

23 September 2025

Administration Office  
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**Enquiries:** Georgia Graham  
**Our Ref:** EXEM 2025\_5833/1 (Doc 1323346)  
**Your Ref:**

R J Melchert  
7 Harper Street  
MOSSMAN QLD 4873

Dear Sir / Madam

### **EXEMPTION CERTIFICATE**

Council refers to your request for an exemption certificate for the following premises received on 10 September 2025.

#### **Summary of Exempt Development**

Development being made exempt from assessment against the Flood and Storm Tide Hazard Overlay Code from the 2018 Douglas Shire Planning Scheme consists of a dwelling house.

#### **Location details**

Street Address: 20 Barrbal Drive BONNIE DOON

Real Property Description: Lot 263 on SP 336777

Local Government Area: Douglas Shire Council

#### **Decision**

Council advises that an exemption certificate has been granted on 22 September 2025 for development as detailed in Attachment 1.

#### **Referral agencies**

Not Applicable

#### **Reasons for giving exemption certificate**

The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

## **When exemption certificate ceases to have effect**

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This exemption certificate does not lapse.

## **Other**

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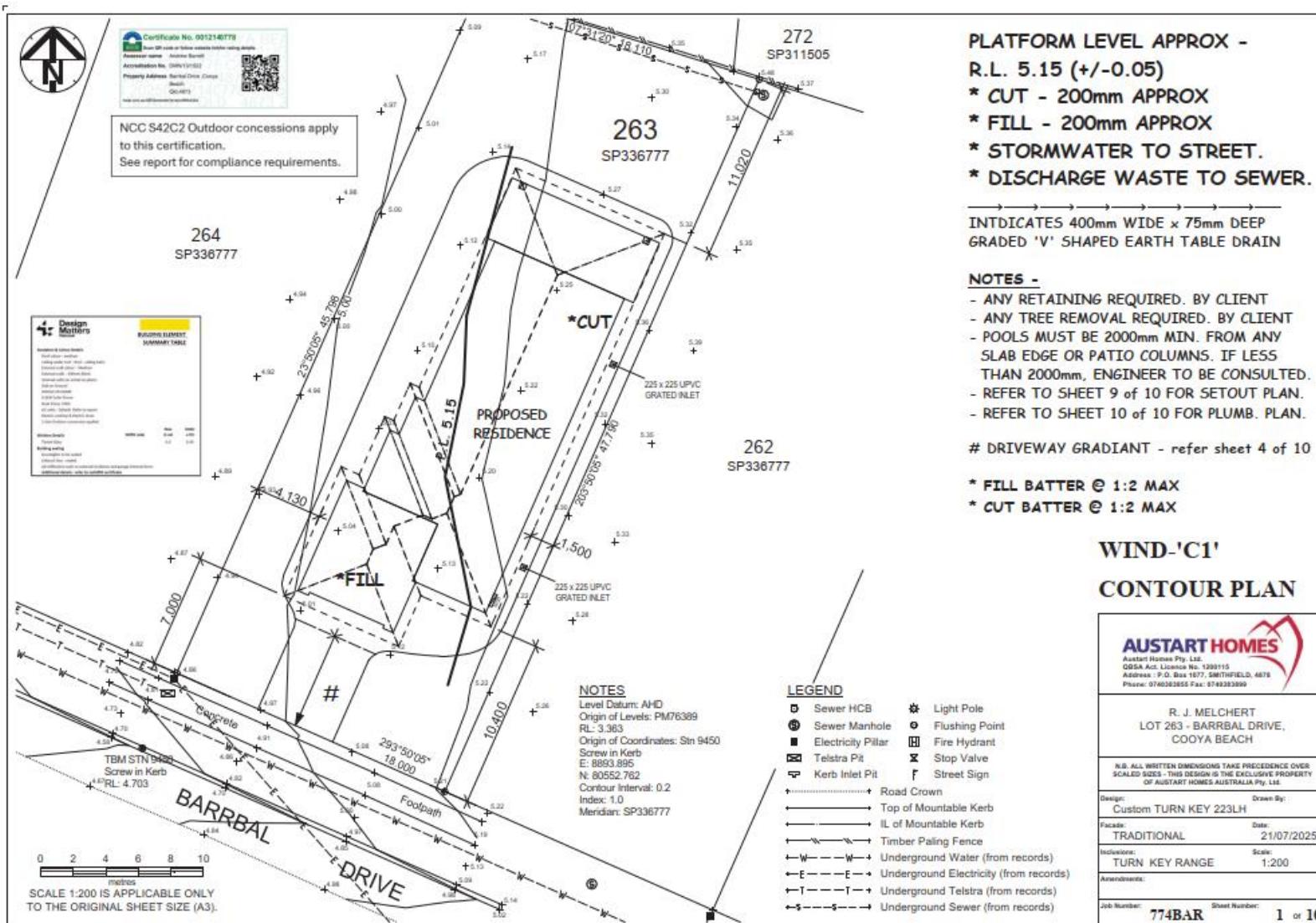
Please quote Council's application number: EXEM 2025\_ 5833/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Georgia Graham on telephone 07 4099 9444.

Yours faithfully



**For**  
**Leonard Vogel**  
**Manager Environment & Planning**



Attachment 1