

23 September 2025

Enquiries: Georgia Graham
Our Ref: EXEM 2025_5833/1 (Doc 1323346)
Your Ref:

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

R J Melchert
7 Harper Street
MOSSMAN QLD 4873

Dear Sir / Madam

EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 10 September 2025.

Summary of Exempt Development

Development being made exempt from assessment against the Flood and Storm Tide Hazard Overlay Code from the 2018 Douglas Shire Planning Scheme consists of a dwelling house.

Location details

Street Address: 20 Barrbal Drive BONNIE DOON

Real Property Description: Lot 263 on SP 336777

Local Government Area: Douglas Shire Council

Decision

Council advises that an exemption certificate has been granted on 22 September 2025 for development as detailed in Attachment 1.

Referral agencies

Not Applicable

Reasons for giving exemption certificate

The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

When exemption certificate ceases to have effect

This exemption certificate does not lapse.

Other

Please quote Council's application number: EXEM 2025_ 5833/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Georgia Graham on telephone 07 4099 9444.

Yours faithfully



For
Leonard Vogel
Manager Environment & Planning

