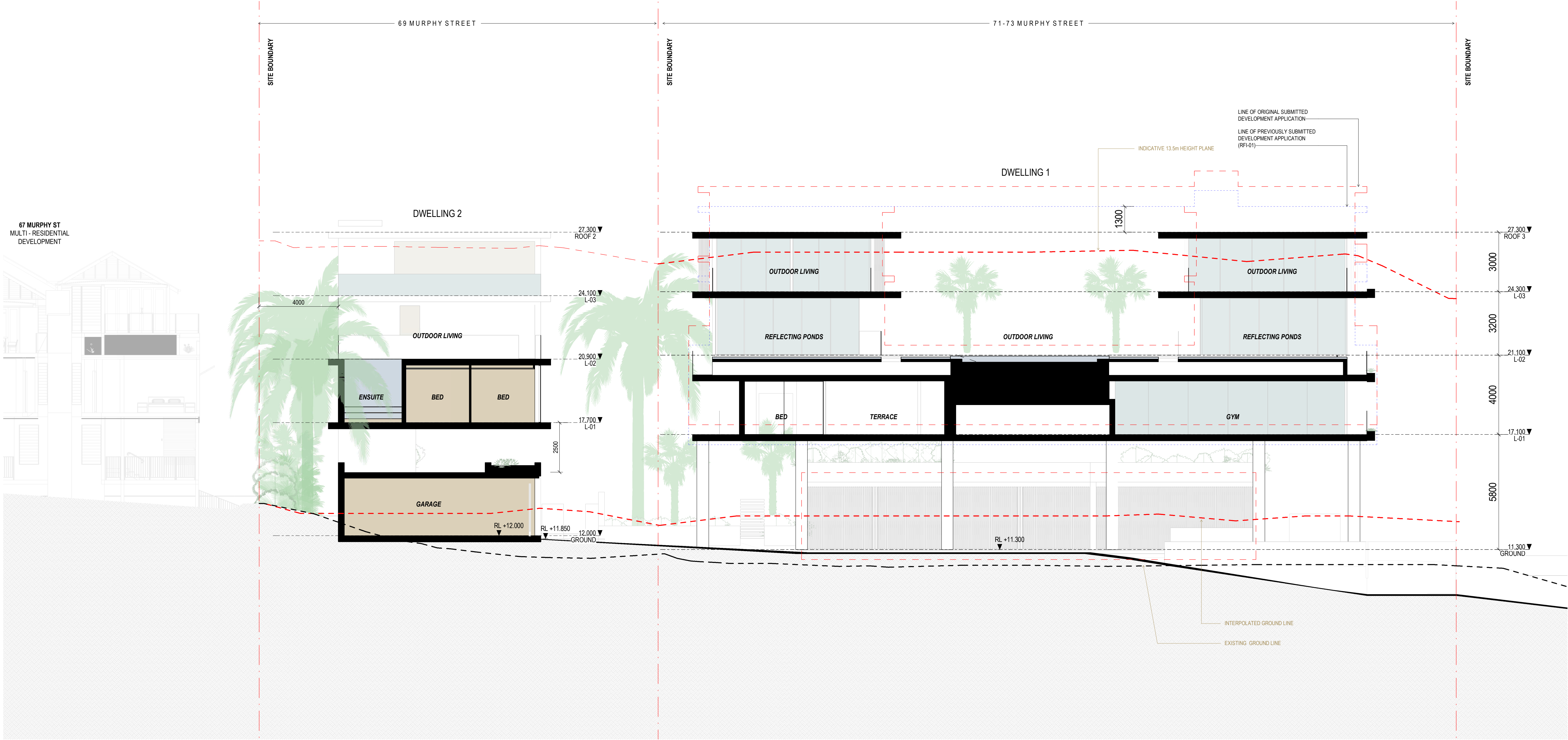
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Revision

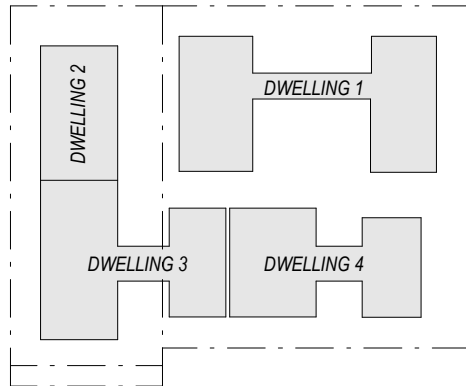
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Consultants
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Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client
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Project Title
69-73 MURPHY STREET
PORT DOUGLAS

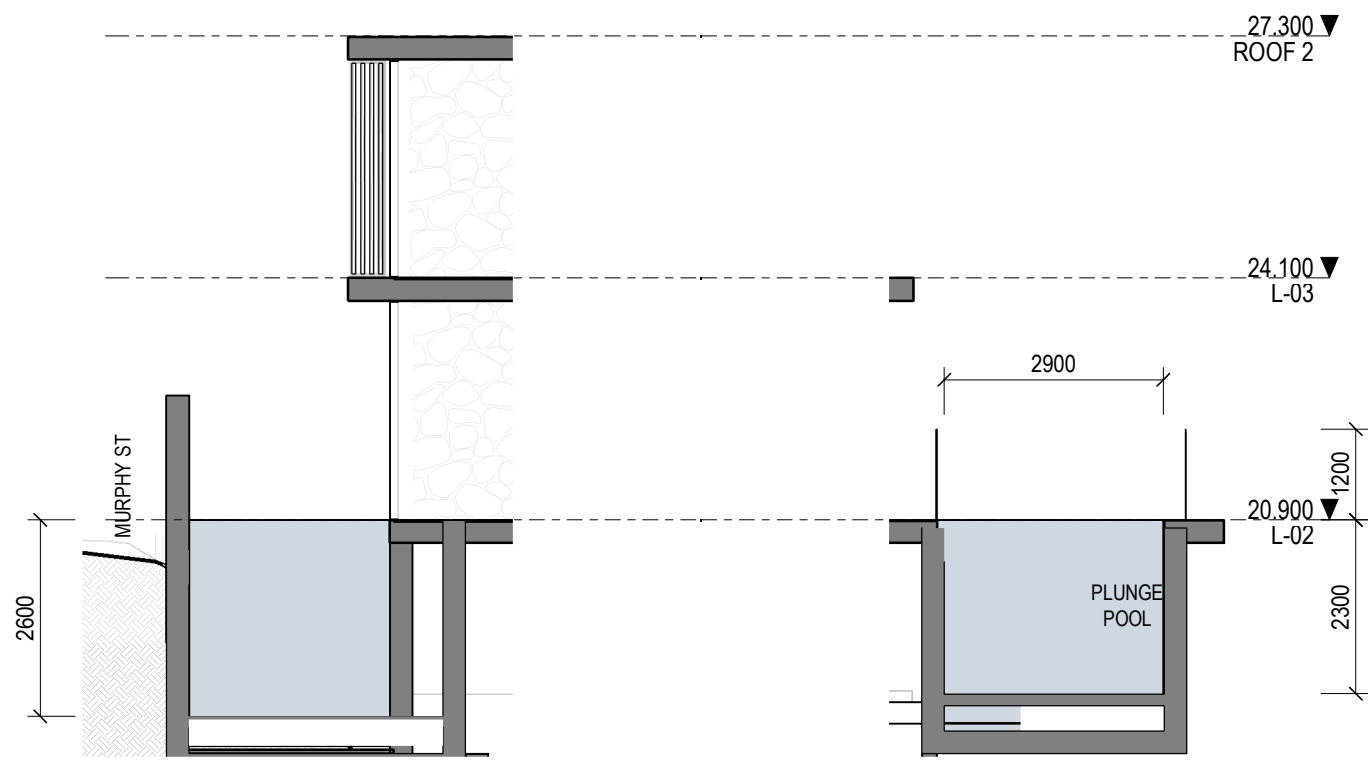
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Drawing Title
TYPICAL SECTIONS

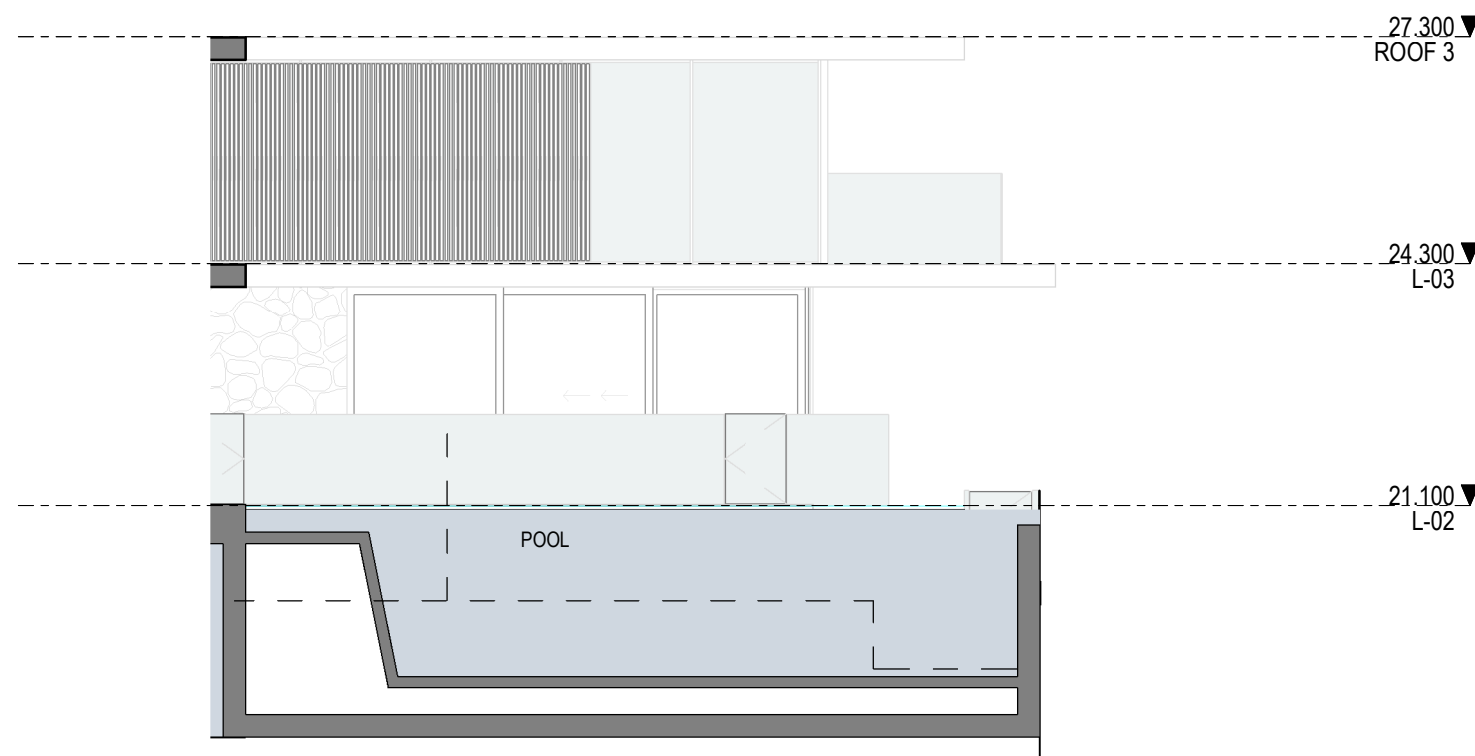
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Drawn	SG
Checked	ND

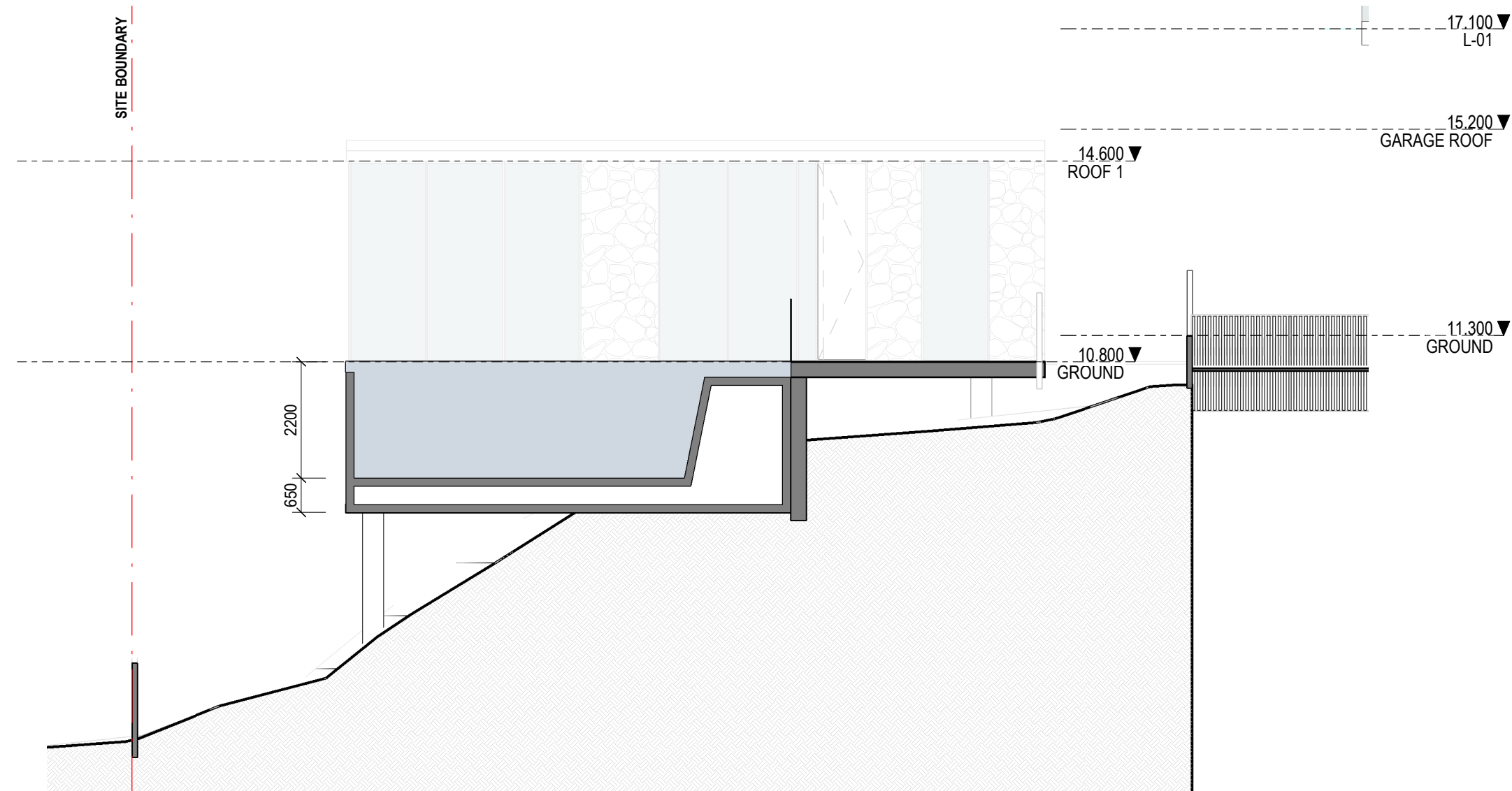
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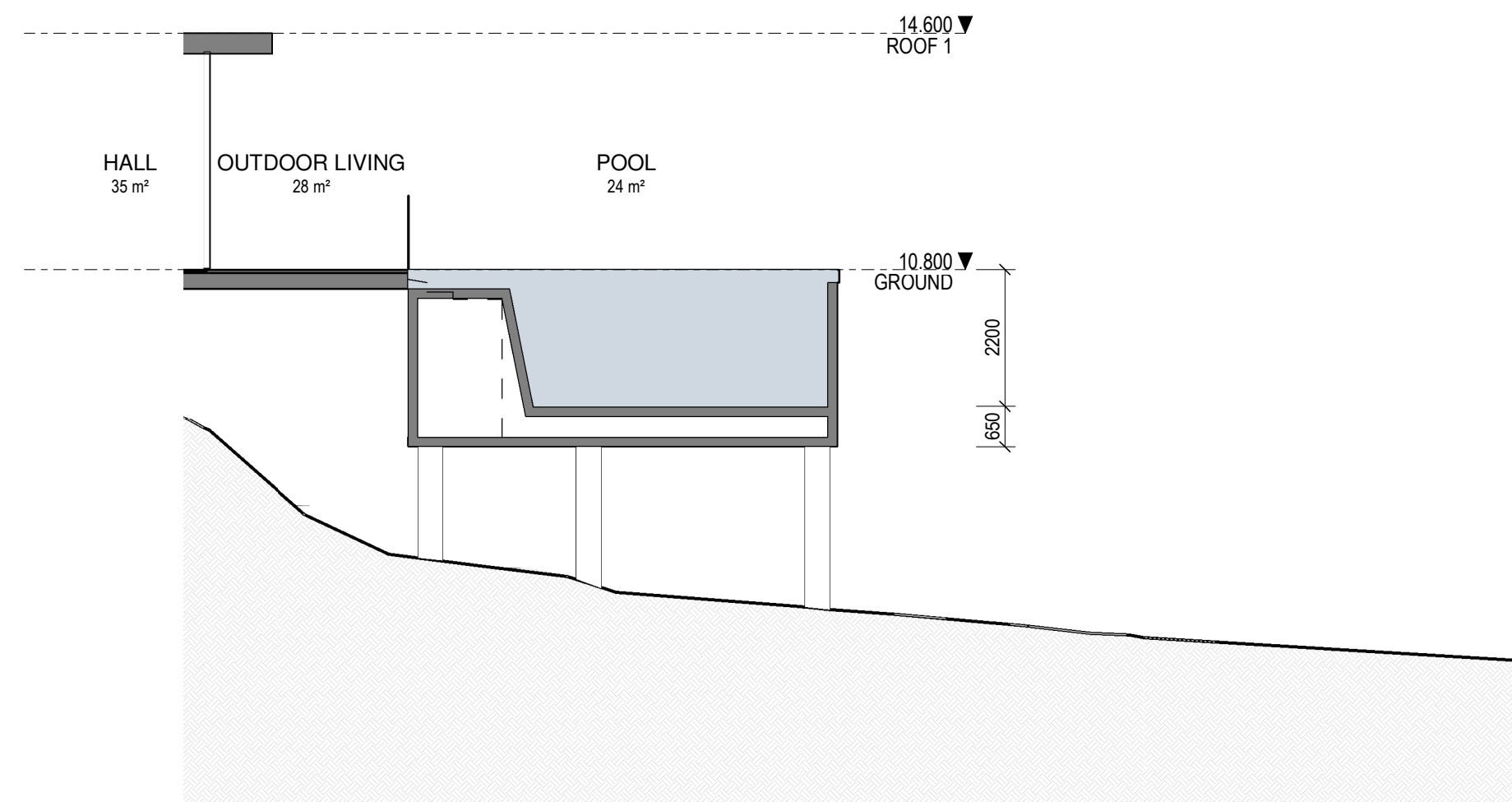
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1:100



1 DWELLING 1 - POOL SECTION
1:100



4 DWELLING 4 - POOL SECTION
1:100



3 DWELLING 3 - POOL SECTION
1:100

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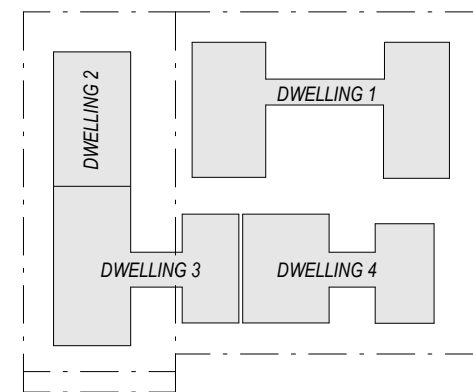
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Notes

ExRL +00.000
RL +00.000
INDICATIVE SITE FILL

EXISTING RL - REFER TO SURVEY
PROPOSED LEVEL
INDICATIVE SITE FILL



Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

GURNER TM
GURNER™

Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

POOL SECTIONS

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

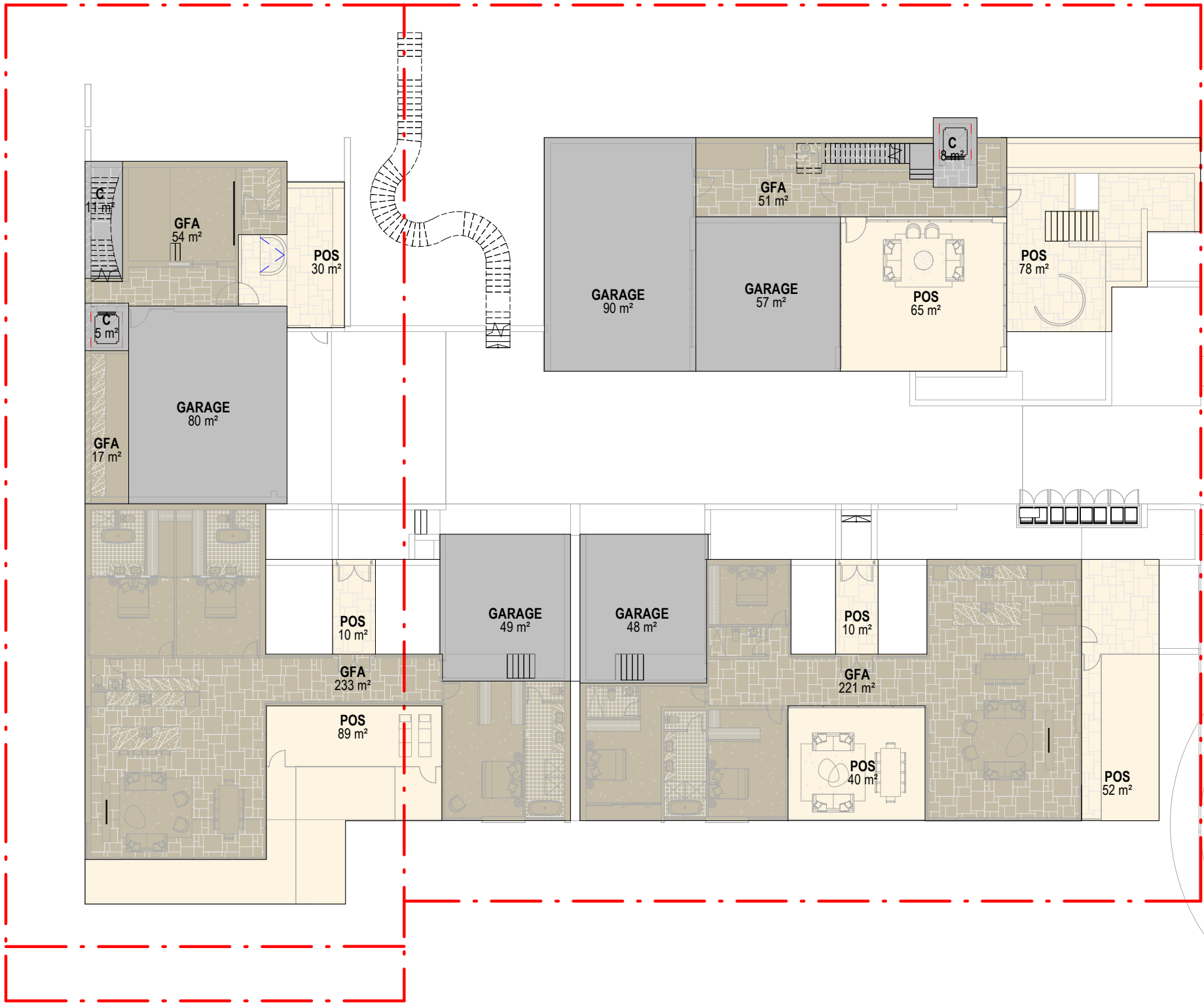
Scale As indicated@ A1
Date 13/07/22
Job No 9663
Drawn SG
Checked BG

Drawing No

DA30.003

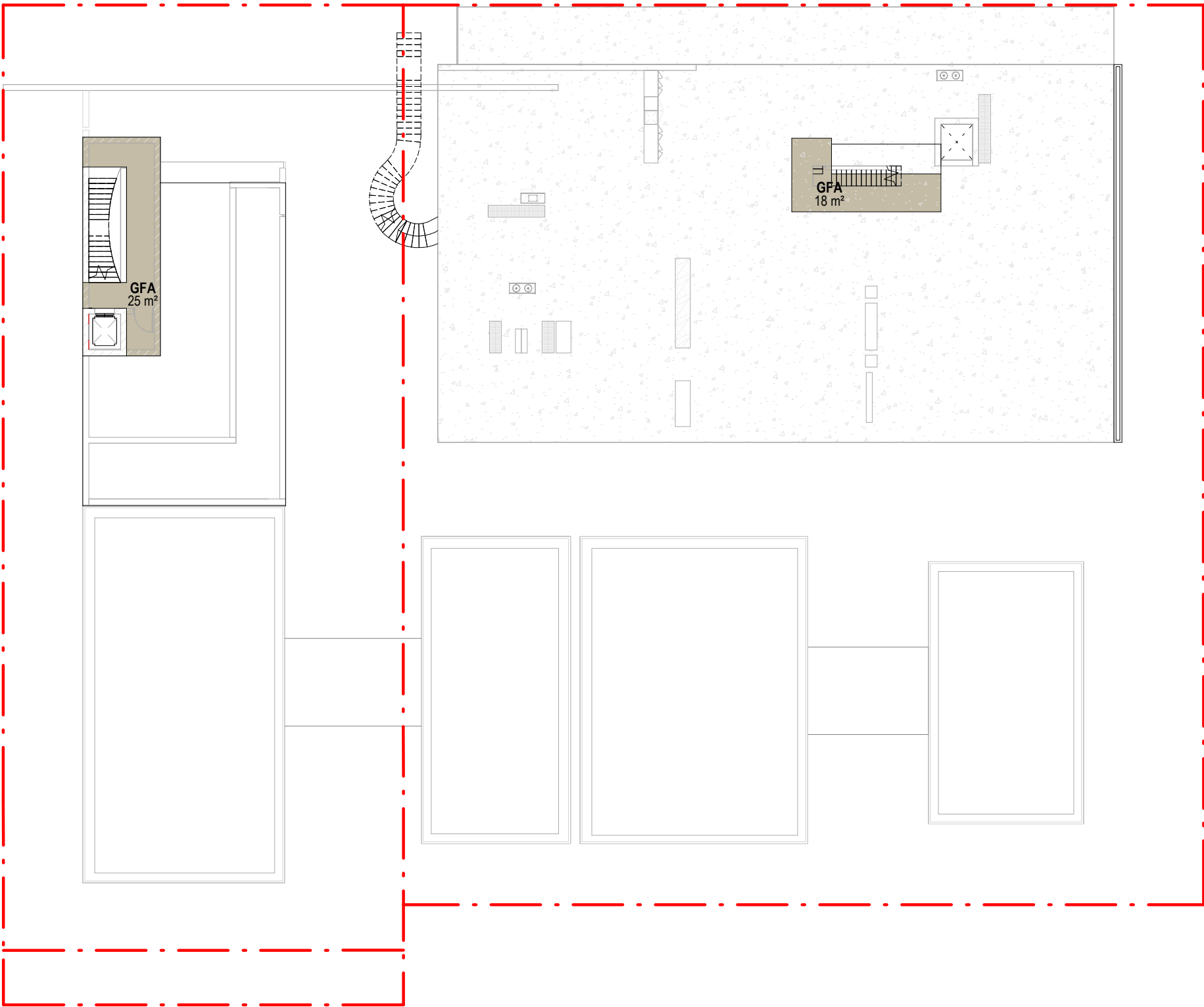
Revision

B



GROUND - GFA

1 : 250

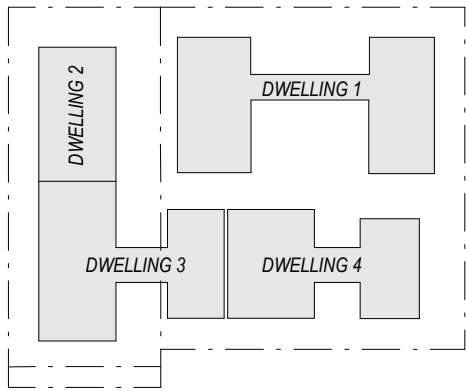


GARAGE ROOF - GFA

1 : 250

GURNER Scheme

GFA



GROSS FLOOR AREA (PLANNING):

The total floor area of all storeys of a building (measured from the outside of the external walls or the centre of a common wall), other than areas used for the following:
(a) building services, plant and equipment
(b) access between levels
(c) ground floor public lobby
(d) a mall
(e) the parking, loading and manoeuvring of motor vehicles
(f) unenclosed private balconies whether roofed or not.

GFA (PLANNING)

TYPE	AREA
DWELLING 1	
GFA	1015 m²
DWELLING 2	
GFA	506 m²
DWELLING 3	
GFA	233 m²
DWELLING 4	
GFA	221 m²
	1976 m²

POS (PLANNING)

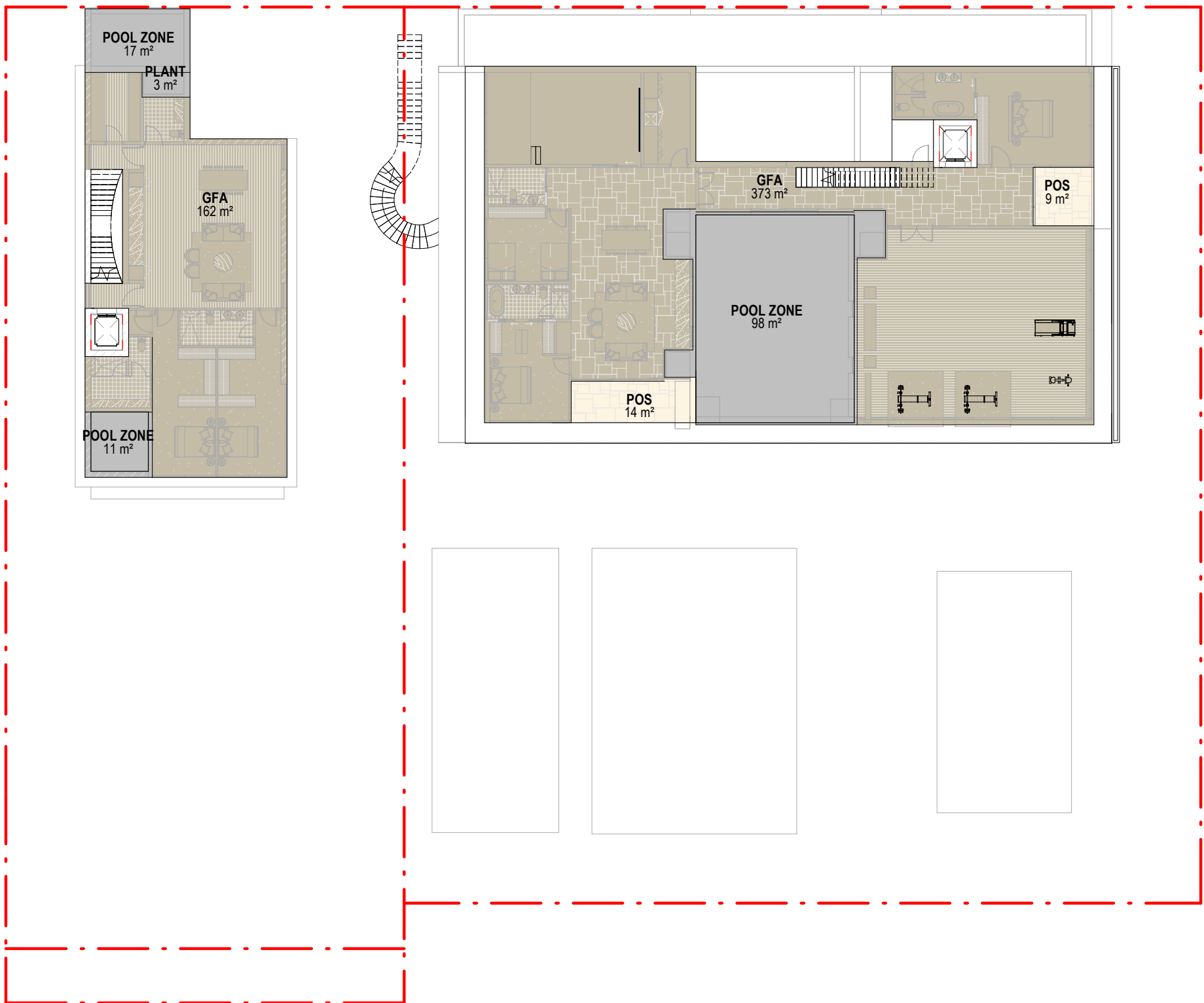
TYPE	AREA
DWELLING 1	
POS	533 m²
DWELLING 2	
POS	182 m²
DWELLING 3	
POS	190 m²
DWELLING 4	
POS	102 m²
	1007 m²

CIRCULATION AND SERVICES ZONES

TYPE	AREA
DWELLING 1	
CARPARK	147 m²
CIRCULATION	14 m²
SERVICES	98 m²
DWELLING 2	
CARPARK	80 m²
CIRCULATION	17 m²
SERVICES	31 m²
DWELLING 3	
CARPARK	49 m²
DWELLING 4	
CARPARK	48 m²

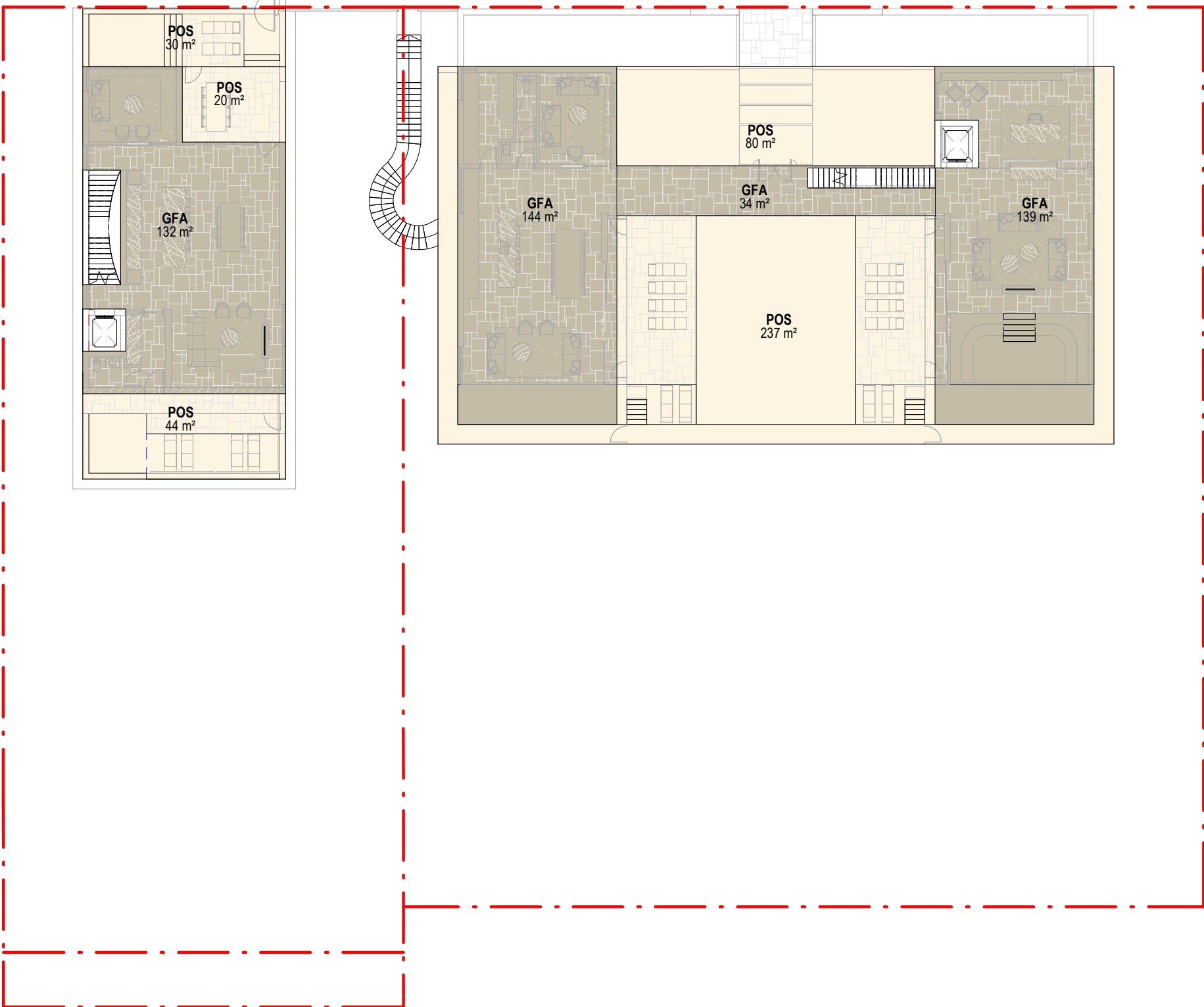
FSR (PLANNING)

GFA	SITE AREA	FSR	FSR
			:1
1976 m²	2832	0.70	:1



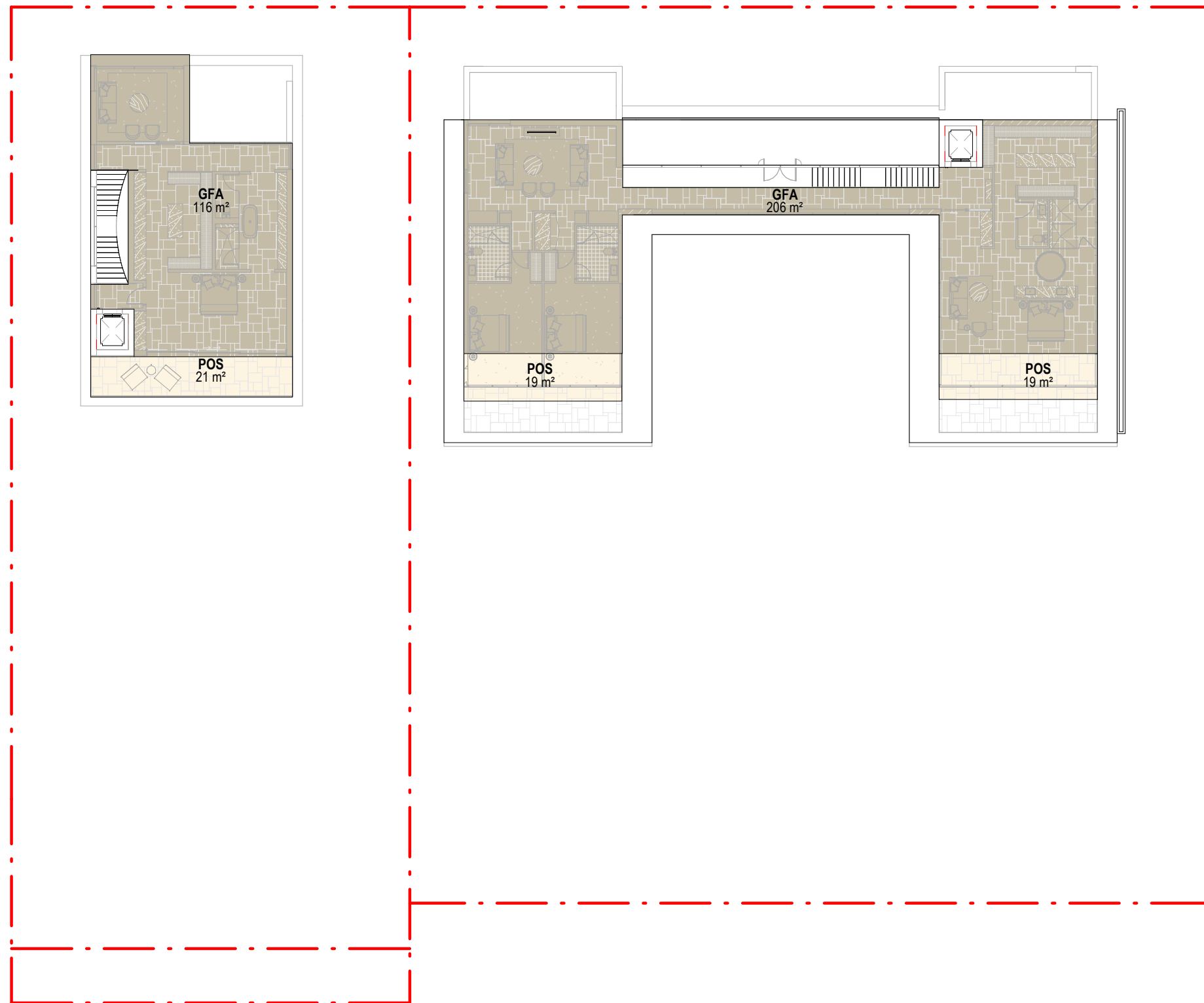
L-01 - GFA

1 : 250



L-02 - GFA

1 : 250



L-03 - GFA

1 : 250

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D 18/02/22	FOR INFORMATION
E 10/03/22	ISSUE RFI 01
F 13/07/22	ISSUE RFI 02

Notes

Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

GURNER TM

GURNER™

Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

DEVELOPMENT
SUMMARY - GFA

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

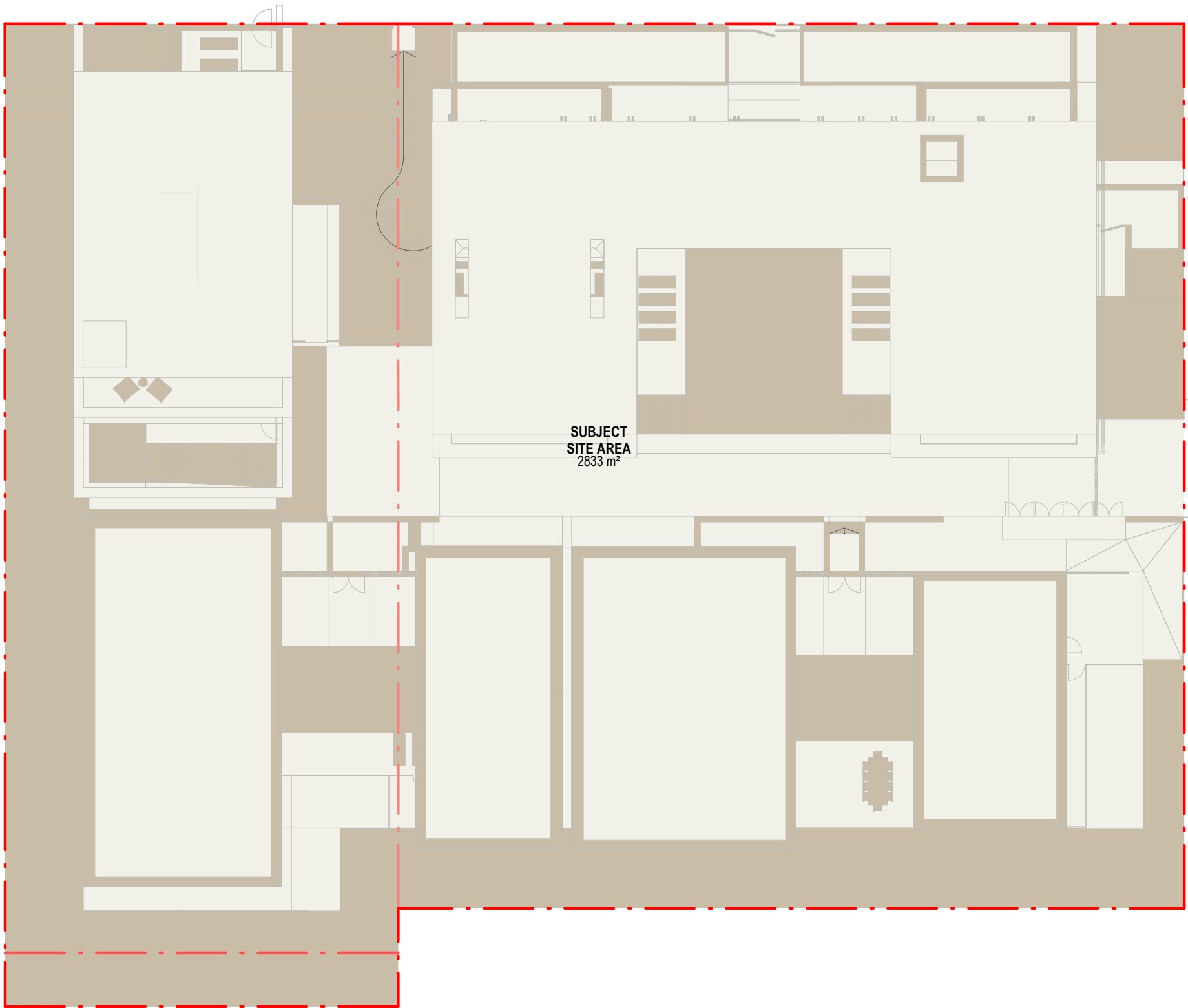
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Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

Drawing No

DA50.001

Revision

F

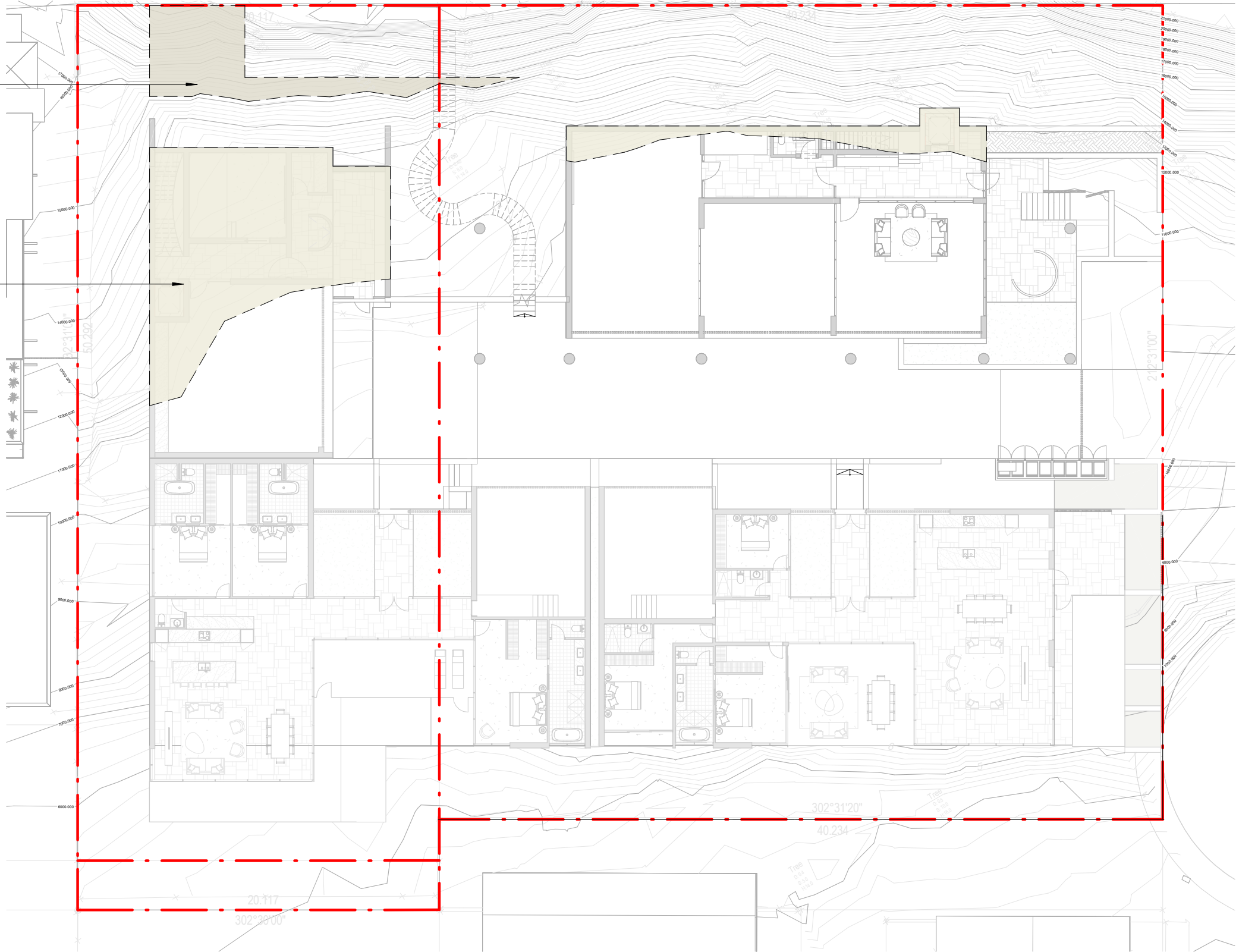


SITE AREA

2833 m²

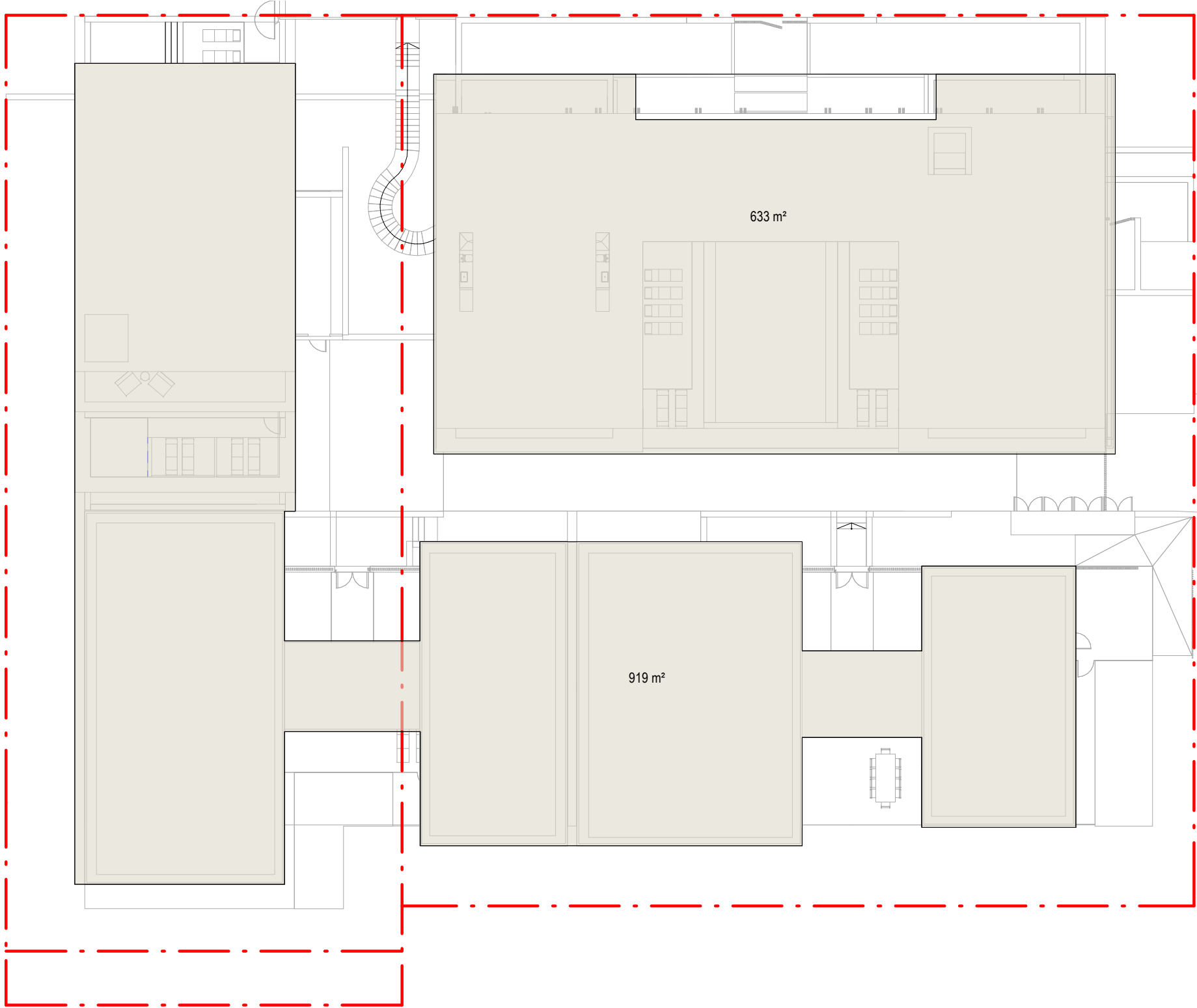
SITE AREA

1 : 250



PROPOSED EXCAVATED AREAS

1 : 250



SITE COVER

1552 m²
(54%)

TOTAL SITE COVER

1 : 250

SITE COVER (PLANNING):

THE PROPORTION OF THE SITE COVERED BY A BUILDING(S), STRUCTURE(S) ATTACHED TO THE BUILDING(S) AND CARPORT(S), CALCULATED TO THE OUTER MOST PROJECTIONS OF THE BUILDING(S) AND EXPRESSED AS A PERCENTAGE.

THE TERM DOES NOT INCLUDE:
(A) ANY STRUCTURE OR PART THEREOF INCLUDED IN A LANDSCAPED OPEN SPACE AREA SUCH AS A GAZEBO OR SHADE STRUCTURE;
(B) BASEMENT CAR PARKING AREAS LOCATED WHOLLY BELOW GROUND LEVEL.

GROUND LEVEL DEFINITION:
THE LEVEL OF THE NATURAL GROUND, OR, WHERE THE LEVEL OF THE NATURAL GROUND HAS BEEN CHANGED, THE LEVEL AS LAWFULLY CHANGED.

LOT 141
SF 430

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69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

DEVELOPMENT SUMMARY - SITE COVER

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

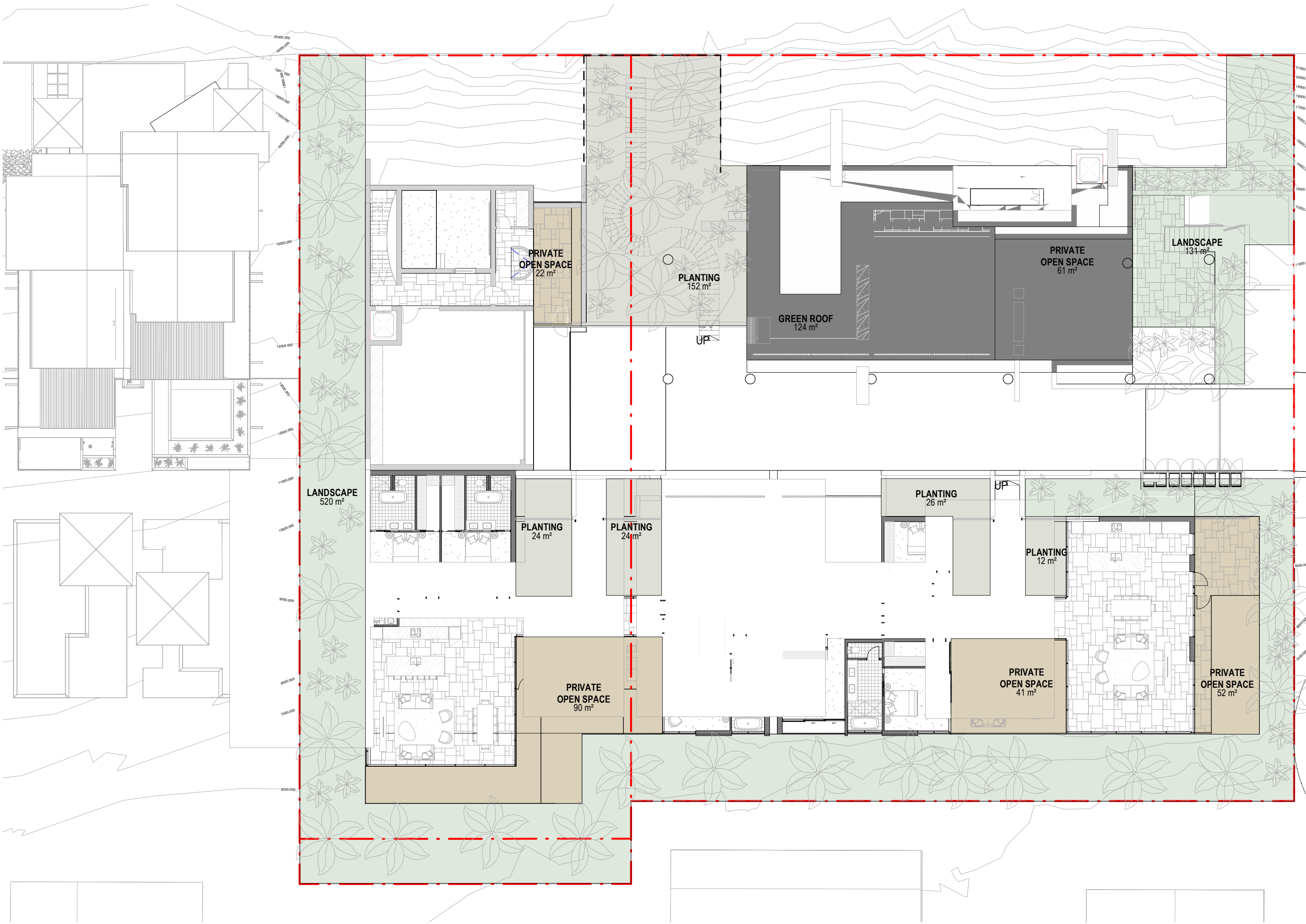
Scale	1 : 250@ A1
Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

Drawing No

DA50.002

Revision

F



GROUND

1 : 200



L-02

1 : 200

LANDSCAPE/OPEN SPACE REQUIREMENTS:

A minimum of 35% of the site is allocated as landscaping and recreation area.

Development provides landscaping as follows:
(a) A dense landscape planting strip of at least 2 metres width suitable for deep planting is provided and maintained along all street frontages;
(b) A dense landscape planting strip of at least 1.5 metres width suitable for deep planting is provided along all side and rear boundaries.

*not including green roof area

Development provides private open space which:
(a) for ground storey dwellings, comprises of a minimum area of 35m2 with a minimum dimension of 3 metres;
(b) for dwellings above ground storey, comprises of a balcony with minimum area of 12m2 and a minimum dimension of 3 metres.

Development provides private open space areas that are:
(a) directly accessible from internal primary living area of the dwelling (not bedrooms);
(b) provided with a screened area of 2m2 minimum dimension capable of screening air conditioning plant, private clothes drying etc...
(c) provided with adjustable, moveable or operable privacy screening where appropriate.

Name	Area
LANDSCAPE	652 m²
PLANTING	343 m²
	994 m²

35% Landscape Coverage*

Name	Area
GREEN ROOF	609 m²
	609 m²

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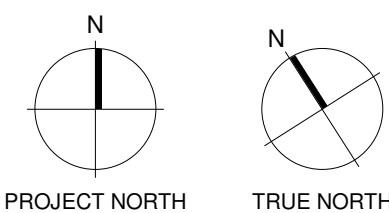
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69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

DEVELOPMENT
SUMMARY -
LANDSCAPE

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

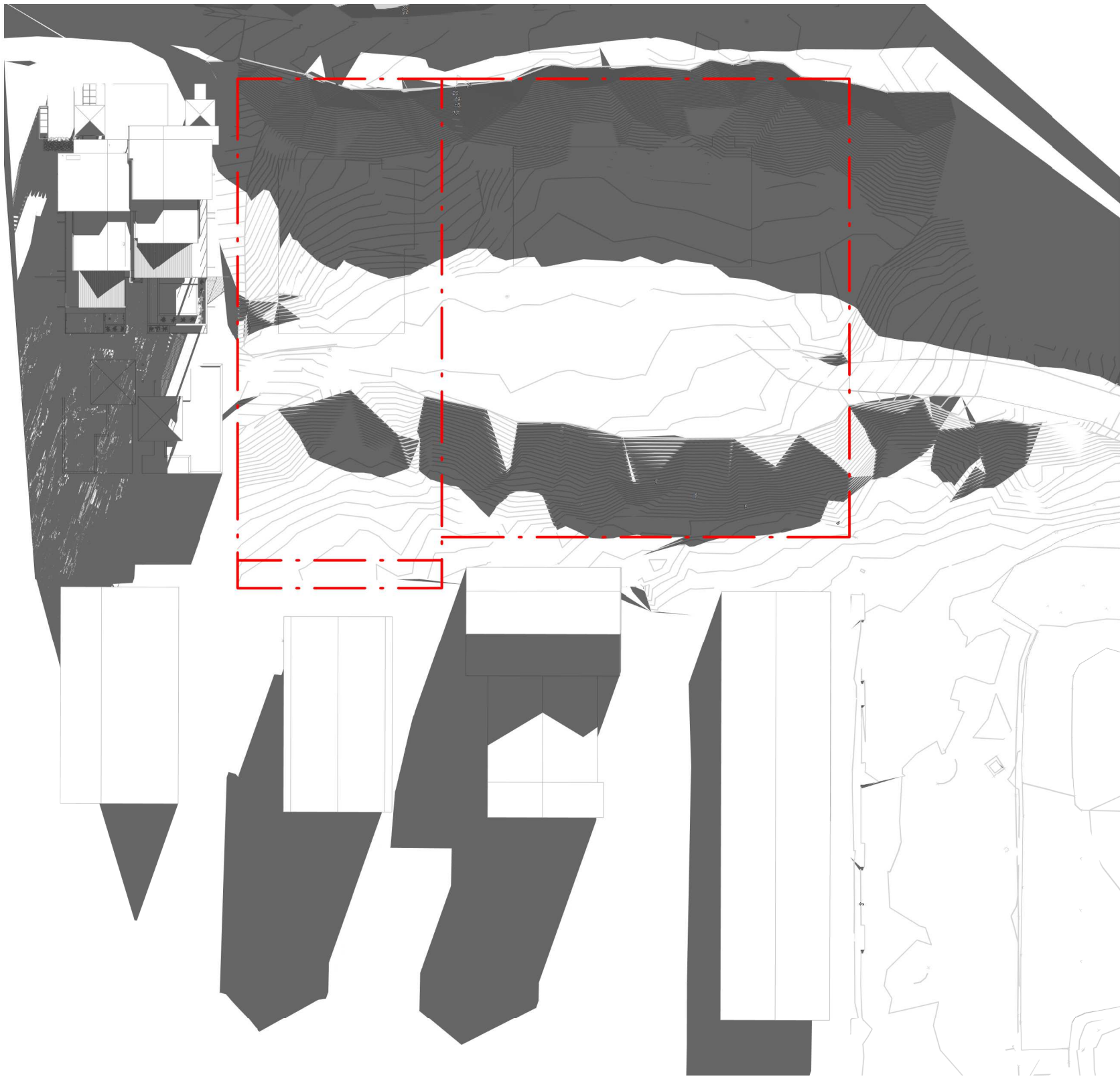
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Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

Drawing No

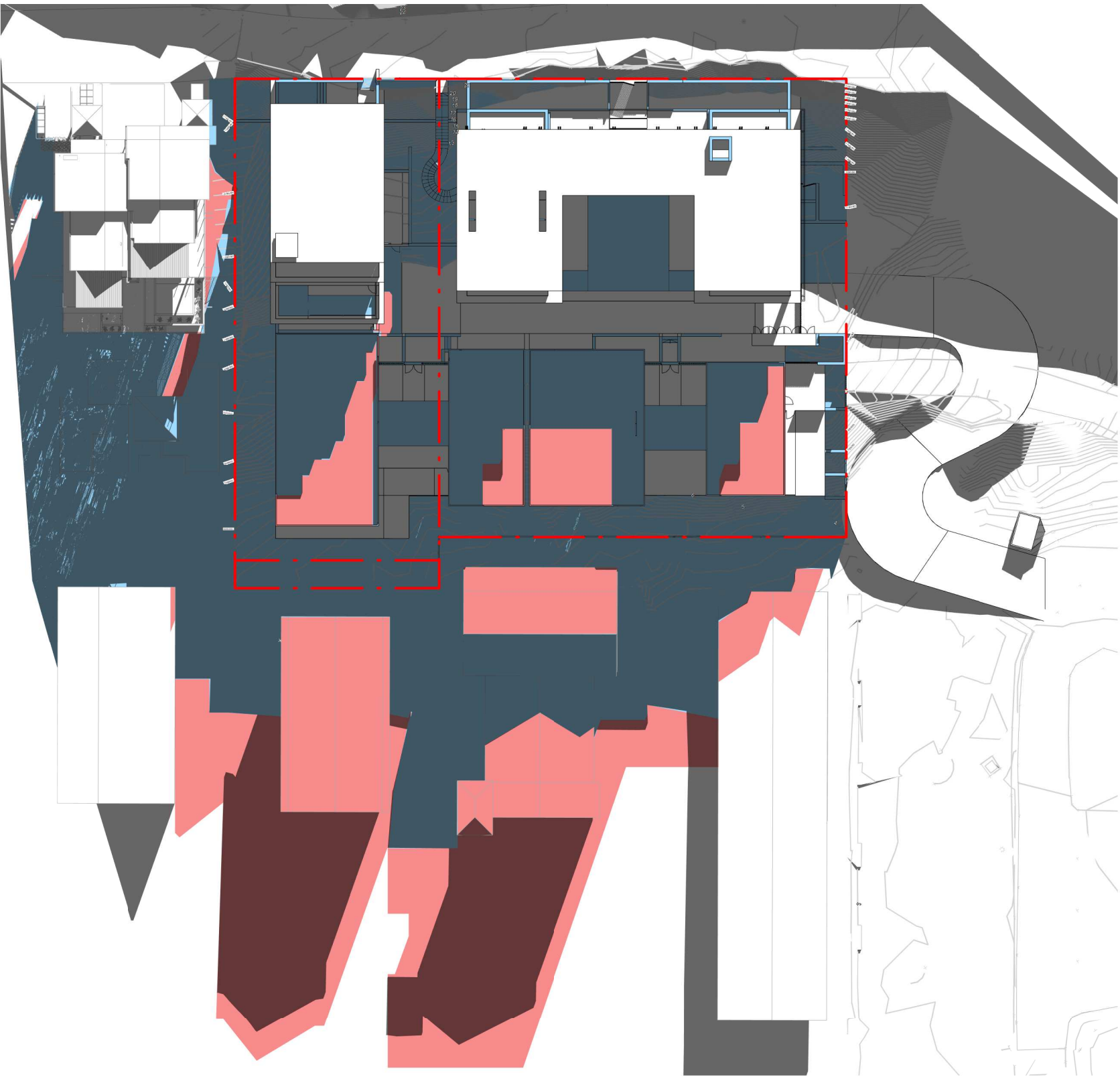
DA50.003

Revision

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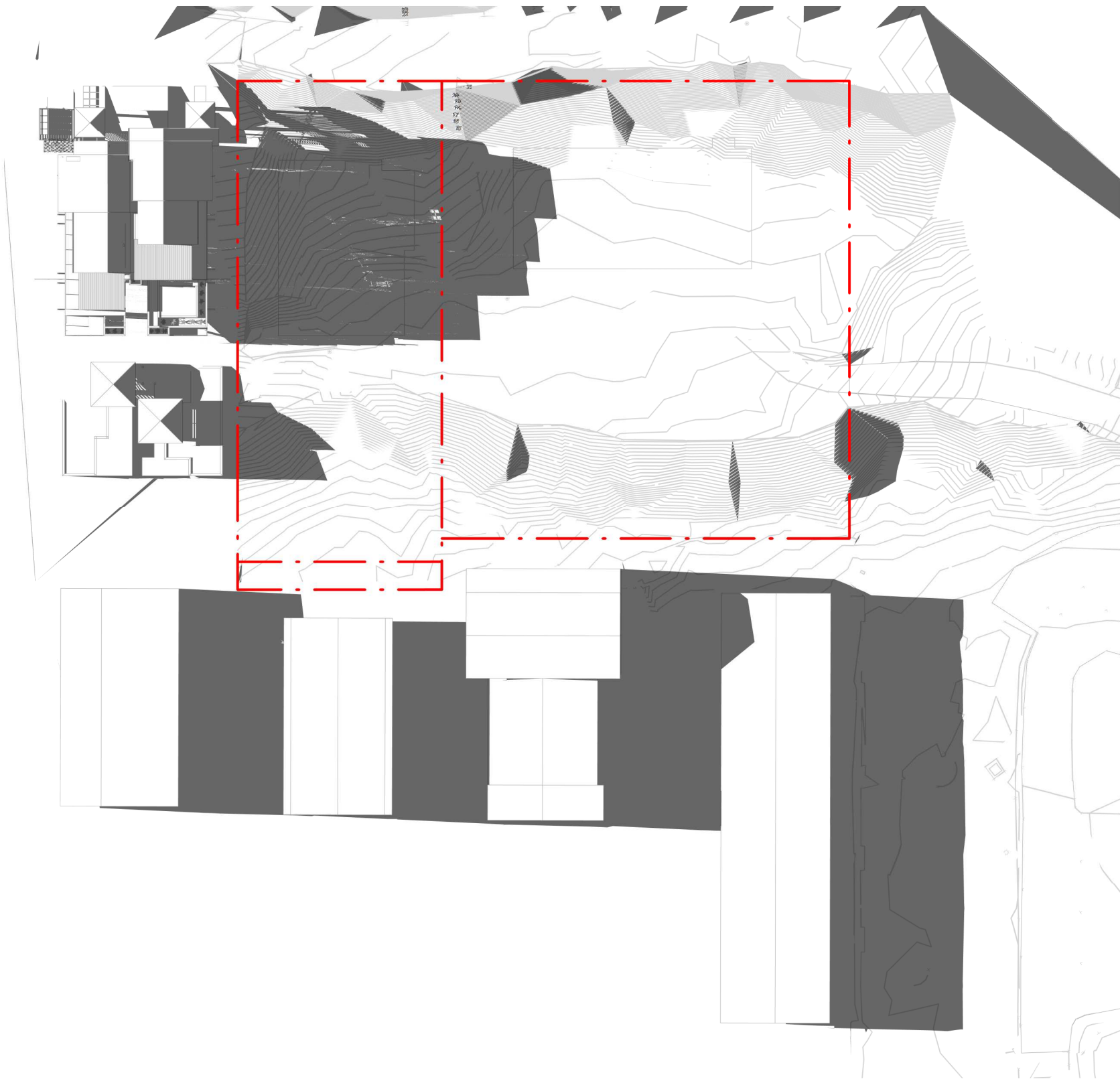


21 JUNE - 9AM EXISTING
1 : 500



21 JUNE - 9AM PROPOSED
1 : 500

EXTENT OF PROPOSED SCHEME - SHADOW DENOTED IN BLUE
EXTENT OF HOTEL SCHEME - SHADOW DENOTED IN RED



21 JUNE - 4PM EXISTING
1 : 500

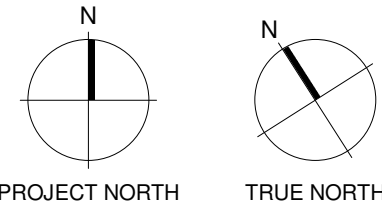


21 JUNE - 4PM PROPOSED
1 : 500

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Structural Engineer
Mechanical Engineer
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Project Title
69-73 MURPHY STREET
PORT DOUGLAS

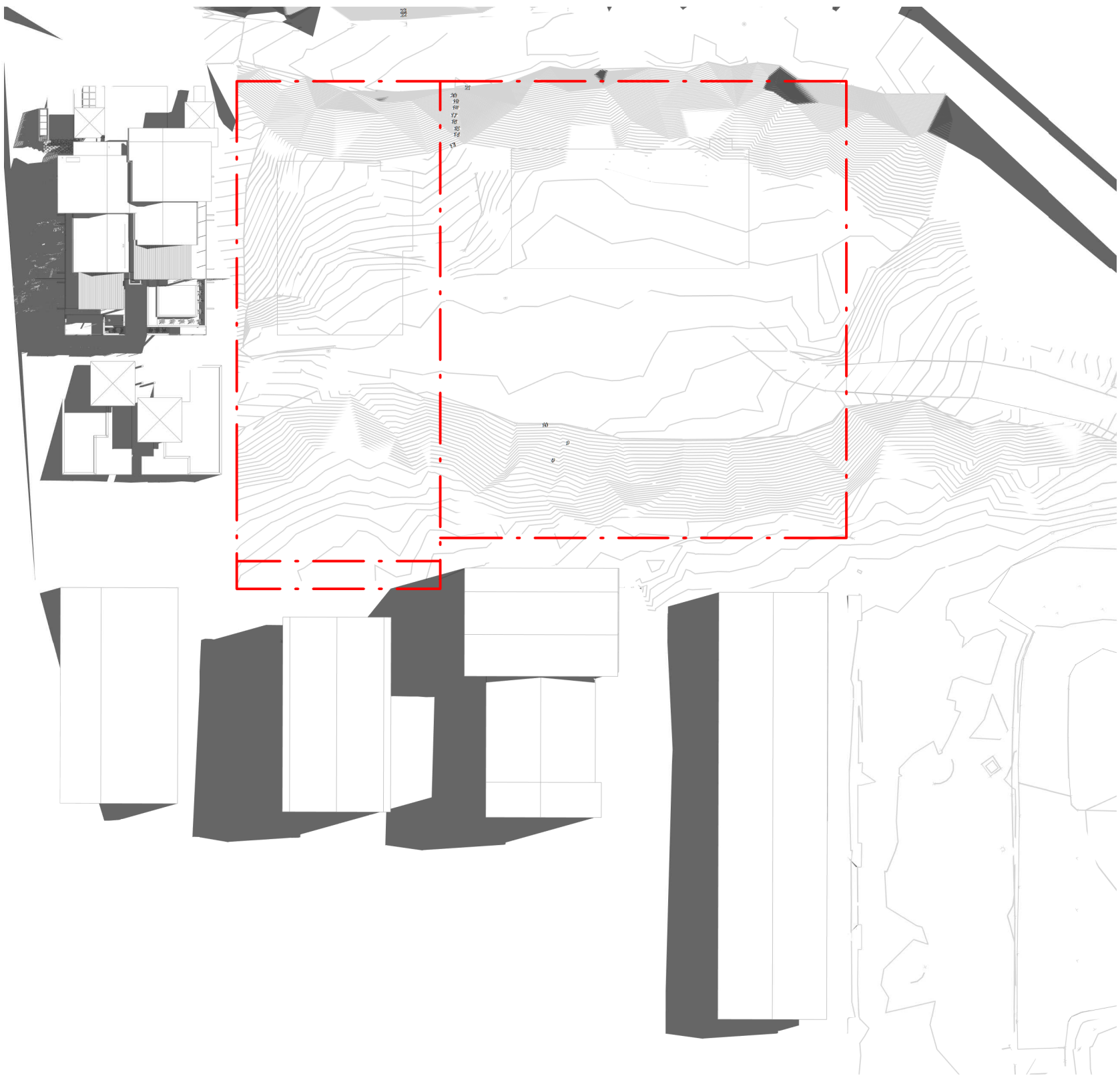
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Drawing Title
SOLAR ANALYSIS - JUNE 21

Drawing Status
DEVELOPMENT APPLICATION

Drawing Details	
Scale	1 : 500@ A1
Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

Drawing No
DA80.001
Revision
F



21 DEC - 9AM EXISTING

1 : 500



21 DEC - 9AM PROPOSED

1 : 500

EXTENT OF PROPOSED SCHEME - SHADOW DENOTED IN BLUE
EXTENT OF HOTEL SCHEME - SHADOW DENOTED IN RED



21 DEC - 4PM EXISTING

1 : 500



21 DEC - 4PM PROPOSED

1 : 500

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Notes

Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

SOLAR ANALYSIS -
DECEMBER 21

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

Scale	1 : 500@ A1
Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND


Drawing No

DA80.002


Revision

(F)

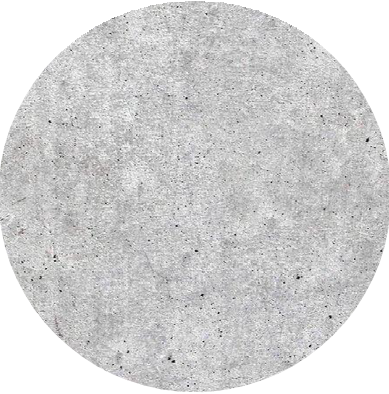
MATERIAL FINISHES PALETTE




REN-1




REN-2




CON-1




TC-1




ST-1




GLZ-1 / PC-3




TC-2




RET-1




TL-1



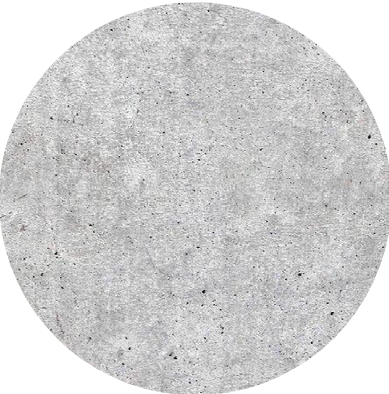
PAV-1




PAV-2




TD-1



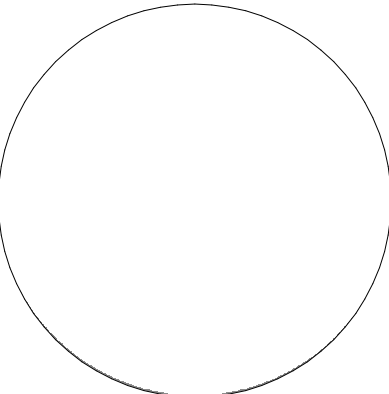
CON-1



CON-1



FEN-1



PC-1

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Notes

CODE	DESCRIPTION
BAL-1	FRAMELESS GLAZED BALUSTRADE 1200mm
CON-1	IN-SITU CONCRETE
FEN-1	TIMBER FENCING
GLZ-1/PC-3	CLEAR GLAZING / LIGHT GREY OR SIMILAR
PAV-1	TILED PAVING
PAV-2	COBBLED STONE PAVING OR STAMPED CONCRETE OR SIMILAR
REN-1	TEXTURED RENDER FINISH
ST-1	STACKED STONE WALL
TC-1	TIMBER CLADDING OR FC SHEET, OR SIMILAR

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

MATERIALS

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

Scale	1 : 1@ A1
Date	13/07/22
Job No	9663
Drawn	SG
Checked	ND

Drawing No

DA90.001

Revision

D



69 - 73 MURPHY STREET

PORT DOUGLAS

DRAWING SCHEDULE

511_DA_01	COVER PAGE
511_DA_02	PLANTING SCHEDULE
511_DA_03	PLANTING SCHEDULE
511_DA_04	TREE RETENTION & REMOVAL PLAN
511_DA_10	LANDSCAPE PLAN - ENTRY ROAD & WESTERN BOUNDARY
511_DA_11	LANDSCAPE PLAN - GROUND LEVEL & GREEN ROOF
511_DA_12	LANDSCAPE PLAN - LEVEL 1
511_DA_13	LANDSCAPE PLAN - LEVEL 2
511_DA_14	LANDSCAPE PLAN - LEVEL 3
511_DA_35	TYPICAL DETAILS
511_DA_50	GENERAL SPECIFICATION

GENERAL NOTES

- ALL LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECT'S AND ADDITIONAL CONSULTANT'S DRAWINGS, SPECIFICATIONS AND REPORTS
- ALL PUBLIC UTILITY SERVICES ARE TO BE LOCATED ON SITE BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORKS. THE LOCATION, PRESENCE AND EXTENT OF SERVICES SHOWN ARE NOT GUARANTEED COMPLETE OR CORRECT
- PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER
- NO TREES PROTECTED UNDER THE LOCAL COUNCIL'S TREE PRESERVATION ORDER ARE TO BE REMOVED UNLESS APPROVED BY DEVELOPMENT CONSENT OR PERMIT OBTAINED FROM COUNCIL
- ALL PAVING IS INDICATIVE, TO BE TO FUTURE SPECIFICATION, AND SET OUT ON SITE
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LOCAL COUNCIL'S APPROVAL, STANDARDS AND CODES
- THE CONTRACTOR IS TO ENSURE THAT ALL THE WORKS ARE CARRIED OUT IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT
- MBD TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS PRIOR TO PURCHASE AND DELIVERY
- EXACT LOCATIONS OF NEW PLANT MATERIAL TO BE SETOUT AND APPROVED BY THE MBD ONSITE PRIOR TO INSTALLATION. MBD RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION ONSITE

DRAINAGE AND IRRIGATION NOTES

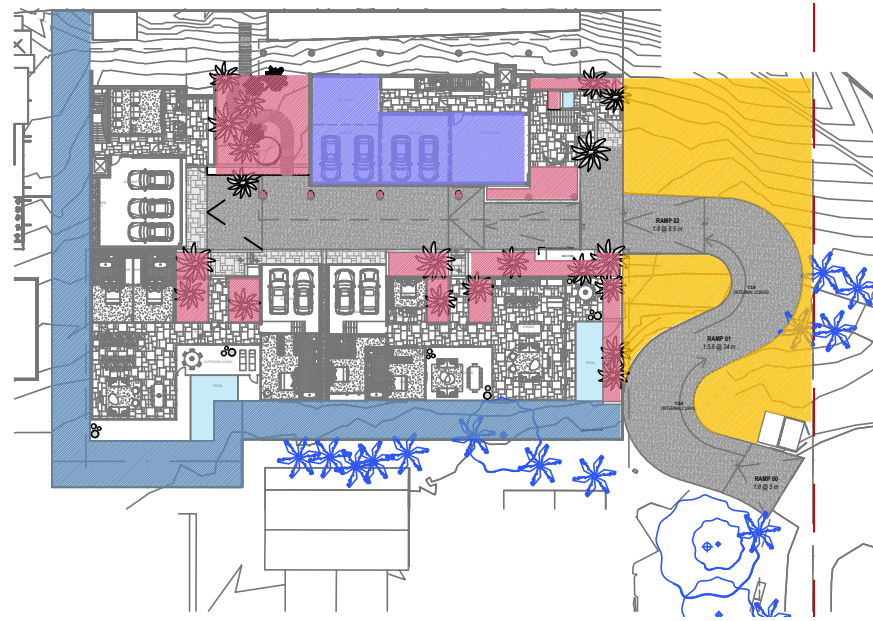
- REFER TO CIVIL ENGINEER'S UTILITY AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION.
- REQUIREMENTS FOR LANDSCAPE DRAINAGE TO BE CONFIRMED ONSITE UNLESS OTHERWISE SHOWN ON THE LANDSCAPE PLANS
- TREE PITS THAT HAVE BEEN EXCAVATED INTO HEAVY EARTH OR STONE TO CONTAIN A RING OF AG PIPE LAID AT THE INVERT OF THE PIT WITHIN A MINIMUM 200mm LAYER OF FREE DRAINING MATERIAL. AG PIPE TO BE CONNECTED TO A DRAINAGE OUTLET (REFER TO TYPICAL TREE PIT DRAINAGE SECTION)
- ALL POTS TO HAVE AN IRRIGATION ALLOWANCE (SHRUBBLERS OR DRIP)
- FOR POTS LOCATED ON PAVED SURFACES, TYPICAL PAVING IRRIGATION DETAIL TO BE USED AS SHOWN
- POTS ADJACENT TO GARDEN BEDS TO BE IRRIGATED VIA IN GARDEN IRRIGATION SYSTEM
- ALL LAWN AREAS TO HAVE POPUP ROTORS
- ALL GARDEN BEDS TO HAVE FIXED SOLID RISERS WITH SPRAYS

PLANT SCHEDULE

TREES												
CODE	BOTANIC NAME	COMMON NAME	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 6	ZONE 7	TOTAL	POT SIZE	MATURE HEIGHT
CA	Cupaniopsis anacardioides	Tuckeroo	4	8						12	Mature	12m
CI	Calophyllum inophyllum	Beach calophyllum	3	4				2		9	Mature	12m
CN	Cocos nucifera	Coconut Palm	11	9	22			15		57	Mature	6-10m
FI	Ficus lyrata	Fiddle Leaf Fig				●	●		●		400mm	3m
GF	Glochidion ferdinandi	Cheese Tree	5	3						8	Mature	8m
LD	Livistona decipens	Ribbon Fan Palm	3	12						15	Mature	6-10m
Lg	Licuala grandis	Ruffled Fan Palm			●			●			400mm	2-3m
PS	Plumeria species	Frangipani	1					2		3	300L	6m
RF	Randia fitzalanii	Native Gardinia	3	8						11	300L	3m
SA	Schefflera arboricola	Umbrella Tree	4	3						7	Mature	9m
SP	Schizolobium parahyba	Brazilian Fire Tree			●			●			200L	6-8m
WF	Waterhousea floribunda	Weeping Lilly Pilly	●	●							200L	3-5m
SHRUBS & PERENNIALS												
CODE	BOTANIC NAME	COMMON NAME	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 6	ZONE 7		POT SIZE	MATURE HEIGHT
Am	Alocasia macrorrhiza	Giant Taro	●		●			●			400mm	1.5-2.5m
Ach	Acmena hemilampira	Broad leaved lilly pilly	●	●							300mm	4m
Ac	Alpinia caerulea	Native Ginger	●	●							400mm	3m
Az	Alpinia zerumbet	Shell Ginger	●	●	●			●			200mm	2-3m
Cm	Carissa macrocarpa 'Emerald star'	Natal Plum			●	●	●	●			300mm	0.6m
Fm	Ficus microcarpa 'Green island'	Greenisland Fig			●	●	●	●	●		300mm	0.6m
Mc	Molineria capitulata	Palm Grass	●	●							140mm	0.8m
Md	Monstera deliciosa	Delicious Monster	●	●	●	●		●			400mm	3m
Mp	Murraya paniculata	Orange Jasmine	●	●				●			400mm	1-3m
Px	Philodendron 'Xanadu'	Philodendron			●	●		●			300mm	0.8m
Re	Rhapis excelsa	Broadlead lady palm	●	●	●			●			300mm	4m
FERNS												
CODE	BOTANIC NAME	COMMON NAME	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 6	ZONE 7		POT SIZE	MATURE HEIGHT
Am	Asparagus densiflorus 'Myersii'	Foxtail Asparagus	●	●		●					200mm	0.7m
Aa	Asplenium antiquum	Birdsnest Fern	●	●		●					200mm	1m
Bg	Blechnum gibbum	Silver Lady Fern	●	●		●					200mm	1m
Md	Microsorium diversifolium	Kangaroo Fern	●	●		●					140mm	0.4m
GROUNDCOVERS & CLIMBERS												
CODE	BOTANIC NAME	COMMON NAME	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 6	ZONE 7		POT SIZE	MATURE HEIGHT
Cf	Chonemorpha fragrans	Frangipani Vine			●						140mm	Climber
Fp	Ficus pumila	Creeping fig	●	●	●			●			140mm	Climber
Hc	Hedera canariensis	The Canarian Ivy		●	●		●	●	●		100mm	Cascading Groundcover
Hs	Hibbertia scandens	Guinea flower	●	●							140mm	Groundcover
Rc	Rhaphidophora cryptantha	Shingle Plant		●	●						140mm	Climber
Ve	Tarlmounia elliptica	Curtain creeper				●	●	●	●		140mm	Cascading
Vo	Viola odorata	Native violet	●	●	●	●		●			140mm	Groundcover

NOTES

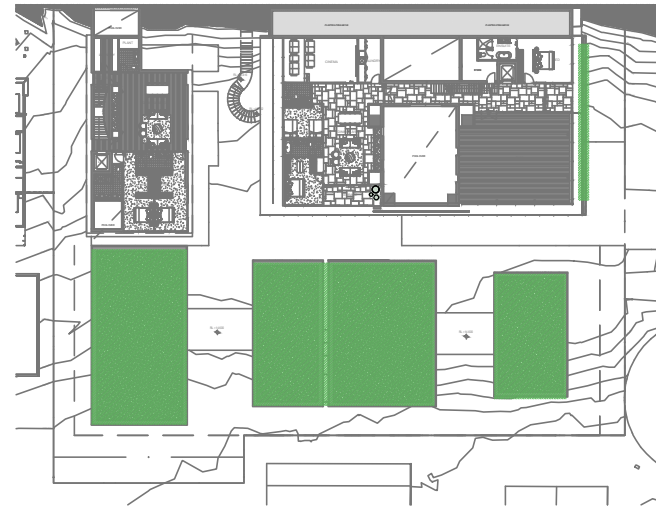
- IF SPECIFIED POT SIZES ARE NOT READILY AVAILABLE, PLEASE CONTACT MBD TO CLARIFY SUBSTITUTE SIZES AND CHANGES TO QUANTITIES
- ALL MATURE TREES TO BE SOURCED AND SUPPLIED BY MYLES BALDWIN DESIGN
- THE PLANT SCHEDULE IS CALCULATED BASED OFF THE LANDSCAPE PLANS PROVIDED BY MBD. ADDITIONAL PLANTS OUTSIDE OF THIS SCHEDULE MAY BE REQUIRED TO REACH THE DESIRED PLANT DENSITIES ONSITE
- ALL PLANT MATERIAL TO BE SETOUT ONSITE BY MYLES BALDWIN DESIGN PRIOR TO INSTALLATION



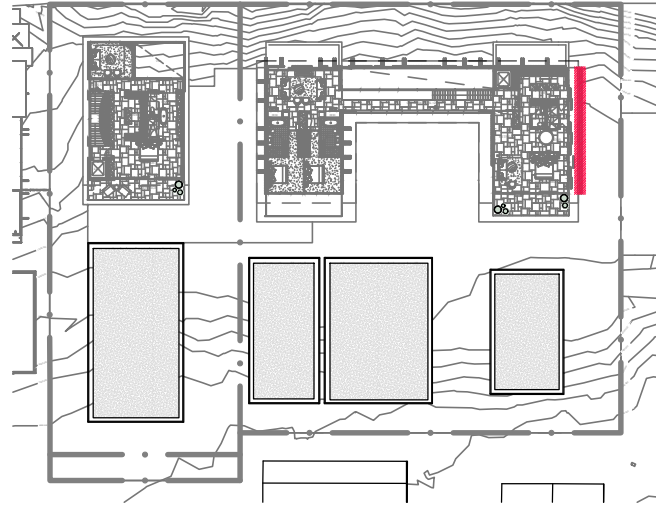
GROUND FLOOR
PLANTING KEY PLAN



LVL 2
PLANTING KEY PLAN



LVL 1
PLANTING KEY PLAN

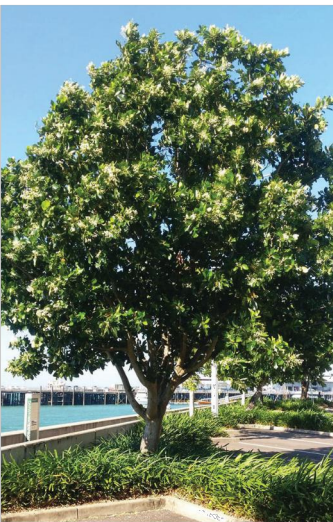


LVL 3
PLANTING KEY PLAN

LEGEND

- ZONE 1
- ZONE 2
- ZONE 3
- ZONE 4
- ZONE 5
- ZONE 6
- ZONE 7

TREES



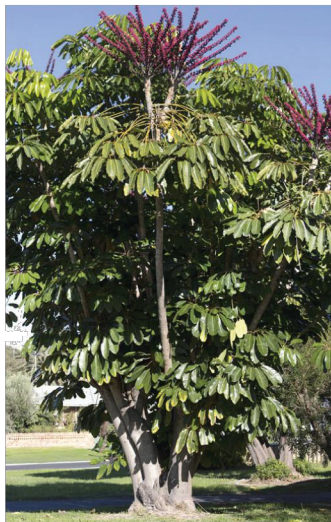
Beach calophyllum
Calophyllum inophyllum



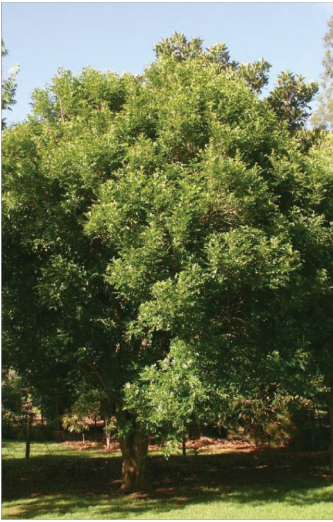
Coconut Palm
Cocos nucifera



Tuckeroo
Cupaniopsis anacardioides



Umbrella Tree
Schefflera arboricola



Cheese Tree
Glochidion ferdinandi



Fiddle Leaf Fig
Ficus lyrata



Ruffled Fan Palm
Licuala grandis



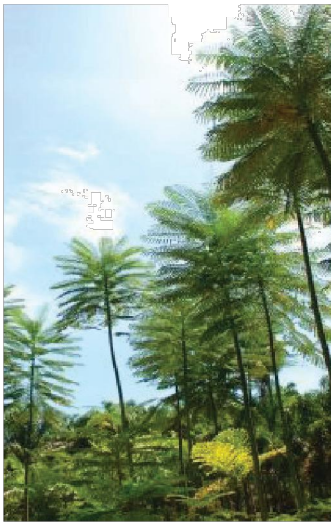
Ribbon Fan Palm
Livistona decipens



Frangipani
Plumeria obtusa



Native Gardinia
Randia fitzalanii




Brazilian Fire Tree
Schizolobium parahyba




Weeping Lilly Pilly
Waterhousea floribunda


SHRUBS, PERENNIALS & FERNS




Giant Taro
Alcacia macrocarpa




Shell Ginger
Alpinia zerumbet




Natal Plum
Carissa macrocarpa 'Emerald Star'




Green Island Fig
Ficus microcarpa 'Green Island'




Native Ginger
Alpinia caerulea




Frangipani Vine
Choromorpho fragrans




Creeping Fig
Ficus pumila




Curtain Creeper
Vernonia elliptica




Palm grass
Melinis capitulata



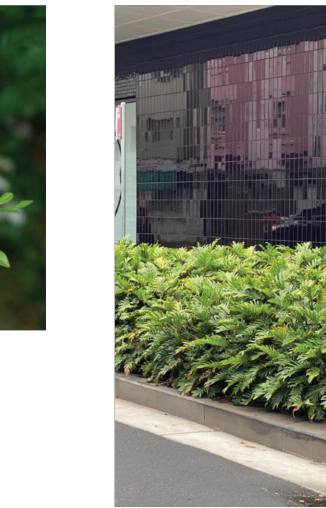
Orange Jasmine
Murraya paniculata




Philodendron
Philodendron 'Xanadu'




Broadleaf Lady Palm
Rhaps excelsa




Broad-leaved lilly pilli
Acmena hemikampa



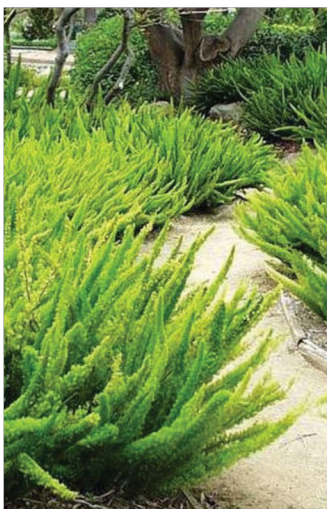
Swiss Cheese Plant
Monstera adansonii



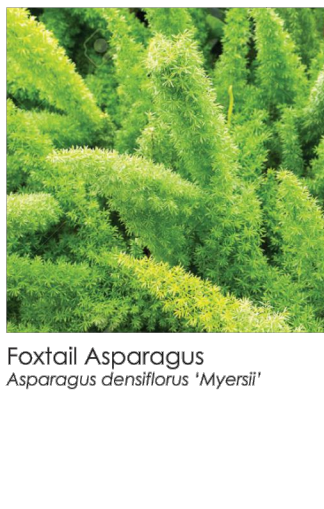
Delicious monster
Monstera deliciosa




Shingle Plant
Rhipidophora cryptantha




Foxtail Asparagus
Asparagus densiflorus 'Myersii'




Birdsnest Fern
Asplenium cernitium




Silver Lady Fern
Blechnum gibbum




Kangaroo Fern
Microsorum diversifolium



Native violet
Viola odorata

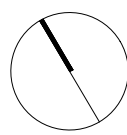
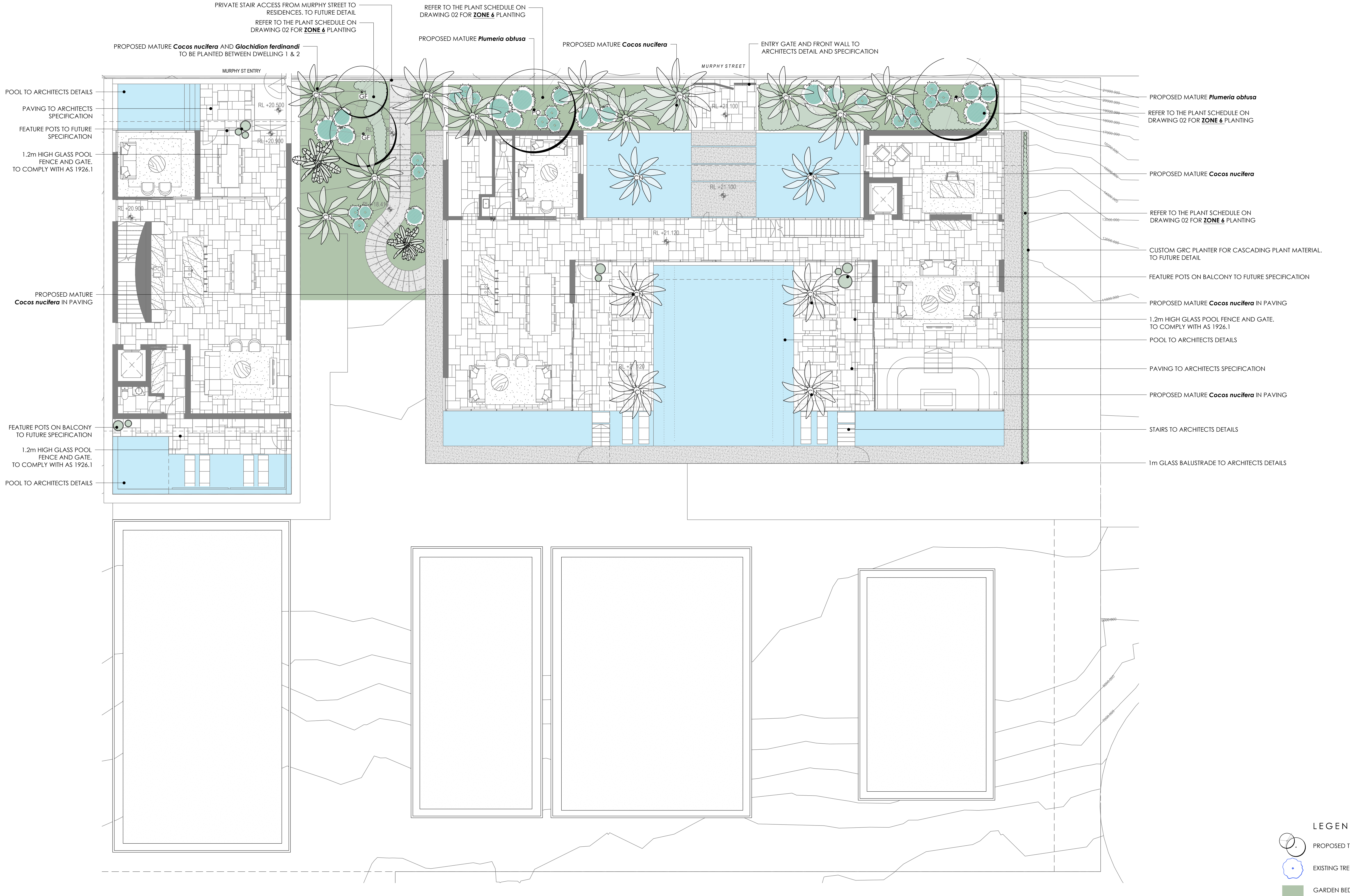


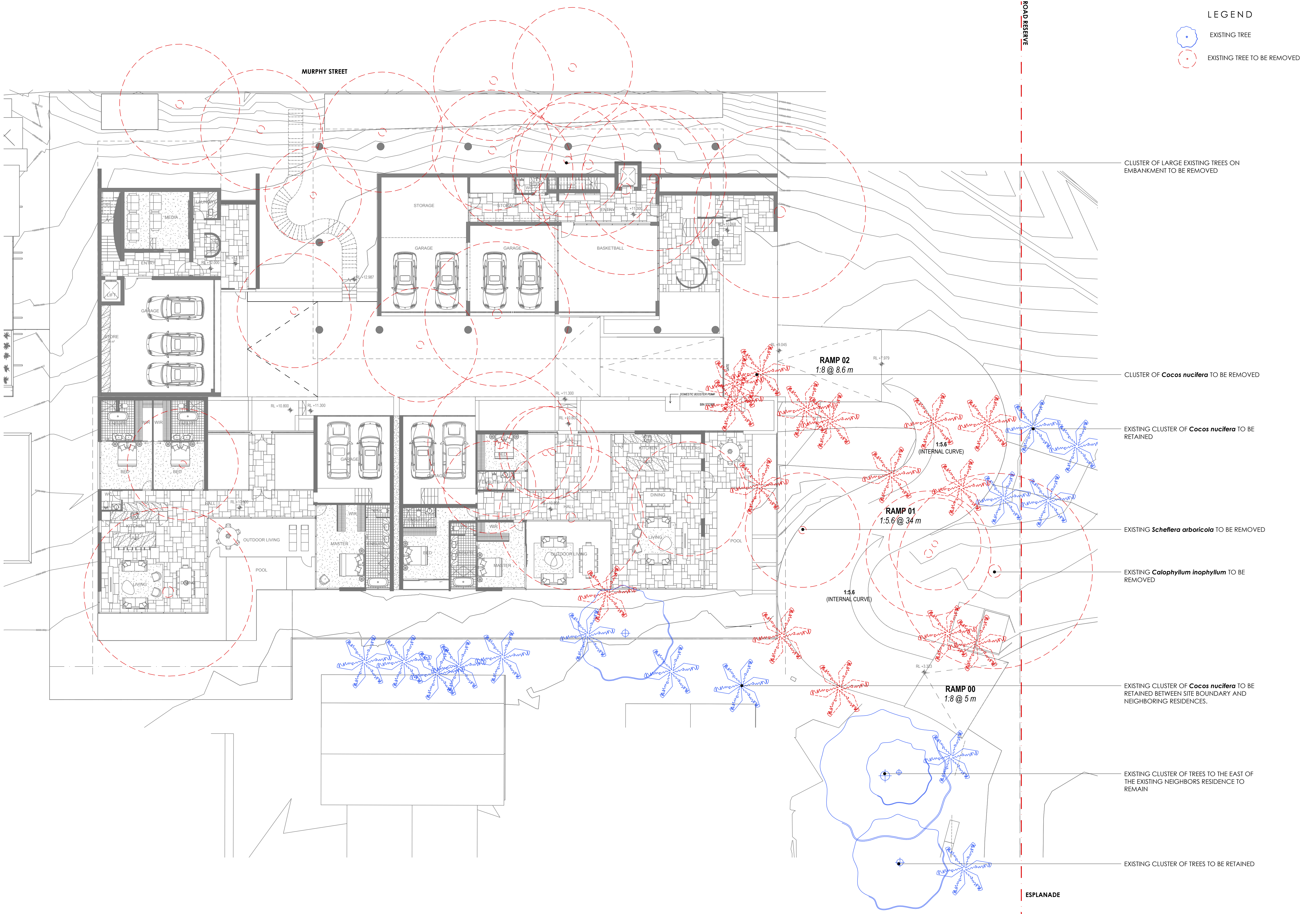
Canarian Ivy
Hedera canariensis



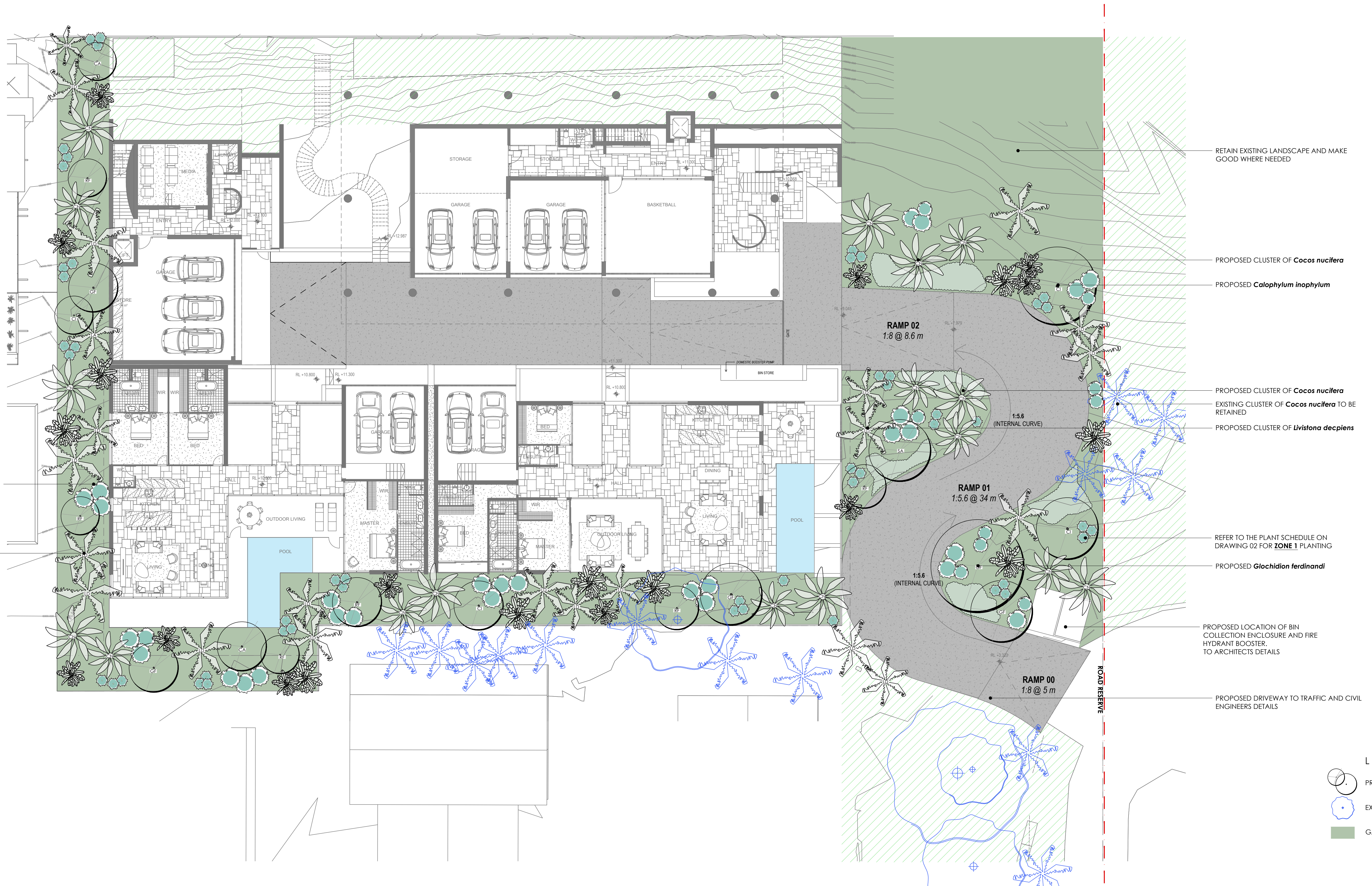
Guinea flower
Hibbertia scandens

CLIMBERS, HANGING PLANTS & GROUNDCOVERS

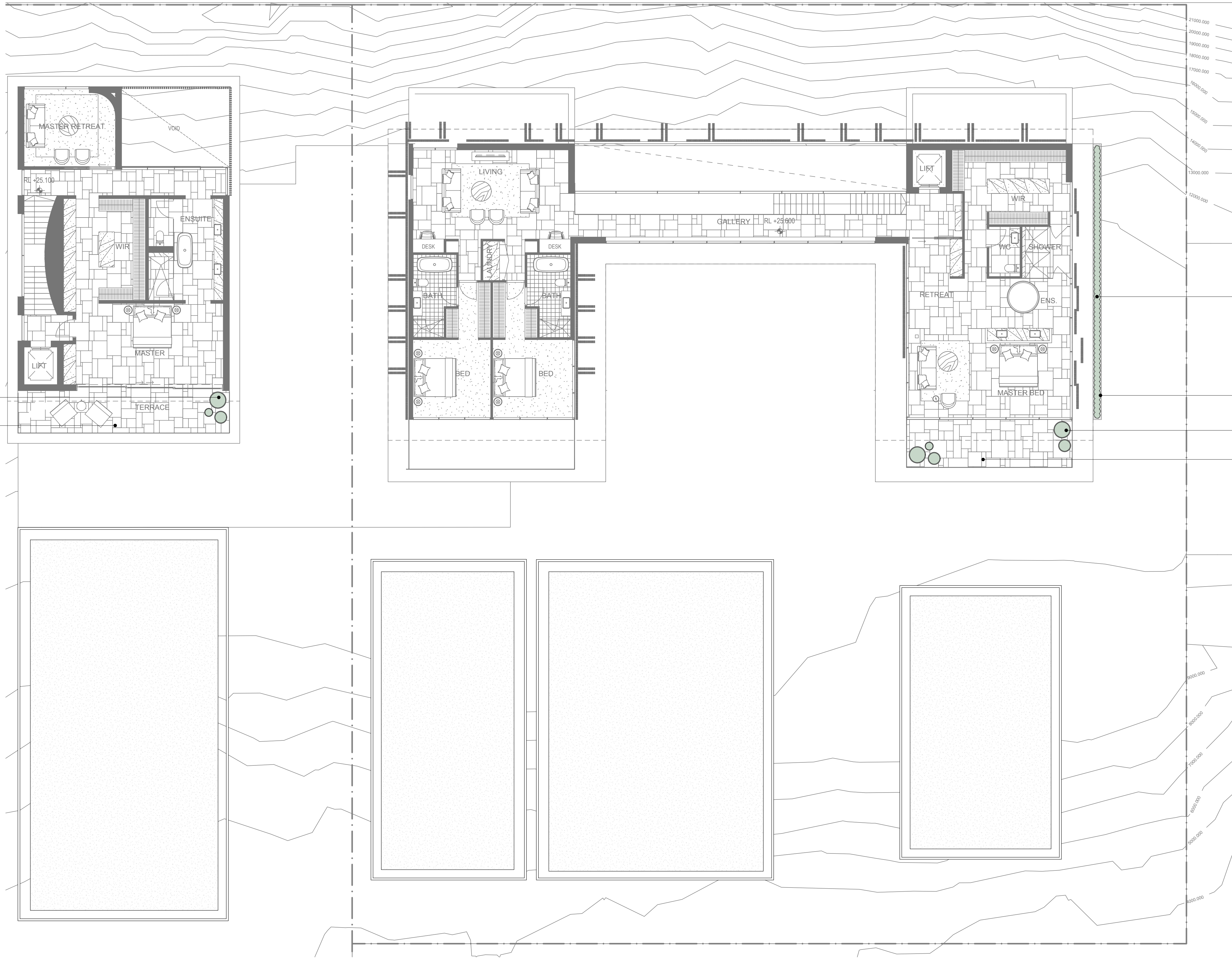












FEATURE POTS ON BALCONY
TO FUTURE SPECIFICATION

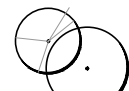


PAVING TO ARCHITECTS
SPECIFICATION

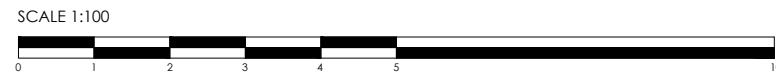
REFER TO THE PLANT SCHEDULE ON
DRAWING 02 FOR **ZONE 7** PLANTING

CUSTOM GRC PLANTER FOR CASCADING PLANT MATERIAL.
TO FUTURE DETAIL

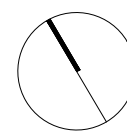
FEATURE POTS ON BALCONY TO FUTURE SPECIFICATION

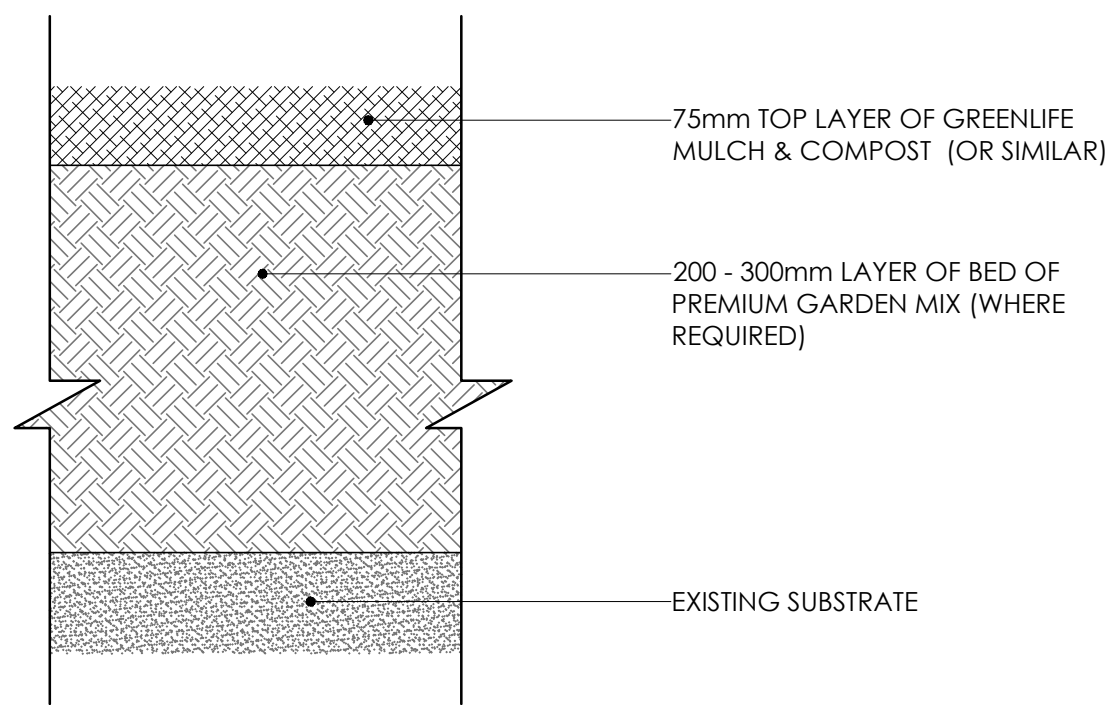
PAVING TO ARCHITECTS SPECIFICATION

- LEGEND**
-  PROPOSED TREE
 -  EXISTING TREE
 -  GARDEN BED

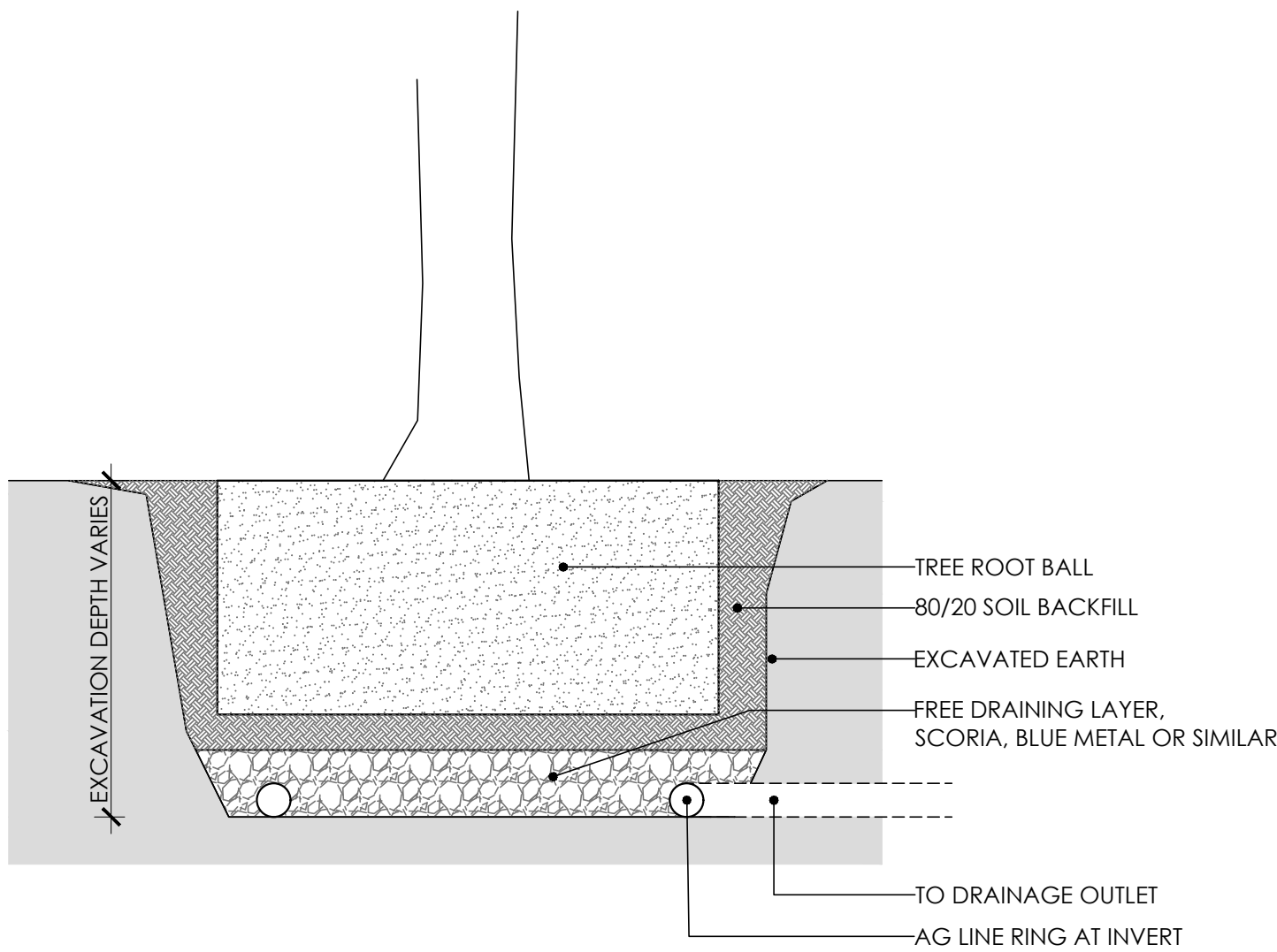


AMENDMENT		DETAILS
ISSUE	DATE	
A	14.03.22	ISSUE FOR DA
B	12.07.22	UPDATED ISSUE FOR DA

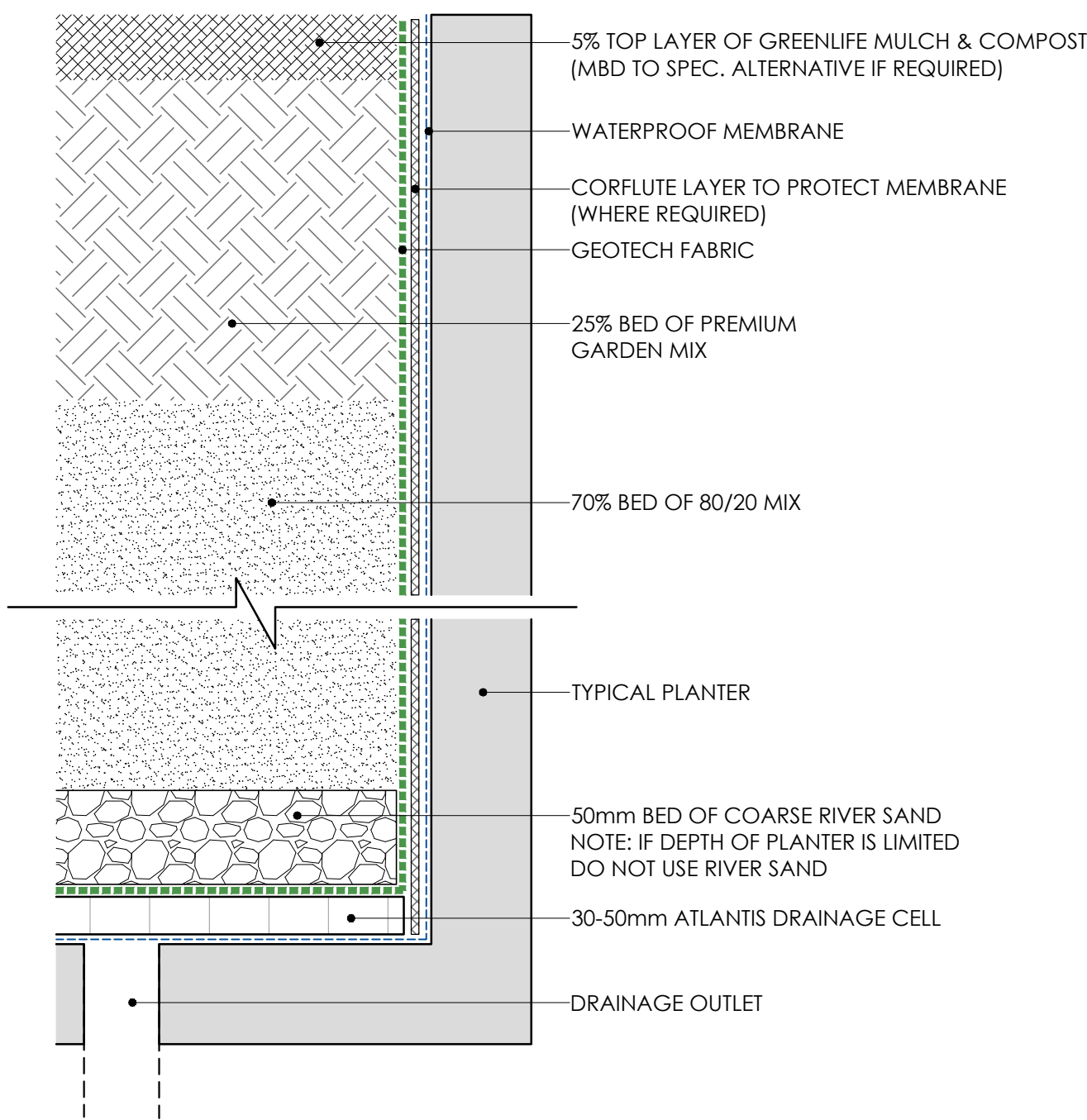




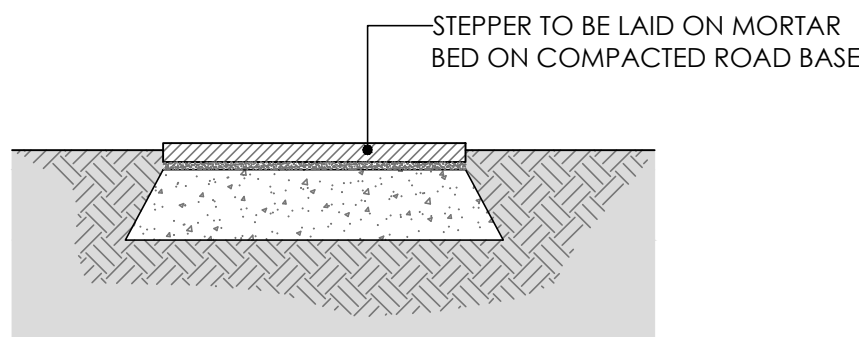
TYPICAL GARDEN SOIL PROFILE
SCALE: 1:5 @ A1



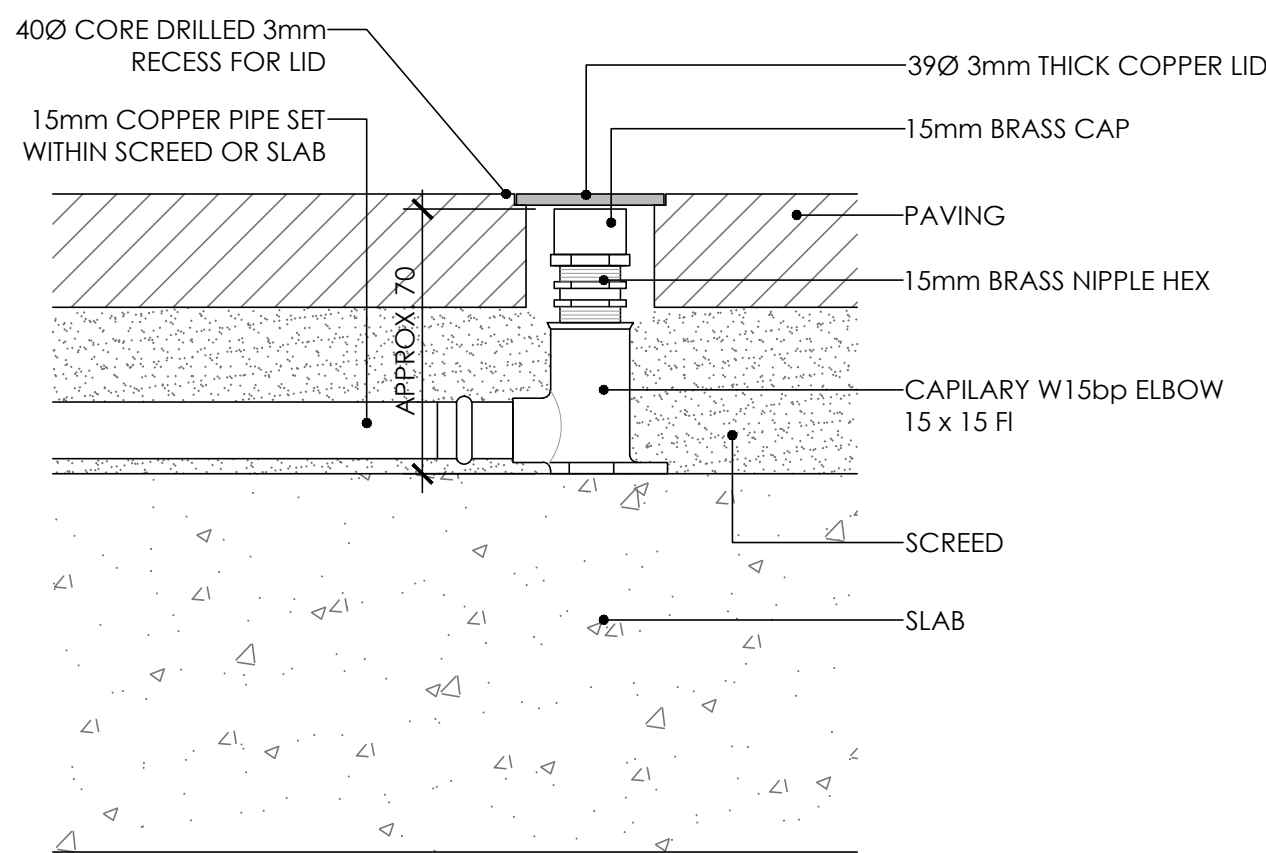
TYPICAL TREE PIT DRAINAGE
SCALE 1:20 @ A1



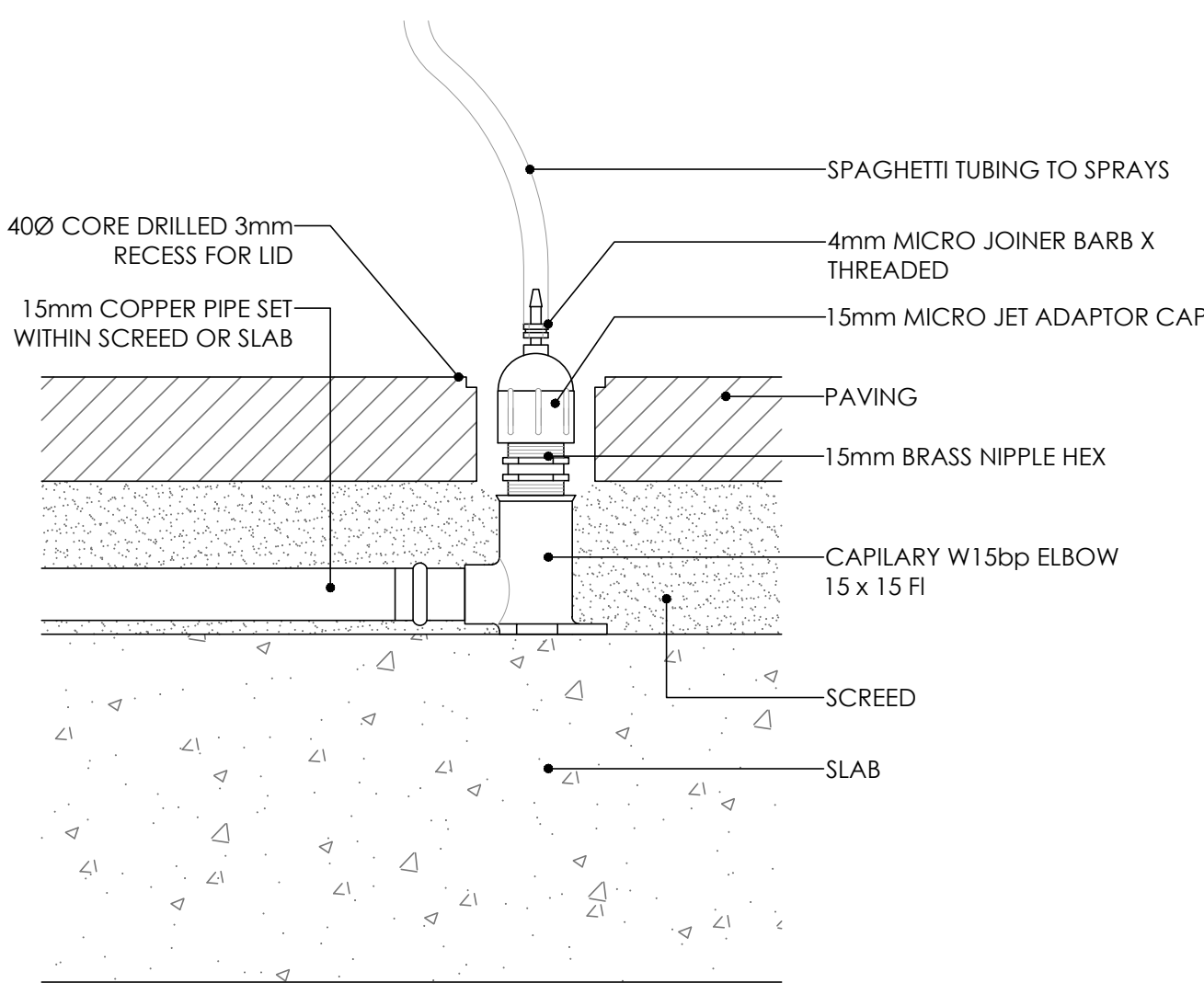
TYPICAL PLANTER SOIL PROFILE
SCALE: 1:5 @ A1



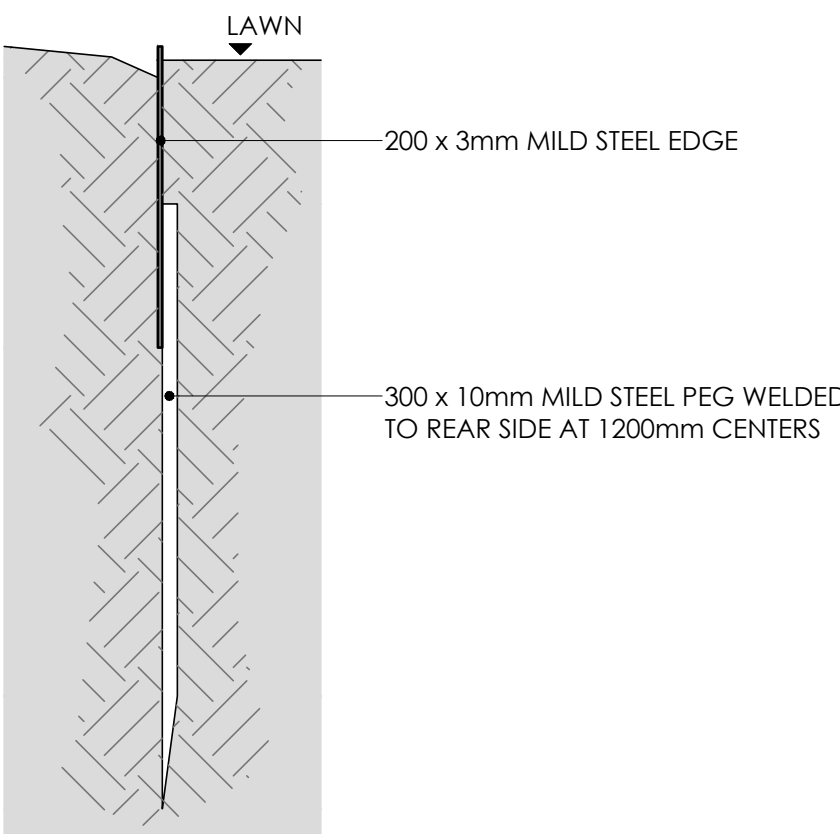
TYPICAL GARDEN STEPPER
SCALE: 1:10 @ A1



TYPICAL PAVING IRRIGATION CLOSED
SCALE 1:2 @ A1



TYPICAL PAVING IRRIGATION OPEN
SCALE 1:2 @ A1



TYPICAL STEEL EDGE
SCALE 1:5 @ A1

GENERAL SPECIFICATION NOTES

1.0 STANDARDS

1.1 SOILS

- AS 4419: Soils for Landscaping and Garden Use
- AS 3743: Potting Mixes
- AS 4454: Composts, Soil Conditioners and Mulches

1.2 Plants

- AS 2303: Tree Stock for Landscape Use
- AS 4970: Protection of Trees on Development Sites

2.0 PRODUCTS

2.1 MATERIAL

Topsoil

- Source: Provide topsoil, which contains organic matter, is free from stones, contaminants and weeds
- Site: If available, provide material recovered from the site

Turf

- Supplier: Obtain turf from a specialist grower of cultivated turf
- Quality: Provide turf of even thickness, free from weeds and other foreign matter

Fertiliser

- General: Provide proprietary fertilisers, delivered to the site in sealed bags marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses and application rates

Plants

- Health: Supply plants with foliage size, texture and colour at time of delivery consistent with the size, texture and colour shown in healthy specimens of the nominated species
- Vigour: Supply plants with extension growth consistent with that exhibited in vigorous specimens of the species nominated
- Damage: Supply plants free from damage and from restricted habit due to growth in nursery rows
- Pests and disease: Supply plants with foliage free from pest attack or disease
- Substitutes: Plant substitution (species or quantities) is not acceptable unless approved by Myles Baldwin Design.

3.0 EXECUTION

3.1 SITE PREPARATION

Weed eradication

- Herbicide: Eradicate weeds with a non-residual glyphosate herbicide in any of its registered formulae, at the recommended maximum rate
- Earth mounds
- Placing: Place clean filling in layers approximately 150 mm thick compacted to 85% of the dry density ratio of the surrounding soil as determined by AS 1289.5.4.1. Minimise slumping and further internal packing down

Edges

- Construct changes in grade over a minimum width of 500 mm to smooth, gradual and rounded profiles with no distinct joint

Existing trees

- Tree protection zones (TPZ) shall be established around all trees to be retained and in accordance of AS 4970. The area within the fence shall be mulched and maintained at 75mm depth
- No excavation, construction activity, grade changes, storage of materials, stock piling, siting of sheds, preparation of mixes or cleaning of tools is permitted within the TPZ

Planting beds

- Excavated: Excavate to bring the subsoil to at least 300 mm below finished design levels. Shape the subsoil to fall to subsoil drains where applicable. Break up the subs to a further depth of 100 mm
- Unexcavated: Remove weeds, roots, building rubble and other debris. Bring the planting bed to 75 mm below finished design levels
- Services and roots: Do not disturb services or tree roots; if necessary, cultivate these areas by hand

Placing topsoil

- General: Spread the topsoil on the prepared subsoil and grade evenly, making the necessary allowances to permit the following:
- Required finished levels and contours may be achieved after light compaction
- Grassed areas may be finished flush with adjacent hard surfaces such as kerbs, paths and mowing strips

Topsoil depths

- General: Spread topsoil to the following typical depths:
- Excavated planting areas: If using organic soil, 300 mm. Refer to typical soil profile detail
- Irrigated grassed areas generally: 150 mm
- Irrigated grassed areas, heavy use (e.g. playing fields, playgrounds, and public parks): 200 mm

Sediment and Erosion Control

- Sediment and erosion control measures are required during the construction of all developments and building works. It shall be the contractor's responsibility that works are carried out in accordance with a sediment and erosion control plan and council/approving authority's requirements.

3.2 TURFING

General

- Supply: Deliver the turf within 24 hours of cutting, and lay it within 36 hours of cutting. Prevent the turf from drying out between cutting and laying. If it is not laid within 36 hours of cutting, roll it out on a flat surface with the grass up, and water as necessary to maintain a good condition
- Laying: Lay the turf in the following manner:
- In stretcher pattern with the joints staggered and close butted
- Parallel with the long sides of level areas, and with contours on slopes
- To finish flush, after tamping, with adjacent finished surfaces of ground, paving edging, or grass seeded areas
- Tamping: Lightly tamp to an even surface immediately after laying. Do not use a roller
- Fertilising: Mix the fertiliser thoroughly into the topsoil before placing the turf. Apply lawn fertiliser at the completion of the first and last mowings, and at other times as required to maintain healthy grass cover
- Watering: Water immediately after laying until the topsoil is moistened to its full depth. Continue watering to maintain moisture to this depth
- Levels: Where levels have deviated from the design levels after placing and watering, lift turf and re-grade topsoil to achieve design levels

3.3 PLANTING

General

- Individual plantings in grassed areas: Excavate a hole twice the diameter of the root ball and at least 100 mm deeper than the root ball. Break up the base of the hole to a further depth of 100 mm, and loosen compacted sides of the hole to prevent confinement of root growth
- Watering: Thoroughly water the plants before planting, immediately after planting, and as required to maintain growth rates free of stress
- Placing: Remove the plant from the container with minimum disturbance to the root ball, ensure that the root ball is moist and place it in its final position, in the center of the hole and plumb, and with the top soil level of the plant root ball level with the finished surface of the surrounding soil
- Fertilising plants: In planting beds and individual plantings, place fertiliser pellets around the plants at the time of planting
- Backfilling: Backfill with topsoil mixture. Lightly tamp and water to eliminate air pockets

3.4 TREES

General

- All trees must be planted by an AQF Level 3 Qualified Arborist, Landscape Gardener or Horticulturalist

Clay Soils

- The base of each tree pit within clay soils shall be laid with 100mm deep scoria. A 90mm ag line ring shall sit within the scoria and drain directly to a suitable location. Lay geo-textile fabric evenly above the scoria, prior to tree placement and backfilling with 80/20 mineral soil

3.5 MULCHING

Placing mulch

- General: Place mulch to the required depth, clear of plant stems, and rake to an even surface flush with the surrounding finished levels. Spread and roll mulch so that after settling, or after rolling, it is smooth and evenly graded between design surface levels sloped towards the base of plant stems in plantation beds, and not closer to the stem than 50 mm in the case of gravel mulches.
- Garden beds: Greenlife Mulch and Compost
- Tree mulch ring: Mushroom compost
- Depths: Spread organic mulch to a depth of 75 mm, and gravel mulch to a depth of 50 mm

3.6 STAKES AND TIES

Stakes

- Material: Hardwood, straight, free from knots or twists, pointed at one end
- Installation: Drive stakes into the ground at least one third of their length, avoiding damage to the root system

Ties

- General: Provide 50 mm hessian webbing ties fixed securely to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant

3.7 WATERING

Establishment

- Extent: Available soil moisture content of grass areas and garden beds to be monitored on a weekly basis using an approved moisture probe and water applied on a demand basis. Readings should be taken at a depth of 250mm
- All grass areas and garden beds should be maintained within a range of 50-80% available soil moisture. Under no circumstance should areas under irrigation fall below a level of 30% available soil moisture
- No visible signs of wilting of leaves or stems, with all plants fully turgid at all times.
- No sign of over-watering such as constantly wet soil, brown leaf margins, stem rot or brown spots on foliage

3.8 LANDSCAPE SUBSOIL DRAINAGE

General

- Include subsoil drainage behind retaining walls, along path edges and in mass planting beds, including lawn areas. Maintenance access points shall be every 15m

Materials

- Geotextile fabric: shall consist of a woven or a non-woven type to be manufactured from synthetic materials other than polyamide
- Aggregate: shall be a single size with a nominal dimension of 10-40mm
- Subsoil pipe: shall be 90 mm diameter corrugated flexible slotted PVC pipe in a geofabric sock, or 100mm uPVC if under pavement. All pipes to requirements of AS 1254. Where vehicle loads are encountered, reinforced concrete pipe shall be used only

Construction

- Trenches to be minimum 300mm wide and extend 500mm below the subgrade level or 150mm if into bed rock
- Trenches to be lined with geotextile fabric and backfilled with aggregate. Pipe to be laid 50mm above trench floor
- Prior to backfilling the trench, drainage and connection to stormwater is to be approved by the site manager

3.9 COMPLETION

Cleaning

- Stakes and ties: Remove those no longer required at the end of the planting establishment period
- Temporary fences: Remove temporary protective fences at the end of the planting establishment period

4.0 ESTABLISHMENT & DEFECTS LIABILITY

4.1 ESTABLISHMENT

General

- All landscaping works will have an establishment period of 26 weeks in which the subcontractor will be responsible for the maintenance and upkeep of the contracted scope, unless otherwise noted in the project documentation. If applicable refer to the project manager / builder for confirmation

4.2 DEFECTS LIABILITY PERIOD

General

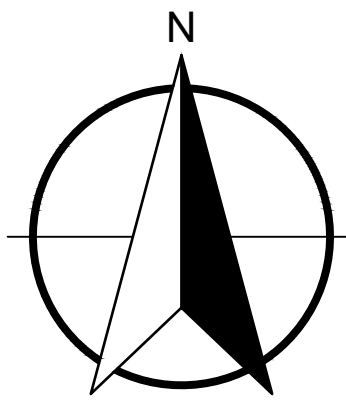
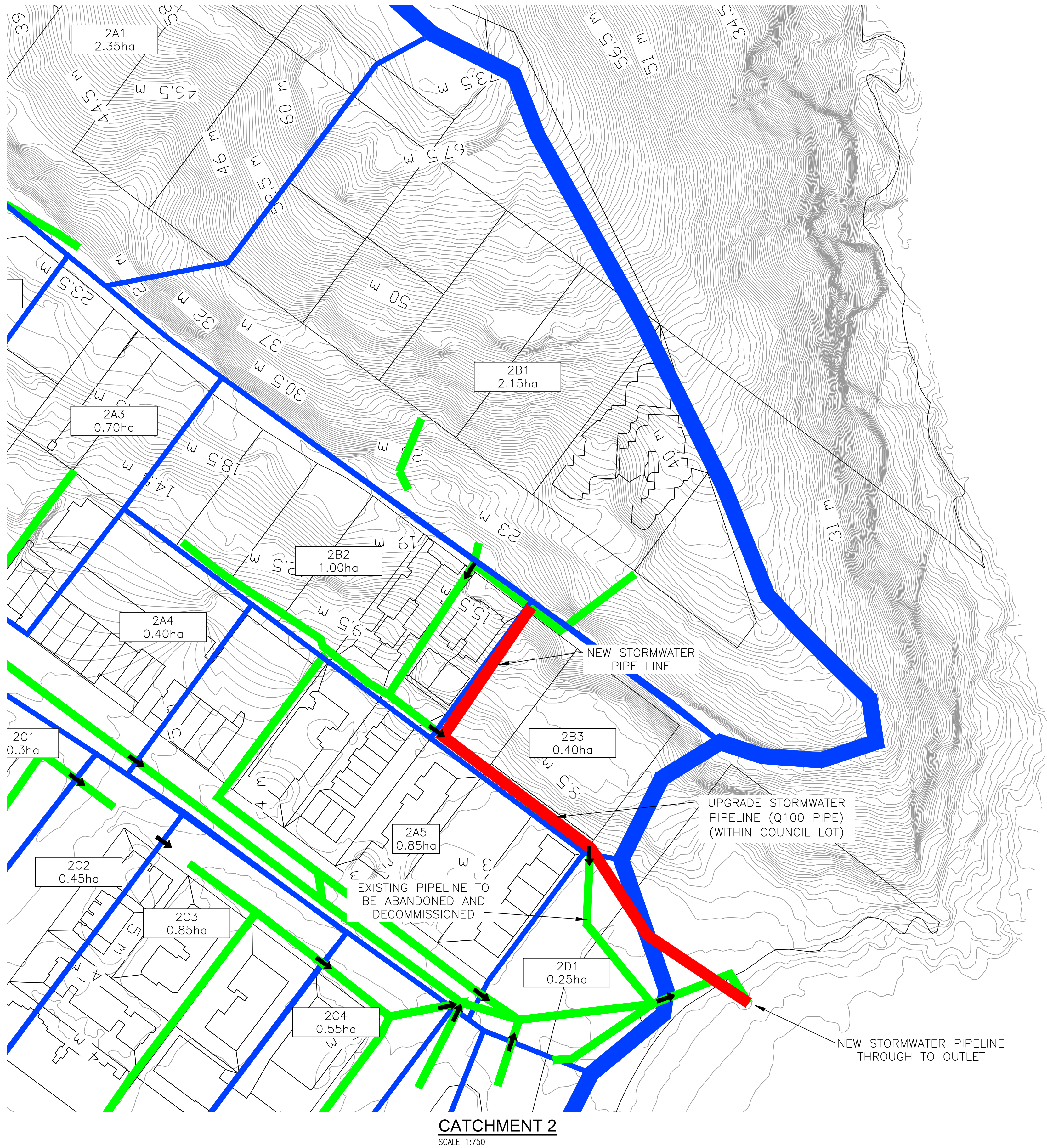
- All landscaping works will be subject to a defects liability period of 52 weeks, commencing from the date of Practical Completion, unless otherwise noted in the project documentation. If applicable refer to the project manager / builder for confirmation

4.3 FAILED PLANTINGS

General

- Photographic images of plants shall be approved by Myles Baldwin Design prior to procurement of replacement plant and tree stock

Printed: 19 August 2022, 11:21 AM (Iam) TEC File: T:11457 DSC Engineering AdvicesDrawings\SKETCH-DSC-001.dwg



PRELIMINARY ONLY

Client DOUGLAS SHIRE COUNCIL				
Project PORT DOUGLAS DRAINAGE				
Title DSC DRAINAGE CATCHMENTS - NORTH CATCHMENT 2				
JOB No. DSC	Scale (A1 size) 1:1500	Date 18 AUG 2022	Drawing No. SKETCH DSC-001	Revision A

REASONS FOR DECISION

The reasons for this decision are:

1. Sections 60, 62 and 63 of the *Planning Act 2016*:
 - a. to ensure the development satisfies the benchmarks of the 2018 Douglas Shire Planning Scheme Version 1.0; and
 - b. to ensure compliance with the *Planning Act 2016*.
2. **Findings on material questions of fact:**
 - a. the development application was properly lodged to the Douglas Shire Council on 25 November 2021 2022 under s51 of the *Planning Act 2016* and Part 1 of the *Development Assessment Rules*;
 - b. the development application contained information from the applicant which Council reviewed together with Council's own assessment against the 2017 State Planning Policy and the 2018 Douglas Shire Planning Scheme Version 1.0 in making its assessment manager decision.
3. **Evidence or other material on which findings were based:**
 - a. the development triggered assessable development under the Assessment Table associated with the Tourist Accommodation Zone Code;
 - b. Council undertook an assessment in accordance with the provisions of s60, s62 and s63 of the *Planning Act 2016*; and
 - c. the applicant's reasons have been considered and the following findings are made:
 - i. The proposed use and built form is an acceptable outcome for the site which in keeping with similar building heights and building setbacks of adjoining development. Plans of development have been modified during the assessment process to adequately address concerns raised over building height and vehicle access to the site; and
 - ii. Subject to conditions, the development satisfactorily meets the Planning Scheme benchmarks.

Non Compliance with Assessment Benchmarks

Benchmark Reference	Alternative Measure/Comment
Tourist Accommodation Zone	<p>The development does not meet the assessment benchmarks of AO1 and AO2 of the code as it relates to building height, setbacks and site cover. However, the development is considered to meet the corresponding Performance Outcomes, as the development:</p> <ol style="list-style-type: none">(a) is of a similar height to the adjoining development to west being 67 Murphy Street;(b) is located on an existing benched site established as a result of previous quarry activities;(c) Flag staff hill forms the back drop of the development with building heights and building setbacks remaining consistent with existing building heights and established building setbacks along Murphy Street;
	<ol style="list-style-type: none">(d) provides acceptable building setbacks from the unconstructed road reserve. The presence of the driveway and landscaping treatments will achieve visual relief of the building when viewed from areas external to the site.

	<p>The development does not meet the assessment benchmarks of AO3.1 which limits the length of building to 30m. The development meets the corresponding Performance Outcome as the site is at the end of Murphy Street with the building façade of Dwelling 1 facing the vegetated bank of Flagstaff Hill.</p>
Access, Parking and Servicing Code	<p>Despite the non achievement of the Acceptable Outcome AO2 the development achieves the respective Performance Outcome, namely:</p> <ul style="list-style-type: none"> a) Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use. b) Any inconvenience with the car parking layout is internalised and does not involve high turnover vehicle parking;

Planning Act 2016
Chapter 3 Development assessment

[s 74]

Division 2 Changing development approvals

Subdivision 1 Changes during appeal period

74 What this subdivision is about

- (1) This subdivision is about changing a development approval before the applicant's appeal period for the approval ends.
- (2) This subdivision also applies to an approval of a change application, other than a change application for a minor change to a development approval.
- (3) For subsection (2), sections 75 and 76 apply—
 - (a) as if a reference in section 75 to a development approval were a reference to an approval of a change application; and
 - (b) as if a reference in the sections to the assessment manager were a reference to the responsible entity; and
 - (c) as if a reference in section 76 to a development application were a reference to a change application; and
 - (d) as if the reference in section 76(3)(b) to section 63(2) and (3) were a reference to section 83(4); and
 - (e) with any other necessary changes.

75 Making change representations

- (1) The applicant may make representations (*change representations*) to the assessment manager, during the applicant's appeal period for the development approval, about changing—
 - (a) a matter in the development approval, other than—
 - (i) a matter stated because of a referral agency's response; or

-
- (ii) a development condition imposed under a direction made by the Minister under chapter 3, part 6, division 2; or
 - (b) if the development approval is a deemed approval—the standard conditions taken to be included in the deemed approval under section 64(8)(c).
- (2) If the applicant needs more time to make the change representations, the applicant may, during the applicant's appeal period for the approval, suspend the appeal period by a notice given to the assessment manager.
- (3) Only 1 notice may be given.
- (4) If a notice is given, the appeal period is suspended—
- (a) if the change representations are not made within a period of 20 business days after the notice is given to the assessment manager—until the end of that period; or
 - (b) if the change representations are made within 20 business days after the notice is given to the assessment manager, until—
 - (i) the applicant withdraws the notice, by giving another notice to the assessment manager; or
 - (ii) the applicant receives notice that the assessment manager does not agree with the change representations; or
 - (iii) the end of 20 business days after the change representations are made, or a longer period agreed in writing between the applicant and the assessment manager.
- (5) However, if the assessment manager gives the applicant a negotiated decision notice, the appeal period starts again on the day after the negotiated decision notice is given.

76 Deciding change representations

- (1) The assessment manager must assess the change representations against and having regard to the matters that

- must be considered when assessing a development application, to the extent those matters are relevant.
- (2) The assessment manager must, within 5 business days after deciding the change representations, give a decision notice to—
- (a) the applicant; and
 - (b) if the assessment manager agrees with any of the change representations—
 - (i) each principal submitter; and
 - (ii) each referral agency; and
 - (iii) if the assessment manager is not a local government and the development is in a local government area—the relevant local government; and
 - (iv) if the assessment manager is a chosen assessment manager—the prescribed assessment manager; and
 - (v) another person prescribed by regulation.
- (3) A decision notice (a ***negotiated decision notice***) that states the assessment manager agrees with a change representation must—
- (a) state the nature of the change agreed to; and
 - (b) comply with section 63(2) and (3).
- (4) A negotiated decision notice replaces the decision notice for the development application.
- (5) Only 1 negotiated decision notice may be given.
- (6) If a negotiated decision notice is given to an applicant, a local government may give a replacement infrastructure charges notice to the applicant.

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for an appeal relating to the *Plumbing and Drainage Act 2018*—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (g) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.

- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
 - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and

- (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
 - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
 - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—
decision includes—
 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.**non-appealable**, for a decision or matter, means the decision or matter—
 - (a) is final and conclusive; and
 - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
 - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

31 August 2022

Enquiries: Neil Beck
Our Ref: MCUC 2021_4490 (Doc ID)
Your Ref: 20-12

Gurner TM Nominee Pty Ltd
C/- Planning Plus
PO Box 399
REDLYNCH QLD 4870

Dear Sir/Madam

**Adopted Infrastructure Charge Notice
For Material Change of Use – 4 Multiple Dwellings & Short-term Accommodation at
69 – 73 Murphy Street Port Douglas**

Please find attached the Adopted Infrastructure Charges Notice issued in accordance with section 119 of the *Planning Act 2016*.

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

Please also find attached extracts from the Act regarding the following:

- your right to make representations to Council about the Adopted Infrastructure Charges Notice; and
- your Appeal rights with respect to the Adopted Infrastructure Charges Notice.

Please quote Council's application number: MCUC 2021_4490 in all subsequent correspondence relating to this matter.

Should you require any clarification regarding this, please contact Neil Beck on telephone 07 4099 9451.

Yours faithfully




For
Paul Hoyer
Manager Environment & Planning

encl.

- Adopted Infrastructure Charges Notice
- Rights to Make Representations and Appeals Regarding Infrastructure Charges

Adopted Infrastructure Charges Notice

		2018 Douglas Shire Planning Scheme version 1.0 Applications	
ADOPTED INFRASTRUCTURE CHARGES NOTICE			
Gunner TM Nominee Pty Ltd <small>DEVELOPERS NAME</small>		NA <small>ESTATE NAME</small>	
69, 71-73 Murphy Street <small>STREET No. & NAME</small>		L516 PTD2094, L2 RP724386 <small>LOT & RP No.s</small>	
MCU Multiple dwelling & short-term accommodation <small>DEVELOPMENT TYPE</small>		P2344, P2343 <small>PARCEL No.</small>	
1104025 <small>DSC Reference Doc. No.</small>		MCUC 2020_3867 <small>COUNCIL FILE NO.</small>	
1 <small>VERSION No.</small>		6 <small>VALIDITY PERIOD (year)</small>	
Payment before commencement of use for MCU; and Prior to signing and sealing of survey form for RDL			

Infrastructure Charges as resolved by Council at the Ordinary Meeting held on 23 February 2021 (Came into effect on 1 March 2021)

Proposed Demand	Charge per Use	\$ Rate	Floor area/No.	Amount	Amount Paid	Receipt Code & GL Code
Residential Multiple dwelling	\$ per 3 or more bedroom dwelling	24,553.82	4	\$98,215.28		
Total Demand				\$98,215.28		
<u>Credit</u> Existing land use						
3 or more bedroom dwelling	\$ per 3 or more bedroom dwelling	24,553.82	2	\$49,107.64		
Total Credit				\$49,107.64		
Required Payment or Credit				TOTAL	\$49,107.64	

Prepared by: J Elphinstone

Checked by: Neil Beck

Date Payable: MCU - prior to the commencement of use

Amendments:

Date: 18-Aug-22

Date: 18-Aug-22

Date:

Amount Paid:

Date Paid:

Receipt No.:

Cashier:

Note:

The Infrastructure Charges in this Notice are payable in accordance with Sections 119 and 120 of the Planning Act 2016 as from Council's resolution from the Ordinary Meeting held on 23 February 2021.

Charge rates under the Policy are subject to indexing.
Any Infrastructure Agreement for trunk works must be determined and agreed to prior to issue of Development Permit for Operational Work.

Charges are payable to: Douglas Shire Council. You can make payment at any of Council's Business Offices or by mail with your cheque or money order to Douglas Shire Council, PO Box 723, Mossman QLD 4873. Cheques must be made payable to Douglas Shire Council and marked 'Not Negotiable.' Acceptance of a cheque is subject to collection of the proceeds. Post dated cheques will not be accepted.

Any enquiries regarding Infrastructure Charges can be directed to the Development & Environment, Douglas Shire Council on 07 4099 9444 or by email on enquiries@douglas.qld.gov.au

Subdivision 5 Changing charges during relevant appeal period

124 Application of this subdivision

This subdivision applies to the recipient of an infrastructure charges notice given by a local government.

125 Representations about infrastructure charges notice

- (1) During the appeal period for the infrastructure charges notice, the recipient may make representations to the local government about the infrastructure charges notice.
- (2) The local government must consider the representations.
- (3) If the local government—
 - (a) agrees with a representation; and
 - (b) decides to change the infrastructure charges notice;the local government must, within 10 business days after making the decision, give a new infrastructure charges notice (a *negotiated notice*) to the recipient.
- (4) The local government may give only 1 negotiated notice.
- (5) A negotiated notice—
 - (a) must be in the same form as the infrastructure charges notice; and
 - (b) must state the nature of the changes; and
 - (c) replaces the infrastructure charges notice.
- (6) If the local government does not agree with any of the representations, the local government must, within 10 business days after making the decision, give a decision notice about the decision to the recipient.
- (7) The appeal period for the infrastructure charges notice starts again when the local government gives the decision notice to the recipient.

126 Suspending relevant appeal period

- (1) If the recipient needs more time to make representations, the recipient may give a notice suspending the relevant appeal period to the local government.
- (2) The recipient may give only 1 notice.
- (3) If the representations are not made within 20 business days after the notice is given, the balance of the relevant appeal period restarts.
- (4) If representations are made within the 20 business days and the recipient gives the local government a notice withdrawing the notice of suspension, the balance of the relevant appeal period restarts the day after the local government receives the notice of withdrawal.

Division 3 Development approval conditions about trunk infrastructure

Subdivision 1 Conditions for necessary trunk infrastructure

127 Application and operation of subdivision

- (1) This subdivision applies if—
 - (a) trunk infrastructure—
 - (i) has not been provided; or
 - (ii) has been provided but is not adequate; and
 - (b) the trunk infrastructure is or will be located on—
 - (i) premises (the *subject premises*) that are the subject of a development application, whether or not the infrastructure is necessary to service the subject premises; or
 - (ii) other premises, but is necessary to service the subject premises.

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for an appeal relating to the *Plumbing and Drainage Act 2018*—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (g) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.

- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
 - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and

- (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
 - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
 - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Non-appealable decisions and matters

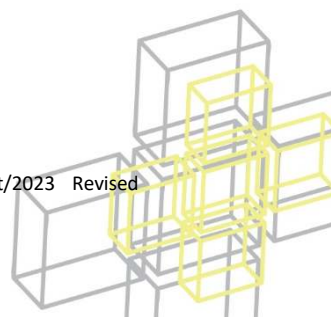
- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—
decision includes—
 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.**non-appealable**, for a decision or matter, means the decision or matter—
 - (a) is final and conclusive; and
 - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
 - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

Annexure 3: Title Searches



Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	20807074	Search Date:	13/03/2023 09:40
Date Title Created:	02/06/1970	Request No:	43825465
Previous Title:	20325192, 20460152		

ESTATE AND LAND

Estate in Fee Simple

LOT 2 REGISTERED PLAN 724386

Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 721690841 16/05/2022

PORT DOUGLAS BY GURNER PTY LTD A.C.N. 649 777 104

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10366027 (Lot 2 on RP 724386)
Deed of Grant No. 10366048 (Lot 2 on RP 724386)
2. MORTGAGE No 721690842 16/05/2022 at 15:46
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	21379089	Search Date:	13/03/2023 09:40
Date Title Created:	27/10/1988	Request No:	43825465
Previous Title:	21323165		

ESTATE AND LAND

Estate in Fee Simple

LOT 516 CROWN PLAN PTD2094
Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 721690841 16/05/2022

PORT DOUGLAS BY GURNER PTY LTD A.C.N. 649 777 104

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10366025 (ALLOT 16 SEC 5)
2. EASEMENT IN GROSS No 710411366 13/03/2007 at 11:22
burdening the land
DOUGLAS SHIRE COUNCIL
over
EASEMENT A ON SP183023
3. MORTGAGE No 721690842 16/05/2022 at 15:46
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

NIL

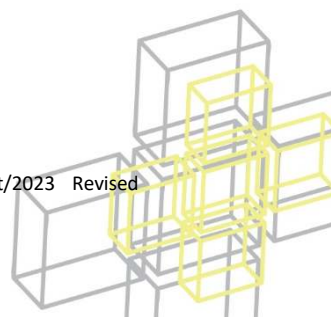
UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Annexure 4: QLD Globe Aerial Overlay








A product of



Queensland Globe



Legend located on next page



Scale: 1:972

Printed at: A4
Print date: 10/11/2020
Datum: Geocentric Datum of Australia 1994
Projection: Web Mercator EPSG 102100
For more information, visit
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

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Natural parcel boundary



Road parcel



Land parcel



Easement parcel



Strata parcel



Volumetric parcel



Land parcel label

Road Crossing



Railway



Road

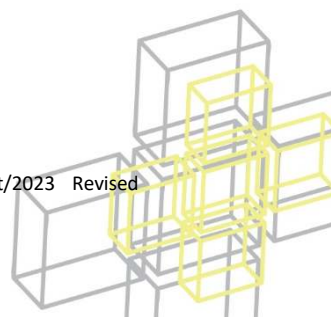


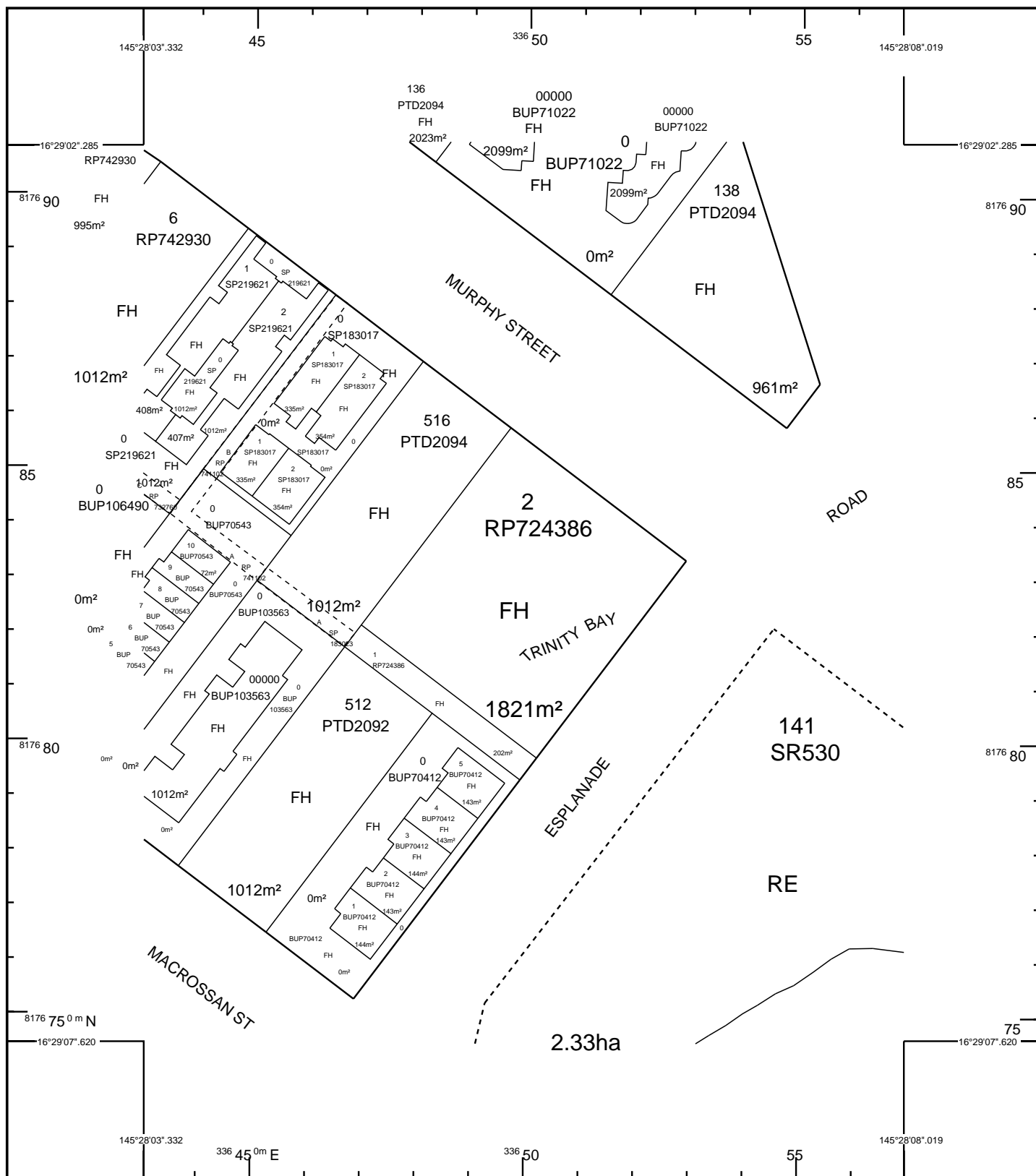
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© State of Queensland (Department of Natural Resources and Mines), 2016

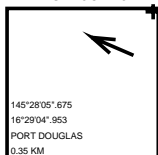
Annexure 5: SmartMap





STANDARD MAP NUMBER
7965-22232

MAP WINDOW POSITION &
NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	2/RP724386
Area/Volume	1821m ²
Tenure	FREEHOLD
Local Government	DOUGLAS SHIRE
Locality	PORT DOUGLAS
Segment/Parcel	8714/5

CLIENT SERVICE STANDARDS

PRINTED (dd/mm/yyyy) 10/11/2020

DCDB 09/11/2020

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

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For further information on SmartMap products visit
<https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

SmartMap

An External Product of
SmartMap Information Services

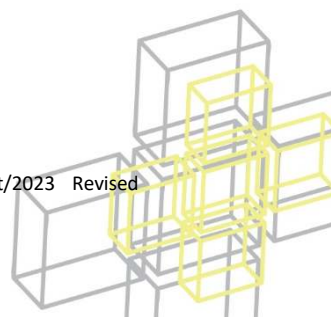
Based upon an extraction from the
Digital Cadastral Data Base



**Queensland
Government**

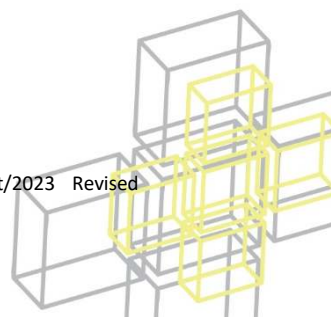
(c) The State of Queensland,
(Department of
Natural Resources,
Mines and Energy) 2020.

Annexure 6: Detail and Contour Survey Plan





Annexure 7: Planning Scheme Property Report



2018 Douglas Shire Council Planning Scheme Property Report

The following report has been automatically generated to provide a general indication of development related information applying to the premise.

For more information and to determine if the mapping layers are applicable, refer to the [2018 Douglas Shire Council Planning Scheme](#). This report is not intended to replace the need for carrying out a detailed assessment of Council and State controls or the need to seek your own professional advice on any town planning instrument, local law or other controls that may impact on the existing or intended use of the premise mentioned in this report. For further information please contact Council by phone: [07 4099 9444](tel:0740999444) or [1800 026 318](tel:1800026318) or email enquiries@douglas.qld.gov.au.

Visit Council's website to apply for an [official property search or certificate](#), or contact the [Department of Natural Resources, Mines and Energy](#) to undertake a title search to ascertain how easements may affect a premise.

Property Information

Property Address Roger Allen Land
[71-73 Murphy Street PORT DOUGLAS](#)

Lot Plan [2RP724386](#) (Freehold - 1821m²)



☒ Selected Property

☐ Easements









☐ Land Parcels

Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

 <u>Zoning</u>	Applicable Zone Tourist Accommodation	More Information <ul style="list-style-type: none"> View Section 6.2.14 Tourist Accommodation Zone Code View Section 6.2.14 Tourist Accommodation Zone Compliance table View Section 6.2.14 Tourist Accommodation Zone Assessment table
 <u>Local Plans</u>	Applicable Precinct or Area Port Douglas - Craiglie	More Information <ul style="list-style-type: none"> View Section 7.2.4 Port Douglas/Craiglie Local Plan Code View Section 7.2.4 Port Douglas/Craiglie Local Plan Compliance table
 <u>Acid Sulfate Soils</u>	Applicable Precinct or Area Acid Sulfate Soils (5-20m AHD) Acid Sulfate Soils (< 5m AHD) Acid Sulfate Soils (5-20m AHD)	More Information <ul style="list-style-type: none"> View Section 8.2.1 Acid Sulfate Soils Overlay Code View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table
 <u>Bushfire Hazard</u>	Applicable Precinct or Area Potential Impact Buffer	More Information <ul style="list-style-type: none"> View Section 8.2.2 Bushfire Hazard Overlay Code View Section 8.2.2 Bushfire Hazard Overlay Compliance table
 <u>Hillslopes</u>	Applicable Precinct or Area Area Affected by Hillslopes	More Information <ul style="list-style-type: none"> View Section 8.2.5 Hillslopes Overlay Code View Section 8.2.5 Hillslopes Overlay Compliance table
 <u>Landscape Values</u>	Scenic Buffer Area View corridor Landscape Values Coastal scenery	More Information <ul style="list-style-type: none"> View Section 8.2.6 Landscape Values Overlay Code View Section 8.2.6 Landscape Values Overlay Compliance table
 <u>Landslide</u>	Applicable Precinct or Area Landslide Hazard (High & Medium Hazard Risk)	More Information <ul style="list-style-type: none"> View Section 8.2.9 Potential Landslide Hazard Overlay Code View Section 8.2.9 Potential Landslide Hazard Overlay Compliance table
 <u>Transport Road Hierarchy</u>	Applicable Precinct or Area Access Road	More Information <ul style="list-style-type: none"> View Section 8.2.10 Transport Network Overlay Code View Section 8.2.10 Transport Network Overlay Compliance table

Zoning

Applicable Zone

Tourist Accommodation

More Information

- [View Section 6.2.14 Tourist Accommodation Zone Code](#)
- [View Section 6.2.14 Tourist Accommodation Zone Compliance table](#)
- [View Section 6.2.14 Tourist Accommodation Zone Assessment table](#)



☒ Selected Property

☐ Land Parcels

Zoning

<input type="checkbox"/> Centre	<input type="checkbox"/> Community Facilities	<input type="checkbox"/> Conservation	<input type="checkbox"/> Environmental Management
<input type="checkbox"/> Industry	<input type="checkbox"/> Low Density Residential	<input type="checkbox"/> Low-medium Density Residential	<input type="checkbox"/> Medium Density Residential
<input type="checkbox"/> Recreation and Open Space	<input type="checkbox"/> Rural	<input type="checkbox"/> Rural Residential	<input type="checkbox"/> Special Purpose
<input type="checkbox"/> Tourism	<input type="checkbox"/> Tourist Accommodation		

Local Plans

Applicable Precinct or Area

Port Douglas - Craiglie

More Information

- [View Section 7.2.4 Port Douglas/Craiglie Local Plan Code](#)
- [View Section 7.2.4 Port Douglas/Craiglie Local Plan Compliance table](#)



Selected Property

Land Parcels

Transport Investigation Corridor

LPM_FRC

Major Road Connections

Major Road Connections

Major Road Connections (No Arrow)



Daintree River to Bloomfield



Creb Track and Quaid Road

Creb Track

60 metre contour

60

Local Plan Boundary

Local Plan Map

Local Plan Sub Precincts

1d Limited Development

1a Town Centre

1e Community and Recreation

1b Waterfront North

1f Flagstaff Hill

1c Waterfront South

Local Plan Precincts

Not Part of a Precinct

Precinct 4

Precinct 8

Precinct 1

Precinct 5

Precinct 9

Precinct 2

Precinct 6

Precinct 3

Precinct 7

Live Entertainment Precinct

0

Indicative Future Open Space

LPM_FOS

Road Reserve Esplanade

Acid Sulfate Soils

Applicable Precinct or Area

Acid Sulfate Soils (5-20m AHD)
Acid Sulfate Soils (< 5m AHD)
Acid Sulfate Soils (5-20m AHD)

More Information

- [View Section 8.2.1 Acid Sulfate Soils Overlay Code](#)
- [View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table](#)



☒ Selected Property

☐ Land Parcels

Acid Sulfate Soils

☒ Acid Sulfate Soils (< 5m AHD)

☒ Acid Sulfate Soils (5-20m AHD)

☐ all others

Bushfire Hazard

Applicable Precinct or Area

Potential Impact Buffer

More Information

- [View Section 8.2.2 Bushfire Hazard Overlay Code](#)
- [View Section 8.2.2 Bushfire Hazard Overlay Compliance table](#)



☒ Selected Property

☐ Land Parcels

Bushfire_Hazard

☒ High Potential Bushfire Intensity

☐ Medium Potential Bushfire Intensity

☐ Potential Impact Buffer

☐ Very High Potential Bushfire Intensity

☐ all others

Hillslopes

Applicable Precinct or Area
Area Affected by Hillslopes

- More Information**
- [View Section 8.2.5 Hillslopes Overlay Code](#)
 - [View Section 8.2.5 Hillslopes Overlay Compliance table](#)



☒ Selected Property

☐ Land Parcels

☐ Area Affected by Hillslopes

Landscape Values

Scenic Buffer Area

View corridor

Landscape Values

Coastal scenery

More Information

- [View Section 8.2.6 Landscape Values Overlay Code](#)
- [View Section 8.2.6 Landscape Values Overlay Compliance table](#)



<p>Scenic Buffer Area</p> <p> <input type="checkbox"/> Selected Property <input type="checkbox"/> Land Parcels </p>		<p> <input checked="" type="checkbox"/> Gateway <input checked="" type="checkbox"/> Lookout <input type="checkbox"/> Scenic route <input checked="" type="checkbox"/> Scenic route buffer </p> <p> <input checked="" type="checkbox"/> View corridor <input type="checkbox"/> all others </p>			
<p>Landscape Values</p> <p> <input type="checkbox"/> Coastal scenery <input type="checkbox"/> High landscape values <input type="checkbox"/> Medium Landscape Value <input type="checkbox"/> all others </p>					

Landslide

Applicable Precinct or Area
Landslide Hazard (High & Medium Hazard Risk)

- More Information**
- [View Section 8.2.9 Potential Landslide Hazard Overlay Code](#)
 - [View Section 8.2.9 Potential Landslide Hazard Overlay Compliance table](#)



 Selected Property

 Land Parcels

 Potential Landslide Hazard

Transport Road Hierarchy

Applicable Precinct or Area

Access Road

More Information

- [View Section 8.2.10 Transport Network Overlay Code](#)
- [View Section 8.2.10 Transport Network Overlay Compliance table](#)



☒ Selected Property

☐ Land Parcels

Road Hierarchy

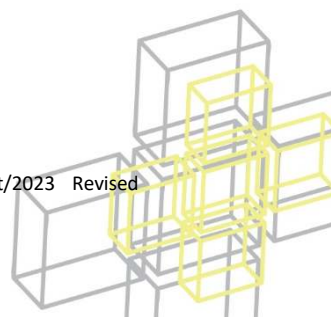
— Access Road	— Arterial Road	— Collector Road	— Industrial Road
— Major Rural Road	— Minor Rural Road	— Sub Arterial Road	— Unformed Road
— all others			

☐ Major Transport Corridor Buffer Area

Disclaimer

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Annexure 8: SDAP Mapping



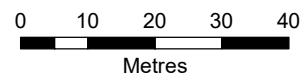


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Date: 20/10/2020



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Legend

Cadastre



Cadastre

Coastal building line



Coastal building line

Coastal management district



Coastal management district

Coastal area - erosion prone area



Coastal area - erosion prone area

Coastal area - medium storm tide inundation area



Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area



Coastal area - high storm tide inundation area



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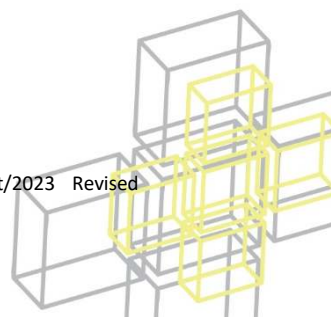
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Annexure 9: Architectural Plans





REVISED DA DRAWINGS

DRG No.	DRAWING NAME	REV ID	ISSUE DATE	STATUS
DA-01	COVER	DA_C	10/3/2023, 11:1...	
DA-02	SITE PLAN STAGE 1	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-03	SITE PLAN STAGE 2	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-04	GROUND FLOOR - STAGE 1	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-05	FIRST FLOOR - STAGE 1	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-06	SECOND FLOOR - STAGE 1	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-07	THIRD FLOOR - STAGE 1	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-08	ROOF LEVEL - STAGE 1	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-09	GROUND FLOOR - STAGE 2	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-10	ROOF LEVEL - STAGE 2	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-11	ELEVATIONS	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-12	ELEVATIONS	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-13	AREAS - STAGE 1	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-14	VISUALISATIONS	DA_C	10/3/2023, 11:1...	DA REVISED SET
DA-15	VISUALISATIONS	DA_C	10/3/2023, 11:1...	DA REVISED SET



SITE PLAN - STAGE 1
SCALE 1:200

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CLIENT Gurner TM Nominees Pty Ltd		SHEET SIZE A1	DRAWING STATUS DA REVISED SET	
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PROJECT CODE PD1	ORIGINATOR HDA	VOLUME / SYSTEM	LEVEL / LOCATION 00 DR A	DATE 10/3/2023
			DRAWING NO. DA-02	STATUS DD
				REVISION DA_C



SITE PLAN - STAGE 2
SCALE 1:200

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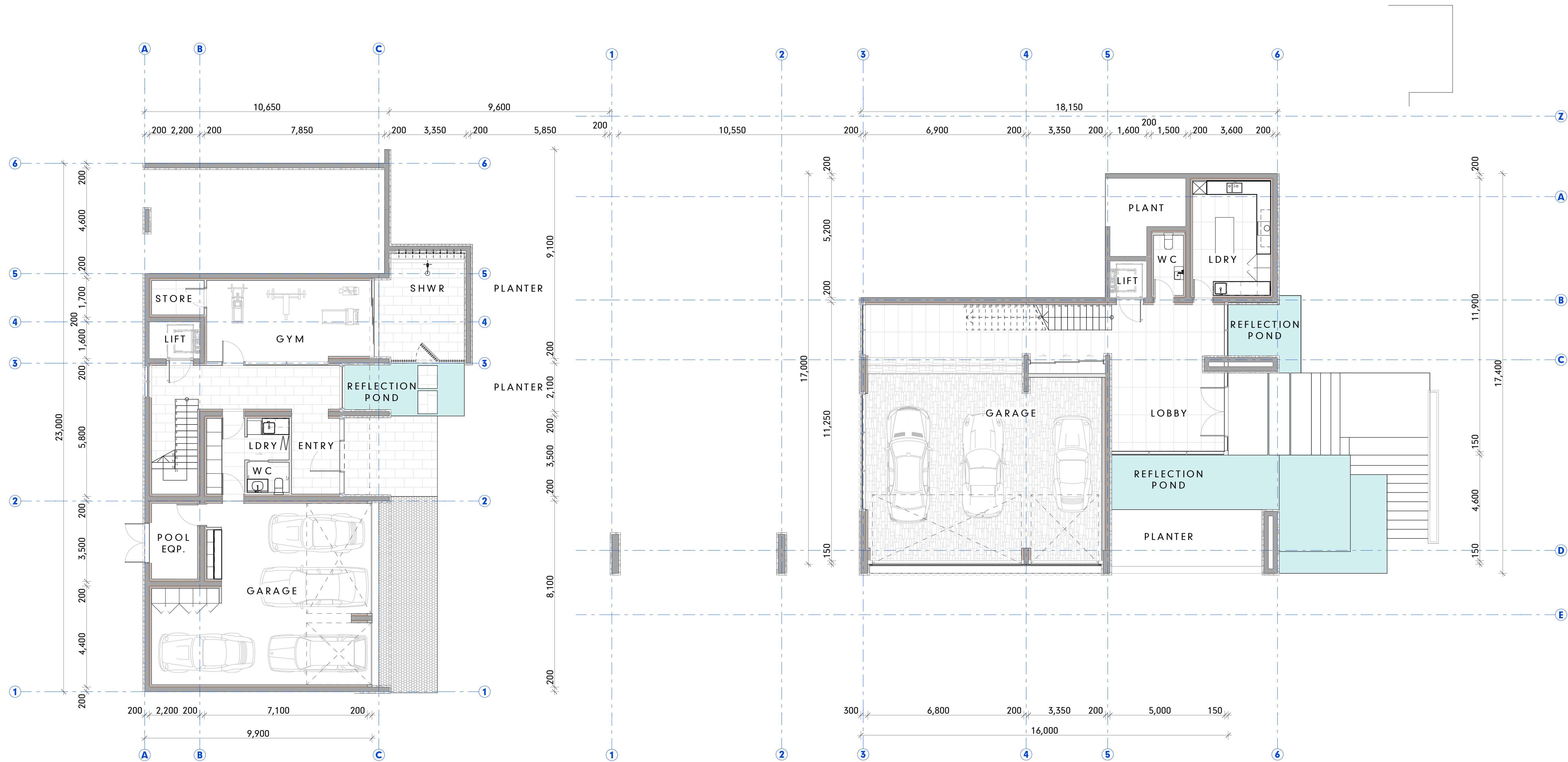
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PROJECT CODE PD1	ORIGINATOR HDA	VOLUME / SYSTEM	LEVEL / LOCATION 00 DR A	ROLE DA-03
				STATUS DD
				REVISION DA_C



GA GROUND FLOOR
SCALE:1:100

IMPORTANT NOTES

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69-73 MURPHY STREET PORT DOUGLAS

Lot 2 on RP724386

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Gurner TM Nominees Pty Ltd

CLIENT SIGN OFF

SIGNATURE

DATE

BUILDER SIGN OFF

SIGNATURE

DATE

PROJECT CODE

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ORIGINATOR

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VOLUME / SYSTEM

LEVEL / LOCATION

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ROLE

A

DRAWING NO.

DA-04

STATUS

DD

REVISION

DA_C

SCALE

1:100

DRAWN

JR; KS

CHECKED

G.H.

SHEET SIZE

A1

DRAWING STATUS

DA REVISED SET

TITLE

SET -

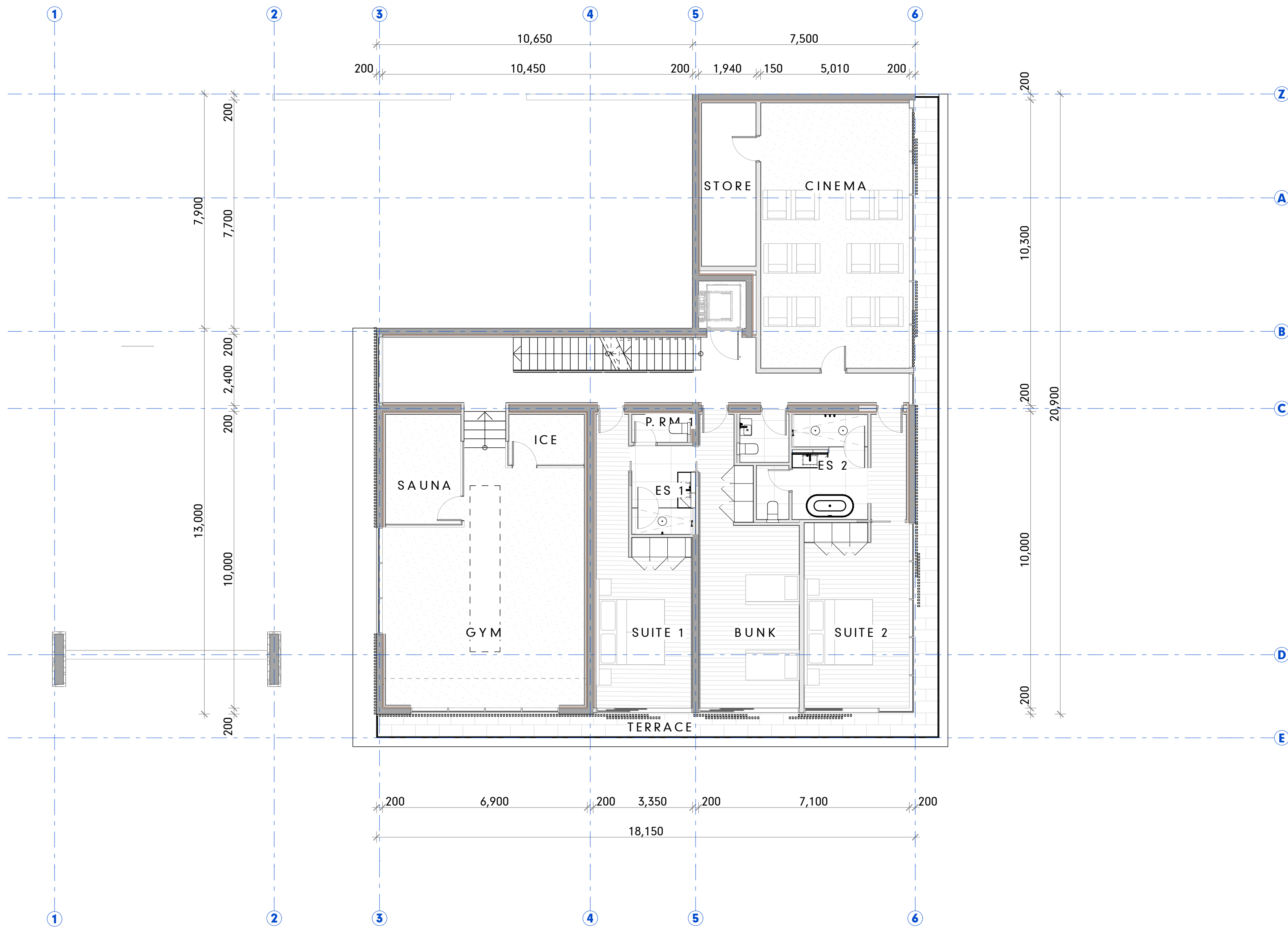
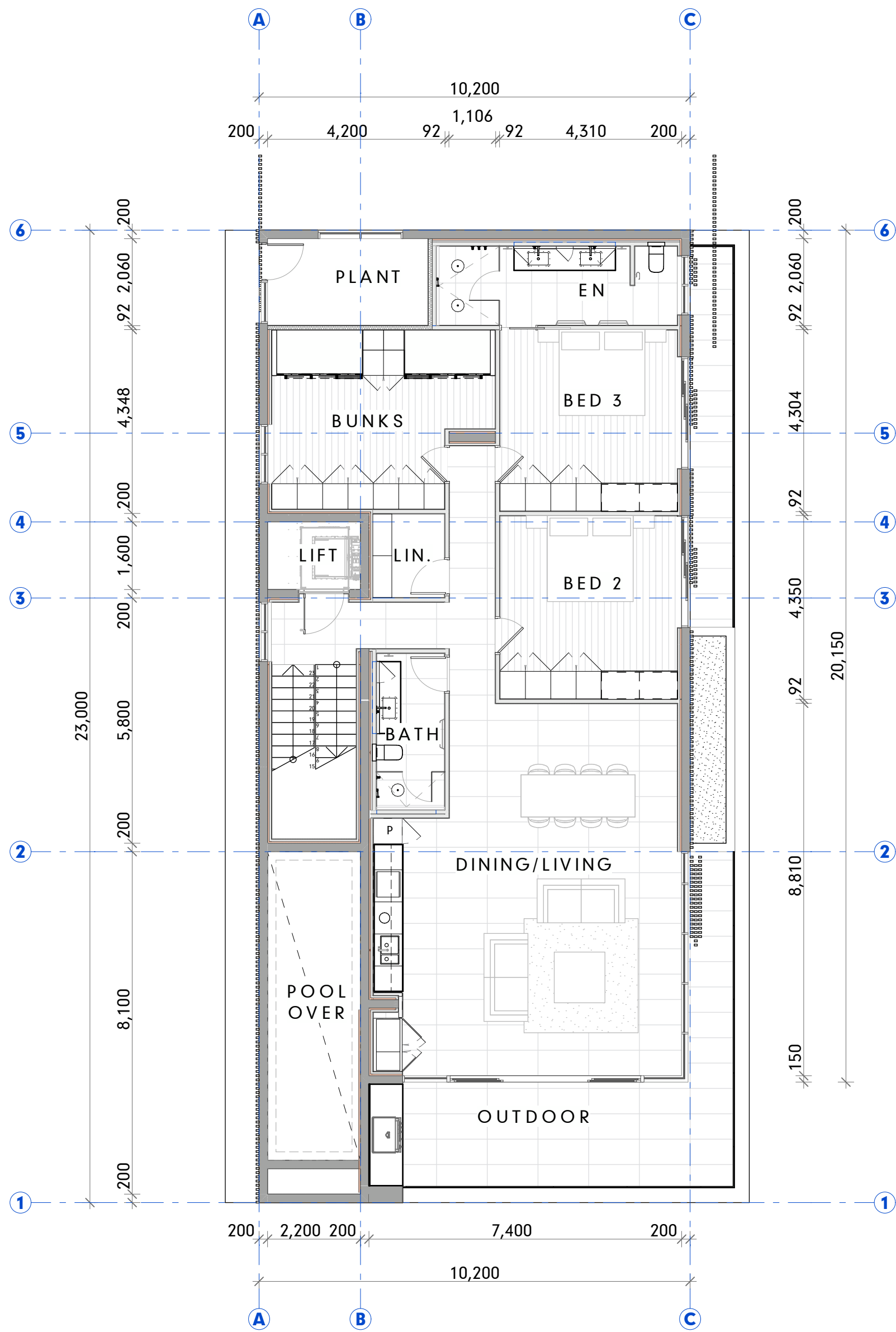
GROUND FLOOR - STAGE 1

PROJECT NO.

GUR_PD1

DATE

10/3/2023



GA LEVEL 01
SCALE:1:100

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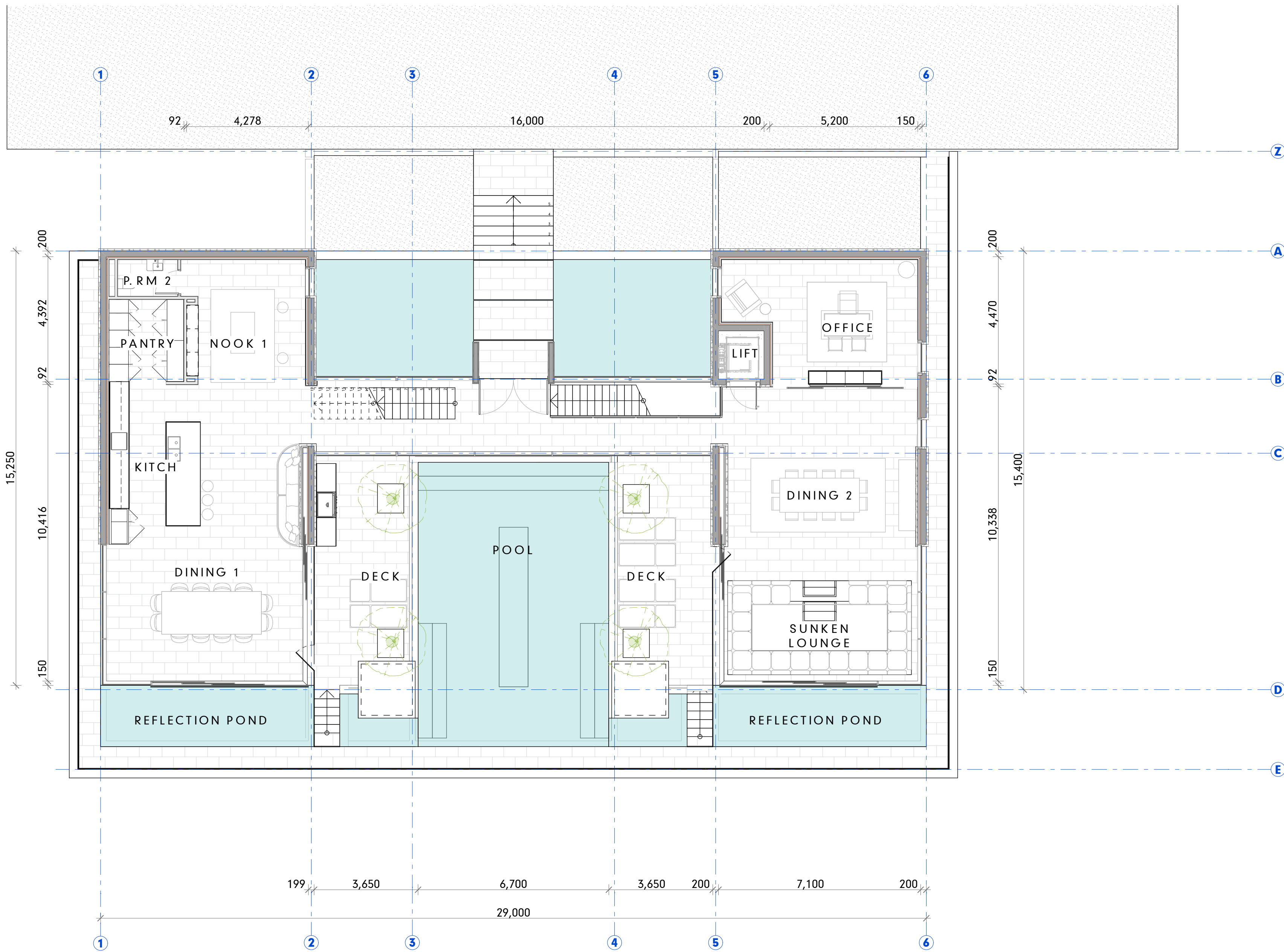
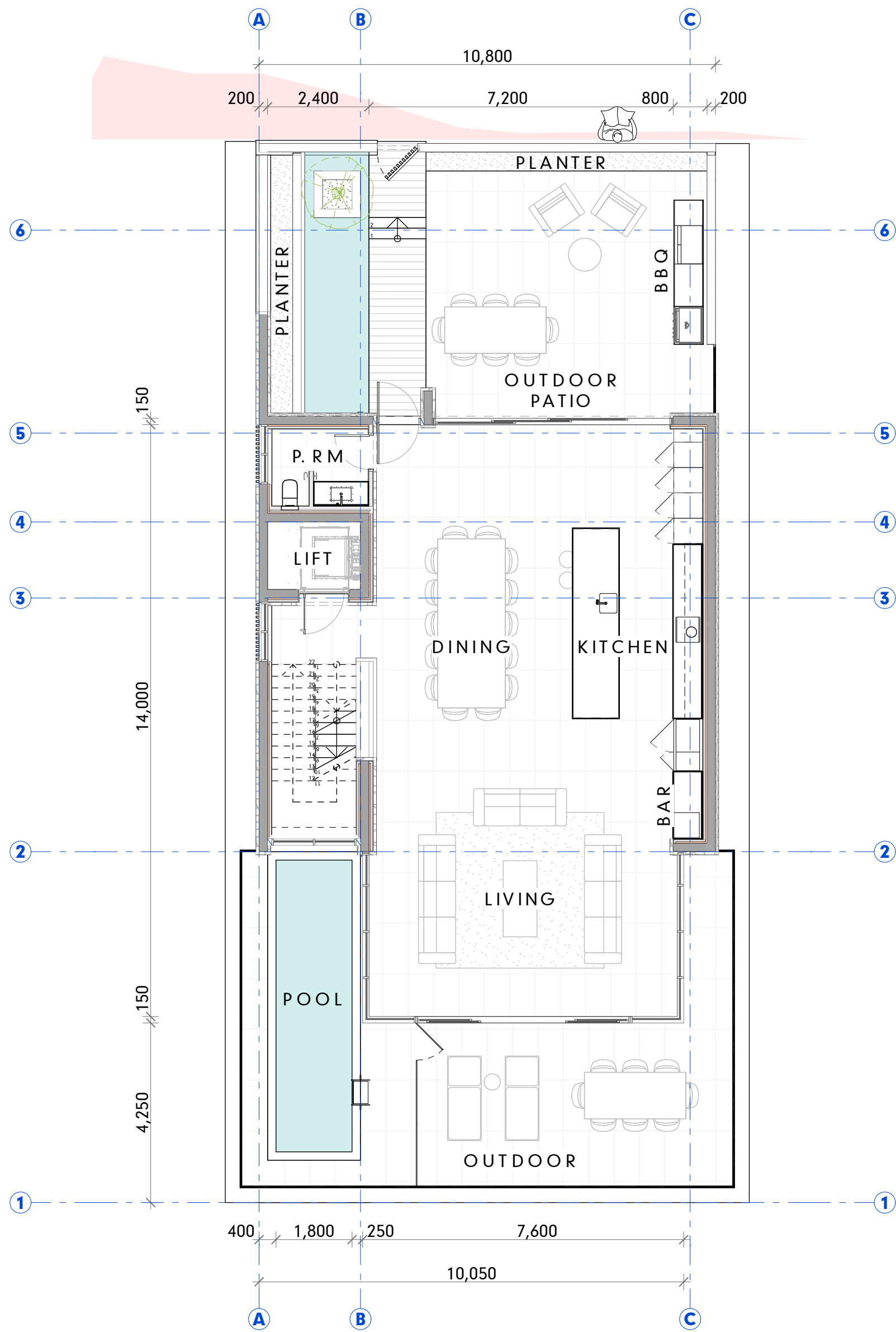
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			REVISION DA_C	



GA LEVEL 02
SCALE:1:100

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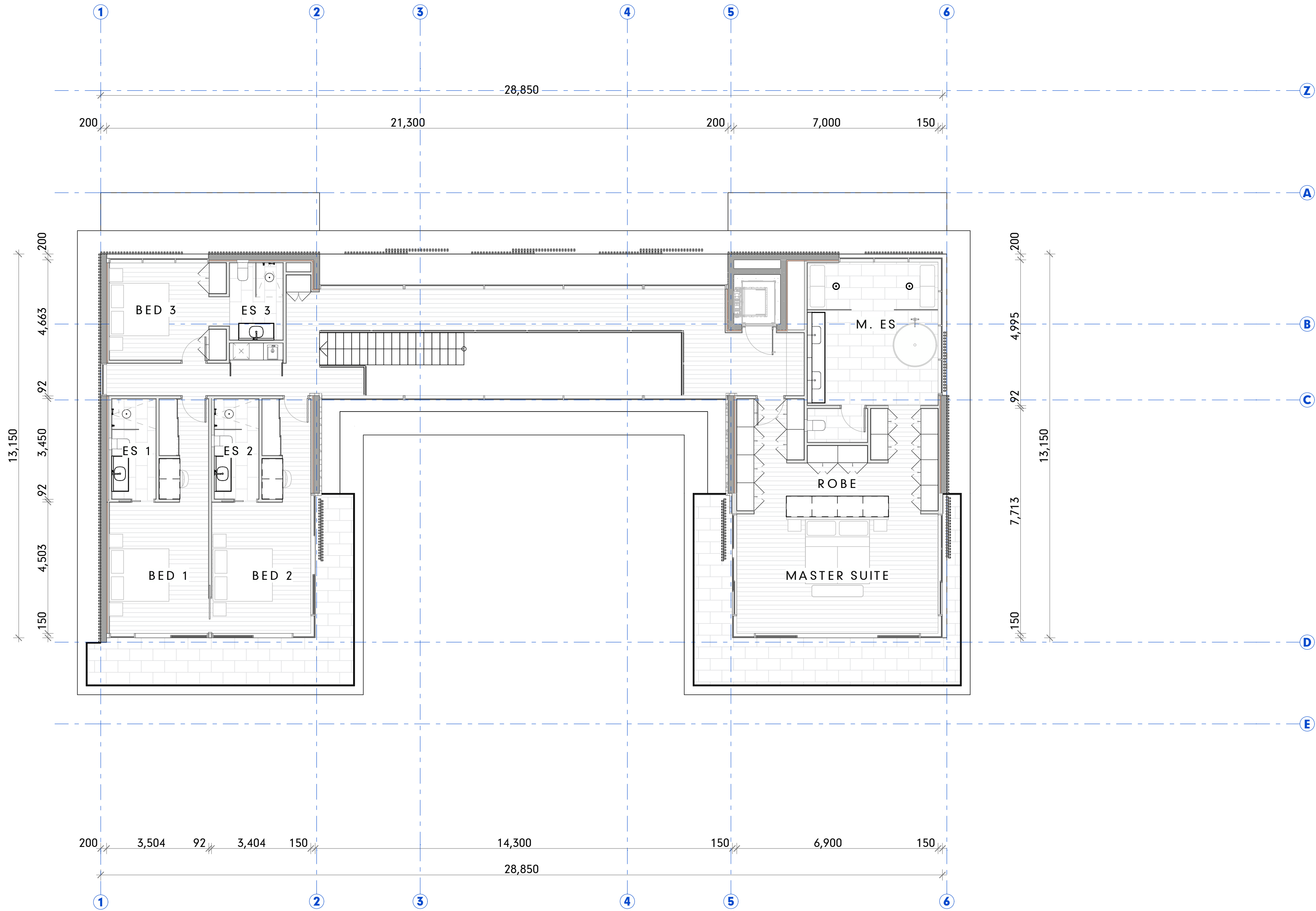
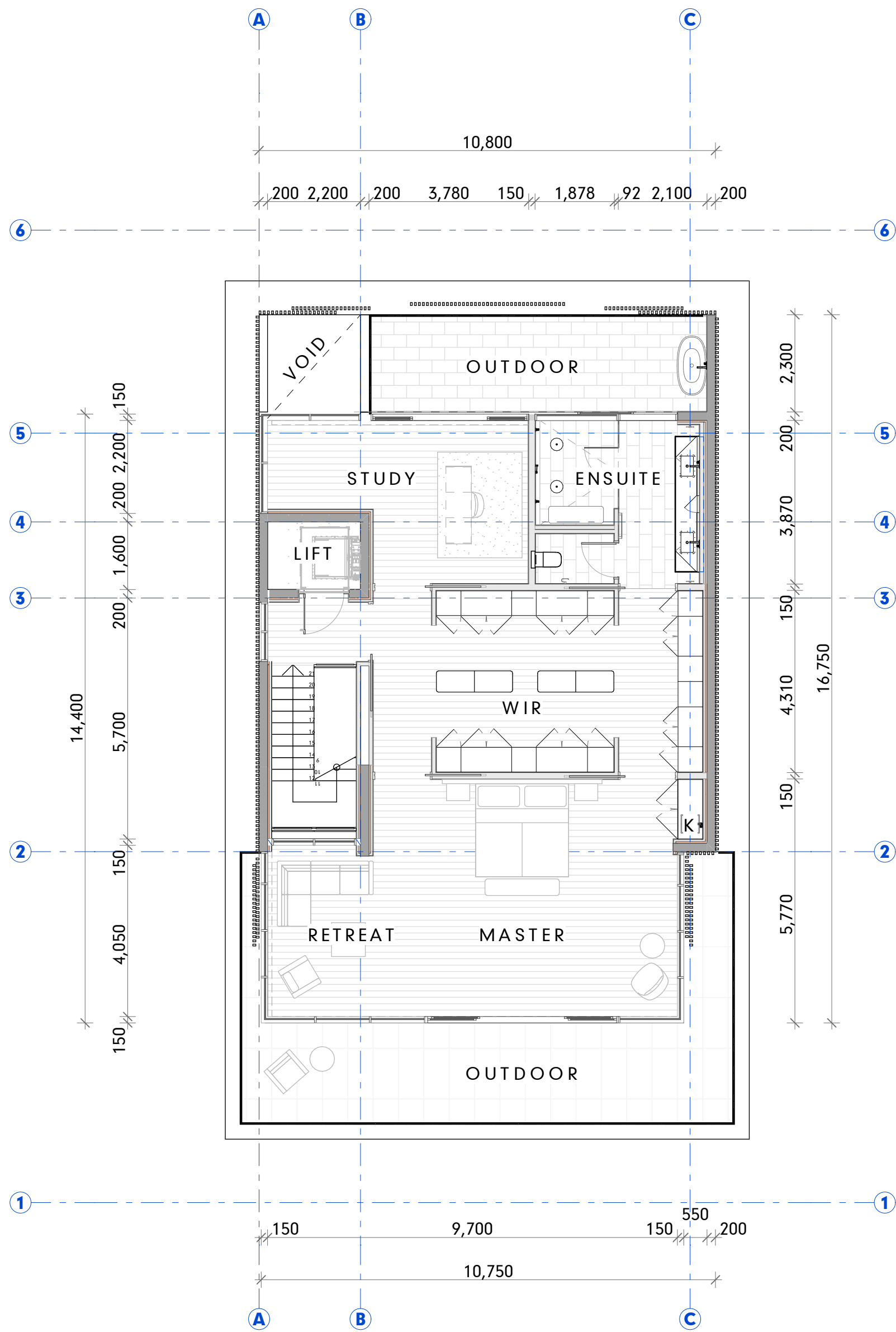
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STATUS DD		REVISION DA_C		



GA LEVEL 03
SCALE:1:100

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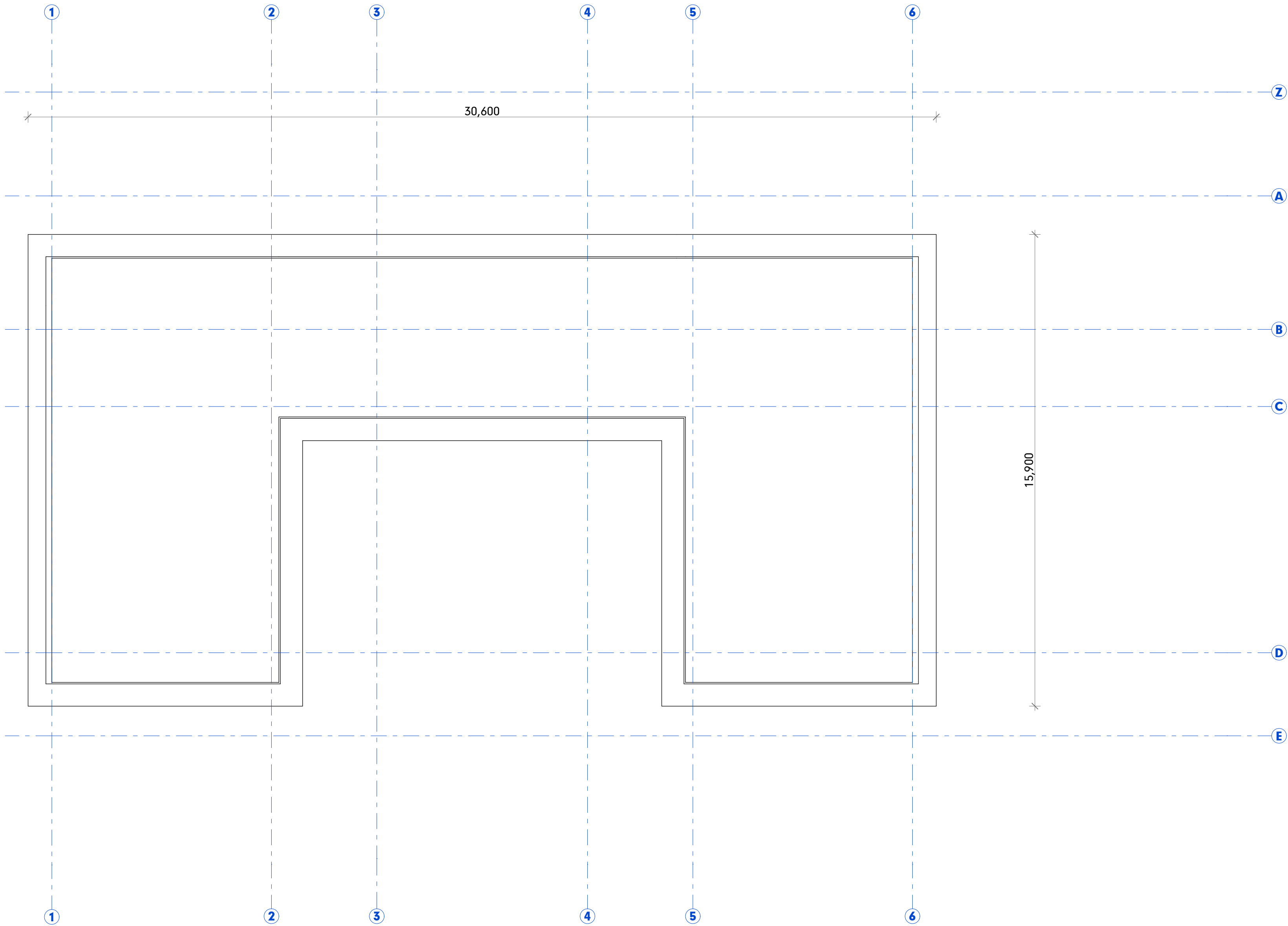
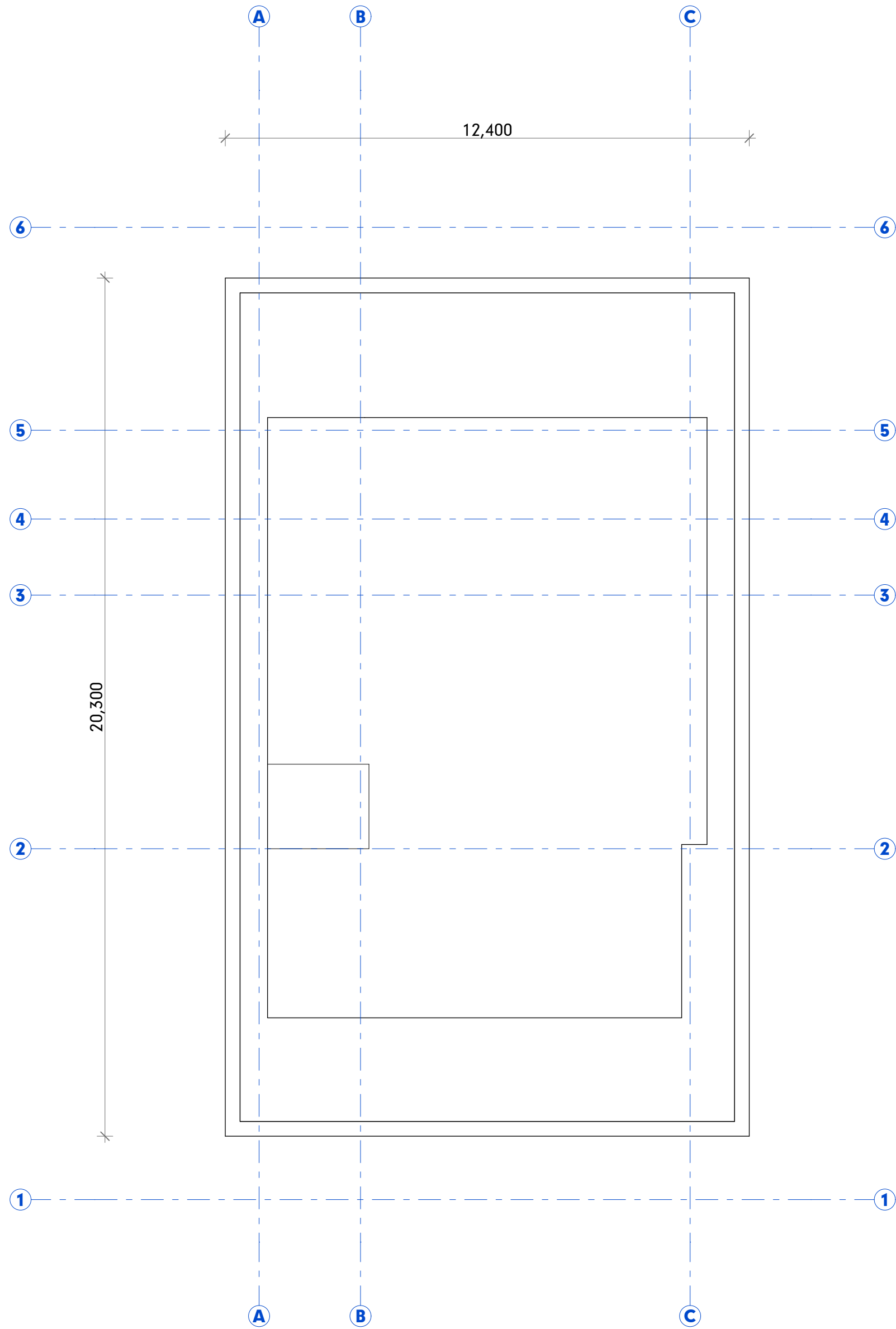
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			REVISION DA_C	



ROOF
SCALE:1:100

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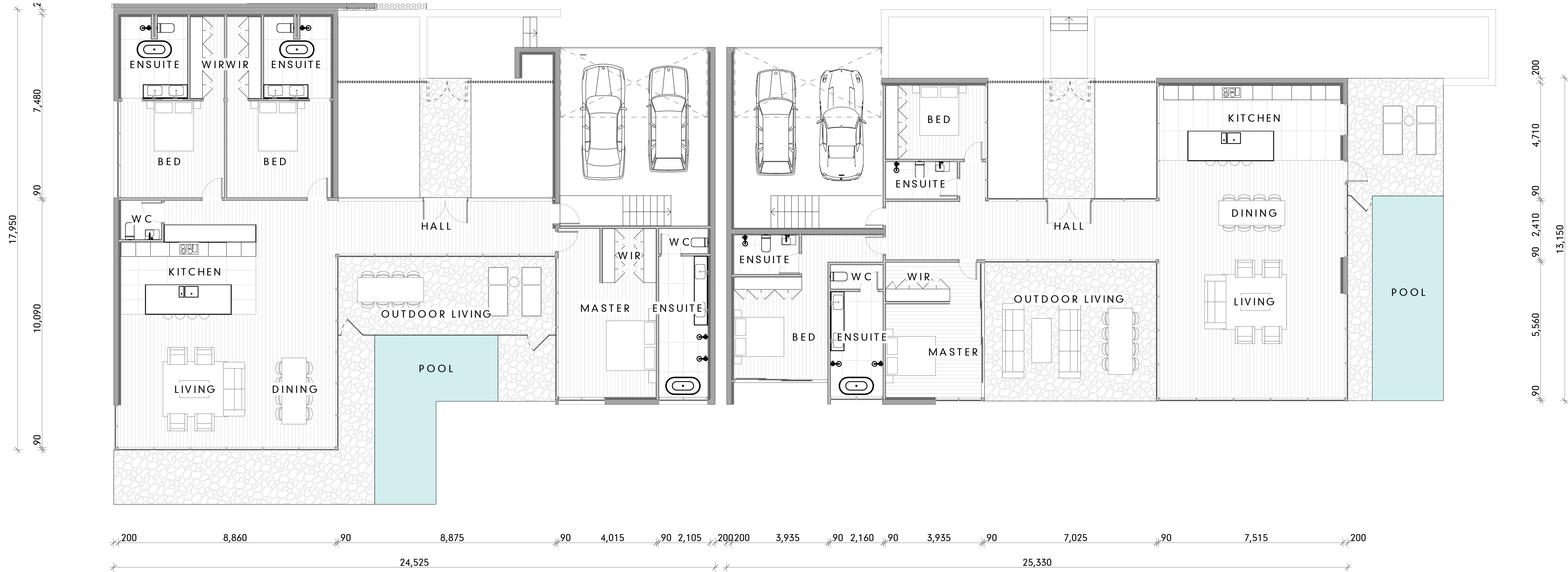
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GA GROUND FLOOR
SCALE:1:100

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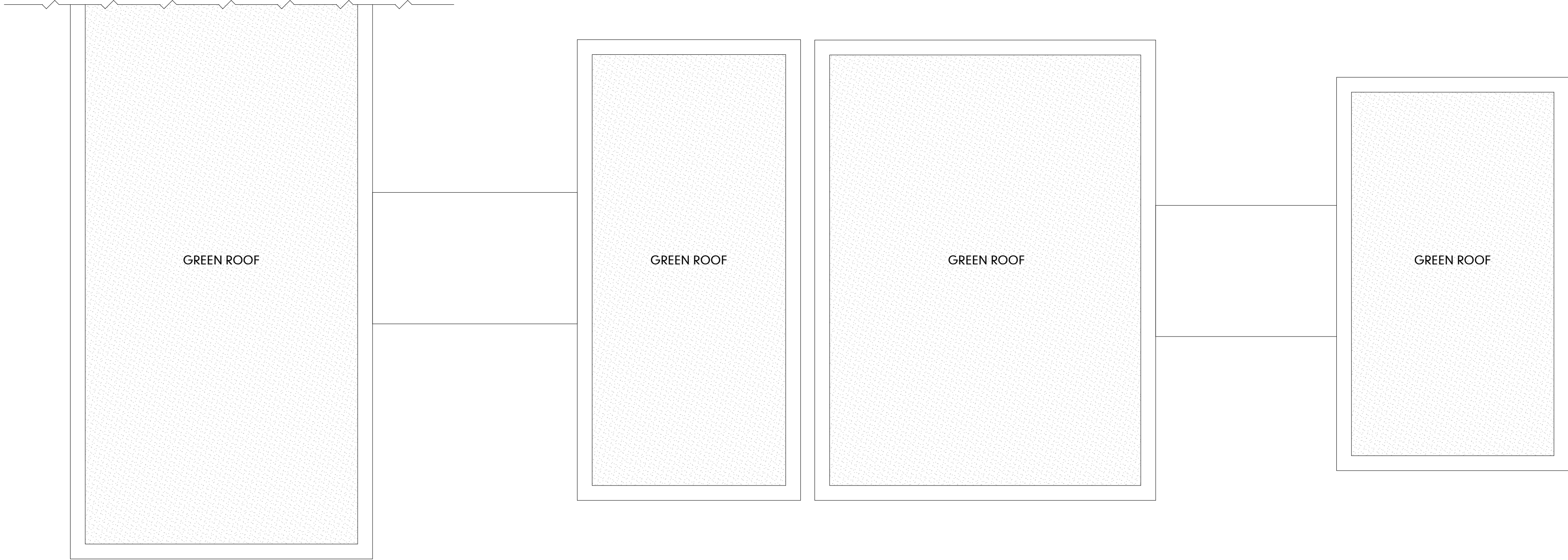
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RevID	CHID	CHANGE DESCRIPTION	DATE
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DA_C	DA_CA	DA REVISIONS	10/3/2023

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PROJECT GURNER01 - GURNER RESIDENCE 69-73 MURPHY STREET PORT DOUGLAS Lot 2 on RP724386		SCALE 1:100	DRAWN JR; KS	CHECKED G.H.
CLIENT Gurner TM Nominees Pty Ltd		SHEET SIZE A1	DRAWING STATUS DA REVISED SET	
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BUILDER SIGN OFF		SIGNATURE	DATE	PROJECT NO. GUR_PD1
PROJECT CODE PD1	ORIGINATOR HDA	VOLUME / SYSTEM	LEVEL / LOCATION 00	TYPE DR
		ROLE A	DRAWING NO. DA-09	STATUS DD
			REVISION DA_C	



ROOF

SCALE1:100

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DA_C	DA_CA	DA REVISIONS	10/3/2023

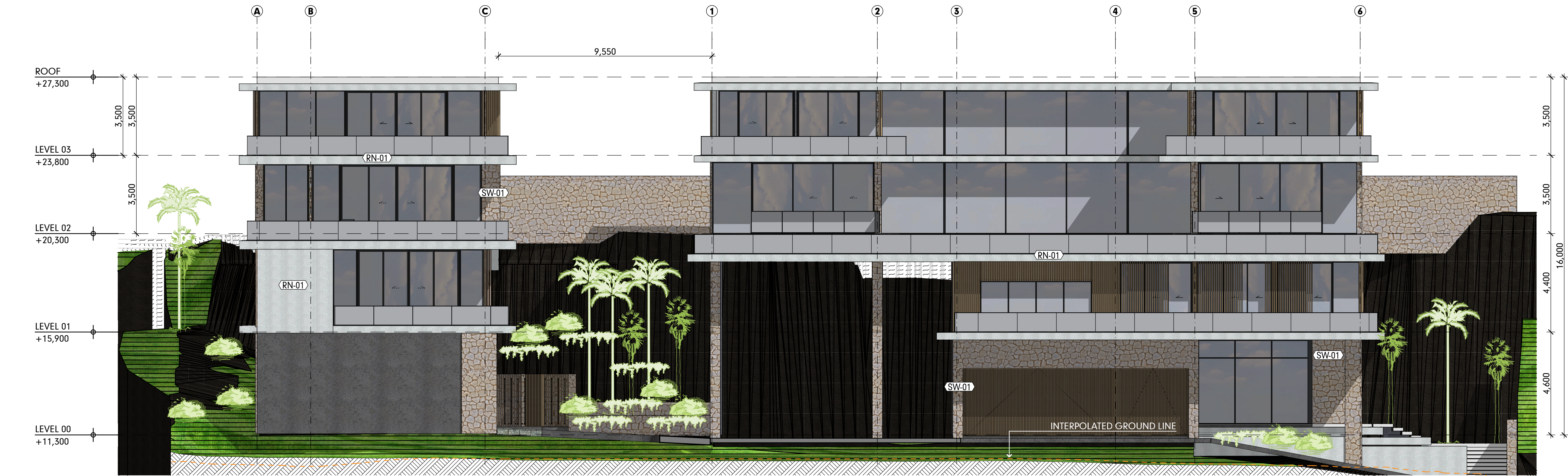
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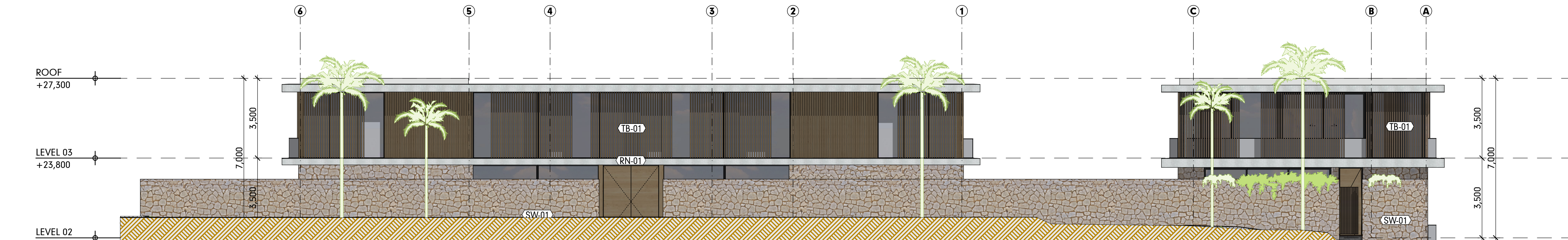
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CLIENT		SHEET SIZE	DRAWING STATUS	
Gurner TM Nominees Pty Ltd		A1	DA REVISED SET	
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PD1		HDA		00
			LEVEL / LOCATION	TYPE
			ROLE	DRAWING NO.
			STATUS	REVISION
			DD	DA_C

LEGEND FINISHES	
<div>PF-01</div>	WALL FINISH LABEL
<div>TLF-01</div>	FLOOR FINISH LABEL
RD-01	TEXTURED RENDER FINISH
R-RCK	STONE FINISH
TB-01	TIMBER BATTEN SCREENS



SOUTH ELEVATION (DWELLING 1 & 2)
SCALE:1:100

DA-E5



NORTH ELEVATION (DWELLING 1 & 2)
SCALE:1:100

DA-E6

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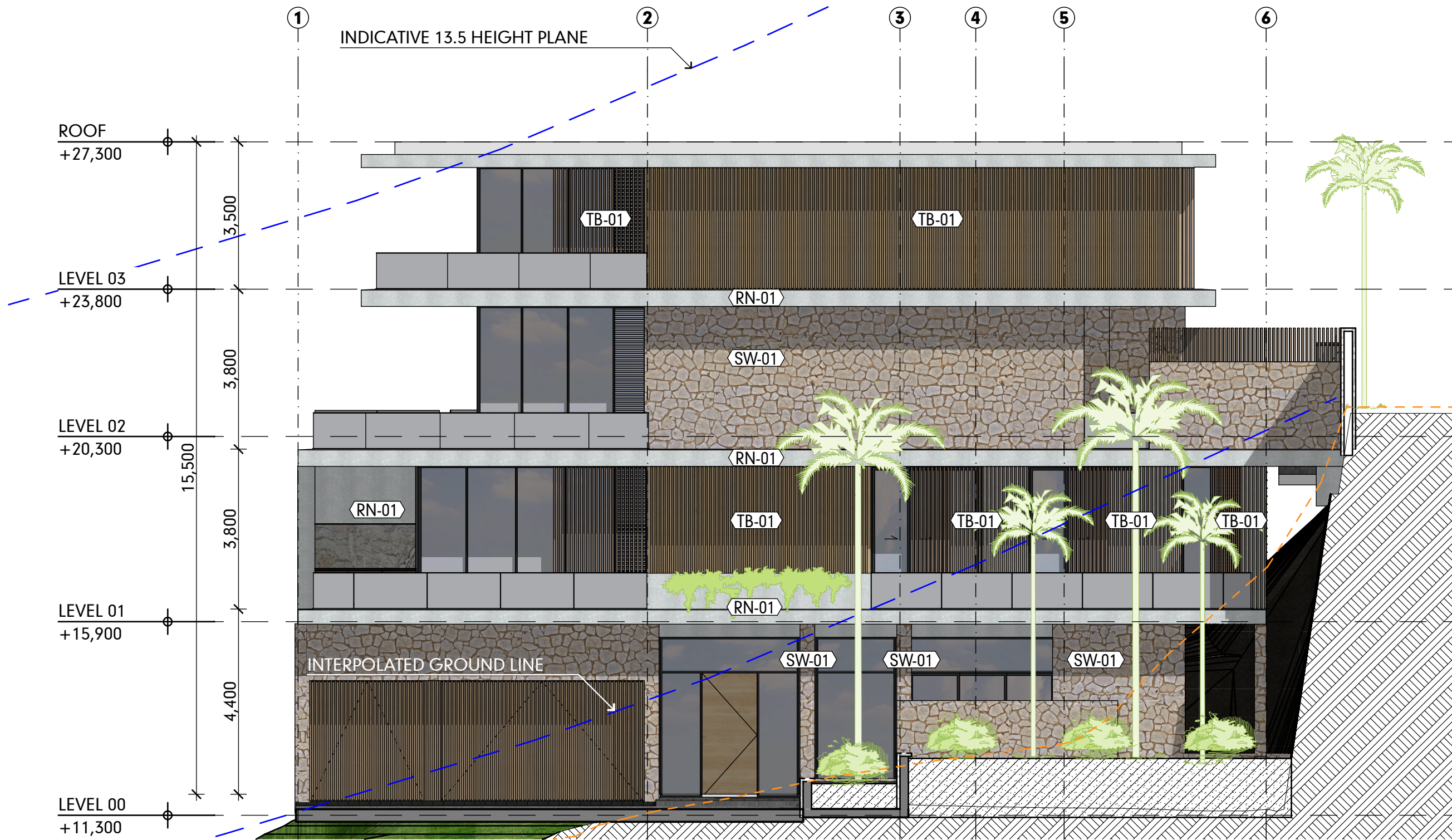
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DA_C	DA_CA	DA REVISIONS	10/3/2023

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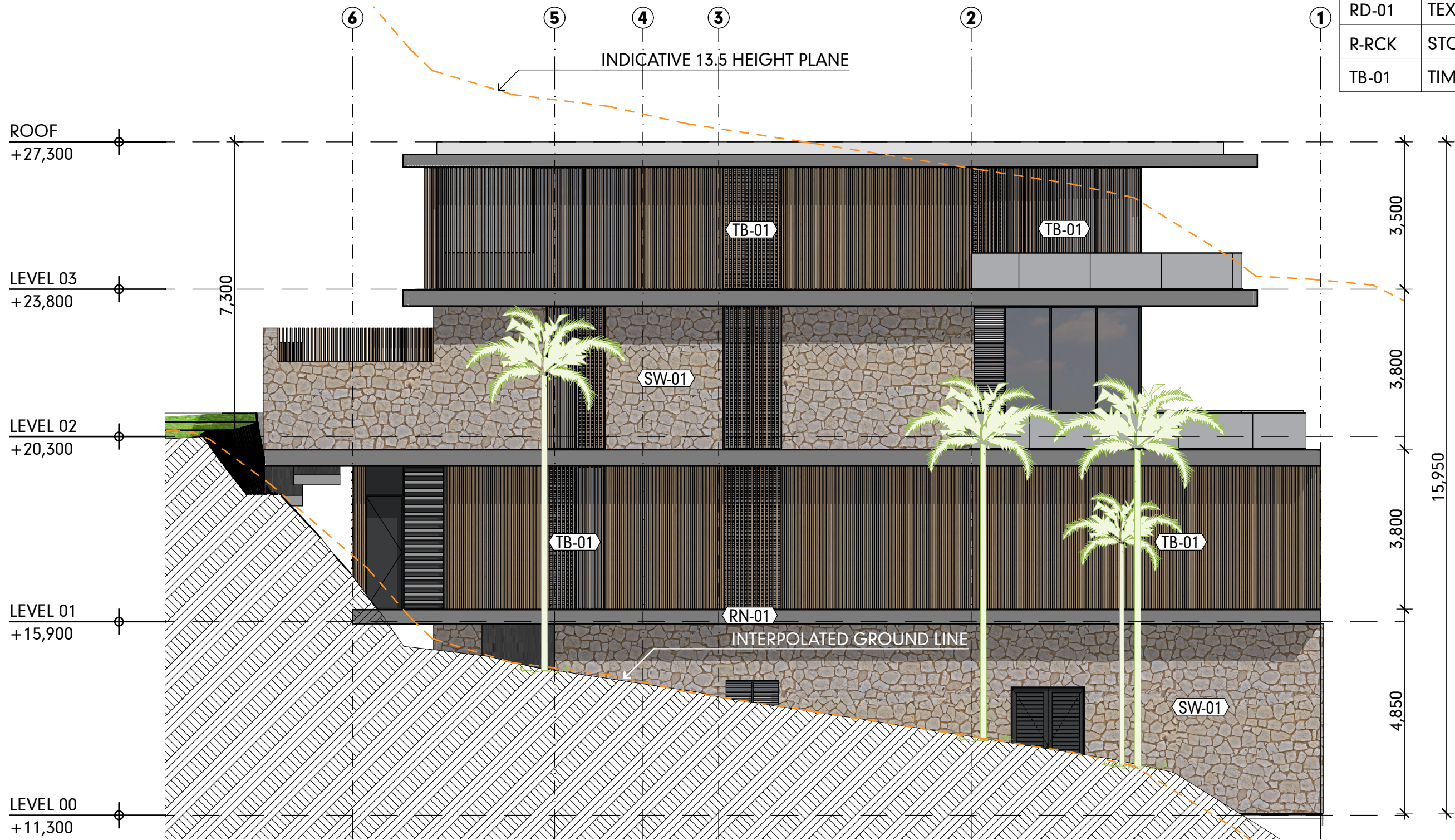
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CLIENT Gurner TM Nominees Pty Ltd		SHEET SIZE A1	DRAWING STATUS DA REVISED SET	
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PROJECT NO. GUR_PD1	LEVEL / LOCATION 00	TYPE DR	ROLE A	DRAWING NO. DA-11
STATUS DD	REVISION DA_C			



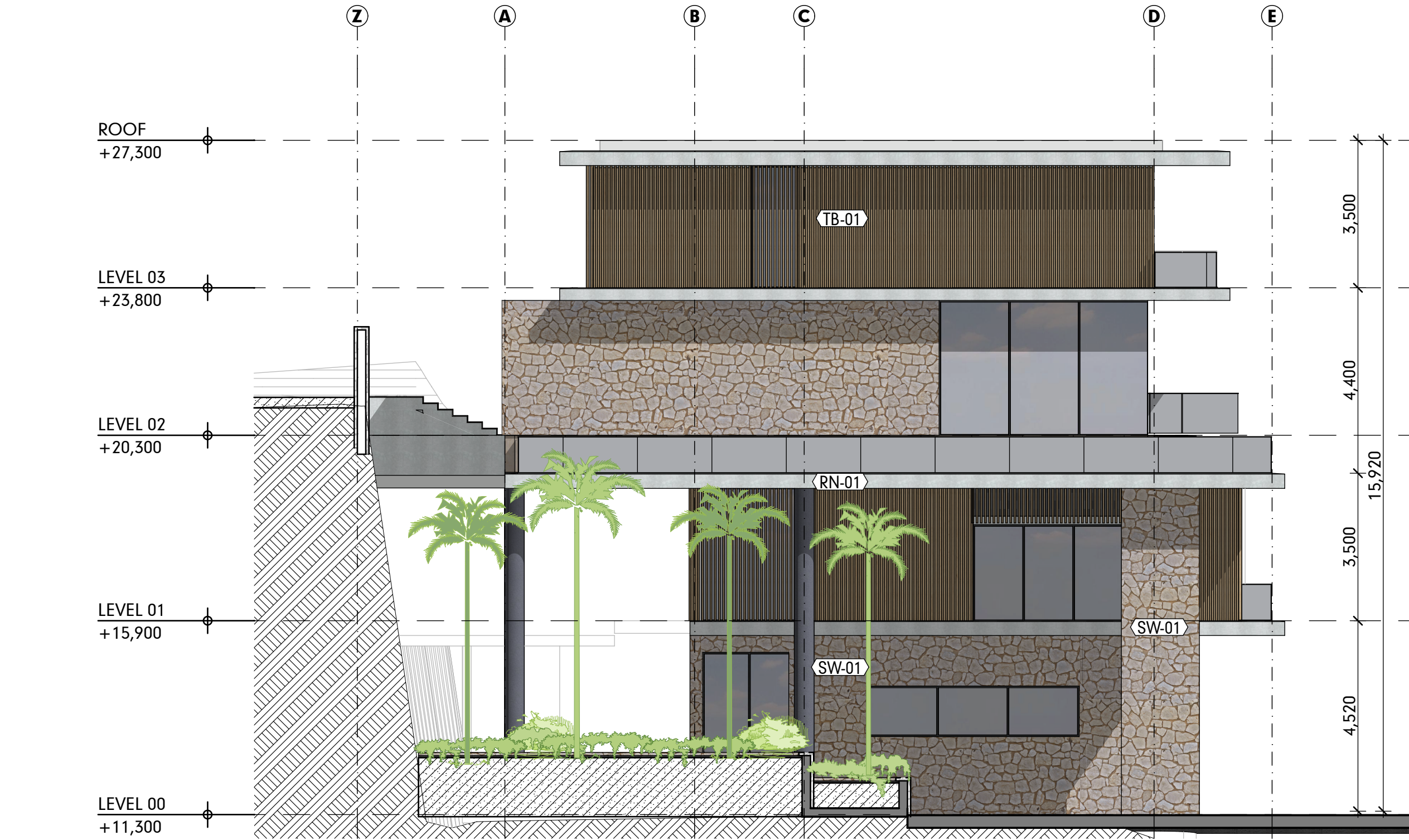
EAST ELEVATION DWELLING 2
SCALE1:100

DA-E1



WEST ELEVATION DWELLING 2
SCALE1:100

DA-E2



WEST ELEVATION DWELLING 1
SCALE1:100

DA-E3



EAST ELEVATION DWELLING 1
SCALE1:100

DA-E4

LEGEND FINISHES	
(PF-01)	WALL FINISH LABEL
(TLF-01)	FLOOR FINISH LABEL
RD-01	TEXTURED RENDER FINISH
R-RCK	STONE FINISH
TB-01	TIMBER BATTEN SCREENS

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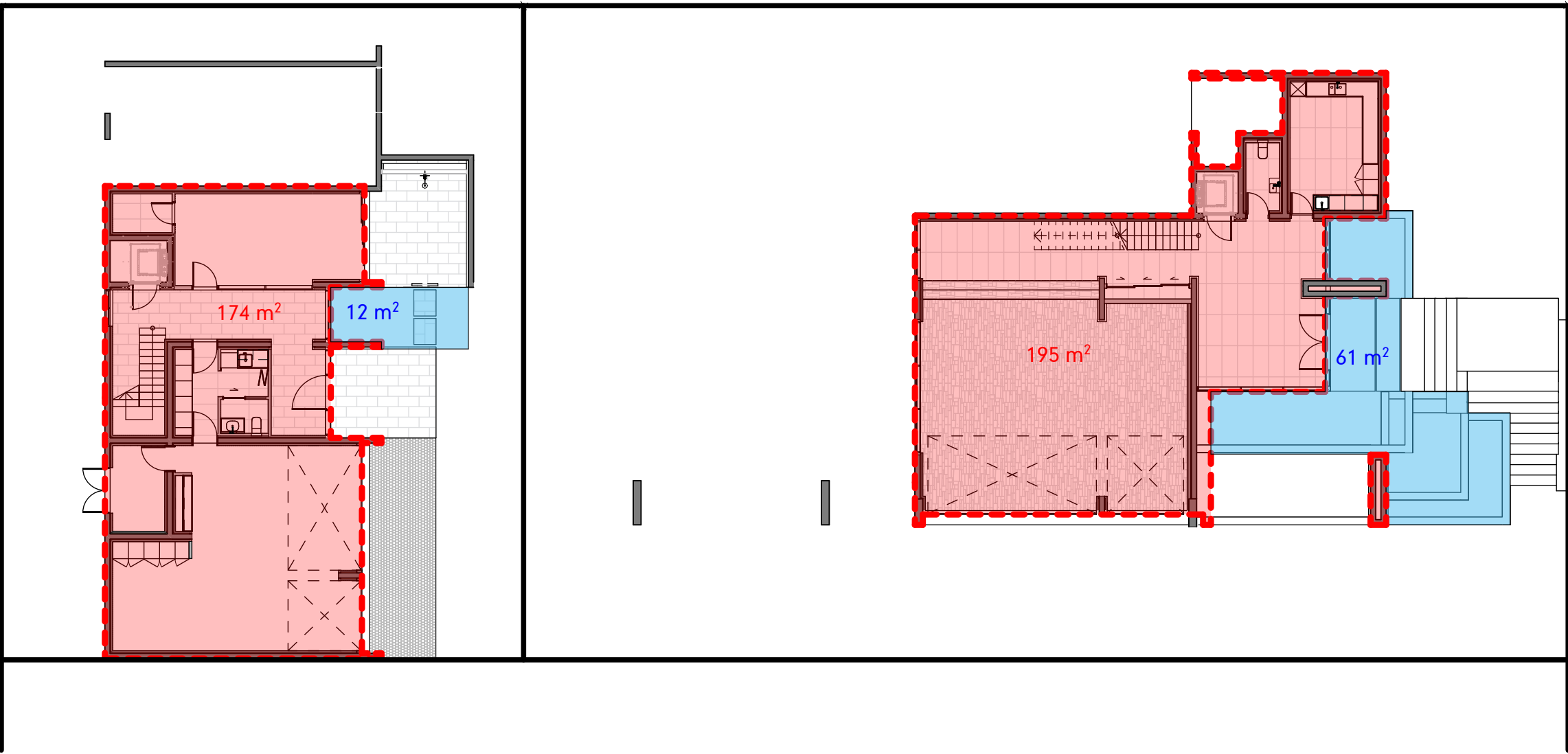
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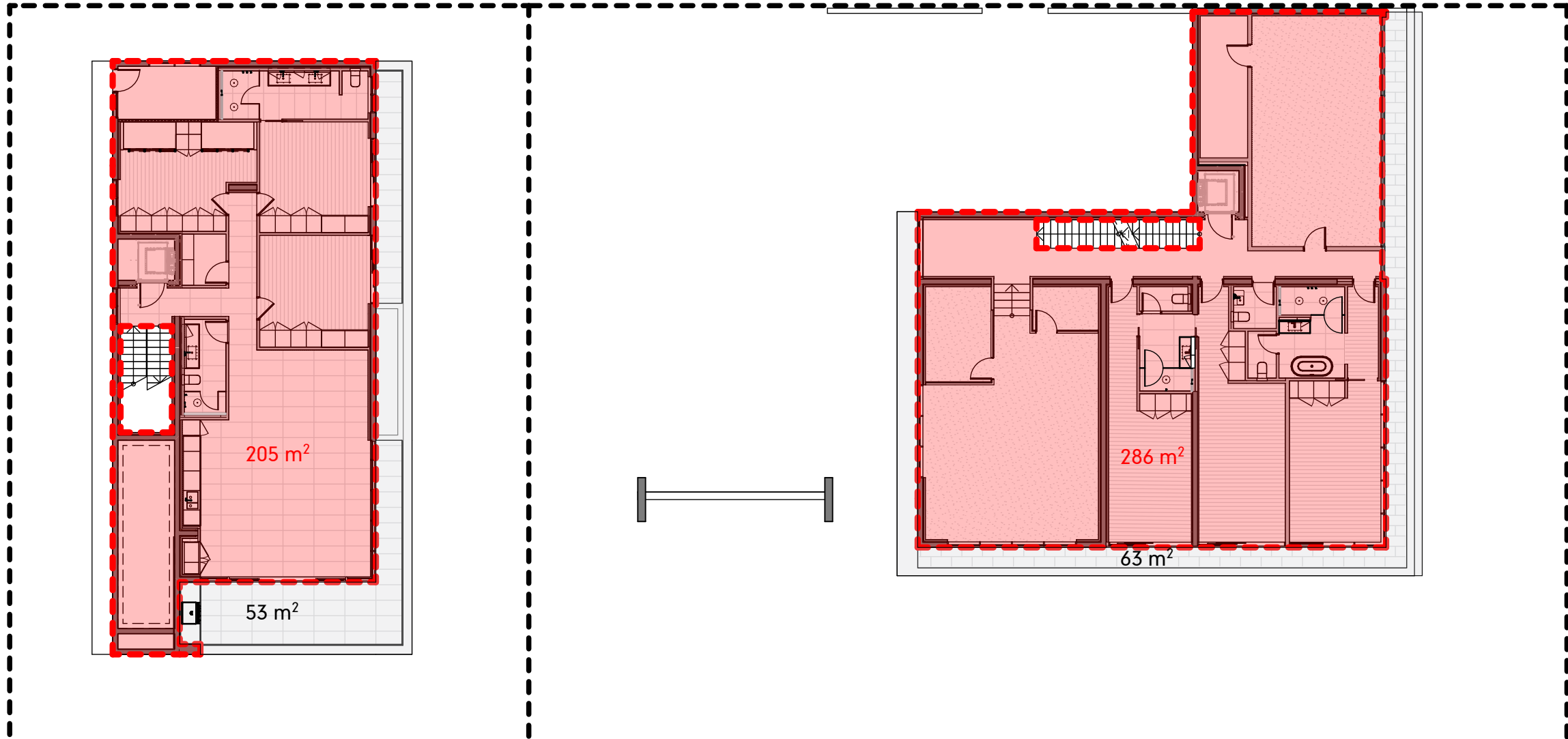
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CLIENT Gurner TM Nominees Pty Ltd			SHEET SIZE A1	DRAWING STATUS DA REVISED SET			
			TITLE SET - ELEVATIONS				
			PROJECT NO. GUR_PD1				
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BUILDER SIGN OFF SIGNATURE	DATE						
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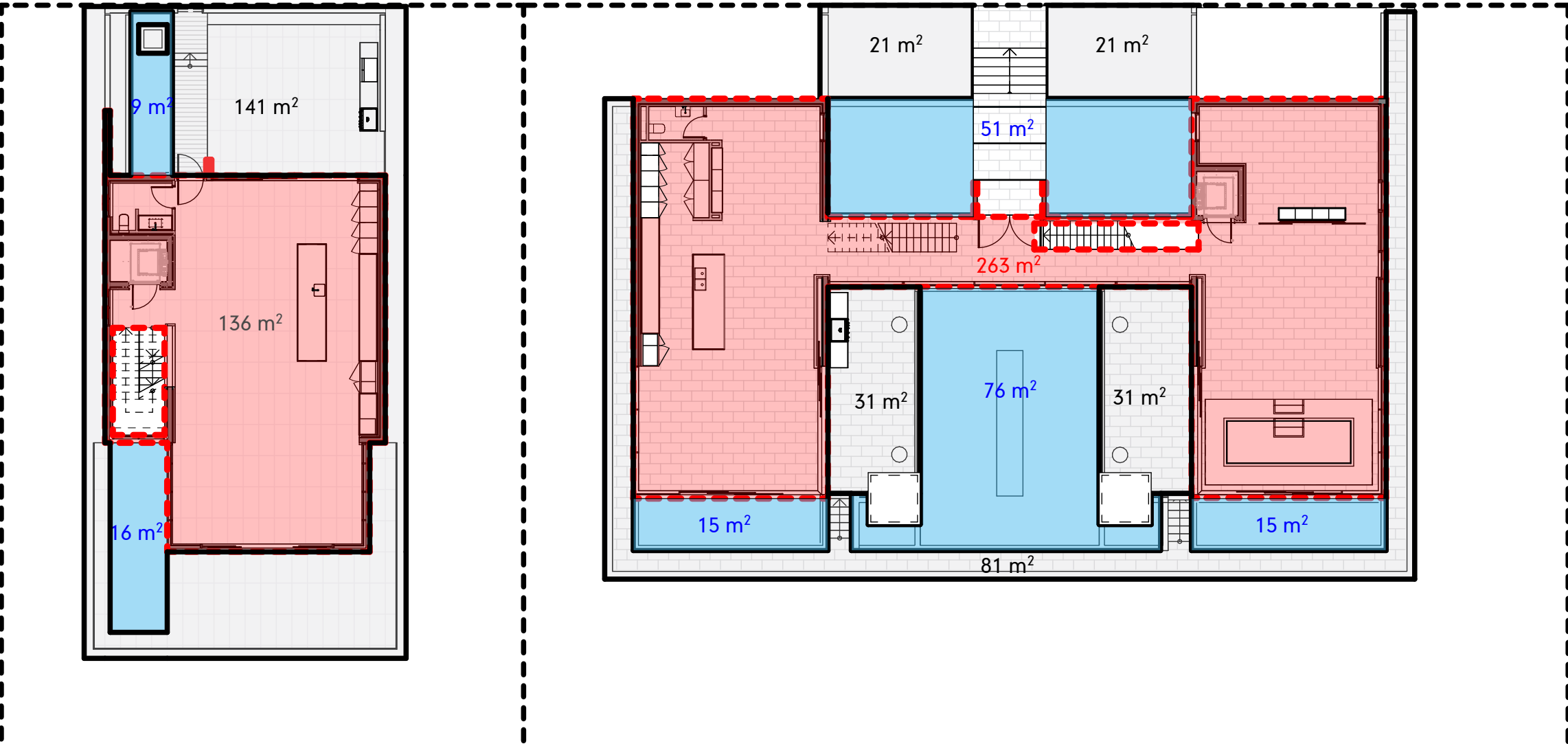
GROSS FLOOR AREA	
	AREA
DWELLING 1	976 m ²
DWELLING 2	662 m ²
TOTAL	1,638 m ²



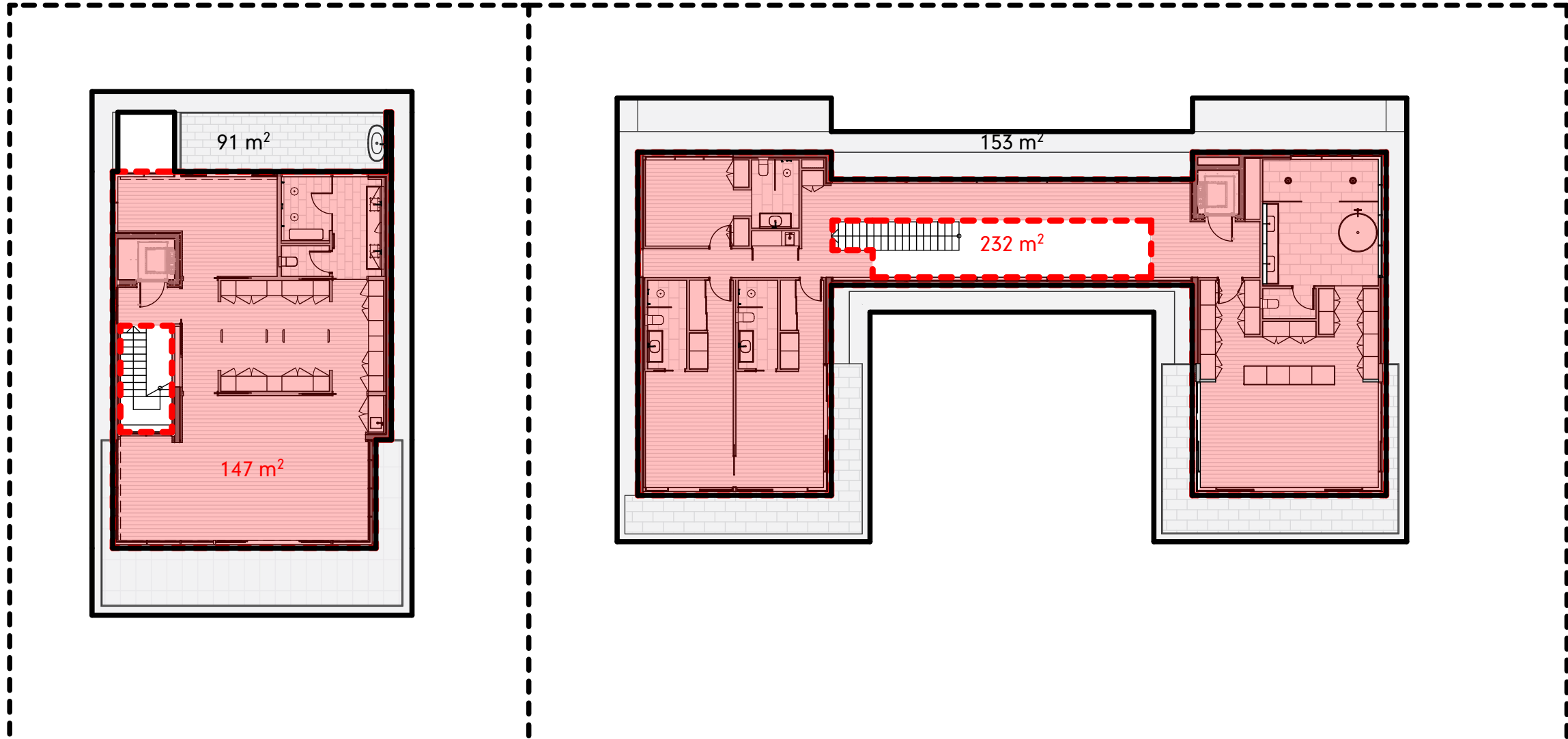
LEVEL 00
SCALE1:200



LEVEL 01
SCALE1:200



LEVEL 02
SCALE1:200



LEVEL 03
SCALE1:200

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BUILDER SIGN OFF		SIGNATURE	DATE	PROJECT NO GUR_PD1
PROJECT CODE PD1	ORIGINATOR HDA	VOLUME / SYSTEM	LEVEL / LOCATION 00 DR A	DATE 10/3/2023
			DRAWING NO. DA-13	STATUS DD
			REVISION DA_C	



TB-01 TIMBER BATTEN SCREENS

RN-01 TEXTURED RENDERED FINISH

GLZ-01 CLEAR GLAZING / LIGHT GREY

BAL-01 FRAMELESS GLAZED BALUSTRADE

R-RCK STONE CLADDING

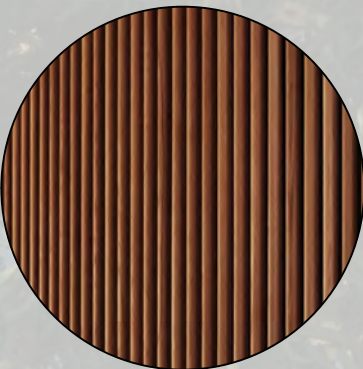
CONC-01 CONCRETE FINISH

P-01 COBBLED STONE PAVING

R-RCK



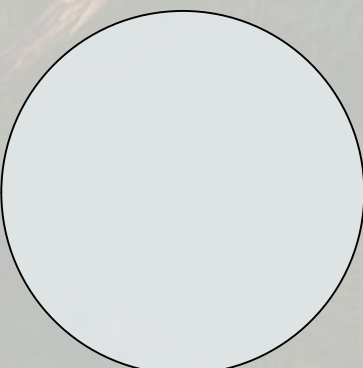
TB-01



BAL-01



GLZ-01



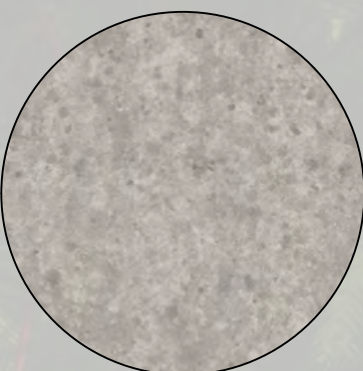
REN-01



P-01



CONC-01



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CLIENT Gurner TM Nominees Pty Ltd		DRAWING STATUS DA REVISED SET		
CLIENT SIGN OFF SIGNATURE		DATE		
BUILDER SIGN OFF SIGNATURE		DATE		
PROJECT CODE PD1		VOLUME / SYSTEM HDA	LEVEL / LOCATION 00	TYPE DR
ROLE A		DRAWING NO. DA-14	STATUS DD	REVISION DA_C



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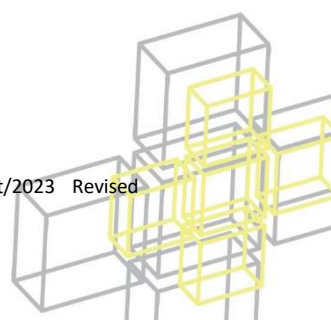
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SHEET SIZE A1		DRAWING STATUS DA REVISED SET						
CLIENT Gurner TM Nominees Pty Ltd		TITLE SET - VISUALISATIONS						
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BUILDER SIGN OFF	SIGNATURE	DATE						
PROJECT CODE PD1	ORIGINATOR HDA	VOLUME / SYSTEM	LEVEL / LOCATION 00	TYPE DR	ROLE A	DRAWING NO. DA-15	STATUS DD	REVISION DA_C

Annexure 10: Engineering Plans



DATE PLOTTED: 23 February 2023 2:06 PM BY: MTICK

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AND

PROGRESSION
DESIGN & DEVELOPMENT

GURNER TM NOMINEES PTY. LTD.
CIVIL WORKS PACKAGE

DRAWING SCHEDULE	
DRAWING NUMBER	DESCRIPTION
22031-C001	COVER PAGE & LOCALITY PLAN
22031-C002	PROJECT NOTES
22031-C003	DEMOLITION & VEGETATION CLEARING EXTENTS PLAN
22031-C004	GENERAL ARRANGEMENT PLAN
22031-C005	BULK EARTHWORKS PLAN
22031-C006	SITE SECTIONS
22031-C007	DRIVEWAY & DRAINAGE PLAN
22031-C008	DRIVEWAY SECTIONS & DETAILS
22031-C009	DRAINAGE LONGSECTIONS
22031-C010	DRAINAGE DETAILS
22031-C011	WATER & SEWER SERVICE PLAN
22031-C012	WATER & SEWER LONGSECTIONS
22031-C013	WATER & SEWER DETAILS
22031-C014	EROSION & SEDIMENTATION CONTROL STRATEGY
22031-C015	EROSION & SEDIMENTATION CONTROL DETAILS



LOCALITY PLAN
NOT TO SCALE

CAD File: E:\1. PROGRESSION\1. PROJECTS\22031 - Murphy Street, Port Douglas\CAD\22031-C001 [TITLE].dwg

A	23.02.2023	PRELIMINARY ISSUE		MT	GA
REV.	DATE	DESCRIPTION		DES.	APP.

RPEQ ENGINEER:

APPLIN — CONSULTING

M 0414 768 109 | E greg@applinconsulting.com.au

DESIGN & DOCUMENTATION:

PROGRESSION
DESIGN & DEVELOPMENT

M 0417 383 564 | E matthew@progressiondesign.com.au
www.progressiondesign.com.au

DRAWN M. TICKNER	CLIENT GURNER TM NOMINEES PTY. LTD.	STATUS PRELIMINARY	
DESIGNED M. TICKNER	PROJECT 69-73 MURPHY ST. PORT DOUGLAS	SCALE AS SHOWN	SIZE A1
APPROVED G. APPLIN	TITLE CIVIL WORKS PACKAGE COVER PAGE & LOCALITY PLAN	DRAWING NUMBER 22031-C001	REVISION A
RPEQ 6073			

GENERAL:

1. IF IN DOUBT ASK.
2. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL INFORMATION ISSUED BY THE SUPERINTENDENT DURING THE COURSE OF THE CONTRACT.
3. ALL LEVELS ARE AHD DERIVED.
4. ALL DIMENSIONS AND RADII ARE EXPRESSED IN METRES (UNO).
5. DRAWINGS SHALL NOT BE SCALED.
6. EXISTING CONTOURS, LEVELS AND FEATURES SHOWN ON THE DRAWINGS ARE INDICATIVE ONLY AND ARE BASED ON SURVEY DRAWINGS AND DATA PROVIDED.
7. ALL DIMENSIONS RELEVANT TO SETTING OUT, SURFACE LEVELS AND INVERT LEVELS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT.
8. THE CONTRACTOR SHALL ENSURE THAT ALL WORKS ARE MAINTAINED IN A SAFE AND STABLE CONDITION AND THAT ADEQUATE PROTECTION AGAINST EROSION AND SILTATION IS IN PLACE.
9. GRADE EVENLY BETWEEN LEVELS SHOWN EXCEPT WHERE LEVELS INDICATE VERTICAL CURVES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION PROTECTION AND SEDIMENT CONTROL FOR THE WORKS AS SPECIFIED AND TO THE SATISFACTION OF THE SUPERINTENDENT.
11. CONFIRM ALL EXISTING LEVELS WHERE APPROPRIATE. IF LEVELS ARE DIFFERENT TO INDICATED CONFIRM COURSE OF ACTION WITH ENGINEER.
12. ALL WORKS SHOULD COMPLY WITH AND BE UNDERTAKEN IN ACCORDANCE WITH FGNORC.
13. ALL EXISTING SERVICES SHALL BE LOCATED ON SITE AND PROTECTED FOR THE DURATION OF THE WORKS.

SITE PREPARATION AND EARTHWORKS:

1. ALL EARTHWORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS3798 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'. GEOTECHNICAL TESTING SERVICES SHALL BE AS DETERMINED BY LEVEL 1 IN ACCORDANCE WITH AS 3798. ALL CERTIFICATION AND TEST RESULTS ARE TO BE COMPILED AND PROVIDED TO THE SUPERINTENDENT PRIOR TO WORKS ACCEPTANCE.
2. NO VEGETATION SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE SUPERINTENDENT UNLESS NOTED ON THE DRAWINGS.
3. FINISHED SURFACE LEVELS SHOWN ON PROJECT DRAWINGS ARE AFTER ALL EARTHWORKS ARE COMPLETE INCLUDING TOPSOILING. ALL AREAS ARE TO BE GRADED EVENLY BETWEEN FINISHED SURFACE LEVELS UNLESS NOTED OTHERWISE.
4. DRY DENSITY RATIO AS REFERRED TO IN THESE NOTES IS THE RATIO DETERMINED IN ACCORDANCE WITH AS1289 5.4.1 OF COMPACTED DRY DENSITY IN ACCORDANCE WITH AS1289 5.3.1 OR AS1289 5.8.1 TO THE STANDARD MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH AS1289 5.1.11 (STANDARD COMPACTION).
5. STRIP ALL VEGETAL MATTER, TOPSOIL AND OTHER UNSUITABLE MATERIAL FROM AREAS TO BE EXCAVATED OR FILLED AND DISPOSE OFF SITE UNLESS ADVISED OTHERWISE.
6. EXCAVATE AS REQUIRED AND DEPOSIT EXCAVATED MATERIAL AS NECESSARY. COMPACT SURFACES EXPOSED BY STRIPPING OR EXCAVATION TO 98% DRY DENSITY RATIO TO A DEPTH OF AT LEAST 250mm. SHOULD ANY UNSUITABLE MATERIAL BE IDENTIFIED SEEK THE ADVICE OF THE SUPERINTENDENT OR CITA.
7. COMPACT FILL TO 98% DRY DENSITY RATIO IN LAYERS OF THICKNESS APPROPRIATE TO THE COMPACTION PLAN EMPLOYED BUT NOT EXCEEDING 300mm.
8. STOCKPILE SUITABLE TOPSOIL FOR RE-USE TO 1500 mm MAXIMUM HEIGHT.
9. DO NOT STOCKPILE MATERIAL AGAINST TREES. DO NOT OBSTRUCT THE FREE FLOW OF WATER.
10. NOTIFY DESIGN SUPERINTENDENT ENGINEER IF GROUND WATER ENCOUNTERED.
11. PROVIDE TEMPORARY SUPPORT TO FACES OF EXCAVATIONS AS REQUIRED.

EROSION AND SEDIMENT CONTROL NOTES:

1. REFER TO DRG. No. 22031-C014 FOR EROSION & SEDIMENTATION CONTROL STRATEGY PLAN.
2. PRIOR TO CONSTRUCTION COMMENCING, THE CONTRACTOR MUST PREPARE AN EROSION & SEDIMENT CONTROL PLAN (ESCP) TO MANAGE THE SITE DURING CONSTRUCTION.
3. THE ESCP MUST BE CONSISTENT WITH THE APPROVED EROSION & SEDIMENT CONTROL STRATEGY (ESCS) AND SHALL TAKE INTO CONSIDERATION THE CONTRACTOR'S PROPOSED CONSTRUCTION METHODOLOGY AND PROGRAM.
4. NO EARTHWORKS SHALL COMMENCE ON ANY PART OF THE SITE PRIOR TO INSTALLING APPROPRIATE ESC MEASURES DOWNSTREAM OF THE SITE AND IN ACCORDANCE WITH THE APPROVED ESC.
5. AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS AND TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION AND DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION.
6. THE IMPACT ON THE ENVIRONMENT SHALL BE MINIMISED BY OBSERVING THE FOLLOWING CONSTRUCTION PRACTICES:
 - AREAS DISTURBED BY CONSTRUCTION TRAFFIC AND PROCEDURES SHALL BE MINIMISED.
 - MINIMISE FLOW MOVEMENTS AND SPEEDS ON EXPOSED SURFACES.
 - REVEGETATION OF DISTURBED AREAS SHALL BE CARRIED OUT SOON AFTER THE COMPLETION OF TOPSOIL PLACEMENT.
 - FLOW DIVERSION SHALL BE CARRIED OUT BY EARLY INSTALLATION OF DRAINS ALONG TOPS OF BATTERS WITH APPROPRIATE SILTATION CONTROL DEVICES.
 - SEDIMENT INTERCEPTION BY THE PLACEMENT OF SUITABLE RETENTION SYSTEMS ACROSS DRAINAGE LINES AND AT INTERCEPTION POINTS FOR BOTH THE CONSTRUCTION AND STOCKPILE AREAS.
7. ALL PERMANENT AND TEMPORARY UNLINED SWALES AND DRAINS TO HAVE APPROPRIATE TEMPORARY EROSION PROTECTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF DUST EMANATING FROM THE SITE AT ALL TIMES FOR THE DURATION OF CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE CHECKED FOR DAMAGE, CLEANED OUT AND FULLY REINSTITATED AFTER EACH RAINFALL EVENT RESULTING IN RUNOFF.
10. THE INSTALLATION, REMOVAL, RELOCATION OR MODIFICATION TO EROSION AND SEDIMENT CONTROL DEVICES MAY BE MADE BY COUNCIL IF DEEMED NECESSARY AND RELEVANT.
11. EROSION AND SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE TREATMENT AREA IS SUITABLY STABILISED/VEGETATED.

ROADS & PATHWAYS NOTES:

1. NEW ROADS PATHS AND KERBS SHALL JOIN SMOOTHLY TO EXISTING WORKS. WHERE NECESSARY, EXISTING WORKS SHALL BE CUT BACK TO FORM A NEAT JOIN.
2. CONNECTIONS TO EXISTING PATHS SHALL BE SMOOTH AND NEAT. THE MAXIMUM STEP SHALL BE:
 +3mm ABOVE EXISTING &
 -0mm BELOW EXISTING
3. ALL PATHWAYS SHALL BE 2.0M WIDE (UNLESS NOTED OTHERWISE) IN ACCORDANCE WITH FNQROC STD DRG S1035. PATHWAY CROSSFALL MUST NOT EXCEED 2.5%.
4. ALL KERB PROFILES TO BE AS PER FNQROC STD DRAWING S1000 UNLESS NOTED OTHERWISE.
5. ALL KERB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FNQROC STD DRG S1016. WIDTH OF RAMP SHALL MATCH PATHWAY WIDTH.
6. ALL STREET SIGNS AND TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH FNQROC STD DRGS S1040 AND S1041.
7. PAVEMENT DESIGN STATED HEREIN IS FOR A RANGE OF SUBGRADE CBR VALUES. THE CONTRACTOR IS TO CONFIRM THE SUBGRADE CBR BY TESTING IN ACCORDANCE WITH THE SPECIFICATION. RESULTS ARE TO BE PROVIDED TO THE SUPERINTENDENT FOR FINAL PAVEMENT SELECTION.

DRAINAGE NOTES

1. ALL REINFORCED CONCRETE PIPES SHALL BE CLASS 2 UNLESS NOTED OTHERWISE. ALTERNATIVE MATERIAL TYPES SUCH AS HDPE OR FRC MAYBE USED SUBJECT TO SUPERINTENDENTS APPROVAL.
2. EXCAVATION, BEDDING AND BACKFILL FOR CONCRETE PIPES SHALL BE CARRIED OUT IN ACCORDANCE WITH FNQROC STANDARD DRAWING S1046.
3. ALL KERB INLET PITS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FNQROC STD DGR'S S1050, S1055, S1060, S1065, S1066 AND S1070.
4. ALL CAST-IN-SITU HEADWALLS SHALL BE PROVIDED IN ACCORDANCE WITH FNQROC STD DGR'S S1075, S1080, S1085, AND S1090.
5. ALL PRECAST HEADWALLS SHALL BE PROVIDED WITH CONCRETE CUT-OFF WALL IN ACCORDANCE WITH FNQROC STD DGR S1075. WHERE HEADWALL ABUTS CONCRETE LINED CHANNEL, THE CUT-OFF WALL MAYBE OMITTED SUBJECT TO APPROVAL BY THE SUPERINTENDENT.
6. SUBSOIL DRAINAGE SHALL BE PROVIDED WHERE SHOWN ON THE PROJECT DRAWINGS. DRAINS SHALL ACHIEVE A MINIMUM 0.5% GRADE. FLUSHING POINTS AND OUTLETS TO BE PROVIDED IN ACCORDANCE WITH FNQROC STD DRAWING S1095.
7. ANY STORMWATER QUALITY INTERCEPTION DEVICE SHALL BE CLEANED BY THE CONTRACTOR AND DOCKETS PROVIDED AT TIME OF OFF MAINTENANCE. ALL COSTS TO BE BOURNE BY THE CONTRACTOR.

WATER RETICULATION NOTES

1. ALL PVC AND PE PIPES SHALL BE CLASS PN16. PVC PIPES SHALL BE RUBBER RING JOINTED AND DUCTILE IRON COMPATIBLE.
2. DICL PIPES SHALL BE CLASS PN35 "TYTON" TYPE RUBBER RING JOINTED.
3. FOR MAIN TRENCHING, BENDING & ANCHORAGE DETAILS REFER FNQRCO STD DRGS S2015 & S2016. ENSURE COVER TO WATER MAINS IS 800MM MINIMUM UNDER ROADWAYS AND 600mm MINIMUM ELSEWHERE.
4. FOR MAIN CONNECTION DETAILS, REFER FNQRCO STD DRG S2020.
5. HYDRANTS OR VALVES CONSTRUCTED IN CONCRETE ARE TO HAVE A COMPRESSIBLE LAYER (ABLEFLEX) INSTALLED ON THE SURROUND, REFER FNQRCO STD DRG 2000.
6. ALL WATER MAINS SHALL BE INSTALLED ON A STANDARD 2.8M OFFSET FROM THE PROPERTY BOUNDARY UNLESS NOTED OTHERWISE ON PLANS.
7. CAIRNS REGIONAL COUNCIL MUST BE CONTACTED TO PERFORM ANY DIRECT CONNECTION OR ALTERATION TO LIVE WATER MAINS. THE CONTRACTOR SHALL LODGE WITH COUNCIL THE APPROPRIATE APPLICATION FORMS AND FEES FOR THESE WORKS TO BE COMPLETED. IT MAY BE POSSIBLE FOR SOME WORKS TO BE PERFORMED BY THE CONTRACTOR UNDER SPECIAL CIRCUMSTANCES AND SUBJECT TO APPROPRIATE CONDITIONS AGREED TO WITH COUNCIL.
8. ALL HYDRANTS AND VALVES TO BE LOCATED OPPOSITE PROPERTY BOUNDARY TRUNCATIONS AND CORNERS, UNLESS NOTED OTHERWISE ON PLANS. FOR VALVES & HYDRANT BOXES INSTALLATION DETAILS REFER FNQRCO STD DRG S2010 TO CURRENT NOTES.
9. KERB MARKER PLATES SHALL BE PROVIDED TO IDENTIFY A POSITION OF ALL VALVES AND HYDRANTS IN ACCORDANCE WITH FNQRCO STD DRG S2010 VERSION 4-2009. IN ADDITION TO KERB MARKER PLATES, HYDRANTS SHALL ALSO HAVE TEARDROP MARKERS AND BLUE RETRO-REFLECTIVE MARKERS PROVIDED ON THE ROAD PAVEMENT IN ACCORDANCE WITH FNQRCO STD DRG 2010 VERSION 4-2009.

SEWER RETICULATION NOTES

1. ALL NEW SEWER MAINS SHALL BE UNPLASTICISED PVC (PVC-U) CLASS SN8 SUITABLE FOR RUBBER RING JOINTS, UNLESS NOTED OTHERWISE.
2. ALL NEW SEWER MAINS AND MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH FNQRCG STD DRG'S S3000 AND S3015.
3. ALL SEWER MANHOLE COVERS SHALL BE CIRCULAR UNLESS NOTED OTHERWISE ON SEWER LONG SECTIONS. COVERS SHALL BE TYPE B INSIDE PROPERTIES AND TYPE C ELSEWHERE.
4. ALL SEWER MANHOLE COVER LEVELS TO BE 50MM ABOVE FINISHED SURFACE LEVEL UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL ENSURE THAT A FLAT AREA OF 1.5M RADIUS FROM THE CENTRE OF THE MANHOLE IS PROVIDED AROUND ALL MANHOLES.
6. ALL HOUSE CONNECTION BRANCHES TO NEW SEWER MAINS TO BE CONSTRUCTED IN ACCORDANCE WITH FNQRCG STD DRG S3005. BRANCHES SHALL BE CLEARLY MARKED IN ACCORDANCE WITH THE SPECIFICATION.
7. CAIRNS REGIONAL COUNCIL MUST BE CONTACTED TO PERFORM ANY DIRECT CONNECTION TO LIVE SEWER MAINS. THE CONTRACTOR SHALL LODGE WITH COUNCIL THE APPROPRIATE APPLICATION FORMS AND FEES FOR THESE WORKS TO BE COMPLETED. IT MAY BE POSSIBLE FOR SOME WORKS TO BE PERFORMED BY THE CONTRACTOR UNDER SPECIAL CIRCUMSTANCES AND SUBJECT TO APPROPRIATE CONDITIONS AGREED TO WITH COUNCIL.
8. THE CONTRACTOR SHALL CARRY OUT A CCTV INSPECTION THROUGH ALL SEWERS CONSTRUCTED AS PART OF THIS DEVELOPMENT AND PROVIDE THE FOOTAGE TO THE SUPERINTENDENT FOR ASSESSMENT. ANY SECTIONS OF SEWER CONSIDERED SUB-STANDARD SHALL BE RECTIFIED TO THE SATISFACTION OF COUNCIL.

SITE SPECIFIC NOTES

A	23.02.2023	PRELIMINARY ISSUE			MT
REV.	DATE	DESCRIPTION			GA
				DES.	APP.

RPEQ ENGINEER:

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DESIGN & DOCUMENTATION:

PROGRESSION

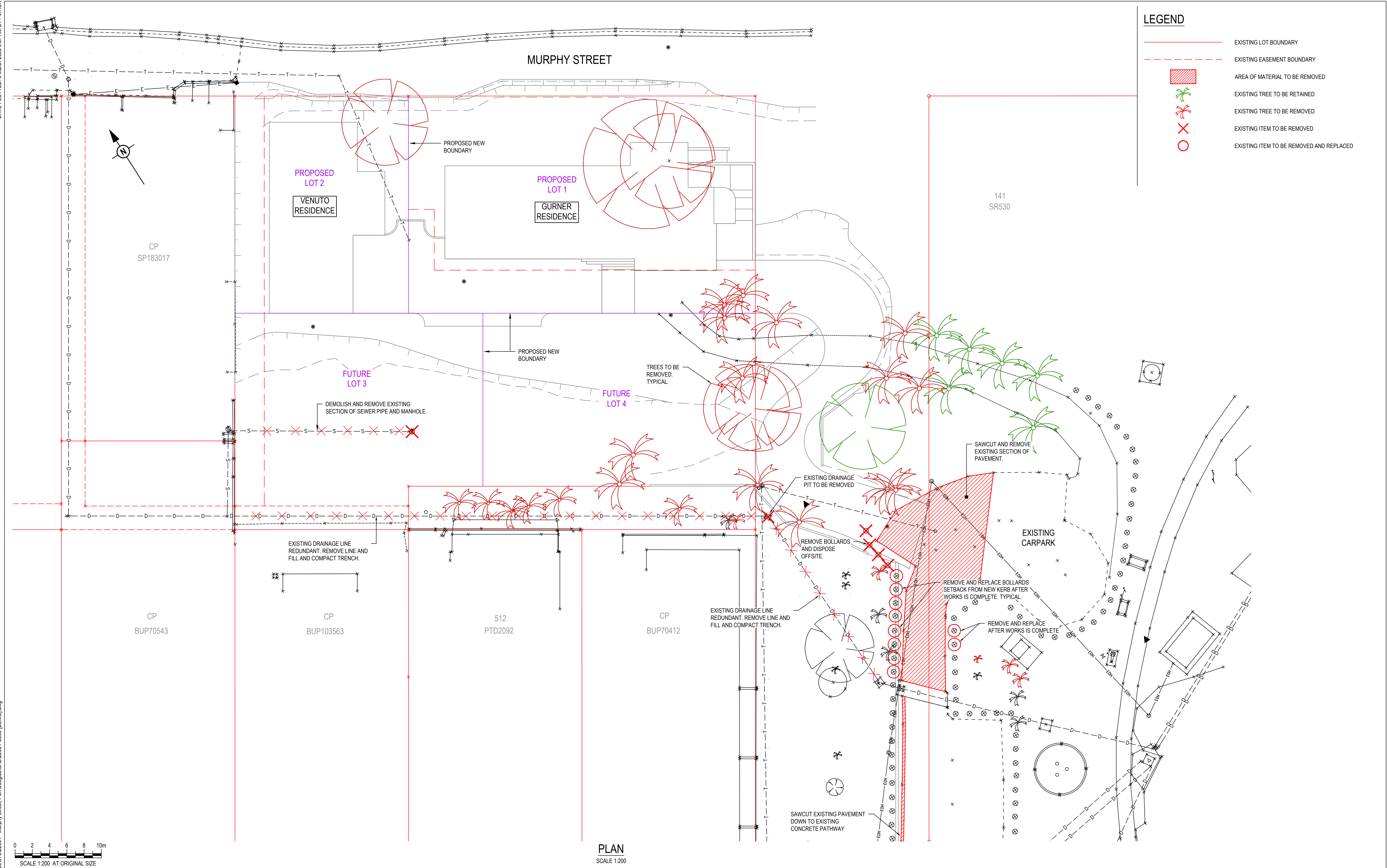
DESIGN & DEVELOPMENT

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DRAWN M. TICKNER		CLIENT GURNER TM NOMINEES PTY. LTD.		
DESIGNED M. TICKNER		PROJECT 69-73 MURPHY ST. PORT DOUGLAS		STATUS PRELIMINARY
APPROVED G. APPLIN		TITLE CIVIL WORKS PACKAGE PROJECT NOTES		SCALE AS SHOWN SIZE A1
DATE RPEQ 6073		DRAWING NUMBER 22031-C002		
		REVISION A		

DATE PLOTTED: 9 March 2023 9:37 AM BY: MTICK

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REV.	DATE	DESCRIPTION	DES.	APP.
B	09.03.2023	ENTRANCE AMENDED	MT	GA
A	23.02.2023	PRELIMINARY ISSUE	MT	GA

RPEQ ENGINEER:

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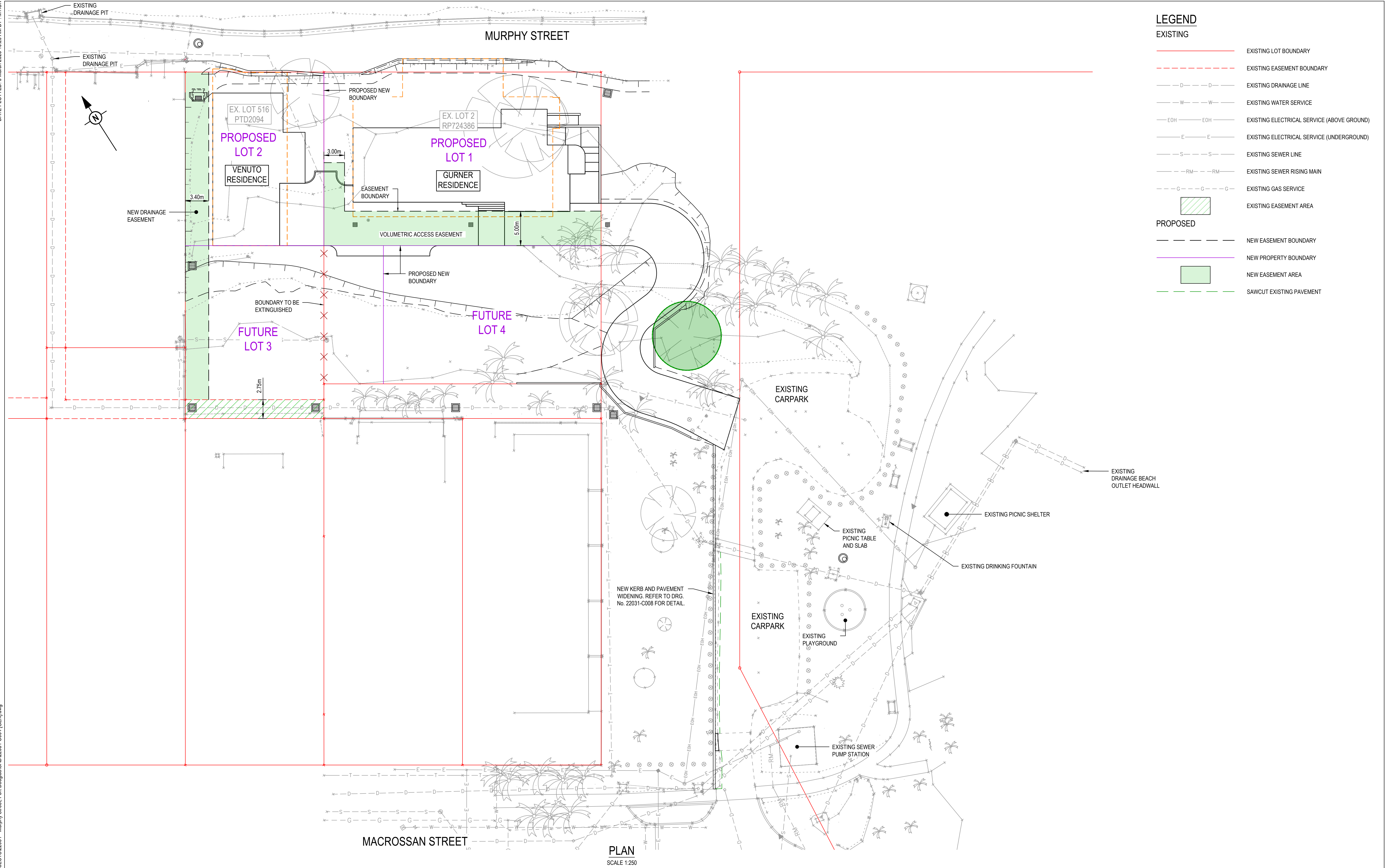
DRAWN	M. TICKNER
DESIGNED	M. TICKNER
APPROVED	G. APPLIN
RPEQ	6073

CLIENT	GURNER TM NOMINEES PTY. LTD.		
PROJECT	69-73 MURPHY ST. PORT DOUGLAS		
TITLE	CIVIL WORKS PACKAGE DEMOLITION PLAN		

STATUS		PRELIMINARY	
SCALE	AS SHOWN	SIZE	A1
DRAWING NUMBER		22031-C003	
REVISION		B	

DATE PLOTTED: 9 March 2023 10:29 AM BY: MTICK

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LEGEND	
EXISTING	
	EXISTING LOT BOUNDARY
	EXISTING EASEMENT BOUNDARY
	EXISTING DRAINAGE LINE
	EXISTING WATER SERVICE
	EXISTING ELECTRICAL SERVICE (ABOVE GROUND)
	EXISTING ELECTRICAL SERVICE (UNDERGROUND)
	EXISTING SEWER LINE
	EXISTING SEWER RISING MAIN
	EXISTING GAS SERVICE
	EXISTING EASEMENT AREA
PROPOSED	
	NEW EASEMENT BOUNDARY
	NEW PROPERTY BOUNDARY
	NEW EASEMENT AREA
	SAWCUT EXISTING PAVEMENT

REV.	DATE	DESCRIPTION	DES.	APP.
B	09.03.2023	ENTRANCE AMENDED	MT	GA
A	23.02.2023	PRELIMINARY ISSUE	MT	GA

RPEQ ENGINEER:

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DESIGN & DOCUMENTATION:

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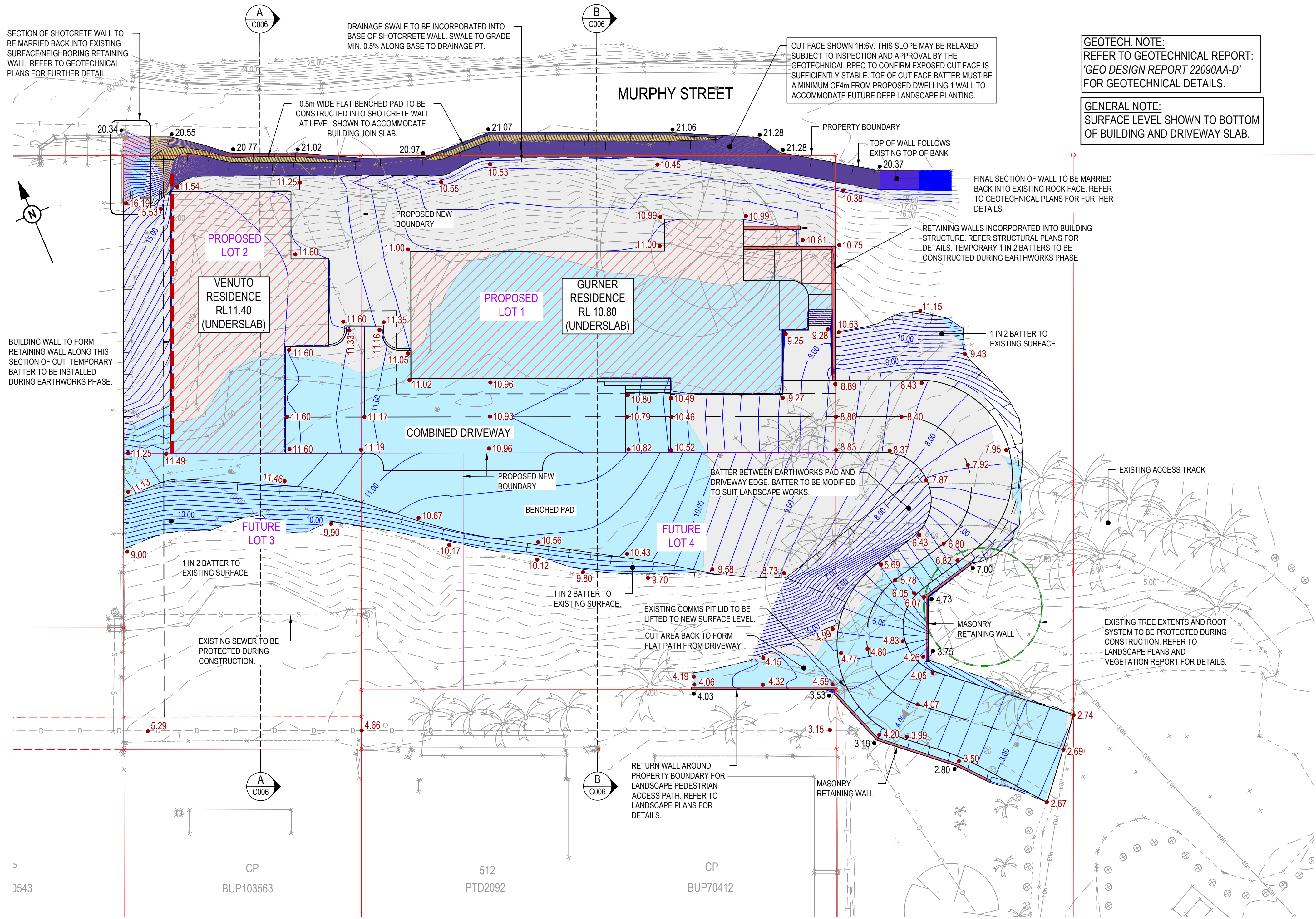
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DRAWN M. TICKNER	DATE
DESIGNED M. TICKNER	
APPROVED G. APPLIN	
RPEQ 6073	

CLIENT GURNER TM NOMINEES PTY. LTD.	STATUS PRELIMINARY	
PROJECT 69-73 MURPHY ST. PORT DOUGLAS		
TITLE CIVIL WORKS PACKAGE GENERAL ARRANGMENT PLAN	SCALE AS SHOWN/VN	SIZE A1
	DRAWING NUMBER 22031-C004	REVISION B

DATE PLOTTED: 23 February 2023 2:35 PM BY: MTKCK

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PLAN

SCALE 1:200

LEGEND

EXISTING

- EXISTING LOT BOUNDARY
- EXISTING EASEMENT BOUNDARY
- EXISTING CONTOUR (1m INTERVAL)
- EXISTING DRAINAGE LINE
- EXISTING WATER SERVICE
- EXISTING ELECTRICAL SERVICE (ABOVE GROUND)
- EXISTING ELECTRICAL SERVICE (UNDERGROUND)
- EXISTING SEWER LINE
- EXISTING SEWER RISING MAIN
- EXISTING GAS SERVICE

PROPOSED

- NEW EASEMENT BOUNDARY
- NEW PROPERTY BOUNDARY
- PROPOSED SURFACE CONTOUR (0.2m INTERVALS)
- PROPOSED RETAINING WALL (CONSTRUCTED WITH BUILDING)
- FUTURE BUILDING WALL RETAINING - TEMPORARY BATTER NEEDED
- PROPOSED EARTHWORKS SURFACE LEVEL (FSL)
- EXISTING SURFACE LEVEL (ESL)
- PROPOSED AREA OF CUT
- PROPOSED AREA OF FILL
- TOP OF BANK
- BOTTOM OF BANK

CONTRACTOR TO REVIEW GEO CONSULTANTS DRAWINGS 22090AAD FIG 1 THROUGH TO FIG 5 PRIOR TO COMMENCING WORKS TO ENSURE WORKS ARE UNDERTAKEN IN ACCORDANCE WITH AND COORDINATED WITH THESE PLANS. ANY DISCREPANCIES BETWEEN PLANS ARE TO BE BROUGHT TO THE ATTENTION OF THE SUPERVISING GEOTECHINCAL AND CIVIL ENGINEERS BEFORE PROCEEDING.

EARTHWORKS VOLUMES:

CUT: 2700 m³
FILL: 509m³
BALANCE: 2191m³

NOTE:

- EARTHWORKS VOLUMES DO NOT CONSIDER BULKING FACTORS AND ARE TAKEN AS RAW VALUES.
- VOLUMES TAKEN TO FINISHED EARTHWORKS SURFACE.

RPEQ ENGINEER:

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DESIGNED

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APPROVED

G. APPLIN

DATE

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CLIENT GURNER TM NOMINEES PTY. LTD.

PROJECT

69-73 MURPHY ST. PORT DOUGLAS

TITLE

CIVIL WORKS PACKAGE
BULK EARTHWORKS PLANS

STATUS

PRELIMINARY

SCALE AS SHOWN

SIZE A1

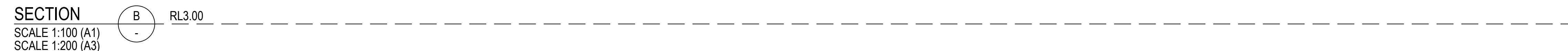
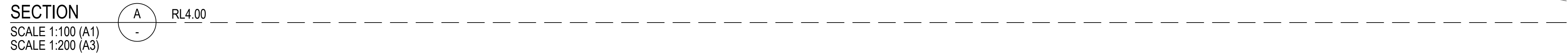
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22031-C005

REVISION

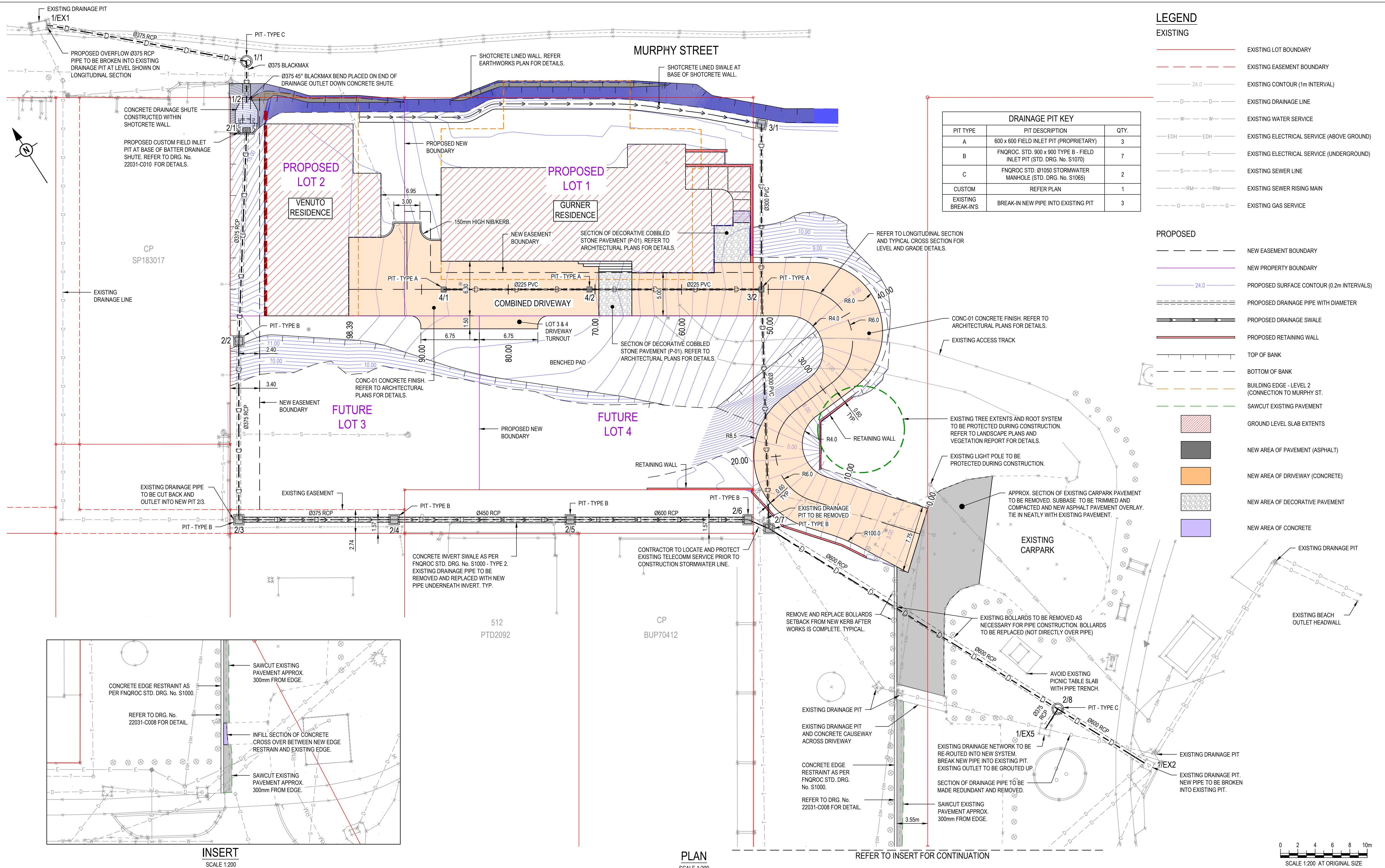
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REV.	DATE	DESCRIPTION	DES.	APP.
A	22.02.2023	PRELIMINARY ISSUE	MT	GA



CONTRACTOR TO REVIEW GEO CONSULTANTS DRAWINGS 22090AAD
FIG 1 THROUGH TO FIG 5 PRIOR TO COMMENCING WORKS TO ENSURE
WORKS ARE UNDERTAKEN IN ACCORDANCE WITH AND COORDINATED
WITH THESE PLANS. ANY DISCREPANCIES BETWEEN PLANS ARE TO BE
BROUGHT TO THE ATTENTION OF THE SUPERVISING GEOTECHNICAL
AND CIVIL ENGINEERS BEFORE PROCEEDING.

[illegible]



REV.	DATE	DESCRIPTION	DES.	APP.
B	09.03.2023	ENTRANCE AMENDED	MT	GA
A	22.02.2023	PRELIMINARY ISSUE	MT	GA

RPEQ ENGINEER:

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CLIENT GURNER TM NOMINEES PTY. LTD.

PROJECT 69-73 MURPHY ST. PORT DOUGLAS

TITLE CIVIL WORKS PACKAGE
DRIVEWAY & DRAINAGE PLAN

STATUS

PRELIMINARY

SCALE

AS SHOWN

SIZE

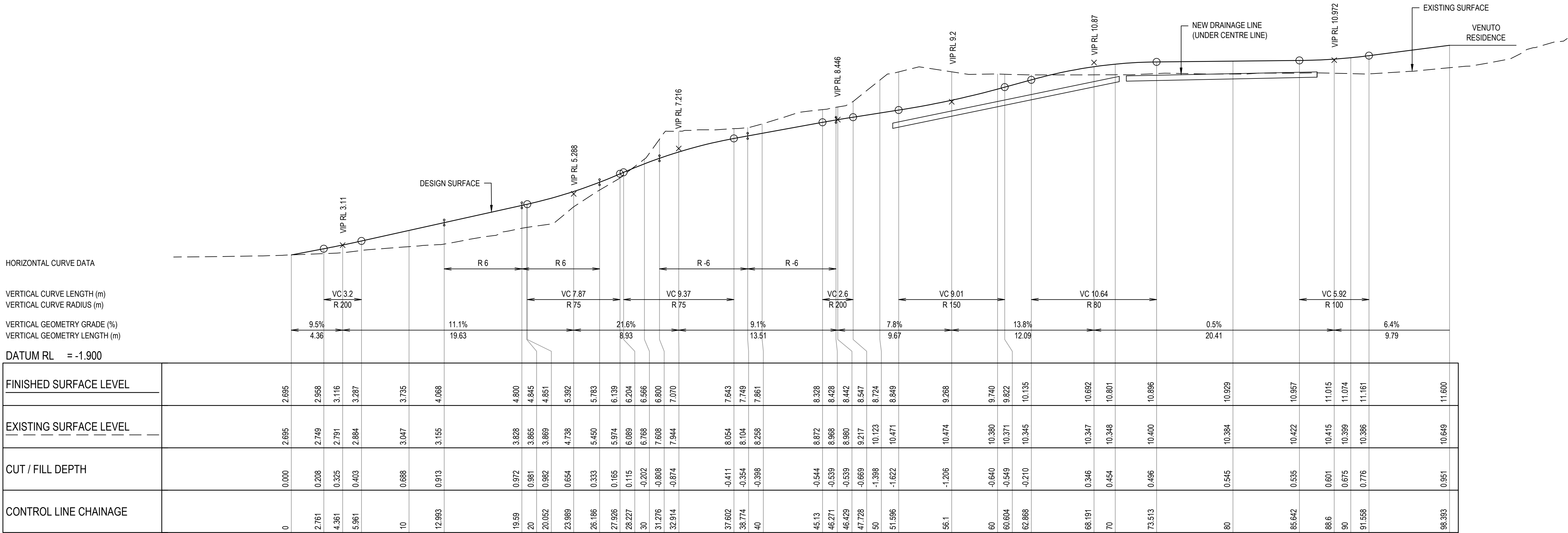
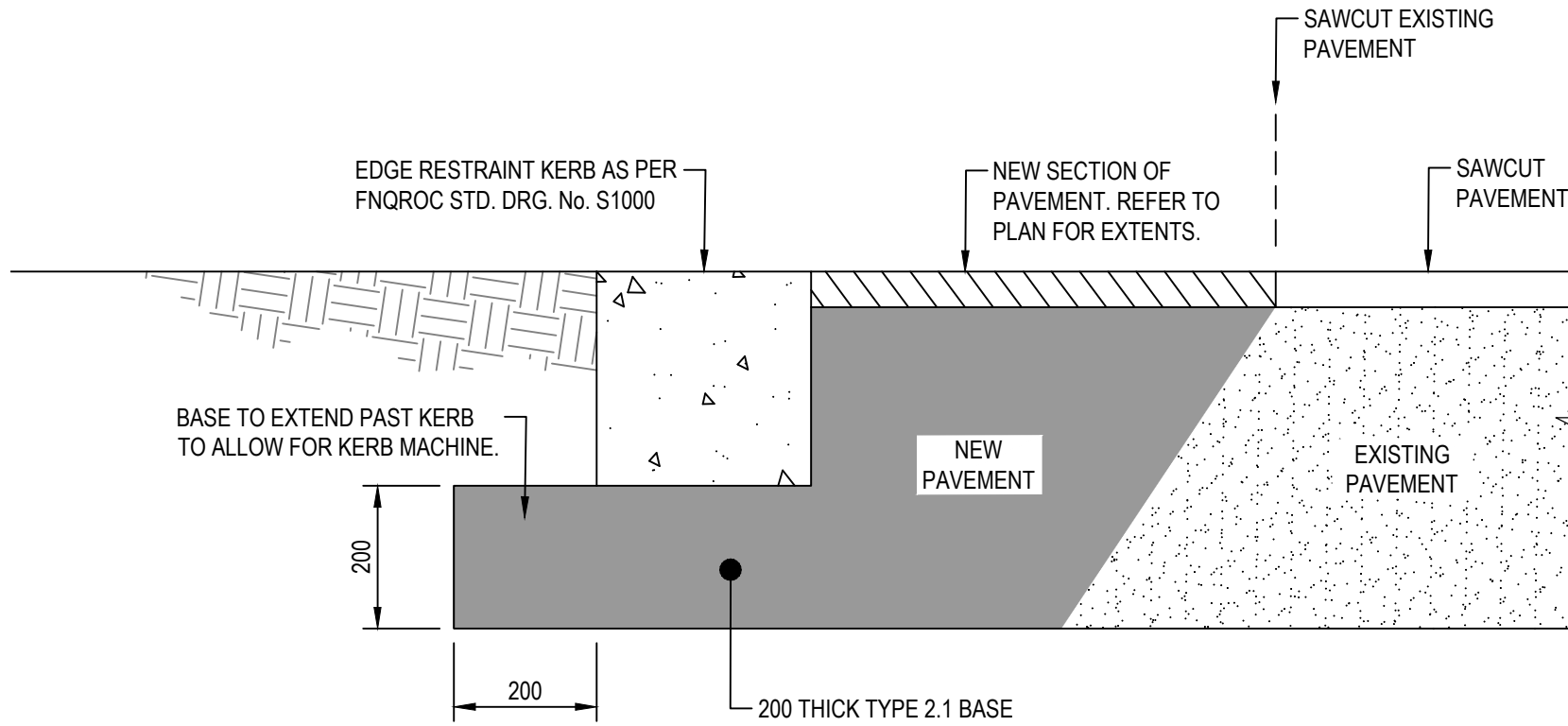
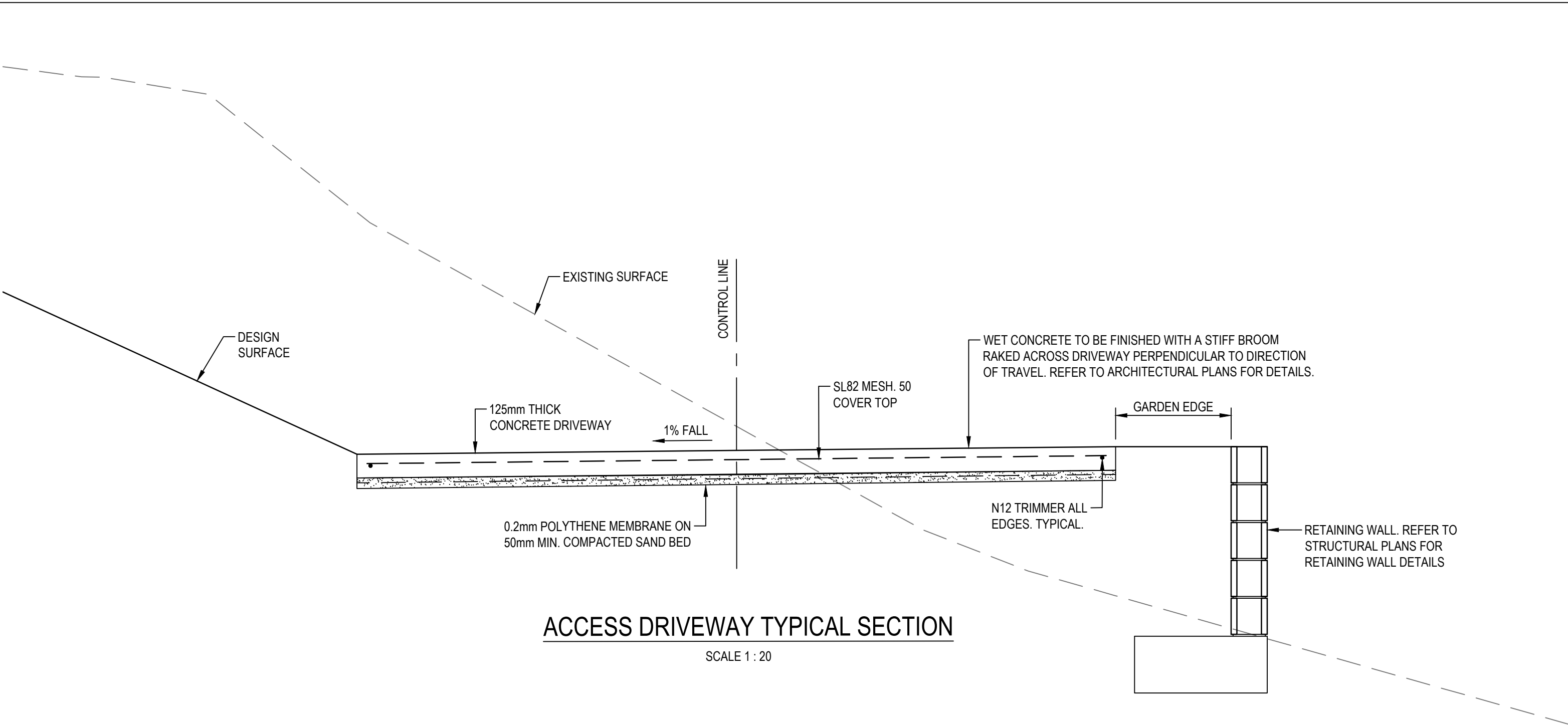
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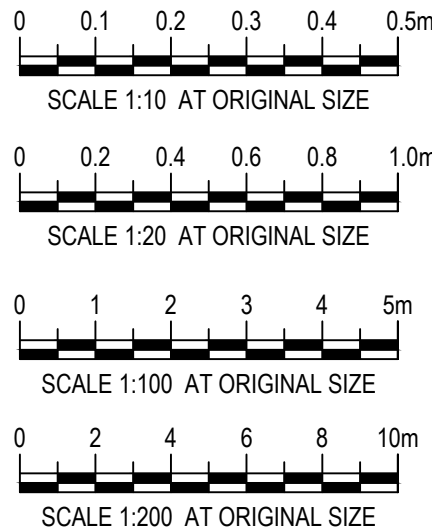
22031-C007

REVISION

B



A1 SCALE: H 1:200, V 1:100
LONGITUDINAL SECTION - DRIVEWAY CONTROL LINE



RPEQ ENGINEER:

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DESIGNED

M. TICKNER

APPROVED

G. APPLIN

RPEQ 6073

DATE

CLIENT

GURNER TM NOMINEES PTY. LTD.

PROJECT

69-73 MURPHY ST. PORT DOUGLAS

TITLE

CIVIL WORKS PACKAGE
DRIVEWAY SECTIONS & DETAILS

STATUS

PRELIMINARY

SCALE

AS SHOWN/VN

SIZE

A1

DRAWING NUMBER

22031-C008

REVISION

B

STRUCTURE NAME	1/EX1	1/1	1/2
STRUCTURE DESCRIPTION	EXISTING STRUCTURE	STD MANHOLE 1050mm DIA	OUTLET
PIPE SIZE (mm)	375	375	
PIPE CLASS	RCP	PE	
PIPE GRADE (%)	-4.05%	0.95%	
PIPE SLOPE (1 in X)	-24.7	105.5	
PIPE FLOW (cumecs)	0.150	0.150	
CAPACITY FLOW (cumecs)	0.000	0.015	
FULL PIPE VELOCITY (m/s)	1.36	9.43	
NORMAL DEPTH VELOCITY (m/s)	1.36	9.43	
DATUM RL	3.000		
HGL ELEVATION	18.667	18.667 18.671 18.650	18.626
DEPTH TO INVERT	0.971	1.682 1.717	0.375 0.375
INVERT LEVEL OF DRAIN	17.700	18.650 18.595	18.550
DESIGN (& EXISTING) SURFACE LEVEL	18.671	20.312	18.711 (18.578)
SETOUT COORDINATES	2159.411E 5027.605N	2176.614E 5011.652N	2174.061E 5007.648N
CHAINAGE	0.000	23.462	4.749 28.210

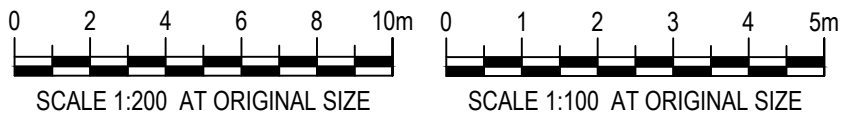
LINE 1

STRUCTURE NAME	2/1	2/2	2/3	2/4	2/5	2/6	2/7	2/8	1/EX2
STRUCTURE DESCRIPTION	CUSTOM FIELD INLET PIT 900x600	STD FIELD INLET 600x600	STD FIELD INLET 600x600	STD FIELD INLET 600x600	STD FIELD INLET 600x600	STD FIELD INLET - TYPE 2 900x900	STD FIELD INLET - TYPE 2 900x900	STD MANHOLE 1050mm DIA	EXISTING STRUCTURE
PIPE SIZE (mm)	375	375	375	450	600	600	600	600	
PIPE CLASS	RCP	RCP	RCP	RCP	RCP	RCP	3	RCP	
PIPE GRADE (%)	17.93%	20.00%	0.40%	3.77%	3.68%	1.00%	0.50%	0.46%	
PIPE SLOPE (1 in X)	5.6	5.0	250.0	26.6	27.2	100.0	200.5	216.2	
PIPE FLOW (cumecs)	0.150	0.163	0.167	0.189	0.216	0.215	0.319	0.316	
CAPACITY FLOW (cumecs)	0.743	0.784	0.111	0.553	1.178	0.614	0.434	0.418	
FULL PIPE VELOCITY (m/s)	1.36	1.48	1.51	1.19	0.76	0.76	1.13	1.12	
NORMAL DEPTH VELOCITY (m/s)	5.26	5.60	1.51	3.15	3.17	1.98	1.68	1.62	
DATUM RL	-6.000				-14.000				
HGL ELEVATION	15.101 14.588	10.055 8.548 8.254	4.445 4.498 4.206	3.805 3.759 3.791	3.001	2.163 2.174 2.111	2.056 2.061 1.945	1.753 1.754 1.737	1.657
DEPTH TO INVERT	1.475	1.351 3.324	1.446 1.506	1.282 1.312	1.412 1.432	1.244 1.379	1.665 1.465	0.906 0.906	
INVERT LEVEL OF DRAIN	14.302	9.940 7.967	3.845 3.785	3.505 3.485	2.720 2.700	1.946 1.811	1.608 1.553	1.290 1.290	
DESIGN (& EXISTING) SURFACE LEVEL	15.778 (16.122)	11.291 (10.021)	5.291	4.797	4.132	3.190	3.028	2.196	
SETOUT COORDINATES	2172.340E 5004.947N	2159.260E 4984.429N	2148.181E 4967.050N	2162.530E 4957.902N	2179.620E 4946.381N	2196.963E 4935.529N	2215.421E 4933.90N	2220.708E 4897.177N	
CHAINAGE	0.000	24.333	20.610	17.017	20.317	20.517	39.139	12.519	

2

STRUCTURE NAME	3/1	3/2	2/7	4/1	4/2	4/2	3/2	1/EX5	2/8
STRUCTURE DESCRIPTION	STD FIELD INLET - TYPE 2 900x900	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	FIELD INLET 600x600	EXISTING STRUCTURE	STD MANHOLE 1050mm DIA
PIPE SIZE (mm)	300	450		225	225	225	375		
PIPE CLASS	PVC	PVC		PVC	PVC	PVC	RCP		
PIPE GRADE (%)	8.47%	20.84%		1.01%	10.01%	10.01%	0.40%		
PIPE SLOPE (1 in X)	11.8	4.8		98.6	10.0	10.0	250.0		
PIPE FLOW (cumecs)	0.029	0.078		0.014	0.029	0.029	0.000		
CAPACITY FLOW (cumecs)	0.282	1.302		0.045	0.142	0.142	0.111		
FULL PIPE VELOCITY (m/s)	0.42	0.49		0.36	0.73	0.73	0.00		
NORMAL DEPTH VELOCITY (m/s)	2.58	4.49		1.01	2.81	2.81	0.00		
DATUM RL	-4.000	-10.000		-7.000	-7.000	-7.000	-14.000		
HGL ELEVATION	9.404 9.342	7.685 7.583 7.554	2.056 2.061 1.945	10.391 10.345	10.259 10.199	10.259 10.199	1.753 1.753 1.754	1.737	
DEPTH TO INVERT	1.170	1.167 1.424	1.420 1.465	0.757	0.761	0.761	0.715 1.003	1.074	
INVERT LEVEL OF DRAIN	9.210	7.619 7.362	1.608 1.553	10.248	10.077	10.077	1.430 1.418		
DESIGN (& EXISTING) SURFACE LEVEL	10.450 (16.831)	8.786 (10.388)	3.028	11.005 (10.428)	10.819 (10.348)	10.819 (10.348)	2.422 2.422		
SETOUT COORDINATES	2222.446E 4973.368N	2212.548E 4957.527N	2198.445E 4933.90N	2181.638E 4977.231N	2195.812E 4988.196N	2195.812E 4988.196N	2212.881E 4897.149N		
CHAINAGE	0.000	18.786	27.611	16.808	19.847	36.655	2.888		

3 4 4 5



RPEQ ENGINEER:

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DESIGN & DOCUMENTATION:

PROGRESSION

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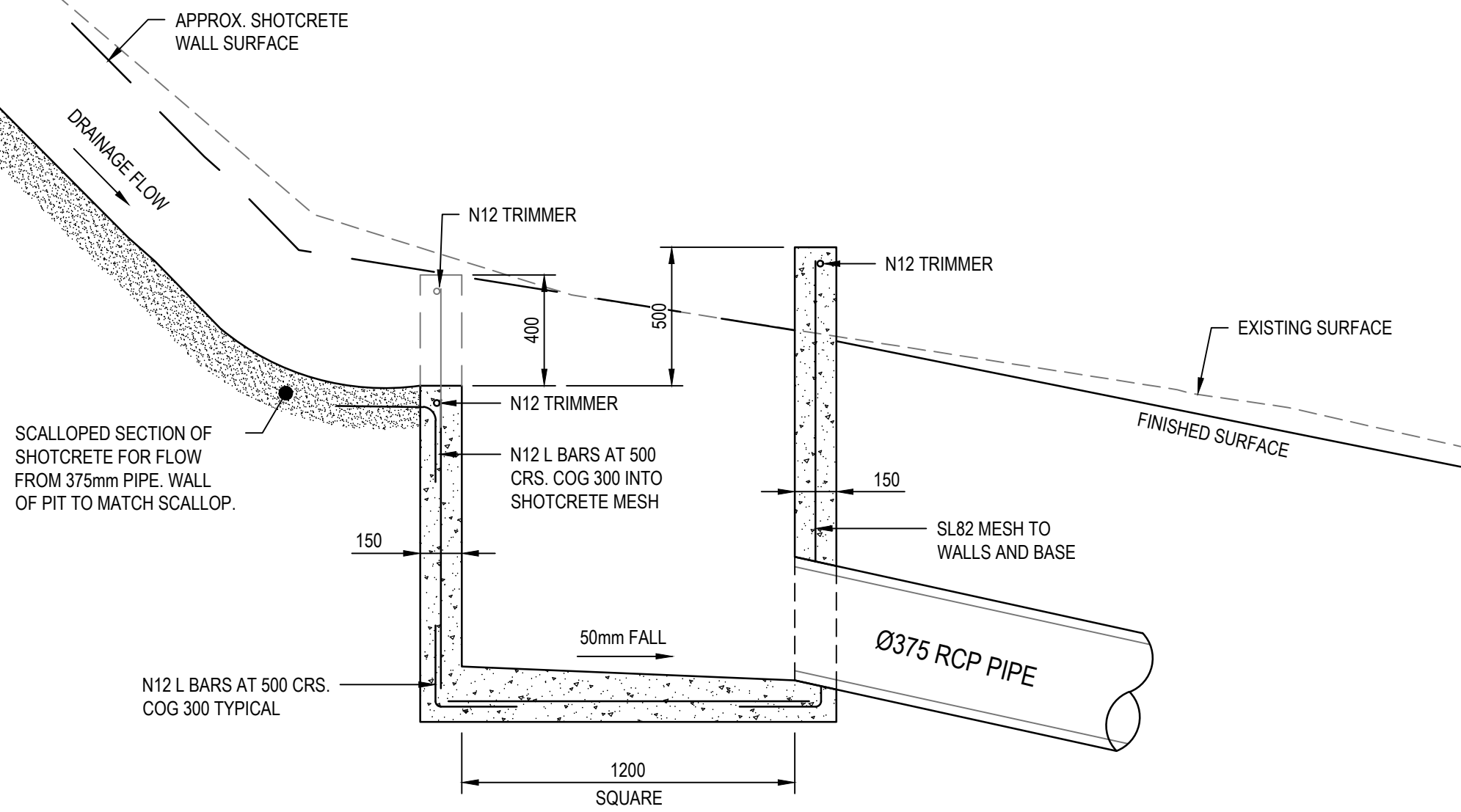
DRAWN	M. TICKNER
DESIGNED	M. TICKNER
APPROVED	DATE
G. APPLIN	
RPEQ	6073

CLIENT	GURNER TM NOMINEES PTY. LTD.
PROJECT	69-73 MURPHY ST. PORT DOUGLAS
TITLE	CIVIL WORKS PACKAGE DRAINAGE LONGSECTIONS

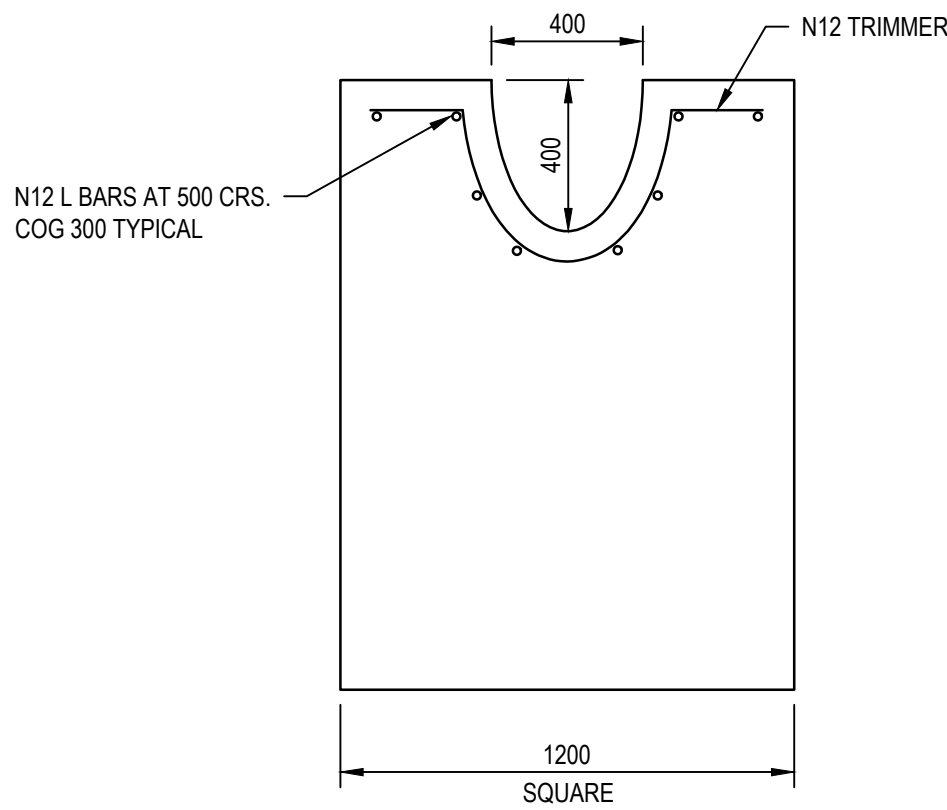
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DRAWING NUMBER	22031-C009
REVISION	A

A	22.02.2023	PRELIMINARY ISSUE	MT	GA
REV.	DATE	DESCRIPTION	DES.	APP.

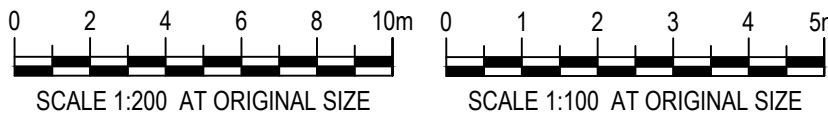
DATE PLOTTED: 23 February 2023 2:20 PM BY: MTICK



CUSTOM INLET PIT - SECTION A
SCALE 1 : 20



CUSTOM INLET PIT - BACK VIEW OF WALL
SCALE 1 : 20



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A	22.02.2023	PRELIMINARY ISSUE	MT	GA	
REV.	DATE	DESCRIPTION	DES.	APP.	

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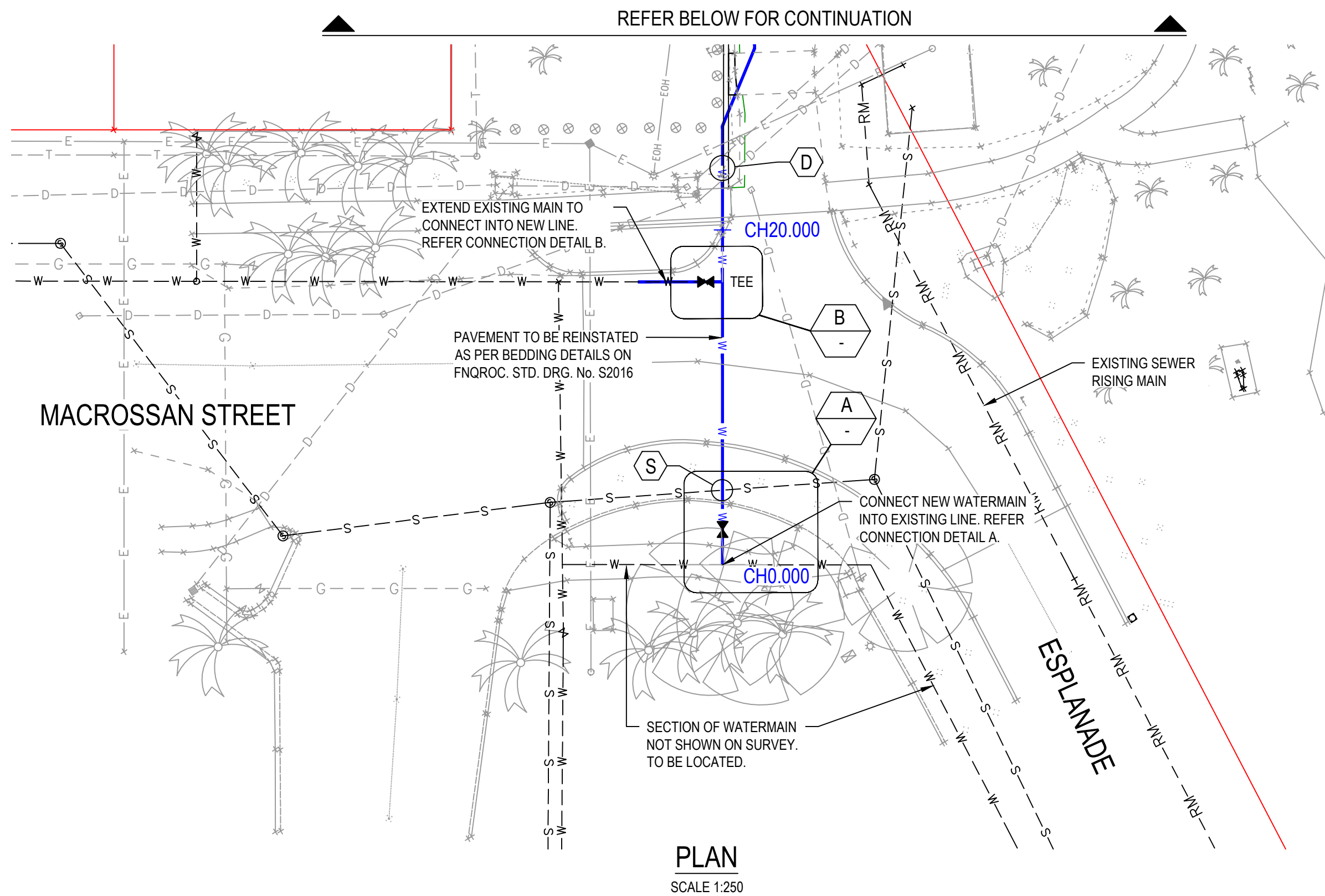
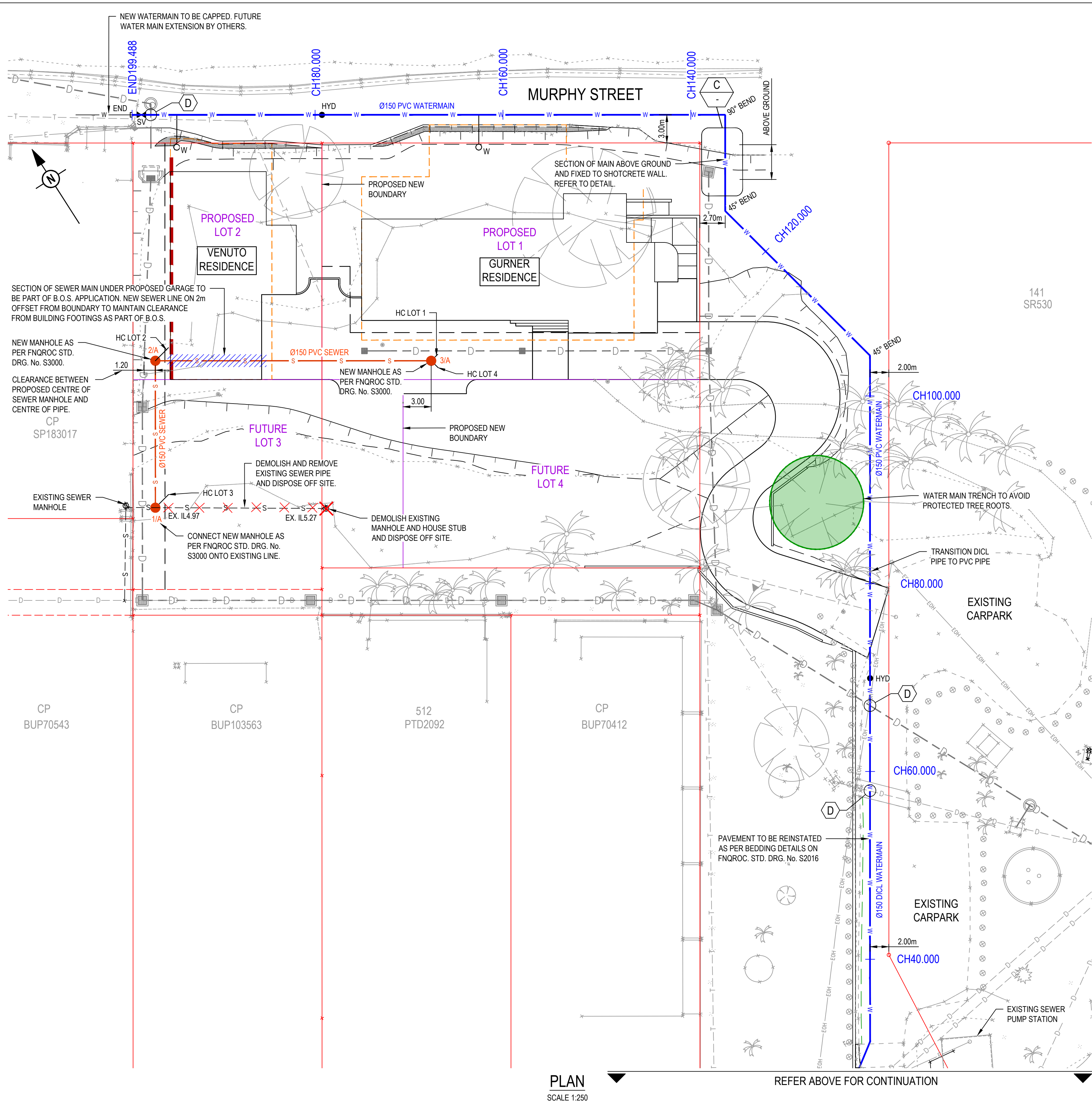
DESIGN & DOCUMENTATION:

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DRAWN	M. TICKNER
DESIGNED	M. TICKNER
APPROVED	DATE
G. APPLIN	
RPEQ	6073

CLIENT	GURNER TM NOMINEES PTY. LTD.		
PROJECT	69-73 MURPHY ST. PORT DOUGLAS		STATUS PRELIMINARY
	SCALE AS SHOWN/VN	SIZE A1	
TITLE	CIVIL WORKS PACKAGE DRAINAGE DETAILS		DRAWING NUMBER 22031-C010
			REVISION A



LEGEND

EXISTING

- EXISTING LOT BOUNDARY
- EXISTING EASEMENT BOUNDARY
- EXISTING DRAINAGE LINE
- EXISTING WATER SERVICE
- EXISTING ELECTRICAL SERVICE (ABOVE GROUND)
- EXISTING ELECTRICAL SERVICE (UNDERGROUND)
- EXISTING SEWER LINE
- EXISTING SEWER RISING MAIN
- EXISTING GAS SERVICE

PROPOSED

- EXISTING WATER MAIN
- 0150 PVC MAIN PN16
- WATER SERVICE CONNECTION (INSTALLATION BY COUNCIL)
- FIRE HYDRANT
- VALVE
- PROPOSED SEWER MAIN DN150 PVC SN8 (UNLESS NOTED OTHERWISE)
- SERVICE CROSSING
 - D - DRAINAGE
 - S - SEWERAGE
 - W - WATER

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G. APPLIN

RPEQ 6073

CLIENT

GURNER TM NOMINEES PTY. LTD.

PROJECT

69-73 MURPHY ST. PORT DOUGLAS

TITLE

CIVIL WORKS PACKAGE
WATER & SEWER SERVICE PLAN

STATUS

PRELIMINARY

SCALE

AS SHOWN/VN

SIZE

A1

DRAWING NUMBER

22031-C011

REVISION

B

REV.	DATE	DESCRIPTION	DES.	APP.
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A	23.02.2023	PRELIMINARY ISSUE	MT	GA

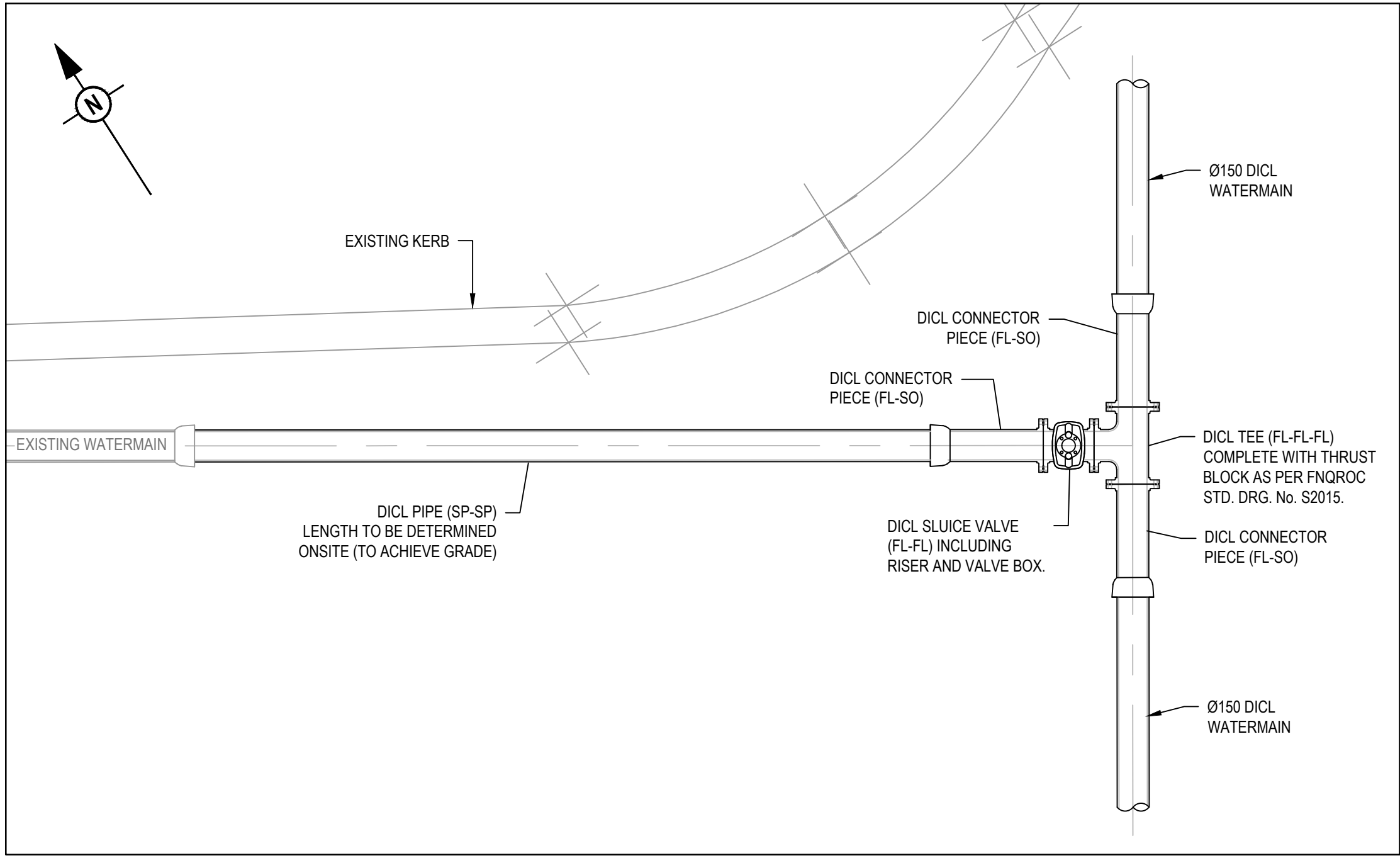
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						RPEQ ENGINEER:	DESIGN & DOCUMENTATION: PROGRESSION DESIGN & DEVELOPMENT M 0417 383 564 E matthew@progressiondesign.com.au www.progressiondesign.com.au	DRAWN M. TICKNER DESIGNED M. TICKNER APPROVED G. APPLIN DATE RPEQ 6073	CLIENT GURNER TM NOMINEES PTY. LTD. PROJECT 69-73 MURPHY ST. PORT DOUGLAS TITLE CIVIL WORKS PACKAGE WATER & SEWER LONGSECTIONS	STATUS PRELIMINARY SCALE AS SHOWNVN SIZE A1 DRAWING NUMBER 22031-C012	REVISION A
						APPLIN ——— CONSULTING M 0414 768 109 E greg@applinconsulting.com.au					
A	23.02.2023	PRELIMINARY ISSUE		MT	GA						
REV.	DATE	DESCRIPTION		DES.	APP.						

DATE PLOTTED: 23 February 2023 3:45 PM BY: MTICK

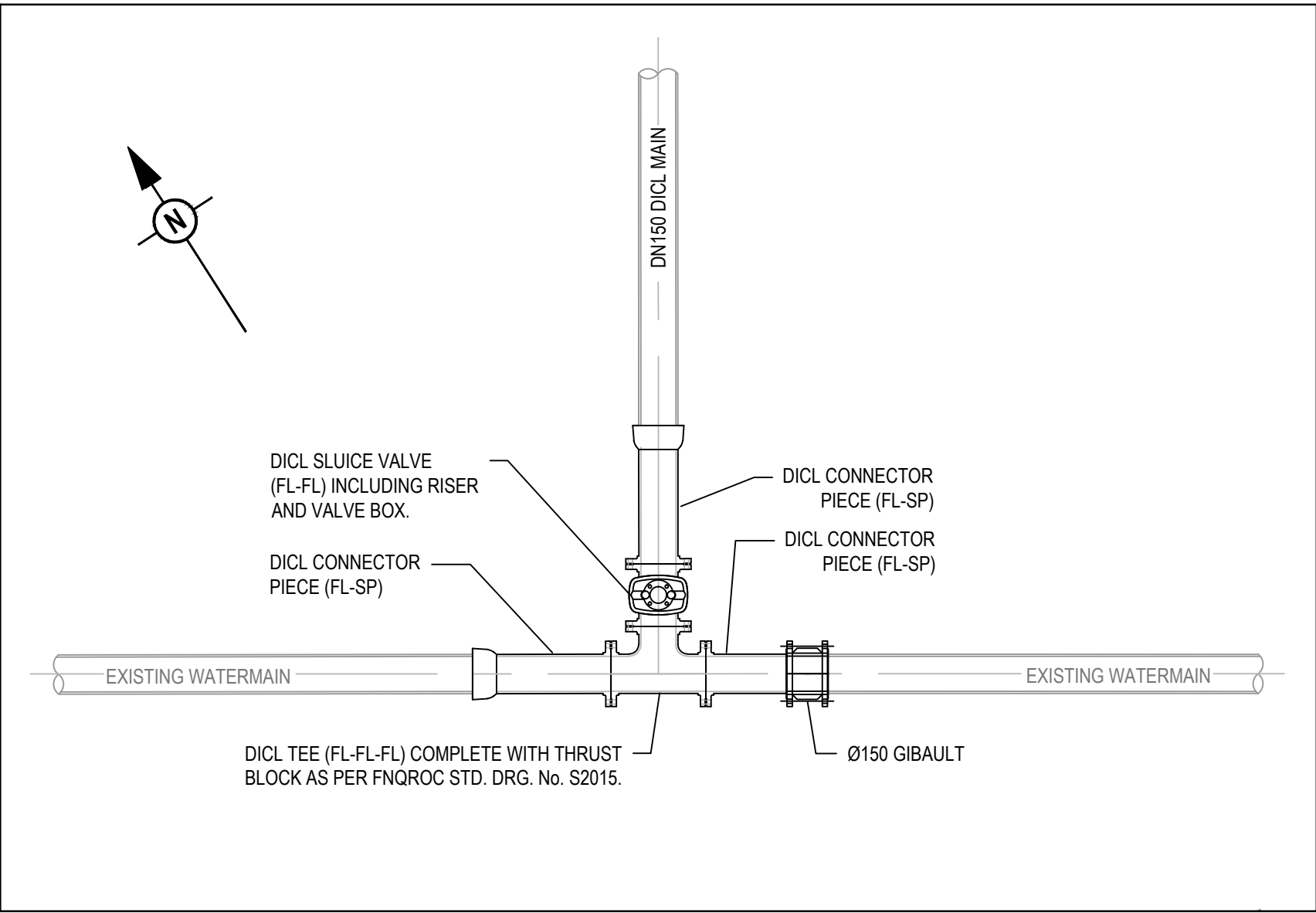
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DETAIL B - PLAN
WATERMAIN CONNECTION 2

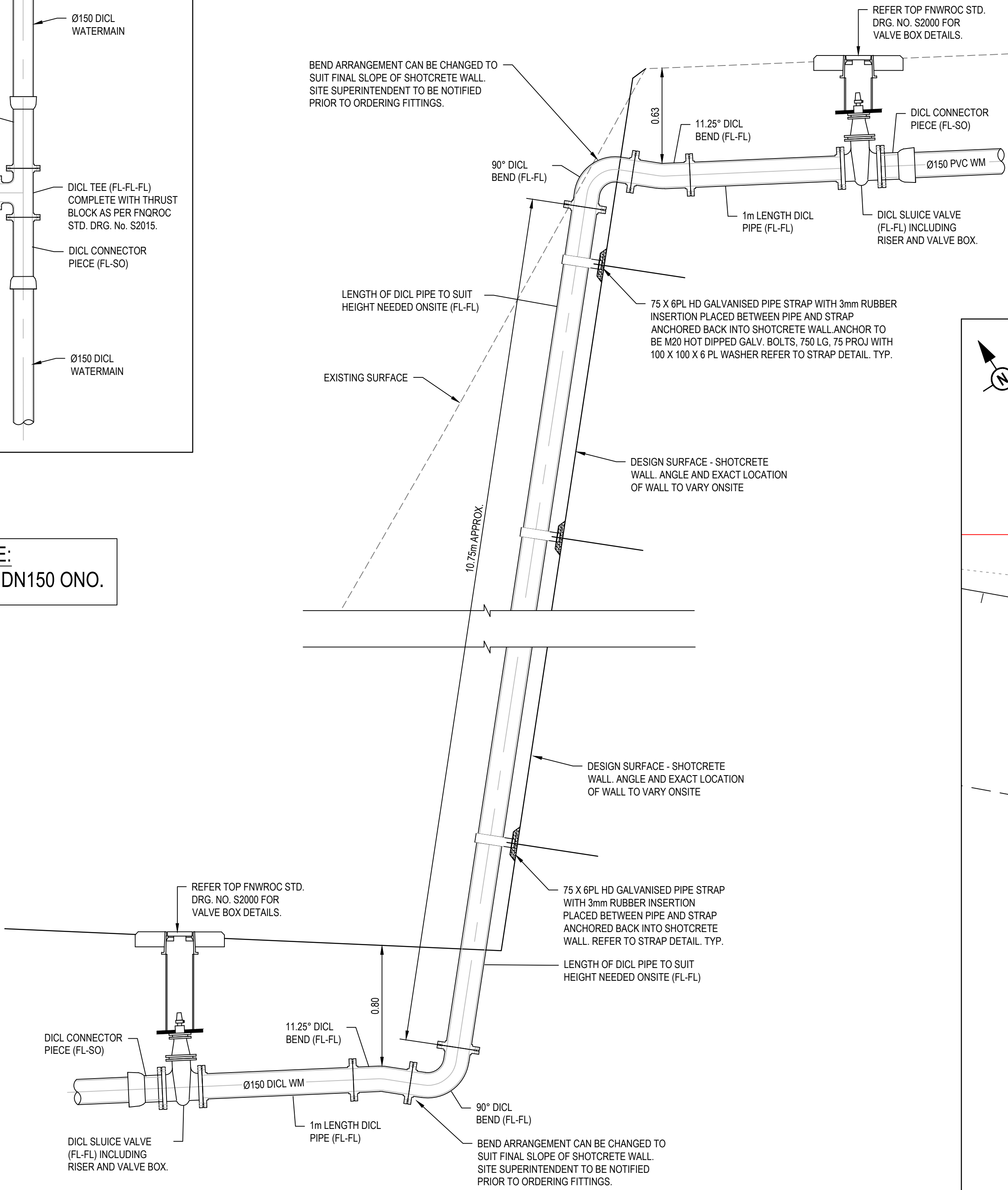
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NOTE:
ALL PIPEWORK DN150 ONO.



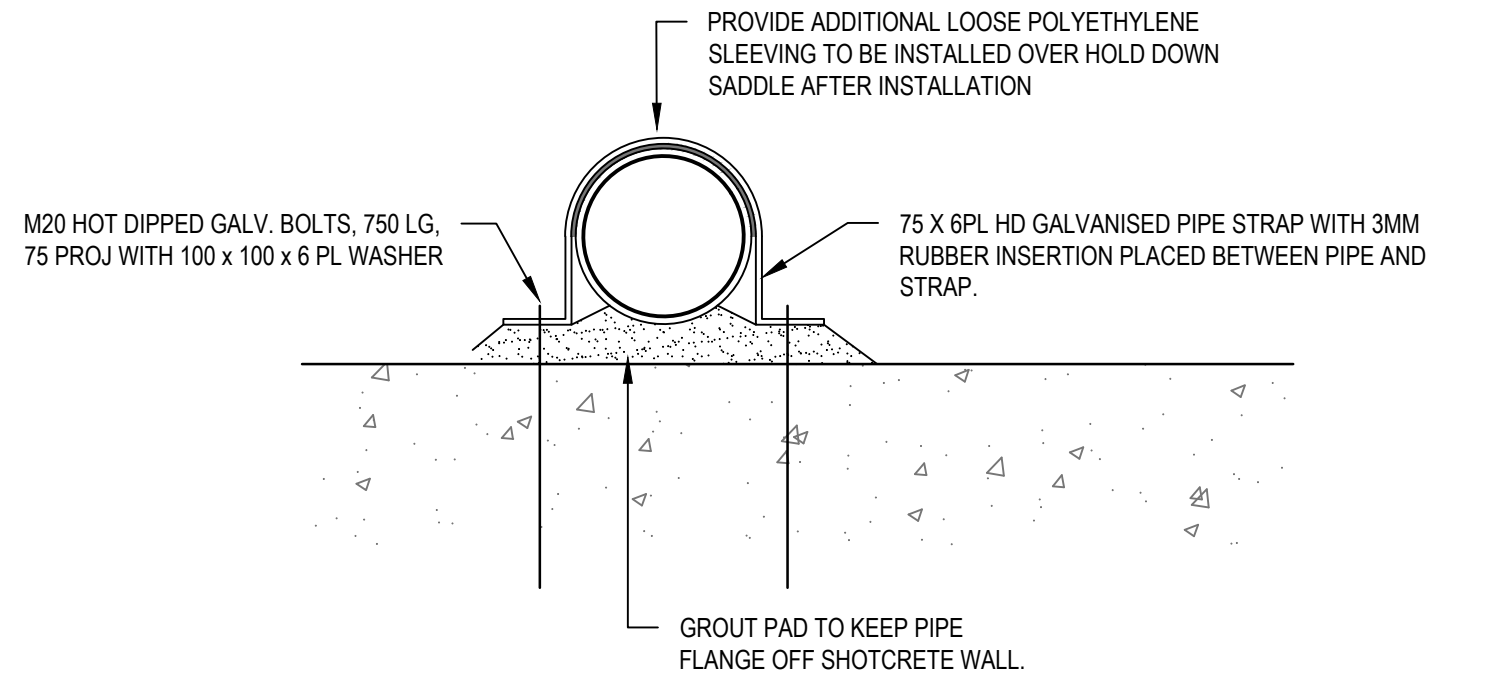
DETAIL A - PLAN
WATERMAIN CONNECTION 1

SCALE 1:25



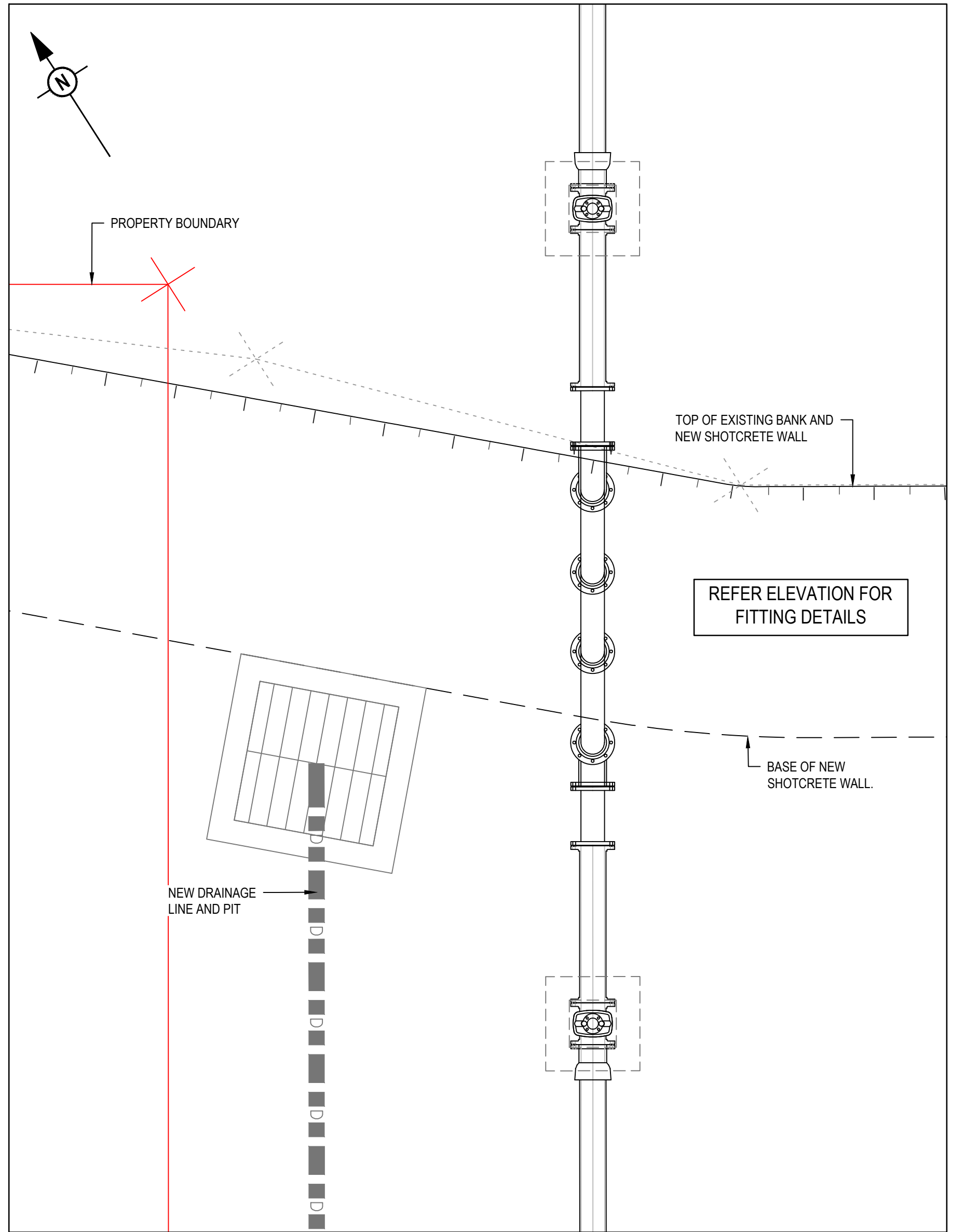
DETAIL C - ELEVATION
WALL MOUNTED WATERMAIN

SCALE 1:20



DETAIL - PIPE WALL STRAP

SCALE 1:10



DETAIL C - PLAN
WALL MOUNTED WATERMAIN

SCALE 1:25

0 0.2 0.4 0.6 0.8 1.0m
SCALE 1:20 AT ORIGINAL SIZE

0 0.5 1.0 1.5 2.0 2.5m
SCALE 1:50 AT ORIGINAL SIZE

RPEQ ENGINEER:

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DRAWN

M. TICKNER

DESIGNED

M. TICKNER

APPROVED

G. APPLIN

DATE

RPEQ 6073

CLIENT

GURNER TM NOMINEES PTY. LTD.

PROJECT

69-73 MURPHY ST. PORT DOUGLAS

TITLE

CIVIL WORKS PACKAGE
WATER & SEWER DETAILS

STATUS

PRELIMINARY

SCALE

AS SHOWN/VN

SIZE

A1

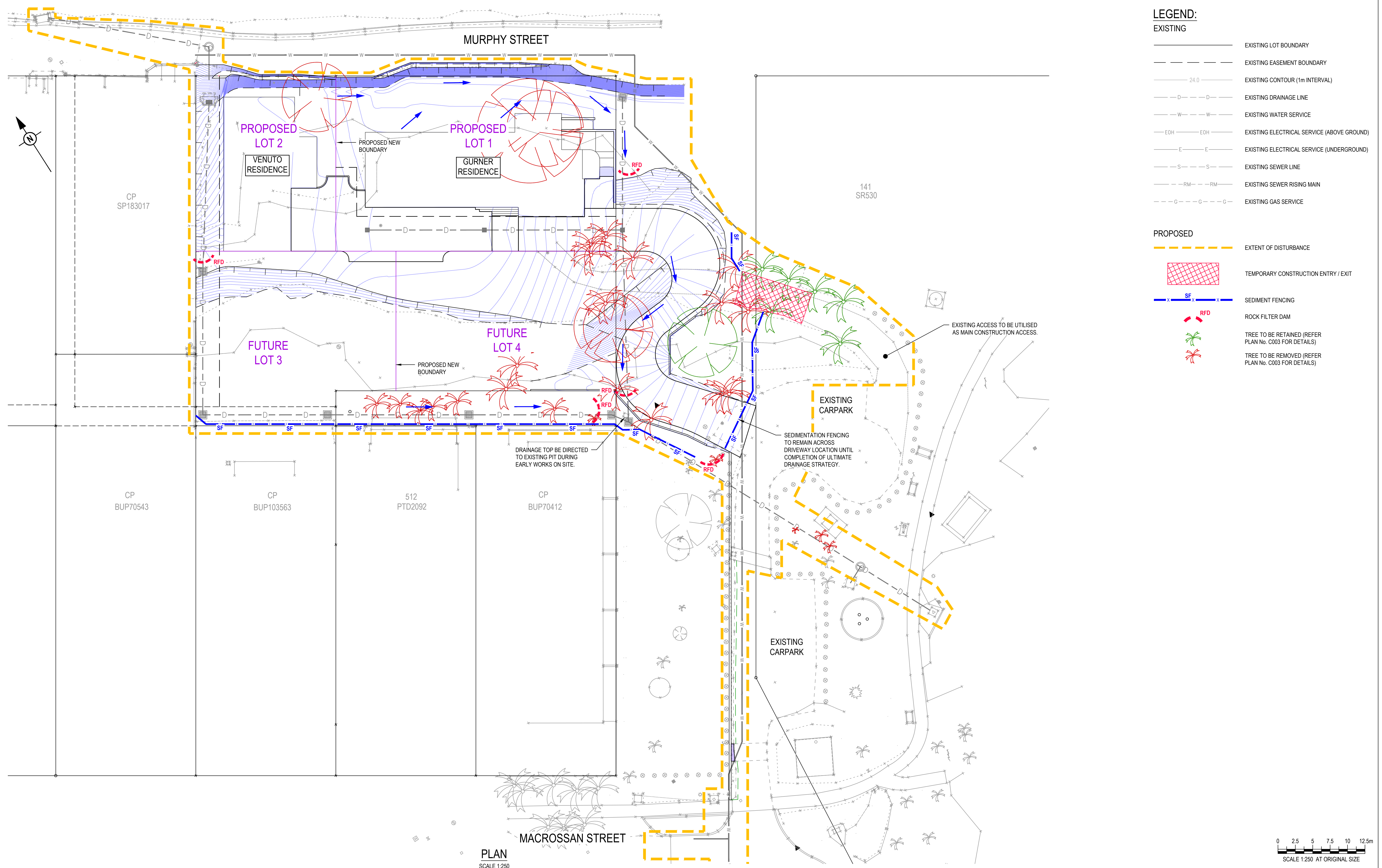
DRAWING NUMBER

22031-C013

REVISION

A

REV.	DATE	DESCRIPTION	DES.	APP.
A	23.02.2023	PRELIMINARY	MT	GA



B	09.03.2023	ENTRANCE AMENDED		MT	GA
A	23.02.2023	PRELIMINARY ISSUE		MT	GA
REV.	DATE	DESCRIPTION		DES.	APP.

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DRAWN M. TICKNER		CLIENT GURNER TM NOMINEES PTY. LTD.	
DESIGNED M. TICKNER		PROJECT 69-73 MURPHY ST. PORT DOUGLAS	STATUS PRELIMINARY
APPROVED G. APPLIN		TITLE CIVIL WORKS PACKAGE EROSION & SED. CONTROL PLAN	SCALE AS SHOWN/VN
DATE		DRAWING NUMBER 22031-C014	SIZE A1
RPEQ 6073		REVISION B	

SEDIMENT FENCE

MATERIAL
FABRIC:
POLYPROPYLENE, POLYAMIDE, NYLON, POLYESTER, OR POLYETHYLENE WOVEN OR NON-WOVEN FABRIC, AT LEAST 700mm IN WIDTH AND A MINIMUM UNIT WEIGHT OF 140GSM. ALL FABRICS TO CONTAIN ULTRAVIOLET INHIBITORS AND STABILISERS TO PROVIDE A MINIMUM OF 6 MONTHS OF USEABLE CONSTRUCTION LIFE (ULTRAVIOLET STABILITY EXCEEDING 70%).

FABRIC REINFORCEMENT:
WIRE OR STEEL MESH MINIMUM 14-GAUGE WITH A MAXIMUM MESH SPACING OF 200mm.

SUPPORT POSTS/STAKES:
1500mm² (MIN) HARDWOOD, 2500mm² (MIN) SOFTWOOD, OR 1.5kg/m (MIN) STEEL STAR PICKETS SUITABLE FOR ATTACHING FABRIC.

INSTALLATION

- REFER TO APPROVED PLANS FOR LOCATION, EXTENT AND REQUIRED TYPE OF FABRIC (IF SPECIFIED). IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, FABRIC TYPE, OR METHOD OF INSTALLATION CONTACT THE ENGINEER OR RESPONSIBLE ON-SITE OFFICER FOR ASSISTANCE.
- TO THE MAXIMUM DEGREE PRACTICAL, AND WHERE THE PLANS ALLOW, ENSURE THE FENCE IS LOCATED:
 - TOTALLY WITHIN THE PROPERTY BOUNDARIES;
 - ALONG A LINE OF CONSTANT ELEVATION WHEREVER PRACTICAL;
 - AT LEAST 2m FROM THE TOE OF ANY FILLING OPERATIONS THAT MAY RESULT IN SHIFTING SOIL/FILL DAMAGING THE FENCE.
- INSTALL RETURNS WITHIN THE FENCE AT MAXIMUM 20m INTERVALS IF THE FENCE IS INSTALLED ALONG THE CONTOUR, OR 5 TO 10m MAXIMUM SPACING (DEPENDING ON SLOPE) IF THE FENCE IS INSTALLED AT AN ANGLE TO THE CONTOUR. THE RETURNS SHALL CONSIST OF EITHER:
 - V-SHAPED SECTION EXTENDING AT LEAST 1.5m UP THE SLOPE; OR
 - SANDBAG OR ROCK/AGGREGATE CHECK DAM A MINIMUM 1/3 AND MAXIMUM 1/2 FENCE HEIGHT, AND EXTENDING AT LEAST 1.5m UP THE SLOPE.
- ENSURE THE EXTREME ENDS OF THE FENCE ARE TURNED UP THE SLOPE AT LEAST 1.5m, OR AS NECESSARY, TO MINIMISE WATER BYPASSING AROUND THE FENCE.
- ENSURE THE SEDIMENT FENCE IS INSTALLED IN A MANNER THAT AVOIDS THE CONCENTRATION OF FLOW ALONG THE FENCE, AND THE UNDESIRABLE DISCHARGE OF WATER AROUND THE ENDS OF THE FENCE.
- IF THE SEDIMENT FENCE IS TO BE INSTALLED ALONG THE EDGE OF EXISTING TREES, ENSURE CARE IS TAKEN TO PROTECT THE TREES AND THEIR ROOT SYSTEMS DURING INSTALLATION OF THE FENCE. DO NOT ATTACH THE FABRIC TO THE TREES.
- UNLESS DIRECTED BY THE SITE SUPERVISOR OR THE APPROVED PLANS, EXCAVATE A 200mm WIDE BY 200mm DEEP TRENCH ALONG THE PROPOSED FENCE LINE, PLACING THE EXCAVATED MATERIAL ON THE UP-SLOPE SIDE OF THE TRENCH.
- ALONG THE LOWER SIDE OF THE TRENCH, APPROPRIATELY SECURE THE STAKES INTO THE GROUND SPACED NO GREATER THAN 3m IF SUPPORTED BY A TOP SUPPORT WIRE OR WEIR MESH BACKING, OTHERWISE NO GREATER THAN 2m.
- IF SPECIFIED, SECURELY ATTACH THE SUPPORT WIRE OR MESH TO THE UP-SLOPE SIDE OF THE STAKES WITH THE MESH EXTENDING AT LEAST 200mm INTO THE EXCAVATED TRENCH, ENSURE THE MESH AND FABRIC IS ATTACHED TO THE UP-SLOPE SIDE OF THE STAKES EVEN WHEN DIRECTING A FENCE AROUND A CORNER OR SHARP CHANGE OF DIRECTION.
- WHEREVER POSSIBLE, CONSTRUCT THE SEDIMENT FENCE FROM A CONTINUOUS ROLL OF FABRIC. TO JOIN FABRIC EITHER:
 - ATTACH EACH END TO TWO OVERLAPPING STAKES WITH THE FABRIC FOLDING AROUND THE ASSOCIATED STAKE ONE TURN, AND WITH THE TWO STAKES TIED TOGETHER WITH WIRE; OR
 - OVERLAP THE FABRIC TO THE NEXT ADJACENT SUPPORT POST.
- SECURELY ATTACH THE FABRIC TO THE SUPPORT POSTS USING 25 X 12.5mm STAPLES, OR TIE WIRE AT MAXIMUM 150mm SPACING.
- SECURELY ATTACH THE FABRIC TO THE SUPPORT WIRE/MESH (IF ANY) AT A MAXIMUM SPACING OF 1m.
- ENSURE THE COMPLETED SEDIMENT FENCE IS AT 450mm, BUT NOT MORE THAN 700mm HIGH. IF A SPILL-THOUGH WEIR IS INSTALLED, ENSURE THE CREST OF THE WEIR IS AT LEAST 300mm ABOVE GROUND LEVEL.
- BACKFILL THE TRENCH AND TAMP THE FILL TO FIRMLY ANCHOR THE BOTTOM OF THE FABRIC AND MESH TO PREVENT WATER FROM FLOWING UNDER THE FENCE.

ADDITIONAL REQUIREMENTS FOR THE INSTALLATION OF SPILL-THROUGH WEIR

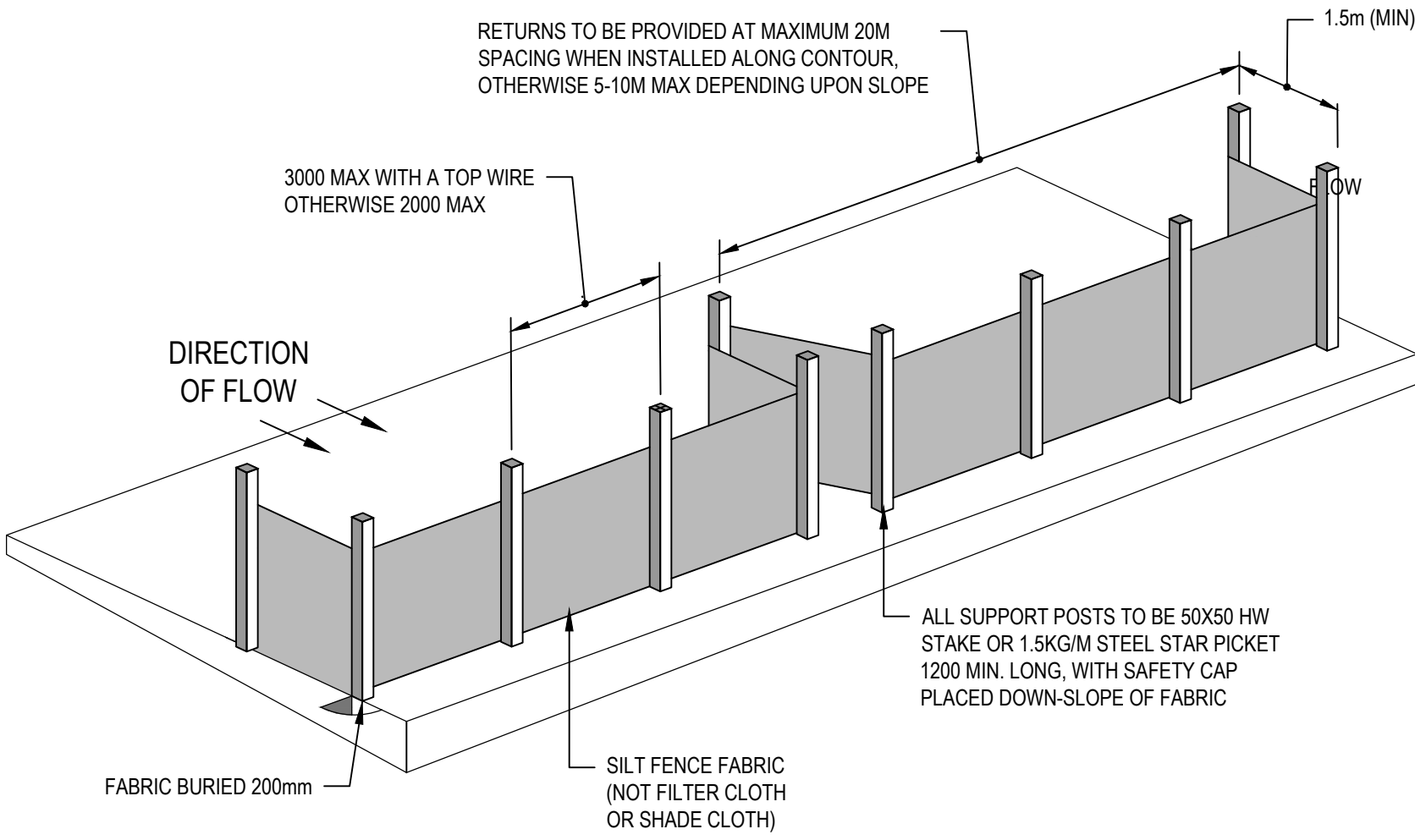
- LOCATE THE SPILL-THROUGH WEIR SUCH THAT THE WEIR CREST WILL BE LOWER THAN THE GROUND LEVEL AT EACH END OF THE FENCE.
- ENSURE THE CREST OF THE SPILL-THROUGH WEIR IS AT LEAST 300mm THE GROUND ELEVATION.
- SECURELY TIE A HORIZONTAL CROSS MEMBER (WEIR) TO THE SUPPORT POSTS/STAKES EACH SIDE OF THE WEIR. CUT THE FABRIC DOWN THE SIDE OF EACH POST AND FOLD THE FABRIC OVER THE CROSS MEMBER AND APPROPRIATELY SECURE THE FABRIC.
- INSTALL A SUITABLE SPLASH PAD AND/OR CHUTE IMMEDIATELY DOWN-SLOPE OF THE SPILL-THROUGH WEIR TO CONTROL SOIL EROSION AND APPROPRIATELY DISCHARGE THE CONCENTRATED FLOW PASSING OVER THE WEIR.

MAINTENANCE

- INSPECT THE SEDIMENT FENCE AT LEAST WEEKLY AND AFTER ANY SIGNIFICANT RAIN. MAKE NECESSARY REPAIRS IMMEDIATELY.
- REPAIR ANY TORN SECTIONS WITH A CONTINUOUS PIECE OF FABRIC FROM POST TO POST.
- WHEN MAKING REPAIRS, ALWAYS RESTORE THE SYSTEM TO ITS ORIGINAL CONFIGURATION UNLESS AN AMENDED LAYOUT IS REQUIRED OR SPECIFIED.
- IF THE FENCE IS SAGGING BETWEEN STAKES, INSTALL ADDITIONAL SUPPORT POSTS.
- REMOVE ACCUMULATED SEDIMENT IF THE SEDIMENT DEPOSIT EXCEEDS A DEPTH OF 1/3 THE HEIGHT OF THE FENCE.
- DISPOSE OF SEDIMENT IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.
- REPLACE THE FABRIC IS THE SERVICE LIFE OF THE EXISTING FABRIC EXCEEDS 6 MONTHS.

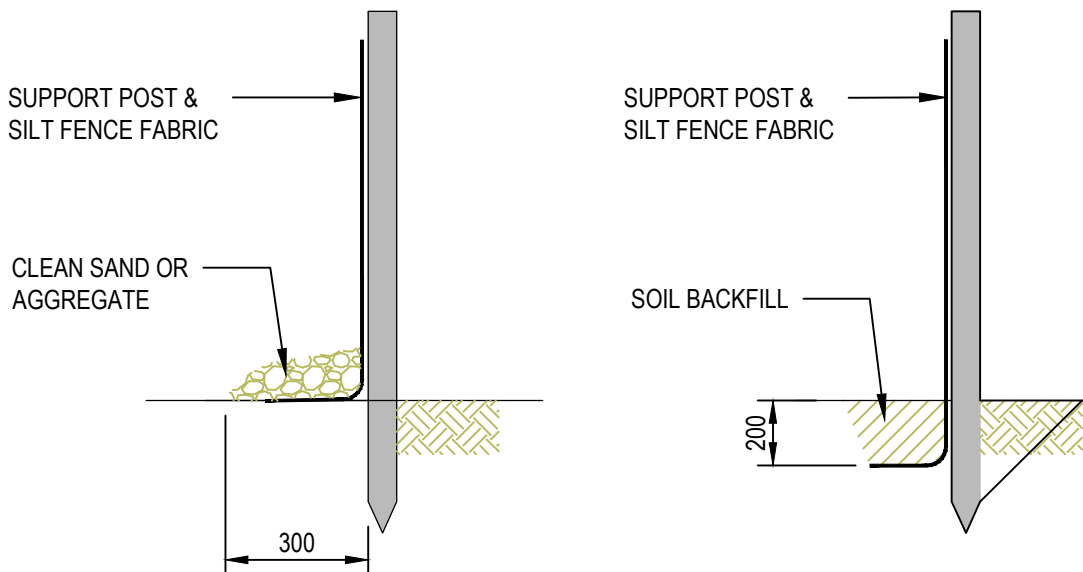
REMOVAL

- WHEN DISTURBED AREAS UP-SLOPE OF THE SEDIMENT FENCE ARE SUFFICIENTLY STABILISED TO RESTRAIN EROSION, THE FENCE MUST BE REMOVED.
- REMOVE MATERIALS AND COLLECTED SEDIMENT AND DISPOSE OF IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.
- REHABILITATE/REVEGETATE THE DISTURBED GROUND AS NECESSARY TO MINIMISE THE EROSION HAZARD.



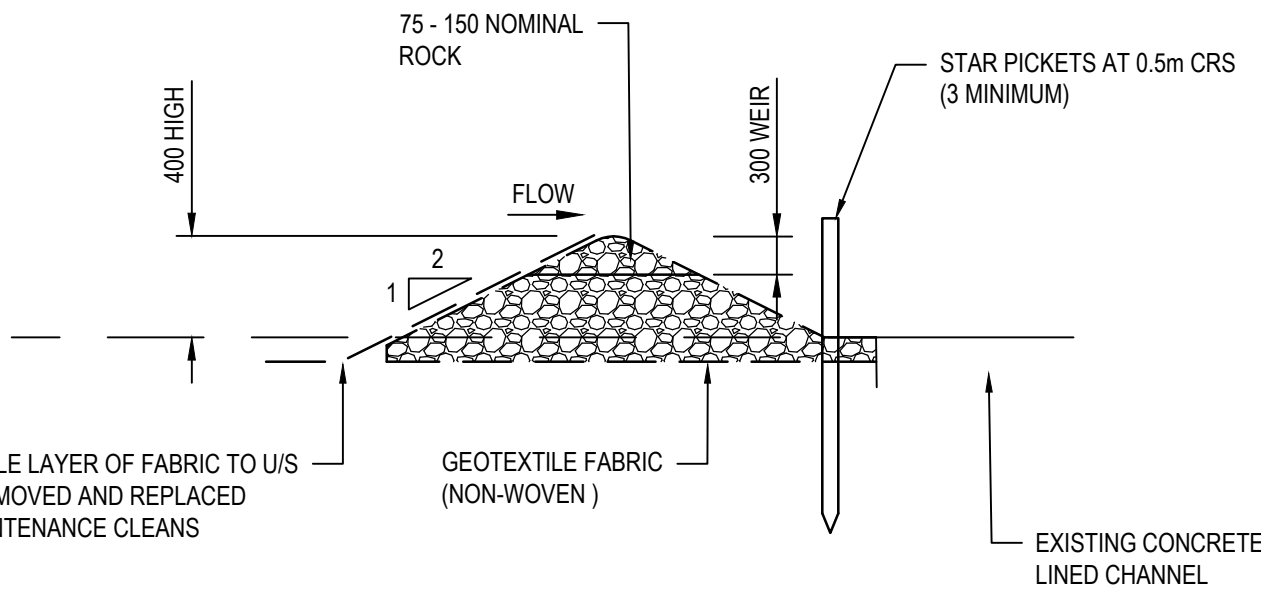
SEDIMENT FENCE

NOT TO SCALE



ANCHORING BASE OF FABRIC

NOT TO SCALE



ROCK FILTER DAM

NOT TO SCALE

ROCK FILTER DAM

MATERIALS
ROCK:
75 TO 100mm NOMINAL DIAMETER, HARD, EROSION RESISTANT ROCK.

GEOTEXTILE FABRIC:
HEAVY-DUTY, NEEDLE-PUNCHES, NON-WOVEN FILTER CLOTH ('BIDIM' A24 OR EQUIVALENT).

INSTALLATION

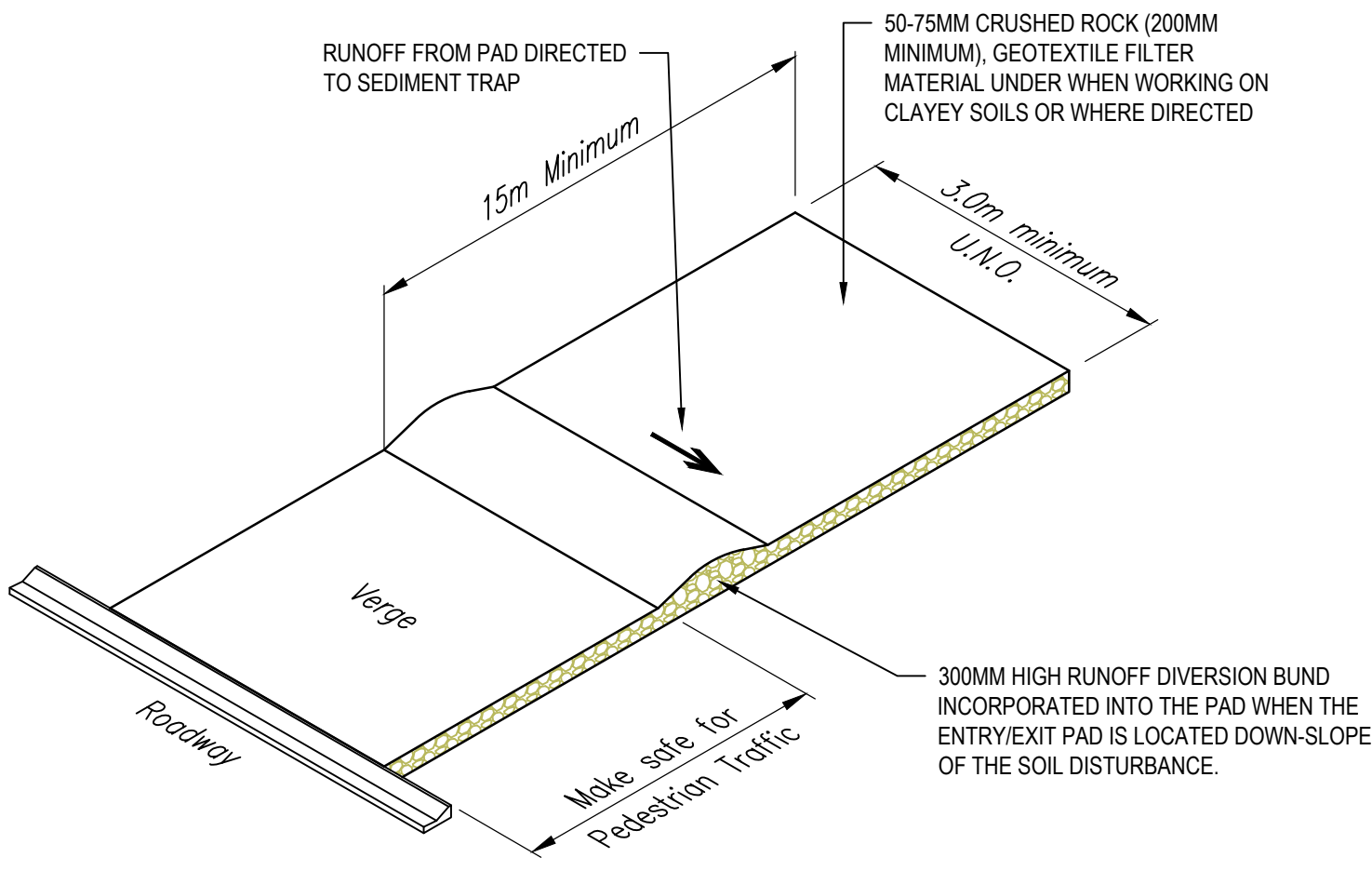
- REFER TO APPROVED PLANS FOR LOCATION AND INSTALLATION DETAILS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION OR METHOD OF INSTALLATION, CONTACT THE ENGINEER OR RESPONSIBLE ON-SITE OFFICER FOR ASSISTANCE.
- PRIOR TO PLACEMENT OF THE FILTER DAM, ENSURE THE TYPE AND SIZE OF EACH CHECK DAMS WILL NOT CAUSE A SAFETY HAZARD OR CAUSE WATER TO SPILL OUT OF THE DRAIN.
- CONSTRUCT THE FILTER DAM TO THE DIMENSIONS AND PROFILE SHOWN WITHIN THE APPROVED PLAN.
- WHERE SPECIFIED, THE FILTER DAM SHALL BE CONSTRUCTED ON A SHEET OF GEOTEXTILE FABRIC USED AS A DOWNSTREAM SPLASH PAD.

MAINTENANCE

- INSPECT EACH FILTER DAM AND THE DRAINAGE CHANNEL AT LEAST WEEKLY AND AFTER RUNOFF-PRODUCING RAINFALL.
- CHECK FOR DISPLACEMENT OF THE FILTER DAM
- CHECK FOR SOIL SCOUR AROUND THE ENDS OF THE FILTER DAM. IF SUCH EROSION IS OCCURRING, CONSIDER EXTENDING THE WIDTH OF THE FILTER DAM TO AVOID SUCH PROBLEMS.
- IF SEVERE SOIL EROSION OCCURS EITHER UNDER OR AROUND THE FILTER DAM, THEN SEEK EXPERT ADVICE ON AN ALTERNATIVE TREATMENT MEASURE.
- REMOVE AND SEDIMENT ACCUMULATED BY THE FILTER DAM, UNLESS IT IS INTENDED THAT THIS SEDIMENT WILL REMAIN WITHIN THE CHANNEL.
- DISPOSE OF COLLECTED SEDIMENT IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.
- REPLACE GEOTEXTILE LAYER ON UPSTREAM FACE WITH A CLEAN LAYER AS REQUIRED.

REMOVAL

- WHEN CONSTRUCTION WORK WITHIN THE DRAINAGE AREA ABOVE THE FILTER DAM HAS BEEN COMPLETED, AND THE DISTURBED AREAS AND THE DRAINAGE CHANNEL ARE SUFFICIENTLY STABILISED TO RESTRAIN EROSION, ALL TEMPORARY CHECK DAMS MUST BE REMOVED.
- REMOVE THE FILTER DAM AND ASSOCIATED SEDIMENT AND DISPOSE OF IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.



TEMPORARY CONSTRUCTION ENTRY / EXIT

NOT TO SCALE

TEMPORARY CONSTRUCTION ENTRY / EXIT

MATERIAL

ROCK:
WELL GRADED, HARD, ANGULAR, EROSION RESISTANT ROCK, NOMINAL DIAMETER OF 50 TO 75mm (SMALL DISTURBANCES) OR 100 TO 150mm (LARGE DISTURBANCES). ALL REASONABLE MEASURES MUST BE TAKEN TO OBTAIN ROCK OF NEAR UNIFORM SIZE.

FOOTPATH STABILISING AGGREGATE:
25 TO 50mm GRAVEL OR AGGREGATE.

GEOTEXTILE FABRIC:
HEAVY-DUTY, NEEDLE-PUNCHES, NON-WOVEN FILTER CLOTH ('BIDIM' A24 OR EQUIVALENT).

INSTALLATION

- REFER TO APPROVED PLANS FOR LOCATION AND DIMENSIONAL DETAILS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, DIMENSIONS, OR METHOD OF INSTALLATION, CONTACT THE ENGINEER OR RESPONSIBLE ON-SITE OFFICER FOR ASSISTANCE.
- CLEAR THE LOCATION OF THE ROCK PAD, REMOVING STUMPS, ROOTS AND OTHER VEGETATION TO PROVIDE A FIRM FOUNDATION SO THAT THE ROCK IS NOT PRESSED INTO SOFT GROUND. CLEAR SUFFICIENT WIDTH TO ALLOW PASSAGE OF LARGE VEHICLES, BUT CLEAR ONLY THAT NECESSARY FOR THE EXIT. DO NOT CLEAR ADJACENT AREAS UNTIL THE REQUIRED EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE.
- IF THE EXPOSED SOIL IS SOFT, PLASTIC OR CLAYEY, PLACE A SUB-BASE OF CRUSHED ROCK OR A LAYER OF HEAVY-DUTY FILTER CLOTH TO PROVIDE A FIRM FOUNDATION.
- PLACE THE ROCK PAD FORMING A MINIMUM 200mm THICK LAYER OF CLEAN, OPEN-VOID ROCK.
- IF THE ASSOCIATED CONSTRUCTION SITE IS UP-SLOPE OF THE ROCK PAD, THUS CAUSING STORMWATER RUNOFF TO FLOW TOWARDS THE ROCK PAD, THEN FORM A MINIMUM 300mm HIGH FLOW CONTROL BERM ACROSS THE ROCK PAD TO DIVERT SUCH RUNOFF TO A SUITABLE SEDIMENT TRAP.
- THE LENGTH OF THE ROCK PAD SHOULD BE AT LEAST 15M WHERE PRACTICABLE, AND AS WISE AS THE FULL WIDTH OF THE ENTRY OR EXIT AND AT LEAST 3m. THE ROCK PAD SHOULD COMMENCE AT THE EDGE OF THE OFF-SITE SEALED ROAD OR PAVEMENT.
- FLARE THE END OF THE ROCK PAD WHERE IT MEETS THE PAVEMENT SO THAT THE WHEELS OF TURNING VEHICLES DO NOT TRAVEL OVER UNPROTECTED SOIL.
- IF THE FOOTPATH IS OPEN TO PEDESTRIAN MOVEMENT, THE COVER THE COARSE ROCK WITH FINE AGGREGATE OR GRAVEL, OR OTHERWISE TAKE WHATEVER MEASURES ARE NEEDED TO MAKE THE AREA SAFE.

MAINTENANCE

- INSPECT ALL SITE ENTRY AND EXIT POINTS PRIOR TO FORECAST RAIN, DAILY DURING EXTENDED PERIODS OF RAINFALL, AFTER RUNOFF-PRODUCING RAINFALL, OR OTHERWISE AT FORTNIGHTLY INTERVALS.
- IF SAND, SOIL, SEDIMENT OR MUD IS TRACKED OR WASHED ONTO THE ADJACENT SEALED ROADWAY, THEN SUCH MATERIAL MUST BE PHYSICALLY REMOVED, FIRST USING A SQUARE-EDGED SHOVEL, AND THEN A STIFF-BRISTLED BROOM, AND THEN BY A MECHANICAL VACUUM UNIT, IF AVAILABLE.
- IF NECESSARY FOR SAFETY REASONS, THE ROADWAY SHALL ONLY BE WASHED CLEAN AFTER ALL REASONABLE EFFORTS HAVE BEEN TAKEN TO SHOVEL AND SWEEP THE MATERIAL FROM THE ROADWAY.
- WHEN THE VOIDS BETWEEN THE ROCK BECOMES FILLED WITH MATERIAL, AND THE EFFECTIVENESS OF THE ROCK PAD IS REDUCED TO A POINT WHERE SEDIMENT IS BEING TRACKED OFF THE SITE. A NEW 100MM LAYER OF ROCK MUST BE ADDED AND/OR THE ROCK PAD MUST BE EXTENDED.
- ENSURE ANY ASSOCIATED DRAINAGE CONTROL MEASURES (e.g. FLOW CONTROL BERM) ARE MAINTAINED IN ACCORDANCE WITH THEIR DESIRED OPERATIONAL CONDITIONS.
- DISPOSE OF SEDIMENT AND DEBRIS IN A MANNER THAT WILL NOT CREATE AN EROSION OR POLLUTION HAZARD.

REMOVAL

- THE ROCK PAD SHOULD BE REMOVED ONLY AFTER IT IS NO LONGER NEEDED AS A SEDIMENT TRAP.
- REMOVE MATERIALS AND COLLECTED SEDIMENT AND DISPOSE OF IN A SUITABLE MANNER THAT WILL NOT CAUSE AN EROSION OR POLLUTION HAZARD.
- RE-GRADE AND STABILISE THE DISTURBED GROUND AS NECESSARY TO MINIMISE THE EROSION HAZARD.

RPEQ ENGINEER:

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DESIGN & DOCUMENTATION:

PROGRESSION

DESIGN & DEVELOPMENT

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DRAWN

M. TICKNER

DESIGNED

M. TICKNER

APPROVED

G. APPLIN

DATE

RPEQ 6073

CLIENT GURNER TM NOMINEES PTY. LTD.

PROJECT

69-73 MURPHY ST. PORT DOUGLAS

STATUS

PRELIMINARY

SCALE AS SHOWN

SIZE A1

TITLE

CIVIL WORKS PACKAGE
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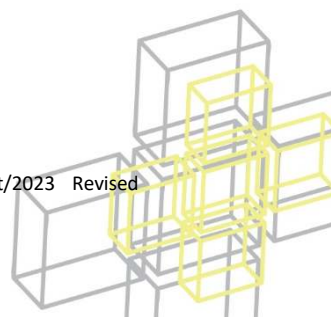
DRAWING NUMBER

22031-C015

REVISION

A

Annexure 11: Douglas Shire Planning Scheme Code Assessment



Port Douglas/Craigie local plan code

Application

- (1) This code applies to assessing development within the Port Douglas/Craigie local plan area as identified on the Port Douglas/Craigie local plan maps contained in Schedule 2.
- (2) When using this code, reference should be made to Part 5.

Context and setting

Editor's note - This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Port Douglas/Craigie local plan code.

The Port Douglas/Craigie local plan encompasses the traditional Port Douglas town centre and surrounding tourist and residential areas, including Four Mile Beach and Craigie.

Port Douglas was officially named in 1877. It was initially settled as the port of entry and supply for the Hodgkinson goldfield on the Hann Tableland which was proclaimed in 1876. It was the dominant port in Far North Queensland until a decision was made to establish Cairns as the terminus for a new railway in 1884. This ended the town's dominance, and it gradually became a small centre for local residents and fishing activities. During the 1970s and 1980s, a renewed interest in Far North Queensland as a holiday destination led to a boom in large scale tourism and residential development with Port Douglas re-emerging as a premium destination.

The Captain Cook Highway runs north-south to the west of Port Douglas through Craigie (Four Mile). Craigie caters for the permanent resident population associated with Port Douglas, as well as providing for service industries to support business in the town. The majority of urban development is confined to the eastern side of the highway. The main entrance to Port Douglas at the intersection of Port Douglas Road is accentuated by mature oil palms lining both sides of the street for almost the entire length of the corridor into the heart of Port Douglas.

Flagstaff Hill is a prominent headland on the northern side of the Port Douglas town centre providing a green tropical backdrop to the town. Island Point Road runs to the top of Flagstaff Hill and provides access to the iconic lookout overlooking the sweep of Four Mile Beach.

Macrossan Street is the main shopping area in Port Douglas running in a general east-west direction at the base of Flagstaff Hill connecting Four Mile Beach to Dickson Inlet. Tourist and commercial development is concentrated towards the western side of Macrossan Street, with marine orientated activity focussed around the inlet. The western side of the inlet provides unspoiled views across mangroves to the distinctive formations and features of the coastal range.

The street pattern in the town centre is based on the original grid pattern survey of 1878. While the town has lost many of its original buildings to cyclones and redevelopment, a number of important built features remain including the Central Hotel, the Court House Hotel, a number of relocated buildings such as St Mary's Church, the former Clink Theatre and the Court House Museum and scattered memorials such as the Carstens memorial in Macrossan Street

and the Port Douglas War memorial in Wharf Street. The Sugar Wharf on Dickson Inlet was the original terminus of the tramline to Mossman. The tramline now terminates adjacent to the Port Douglas marina and operates as the Balley Hooley passenger service on four kilometres of track between the Port Douglas Marina and St Crispins Station.

A particular characteristic of the local plan area is its high quality, lush landscaping complementing the tropical resort town atmosphere. This theme will be carried throughout the local plan area with gateways, nodes and corridor planting emphasising the role of the town as a tropical tourist destination.

Purpose

- (1) The purpose of the Port Douglas/Craigie local plan code is to facilitate development outcomes consistent with community values, the local tropical built-form and protection of the natural environment within the Port Douglas/Craigie local plan area, while providing a platform for investment and prosperity.
 - (a) In addition, the purpose of the code is supported by the Port Douglas Waterfront Master Plan which provides a clear strategic direction for the incremental transformation of the Port Douglas Waterfront, including the following objectives:
 - (b) To set out a vision for revitalisation of the waterfront;
 - (c) To protect and enhance the environmental attributes; and
- (2) To provide a flexible framework, expressed through several key strategies that will assist the Council and community in managing change.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Port Douglas will continue to develop as the premium destination for international and domestic tourists in the Far North Queensland Region, while also acting for permanent residents attracted to the associated lifestyle.
 - (b) Major tourist, retail, dining and entertainment facilities will consolidate in the Town Centre and the Waterfront North sub-precincts, with improved pedestrian connections between the town centre and the waterfront.
 - (c) Craigie will develop as an integrated residential community with some low scale tourism development opportunities in appropriate locations. Craigie will also function as small scale commercial and light industry node, providing employment opportunities for the Shire's permanent resident population.
 - (d) All forms of development will complement the tropical image of the town through distinctive tropical vernacular, urban design and landscaping.
 - (e) Character will be enhanced through the identification of gateway sites, landmarks, main approach routes and pedestrian thoroughfares and view corridors;
 - (f) The Flagstaff Hill, Dickson Inlet, Four Mile Beach and other areas of scenic and environmental significance will be protected from development. Vegetation cover will dominate over built form.
 - (g) Vegetation, iconic to the character of Port Douglas, including the avenues of Oil Palms, is retained and where appropriate supplemented.

- (h) Development will be indistinguishable from view from Four Mile Beach. In addition, any development on Flagstaff Hill will be indistinguishable when viewed from vantage points in Port Douglas.
 - (i) Residential areas are designed as pleasant, functional and distinctive, in visually well-defined areas.
- (4) The purpose of the code will be further achieved through the following overall outcomes:
- (a) Precinct 1 – Port Douglas precinct
 - (i) Sub-precinct 1a – Town Centre sub-precinct
 - (ii) Sub-precinct 1b – Waterfront North sub-precinct
 - (iii) Sub-precinct 1c – Waterfront South sub-precinct
 - (iv) Sub-precinct 1d – Limited Development sub-precinct
 - (v) Sub-precinct 1e – Community and recreation sub-precinct
 - (vi) Sub-precinct 1f – Flagstaff Hill sub-precinct
 - (b) Precinct 2 – Integrated Resort precinct
 - (c) Precinct 3 – Craiglie Commercial and Light Industry precinct
 - (d) Precinct 4 – Old Port Road / Mitre Street precinct
 - (e) Precinct 5 – Very Low Density Residential/ Low Scale Recreation/Low Scale Educational/Low Scale Entertainment Uses precinct

Precinct 1 – Port Douglas precinct

- (5) In addition to the overall outcomes, the outcomes sought for the precinct are to ensure that:
- (a) development will contribute to the incremental transformation of the township, preserving and enhancing maritime activities and environmental areas, delivering tropical open spaces and a high quality public realm, and allowing for tourism opportunities and investment.
 - (b) development contributes to the enhancement of the Port Douglas precinct through the following development outcomes:
 - (i) access and connectivity throughout the township is enhanced through a series of improvements to circulation and mobility, including:
 - (A) access to, and connectivity along, the waterfront and foreshore areas is maintained and, where appropriate, enhanced;
 - (B) reducing reliance on the waterfront as a car parking resource.
 - (ii) the use of land in the Port Douglas precinct improves the cohesive layout of the township through:
 - (A) the establishment of distinct sub-precincts that reinforce the character and built form of the Port Douglas local plan area including:
 - Port Douglas centre sub-precinct 1a – Town Centre sub-precinct;
 - Port Douglas centre sub-precinct 1b – Waterfront North sub-precinct;
 - Port Douglas centre sub-precinct 1c – Waterfront South sub-precinct;
 - Port Douglas centre sub-precinct 1d – Limited development sub-precinct;
 - Port Douglas centre sub-precinct 1e – Community and recreation precinct;

- Port Douglas centre sub-precinct 1f – Flagstaff Hill sub-precinct;
- (B) facilitating marina facilities and supporting marine industry uses as a key part of the local economy;
- (C) reducing conflict between industry, community and commercial activities in the waterfront, without diminishing the marine industry capacity in the Port Douglas precinct;
- (i) environment and sustainability is integrated into the township through:
 - (A) preservation and enhancement of the qualities and characteristics of environmental areas of the township;
 - (B) water sensitive urban design is considered as a means of water quality improvement and management of overland flow to ensure hard infrastructure solutions in Warner Street can be mitigated;
 - (C) design of buildings and access way improvements prioritises walking and cycling modes of transport.
- (ii) the tropical character of the Port Douglas precinct is enhanced by ensuring development:
 - (A) maintains and enhances the built form, local character, streetscapes and natural elements of the township;
 - (B) is compatible with the desired character and amenity of local places and neighbourhoods;
 - (C) does not exceed the height of buildings designations which contribute to the desired form of the township which contains three storey development heights in sub-precinct 1a – Town Centre sub-precinct and part of sub-precinct 1b – Waterfront North sub-precinct;
 - (D) implements high quality landscaped environments around buildings and on streets;
 - (E) protects the recognisable character and locally significance sites throughout the precinct.
- (iii) public spaces and the streetscape are enhanced through:
 - (A) an increase in the quantity and quality of public land and places throughout the precinct;
 - (B) consolidating community recreation and sporting uses to create a precinct of community focussed activity between Mudlo Street and Wharf Street;
 - (C) improved connections between the town centre and the waterfront marina, including an investigation of a plaza on the waterfront;
 - (D) improved streetscapes with high quality landscaping, surface treatments and shaded pedestrian environments;
 - (E) the creation of a sense of place through aesthetic streetscapes and built-form character;
 - (F) managing vegetation to ensure succession of planting and the ongoing presence of significant trees.
- (iv) advertising signage is small scale, low-key and complements the tropical character of the town.

Sub-precinct 1a – Town Centre sub-precinct

- (6) In addition to other overall development outcomes, development in the Town Centre sub-precinct facilitates the following development outcomes:
 - (a) tourist, retail, dining and entertainment activities are facilitated at an appropriate pedestrian scale;
 - (b) drive-through developments, bulky goods showrooms, outdoor sales, saleyards and other big-box retailing or entertainment facilities are not established;
 - (c) development contributes to a high quality public realm;
 - (d) parking (and associated infrastructure) does not undermine the relationship between buildings and street or pedestrian circulation patterns;

- (e) consolidation of community and cultural land use activities along Mowbray Street between Wharf Street and Mudlo Street;
- (f) active street frontages are established along Macrossan and Wharf Streets and other nearby streets as shown on the Port Douglas Centre Active Frontages and Pedestrian and Cycle Network Plan;
- (g) Live entertainment activities are concentrated within the Live Entertainment Precinct and are subject to the recommendations of a suitably qualified acoustic engineer.

Sub-precinct 1b - Waterfront North sub-precinct

- (7) In addition to other overall development outcomes, development in the Waterfront North sub-precinct facilitates the following development outcomes:
 - (a) the precinct evolves as a revitalised open space and waterside development precinct;
 - (b) development within the precinct is designed to be sympathetic to the environmentally sensitive Dickson Inlet and mitigates any adverse impacts;
 - (c) the establishment of mixed-use development is facilitated to promote activity and vitality;
 - (d) public pedestrian access is maximised along the extent of the edge of the waterfront, consisting of a boardwalk or similar structure available for 24-hour use;
 - (e) development contributes to a high quality public realm;
 - (f) built form provides an attractive point of arrival from both land and sea;
 - (g) pedestrian connectivity is safe, efficient and provides for the needs of all users of the Port Douglas waterfront;
 - (h) parking (and associated infrastructure) does not undermine the relationship between buildings and street or pedestrian circulation patterns;
 - (i) the importance of existing marine-based industries to the area is recognised, not diminished and protected from incompatible uses. Relocation of marine based industries to an alternative precinct does not occur until such time that agreement has been reached among all relevant stakeholders such that development does not diminish the viability of marine based industrial uses that directly serve the Port Douglas tourist and fishing operators and private boat owners;
 - (j) marine infrastructure is established to service the tourism, fishing and private boating community;
 - (k) Live entertainment activities are concentrated within the Live Entertainment Precinct and are subject to the recommendations of a suitably qualified acoustic engineer;
 - (l) the functionality of the Balley Hooley tourist rail is retained.

Sub-precinct 1c – Waterfront South sub-precinct

- (8) In addition to all other overall development outcomes, development in the Waterfront South sub-precinct facilitates the following development outcomes:
 - (a) any use of land in the precinct does not affect the environmental, habitat, conservation or scenic values of Dickson Inlet and surrounding land;
 - (b) marine-based industries are established on appropriate land having regard to site suitability, accessibility, surrounding land uses, and location of utilities and services;
 - (c) marine-based industry achieves appropriate environmental standards;
 - (d) industrial buildings have a high standard of layout and building design;
 - (e) landscaping provides an attractive streetscape and screens utility, storage and car parking from the street and other public areas;

- (f) the precinct is protected from encroachment of incompatible land use activities.

Sub-precinct 1d – Limited Development sub-precinct

- (9) In addition to all other overall development outcomes, development in the Limited Development sub-precinct facilitates the following development outcomes:
 - (a) any use of land in the precinct does not affect the environmental, habitat, conservation or scenic values of Dickson Inlet and surrounding land;
 - (b) the open nature and character of the precinct is retained maintaining view lines across the inlet;
 - (c) community and recreation land use activities are established that promote public access to the foreshore.

Sub-precinct 1e – Community and recreation sub-precinct

- (10) In addition to all other overall development outcomes, development in the Community and recreation sub-precinct facilitates the following development outcomes:
 - (a) development for community uses, including sport and recreation is facilitated.
 - (b) sport and recreation activities predominantly involve outdoor activities;
 - (c) areas of natural vegetation are protected from further development;
 - (d) shade trees are increased, in appropriate locations, surrounding the sports fields.

Sub-precinct 1f – Flagstaff Hill sub-precinct

- (11) In addition to all other overall development outcomes, development in the Flagstaff Hill sub-precinct facilitates the following development outcomes:
 - (a) development is not established where it results in detriment to the vegetated and scenic qualities of Flagstaff Hill;
 - (b) development minimises excavation and filling;
 - (c) buildings and other works are unobtrusive when viewed from vantage points in Port Douglas and are designed and constructed of colours and materials which complement the hill's vegetated state;
 - (d) views from public viewing points within the precinct are protected.

Precinct 2 – Integrated Resort precinct

- (12) In addition to the overall outcomes, development in the Integrated Resort precinct facilitates development in accordance with the *Integrated Development Resort Act, 1987*.

Editor's note – The development of land within this precinct is subject to the Integrated Development Resort Act 1987 (IDRA). Where a conflict exists between this planning scheme and the IDRA, the IDRA prevails.

Precinct 3 – Craiglie Commercial and Light Industry precinct

- (13) In addition to the overall outcomes, development in the Craiglie Commercial and Light Industry precinct facilitates the following overall outcomes:
- (a) development supports the tourism and marine industries in Port Douglas, along with the small-scale commercial and light industry land uses that support the local economy that would otherwise be better suited to a location outside the Port Douglas Centre Precinct unless they pose a safety issue;
 - (b) development adjacent to the Captain Cook Highway presents an attractive appearance to the highway. The rain-trees, melaleucas and eucalypt trees along the Captain Cook Highway are retained where possible, taking into account the Department of Transport and main Road's requirements;
 - (c) retailing activities are generally restricted to those which are ancillary and necessarily associated with the primary service and light industry nature of the area;
 - (d) adjacent residential areas are protected from industry nuisances;
 - (e) lots fronting Downing Street, between Dickson Street and Beor Street, are provided with an appropriate standard of road access and infrastructure, prior to development occurring.

Precinct 4 – Old Port Road / Mitre Street precinct

- (14) In addition to the overall outcomes, development in the Old Port Road / Mitre Street precinct facilitates the following overall outcomes:
- (a) the precinct is intended to be used for outdoor recreational land use activity, primarily as a golf course;
 - (b) areas of significant vegetation are protected from development and retained;
 - (c) other forms of development will only be considered if substantial areas of open space are retained adjacent to existing residential areas to maintain the existing residential amenity of open views across open space.

Precinct 5 – Very Low Density Residential/Low Scale Recreation/Low Scale Educational/Low Scale Entertainment Uses precinct

- (15) In addition to the overall outcomes, development in the Very Low Residential Density/Low Scale Recreation/Low Scale Educational/Low Scale Entertainment Uses precinct facilitates the following overall outcomes:
- (a) residential accommodation does not exceed a maximum of 8.5 metres in building height;
 - (b) minimum lot sizes exceed 2 hectares;
 - (c) very low scale and intensity recreation/ very low scale and intensity educational/ and very low scale entertainment uses may be appropriate in areas of the precinct subject to erosion and other flooding constraints.

Note - Undeveloped lots in this precinct are located on very low-lying land. Council may consider a consolidation of existing land titles via lot reconfiguration to lot sizes less than 2 hectares, where the reconfigured lots are consolidated onto the highest terrain, to avoid a pattern of development consisting of dwelling houses located on isolated islands of raised building pads.

Criteria for assessment

Table Error! No text of specified style in document..a –Port Douglas / Craiglie local plan – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self assessable and assessable development		
Development in the Port Douglas / Craiglie local plan area generally		
PO1 Pedestrians, cyclists, motorists and public transport users can easily move into and through the precinct along planned connectivity routes, identified on the Port Douglas / Craiglie local plan maps contained in Schedule 2.	AO1 A pedestrian and cycle movement network is integrated and delivered through development.	Subject site is not located such as to include opportunities for pedestrian and cycle movements through the site.
PO2 Development retains and enhances key landscape elements including character trees and areas of significant vegetation contributing to the character and quality of the local plan area and significant views and vistas and other landmarks important to the context of Port Douglas / Craiglie (as identified on the Port Douglas/ Craiglie Townscape Plan map contained in Schedule 2).	AO2.1 Development provides for the retention and enhancement of existing mature trees and character vegetation that contribute to the lush tropical character of the town, including: <ul style="list-style-type: none"> (a) the tree covered backdrop of Flagstaff Hill; (b) natural vegetation along watercourses, in particular the Mowbray River, Beor Creek and Dickson Inlet; (c) the tidal vegetation along the foreshore; 	Retention of existing vegetation is challenging on the subject site given its topography and need for significant earthworks. Nevertheless, the proposal will include significant landscaping works and a built form that will positively contribute to the lush tropical character of the area.

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(d) beachfront vegetation along Four Mile Beach, including the fringe of Coconut Palms;</p> <p>(e) the oil palm avenues along the major roads;</p> <p>(f) the lush landscaping within major roundabouts at key nodes;</p> <p>(g) Macrossan Street and Warner Street;</p> <p>(h) Port Douglas waterfront.</p> <p>AO2.2 Development protects and does not intrude into important views and vistas as identified on the Port Douglas Townscape Plan map contained in Schedule 2, in particular:</p> <p>(a) Flagstaff Hill;</p> <p>(a) Four Mile Beach;</p> <p>(b) Across to the ranges over Dickson Inlet;</p> <p>(c) Mowbray Valley.</p> <p>AO2.3 Important landmarks, memorials and monuments are retained.</p>	<p>Proposal is not visible from lookout on Flagstaff Hill.</p> <p>N/A</p>
<p>PO3 Development contributes to the protection, reinforcement and where necessary enhancement of gateways and key intersections identified on the Port Douglas / Craiglie local plan maps contained in Schedule 2.</p>	<p>AO3 Development adjacent to the gateways and nodes as identified on the Port Douglas / Craiglie local plan maps contained in Schedule 2 incorporates architectural features and landscaping treatments and design elements that enhance the sense of arrival and way finding within the town.</p>	<p>N/A</p>
<p>PO4 Landscaping of development sites complements the existing tropical character of Port Douglas and Craiglie.</p>	<p>AO4 Landscaping incorporates the requirements of Planning scheme policy SC6.7 – Landscaping, in particular landscaping should</p>	<p>Proposal includes sufficient areas for landscaping which will be capable of achieving compliance with Planning scheme policy SC6.7 – Landscaping.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	be capable of achieving a 60% screening of development within 5 years and predominantly consists of endemic vegetation.	
P05 Development does not compromise the safety and efficiency of the State-controlled road network.	A05 Direct access is not provided to a State-controlled road where legal and practical access from another road is available.	Proposal complies.
For assessable development		
Additional requirements in Precinct 1 – Port Douglas precinct		
P06 The views and vistas identified on the Port Douglas / Craiglie local plan maps contained in Schedule 2 are maintained.	A06.1 Development does not impede continued views to scenic vistas and key streetscapes within the local plan area. A06.2 Unless otherwise specified within this Local Plan, buildings are set back not less than 6 metres from the primary street frontage.	N/A N/A
P07 Vehicle access, parking and service areas: (a) do not undermine the relationship between buildings and street or dominate the streetscape; (b) are designed to minimise pedestrian vehicle conflict; (c) are clearly identified and maintain ease of access at all times.	A07.1 For all buildings, parking is: (a) to the side of buildings and recessed behind the main building line; or (b) behind buildings; or (c) wrapped by the building façade, and not visible from the street. A07.2 Ground level parking incorporates clearly defined pedestrian routes. A07.3	N/A N/A N/A

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Any porte-cocheres, disabled and pedestrian accesses are accommodated within the boundary of new or refurbished development.</p> <p>A07.4 Where the development is an integrated mixed-use development incorporating short term accommodation or multiple dwellings and either food and drink outlet or hotel or shop or shopping centre or office, on-site parking spaces are provided as per the number prescribed in the Parking and access code with a relaxation of 30% of spaces required for the non-residential uses.</p> <p>A07.5 On-site car parking available for public use is clearly signed at the site frontage.</p> <p>A07.6 Boom gates, pay machines or other regulatory devices to control access to a publicly available car parking area are not constructed or installed.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p>
<p>PO8 Precinct 1 – Port Douglas precinct is not characterised by a proliferation of advertising signs.</p>	<p>A08 No acceptable outcomes are prescribed.</p>	<p>N/A</p>
Additional requirements for Sub-precinct 1a – Town Centre sub-precinct		
<p>PO9 Building heights: (a) do not overwhelm or dominate the town centre; (b) respect the desired streetscape;</p>	<p>A09 Buildings and structures are not more than 3 storeys and 13.5 metres in height, with a roof height of not less than 3 metres.</p> <p>Note – Height is inclusive of the roof height.</p>	<p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
(c) ensure a high quality appearance when viewed from both within the town centre sub-precinct and external to the town centre sub-precinct; (d) remain subservient to the natural environment and the backdrop of Flagstaff Hill. (e) do not exceed 3 storeys.		
PO10 Building design, the streetscape, pedestrian paths and street front spaces promote integration with the surrounding area and the rest of Precinct 1 – Port Douglas Precinct.	AO10 No acceptable outcomes are prescribed.	N/A
PO11 Buildings: (a) address street frontages; (b) ensure main entrances front the street or public spaces; (c) do not focus principally on internal spaces or parking areas.	AO11 No acceptable outcomes are prescribed.	N/A
PO12 Setbacks at ground level provide for: (a) connection between pedestrian paths and public places; (b) areas for convenient movement of pedestrians; (c) changes in gradient of the street.	AO12 Setbacks at ground level: (a) are clear of columns and other obstructions; (b) have pavement matching the gradient of adjoining footpaths and connecting pedestrian areas on adjoining sites; (c) connect without any lip or step to adjoining footpaths.	N/A
AO13 Buildings do not result in a reduction of views and vistas from public places to: (a) Flagstaff Hill; (b) Dickson Inlet; (c) public open space; (d) places of significance.	AO13 No acceptable outcomes are prescribed.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
PO14 Development enhances the distinctive tropical resort town and identity of Port Douglas and encourages pedestrian activity at street level including shade protection across the footpath for the length of the building.	AO14 Development is built up to the street frontage/s at the street level and incorporates a light frame awning, a minimum of 3 metres in width for the length of the street frontage/s; Or If a development includes an outdoor dining area at ground/footpath level, the dining area has a maximum setback of 3 metres and the required awning is still maintained along the length of the street frontage/s. Note – PO24 provides more detail on awning design.	N/A
PO15 Development is predominantly commercial in nature with any tourist accommodation having a secondary focus and not located on the street-level frontage where active frontages are encouraged as identified the Port Douglas local plan maps contained in Schedule 2.	AO15.1 Centre activities establish: at street level on active street frontages; a maximum of one level above street level. AO15.2 Any residential development activities or short term accommodation is located above street level of the active frontage, but not on or up to the street frontage in any development, including mixed use development.	N/A N/A
PO16 Detailed building design: (a) enhances the visual amenity of the streetscape; (b) has a legible and attractive built form that is visually enhanced by architectural elements; (c) contributes to a distinctive tropical north Queensland, seaside tourist town character; (d) integrates major landscaping elements to maximise their aesthetic value to ensure that the	AO16 No acceptable outcomes are prescribed.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
lush, vegetated character of the Town Centre sub-precinct is maintained.		
P017 Buildings exhibit variations to their external appearance and the shape of the built form to provide visual interest through: <ul style="list-style-type: none"> (a) surface decoration; (b) wall recesses and projections; (c) a variation in wall finishes; windows, balconies, awnings and other visible structural elements. (d) differentiating between the lower, middle and upper parts of the building by varying the façade and/or the shape of the built form, where comprised of more than two storeys. 	AO17 No acceptable outcomes are prescribed.	N/A
P018 Roofs are not characterised by a cluttered display of plant and equipment, in particular: <ul style="list-style-type: none"> (a) building caps and rooftops contribute to the architectural distinction of the building and create a coherent roofscape for the Town Centre sub-precinct; (b) service structures, lift motor rooms and mechanical plant and equipment are designed as an architectural feature of the building or are screened from public view; (c) rooftops are not used for advertising. 	AO18 No acceptable outcomes are prescribed.	N/A
P019 Windows and sun/rain control devices are used in the building form, in particular, sun shading devices are provided to: <ul style="list-style-type: none"> (a) shade windows; (b) reduce glare; (c) assist in maintaining comfortable indoor temperatures; (d) minimising heat loads; 	AO19 No acceptable outcomes are prescribed.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
	(d) a horizontal or vertical change in the wall plane; or (e) a change in the exterior finishes and exterior colours of the development.	
PO23 Building facades that face public spaces at ground level: (a) complement the appearance of the development and surrounding streetscape; (b) enhance the visual amenity of the public place; (c) include a variety of human scale architectural elements and details; (d) provide an opportunity for the casual and convenient surveillance of public space from within the development.	AO23 Building facades at the ground floor of development that face public space are designed to ensure: (a) a minimum of 70% of the façade area is comprised of windows, wall openings or shop fronts that permit the casual surveillance of the public space from the development; (b) a visually prominent main entrance that faces the principal public place; (c) vertical architectural elements and features are incorporated at 3 metre or less intervals along the length of the façade.	N/A
PO24 Awnings for pedestrian shelter are consistent with the character setting of the Town Centre sub-precinct and: (a) extend and cover the footpath to provide protection from the sun and rain; (b) include lighting under the awning; (c) are continuous across the frontage of the site; (d) align to provide continuity with existing or future awnings on adjoining sites; (e) are a minimum of 3.0 metres in width and generally not more than 3.5 metres above pavement height; (f) do not extend past a vertical plane, 1.2 metres inside the kerb-line to enable street trees to be planted and grow;	AO24 No acceptable outcomes are prescribed.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
(g) are cantilevered from the main building with any posts within the footpath being non load-bearing.		
PO25 Development integrates with the streetscape and landscaping improvements for Port Douglas.	AO25 Development fronting Davidson Street, Macrossan Street, Wharf Street, Mowbray Street and Warner Street is designed to integrate with the on-street landscaping and design improvements as outlined within the Port Douglas landscape master plan contained within Planning scheme policy SC6.7 – Landscaping. Note - Planning scheme policy SC6.7 - Landscaping provides guidance on meeting the Performance Outcome.	N/A
Additional requirements for Sub-precinct 1b – Waterfront North sub-precinct		
PO26 The establishment of uses is consistent with the outcomes sought for sub-precinct 1b – Waterfront North.	AO26 Uses identified as inconsistent uses in Table Error! No text of specified style in document..b — Inconsistent uses in sub-precinct 1b - Waterfront North sub-precinct are not established in sub-precinct 1b - Waterfront North	N/A
PO27 The bulk and scale of buildings is consistent with surrounding development and steps down to complement the open space areas in the adjoining limited development sub-precinct.	AO27 Buildings and structures are not more than: (a) 3 storeys and 13.5 metres in height , with a roof height of not less than 3 metres, in those parts of the precinct south of Inlet Street; (b) 2 storeys and 8.5 metres in height, with a roof height of not less than 3 metres, in those parts of the precinct north of Inlet Street. Note – Height is inclusive of roof height.	N/A
PO28	AO28	N/A

Performance outcomes	Acceptable outcomes	Applicant response
	(b) have pavement matching the gradient of adjoining footpaths and connecting pedestrian areas on adjoining sites; (c) connect without any lip or step to adjoining footpaths.	
PO32 Buildings do not result in a reduction of views and vistas from public places to: (a) Dickson Inlet; (b) public open space; (c) places of significance.	AO32 No acceptable outcomes are prescribed.	N/A
PO33 Development enhances the distinctive tropical resort town and identity of Port Douglas and encourages pedestrian activity at ground level including shade protection across the footpath and open space areas.	AO33 No acceptable outcomes are prescribed.	N/A
PO34 Development is predominantly commercial in nature with any tourist accommodation having a secondary focus and not located on the street-level frontage where active frontages are encouraged as identified the Port Douglas local plan maps contained in Schedule 2.	AO34.1 Centre activities establish: (a) at street level on active street frontages; (b) a maximum of one level above street level. AO34.2 Residential development activities or short term accommodation is located above street /ground floor level of the active frontage, but not on or up to the street / public frontage in any development, including mixed use development.	N/A
PO35 Detailed building design: (a) enhances the visual amenity of the streetscape; (b) has a legible and attractive built form that is visually enhanced by architectural elements;	AO35 No acceptable outcomes are prescribed.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
(c) contributes to a distinctive tropical north Queensland, seaside tourist town character; (d) integrates major landscaping elements to maximise their aesthetic value to ensure that the lush, vegetated character of the Waterfront North sub-precinct is maintained.		
PO36 Buildings exhibit variations to their external appearance and the shape of the built form to provide visual interest through: (a) surface decoration; (b) wall recesses and projections; (c) a variation in wall finishes; windows, balconies, awnings and other visible structural elements. (d) differentiating between the lower, middle and upper parts of the building by varying the façade and/or the shape of the built form, where comprised of more than two storeys.	AO36 No acceptable outcomes are prescribed.	N/A
PO37 Roofs are not characterised by a cluttered display of plant and equipment, in particular: (a) building caps and rooftops contribute to the architectural distinction of the building and create a coherent roofscape for the Waterfront North sub-precinct; (b) service structures, lift motor rooms and mechanical plant and equipment are designed as an architectural feature of the building or are screened from public view; (c) rooftops are not used for advertising.	AO37 No acceptable outcomes are prescribed.	N/A
PO38 Windows and sun/rain control devices are used in the building form, in particular, sun shading devices are provided to: (a) shade windows;	AO38 No acceptable outcomes are prescribed.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
(b) reduce glare; (c) assist in maintaining comfortable indoor temperatures; (d) minimising heat loads; (e) enriching the North Queensland tropical character of the Waterfront North sub-precinct; (f) architectural interest to building façades.		
PO39 Buildings are finished with high quality materials, selected for: (a) their ability to contribute the character of Waterfront North sub-precinct; (b) easy maintenance, durability and an ability not to readily stain, discolour or deteriorate.	AO39 No acceptable outcomes are prescribed.	N/A
PO40 Buildings do not incorporate any type of glass or other materials that are likely to reflect the sun's rays in a manner that may create a nuisance, discomfort or a hazard.	AO40 No acceptable outcomes are prescribed.	N/A
PO41 Façades and elevations do not include large blank walls and openings and setbacks are used to articulate vertical building surfaces.	AO41.1 Development has a maximum length of unbroken building facade of 20 metres and a maximum extent of overall development in the same style/design along the street frontage/s of 40 metres. AO41.2 Any break in the building façade varies the alignment by a 1 metre minimum deviation. AO41.3 A minimum of three of the following building design features and architectural elements	N/A

Performance outcomes	Acceptable outcomes	Applicant response
	<p>detailed below are incorporated to break the extended facade of a development:</p> <ul style="list-style-type: none"> (a) a change in roof profile; (b) a change in parapet coping; (c) a change in awning design; (d) a horizontal or vertical change in the wall plane; or (e) a change in the exterior finishes and exterior colours of the development. 	
<p>PO42 Building facades that face public spaces at ground level:</p> <ul style="list-style-type: none"> (a) complement the appearance of the development and surrounding streetscape; (b) enhance the visual amenity of the public place; (c) include a variety of human scale architectural elements and details; (d) provide an opportunity for the casual and convenient surveillance of public space from within the development. 	<p>AO42 Building facades at the ground floor of development that face public space are designed to ensure:</p> <ul style="list-style-type: none"> (a) a minimum of 70% of the façade area is comprised of windows, wall openings or shop fronts that permit the casual surveillance of the public space from the development; (b) a visually prominent main entrance that faces the principal public place; (c) vertical architectural elements and features are incorporated at 3 metre or less intervals along the length of the façade. 	N/A
<p>PO43 Awnings for pedestrian shelter are consistent with the character setting of the Waterfront North sub-precinct and:</p> <ul style="list-style-type: none"> (a) extend and cover the footpath to provide protection from the sun and rain; (b) include lighting under the awning; (c) are continuous across pedestrian circulation areas; (d) align to provide continuity with existing or future awnings on adjoining sites; 	<p>AO43 No acceptable outcomes are prescribed.</p>	N/A

Performance outcomes	Acceptable outcomes	Applicant response
(e) are a minimum of 3 metres in width and generally not more than 3.5 metres above pavement height; (f) do not extend past a vertical plane, 1.2 metres inside the street kerb-line to enable street trees to be planted and grow; (g) are cantilevered from the main building with any posts within the footpath being non load-bearing.		
PO44 The Balley Hooley rail line and turn-table is retained and incorporated into development and maintains its functionality.	AO44.1 Bally Hooley rail line and turn-table is retained and incorporated into development to maintain its functionality. AO44.2 Where development provides floor area for the Bally Hooley rail station, the gross floor area of the rail line and station does not generate a requirement for additional vehicle parking.	N/A N/A
PO45 Development recognises the importance of and relationship between the marina, commercial and residential development in the Waterfront North sub-precinct, and includes measures to mitigate the impact of: (a) noise; (b) odour; (c) hazardous materials; (d) waste and recyclable material storage.	AO45 No acceptable outcomes are prescribed.	N/A
PO46 Formalised public spaces and pedestrian paths/areas on freehold land are made accessible to the public.	AO46 No acceptable outcomes are prescribed.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
PO47 Buildings, civic spaces, roads and pedestrian links are enhanced by: (a) appropriate landscape design and planting; (b) themed planting that defines entry points, and creates strong 'entry corridors' into the waterfront; (c) lighting and well-considered discrete signage that complements building and landscape design; (d) public artwork and other similar features that reflect the heritage and character of the Port Douglas Waterfront.	AO47 No acceptable outcomes are prescribed.	N/A
PO48 Buildings are designed and sited to provide vistas along shared pedestrian/open space and movement areas in suitable locations.	AO48 No acceptable outcomes are prescribed.	N/A
PO49 Development does not diminish the viability of marine-based industrial uses that directly serve the Port Douglas tourist and fishing operators and private boat owners, particularly with respect to the slipway operation.	AO49 No acceptable outcomes are prescribed.	N/A
PO50 Marine infrastructure to service the tourism, fishing and private boating community is provided.	AO50 No acceptable outcomes are prescribed.	N/A
PO51 Changes to the Port Douglas Waterfront quay-line do not cause adverse impacts to the environmentally sensitive Dickson Inlet.	AO51 Development that results in changes to the Port Douglas Waterfront quay-line is only established where an Ecological assessment report provides support to the changes. Note - Planning scheme policy SC6.8 – Natural environment provides guidance on preparing an ecological assessment report.	N/A
Additional requirements for Sub-precinct 1c – Waterfront South sub-precinct		

Performance outcomes	Acceptable outcomes	Applicant response
PO52 The establishment of uses is consistent with the outcomes sought for Precinct 1c – Waterfront South.	AO52 Uses identified as inconsistent uses Table Error! No text of specified style in document..c are not established in Precinct 1c – Waterfront South.	N/A
PO53 Development does not adversely impact on the natural environment, natural vegetation or watercourses.	AO53.1 An Ecological assessment report is prepared identifying the environmental qualities of the surrounding natural and built features which are to be managed. Note - Planning scheme policy SC6.8 – Natural environment provides guidance on preparing an ecological assessment report. AO53.2 An Environmental Management Plan is prepared to manage potential impacts of the operation of the development on surrounding natural areas. Note - Planning scheme policy SC6.4 – Environmental management plans contains information to demonstrate compliance and guidance on preparing an Environmental Management Plan.	N/A
PO54 Development of land at the end of Port Street adjacent to Dickson Inlet incorporates a slipway, or an alternative functioning facility, with capacity to service the Port Douglas marine and tourism industry.	AO54 A master plan for the development is provided and implemented to demonstrate the integration of the slipway, or an alternative functioning facility, with other supporting service industry activities that service the marine and tourism industry of Port Douglas.	N/A
PO55	AO55.1	N/A

Performance outcomes	Acceptable outcomes	Applicant response
Buildings and structures are of a height, and are set back from side boundaries and other sensitive areas to ensure the scenic amenity and environmental qualities of the adjacent area are not adversely affected.	Development has a height of not more than 10 metres. AO55.2 Development is setback from all property boundaries not less than 3 metres.	
PO56 The site coverage of all buildings and structures ensures development: (a) is sited in an existing cleared area or in an area approved for clearing; (b) has sufficient area for the provision of services; (c) development does not have an adverse effect on the environmental, habitat, conservation or landscape values of the on-site and surrounding sensitive areas.	AO56 No acceptable outcomes are prescribed.	N/A
PO57 Premises include adequate provision for service vehicles, to cater for generated demand. Loading areas for service vehicles are designed to: (a) be accommodated on-site; (b) maximise safety and efficiency of loading; (c) protect the visual and acoustic amenity of sensitive land use activities; (d) minimise adverse impacts on natural characteristics of adjacent areas.	AO57.1 Sufficient manoeuvring area is provided on-site to allow a Medium Rigid Vehicle to enter and leave the site in a forward gear. AO57.2 Development is designed to ensure all service vehicles are contained within the site when being loaded/unloaded. AO57.3 Driveways, parking and manoeuvring areas are constructed and maintained to: (a) minimise erosion from storm water runoff; (a) retain all existing vegetation.	N/A N/A N/A
PO58	AO58	N/A

Performance outcomes	Acceptable outcomes	Applicant response
Development ensures adverse impacts from service vehicles on the road network, external to the site, are minimised.	No acceptable outcomes are prescribed.	
PO59 Entry to the site is landscaped to enhance the amenity of the area and provide a pleasant working environment.	AO59 Areas used for loading and unloading, storage, utilities and car parking are screened from public view: (a) by a combination of landscaping and screen fencing; (b) dense planting along any road frontage is a minimum width of 3 metres.	N/A
PO60 Landscaping is informal in character and complementary to the existing natural environment, provides screening and enhances the visual appearance of the development.	AO60 For any development landscaping is in accordance with the Plant species schedule in Planning scheme policy SC6.7– Landscaping.	N/A
Additional requirements for Sub-precinct 1d – Limited Development sub-precinct		
PO61 The height of buildings and structures contributes to the desired form and outcomes for the sub-precinct and are limited to a single storey.	AO61 Buildings and structures are not more than one storey and 4 metres in height. Note - Height is inclusive of the roof height.	N/A
Additional requirements for Sub-precinct 1e – Community and recreation sub-precinct		
PO62 The precinct is developed for organised sporting activities and other community uses.	AO62 No acceptable outcomes are prescribed.	N/A
Additional requirements for Sub-precinct 1f – Flagstaff Hill sub-precinct		
PO63 Flagstaff Hill is protected from inappropriate development to protect the hill as an important natural landmark feature of Port Douglas and as a vegetated backdrop to the Town centre.	AO63 No acceptable outcomes are prescribed.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
<p>PO64 All development on Flagstaff Hill is designed to minimise the visibility of the development and to ensure development is subservient to the natural landscape and topography of the site, including through:</p> <ul style="list-style-type: none"> (a) building design which minimises excavation and filling; (b) buildings being designed to step down the site and incorporate foundations and footings on piers or poles; (c) buildings being visually unobtrusive and incorporating exterior finishes and muted colours which are non-reflective and complement the colours of the surrounding vegetation and view-shed; (d) protection of the views from public viewing points in the Port Douglas precinct. 	<p>AO64 No acceptable outcomes are prescribed.</p>	N/A
Additional requirements for Precinct 3 – Craiglie Commercial and Light Industry precinct		
<p>PO65 Development supports the tourism and marine industries in Port Douglas, along with the small-scale commercial and light industry land uses that support the local economy that would otherwise be better suited to a location outside the Port Douglas Town Centre Precinct.</p>	<p>AO65 Development consists of service and light industries and associated small scale commercial activities.</p>	N/A
<p>PO66 Development on lots adjacent to the Captain Cook Highway is sited, designed and landscaped to provide an attractive visual approach to Port Douglas with all buildings, structures and car parking areas setback a sufficient distance from the frontage to enable landscaping to soften or screen the appearance of the development.</p>	<p>AO66.1 Buildings and structures are setback 8 metres from the Captain Cook Highway frontage, or no closer to the Captain Cook Highway frontage than buildings and structures on adjoining sites (averaged), whichever is the greater.</p> <p>AO66.2</p>	<p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>The setback area to the Captain Cook Highway frontage is landscaped with advanced dense planting including tree species (100 litre bag stock), which will, at maturity, exceed the height of the building(s) on the site.</p> <p>AO66.3 Advertising signs are discreet in appearance with no large advertising signs, including tenancy signs, located on or near the Captain Cook Highway frontage, or within any landscaped setback area.</p> <p>AO66.4 Car parking areas, loading and other service areas are designed to be screened from the Captain Cook Highway and are located so as to not be visually prominent from the Captain Cook Highway.</p>	<p>N/A</p> <p>N/A</p>
Additional requirements for Precinct 6 – Very Low Residential Density / Low Scale Recreation / Low Scale Educational / Low Scale Entertainment Uses precinct		
<p>PO67 No additional lots are created within the precinct.</p>	<p>AO67 No acceptable outcomes are prescribed.</p>	N/A
<p>PO68 Reconfigured lots have a minimum lot size of 2 hectares, unless the lot reconfiguration transfers lots to the higher parts of the land, to avoid the need to fill existing lots to accommodate dwelling houses.</p>	<p>AO68 No acceptable outcomes are prescribed.</p>	N/A

Table Error! No text of specified style in document..b — Inconsistent uses in sub-precinct 1b - Waterfront North sub-precinct

Inconsistent uses

<ul style="list-style-type: none"> • Agricultural supplies store • Air services • Animal husbandry • Animal keeping • Aquaculture • Brothel • Bulk landscape supplies • Car wash • Cemetery • Crematorium • Cropping • Detention facility • Dual occupancy • Dwelling house 	<ul style="list-style-type: none"> • Extractive industry • Funeral parlour • High impact industry • Intensive animal industry • Intensive horticulture • Major electricity infrastructure • Major sport, recreation and entertainment facility • Medium impact industry • Motor sport facility, • Outstation • Permanent plantation 	<ul style="list-style-type: none"> • Relocatable home park • Roadside stall • Rural industry • Rural workers accommodation • Service station • Showroom • Special industry • Tourist park • Transport depot • Veterinary services • Warehouse • Wholesale nursery • Winery
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Table Error! No text of specified style in document..c — Inconsistent uses in sub-precinct 1c - Waterfront South sub-precinct

Inconsistent uses		
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Air services • Animal husbandry • Animal keeping • Brothel • Bulk landscape supplies • Car wash • Cemetery • Child care centre • Community care centre • Community residence • Community use • Crematorium • Cropping • Detention facility • Dual occupancy 	<ul style="list-style-type: none"> • Hardware and trade supplies • Health care services • Home based business • Hospital • Hotel • Indoor sport and recreation • Intensive animal industry • Intensive horticulture • Major electricity infrastructure • Major sport, recreation and entertainment facility • Market • Motor sport facility • Multiple dwelling • Nature-based tourism • Nightclub entertainment facility • Outdoor sales 	<ul style="list-style-type: none"> • Permanent plantation • Place of worship • Relocatable home park • Residential care facility • Resort complex • Retirement facility • Roadside stall • Rooming accommodation • Rural industry • Rural workers accommodation • Sales office • Shopping centre • Short-term accommodation • Showroom • Special industry • Theatre • Tourist attraction

<ul style="list-style-type: none"> • Dwelling house • Dwelling unit • Extractive industry • Function facility • Funeral parlour • Garden centre 	<ul style="list-style-type: none"> • Outdoor sport and recreation • Outstation 	<ul style="list-style-type: none"> • Tourist park • Transport depot • Veterinary services • Warehouse • Wholesale nursery • Winery
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Note - **Table Error! No text of specified style in document..b** or **Table Error! No text of specified style in document..c** do not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.

Tourist accommodation zone code

Application

- (1) This code applies to assessing development in the Tourist accommodation zone.
- (2) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Tourist accommodation zone code is to provide for short-term accommodation supported by community uses and small-scale services and facilities in locations where there are tourist attractions.
- (2) The local government purpose of the code is to:
 - (a) implement the policy direction set in the Strategic Framework, in particular:
 - (i) Theme 4 : Strong communities and identity, Element 3.7.4 – Sense of place, community and identity.
 - (ii) Theme 5 – Economy. Element 3.8.2 – Economic growth and diversification, Element 3.8.2 – Tourism.
 - (b) provide for tourist accommodation development to establish in areas close to commercial and recreational services and facilities.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) A range of accommodation activities, with an emphasis on short-term accommodation is established at a scale and density to service tourist needs.
 - (b) Tourist development is of an appropriate scale and achieves an attractive built form which incorporates the character and natural attributes of the site and the surrounding area as integral features of the theme and design of the development.
 - (c) Development facilitates opportunities for establishing tourist facilities and services within, or adjacent to, tourist accommodation to complement the tourist accommodation and enhance the attractiveness of tourist areas.
 - (d) Development is designed to take into account the tropical climate by incorporating appropriate architectural elements and design features.
 - (e) Landscaping of tourist development is of a high quality and contributes to the visual dominance of tropical vegetation and the local streetscape.
 - (f) Community facilities, open space and recreational areas and appropriate infrastructure to support the needs of the local community are provided.

Criteria for assessment

Table 0.a – Tourist accommodation zone code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO3.3 Balconies, patios and similar spaces are designed to be open and light weight in appearance with a maximum of 20% of the façade being fully enclosed.</p> <p>AO3.4 Roof forms, materials and colours of buildings enhance the amenity of the street and locality, including: (a) the roofs of buildings are light coloured and non-reflecting; (b) white and shining metallic finishes are avoided on external surfaces in prominent view. Note – The building incorporates building design features and architectural elements detailed in Planning scheme policy SC 6.2 – Building design and architectural elements.</p>	<p>N/A</p> <p>N/A</p>
Landscaping (other than for a dwelling house)		
<p>PO4 Landscape planting is provided for the recreational amenity of residents/guests and incorporates dominant tropical vegetation which enhances the streetscape and the amenity of the area.</p>	<p>AO4.1 A minimum of 35% of the site is provided as open space and recreation area with a minimum of 30% of this total; area provided for landscape planting.</p> <p>AO4.2 Within the frontage setback area, a minimum width of 2 metres of landscape area includes a minimum 75% dense planting.</p>	<p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	A04.3 Within the side and rear setback areas, a minimum width of 1.5 metres of landscape area includes 75% dense planting.	N/A
For assessable development		
P05 The establishment of uses is consistent with the outcomes sought for the Tourist accommodation zone and protects the zone from the intrusion of inconsistent uses.	A05 Inconsistent uses as identified in Table 0.b are not established in the Tourist accommodation zone.	N/A
P06 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and surrounds. Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.	A06 No acceptable outcomes are prescribed.	Site is subject to extensive past earthworks and the proposal seeks to integrate with the unique topography and take advantage of its ability to absorb the built form and maintain the character and visual amenity of the area.
P07 Development does not adversely affect the tropical, tourist and residential character and amenity of the area in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	A07 No acceptable outcomes are prescribed.	Proposal is consistent with the type of development that is characteristic of the area.
P08 Any loading/unloading areas, servicing areas and outdoor storage areas are screened from public view or adjacent sensitive uses.	A08 Outdoor loading/unloading, servicing and storage areas are sited or screened so they are: (a) not visible from any off-site public place; (b) not located adjacent to premises used for sensitive uses.	N/A
P09 Tourist developments include recreational and ancillary services and facilities for the enjoyment of guests.	A09.1 Development which includes accommodation for tourists incorporates a	N/A

Performance outcomes	Acceptable outcomes	Applicant response
	<p>mix of the following recreational and ancillary services and facilities:</p> <ul style="list-style-type: none"> (a) swimming pools; (b) tennis courts; (c) barbecue areas; (d) outdoor lounging / recreation areas; (e) restaurants / bars; (f) tourist-focussed shopping; (g) tour booking office; (h) spa / health clubs. <p>AO9.2 Any commercial services or facilities incorporated into a tourist development are small scale and predominantly service in-house guests only.</p> <p>AO9.3 Where a commercial service or facility offers services to persons over and above in-house guests, the commercial component provides on-site car parking for 50% of the floor area available for use in accordance with the relevant requirements of the Parking and access code.</p>	<p>N/A</p> <p>N/A</p>
<p>PO10 New lots contain a minimum area of 1000m².</p>	<p>AO10 No acceptable outcomes are prescribed.</p>	<p>Proposed lots are smaller than prescribed however are demonstrated to be able to accommodate the intended land use as evidenced by the proposal plans.</p>
<p>PO11 New lots have a minimum road frontage of 20 metres.</p>	<p>AO11 No acceptable outcomes are prescribed.</p>	<p>Proposal complies other than proposed Lot 3 which is a rear lot.</p>
<p>PO12 New lots contain a 25 metre x 20 metre rectangle.</p>	<p>AO12 No acceptable outcomes are prescribed.</p>	<p>Proposal complies.</p>

Table 0.b — Inconsistent uses within the Tourist accommodation zone

Inconsistent uses		
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Air services • Animal husbandry • Animal keeping • Aquaculture • Brothel • Bulk landscape supplies • Cropping • Detention facility • Extractive industry • Funeral parlour • Garden centre • Hardware and trade supplies • Health care services • High impact industry • Indoor sport and recreation • Intensive animal industry 	<ul style="list-style-type: none"> • Intensive horticulture • Landing • Low impact industry • Major electricity infrastructure • Major sport, recreation and entertainment facility • Marine industry • Market • Medium impact industry • Motor sport facility • Nightclub entertainment facility • Office • Outdoor sales • Outdoor sport and recreation • Outstation • Park • Parking station 	<ul style="list-style-type: none"> • Permanent plantation • Port services • Renewable energy facility • Roadside stall • Rural industry • Rural workers accommodation • Service station • Shopping centre • Showroom • Special industry • Substation • Theatre • Transport depot • Veterinary services • Warehouse • Wholesale nursery • Winery

Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.

Dwelling house code

Application

- (1) This code applies to assessing development for a dwelling house if:
 - (a) self-assessable development or assessable development where this code identified in the assessment criteria column of a table of assessment;
or
 - (b) impact assessable development.
- (2) When using this code, reference should be made to Part 5.

Note—Where the land is identified in an overlay map, additional provisions relating to that overlay also apply. For example, minimum floor levels for a dwelling house on a site subject to certain types of flooding are identified in the Flood and storm tide inundation overlay code.

Note – For a proposal to be self-assessable, it must meet all of the self-assessable outcomes of this code and any other applicable code. Where it does not meet all the self-assessable outcomes, the proposal becomes assessable development and a development application is required. Where a development application is triggered, only the specific acceptable outcomes that the proposal fails to meet need to be assessed against the corresponding performance outcomes. Other self-assessable outcomes that are met are not assessed as part of the development application.

Purpose

- (1) The purpose of the Dwelling house code is to assess the suitability of development to which this code applies.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) The dwelling house, including all habitable buildings on site, is occupied by a single household;
 - (b) A dwelling house, including a secondary dwelling or domestic out-buildings; ensures that the secondary dwelling is sub-ordinate to the primary dwelling house;
 - (c) Development of a dwelling house provides sufficient and safe vehicle access and parking for residents;
 - (d) The built form, siting, design and use of each dwelling is consistent with the desired neighbourhood character and streetscape elements of the area.

Criteria for assessment

Table Error! No text of specified style in document..a – Dwelling house code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1	AO1	N/A

Performance outcomes	Acceptable outcomes	Applicant response
<p>Secondary dwellings:</p> <ul style="list-style-type: none"> (a) are subordinate, small-scaled dwellings; (b) contribute to a safe and pleasant living environment; (c) are established on appropriate sized lots; (d) do not cause adverse impacts on adjoining properties. 	<p>The secondary dwelling:</p> <ul style="list-style-type: none"> (a) has a total gross floor area of not more than 80m², excluding a single carport or garage; (b) is occupied by 1 or more members of the same household as the dwelling house. 	
<p>PO2 Resident's vehicles are accommodated on- site.</p>	<p>AO2 Development provides a minimum number of on-site car parking spaces comprising:</p> <ul style="list-style-type: none"> (a) 2 car parking spaces which may be in tandem for the dwelling house; (b) 1 car parking space for any secondary dwelling on the same site. 	<p>Proposal complies.</p>
<p>PO3 Development is of a bulk and scale that:</p> <ul style="list-style-type: none"> (a) is consistent with and complements the built form and front boundary setbacks prevailing in the street and local area; (b) does not create an overbearing development for adjoining dwelling houses and their private open space; (c) does not impact on the amenity and privacy of residents in adjoining dwelling houses; (d) ensures that garages do not dominate the appearance of the street. 	<p>AO3 Development meets the acceptable outcome for building height in the applicable Zone code associated with the site.</p>	<p>Refer to Tourist Accommodation Zone code.</p>

Reconfiguring a lot code

Application

- (1) This code applies to assessing reconfiguring a lot if:
 - (a) assessable development where the code is an applicable code identified in the assessment criteria column of a table of assessment;
 - (b) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Reconfiguring a lot code is to regulate development for reconfiguring a lot.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development results in a well-designed pattern of streets supporting walkable communities;
 - (b) lots have sufficient areas, dimensions and shapes to be suitable for their intend use taking into account environmental features and site constraints;
 - (c) road networks provide connectivity that is integrated with adjoining existing or planned development while also catering for the safe and efficient access for pedestrians, cyclists and for public transport;
 - (d) lots are arranged to front all streets and parkland such that development enhances personal safety, traffic safety, property safety and security; and contributes to streetscape and open space quality;
 - (e) development does not diminish environmental and scenic values, and where relevant, maintains and enhances public access and use of natural areas, rivers, dams, creeks and the foreshore, in a way that protects natural resources;
 - (f) people and property are not placed at risk from natural hazards;
 - (g) a range of functional parkland, including local and district parks, major areas of parkland with a region-wide focus and open space links are available for the use and enjoyment of residents and visitors to the region;
 - (h) the appropriate standard of infrastructure is provided.

Criteria for assessment

Table Error! No text of specified style in document..a – Reconfiguring a lot code – assessable development




Performance outcomes	Acceptable outcomes	Applicant response
General lot design standards		

Performance outcomes	Acceptable outcomes	Applicant response
PO1 Lots comply with the lot reconfiguration outcomes of the applicable Zone code in Part 5.	AO1 No acceptable outcomes are prescribed.	Proposal achieves lots which are suitable for their intended purpose as is evidenced by the proposal plans.
PO2 New lots are generally rectangular in shape with functional areas for land uses intended by the zone.	AO2 Boundary angles are not less than 45 degrees.	Proposal complies.
PO3 Lots have legal and practical access to a public road.	AO3 Each lot is provided with: (a) direct access to a gazetted road reserve; or (b) access to a gazetted road via a formal access arrangement registered on the title.	Proposal complies.
PO4 Development responds appropriately to its local context, natural systems and site features.	AO4 Existing site features such as: (a) significant vegetation and trees; (b) waterways and drainage paths; (c) vistas and vantage points are retained and/or are incorporated into open space, road reserves, near to lot boundaries or as common property.	Proposal appropriately responds to site constraints and will result in a safe and visually appropriate development outcome.
PO5 New lots which have the capability of being further reconfigured into smaller lots at a later date are designed to not compromise ultimate development outcomes permitted in the relevant zone.	AO5 The ability to further reconfigure land at a later date is demonstrated by submitting a concept plan that meets the planning scheme requirements for the applicable Zone.	N/A
PO6 Where existing buildings or structures are to be retained, development results in: (a) boundaries that offer regular lot shapes and usable spaces; (b) existing improvements complying with current building and amenity standards in relation to boundary setbacks.	AO6 Development ensures setbacks between existing buildings or structures and proposed boundaries satisfy relevant building standards or zone code requirements, whichever is the greater.	N/A

Performance outcomes	Acceptable outcomes	Applicant response
<p>(a) a site which is more than 5,000m² in any of the Residential zones; or</p> <p>within these zones, and</p> <p>(b) creates 10 or more lots; or</p> <p>(c) involves the creation of new roads and/or public use land.</p> <p>or</p> <p>(d) For a material change of use involving:</p> <p>(i) preliminary approval to vary the effect of the planning scheme;</p> <p>(ii) establishing alternative Zones to the planning scheme.</p> <p>Note - This part is to be read in conjunction with the other parts of the code</p>		
<p>PO8</p> <p>A structure plan is prepared to ensure that neighbourhood design, block and lot layout, street network and the location and provision on any open space recognises previous planning for the area and its surroundings, and integrates appropriately into its surroundings.</p>	<p>AO8.1</p> <p>Neighbourhood design, lot and street layout, and open space provides for, and integrates with, any:</p> <p>(a) approved structure plan;</p> <p>(b) the surrounding pattern of existing or approved subdivision.</p> <p>Note - Planning scheme policy SC14– Structure planning provides guidance on meeting the performance outcomes.</p> <p>AO8.2</p> <p>Neighbourhood design, lot and street layouts enable future connection and integration with adjoining undeveloped land.</p>	N/A
<p>PO9</p> <p>Neighbourhood design results in a connected network of walkable streets providing an easy choice of routes within and surrounding the neighbourhood.</p>	<p>AO9.1</p> <p>Development does not establish cul-de-sac streets unless:</p> <p>(a) cul-de-sacs are a feature of the existing pattern of development in the area;</p> <p>(b) there is a physical feature or incompatible zone change that dictates the need to use a cul-de-sac streets.</p>	N/A

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO9.2 Where a cul-de-sac street is used, it:</p> <ul style="list-style-type: none"> (a) is designed to be no longer than 150 metres in length; (b) is designed so that the end of the cul-de-sac is visible from its entrance; (c) provides connections from the top of the cul-de-sac to other streets for pedestrians and cyclists, where appropriate. <p>AO9.3 No more than 6 lots have access to the turning circle or turning-tee at the end of a cul-de-sac street.</p>	N/A
<p>PO10 Neighbourhood design supports diverse housing choices through block sizes and lot design. In developing areas, significant changes in lot size and frontage occur at the rear of lots rather than on opposite sides of a street.</p>	<p>PO10 No acceptable outcomes are prescribed.</p>	N/A
<p>PO11 Provision of physical and social infrastructure in developing residential neighbourhoods is facilitated through the orderly and sequential development of land.</p> <p>Note - Part 4 – Local government infrastructure plan may identify specific levels of infrastructure to be provided within development sites.</p>	<p>AO11.1 New development adjoins adjacent existing or approved urban development.</p> <p>AO11.2 New development is not established beyond the identified Local government infrastructure plan area.</p>	N/A
Urban parkland and environmental open space		
<p>PO12 Where appropriate development maintains and enhances public access and use of natural areas, rivers, dams, creeks and the foreshore.</p>	<p>AO12 No acceptable outcomes are prescribed.</p>	Proposal does not impact public access to foreshore.
PO13	AO13	N/A

Performance outcomes	Acceptable outcomes	Applicant response
Development provides land to: (a) meet the recreation needs of the community; (b) provide an amenity commensurate with the structure of neighbourhoods and land uses in the vicinity; and adjacent to open space areas; (c) provide for green corridors and linkages.	No acceptable outcomes are prescribed. Note - Part 4 – Priority infrastructure plan and Planning scheme policy SC14 – Structure Plans provides guidance in providing open space and recreation land.	
AO14 Lot size, dimensions, frontage and orientation permits buildings to be established that will facilitate casual surveillance to urban parkland and environmental open space.	<p>AO14.1 Urban parkland is regular in shape.</p> <p>AO14.2 At least 75% of the urban parkland's frontage is provided as road.</p> <p>AO14.3 Urban parkland and environmental open space areas are positioned to be capable of being overlooked by surrounding development.</p> <p>AO14.4 Surrounding lots are orientated so that facades will front and overlook the urban parkland and environmental open space.</p> <p>AO14.5 The number of lots that back onto, or are side-orientated to the urban parkland and environmental open space is minimised.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	 <p>Inconsistent design solution - low total number of lots complying with the acceptable outcomes.</p>  <p> Lots orientated to front and overlook park to provide casual surveillance.</p> <p>Consistent design solution - high total number of lots complying with the acceptable outcomes.</p>	
Private subdivisions (gated communities)		
PO15 Private subdivisions (gated communities) do not compromise the establishment of connected and integrated infrastructure and open space networks.	PO15 No acceptable outcomes are prescribed.	N/A
Additional requirements for reconfiguration involving the creation of public streets or roads		

Performance outcomes	Acceptable outcomes	Applicant response
PO16 The function of new roads is clearly identified and legible and provides integration, safety and convenience for all users.	AO16 No acceptable outcomes are prescribed. Note - The design and construction standards are set out in Planning scheme policy SC5 – FNQROC Regional Development Manual, with reference to the specifications set out in Sections D1 and D3.	Proposal complies.
PO17 Street design supports an urban form that creates walkable neighbourhoods. Street design: (a) is appropriate to the function(s) of the street; (b) meets the needs of users and gives priority to the needs of vulnerable users.	AO17 No acceptable outcomes are prescribed.	Proposal complies.
Public transport network		
PO18 Development provides a street pattern that caters for the extension of public transport routes and infrastructure including safe pedestrian pick-up and set-down up facilities.	AO18 No acceptable outcomes are prescribed.	N/A
Pest plants		
PO19 Development activities and sites provide for the removal of all pest plants and implement ongoing measures to ensure that pest plants do not reinfest the site or nearby sites. Editor's note - This does not remove or replace all land owner's obligations or responsibilities under the Land Protection (Pest and Stock Route Management) Act 2002.	AO19 Pest plants detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person prior to earthworks commencing. Note - A declaration from an appropriately qualified person validates the land being free from pest plants. Declared pest plants include locally declared and State declared pest plants.	Proposal is capable of complying.

Acid sulfate soils overlay code

Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Acid sulfate soils overlay, if:
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Acid sulphate soils overlay is identified on the Acid sulfate soils overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Land at or below the 5m AHD sub-category;
 - (b) Land above the 5m AHD and below the 20m AHD sub-category.
- (3) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the acid sulfate soils overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 2: Environment and landscape values, Element 3.5.4 Coastal zones.
 - (ii) Theme 3: Natural resource management, Element 3.6.2 land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.
- (2) enable an assessment of whether development is suitable on land within the Acid sulfate soils overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development ensures that the release of any acid and associated metal contaminant is avoided by not disturbing acid sulfate soils when excavating, removing soil or extracting ground water or filling land;
 - (b) Development ensures that disturbed acid sulfate soils, or drainage waters, are treated and, if required, on-going management practices are adopted that minimise the potential for environmental harm from acid sulfate soil and protect corrodible assets from acid sulfate soil.

Criteria for assessment

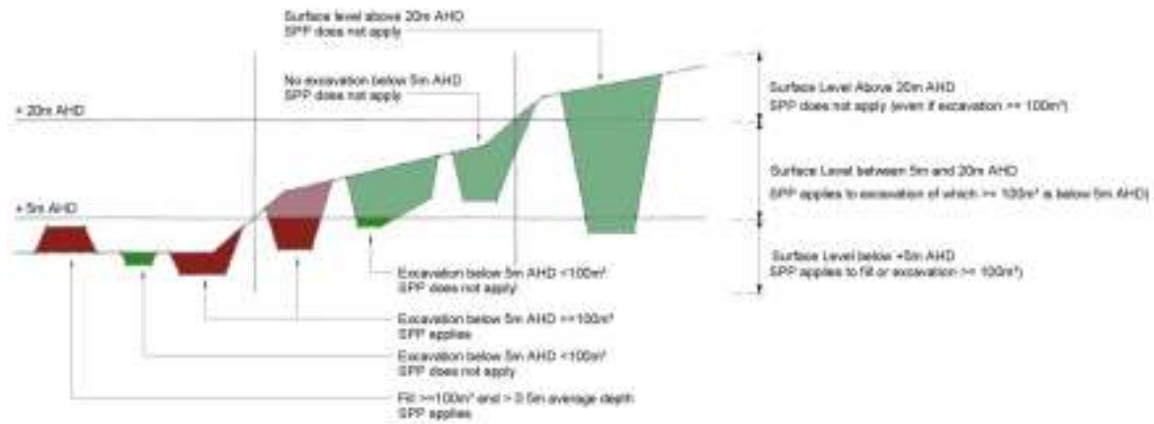
Table Error! No text of specified style in document..a – Acid sulfate soils overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		

Performance outcomes	Acceptable outcomes	Applicant response
PO1 The extent and location of potential or actual acid sulfate soils is accurately identified.	AO1.1 No excavation or filling occurs on the site. or AO1.2 An acid sulfate soils investigation is undertaken. Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.	Previous investigations by GEO Design indicate that no acid sulphate soils exist on the site.
PO2 Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants.	AO2.1 The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by: (a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils; (b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils; (c) not undertaking filling that results in: (d) actual acid sulfate soils being moved below the water table; (e) previously saturated acid sulfate soils being aerated. or AO2.2 The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by:	<p>Previous investigations by GEO Design indicate that no acid sulphate soils exist on the site.</p> <p>Previous investigations by GEO Design indicate that no acid sulphate soils exist on the site.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<ul style="list-style-type: none"> (a) neutralising existing acidity and preventing the generation of acid and metal contaminants; (b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment; (c) preventing the in situ oxidisation of potential acid sulfate soils and actual acid sulfate soils through ground water level management; (d) appropriately treating acid sulfate soils before disposal occurs on or off site; (e) documenting strategies and reporting requirements in an acid sulfate soils environmental management plan. <p>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p>	
PO3 No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.	AO3 No acceptable outcomes are prescribed.	Previous investigations by GEO Design indicate that no acid sulphate soils exist on the site.

Figure 0.a – Acid sulfate soils (SPP triggers)



Bushfire hazard overlay code

Note - Land shown on the bushfire hazard overlay map is designated as the bushfire prone area for the purposes of section 12 of the Building Regulations 2006. The bushfire hazard area (bushfire prone area) includes land covered by the high and medium hazard areas as well as the buffer area category on the overlay map.

Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational works or building work in the Bushfire hazard overlay, if:
 - (a) self-assessable or assessable where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Bushfire hazard overlay is identified on the Bushfire hazard overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Medium bushfire risk sub-category;
 - (b) High bushfire risk sub-category;
 - (c) Very high bushfire risk sub-category;
 - (d) Potential impact buffer sub-category.
- (3) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Bushfire overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
 - (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
 - (b) enable an assessment of whether development is suitable on land within the Bushfire risk overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development avoids the establishment or intensification of vulnerable activities within or near areas that are subject to bushfire hazard;
 - (b) development is designed and located to minimise risks to people and property from bushfires;
 - (c) bushfire risk mitigation treatments are accommodated in a manner that avoids or minimises impacts on the natural environment and ecological processes;
 - (d) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a bushfire event;
 - (e) development contributes to effective and efficient disaster management response and recovery capabilities.

Note - A site based assessment may ground-truth the extent of hazardous vegetation and extent and nature of the bushfire hazard area (bushfire prone area). Such assessments should be undertaken using the methodology set out in Planning scheme policy SC6.9 - Natural Hazards.

Criteria for assessment

Table Error! No text of specified style in document..a – Bushfire hazard overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Compatible development		
<p>PO1 A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances.</p> <p>Note - See the end of this code for examples of vulnerable uses.</p>	<p>AO1 Vulnerable uses are not established or expanded.</p> <p>Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan.</p> <p>Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected to prepare such a plan.</p> <p>Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>	<p>Proposal is located on the edge of the potential impact buffer area, at the base of a slope and within an urban area. The risk of bushfire to the site is considered minimal and the proposal includes appropriate emergency access and water supply to mitigate any risk that does exist.</p>
<p>PO2 Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.</p>	<p>AO2 Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.</p>	<p>N/A</p>
<p>PO3 Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.</p>	<p>AO3 The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.</p>	<p>N/A</p>
Development design and separation from bushfire hazard – reconfiguration of lots		

Performance outcomes	Acceptable outcomes	Applicant response
<p>PO4.1 Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m² at the edge of the proposed lot(s).</p> <p>Note - "Urban purposes" and "urban area" are defined in the <i>Sustainable Planning Regulations 2009</i>. Reconfiguration will be taken to be for rural residential purposes where proposed lots are between 2000m² and 2ha in area. "Smaller scale" rural residential purposes will be taken to be where the average proposed lot size is 6000m² or less.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p> <p>PO4.2 Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m² at any point.</p>	<p>AO4.1 No new lots are created within a bushfire hazard sub-category.</p> <p>or</p> <p>AO4.2 Lots are separated from hazardous vegetation by a distance that: (a) achieves radiant heat flux level of 29kW/m² at all boundaries; and (b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation. For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages. Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	N/A
<p>PO5 Where reconfiguration is undertaken in an urban area or is for urban purposes, a constructed perimeter road with reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access is available for both fire fighting and maintenance/defensive works.</p>	<p>AO5.1 Lot boundaries are separated from hazardous vegetation by a public road which: (a) has a two lane sealed carriageway; (b) contains a reticulated water supply; (c) is connected to other public roads at both ends and at intervals of no more than 500m; (d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p>	N/A

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(e) has a minimum of 4.8m vertical clearance above the road;</p> <p>(f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and</p> <p>(g) incorporates roll-over kerbing.</p> <p>AO5.2 Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise specified by the relevant water entity.</p> <p>Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>	
<p>PO6 Where reconfiguration is undertaken for smaller scale rural residential purposes, either a constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p>	<p>AO6 Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <p>(a) a reserve or easement width of at least 20m;</p> <p>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</p> <p>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</p> <p>(d) a minimum of 4.8m vertical clearance;</p> <p>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p> <p>(f) a maximum gradient of 12.5%;</p> <p>(g) a cross fall of no greater than 10 degrees;</p> <p>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</p>	N/A

Performance outcomes	Acceptable outcomes	Applicant response
	<ul style="list-style-type: none"> (i) vehicular access at each end which is connected to the public road network at intervals of no more than 500m; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	
<p>PO7 Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and either the lot boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<p>A07 Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network; (j) designated fire trail signage; <p>if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</p>	N/A

Performance outcomes	Acceptable outcomes	Applicant response
	if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.	
PO8 The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.	AO8 The lot layout: (a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation; (b) avoids the creation of potential bottle-neck points in the movement network; (c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; and (d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion. Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots. In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan. Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate	N/A
PO9 Critical infrastructure does not increase the potential bushfire hazard.	AO9 Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.	N/A
Development design and separation from bushfire hazard – material change of use		
PO10	AO10	Proposal is located on the edge of the potential impact buffer area, at the base of a slope and

Performance outcomes	Acceptable outcomes	Applicant response
<p>Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of:</p> <p>(a) 10kW/m² where involving a vulnerable use; or 29kW/m² otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p>Buildings or building envelopes are separated from hazardous vegetation by a distance that:</p> <p>(a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m² for a vulnerable use or 29kW/m² otherwise; and</p> <p>(b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p>within an urban area. The risk of bushfire to the site is considered minimal and the proposal includes appropriate emergency access and water supply to mitigate any risk that does exist.</p>
<p>PO11</p> <p>A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> <p>Note - Fire trails are unlikely to be required where a development site involves less than 2.5ha</p>	<p>AO11</p> <p>Development sites are separated from hazardous vegetation by a public road or fire trail which has:</p> <p>(a) a reserve or easement width of at least 20m;</p> <p>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</p> <p>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</p> <p>(d) a minimum of 4.8m vertical clearance;</p> <p>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p>	<p>Proposal is located on the edge of the potential impact buffer area, at the base of a slope and within an urban area. The risk of bushfire to the site is considered minimal and the proposal includes appropriate emergency access and water supply to mitigate any risk that does exist.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	(f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m; (j) designated fire trail signage; if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.	
All development		
PO12 All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances.	AO12 Private driveways: (a) do not exceed a length of 60m from the street to the building; (b) do not exceed a gradient of 12.5%; (c) have a minimum width of 3.5m; (d) have a minimum of 4.8m vertical clearance; (e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and (f) serve no more than 3 dwellings or buildings.	Proposal complies.
PO13 Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.	AO13 A water tank is provided within 10m of each building (other than a class 10 building) which: (a) is either below ground level or of non-flammable construction;	Proposal includes access to reticulated water supply.

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) has a take off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters:</p> <p>(i) 10,000l for residential buildings</p> <p>Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams.</p> <p>(ii) 45,000l for industrial buildings; and</p> <p>(iii) 20,000l for other buildings;</p> <p>(c) includes shielding of tanks and pumps in accordance with the relevant standards;</p> <p>(d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank;</p> <p>(e) is provided with fire brigade tank fittings – 50mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and</p> <p>(f) is clearly identified by directional signage provided at the street frontage.</p>	
<p>PO14</p> <p>Landscaping does not increase the potential bushfire risk.</p>	<p>AO14</p> <p>Landscaping uses species that are less likely to exacerbate a bushfire event, and does not increase fuel loads within separation areas.</p>	Proposal is capable of complying.
<p>PO15</p> <p>The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but not limited to, biodiversity or scenic amenity).</p>	<p>AO15</p> <p>Bushfire risk mitigation treatments do not have a significant impact on the natural environment or landscape character of the locality where this has value.</p>	Proposal is not considered to require bushfire risk mitigation treatments.

Note – 'Vulnerable activities' are those involving:

- (1) the accommodation or congregation of vulnerable sectors of the community such as child care centres, community care centre, educational establishments, detention facilities, hospitals, rooming accommodation, retirement facilities or residential care facilities; or
- (2) the provision of essential services including community uses, emergency services, utility installation, telecommunications facility, substations and major electricity infrastructure.

Hillslopes overlay code

Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Hillslopes overlay, if:
 - (a) self assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Hillslopes overlay is identified on the Hillslopes overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Hillslopes constraint sub-category.
- (3) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Hillslopes overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 1 - Settlement pattern: Element 3.4.7 Mitigation of hazards;
 - (ii) Theme 2 – Environment and landscape values: Element 3.5.5 Scenic amenity.
 - (b) enable an assessment of whether development is suitable on land within the Hillslopes sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development on hillslopes is safe, serviceable and accessible;
 - (b) the ecological values, landscape character and visual quality of the hillslopes are protected from development so as to retain the scenic backdrop to the region;
 - (c) Development on hillslopes is appropriate, having regard to the topographic constraints and environmental characteristics of the land;
 - (d) Development responds to the constraints of the site including gradient and slope stability;
 - (e) Works do not involve complex engineering solutions.

Criteria for assessment

Table Error! No text of specified style in document..a – Hillslopes overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable development		

Performance outcomes	Acceptable outcomes	Applicant response
PO1 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	AO1.1 Development is located on parts of the site that are not within the Hillslopes constraint sub-category as shown on the Hillslopes overlay Maps contained in schedule 2.	N/A
For assessable development		

<p>PO2 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p>AO2.1 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%)</p> <p>or</p> <p>AO2.2 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p> <p>AO2.3 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to minimise the visual impact of the construction; (c) provided with erosion control measures immediately after construction.</p> <p>AO2.4 The clearing or disturbance of vegetation is limited to clearing and disturbance that: (a) is necessary for the construction of driveways; (b) is necessary to contain the proposed development; (c) minimises canopy clearing or disturbance; (d) minimises riparian clearing or disturbance.</p> <p>AO2.5 On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p>	<p>Site is subject to extensive past earthworks and the proposal seeks to integrate with the unique topography and take advantage of its ability to absorb the built form and maintain the character and visual amenity of the area. Proposal complies or is capable of complying.</p> <p>Proposal complies.</p> <p>Proposal has been designed with extensive geotechnical input and will act to rectify existing slope stability issues.</p>
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Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO2.6 Development does not alter the sky line.</p> <p>AO2.7 Buildings and structures: (a) are finished predominantly in the following exterior colours or surfaces: (i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; (b) are not finished in the following exterior colours or surfaces: (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces.</p> <p>AO2.8 Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features.</p> <p>AO2.9 Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p> <p>AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land:</p>	<p>Proposal does not break the ridgeline of Flagstaff Hill.</p> <p>Proposal comprises appropriate materials and earthy tones which are consistent with the existing character of the area.</p> <p>Proposal complies.</p> <p>Proposal complies.</p> <p>Proposal complies.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>balance left in its natural state to the greatest extent possible.</p> <p>Note – The size of rectangular areas is outlined within each zone code.</p> <p>AO4.3 Development does not alter ridgelines.</p> <p>AO4.4 Lots are designed to ensure rooflines of future buildings and structures do not protrude above a ridgeline.</p>	<p>Proposal complies.</p> <p>Proposal complies.</p>

Landscape values overlay code

Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Landscape values overlay, if:
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Landscape values overlay is identified on the Landscape values overlay map in Schedule 2 and includes in following sub-categories:
 - (a) High landscape value sub-category;
 - (b) Medium landscape value sub-category;
 - (c) Scenic route buffer / view corridor area sub-category;
 - (d) Coastal scenery area sub-category.
- (3) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Landscape values overlay code is to:
 - (a) implement the policy direction of the Strategic Framework, in particular:
 - (i) Theme 2: Environment and landscape values Element 3.5.5 Scenic amenity;
 - (ii) Theme 3: Natural resource management Element 3.6.4 – Resource extraction.
 - (b) enable an assessment of whether development is suitable on land within the Landscape values overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) areas of High landscape value are protected, retained and enhanced;
 - (b) areas of Medium landscape value are managed to integrate and limit the visual impact of development;
 - (c) the landscape values of the Coastal scenery area are managed to integrate and limit the visual impact of development;
 - (d) development maintains and enhances the significant landscape elements and features which contribute to the distinctive character and identity of Douglas Shire;
 - (e) ridges and vegetated hillslopes are not developed in a way that adversely impacts on landscape values;
 - (f) watercourses, forested mountains and coastal landscape character types remain predominantly natural in appearance in order to maintain the region's diverse character and distinctive tropical image, in particular:
 - (i) areas in the coastal landscape character type which are predominantly natural and undeveloped in appearance retain this natural

- (ii) watercourses which are predominantly natural and undeveloped in appearance retain this natural landscape character;
 - (iii) the rural character of cane fields and lowlands landscape character types which are predominantly rural or natural in appearance are maintained;
 - (iv) landscape values are maintained when viewed from lookouts, scenic routes, gateways and public places.
- (g) views towards High landscape value areas and the Coral Sea are not diminished;
- (h) development is consistent with the prevailing landscape character of its setting, and is neither visually dominant nor visually intrusive;
- (i) advertising devices do not detract from the landscape values, character types or amenity of an area.

Criteria for assessment

Table Error! No text of specified style in document..a – Landscape values overlay code – assessable development

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Performance outcomes	Acceptable outcomes	Applicant response
<p>a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</p> <p>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(g) extractive industry operations are avoided.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>(b) buildings are split level or suspended floor construction, or a combination of the two;</p> <p>(c) lightweight materials are used to areas with suspended floors.</p> <p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p> <p>AO1.5 The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p> <p>AO1.6 No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.5%).</p> <p>AO1.7 Where for accommodation activities or reconfiguration of a lot in a High landscape value area, development demonstrates that the height, design, scale, positioning on-site, proposed construction materials and external finishes are compatible with the landscape values.</p> <p>Note - A visual impact assessment undertaken in accordance with Planning scheme policy SC6.6 – Landscape values may be required.</p> <p>AO1.8 Advertising devices do not occur.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
Development within the Medium landscape value area		
<p>PO2 Development within Medium landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</p> <p>(b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 5 years of construction;</p> <p>(c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</p> <p>(d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</p> <p>(e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</p> <p>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(g) extractive industry operations are avoided, or where they cannot be avoided, are screened from view.</p>	<p>AO2.1 Buildings and structures are not more than 8.5 metres and two storeys in height.</p> <p>Note - Height is inclusive of the roof height.</p>	N/A
	<p>AO2.2 Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p>	N/A
	<p>AO2.3 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p> <p>(a) development follows the natural contours of the site;</p> <p>(b) buildings are split level or suspended floor construction, or a combination of the two;</p> <p>(c) lightweight materials are used to areas with suspended floors.</p> <p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p>	N/A
	<p>AO2.4 The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p>	N/A
	<p>AO2.5</p>	N/A

Performance outcomes	Acceptable outcomes	Applicant response
<p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.6%).</p> <p>AO2.6 Advertising devices do not occur.</p>	N/A
Development within a Scenic route buffer / view corridor area		
<p>PO3 Development within a Scenic route buffer / view corridor area as identified on the Landscape values overlay maps contained in Schedule 2:</p> <ul style="list-style-type: none"> (a) retains visual access to views of the surrounding landscape, the sea and other water bodies; (b) retains existing vegetation and incorporates landscaping to visually screen and soften built form elements whilst not impeding distant views or view corridors; (c) incorporates building materials and external finishes that are compatible with the visual amenity and the landscape character; (d) minimises visual impacts on the setting and views in terms of: <ul style="list-style-type: none"> (i) the scale, height and setback of buildings; (ii) the extent of earthworks and impacts on the landform including the location and configuration of access roads and driveways; (iii) the scale, extent and visual prominence of advertising devices. <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>AO3.1 Where within a Scenic route buffer / view corridor area, the height of buildings and structures is not more than identified within the acceptable outcomes of the applicable zone code.</p> <p>AO3.2 No clearing of native vegetation is undertaken within a Scenic route buffer area.</p> <p>AO3.3 Where within a Scenic route buffer / view corridor area development is set back and screened from view from a scenic route by existing native vegetation with a width of at least 10 metres and landscaped in accordance with the requirements of the landscaping code.</p> <p>AO3.4 Development does not result in the replacement of, or creation of new, additional, or enlarged advertising devices.</p>	<p>It is understood that the view corridor area which affects the site is associated with the lookout on Flagstaff Hill. The proposal, while exceeding the AO for building height in the Tourist Accommodation Zone, is not visible in this view corridor.</p> <p>As above, clearing of vegetation does not impact the view corridor.</p> <p>The proposal is not located within a scenic route buffer and is not visible from Davidson Street/Macrossan Street intersection.</p> <p>N/A</p>
Development within the Coastal scenery area		

Performance outcomes	Acceptable outcomes	Applicant response
<p>PO4 The landscape values of the Coastal scenery zone as identified on the Landscape values overlay maps contained in Schedule 2 are managed to integrated and limit the visual impact of development.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>AO4.1 The dominance of the natural character of the coast is maintained or enhanced when viewed from the foreshore.</p> <p>AO4.2 Where located adjacent to the foreshore buildings and structures are setback: (a) Where no adjoining development, a minimum of 50 metres from the coastal high water mark and the setback area is landscaped with a native vegetation buffer that has a minimum width of 25 metres; or (b) Where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures, but not less than 10 metres from the coastal high water mark. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p> <p>AO4.3 Where separated from the foreshore by land contained within public ownership (e.g. unallocated State land, esplanade or other public open space), buildings and structures area setback: (a) where no adjoining development, a minimum of 6 metres from the coastward property boundary. The setback area is landscaped in accordance with the requirements of the Landscaping code; or (b) where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures. The</p>	<p>The proposal will be screened by significant amounts of vegetation to the east of the Esplanade road reserve when viewed from the shoreline.</p> <p>Proposal is set back greater than 50m from the shoreline.</p> <p>Proposed setbacks are consistent with adjoining development to the south.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	setback area is landscaped in accordance with the requirements of the Landscaping code.	
<p>PO5 Development is to maximise opportunities to maintain and/or enhance natural landscape values through the maintenance and restoration of vegetated buffers between development and coastal waters, where practical.</p> <p>Note – A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in satisfaction of a performance outcome.</p>	<p>AO5 No clearing of native vegetation is undertaken within a Coastal scenery area zone, except for exempt vegetation damage undertaken in accordance with the Vegetation management code.</p>	<p>The subject site is included in the Tourist Accommodation Zone and is therefore anticipated for urban development, so AO5 is impractical in this instance. It is noted however that the proposal will include significant landscaping of the Esplanade road reserve to the east of the site so as to enhance natural landscape values of the buffer between the development and the coast.</p>

Potential landslide hazard overlay code

Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Potential landslide hazard overlay; if
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Potential landslip hazard overlay is identified on the Potential landslide hazard overlay maps in Schedule 2 and includes the following sub-categories:
 - (a) Places of potential landslide hazard sub-category.
- (3) When using this code, reference should be made to Part 5.

Note – The Potential landslide hazard overlay shows modelled areas where the factors contributing to landslip potential accumulate to provide a moderate or higher risk if certain factors are exacerbated (e.g. factors include significant vegetation clearing, filling and excavation, changes to soil characteristics, changes to overland water flow, or changes to sub-surface water flow). It shows areas that the Council has identified where landslides may occur and where land may be impacted by a landslide, but does not mean that landslides will occur or that the land will be impacted by a landslide. Other areas not contained within the potential landslide hazard overlay may sustain landslides or be impacted by landslides and consideration should be given to this issue, where appropriate.

Purpose

- (1) The purpose of the Potential landslide hazard overlay code is:
 - (a) implement the policy direction of the Strategic Framework, in particular:
 - (i) Theme 1: Settlement pattern Element 3.4.7 Mitigation of hazards.
 - (b) enable an assessment of whether development is suitable on land within the Potential landslip hazard overlay.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is located, designed and constructed to not put at risk the safety of people, property and the environment;
 - (b) development is not at risk from and does not pose a risk to adjacent and nearby sites from landslides;
 - (c) ensures that community infrastructure is protected from the effects of potential landslides;
 - (d) ensures that vegetation clearing, stormwater management and filling and/or excavation does not create a landslide hazard and/or rectifies potential pre-existing landslide risks;

- (e) development does not occur where works to provide a solution for safety of people, property or the environment involves complex engineering solutions to overcome the risk, or would result in a built form or outcome that causes an adverse visual impact on the Hillslopes or Landscape values of Douglas Shire.

Criteria for assessment

Table Error! No text of specified style in document..a – Potential landslide hazard overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 The siting and design of development does not involve complex engineering solutions and does not create or increase the potential landslide hazard risk to the site or adjoining premises through: (a) building design; (b) increased slope; (c) removal of vegetation; (d) stability of soil; (e) earthworks; (f) alteration of existing ground water or surface water paths; (g) waste disposal areas.	AO1.1 Development is located on that part of the site not affected by the Potential landslide hazard overlay. or AO1.2 Development is on an existing stable, benched site and requires no further earthworks or AO1.3 A competent person certifies that: (a) the stability of the site, including associated buildings and infrastructure, will be maintained during the course of the development and will remain stable for the life of the development; (b) development of the site will not increase the risk of landslide hazard activity on other land, including land above the site; (c) the site is not subject to the risk of landslide activity on other land; (d) any measures identified in a site-specific geotechnical report for stabilising the site or development have been fully implemented;	Proposal has been designed with appropriate geotechnical input from GEO Design and will be structurally and geotechnically certified as part of the Building Works process.

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(e) development does not concentrate existing ground water and surface water paths;</p> <p>(f) development does not incorporate on-site waste water disposal.</p> <p>Note – Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geo-technical assessment.</p> <p>Note – Development may alter the conditions of ground water and surface water paths in accordance with a site-specific geotechnical report, but should ensure that its final disbursement is as-per pre-developed conditions.</p> <p>Consideration for location, velocity, volume and quality should be given.</p>	
<p>PO2</p> <p>The siting and design of necessary retaining structures does not cause an adverse visual impact on landscape character or scenic amenity quality of the area.</p>	<p>AO2</p> <p>Excavation or fill:</p> <p>(a) is not more than 1.2 metres in height for each batter or retaining wall;</p> <p>(b) is setback a minimum of 2 metres from property boundaries;</p> <p>(c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping;</p> <p>(d) does not exceed a maximum of 3 batters and 3 berms (i.e. Not greater than 3.6 metres in height) on any one lot.</p>	<p>Proposal is appropriately integrated into the hillside such that it does not cause unacceptable visual impact.</p>
Additional requirements for Community infrastructure		
<p>PO3</p> <p>Development for community infrastructure:</p> <p>(a) is not at risk from the potential landslide hazard areas;</p> <p>(b) will function without impediment from a landslide;</p>	<p>AO3</p> <p>Development is designed in accordance with the recommendations of a site-specific geotechnical assessment which makes reference to the community infrastructure and its needs and function.</p>	<p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
(c) provides access to the infrastructure without impediment from the effects of a landslide; (d) does not contribute to an elevated risk of a landslide to adjoining properties.	Note - A site specific geotechnical assessment will detail requirements that will address the Acceptable Outcomes of this Performance Outcome. Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geotechnical assessment.	

Transport network overlay code

Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Transport network overlay; if:
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land within the Transport network overlay is identified on the Transport network (Road Hierarchy) overlay map and the Transport network (Pedestrian and Cycle) overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Transport network (Road Hierarchy) overlay sub-categories:
 - (i) State controlled road sub-category;
 - (ii) Sub-arterial road sub-category;
 - (iii) Collector road sub-category;
 - (iv) Access road sub-category;
 - (v) Industrial road sub-category;
 - (vi) Major rural road sub-category;
 - (vii) Minor rural road sub-category;
 - (viii) Unformed road sub-category;
 - (ix) Major transport corridor buffer area sub-category.
 - (b) Transport network (Pedestrian and Cycle) overlay sub-categories:
 - (i) Principal route;
 - (ii) Future principal route;
 - (iii) District route;
 - (iv) Neighbourhood route;
 - (v) Strategic investigation route.
- (3) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Transport network overlay code is to:
 - (a) implement the policy direction of the Strategic Framework, in particular:

- (i) Theme 1: Settlement pattern Element 3.4.2 Urban settlement, Element 3.4.3 Activity centres;
- (ii) Theme 6: Infrastructure and transport Element 3.9.4 Transport;
- (b) enable an assessment of whether development is suitable on land within the Transport network overlay.

- (2) The purpose of the code will be achieved through the following overall outcomes:
- (a) development provides for transport infrastructure (including active transport infrastructure);
 - (b) development contributes to a safe and efficient transport network;
 - (c) development supports the existing and future role and function of the transport network;
 - (d) development does not compromise the safety and efficiency of major transport infrastructure and facilities.

Criteria for assessment

Table Error! No text of specified style in document..a – Transport network overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
<p>PO1 Development supports the road hierarchy for the region.</p> <p>Note -A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO1.1 Development is compatible with the intended role and function of the transport network as identified on the Transport network overlay maps contained in Schedule 2.</p> <p>AO1.2 Development does not compromise the safety and efficiency of the transport network.</p> <p>AO1.3 Development is designed to provide access via the lowest order road, where legal and practicable access can be provided to that road.</p>	<p>Proposal complies.</p> <p>Proposal complies.</p> <p>Proposal complies.</p>
<p>PO2 Transport infrastructure is provided in an integrated and timely manner.</p>	<p>AO2 Development provides infrastructure (including improvements to existing infrastructure) in accordance with:</p>	<p>Proposal complies.</p>

Performance outcomes	Acceptable outcomes	Applicant response
Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.	<p>(a) the Transport network overlay maps contained in Schedule 2;</p> <p>(b) any relevant Local Plan.</p> <p>Note – The Translink Public Transport Infrastructure Manual provides guidance on the design of public transport facilities.</p>	
<p>PO3</p> <p>Development involving sensitive land uses within a major transport corridor buffer area is located, designed and maintained to avoid or mitigate adverse impacts on amenity for the sensitive land use.</p>	<p>AO3</p> <p>No acceptable outcomes are prescribed.</p> <p>Note – Part 4.4 of the Queensland Development Code provides requirements for residential building design in a designated transport noise corridor.</p>	N/A
<p>PO4</p> <p>Development does not compromise the intended role and function or safety and efficiency of major transport corridors.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO4.1</p> <p>Development is compatible with the role and function (including the future role and function) of major transport corridors.</p> <p>AO4.2</p> <p>Direct access is not provided to a major transport corridor where legal and practical access from another road is available.</p> <p>AO4.3</p> <p>Intersection and access points associated with major transport corridors are located in accordance with:</p> <p>(a) the Transport network overlay maps contained in Schedule 2; and</p> <p>(b) any relevant Local Plan.</p> <p>AO4.4</p> <p>The layout of development and the design of the associated access is compatible with</p>	<p>N/A</p> <p>.</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	existing and future boundaries of the major transport corridor or major transport facility.	
PO5 Development retains and enhances existing vegetation between a development and a major transport corridor, so as to provide screening to potential noise, dust, odour and visual impacts emanating from the corridor.	AO5 No acceptable outcomes are prescribed.	N/A
Pedestrian and cycle network		
PO6 Lot reconfiguration assists in the implementation of the pedestrian and cycle movement network to achieve safe, attractive and efficient pedestrian and cycle networks.	AO6.1 Where a lot is subject to, or adjacent to an element of the pedestrian and cycle Movement network (identified on the Transport network overlay maps contained in Schedule 2) the specific location of this element of the pedestrian and cycle network is incorporated in the design of the lot layout.	N/A
	AO6.2 The element of the pedestrian and cycle network is constructed in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC6.5 – FNQROC Regional Development Manual.	N/A

Access, parking and servicing code

Application

- (1) This code applies to assessing:
 - (a) operational work which requires a compliance assessment as a condition of a development permit; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
 - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
 - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
 - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
 - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
 - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.

Criteria for assessment

Table Error! No text of specified style in document..a – Access, parking and servicing code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be	AO1.1 The minimum number of on-site vehicle parking spaces is not less than the number prescribed in	Proposal complies.

Performance outcomes	Acceptable outcomes	Applicant response
<p>generated by the use or uses of the site, having particular regard to:</p> <ul style="list-style-type: none"> (a) the desired character of the area; (b) the nature of the particular use and its specific characteristics and scale; (c) the number of employees and the likely number of visitors to the site; (d) the level of local accessibility; (e) the nature and frequency of any public transport serving the area; (f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building; (g) whether or not the use involves a heritage building or place of local significance; (h) whether or not the proposed use involves the retention of significant vegetation. 	<p>Table Error! No text of specified style in document..b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p> <p>AO1.2 Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.</p> <p>AO1.3 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p> <p>AO1.4 For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>	<p>Proposal complies.</p> <p>N/A</p> <p>N/A</p>
<p>PO2 Vehicle parking areas are designed and constructed in accordance with relevant standards.</p>	<p>AO2 Vehicle parking areas are designed and constructed in accordance with Australian Standard: (a) AS2890.1; AS2890.3; AS2890.6.</p>	<p>Proposal complies or is capable of complying.</p>
<p>PO3 Access points are designed and constructed: (a) to operate safely and efficiently;</p>	<p>AO3.1</p>	<p>Proposal complies or is capable of complying.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>directed into the hill, for vehicle safety and drainage purposes;</p> <p>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</p> <p>AO3.4 Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	Proposal is capable of complying.
<p>P04 Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p>AO4 The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	N/A
<p>P05 Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p>AO5 Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	N/A
<p>P06 Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.</p>	<p>AO6 The number of on-site bicycle parking spaces complies with the rates specified in</p> <p>Table Error! No text of specified style in document..b.</p>	Proposal complies or is capable of complying.
P07	AO7.1	N/A

Performance outcomes	Acceptable outcomes	Applicant response
<p>Development provides secure and convenient bicycle parking which:</p> <ul style="list-style-type: none"> (a) for visitors is obvious and located close to the building's main entrance; (b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building; (c) is easily and safely accessible from outside the site. 	<p>Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);</p> <p>A07.2 Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.</p> <p>A07.3 Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	<p>N/A</p> <p>N/A</p>
<p>PO8 Development provides walking and cycle routes through the site which:</p> <ul style="list-style-type: none"> (a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes; (b) encourage walking and cycling; (c) ensure pedestrian and cyclist safety. 	<p>A08 Development provides walking and cycle routes which are constructed on the carriageway or through the site to:</p> <ul style="list-style-type: none"> (a) create a walking or cycle route along the full frontage of the site; (b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site. 	<p>N/A</p>
<p>PO9 Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <ul style="list-style-type: none"> (a) in accordance with relevant standards; (b) so that they do not interfere with the amenity of the surrounding area; (c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles. 	<p>A09.1 Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.</p> <p>A09.2 Service and loading areas are contained fully within the site.</p> <p>A09.3 The movement of service vehicles and service operations are designed so they:</p>	<p>Proposal complies or is capable of complying.</p> <p>N/A</p> <p>N/A</p>

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Agricultural supplies store	1 space per 50m ² of GFA and outdoor display area.	1 space per 200m ² of GFA.	n/a	LRV
Air services	1 car space per 20m ² of covered reception area, plus 1 car space per 2 staff, plus a covered bus set down area adjacent to the entry of the reception area and 2 bus parking spaces.	n/a	n/a	LRV
Bulk landscape supplies	1 space per 50m ² GFA and outdoor display area.	1 space per 200m ² of GFA.	n/a	MRV
Caretaker's accommodation	A minimum of 1 space	n/a	n/a	n/a
Child care centre	1 space per 10 children to be used for setting down and picking up of children, with a minimum of 3 car spaces to be provided for set down and collection; plus 1 space per employee. Any drive-through facility can provide tandem short term parking for 3 car spaces for setting down/picking up of children, on the basis that a passing lane is provided and line-marked to be kept clear of standing vehicles at all times.	n/a	n/a	VAN
Club	Unlicensed clubrooms: 1 space per 45m ² of GFA. Licensed clubrooms: 1 space per 15m ² of GFA.	1 space per 4 employees.	n/a	Licensed and equal or greater than 1500m ² : RCV Other: VAN
Community care centre	1 space per 20m ² of GFA.	A minimum of 1 space.	n/a	RCV
Community residence	A minimum of 2 spaces.	A minimum of 1 space.	n/a	VAN
Community use	1 space per 15m ² GFA.	1 space per 100m ² of GFA.	n/a	RCV

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Dual occupancy	A minimum of 2 spaces per dwelling unit which may be in tandem with a minimum of 1 covered space per dwelling unit.	n/a	n/a	n/a
Dwelling house	A minimum of 2 spaces which may be in tandem plus 1 space for a secondary dwelling	n/a	n/a	n/a
Dwelling unit	1.5 spaces per one or two bedroom unit; or 2 spaces per three bedroom unit.	n/a	n/a	n/a
Educational establishment	Primary school or secondary schools: 1 car space per 2 staff members, plus provision of space to be used for setting down and picking up of students. Tertiary and further education: 1 car space per 2 staff members, plus 1 car space per 10 students, plus provision of space to be used for setting down and picking up of students.	Primary school or secondary schools: 1 space per 5 students over year 4. Tertiary and further education: 2 spaces per 50 full time students.	Required for all educational establishments with a GFA greater than 2000m ² .	RCV
Food and drink outlet	1 space per 25m ² GFA and outdoor dining area. or If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan or if with Precinct 5: Town centre precinct in the Mossman local plan: 1 space per 50m ² of GFA, and outdoor dining area.	1 space per 100m ² of GFA, and outdoor dining area.	n/a	See Table Error! No text of specified style in document..d
Function facility	1 space per 15m ² GFA.	1 space per 100m ² of GFA.	n/a	RCV
Funeral parlour	1 space per 15m ² GFA.	n/a	n/a	RCV
Garden centre	1 space per 50m ² GFA and outdoor display area	1 space per 200m ² of GFA.	n/a	AV
Hardware and trade supplies	1 space per 50m ² GFA and outdoor display area	1 space per 200m ² of GFA.	n/a	AV

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Health care services	1 space per 20m ² of GFA.	1 space per 100m ² of GFA.	Required for all health care services with a GFA greater than 2000m ² .	VAN
High impact industry	1 space per 90m ² of GFA.	n/a	n/a	AV
Home based business	The parking required for the dwelling house, plus 1 space per bedroom where the Home based business involves the provision of accommodation; or 1 space per 25m ² GFA for any other Home Based Business.	n/a	n/a	n/a
Hospital	The greater of 1 space per 2 bedrooms or 1 space per 4 beds; plus 1 car space for ambulance parking, designated accordingly.	1 space per 100m ² of GFA.	Required for all hospitals with a GFA greater than 2000m ² .	RCV
Hotel	1 space per 10m ² GFA and licensed outdoor area; plus For 1 space per 50m ² GFA of floor area of liquor barn or bulk liquor sales area; plus, if a drive in bottle shop is provided, queuing lane/s on site for 12 vehicles. Note - Use standard for any Short Term Accommodation for hotel accommodation use.	1 space per 100m ² of GFA.	n/a	LRV
Indoor sport and recreation	Squash court or another court game: 4 spaces per court. Basketball, netball, soccer, cricket: 25 spaces per court / pitch. Ten pin bowling: 3 spaces per bowling lane. Gymnasium: 1 space per 15m ² of GFA.	1 space per 4 employees.	n/a	RCV
Low impact industry	1 space per 90m ² of GFA.	n/a	n/a	AV

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
Marine industry	1 space per 90m ² of GFA.	n/a	n/a	AV
Medium impact industry	1 space per 90m ² of GFA.	n/a	n/a	AV
Multiple dwelling	If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie Local plan: 1 car space per dwelling unit. If outside Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie Local plan: 1.5 car spaces per dwelling unit In all cases 60% of the car parking area is to be covered.	1 bicycle space per 3 units and 1 visitor bicycle space per 12 units.	n/a	RCV (over 10 units)
Office	1 space per 25m ² of GFA or If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan or if with Precinct 5: Town centre precinct in the Mossman local plan: 1 space per 50m ² of GFA	1 space per 200m ² GFA	Required for all office development with a GFA greater than 2000m ² .	See Table Error! No text of specified style in document..e
Outdoor sales	1 space per 50m ² GFA and outdoor display area	1 space per 200m ² of GFA.	n/a	AV
Outdoor sport and recreation	Coursing, horse racing, pacing, trotting: 1 space per 5 seated spectators, plus 1 space per 5m ² of other spectator areas. Football: 50 spaces per field. Lawn bowls: 30 spaces per green. Swimming pool: 15 spaces; plus	Football: 5 space per field. Lawn bowls: 5 spaces per green. Swimming pool: 1 space per swimming lane. Tennis court or other court game:	n/a	RCV

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	<p>1 space per 100m² of useable site area.</p> <p>Tennis court or other court game: 4 spaces per court. Golf course: 4 spaces per tee on the course.</p> <p>Note - Use standard for Club for clubhouse component.</p>	<p>4 space per court.</p> <p>Golf course: 1 space per 15m² of GFA for clubhouse component.</p>		
Place of worship	1 space per 15m ² of GFA.	1 space per 100m ² of GFA.	n/a	LRV
Relocatable home park	1 space per relocatable home site; plus 0.1 space per relocatable home site for visitor parking; plus 1 space for an on-site manager	n/a	n/a	LRV
Research and technology industry	1 space per 90m ² of GFA.	n/a	n/a	MRV
Residential care facility	1 visitor car space per 5 bedroom units; plus 1 car space per 2 staff members	n/a	n/a	LRV
Resort complex	<p>Use standard for relevant standard for each component.</p> <p>For example: Use Short Term Accommodation standard for accommodation component and Food and Drink Outlet for restaurant component.</p>	<p>Use standard for relevant standard for each component.</p> <p>For example: Use Short Term Accommodation standard for accommodation component and Food and Drink Outlet for restaurant component.</p>	n/a	RCV
Retirement facility	1 space per dwelling unit;	n/a	n/a	LRV

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	plus 1 visitor space per 5 dwelling units; plus 1 visitor car space per 10 hostel units, nursing home or similar beds, plus 1 car space per 2 staff members; plus 1 car parking space for ambulance parking.			
Sales office	A minimum of 1 space.	n/a	n/a	n/a
Service industry	1 space per 90m ² of GFA.	n/a	n/a	SRV
Service station	1 space per 25m ² of GFA	n/a	n/a	AV
Shop	1 space per 25m ² of GFA. or If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan or if with Precinct 5: Town centre precinct in the Mossman local plan: 1 space per 50m ² of GFA.	1 space per 100m ² of GFA.	Required for all shops with a GFA greater than 2000m ² .	See Table Error! No text of specified style in document..d
Shopping centre	1 space per 25m ² of GFA. or If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan or if with Precinct 5: Town centre precinct in the Mossman local plan: 1 space per 50m ² of GFA.	1 space per 200m ² GFA.	Required for all shopping centres with a GFA greater than 2000m ² .	See Table Error! No text of specified style in document..d
Short term accommodation	If within Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan: 0.5 car spaces per dwelling unit. If outside Precinct 1 : Port Douglas precinct in the Port Douglas / Craiglie local plan: For up to 5 units: 1 car space per dwelling unit, plus 1 space for visitors and 1 service/staff spaces. For 5 – 10 units: 1 car space per dwelling unit, plus 2 spaces for visitors and 1 service/staff spaces.	1 space per 10 rooms	n/a	SRV

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
	<p>For over 10 units: 0.75 car spaces per dwelling unit, plus 3 spaces for visitors and 2 service/staff parking for the first 10 units and 0.5 additional service/staff space per 10 units, there-above.</p> <p>In all cases 60% of the car parking area is to be covered.</p> <p>Note: Where Short term accommodation is to be inter-changeable with a Multiple dwelling land use, multiple dwelling parking rates apply.</p>			
Showroom	1 space per 50m ² GFA.	1 space per 200m ² GFA.	n/a	AV
Special industry	1 space per 90m ² of GFA.	n/a	n/a	AV
Tourist park	1 car space per caravan site, tent site or cabin; plus 1 visitor car space per 10 caravan sites, tent sites or cabins; plus 1 car space for an on-site manager.	n/a	n/a	LRV
Theatre	<p>Indoor: 1 space per 15m² of GFA.</p> <p>Outdoor cinema: 1 space per 5m² of designated viewing area, plus 1 car space per 2 employees.</p>	1 space per 200m ² GFA.	n/a	VAN
Veterinary services	1 space per 50m ² of GFA.	n/a	n/a	VAN
Warehouse	1 space per 90m ² of GFA.	n/a	n/a	Where self-storage: RCV Other: AV
Any use not otherwise specified in this table.	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time.	Sufficient spaces to accommodate number		To be determined

Land use	Minimum number of ordinary vehicle parking spaces	Minimum number of bicycle spaces	End of trip facilities	Minimum standard design service vehicle (refer to Table 9.4.1.3c)
		of vehicles likely to be parked at any one time.		

Table Error! No text of specified style in document..c – Design vehicles

VAN	A 99.8th percentile vehicle equivalent to a large car.
SRV	Small rigid vehicle as in AS2890.2-2002 parking facilities – Off-street commercial vehicle facilities, but incorporating a body width of 2.33m
MRV	Medium rigid vehicle equivalent to an 8-tonne truck.
LRV	Large rigid vehicle described by AS2890.2-2002 parking facilities – Off-street commercial vehicle facilities as heavy rigid vehicle.
RCV	Industrial refuse collection vehicle
AV	19 metre articulated vehicle from AUSTROADS

Table Error! No text of specified style in document..d – Standard number of service bays required for Food and drink outlet, Shop or Shopping centre

Gross floor area (m ²)	Service bays required			
	VAN	SRV	MRV	LRV
0-199	-	1	-	-
200 – 599	1	-	1	-
600 – 999	1	1	1	-
1000 – 1499	2	1	1	-
1500 – 1999	2	2	1	-
2000 – 2799	2	2	2	-
2800 – 3599	2	2	2	1
3600 and over	To be determined via a parking study.			

Table Error! No text of specified style in document..e – Standard number of service bays required for Office

Gross floor area (m ²)	Service bays required			
	VAN	SRV	MRV	LRV
0-999	-	1	-	-
1000 – 2499	1	-	1	-
2500 – 3999	2	1	1	-
4000 – 5999	3	1	1	-
6000 – 7999	4	1	1	-
8000 – 9999	4	2	1	-
10000 and over	To be determined via a parking study.			

Environmental performance code

Application

- (1) This code applies to assessing:
 - (a) building work for outdoor lighting;
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where the code is identified in the assessment criteria column of a table of assessment; or
 - (ii) impact assessable development, to the extent relevant.

Note – Where for the purpose of lighting a tennis court in a Residential zone, a compliance statement prepared by a suitably qualified person must be submitted to Council with the development application for building work.

- (2) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Environmental performance code is to ensure development is designed and operated to avoid or mitigate impacts on sensitive receiving environments.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) activities that have potential to cause an adverse impact on amenity of adjacent and surrounding land, or environmental harm is avoided through location, design and operation of the development;
 - (b) sensitive land uses are protected from amenity related impacts of lighting, odour, airborne particles and noise, through design and operation of the development;
 - (c) stormwater flowing over, captured or discharged from development sites is of a quality adequate to enter receiving waters and downstream environments;
 - (d) development contributes to the removal and ongoing management of weed species.

Criteria for assessment

Table Error! No text of specified style in document..a – Environmental performance code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
Lighting		
PO1	AO1.1	N/A

Performance outcomes	Acceptable outcomes	Applicant response
Lighting incorporated within development does not cause an adverse impact on the amenity of adjacent uses and nearby sensitive land uses.	<p>Technical parameters, design, installation, operation and maintenance of outdoor lighting comply with the requirements of Australian standard AS4282-1997 Control of the obtrusive effects of outdoor lighting.</p> <p>AO1.2 Development that involves flood lighting is restricted to a type that gives no upward component of light where mounted horizontally.</p> <p>AO1.3 Access, car parking and manoeuvring areas are designed to shield nearby residential premises from impacts of vehicle headlights.</p>	<p>N/A</p> <p>N/A</p>
Noise		
<p>PO2 Potential noise generated from the development is avoided through design, location and operation of the activity. Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO2.1 Development does not involve activities that would cause noise related environmental harm or nuisance; or AO2.2 Development ensures noise does not emanate from the site through the use of materials, structures and architectural features to not cause an adverse noise impact on adjacent uses.</p> <p>AO2.3 The design and layout of development ensures car parking areas avoid noise impacting directly on adjacent sensitive land uses through one or more of the following: (a) car parking is located away from adjacent sensitive land uses;</p>	<p>Proposal complies.</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) car parking is enclosed within a building;</p> <p>(c) a noise ameliorating fence or structure is established adjacent to car parking areas where the fence or structure will not have a visual amenity impact on the adjoining premises;</p> <p>(d) buffered with dense landscaping.</p> <p>Editor's note - The <i>Environmental Protection (Noise) Policy 2008</i>, Schedule 1 provides guidance on acoustic quality objectives to ensure environmental harm (including nuisance) is avoided.</p>	
Airborne particles and other emissions		
<p>PO3 Potential airborne particles and emissions generated from the development are avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO3.1 Development does not involve activities that will result in airborne particles or emissions being generated;</p> <p>or</p> <p>AO3.2 The design, layout and operation of the development activity ensures that no airborne particles or emissions cause environmental harm or nuisance.</p> <p>Note - examples of activities which generally cause airborne particles include spray painting, abrasive blasting, manufacturing activities and car wash facilities.</p> <p>Examples of emissions include exhaust ventilation from basement or enclosed parking structures, air conditioning/refrigeration ventilation and exhaustion.</p> <p>The <i>Environmental Protection (Air) Policy 2008</i>, Schedule 1 provides guidance on air quality objectives to ensure environmental harm (including nuisance) is avoided.</p>	<p>Proposal complies.</p>

Performance outcomes	Acceptable outcomes	Applicant response
Odours		
<p>PO4 Potential odour causing activities associated with the development are avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO4.1 The development does not involve activities that create odorous emissions;</p> <p>or</p> <p>AO4.2 The use does not result in odour that causes environmental harm or nuisance with respect to surrounding land uses.</p>	<p>Proposal complies.</p>
Waste and recyclable material storage		
<p>PO5 Waste and recyclable material storage facilities are located and maintained to not cause adverse impacts on adjacent uses.</p> <p>Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO5.1 The use ensures that all putrescent waste is stored in a manner that prevents odour nuisance and is disposed of at regular intervals.</p> <p>AO5.2 Waste and recyclable material storage facilities are located, designed and maintained to not cause an adverse impact on users of the premises and adjacent uses through consideration of:</p> <ul style="list-style-type: none"> (a) the location of the waste and recyclable material storage areas in relation to the noise and odour generated; (b) the number of receptacles provided in relation to the collection, maintenance and use of the receptacles; (c) the durability of the receptacles, sheltering and potential impacts of local climatic conditions; (d) the ability to mitigate spillage, seepage or leakage from receptacles into adjacent 	<p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>areas and sensitive receiving waters and environments.</p> <p>Editor's note - the <i>Environmental Protection (Waste Management) Policy 2008</i> provides guidance on the design of waste containers (receptacles) to ensure environmental harm (including nuisance) is avoided.</p>	
Sensitive land use activities		
<p>PO6</p> <p>Sensitive land use activities are not established in areas which will receive potentially incompatible impacts on amenity from surrounding, existing development activities and land uses.</p>	<p>AO6.1</p> <p>Sensitive land use activities are not established in areas that will be adversely impacted upon by existing land uses, activities and potential development possible in an area;</p> <p>or</p> <p>AO6.2</p> <p>Sensitive land activities are located in areas where potential adverse amenity impacts mitigate all potential impacts through layout, design, operation and maintenance.</p>	<p>Proposed sensitive land uses are appropriately located.</p>
Stormwater quality		
<p>PO7</p> <p>The quality of stormwater flowing over, through or being discharged from development activities into watercourses and drainage lines is of adequate quality for downstream environments, with respect to:</p> <p>(a) the amount and type of pollutants borne from the activity;</p> <p>(b) maintaining natural stream flows;</p> <p>(c) the amount and type of site disturbance;</p> <p>(d) site management and control measures.</p>	<p>AO7.1</p> <p>Development activities are designed to ensure stormwater over roofed and hard stand areas is directed to a lawful point of discharge.</p> <p>AO7.2</p> <p>Development ensures movement of stormwater over the site is not impeded or directed through potentially polluting activities.</p> <p>AO7.3</p>	<p>Proposal complies.</p> <p>Proposal complies.</p> <p>Proposal is capable of complying.</p>

Infrastructure works code

Application

- (1) This code applies to assessing:
 - (a) operational work which requires an assessment as a condition of a development permit or is assessable development if this code is identified in the assessment criteria column of a table of assessment;
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.

Note – The Filling and excavation code applies to operational work for filling and excavation.

- (2) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by, and connected to, infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
 - (b) development maintains high environmental standards;
 - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;
 - (d) the integrity of existing infrastructure is maintained;
 - (e) development does not detract from environmental values or the desired character and amenity of an area.

Criteria for assessment

Table Error! No text of specified style in document..a – Infrastructure works code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Works on a local government road		

Performance outcomes	Acceptable outcomes	Applicant response
PO1 Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.	AO1.1 Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	N/A
	AO1.2 Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 – FNQROC Regional Development Manual.	N/A
	AO1.3 New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths: (a) are installed via trenchless methods; or (b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section.	Proposal is capable of complying.
	AO1.4 Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring: (a) similar surface finishes are used; (b) there is no change in level at joins of new and existing sections; (c) new sections are matched to existing in terms of dimension and reinforcement.	Proposal is capable of complying.

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Note – Figure Error! No text of specified style in document..a provides guidance on meeting the outcomes.</p> <p>A01.5 Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>	Proposal complies.
Accessibility structures		
<p>PO2 Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p>A02.1 Accessibility structures are not located within the road reserve.</p> <p>A02.2 Accessibility structures are designed in accordance with AS1428.3.</p> <p>A02.3 When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p>
Water supply		
<p>PO3 An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p>A03.1 The premises is connected to Council's reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p>A03.2</p>	<p>Proposal is capable of complying. Refer to engineering drawings.</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Development incorporates stormwater flow control measures to achieve the design objectives set out in Table Error! No text of specified style in document..b and Table Error! No text of specified style in document..c, including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act 1994</i>.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	
Non-tidal artificial waterways		
<p>PO6</p> <p>Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <ul style="list-style-type: none"> (a) protect water environmental values; (b) be compatible with the land use constraints for the site for protecting water environmental values; (c) be compatible with existing tidal and non-tidal waterways; (d) perform a function in addition to stormwater management; (e) achieve water quality objectives. 	<p>AO6.1</p> <p>Development involving non-tidal artificial waterways ensures:</p> <ul style="list-style-type: none"> (a) environmental values in downstream waterways are protected; (b) any ground water recharge areas are not affected; (c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway; (d) existing areas of ponded water are included. <p>AO6.2</p> <p>Non-tidal artificial waterways are located:</p> <ul style="list-style-type: none"> (a) outside natural wetlands and any associated buffer areas; (b) to minimise disturbing soils or sediments; 	<p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.</p> <p>AO6.3 Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures: (a) there is sufficient flushing or a tidal range of >0.3 m; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into freshwater environments.</p> <p>AO6.4 Non-tidal artificial waterways are designed and managed for any of the following end-use purposes: (a) amenity (including aesthetics), landscaping or recreation; or (b) flood management, in accordance with a drainage catchment management plan; or (c) stormwater harvesting plan as part of an integrated water cycle management plan; or (d) aquatic habitat.</p> <p>AO6.5 The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.</p> <p>AO6.6 Monitoring and maintenance programs adaptively manage water quality to achieve</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>relevant water quality objectives downstream of the waterway.</p> <p>AO6.7 Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.</p>	N/A
Wastewater discharge		
<p>PO7 Discharge of wastewater to waterways, or off site: (a) meets best practice environmental management; (b) is treated to:</p> <ul style="list-style-type: none"> (i) meet water quality objectives for its receiving waters; (ii) avoid adverse impact on ecosystem health or waterway health; (iii) maintain ecological processes, riparian vegetation and waterway integrity; (iv) offset impacts on high ecological value waters. 	<p>AO7.1 A wastewater management plan is prepared and addresses: (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best practice environmental management.</p> <p>AO7.2 The waste water management plan is managed in accordance with a waste management hierarchy that: (a) avoids wastewater discharge to waterways; or (b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and ground water.</p> <p>AO7.3 Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>A07.4 Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <ul style="list-style-type: none"> (a) avoids lowering ground water levels where potential or actual acid sulfate soils are present; (b) manages wastewater so that: <ul style="list-style-type: none"> (i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals; (ii) holding times of neutralised wastewater ensures the flocculation and removal of any dissolved iron prior to release; (iii) visible iron floc is not present in any discharge; (iv) precipitated iron floc is contained and disposed of; (v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method. 	Proposal complies.
Electricity supply		
<p>PO8 Development is provided with a source of power that will meet its energy needs.</p>	<p>A08.1 A connection is provided from the premises to the electricity distribution network;</p> <p>or</p> <p>A08.2 The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the</p>	Proposal is capable of complying.

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Areas north of the Daintree River have a different standard.</p>	
<p>PO9 Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p>AO9.1 Pad-mount electricity infrastructure is: (a) not located in land for open space or sport and recreation purposes; (b) screened from view by landscaping or fencing; (c) accessible for maintenance.</p> <p>AO9.2 Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage.</p> <p>Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.</p>	<p>Proposal is capable of complying.</p> <p>N/A</p>
Telecommunications		
<p>PO10 Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.</p>	<p>AO10 The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.</p>	<p>Proposal is capable of complying.</p>
<p>PO11 Provision is made for future telecommunications services (e.g. fibre optic cable).</p>	<p>AO11 Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p>Proposal is capable of complying.</p>
Road construction		
<p>PO12</p>	<p>AO12.1</p>	<p>Proposal seeks to establish a driveway access to the site which varies from FNQROC</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>The road to the frontage of the premises is constructed to provide for the safe and efficient movement of:</p> <ul style="list-style-type: none"> (a) pedestrians and cyclists to and from the site; (b) pedestrians and cyclists adjacent to the site; (c) vehicles on the road adjacent to the site; (d) vehicles to and from the site; (e) emergency vehicles. 	<p>The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.</p> <p>AO12.2 There is existing road, kerb and channel for the full road frontage of the site.</p> <p>AO12.3 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.</p>	<p>requirements given the location at the end of the road network and desire to create a more aesthetic treatment which will compliment the adjoining esplanade open space.</p> <p>N/A</p> <p>Proposal complies.</p>
Alterations and repairs to public utility services		
<p>PO13 Infrastructure is integrated with, and efficiently extends, existing networks.</p>	<p>AO13 Development is designed to allow for efficient connection to existing infrastructure networks.</p>	<p>Proposal complies.</p>
<p>PO14 Development and works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p>AO14.1 Public utility mains, services and installations are not required to be altered or repaired as a result of the development;</p> <p>or</p> <p>AO14.2 Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy</p>	<p>Proposal is capable of complying.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	SC5 – FNQROC Regional Development Manual.	
Construction management		
PO15 Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.	AO15 Works include, at a minimum: (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory signage; (c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation; (d) removal from the site of all declared noxious weeds.	Proposal is capable of complying.
PO16 Existing infrastructure is not damaged by construction activities.	AO16 Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual. Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.	Proposal is capable of complying.
For assessable development		
High speed telecommunication infrastructure		
PO17 Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.	AO17 No acceptable outcomes are prescribed.	Proposal is capable of complying.
Trade waste		
PO18	AO18	N/A

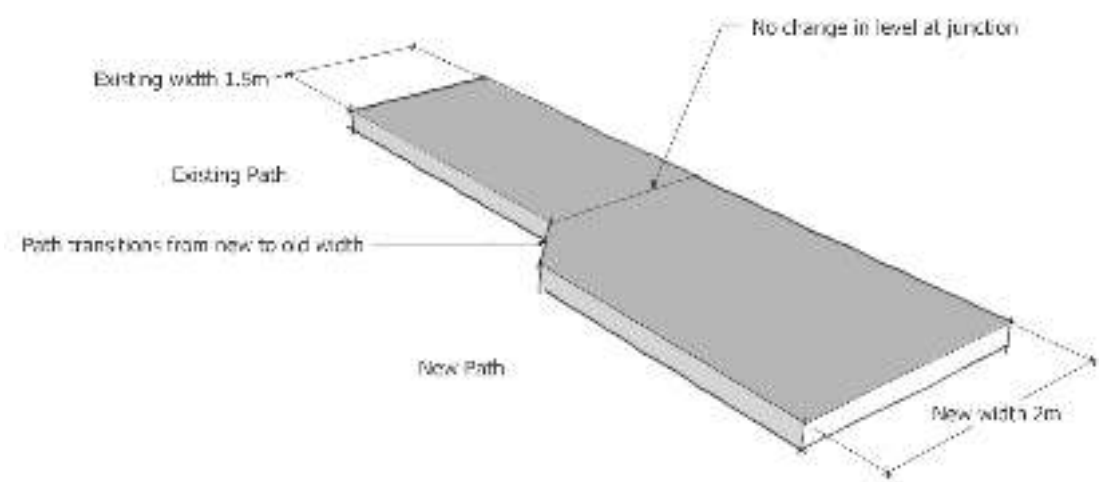
Table Error! No text of specified style in document..b – Stormwater management design objectives (Construction phase).

Issue	Design objectives
Drainage control (Temporary drainage works)	(a) Design life and design storm for temporary drainage works: (vi) Disturbed open area for <12 months – 1 in 2 year ARI event; (vii) Disturbed open area for 12-24 months – 1 in 5 year ARI event; (viii) Disturbed open area for >24 months – 1 in 10 year ARI event. (b) Design capacity excludes minimum 150mm freeboard. (c) Temporary culvert crossing – minimum of 1 in 1-year ARI hydraulic capacity.
Erosion control (Erosion control measures)	(a) Minimise exposure of disturbed soils at any time. (b) Divert water run-off from undisturbed areas around disturbed areas. (c) Determine erosion risk rating using local rainfall erosivity, rainfall depth, soil loss rate or other acceptable methods. (d) Implement erosion control methods corresponding to identified erosion risk rating.
Sediment control measures (sediment control measures, design storm for sediment control basins, Sediment basin dewatering)	(a) Determine appropriate sediment control measures using: (i) potential soil loss rate; or (ii) monthly erosivity; or (iii) average monthly rainfall. (b) Collect and drain stormwater from disturbed soils to sediment basin for design storm event: (i) design storm for sediment basin sizing is 80th% five-day event or similar. (c) Site discharge during sediment basin dewatering: (i) TSS < 50mg/L TSS; (ii) Turbidity not > 10% receiving water's turbidity; (iii) pH 6.5-8.5.
Water quality (Litter and other waste, hydrocarbons and other contaminants)	(a) Avoid wind-blown litter; remove grass pollutants. (b) Ensure there is no visible oil or grease sheen on released waters. (c) Dispose of waste containing contaminants at authorised facilities.
Waterway stability and flood flow management (Changes to the natural hydraulics and hydrology)	(a) For peak flow for the 100% AEP event and 1% AEP event, use constructed sediment basins to attenuate the discharge rate of stormwater from the site.

Table Error! No text of specified style in document..c – Stormwater management design objectives (post-construction phase)

Design objectives				Application
Minimum reductions in mean annual load from unmitigated development (%)				
Total suspended solids (TSS)	Total phosphorus (TP)	Total nitrogen (TN)	Gross pollutants >5mm	
80	60	40	90	<p>Development for urban purposes</p> <p>Excludes development that is less than 25% pervious.</p> <p>In lieu of modelling, the default bio-retention treatment area to comply with load reduction targets of 1.5% of contributing catchment area.</p>
<p>Water stability management</p> <p>(2) Limit peak 100% AEP event discharge within the receiving waterway to the pre-development peak 100% AEP event discharge.</p>				<p>Catchments contributing to un-lined receiving waterway. Degraded waterways may seek alternative discharge management objectives to achieve waterway stability.</p> <p>For peak flow for the 100% AEP event, use co-located storages to attenuate site discharge rate of stormwater.</p>

Figure Error! No text of specified style in document..a – New footpath sections



Landscaping code

Application

- (1) This code applies to assessing:
 - (a) operational work which requires a compliance assessment as a condition of a development permit; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

Purpose

- (1) The purpose of the Landscaping code is to assess the landscaping aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) The tropical, lush landscape character of the region is retained, promoted and enhanced through high quality landscape works;
 - (b) The natural environment of the region is enhanced;
 - (c) The visual quality, amenity and identity of the region is enhanced;
 - (d) Attractive streetscapes and public places are created through landscape design;
 - (e) As far as practical, existing vegetation on site is retained, and protected during works and integrated with the built environment;
 - (f) Landscaping is provided to enhance the tropical landscape character of development and the region;
 - (g) Landscaping is functional, durable, contributes to passive energy conservation and provides for the efficient use of water and ease of ongoing maintenance;
 - (h) Landscaping takes into account utility service protection;
 - (i) Weed species and invasive species are eliminated from development sites;
 - (j) Landscape design enhances personal safety and incorporates CPTED principles.

Criteria for assessment

Table Error! No text of specified style in document..a – Landscaping code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Landscape design		

Performance outcomes	Acceptable outcomes	Applicant response
<p>PO1 Development provides landscaping that contributes to and creates a high quality landscape character for the site, street and local areas of the Shire by:</p> <ul style="list-style-type: none"> (a) promoting the Shire's character as a tropical environment; (b) softening the built form of development; (c) enhancing the appearance of the development from within and outside the development and makes a positive contribution to the streetscape; (d) screening the view of buildings, structures, open storage areas, service equipment, machinery plant and the like from public places, residences and other sensitive development; (e) where necessary, ensuring the privacy of habitable rooms and private outdoor recreation areas; (f) contributing to a comfortable living environment and improved energy efficiency, by providing shade to reduce glare and heat absorption and re-radiation from buildings, parking areas and other hard surfaces; (g) ensuring private outdoor recreation space is useable; (h) providing long term soil erosion protection; (i) providing a safe environment; (j) integrating existing vegetation and other natural features of the premises into the development; (k) not adversely affecting vehicular and pedestrian sightlines and road safety. 	<p>AO1 Development provides landscaping:</p> <ul style="list-style-type: none"> (a) in accordance with the minimum area, dimensions and other requirements of applicable development codes; (b) that is designed and planned in a way that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping; (c) that is carried out and maintained in accordance with a landscaping plan that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping. <p>Note - Planning scheme policy SC6.7 – Landscaping provides guidance on meeting the outcomes of this code. A landscape plan submitted for approval in accordance with the Planning policy is one way to achieve this outcome.</p>	<p>No particular landscaping requirements apply to Dwelling Houses and the Reconfiguring a Lot component only triggers onstreet works. In any case, the proposal will include substantial landscaping in accordance with Planning Scheme Policy SC6.7 – Landscaping;</p>
For assessable development		
<p>PO2 Landscaping contributes to a sense of place, is functional to the surroundings and enhances the streetscape and visual appearance of the development.</p>	<p>AO2.1 No acceptable outcomes are specified.</p> <p>Note - Landscaping is in accordance with the requirements specified in Planning scheme policy SC6.7 – Landscaping.</p>	<p>Detailed landscaping design will comply with Planning Scheme Policy SC6.7 – Landscaping.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>A02.2 Tropical urbanism is incorporated into building design.</p> <p>Note – 'Tropical urbanism' includes many things such as green walls, green roofs, podium planting and vegetation incorporated into the design of a building.</p>	Proposal complies.
<p>PO3 Development provides landscaping that is, as far as practical, consistent with the existing desirable landscape character of the area and protects trees, vegetation and other features of ecological, recreational, aesthetic and cultural value.</p>	<p>A03.1 Existing vegetation on site is retained and incorporated into the site design, wherever possible, utilising the methodologies and principles outline in AS4970-2009 Protection of Trees on Development Sites.</p> <p>A03.2 Mature vegetation on the site that is removed or damaged during development is replaced with advanced species.</p> <p>A03.3 Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are incorporated into new development.</p> <p>A03.4 Street trees are species which enhance the landscape character of the streetscape, with species chosen from the Planning scheme policy SC6.7 – Landscaping.</p>	<p>Given the site's existing topography and need for earthworks, retention of vegetation is challenging. Instead, the proposal will achieve a high level of landscaping to provide a desirable outcome that fits the existing character of the area.</p> <p>Proposal is capable of complying where practical to use advanced species.</p> <p>Proposal is capable of complying.</p> <p>Proposal is capable of complying.</p>
<p>PO4 Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.</p>	<p>A04 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.</p>	Proposal is capable of complying.
PO5	A05	Proposal is capable of complying.

Performance outcomes	Acceptable outcomes	Applicant response
Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal roadways.	Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	
P06 Landscaped areas are designed in order to allow for efficient maintenance.	A06.1 A maintenance program is undertaken in accordance with Planning scheme policy SC6.7 – Landscaping. A06.2 Tree maintenance is to have regard to the 'Safe Useful Life Expectancy of Trees (SULE). Note – It may be more appropriate to replace trees with a SULE of less than 20 years (as an example), and replant with younger healthy species.	Proposal is capable of complying. Proposal is capable of complying.
P07 Podium planting is provided with appropriate species for long term survival and ease of maintenance, with beds capable of proper drainage.	A07.1 Podium planting beds are provided with irrigation and are connected to stormwater infrastructure to permit flush out. A07.2 Species of plants are selected for long term performance designed to suit the degree of access to podiums and roof tops for maintenance.	Proposal is capable of complying. Proposal is capable of complying.
P08 Development provides for the removal of all weed and invasive species and implement on-going measures to ensure that weeds and invasive species do not reinfest the site and nearby premises.	A08 Weed and invasive species detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person.	Proposal is capable of complying.
P09 The landscape design enhances personal safety and reduces the potential for crime and vandalism.	A09 No acceptable outcomes are specified.	Proposal is capable of complying.

Performance outcomes	Acceptable outcomes	Applicant response
	Note - Planning scheme policy SC6.3 – Crime prevention through environmental design (CPTED) provides guidance on meeting this outcome.	
PO10 The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.	AO10 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Proposal is capable of complying.